



SUNBELT
DEVELOPMENT & REALTY PARTNERS, LLC

RESIDENTIAL VACANT LAND
LAS VEGAS, NV

FOR SALE
± 0.46 AC VACANT LAND
RESIDENTIAL
\$495,000

W Red Azure Dr & Calm Brook Ct
Las Vegas, NV



WEST FACING OVERVIEW



3 MINUTES

N CAMPBELL RD

W REGENA AVE



Drone Flight Date: August 13, 2025

Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.

TOP-DOWN VIEW

W REGENA AVE

N CAMPBELL RD

A P N : 125-29-101-047

Drone Flight Date: August 13, 2025

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AMENATIES



A P N : 125-29-101-047

COMMUNITY PARK

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POINTS OF INTEREST

NORTH LAS VEGAS AIRPORT: 16 MIN

HARRY REID INTERNATIONAL AIRPORT: 30 MIN

LAS VEGAS STRIP: 26 MIN

LONE MOUNTAIN: 10 MIN

SUBJECT PROJECT

Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.

RANGE MAP



POINTS OF INTEREST LOCATION

- > 25 minute drive to Red Rock Canyon
- > 40 minute drive to Mt Charleston


CONNECTIVITY

Lone Mountain.....	4 mi • 10 min
North Las Vegas Airport.....	9 mi • 18 min
North Las Vegas.....	12 mi • 25 min
Summerlin.....	11 mi • 20 min
Las Vegas Strip.....	20 mi • 30 min
Harry Reid International Airport.....	28 mi • 33 min
Henderson.....	32 mi • 47 min

LEGEND

-  10 Minute Drive
-  40 Minute Dive



owner approval set 

FLOOR PLANS

RENDERING
FOR ILLUSTRATION ONLY



ENLARGED AERIAL MAP:



VICINITY MAP CODE:



SCOPE WORK:

New Construction Family Residence
Including Architectural, Structural, Electrical, Mechanical, Plumbing, and Civil Drawings.

CODE SUMMARY:

PROJECT NAME: Jean Storey
ADDRESS: 6250 Calm Brook Ct
125-29-101-047
CONSTRUCTION TYPE: V-B
ZONING: R1-8
OCCUPANCY CLASSIFICATION: Group R-3
FIRE SPRINKLERS: N/A
FLOORS: 1
SEISMIC DESIGN CATEGORY: D
WIND SPEED: 99 MPH
C
WIND EXPOSURE:
APPLICABLE CODES: 2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2018 NATIONAL ELECTRICAL CODE (NEC)
2018 UNIFORM MECHANICAL CODE (UMC)
2018 UNIFORM PLUMBING CODE (UPC)
2018 INTERNATIONAL FIRE CODE (IFC)
2018 BUILDING AND SAFETY DIVISION ADMINISTRATIVE CODE
DEFERRED SUBMITTALS: Roof Trusses

PROJECT TEAM:

GENERAL CONTRACTOR:
GVS Construction, LLC
6470 W Desert Inn Rd Las Vegas, NV - 89146
(702) 202-1211 ext 7 miguel@gvslv.com

NEVADA CONTRACTORS LICENSES:
80553 B-2 LIMIT: \$950,000
83309 C-2G LIMIT: \$200,000
83631 C-3 LIMIT: \$250,000

PROFESSIONAL ENGINEER:
United Structural Design, LLC
2058 S. Dobson Rd. Suite 10, Mesa, AZ 85202
(480) 454-6408 www.unitedstr.com

UNIVERSAL ENGINEERING SCIENCES:
Universal Engineering Sciences
4480 W Hacienda Ave 104, Las Vegas NV- 89118
Cell Office: (702) 873-2199

MEP ENGINEER:
RMS Consulting Engineers, LLC
8046 Torremolinos Ave, Las Vegas NV - 89178
(702) 873-2199 rms@rmscenengineers.com

BUILDING AREA:

LEVEL 1 CONDITIONED: 4,852.18 sq.ft.
LEVEL 2 CONDITIONED: N/A
TOTAL CONDITIONED: 4,852.18 sq.ft.
GARAGE UNCONDITIONED: 848.12 sq.ft.
ENTRY PORCH: 306.86 sq.ft.
REAR PATIO: 420.76 sq.ft.
SIDE PATIO: 53 sq.ft.
TOTAL CONSTRUCTION: 6,480.92 sq.ft.
BUILDING HEIGHT: 24.7 ft

