

**Erosion Control and Grading Notes**

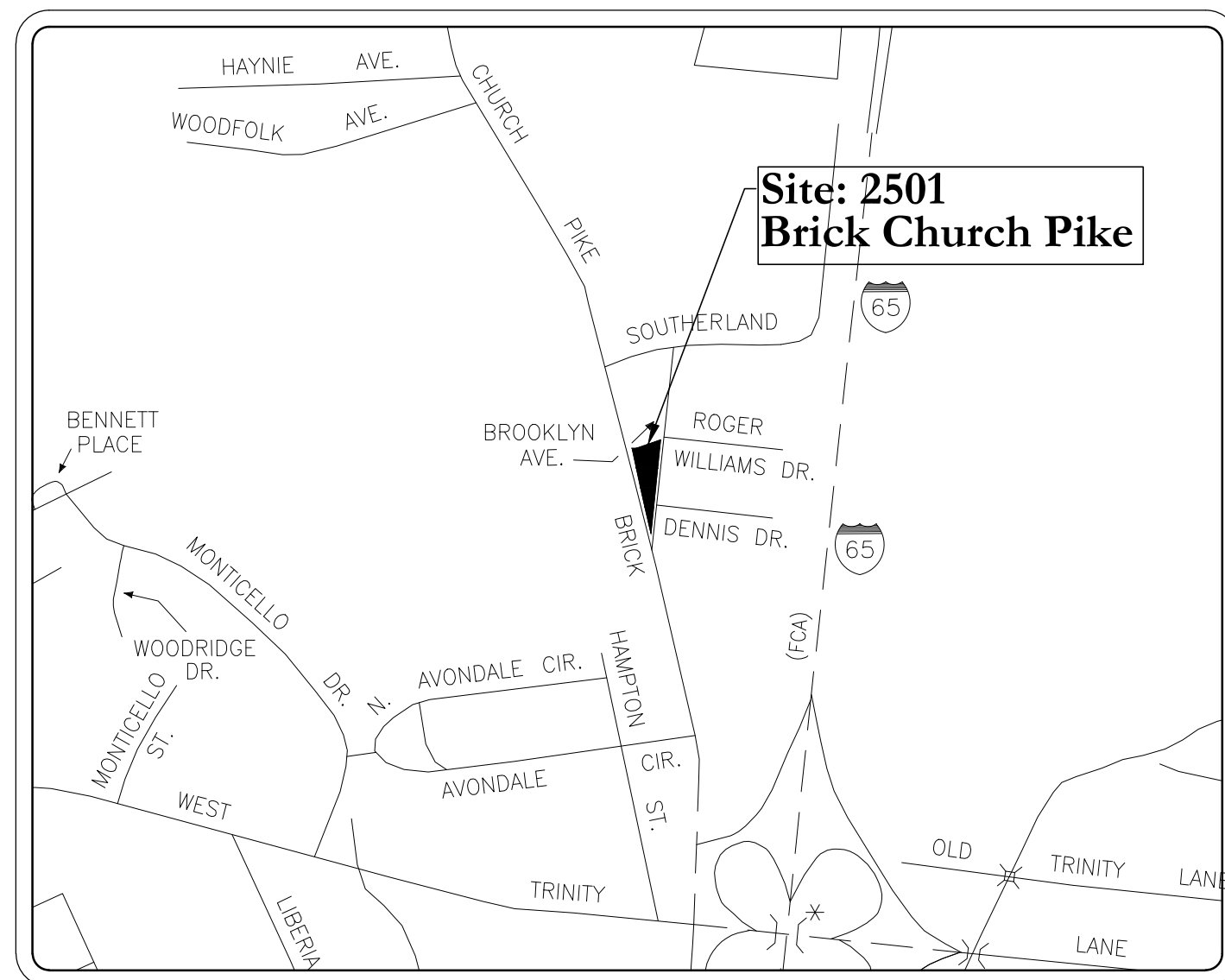
- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 10-10-10 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 6" thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with NPDES department during the pre-construction meeting. Grading permittee to include bmp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the EPSC plan.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.

**Public Works Notes**

- All work within the public right of way requires an excavation permit from the department of public works.
- Proof-rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance.
- Stop signs are to be 30 inch by 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.
- All pavement marking are to be thermoplastic.

**Landscape Notes**

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities, the landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12#/1000 s.f. of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4" minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- All wire baskets shall be completely removed and disposed of, burlap should be removed or punctured in at least 5 places. Remove all twine from burlapped materials.
- Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
- Lighting plan to be coordinated with proposed planting plan. no light poles to be located in tree islands. See lighting plan for proposed light locations.



**SHEET SCHEDULE**

- C0.0 Cover Sheet
- C1.0 Existing Conditions & Erosion Control Plan
- C2.0 Grading Exemption Plan & SUP
- L1.0 Landscape Plan

Grading Exemption Plan  
**2501 Brick Church Pike**  
 Parcel 93 on Tax Map 71-02  
 Nashville, Davidson County, Tennessee

