



SUN BELT
DEVELOPMENT & REALTY PARTNERS, LLC

RESIDENTIAL VACANT LAND
LAS VEGAS, NV



FOR SALE
 \pm 0.46 AC VACANT LAND
RESIDENTIAL
\$495,000

W Red Azure Dr & Calm Brook Ct
Las Vegas, NV

WEST FACING OVERVIEW



Drone Flight Date: August 13, 2025



Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.

TOP-DOWN VIEW

W REGENA AVE

N CAMPBELL RD

APN: 125-29-101-047

Drone Flight Date: August 13, 2025



Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.

AMENITIES



Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.

POINTS OF INTEREST

NORTH LAS VEGAS AIRPORT: 16 MIN



LAS VEGAS STRIP: 26 MIN



HARRY REID INTERNATIONAL AIRPORT: 30 MIN

SUBJECT PROJECT



LONE MOUNTAIN: 10 MIN



Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.



RANGE MAP

POINTS OF INTEREST

LOCATION

- > 25 minute drive to Red Rock Canyon
- > 40 minute drive to Mt Charleston

CONNECTIVITY

Lone Mountain.....	4 mi • 10 min
North Las Vegas Airport.....	9 mi • 18 min
North Las Vegas.....	12 mi • 25 min
Summerlin.....	11 mi • 20 min
Las Vegas Strip.....	20 mi • 30 min
Harry Reid International Airport.....	28 mi • 33 min
Henderson.....	32 mi • 47 min

LEGEND

- 10 Minute Drive
- 40 Minute Dive

FLOOR PLANS

JEAN STOREY

UNIT 1 - LOT 1 - SECTION 29

6250 CALM BROOK CT, CC LONE MOUNTAIN - 89149

RENDERING
FOR ILLUSTRATION ONLY

ENLARGED AERIAL MAP:



SCOPE WORK:

New Construction Family Residence
Including Architectural, Structural, Electrical, Mechanical, Plumbing, and Civil Drawings.

CODE SUMMARY:

PROJECT NAME: Jean Storey
ADDRESS: 6250 Calm Brook Ct
APN: 125-29-101-047

CONSTRUCTION TYPE:

V-8

ZONING:

R1-B

OCCUPANCY CLASSIFICATION: Group R-3

FIRE SPRINKLERS:

N/A

FLOORS:

1

SEISMIC DESIGN CATEGORY :

D

WIND SPEED:

95 MPH

WIND EXPOSURE:

C

APPLICABLE CODES:

2018 INTERNATIONAL BUILDING CODE (IBC)

2018 INTERNATIONAL RESIDENTIAL CODE (IRC)

2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

2018 NATIONAL ELECTRICAL CODE (NEC)

2018 UNIFORM MECHANICAL CODE (UMC)

2018 UNIFORM PLUMBING CODE (UPC)

2018 INTERNATIONAL FIRE CODE (IFC)

2018 BUILDING AND SAFETY DIVISION ADMINISTRATIVE CODE

DEFERRED SUBMITTALS:

Roof Trusses

VICINITY MAP CODE:



PROJECT TEAM:

GENERAL CONTRACTOR:
GVS Construction, LLC
6470 W Desert Inn Rd Las Vegas, NV - 89146
(702) 202-1211 ext 7 miguel@gsvlv.com

NEVADA CONTRACTORS LICENSES:
80553 B-2 LIMIT: \$750,000

83309 C-2G LIMIT: \$200,000

83431 C-3 LIMIT: \$250,000

PROFESSIONAL ENGINEER:
United Structural Design, LLC
2058 S. Dobson Rd. Suite 10, Mesa, AZ 85202
(480) 454-6408 www.unitedstr.com

UNIVERSAL ENGINEERING SCIENCES:
Universal Engineering Sciences
4480 W Hacienda Ave 104, Las Vegas NV- 89118
Cell Office: (702) 873-2199

MEP ENGINEER:
RMS Consulting Engineers, LLC
8046 Torremolinos Ave, Las Vegas NV - 89178
(702) 873-2199 rms@rmsengineering.com

BUILDING AREA:

LEVEL 1 CONDITIONED: 4,852.18 sq.ft.
N/A
LEVEL 2 CONDITIONED: N/A

TOTAL CONDITIONED: 4,852.18 sq.ft.