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Design Build Construction Company
Las Vegas, NV
www.gvslv.com

6250 Calm Brook Ct
CC Lone Mountain - 89149
JEAN STOREY

General Notes, Code Info,
Symbols, Keys
APN: 125-29-101-047

SCALE: 8' 0" X 3' 0"

DATE: 10/17/2024

DRAWN BY: MAG

SHEET NUMBER

CS-1

Jurisdiction: CC Lone Mountain - 89149

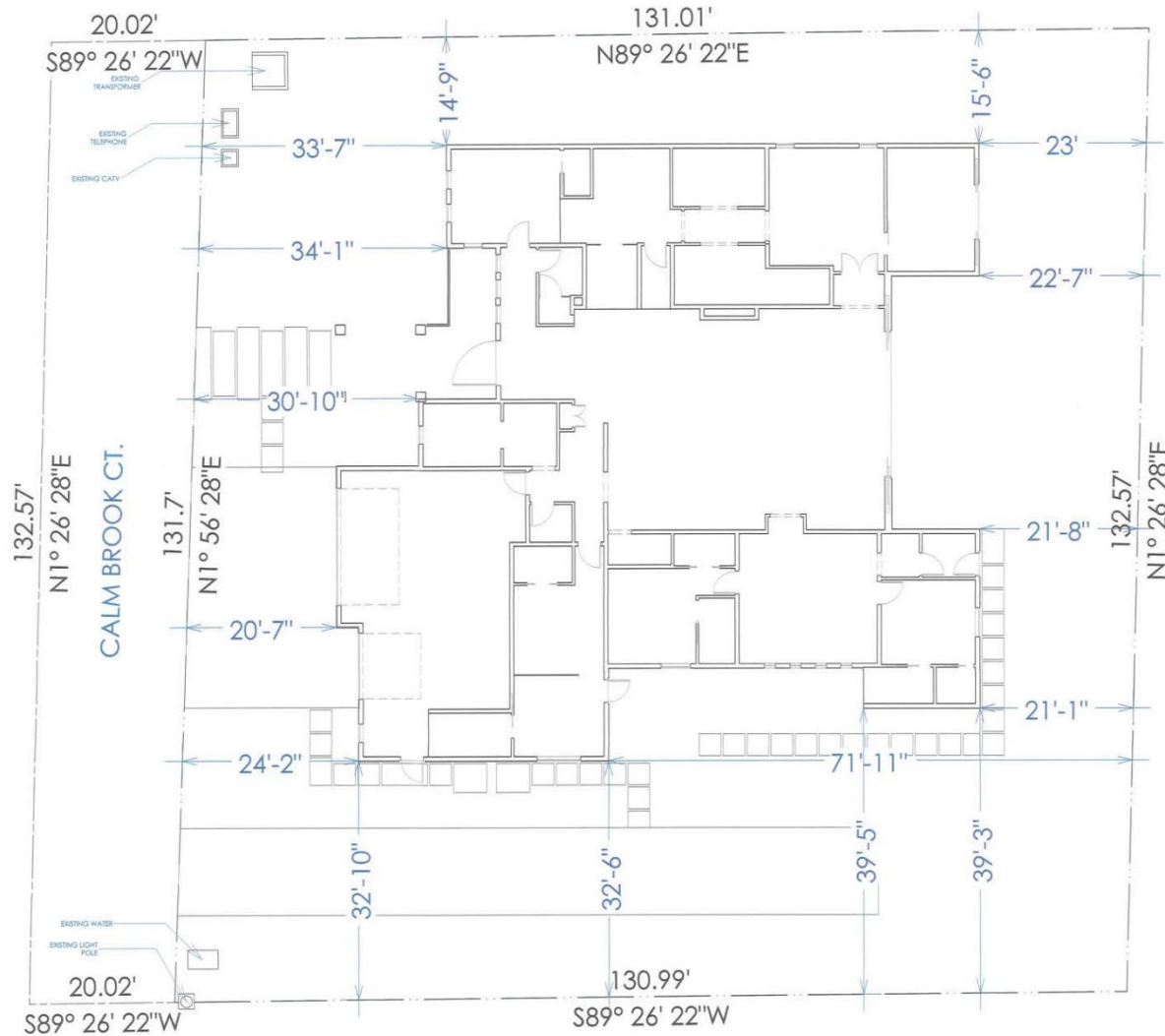
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Project Number: 0105-2410