|                                                                                   |                                                     |
|-----------------------------------------------------------------------------------|-----------------------------------------------------|
| USE - CHAPTER 17.08 & 17.16                                                       |                                                     |
| <b>SITE DATA TABLE</b>                                                            |                                                     |
| PROPOSED USE                                                                      | Parking / Food Truck (Restaurant Take out)          |
| PROPERTY ZONING                                                                   | IWD                                                 |
| SURROUNDING ZONING                                                                | IWD/R8                                              |
| USE CHARTS:                                                                       | PERMITTED                                           |
| <b>SITE CRITERIA</b>                                                              |                                                     |
| SUBDIVISION PLAT                                                                  | INTERSECTION BRICK CH PK & BROOKLYN AVE             |
| MINIMUM LOT SIZE                                                                  | N/A                                                 |
| DENSITY                                                                           | N/A                                                 |
| Floor Area Ratio                                                                  | 0.80 MAX                                            |
| ISR - Adjustments / Slopes over 15%                                               | 0.90 MAX                                            |
| STREET SETBACKS:                                                                  | 5' From R.O.W.                                      |
| SIDE YARD                                                                         | N/A                                                 |
| REAR YARD                                                                         | 20 ft Min.                                          |
| HEIGHT STANDARDS                                                                  | 30' then 1.5 to 1 (V to H)                          |
| <b>PARKING AND ACCESS - CHAPTER 17.20</b>                                         |                                                     |
| RAMP LOCATION AND NUMBER                                                          | (1) off Brooklyn Ave                                |
| DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')                                   | 270' to the North                                   |
| DISTANCE TO INTERSECTION                                                          | 100' to the North                                   |
|                                                                                   | 50' MINOR STREET<br>100' COLLECTOR                  |
|                                                                                   | 185' ARTERIAL STREET<br>250' CONTROLLED ACCESS RAMP |
| REQUIRED PARKING BASED ON USES                                                    | 1 Stall per 100 SF = 3 Stall Required               |
| PROPOSED PARKING                                                                  | 4 Surface Stall Proposed                            |
| SPACE SIZES, AISLE WIDTHS, ANGLE DATA                                             | N/A                                                 |
| REQUIRED LOADING BASED ON USES                                                    | N/A                                                 |
| SURFACING OVER 5 SPACES 1,750 SQ. FT.                                             | N/A                                                 |
| QUEUING LANES                                                                     | N/A                                                 |
| OVER 10 SPACES 20' QUEUING AT EXIT                                                | N/A                                                 |
| NUMBER OF COMPACT SPACES / %                                                      | None                                                |
| NUMBER OF ACCESSIBLE SPACES                                                       | N/A                                                 |
| SIDEWALKS REQUIRED                                                                | N/A                                                 |
| <b>LANDSCAPING STANDARDS - CHAPTER 17.24</b>                                      |                                                     |
| REQUIRED BUFFERYARDS                                                              | Bufferyard to Rear, Along Floodway                  |
| BUFFERYARD ADJUSTMENT                                                             | N/A                                                 |
| PERIMETER LANDSCAPING                                                             | Provided                                            |
| STANDARD FOR 4 OR MORE LANES                                                      | N/A                                                 |
| SIDE LINES ADJACENT TO PARKING AREAS 5' MINIMUM WITH TREES-2.5' WITH TREE ISLANDS | N/A                                                 |
| INTERIOR LANDSCAPING MINIMUM 8% AREA                                              | Provided                                            |
| OPAOUE FENCE ADJACENT TO RESIDENTIAL PARKING AREA                                 | N/A                                                 |
| SCREENING AROUND DUMPSTERS (NO CHAIN LINK FENCE PERMITTED)                        | N/A                                                 |
| TREE DENSITY                                                                      | See Landscape Compliance Plan                       |

**Property Information**  
 2501 Brick Church Pike  
 Nashville, Tennessee 37207  
 0.69 Total Acres (0.15 Acres Disturbed)  
 Council District 02: Toombs

**Owner/Developer**  
 COCKRELL-COLEMAN, TREHON  
 5911 E Hampton St  
 Tucson, AZ 85712  
 Email: taccservices@gmail.com  
 Phone: 615.830.1737

**Civil Engineer**  
 Dale & Associates  
 516 Heather Place  
 Nashville, Tennessee 37204  
 Contact: Michael Garrigan, PE  
 Phone: 615.297.5166  
 Email: michael@daleandassociates.net

**Surveyor**  
 Wamble & Associates, PLLC  
 216 Centerview Dr., Suite 180  
 Brentwood, Tennessee 37027  
 Phone: 615.251.9555

**Flood Note**  
 This Property Does lie within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map (FIRM) Number 47037C0234H dated April 5, 2017.