GARAGE UNCONDITIONED: 848.12 sq.ft.

ENTRY PORCH: 306.86 sq.ft.

REAR PATIO: 420.76 sq.ft.

SIDE PATIO: 53 sq. ft.

TOTAL CONSTRUCTION: 6,480.92 sq.ft.

BUILDING HEIGHT: 24.7 ft

GVS Construction, LLC
6470 W Desert Inn Rd Las Vegas, NV - 89146
(702) 202-1211 ext 7 miguel@gsvlv.com

PROJECT INDEX

C-1	GENERAL NOTES, CODE INFO, SYMBOLS, KEYS	S1	GENERAL, STRUCTURAL NOTES
C-2	SITE INFORMATION SHEET	S2	FOUNDATION PLAN
A-N	ARCHITECTURAL NOTES	S3	FOUNDATION PLAN
A-1	MAIN PLAT & GRADING PLAN	S4	STRUCTURAL FRAMING PLAN
A-2	MAIN ALCOVE PLAN	S5	DETAILS
A-3	BUILDING AREA	S6	DETAILS
A-4	FRONT & REAR ELEVATIONS	S7	DETAILS
A-5	SIDE ELEVATIONS	S8	DETAILS
A-6	FRONT PLAN	S9	DETAILS
A-8	3D SECTIONS	S10	DETAILS
A-9	ROOF PLANS	S11	DETAILS
A-10	DETAILS	S12	DETAILS
A-11	DOOR & WINDOW SCHEDULE	S13	DETAILS
A-12	DOOR & WINDOW PERSPECTIVES	S14	DETAILS
A-13	KITCHEN PLAN & ELEVATIONS	S15	DETAILS
A-14	BATH PLAN & ELEVATIONS	S16	DETAILS
E-01	SINGLE LINE DIAGRAM AND LOAD CALCULATION	S17	DETAILS
E-02	STRUCTURAL CONSTRUCTION DETAILS	S18	DETAILS
E-03	MECHANICAL CONSTRUCTION DETAILS	S19	DETAILS
P-02	MECHANICAL SPECIFICATIONS	S20	DETAILS
P-03	MECHANICAL DIAGRAMS	S21	DETAILS
P-04	MECHANICAL PLANS	S22	DETAILS
P-05	DOMESTIC WATER & GAS	S23	DETAILS
P-1-0	WASTE AND VENT PLAN	S24	DETAILS
M-00	MECHANICAL SYSTEMS	S25	DETAILS
M-01	SPECIFICATIONS	S26	DETAILS
M-02	MECHANICAL CONSTRUCTIONS	S27	DETAILS
M-03	MECHANICAL DIAGRAMS	S28	DETAILS
M-04	SCHEDULES	S29	DETAILS
M-05	MECHANICAL PLANS	S30	DETAILS
M-6	MECHANICAL PLANS	S31	DETAILS
		S32	DETAILS
		S33	DETAILS

General Notes, Code Info,
Symbols, Keys

APN: 125-29-101-047

Jurisdiction: CC Lone Mountain - 89149

SC 24" x 36"