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FLOOR PLANS



Site Plan/Grading Plan
Scale: 1/8" = 1'-0"



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Quality Construction
10/17/2024

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Site Plan / Grading Plan
APN: 125-29-101-047

SHEET NUMBER
A-1
DATE: 10/17/2024
DRAWN BY: MAG

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FLOOR PLANS

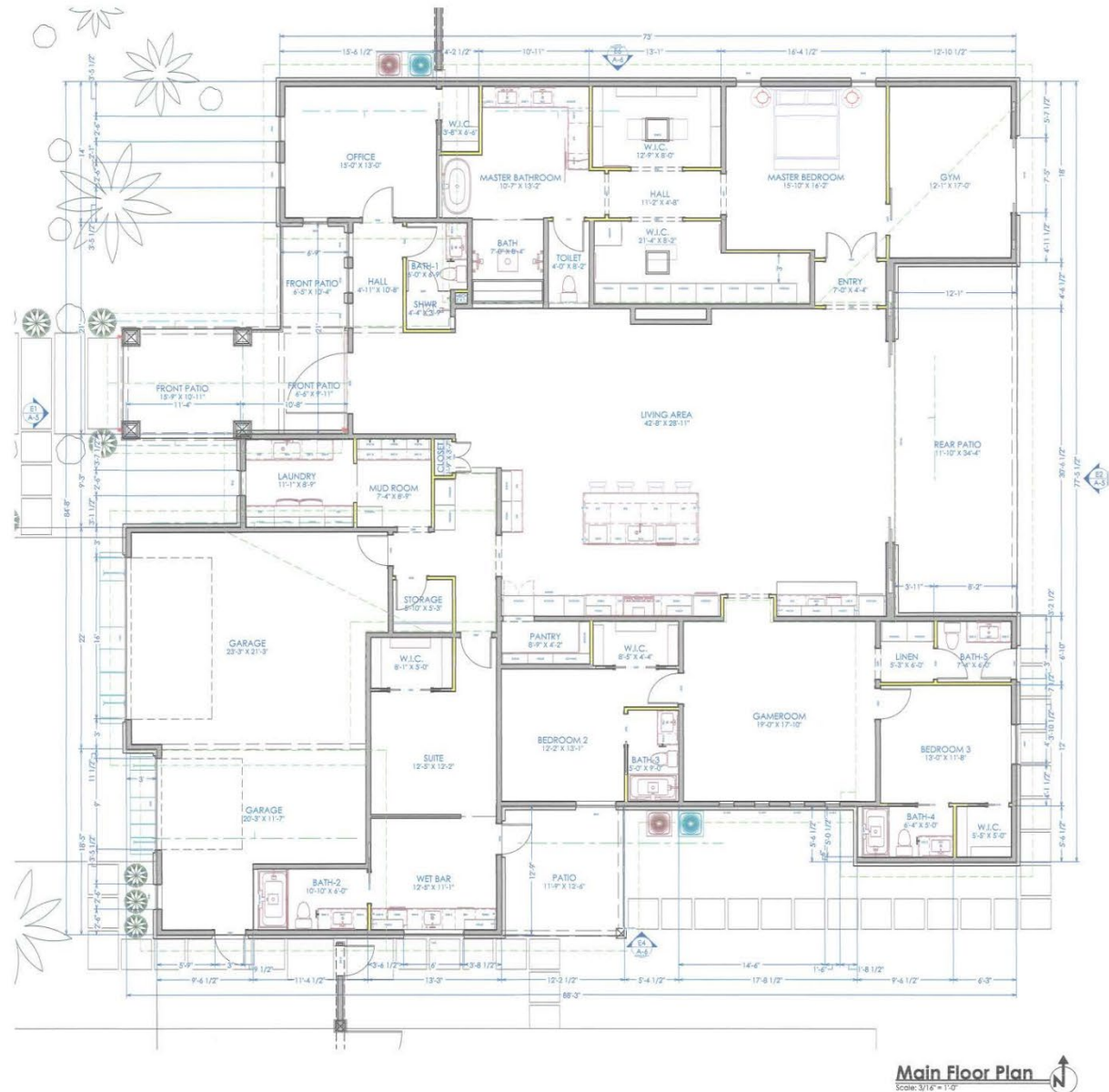
Overview Rendering
FOR ILLUSTRATIONS ONLY NO SCALE

FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
3. Common Walls: Separation must consist of not less than 1/2-inch gypsum board or equivalent applied to the garage side. (IRC Table R302.6).
4. Openings: Any openings between the garage and the residence must be equipped with either solid wood doors not less than 1-3/8 inches in thickness, solid or honeycomb steel doors not less than 1-3/8 inches in thickness, or 20-minute fire-rated doors. (IRC Section R302.5.1).