**Benchmark**  
 Fire Hydrant Tag Bolt 7824  
 Elev: 502.14'  
 V: NAVD88  
 H: NAD83



**PERMITS:**

**Dale & Associates**  
 Civil Engineering  
 Land Planning & Zoning  
 Surveying

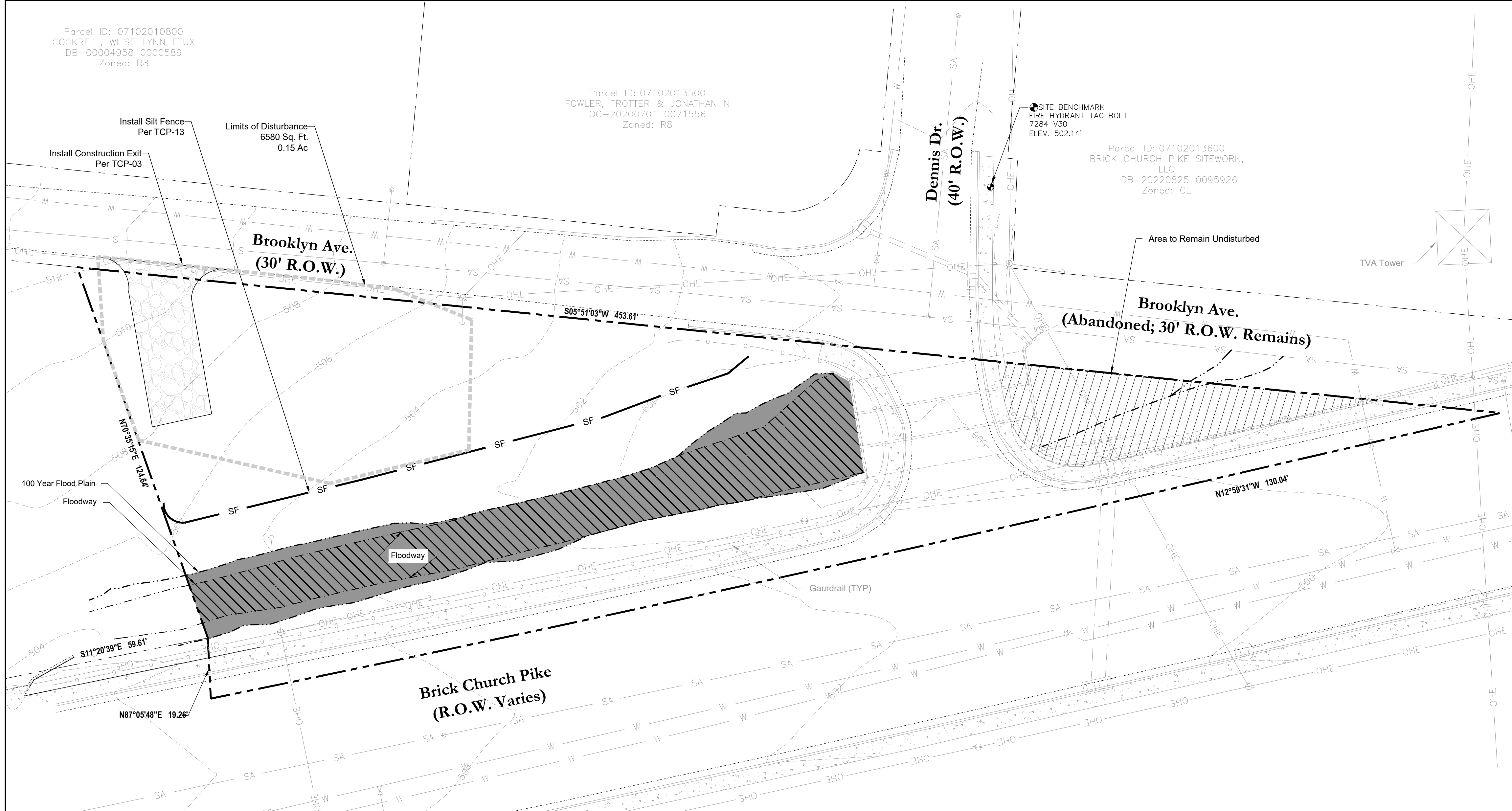
516 Heather Place  
 Nashville, TN 37204  
 (615) 297-5166

D&A Project #24003  
 2501 Brick Church Pike  
**C0.0**

Parcel ID: 07102010800  
 COCKRELL, WILSE LYNN ETUX  
 DB-00004958 0000589  
 Zoned: R8

Parcel ID: 07102013500  
 FOWLER, TROTTER & JONATHAN N  
 QC-20200701 0071556  
 Zoned: R8

Parcel ID: 07102013600  
 BRICK CHURCH PIKE SITEWORK,  
 LLC  
 DB-20220825 0095926  
 Zoned: CL



**Erosion Control and Grading Notes**

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I, WLO, AS THE "CERTIFIED" EROSION CONTROL SPECIALIST FOR THIS SITE, HAVE REVIEWED AND APPROVED THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S OF THIS PLAN ON  
 July 10, 2024  
 DATE

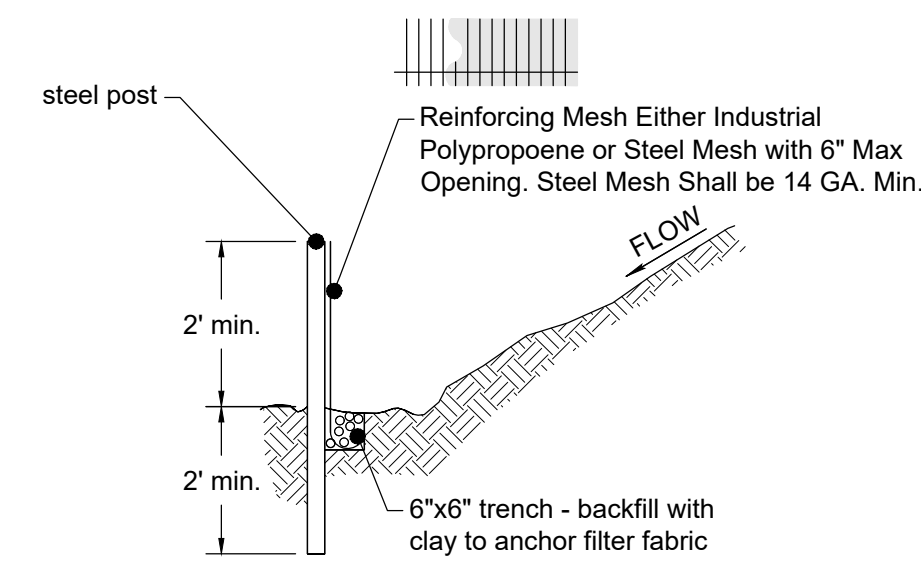
I HEREBY CERTIFY THAT THIS PROJECT DOES NOT REQUIRE COVERAGE UNDER A TENNESSEE CONSTRUCTION GENERAL PERMIT. THE TOTAL DISTURBED AREA IS 0.15 ACRES.