DATE: 10/17/2024

DRAWN BY: MAG

DRAWN BY: MAG

CS-1

SHEET NUMBER

Project Number: 0105-2410

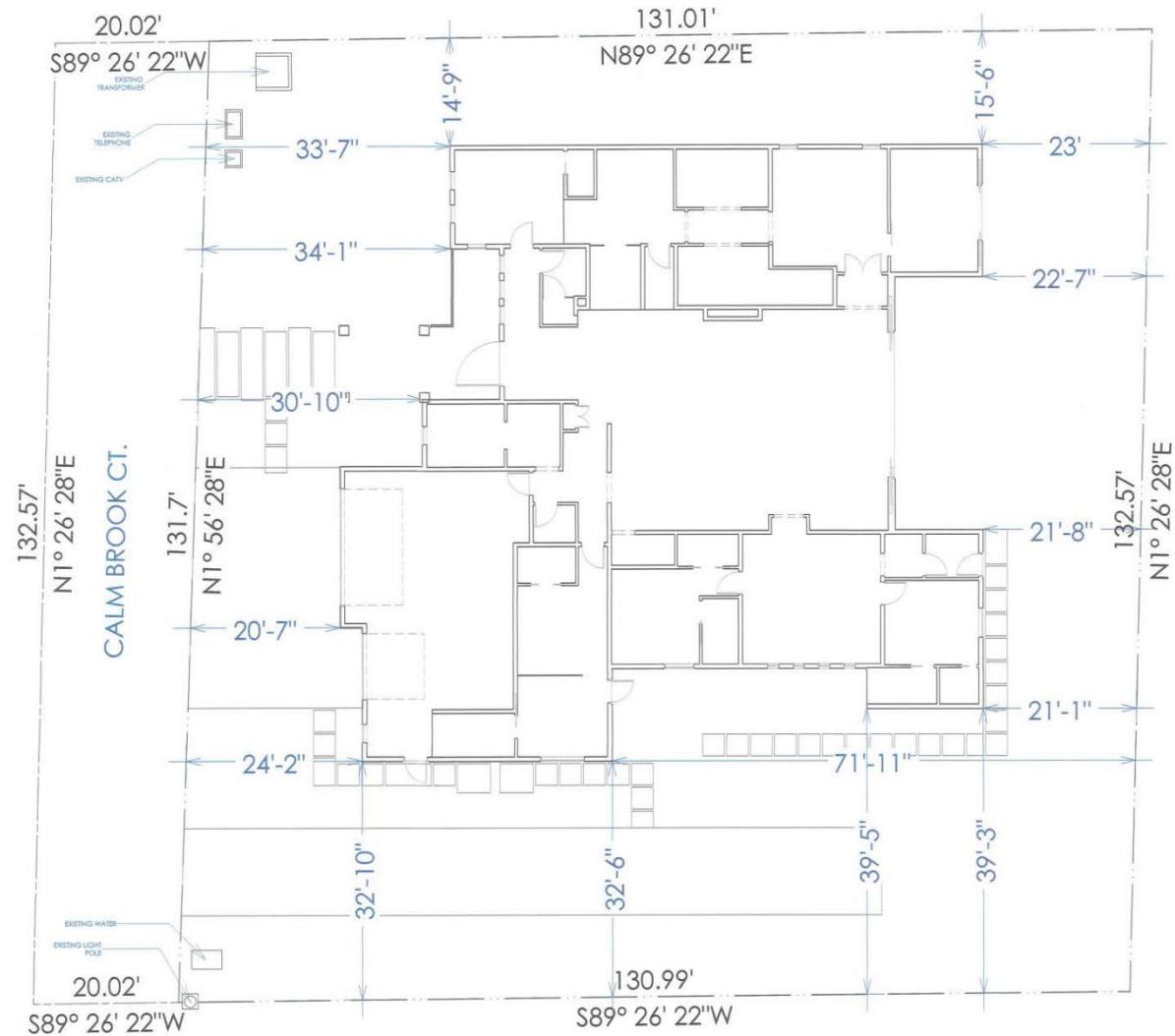
Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.

 SUNBELT
DEVELOPMENT & REALTY PARTNERS, LLC



owner approval set *[Signature]*

FLOOR PLANS



Site Plan/Grading Plan *[Signature]*

©GVS CONSTRUCTION, LLC. ALL RIGHTS RESERVED. DUPLICATION AND DISTRIBUTION OF THE PLAN WITHOUT WRITTEN PERMISSION IS PROHIBITED.

Project Number: 0105-2410

Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.



JEAN STOREY

Site Plan / Grading Plan
6250 Calm Brook Ct
CC Lone Mountain - 89149
APN: 125-29-101-047

SCALE: 1/8" = 1'-0"
DATE: 10/17/2024
DRAWN BY: MAG

SHEET NUMBER:
A-1

Jurisdiction: CC Lone Mountain - 89149

FLOOR PLANS

Overview Rendering

FOR ILLUSTRATIONS ONLY



FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER.

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

3. Common Walls: Separation must consist of not less than 1/2-inch gypsum board or equivalent applied to the garage side. (IRC Table R302.6).