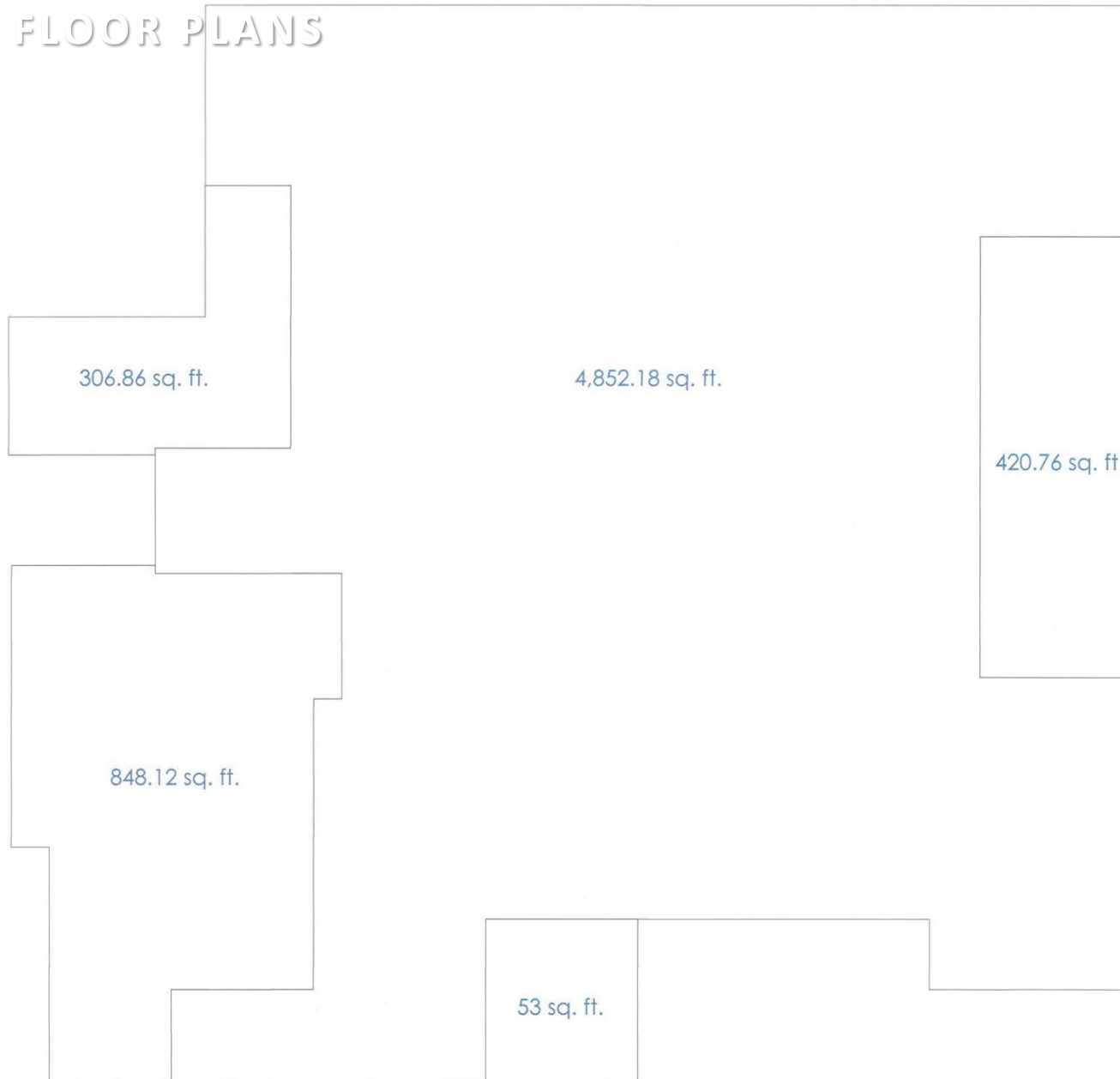
5. **R310.2 Emergency Escape and Rescue Openings:**