CHECK ALL THAT APPLY. THIS SITE DISCHARGES INTO WATERS IDENTIFIED BY TDEC AS:  
 Impaired for siltation  Impaired for habitat alteration  
 Exceptional

WLO July 10, 2024  
 ENGINEER DATE

**EPSC NOTES**

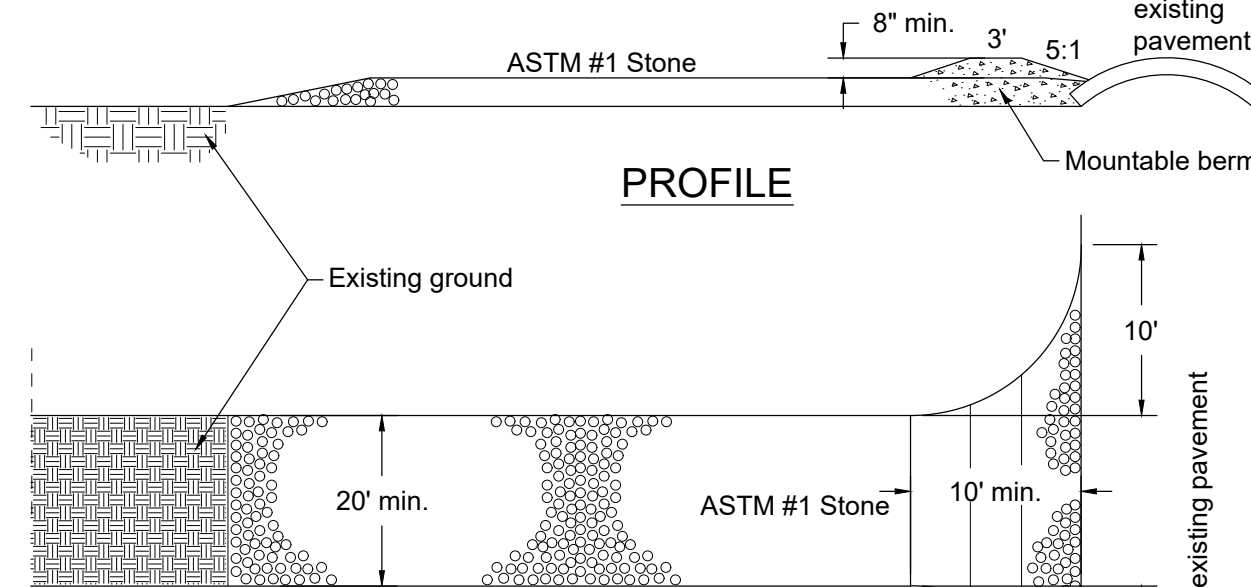
- ALL PERIMETER EPSC MEASURES MUST BE IN PLACE PRIOR TO GRADING.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS WITH SLOPES GREATER THAN OR EQUAL TO 3:1 SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ALL SLOPES 3:1 OR GREATER AND CHANNEL SIDE SLOPES TO RECEIVE EROSION CONTROL MATTING (SEE DETAIL).



**SILT FENCE W/ BACKING DETAIL**  
 REFER TO METRO DETAIL TCP-13

- Silt Fence Notes:
- Non Woven Geotextile Filter fabric fence to be placed prior to start of rough grading.
  - Steel posts shall be approved by owner prior to use.
  - Wood posts shall be 2"x2" min., oak or similar hardwood.
  - Posts shall be spaced at 6' intervals.
  - Filter fabric shall be securely bound to posts with either staples or wire ties.
  - Filter fabric shall be polypropylene fabric by Corps of Engineers guide spec. CW 02215. With equivalent opening size (eos) of no. 100 sieve min., no. 40 sieve max., as determined.
  - J-Hooks to be used when silt fence is not installed along a contour.

- Silt Fence Maintenance Notes:
- Inspect weekly and after each rainfall.
  - Repair wherever fence is damaged.
  - Remove sediment when it reaches 1/3 the height of the fence.
  - Inspect silt fence when rain is forecast. Perform required maintenance before the storm event.
  - Remove silt fence when no longer needed. Fill and compact past holes and anchor trench remove sediment accumulation, and grade alignment to blend with adjacent ground.



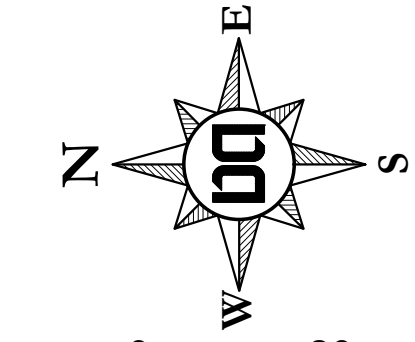
- Stone size - use 2" ASTM #1 stone, or equal
- Min. length - 100'
- Min. thickness - 6"
- Min. width - 20'
- Non Woven Geotextile Filter Fabric will be placed over the entire area prior to placing of stone.
- Surface water all surface water flowing or diverted toward construction entrances shall be piped across the entrance.
- Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.

**TEMPORARY CONSTRUCTION EXIT**  
 REFER TO METRO DETAIL TCP-03  
 N.T.S.

**STABILIZATION OF DISTURBED SOILS**

- Soil Stabilization will be accomplished by the use of seeding in the appropriate areas, as specified. Temporary seeding will be required in those areas that consist of disturbed soils that have remained dormant for periods of more than 15 days.
- As a general rule, permanent seeding will be performed within 14 days after the final grade on an area has been established. If disturbed areas on-site are to remain dormant for periods greater than 15 days in duration, the contractor will apply permanent soil stabilization. An allowance in the time schedule will be made for snow cover during periods of construction downtime. Seeding will be performed by hydro-seeding, by hand, or by a mechanical broadcasting method.
- The areas to be seeded will be uniform and will conform to the finished grade and cross Section shown in the plans for this project or as otherwise designated. Owner's representative will perform minor shaping of uneven and rough areas outside the graded section as directed in order to provide for more effective erosion control and for ease of subsequent earth moving operations.
- The seed bed (including cut slopes) will be loosened to a minimum depth of 3 inches before agricultural lime, fertilizer or seed is applied. The areas to be seeded will be cleared of stones larger than 2.5 inches in dimension, roots, and other debris.