4. Openings: Any openings between the garage and the residence must be equipped with either solid wood doors not less than 1-3/8 inches in thickness, solid or honeycomb steel doors not less than 1-3/8 inches in thickness, or 20-minute fire-rated doors. (IRC Section R302.5.1).

E310.2 Emergency Escape and Rescue Openings:

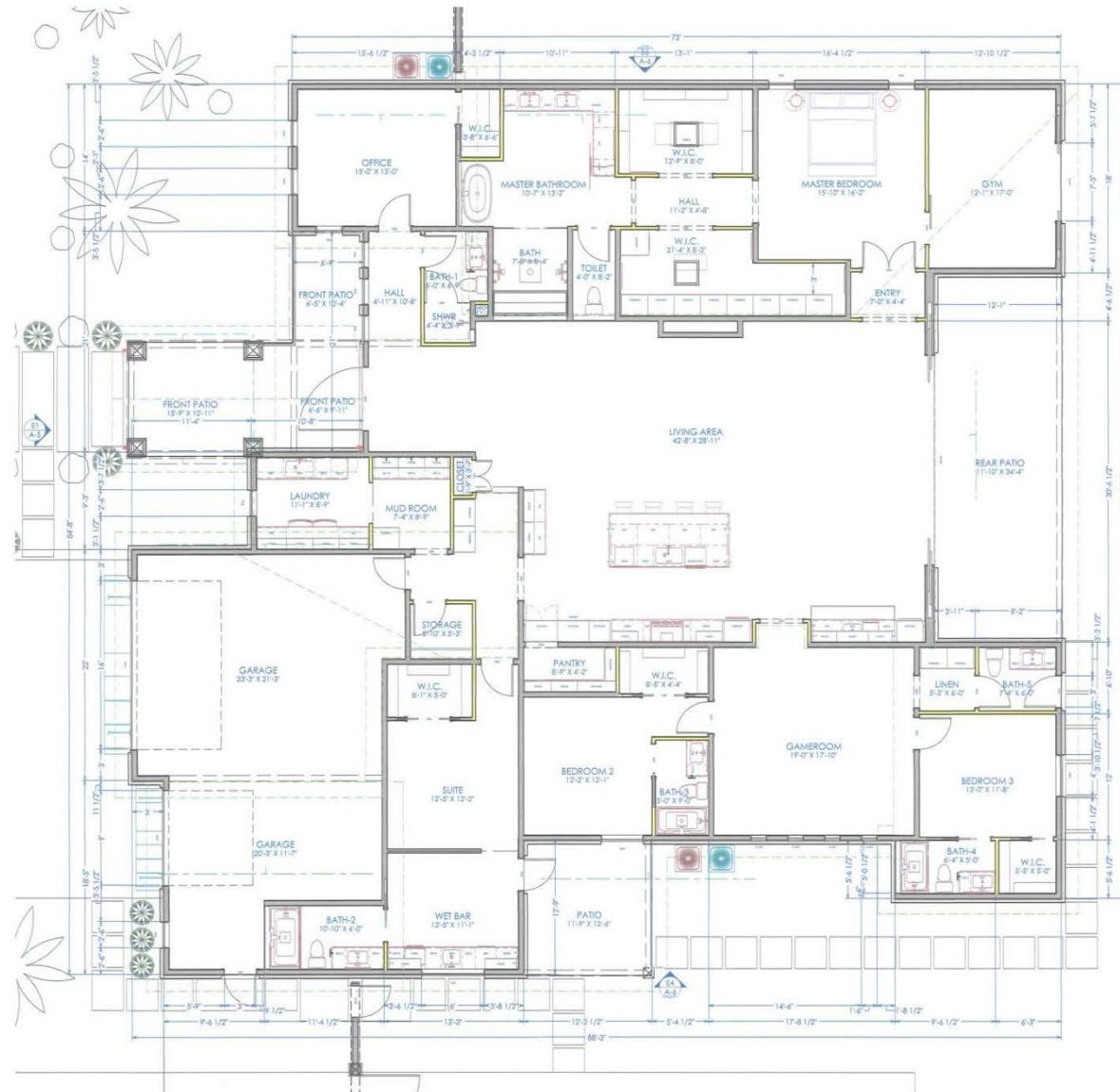
- Minimum Opening Area: Each emergency escape and rescue opening must have a minimum net clear opening of 5.7 square feet. (16 square feet clear opening grows to 5.7 square feet upon the completion to the building grade, where the minimum net clear opening is reduced to 5.0 square feet).