- Minimum Opening Area: Each emergency escape and rescue opening must have a minimum net clear opening of 5.7 square feet. (10 square feet clear opening provided). The exception to this is if the opening is located at grade floor or below grade, where the minimum net clear opening is reduced to 5.0 square feet.
- Minimum Opening Height: The minimum net clear opening height for these openings must be at least 24 inches. (Opening Height 2'-0")
- Minimum Opening Width: The minimum net clear opening width must be at least 20 inches. (Opening Width 3'-0")
- Maximum Sill Height: The maximum height of the window sill above the floor must not be more than 44 inches. (Sill Height 2'-4")
- Operational Constraints: Emergency escape and rescue openings must be operational from the inside of the room without the use of keys, tools, or special knowledge.

Main Floor Plan
Scale: 3/16" = 1'-0"

owner approval set 2/15

FLOOR PLANS



UNCONDITIONED



CONDITIONED

Building Area
Scale: 1/4" = 1'-0"



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Design, Build, Construct
Serving Las Vegas Metro Area
Integrity - Full Service - Quality Construction

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Building Area

APN: 125-29-101-047

SHEET NUMBER
A-3

SCALE @ 24" X 36"
DATE: 10/17/2024
DRAWN BY: MAG


Jurisdiction: CC Lone Mountain - 89149

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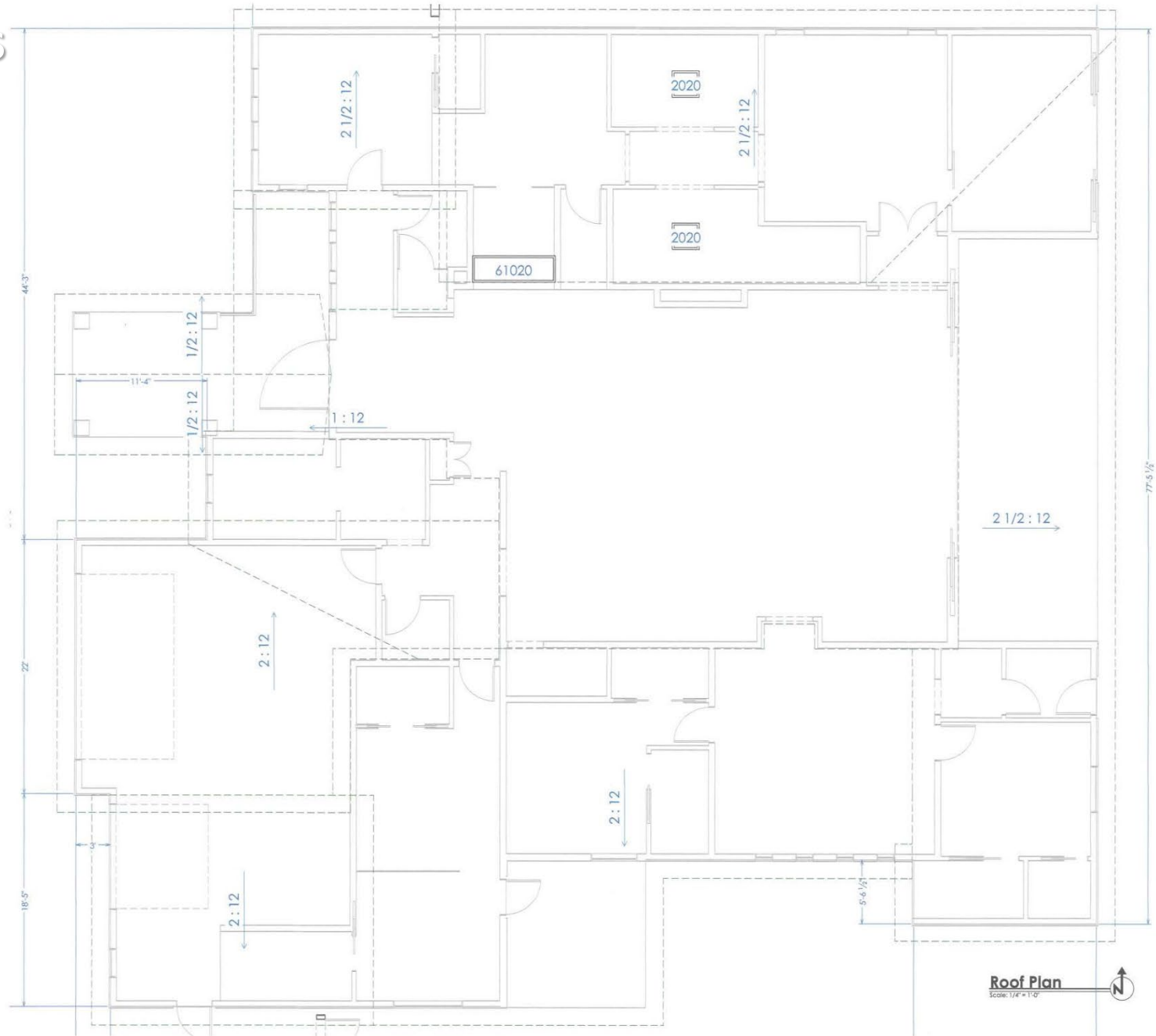