(NAD 83)



SCALE: 1" = 20'  
 GROSS SITE AREA = 0.69 Acres  
 = 29,957 Sq Ft  
 DISTURBED AREA = 6,580 Sq Ft

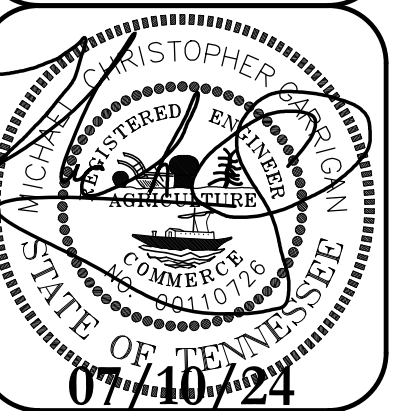
PERMITS:



Drawing Date:  
 July 2024

Revisions

Grading Exemption Plan  
**2501 Brick Church Pike**  
 Parcel 93 on Tax Map 71-02  
 Nashville, Davidson County, Tennessee

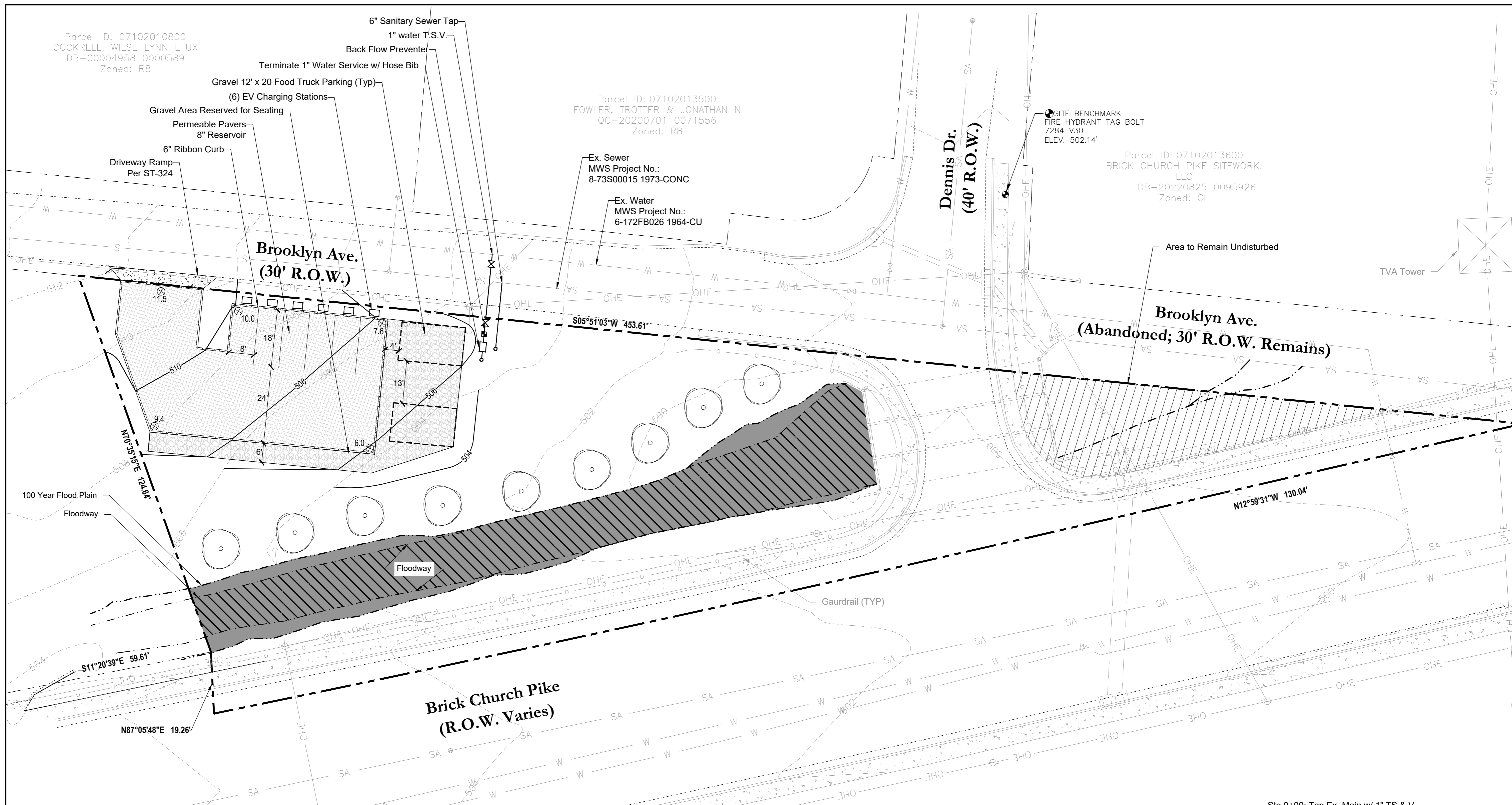


Existing  
 Conditions &  
 Erosion  
 Control Plan

**Dale & Associates**  
 Civil Engineering  
 Land Planning & Zoning  
 Surveying  
 516 Leander Place  
 Nashville, TN 37204  
 (615) 297-5266