- Minimum Opening Height: The minimum net clear opening height for these openings must be at least 24 inches. (Opening Height 4'-0")

- Minimum Opening Width: The minimum net clear opening width must be at least 20 inches.

- Maximum Sill Height: The maximum height of the window sill above the floor must not be more than 44 inches. (Sill Height 24")

- Operational Constraints: Emergency escape and rescue openings must be operational from the inside of the room without the use of keys, tools, or special knowledge.



Main Floor Plan

Scale: 3/16" = 1'-0"

Project Number: 0105-2410

SHEET NUMBER

A-2

DRAWN BY: MAG

DATE: 10/17/2024

Main Floor Plan

APN: 125-29-101-047

Jurisdiction: CC Lone Mountain - 89149

GVS Construction, LLC

6470 W Desert Inn, Las Vegas, Nevada, 89116

702-202-1211 ext. 7

Design/Build Construction Company

Serving Las Vegas Metro Areas

Boulder, Paradise, and Clark Counties

GVS

www.gvs.com

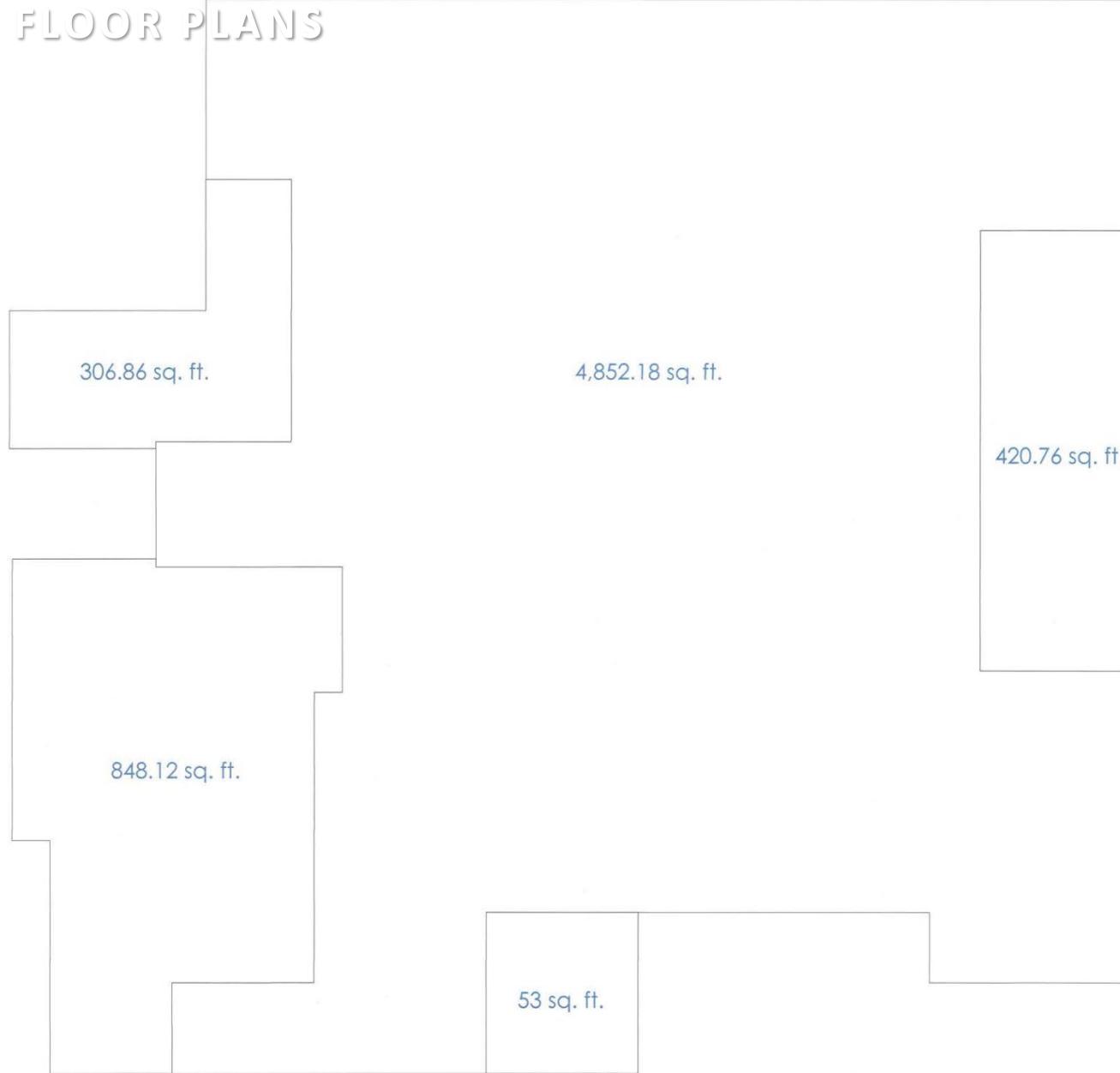
10/17/2024

10/17/2024

Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.

owner approval set *[Signature]*.