owner approval set 

FLOOR PLANS

Roof Overview Rendering
FOR ILLUSTRATIONS ONLY NO SCALE

Roof Overview Rendering
FOR ILLUSTRATIONS ONLY NO SCALE



Roof Plan
Scale: 1/4" = 1'-0"



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Design Build Construction Company
10/17/2024

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Roof Plan

APN: 125-29-101-047

SHEET NUMBER

SCALE 8" 24" X 36"

DATE: 10/17/2024

DRAWN BY: MAG

A-4

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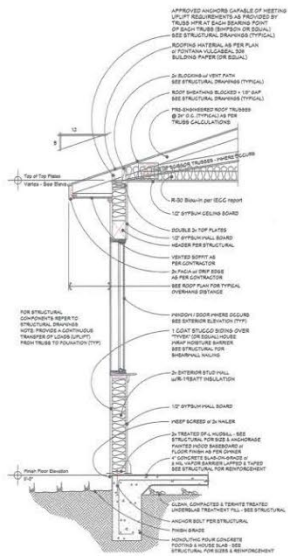


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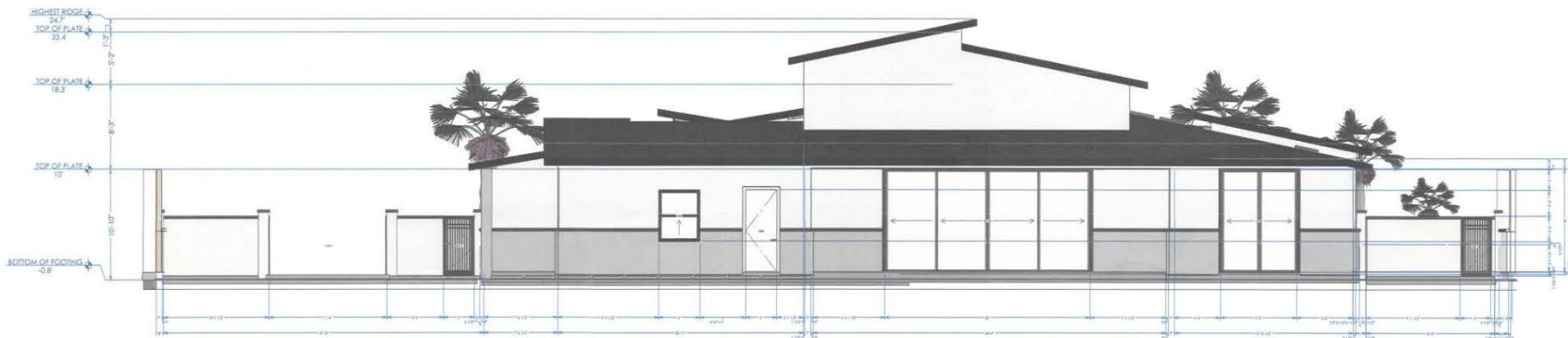
FLOOR PLANS



E-1 Front Elevation
A-5 Scale: 3/16" = 1'-0"



TYPICAL WALL SECTION @ SINGLE STORY



E-2 Rear Elevation
A-5 Scale: 3/16" = 1'-0"



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Design Build Construction Company
Serving Las Vegas Metro Area
Projects: Las Vegas, South Coast

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Front & Rear Elevations
APN: 125-29-101-047