D&A Project #24003  
 2501 Brick Church Pike

**C1.0**



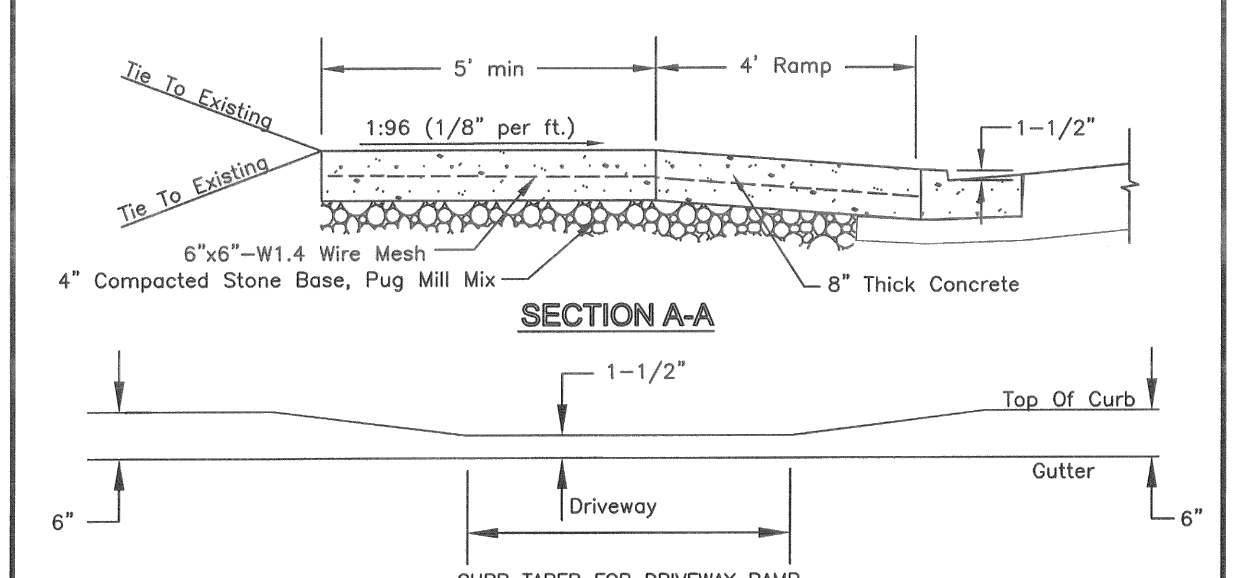
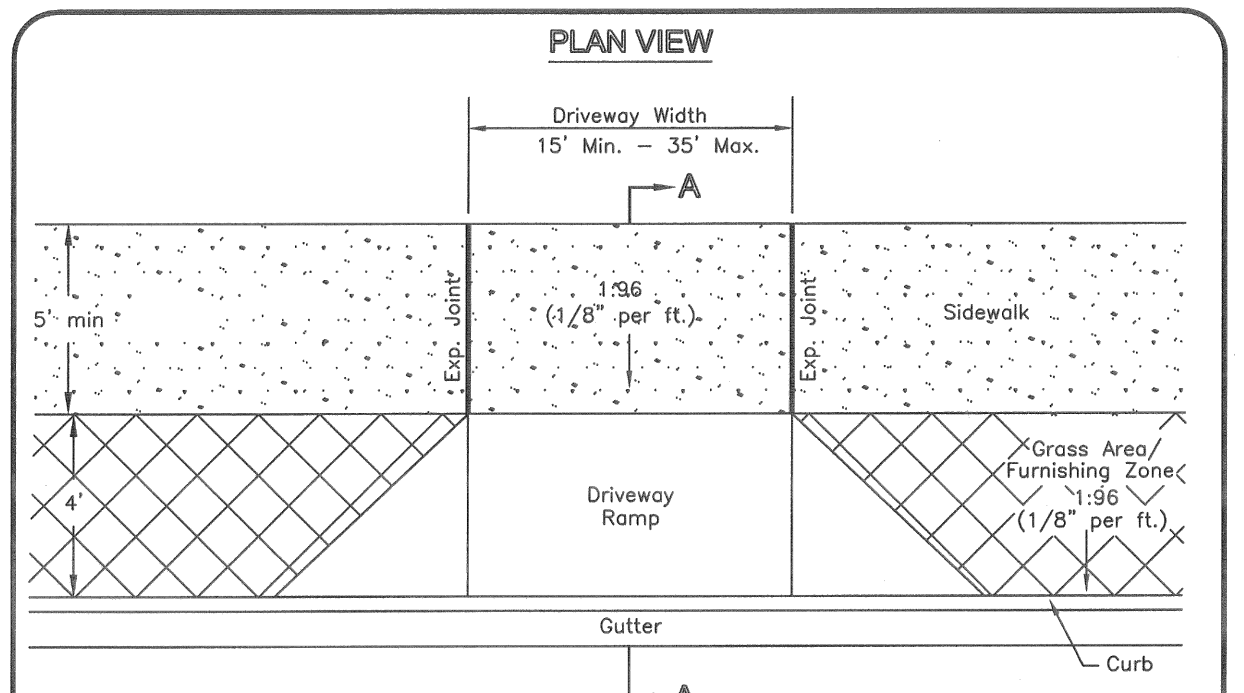
- GRADING PERMIT EXEMPTION NOTES (PER SWMM, VOLUME 1, SECTION 3.4.3)**
- Fill material contains only inert soil, rock, concrete without rebar and no more than 24" in length, and/or brick rubble.  
-Satisfied, earthwork amounts minor as shown.
  - Fill is not in the 100-year floodplain and is less than five (5) feet in vertical depth at its deepest point.  
-Satisfied, There is no fill within the mapped 100-year floodplain and fill depths will not exceed five (5) feet.
  - Does not result in a total quantity of more than 100 CY of material being removed from, deposited on, or disturbed on any lot, parcel or subdivision.  
-Satisfied, earthwork minor as shown.
  - Does not impair existing surface storm water management systems, constitute a potential erosion hazard, or act as a source of sedimentation to any adjacent land or watercourse.  
-Satisfied, surface runoff maintain in the same flow path in sheet flow conditions with no potential for erosion or sedimentation.
  - Does not contain fill placed on a surface having a slope steeper than 5:1 (steeper slopes can be allowed if justified by calculations for appropriate stabilization measures).  
-Satisfied, no slopes in excess of 5:1 are proposed.
  - Has no final slopes steeper than 3:1.  
-Satisfied, no slope (cut or fill) proposed to exceed 3:1.
  - Has temporary or permanent soil stabilization measures applied to denuded areas within 15 days of disturbance.  
-Satisfied, all denuded areas will be stabilized with grass seed & straw, or type II erosion control matting as specified.
  - Does not contain hazardous substances.  
-Satisfied, no hazardous substances.
  - Is not partially or totally within a watershed with outlet to a sinkhole or drainage well.  
-Satisfied, no known sink holes or wells within the site's basin.
  - Does not result in the exposure or disturbance of more than 10,000 square feet of land.  
-Satisfied, Total land disturbance estimated to be 6580 sq ft.