FLOOR PLANS



UNCONDITIONED
CONDITIONED

Building Area
Scale: 1/4" = 1'-0"

©GVS CONSTRUCTION, LLC. All rights reserved. Duplication and distribution of this plan without written permission is prohibited.

Project Number: 0105-2410

A-3

Building Area
APN: 125-29-101-047

Sheet Number: A-3
Scale: 1/4" = 1'-0"
Date: 10/17/2024
Drawn by: MAG

Jurisdiction: CC Lone Mountain - 89149

GVS
GVS Construction, LLC
6470 W Desert Inn, Las Vegas, Nevada, 89146.
www.gsvs.com
Design Build Construction Company
Serving Las Vegas, Metro Areas
Integrity, Integrity, Quality Construction
10/17/2024

Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.

 **SUNBELT**
DEVELOPMENT & REALTY PARTNERS, LLC

owner approval set 

FLOOR PLANS

Roof Overview Rendering

FOR ILLUSTRATIONS ONLY NO SCALE

© GVS CONSTRUCTION, LLC. ALL RIGHTS RESERVED. DUPLICATION AND DISTRIBUTION OF THIS PLAN WITHOUT WRITTEN PERMISSION IS PROHIBITED.

THIS PLAN WITHOUT WRITTEN PERMISSION IS PROHIBITED

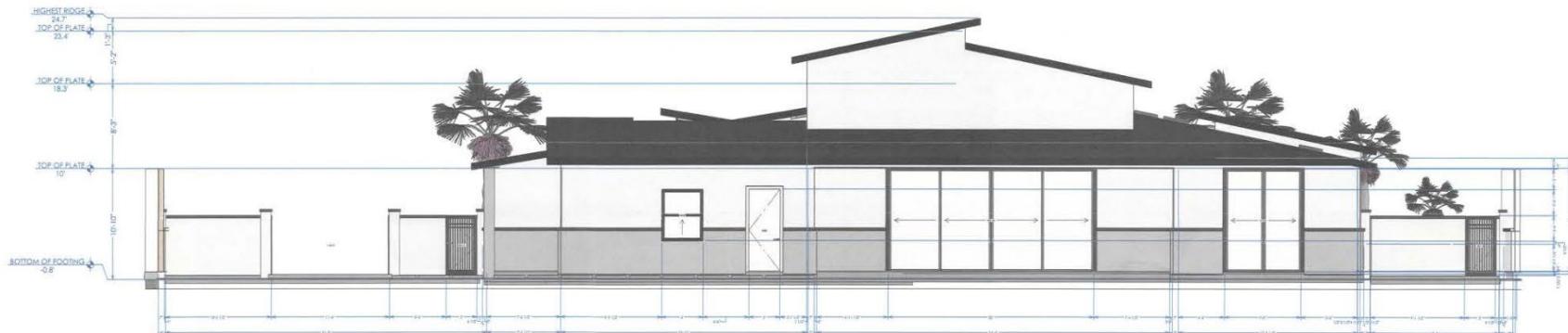
Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.