DATE: 10/17/2024
DRAWN BY: MAG

A-5

Project Number: 0105-2410

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Jurisdiction: CC Lone Mountain - 89149

et 

FLOOR PLANS



E-3 Side Elevation
A-6 Scale: 3/16" = 1'-0"



E-4 Side Elevation
A-6 Scale: 3/16" = 1'-0"

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Side Elevations

APN: 125-29-101-047

SHEET NUMBER

SCALE @ 24" X 36"

DRAWN BY: MAG

A-6

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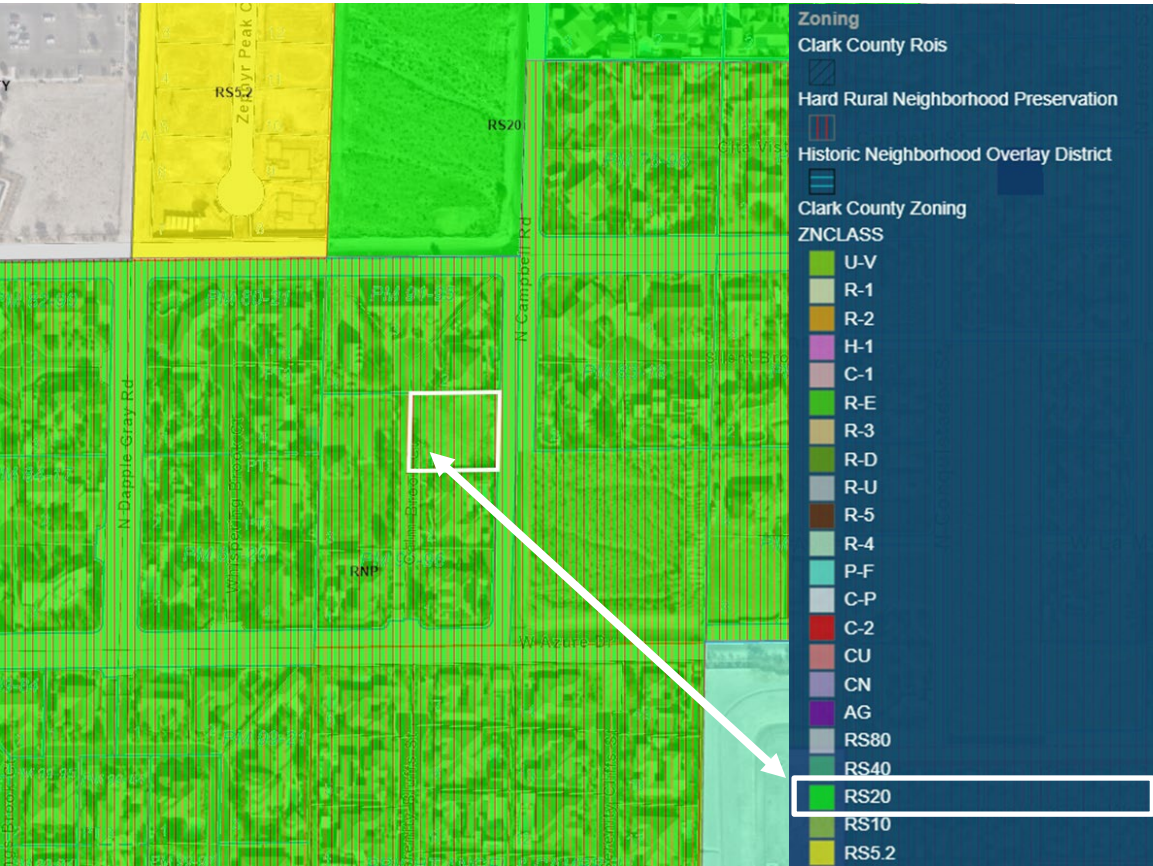
WEST FACING OVERVIEW




Drone Flight Date: October 23, 2025

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ZONING MAP & POPULATION



Zoning	RS20
Density Cap	18 dwelling units per acre (gross)
Use Type	Custom lot, multi-family residential
Open Space	Required under PUD at $1.65\% \times \text{density} \times 35\%$
Design Requirements	Enhanced streetscape, architecture, parking, landscaping

Population:	1 Mile:	17,575
	3 Miles:	114,658
	5 Miles:	330,318

Residential Single-Family 20 (RS20) - This is established to accommodate low-density, single-family residential development and agricultural uses.

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