**STABILIZATION OF DISTURBED SOILS**

- Soil Stabilization will be accomplished by the use of seeding in the appropriate areas, as specified. Temporary seeding will be required in those areas that consist of disturbed soils that have remained dormant for periods of more than 15 days.
- As a general rule, permanent seeding will be performed within 14 days after the final grade on an area has been established. If disturbed areas on-site are to remain dormant for periods greater than 15 days in duration, the contractor will apply permanent soil stabilization. An allowance in the time schedule will be made for snow cover during periods of construction downtime. Seeding will be performed by hydro-seeding, by hand, or by a mechanical broadcasting method.
- The areas to be seeded will be uniform and will conform to the finished grade and cross Section shown in the plans for this project or as otherwise designated. Owner's representative will perform minor shaping of uneven and rough areas outside the graded section as directed in order to provide for more effective erosion control and for ease of subsequent earth moving operations.
- The seed bed (including cut slopes) will be loosened to a minimum depth of 3 inches before agricultural lime, fertilizer or seed is applied. The areas to be seeded will be cleared of stones larger than 2.5 inches in dimension, roots, and other debris.

**TOTAL SITE DISTURBANCE SUMMARY**

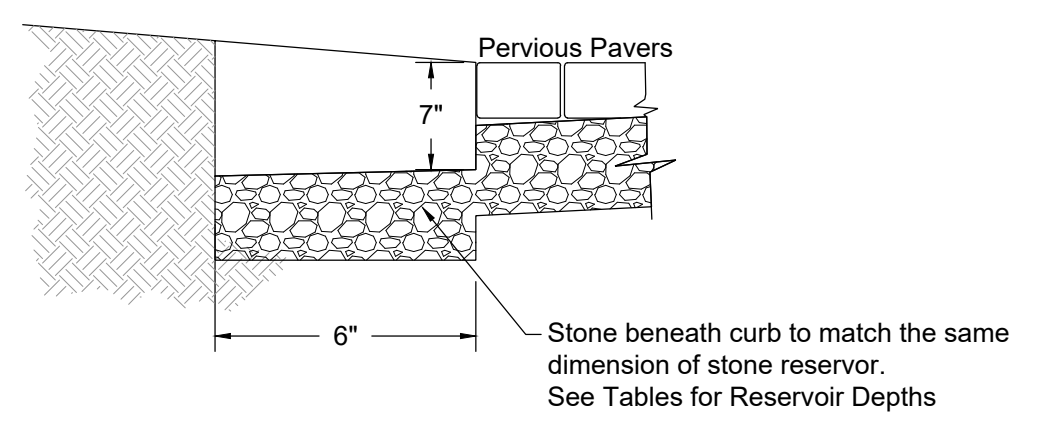
|                        |              |
|------------------------|--------------|
| Total Site Disturbance | 6,580 Sq.Ft. |
| Gravel                 | 1,464 Sq.Ft. |
| Permeable Pavers       | 3,342 Sq.Ft. |
| Tie-in Slopes          | 1,774 Sq.Ft. |



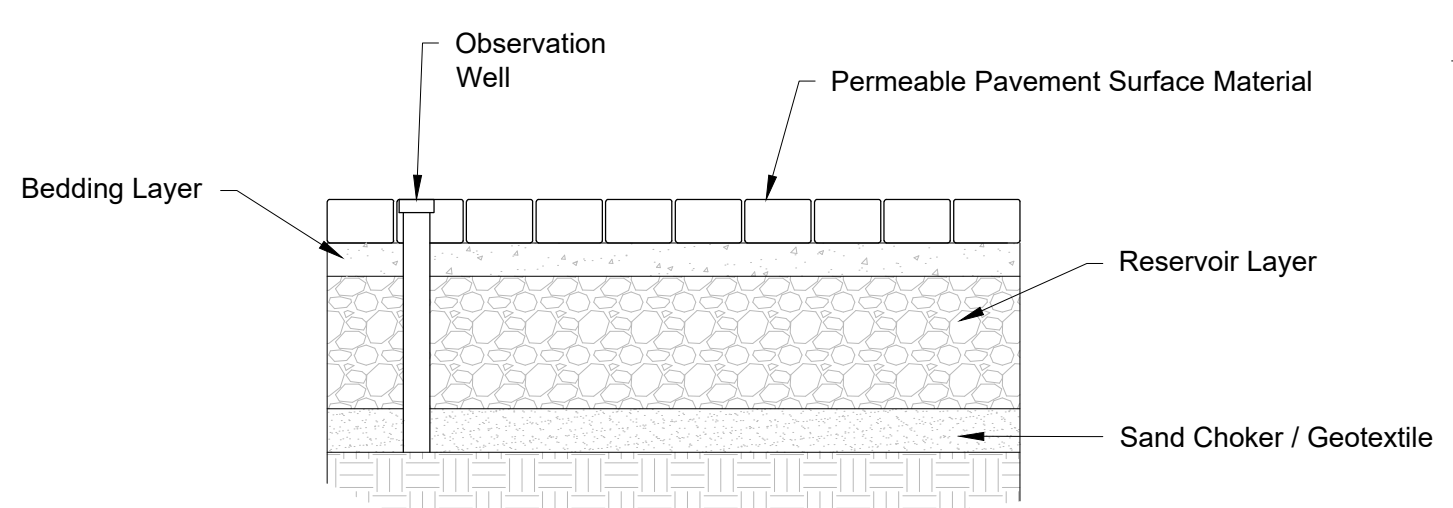
NOTE: 1. Cross-slope of sidewalk shall not exceed 1:48 (vertical:horizontal).  
2. Fiber mesh reinforcement is an approved alternative for the wire mesh. Fiber mesh reinforcement will be added to the concrete at the batch plant at the rate of 1 1/2 pounds per cubic yard.  
3. Concrete shall be 8 inches thick.