FLOOR PLANS



TYPICAL WALL SECTION @ SINGLE STORY



E-2 Rear Elevation
A-5 Scale: 3/16" = 1'-0"

© GOVS CONSTRUCTION, LLC. ALL RIGHTS RESERVED. DUPLICATION AND DISTRIBUTION OF THIS PLAN WITHOUT WRITTEN PERMISSION IS PROHIBITED.

Project Number: 0105-2410

A-5

APN: 125-29-101-047

JEAN STOREY

GV\$ Construction, LLC 6470 W. Desert Inn Rd., Las Vegas, Nevada 89118 (702) 495-0003

Construction, LLC
1000 E. Flamingo Rd., Suite 100
Las Vegas, NV 89119
(702) 733-1211 ext. 7
www.gvslv.com
Design Build Construction Company
Serving Las Vegas Metro Areas

 GVS

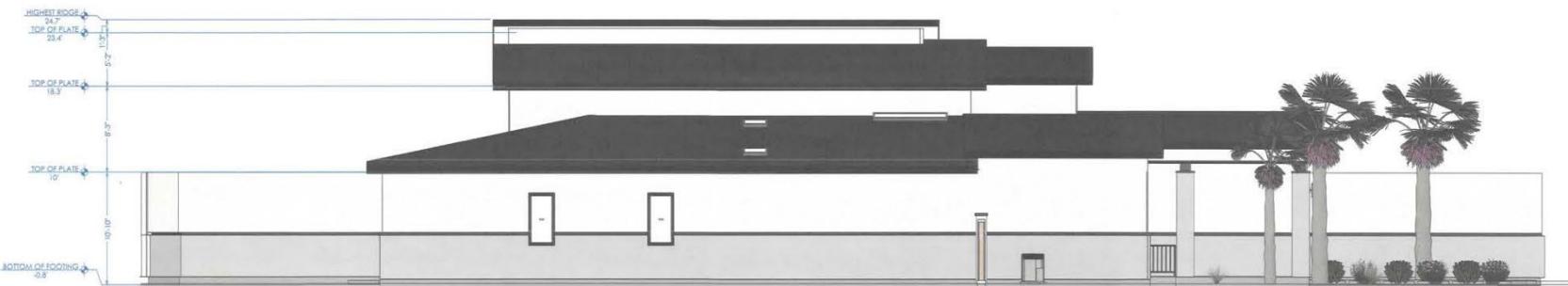
Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.



FLOOR PLANS



E-3 Side Elevation
A-6 / Scale: 3/16" = 1'-0"



E-4 Side Elevation
A-6 / Scale: 3/16" = 1'-0"



6250 Calm Brook Ct
CC Lone Mountain - 89149
JEAN STOREY

Side Elevation

APN: 125-29-101-047

Jurisdiction: CC Lone Mountain - 89149

SC 24 X 36"
DATE: 10/17/2024
DRAWN BY: MAG

A-6

© GVS CONSTRUCTION, LLC. ALL RIGHTS RESERVED. DUPLICATION AND DISTRIBUTION OF THIS PLAN WITHOUT WRITTEN PERMISSION IS PROHIBITED.

Project Number: 0105-2410

Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.

 **SUNBELT**
DEVELOPMENT & REALTY PARTNERS, LLC

WEST FACING OVERVIEW



Drone Flight Date: October 23, 2025

Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.



ZONING MAP & POPULATION



Zoning	RS20
Density Cap	18 dwelling units per acre (gross)
Use Type	Custom lot, multi-family residential
Open Space	Required under PUD at $1.65\% \times \text{density} \times 35\%$
Design Requirements	Enhanced streetscape, architecture, parking, landscaping

Population:



1 Mile:

17,575

3 Miles:

114,658

5 Miles:

330,318

Residential Single-Family 20 (RS20) - This is established to accommodate low-density, single-family residential development and agricultural uses.

Information is deemed to be reliable but is not guaranteed. The Buyer should conduct an independent investigation to determine the suitability of the property.