NOT TO SCALE

|                                                                                     |                                           |                                                    |
|-------------------------------------------------------------------------------------|-------------------------------------------|----------------------------------------------------|
| METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS | NEW CONSTRUCTION COMMERCIAL DRIVEWAY RAMP | DWG. NO. ST-324                                    |
| DIR. OF ENG.: <i>Mark May</i>                                                       | DATE: 5/12/03                             | REVISED: 07/27/02<br>REVISED: 05/08/03<br>REVISED: |



- General Notes:**
- Expansion joints to be spaced a max. of 100' apart or as directed by engineer.
  - Expansion joints will also be required at tangent points, ramps, and inlets.
  - Contraction joints are to be cut into curb and gutter every 10' to a depth of D/4, where d equals the thickness of the section. The spacing of 10' may be reduced at closures but no section of curb shall be less than 10'.



- Detail Notes:**
- Vehicular traffic shall be prohibited on the pervious pavement until the site is stable to prevent sediment from being deposited by vehicles.
  - Contractor, Engineer, or Owners Representative shall notify MWS NPDES Staff at least 48 hours prior to the installation of the pervious layer to observe the sub-base material.

Permeable Paver Number:

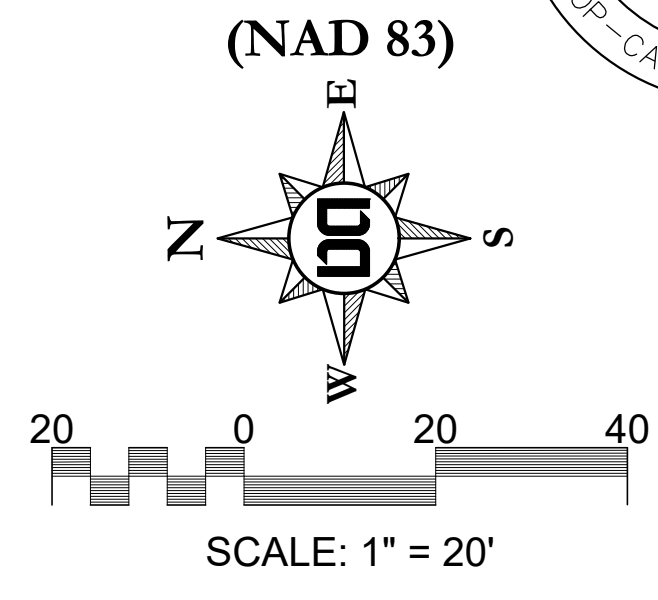
| Design | As-Built |
|--------|----------|
| 854    |          |
| 3203   |          |
| 506 0' |          |
| 8"     |          |
| NA     |          |
| NA     |          |

\* N/A if not required  
All elevations shall be NAVD88

**Permeable Pavers Without Underdrain Material Specifications**

| Material                              | Specifications                                                                                                                                                          | Notes                                                                                                                                         |
|---------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|
| Permeable Pavement System             | Permeable Interlocking Concrete Pavers <sup>1</sup><br>Pervious Concrete <sup>2</sup><br>Reinforced Tuff Systems <sup>3</sup><br>Reinforced Gravel Systems <sup>4</sup> | ASTM C936<br>ASTM C1688/C1688M & ACI 522<br>ASTM D638<br>ASTM D638                                                                            |
| Bedding Layer <sup>*</sup>            | #8 or #89 clean washed stone                                                                                                                                            | Meet TDOT Construction Specifications.                                                                                                        |
| Reservoir Layer <sup>*</sup>          | #57 or #2 clean washed stone                                                                                                                                            | Meet TDOT Construction Specifications.                                                                                                        |
| Observation Well                      | 6-inch SDR 35 PVC pipe with vented cap and anchor plate                                                                                                                 | Use traffic rated casting where required. Number of wells equals the number of test pits required for infiltration testing (see Appendix 1-A) |
| Sand Choker <sup>1</sup> / Geotextile | 2- to 4-inch layer of coarse sand <sup>1</sup><br>Filter fabric (125 gsm/sq.ft.) <sup>2</sup>                                                                           | Refer TDOT Construction Specifications<br><sup>1</sup> AGSHTO M288-06, ASTM D4491 & D4751                                                     |
| Impermeable Liner (if needed)         | Use a thirty mill (minimum) PVC Geomembrane liner covered by 8 to 12 oz./sq. yd. <sup>2</sup> non-woven geotextile.                                                     |                                                                                                                                               |

<sup>\*</sup>Item receipts may be required to be included with as-built submittal.



**Dale & Associates**  
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Land Planning & Zoning  
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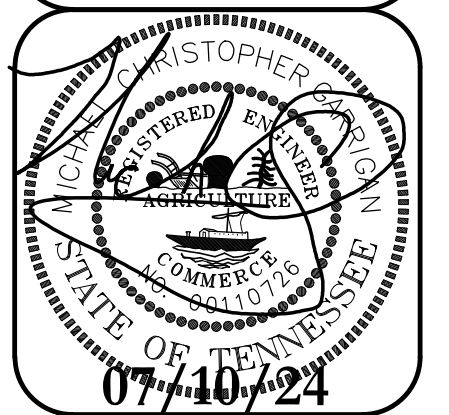
D&A Project #24003  
2501 Brick Church Pike

**C2.0**

Drawing Date:  
July 2024

Revisions

Grading Exemption Plan  
**2501 Brick Church Pike**  
Parcel 93 on Tax Map 71-02  
Nashville, Davidson County, Tennessee



Grading Exemption Plan & SUP

PERMITS: