



Inspection Report

Courtney Desoto

Property Address:
2005 9th street
Los Osos CA 93402

8/5/2024



Harper Homes: Home Inspection Services

Dylan Linnenkamp
3940 Broad Street Suite 7 PMB 200
San Luis Obispo, CA, 93401
805-975-9440

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Summary

The following items or discoveries are either **defective** and **do not function as intended** or to be considered **health and safety items**. Recommend further evaluation and repair by a **licensed contractor or specialty tradesperson**. This summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer **read the complete report**.

1. Grounds

Safety / Health Deficient Items:

1.1 DECKS / PATIOS

Action Required

(4) REPAIR NEEDED

The guardrail for the second story deck is rusted, damaged and displaced. Repairs/replacement is needed to ensure safety of the deck.

Defect / Functionally Deficient Items:

1.1 DECKS / PATIOS

Action Required

(1) REPAIR NEEDED

Moisture damage noted deck at multiple locations. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.

(3) REPAIRS NEEDED

The waterproof deck in the property is showing visible signs of deterioration and evidence of leaking. It is crucial to address these issues promptly to prevent further damage to the structure and potential water ingress into the building. We recommend consulting with a qualified contractor specializing in waterproofing to assess the extent of damage, determine the cause of leakage, and propose necessary repairs or replacements to restore the deck's integrity and prevent future issues.

2. Exterior

Defect / Functionally Deficient Items:

2.0 ROOF

Action Required

(1) FURTHER EVALUATION

Areas of the roofing material are weathered and in need of replacement. Evidence of leaking was noted. Recommend further evaluation with cost to replace and remaining life determined by a licensed roofing contractor.

2.1 GUTTERS / DOWNSPOUTS

Action Required

(3) REPAIR NEEDED

Moisture damage was noted at the drainage runoff at the rear side of the home and it appears the drain is not draining and functioning properly. Repairs are needed to prevent further damage and deterioration.

2.2 SIDING / TRIM

Action Required

(1) FURTHER EVALUATION

Moisture damage noted at the trim and siding at multiple locations around the home. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.

(2) REPAIRS NEEDED

Multiple areas around the building has damaged, missing, lifting and displaced sections of siding. Repairs are needed to ensure function of the siding and to prevent further deterioration.

5. Electrical System

Safety / Health Deficient Items:**5.1 MAIN / SUB-PANELS****Appears Serviceable**

REPAIR NEEDED

Overheated wire noted at the sub panel in unit A due to a loose connection. Recommend repairs made at this connection and all connections be checked for proper tightening by a licensed electrician.

5.7 SYSTEM GROUNDING / GROUND FAULT CIRCUIT INTERRUPT**Action Required**

INSTALLATION NEEDED

GFCI protection not provided or not functioning at the mens bathroom receptacle. Recommend repair or installation of GFCI protection for receptacles in these locations for intended safety of the home.

Defect / Functionally Deficient Items:**5.5 LIGHTING / SWITCHES****Action Required**

(2) INSTALLATION NEEDED

Light fixture not installed and wires exposed at the unit C. Recommend proper installation of a light fixture or junction box cover added.

5.6 RECEPTACLE OUTLETS**Action Required**

(2) REPAIR NEEDED

The receptacles at the right and front wall in unit A and the receptacle in the men's bathroom were inoperative at the time of inspection and repairs are needed.

6(A) . Mens Bathroom

Defect / Functionally Deficient Items:**6.3.A VENTILATION****Action Required**

REPAIR NEEDED

Exhaust fan was inoperative at the time of inspection. Recommend repair or replace as needed.

7. Interiors

Safety / Health Deficient Items:

7.4 ALARMS / SAFETY / SECURITY**Action Required**

(1) INSTALLATION NEEDED

Smoke alarms are past their serviceable life (10 years) and should be replaced to ensure maximum safety of the home.

(3) INSTALLATION NEEDED

Recommend smoke alarms installed in unit C.

Defect / Functionally Deficient Items:**7.0 CEILINGS, WALLS****Action Required**

(2) FURTHER EVALUATION

Moisture stains noted on the ceiling and walls in unit A and unit D. Recommend the roof and flashings be further evaluated in these areas to determine the cause and remedy of this moisture intrusion.

8. Structure**Defect / Functionally Deficient Items:****8.1 BUILDING FRAMING MEMBERS****Action Required**

(1) REPAIR NEEDED

Apparent wood destroying pest activity noted in the building at multiple locations. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.

(2) FURTHER EVALUATION

Moisture damage noted at framing in unit D at multiple locations around the home. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Dylan Linnenkamp

Date: 8/5/2024	Time: 09:00 AM	Report ID: 08062024
Property: 2005 9th street Los Osos CA 93402	Customer: Courtney Desoto	Real Estate Professional:

In the report the location of items will be referred to as being located on the front, rear, left and right of the property. Our perspective is from the exterior of the building looking at the front door.

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

APPEARS SERVICEABLE = This component or system was visually observed and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

MAINTENANCE NEEDED = This area, system or component is in need of maintenance which should be considered typical of the age or style of construction.

ALTERATION NEEDED = The necessary components are installed but need adjusted or altered to function as intended.

INSTALLATION NEEDED = The necessary components are not installed.

REPAIR NEEDED = The item, component or unit is not functioning as intended and needs repaired or replaced. Items, components, or units that can be repaired to satisfactory condition may not need replacement.

FURTHER EVALUATION = The condition of the system or component is beyond the expertise of the inspector and further evaluation by a qualified licensed contractor is advised.

Property inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Standards of Practice:

CREIA California Real Estate Inspection Association

In Attendance:

Inspector

Type of building:

Commercial/Office Space

Square Footage Approximate:

3700

Approximate year of construction:

1988

Temperature:

Over 70

Weather:

Clear

Ground/Soil surface condition:

Dry

Rain in last 7 days:

No

Property is:

Furnished

1. Grounds

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of the foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others are too low to enter, or in some other manner not accessible, are excluded from the inspection and are not part of our inspection. Fences gates and retaining walls are not part of this inspection but may be reported on. Our inspection of the driveway or parking area is limited to within 100 feet of the building.

Styles & Materials

Grading & Drainage:

Above or at grade to road
Flat pad / site

Fences and Gates:

Cement block

Walkways / Parking:

Asphalt
Concrete

Exterior Decks:

Wood deck
Concrete patio
Water proof deck (not water tested to determine moisture resistance)

Items

1.0 GRADE / DRAINAGE

Comments: Appears Serviceable

1.1 DECKS / PATIOS

Comments: Action Required

(1) REPAIR NEEDED

Moisture damage noted deck at multiple locations. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.



1.1 Item 1(Picture)



1.1 Item 2(Picture)



1.1 Item 3(Picture)



1.1 Item 4(Picture)



1.1 Item 5(Picture)



1.1 Item 6(Picture)



1.1 Item 7(Picture)

(2) ALTERATION NEEDED

Wood deck ledger board is nailed to the side of the structure, but not bolted, as is currently required. Recommend deck connection to the home be improved by a licensed contractor to ensure intended support for the deck.



1.1 Item 8(Picture)

(3) REPAIRS NEEDED

The waterproof deck in the property is showing visible signs of deterioration and evidence of leaking. It is crucial to address these issues promptly to prevent further damage to the structure and potential water ingress into the building. We recommend consulting with a qualified contractor specializing in waterproofing to assess the extent of damage, determine the cause of leakage, and propose necessary repairs or replacements to restore the deck's integrity and prevent future issues.



1.1 Item 9(Picture)



1.1 Item 10(Picture)

(4) REPAIR NEEDED

The guardrail for the second story deck is rusted, damaged and displaced. Repairs/replacement is needed to ensure safety of the deck.



1.1 Item 11(Picture)



1.1 Item 12(Picture)

1.2 STAIRS

Comments: Action Required

RECOMMENDED IMPROVEMENT

Guardrail spacing exceeds 4" at the stairwell. While this may have been acceptable at the time of construction, upgrading to meet current standards is recommended.



1.2 Item 1(Picture)

1.3 DRIVEWAY / WALKWAYS

Comments: Action Required

(1) INFORMATIONAL NOTE

Please note that the accessibility features of the building do not meet current ADA requirements. It is important to recognize that these standards evolve over time, and while the building was compliant at the time of construction, it may now require updates to meet current accessibility guidelines. Clients are advised to consult with a qualified ADA compliance expert for further evaluation and necessary actions.

(2) MAINTENANCE NEEDED

Asphalt cracks noted on the driveway. Recommend cracks be properly sealed in these areas to prevent further or excessive damage to the asphalt driveway.



1.3 Item 1(Picture)

1.4 FENCES / GATES

Comments: Appears Serviceable

1.5 SHRUBBERY / PLANTER / RETAINING WALLS

Comments: Action Required

MAINTENANCE NEEDED

Foliage needs trimmed back from contacting the siding. This will decrease the probability of moisture and pest intrusion.

2. Exterior

The foregoing is an opinion of the general quality and condition of the roofing, siding, and exterior building materials. The inspector cannot and does not offer an opinion or warranty as to whether these components and systems may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. Determining the condition of insulated glass windows is not always possible due to dirty windows, temperature, weather and lighting conditions.

Styles & Materials

Roof Deck Styles:

- Combination
- Low pitch roof (up to 3 in 12)
- Medium pitch (3 1/2 to 6 1/2 in 12)

Roof Covering Material:

- Composition shingles
- Roll roofing

Roof Flashing:

- Metal flashings

Viewed Roof Covering From:

- Viewed from the ground
- Viewed from the eaves
- Extra Info : fully viewed with drone

Gutters / Roof Drains:

- Built in drains

Exterior Siding:

- Wood shakes
- Concrete block

Trim:

- Wood trim

Window / Skylights:

- Metal frame single pane

Items

2.0 ROOF

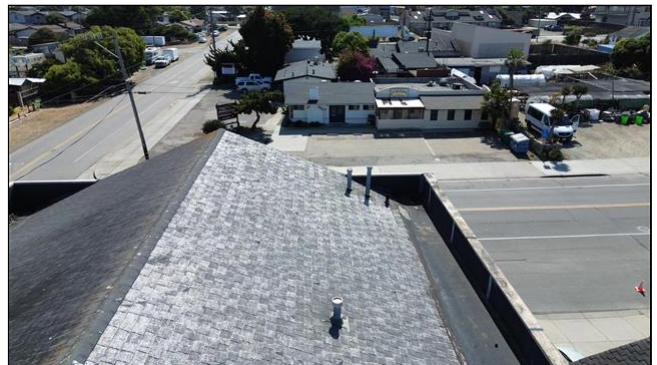
Comments: Action Required

(1) FURTHER EVALUATION

Areas of the roofing material are weathered and in need of replacement. Evidence of leaking was noted. Recommend further evaluation with cost to replace and remaining life determined by a licensed roofing contractor.



2.0 Item 1(Picture)



2.0 Item 2(Picture)



2.0 Item 3(Picture)



2.0 Item 4(Picture)



2.0 Item 5(Picture)



2.0 Item 6(Picture)

(2) MAINTENANCE NEEDED

Debris on the roof should be removed and an annual maintenance schedule established. This will greatly extend the life expectancy of the roof in these areas.



2.0 Item 7(Picture)

2.1 GUTTERS / DOWNSPOUTS

Comments: Action Required

(1) MAINTENANCE NEEDED

The deck drains contain debris in areas and need cleaned and an annual maintenance schedule established to allow intended drainage runoff water away from the building.



2.1 Item 1(Picture)

(2) ALTERATION NEEDED

The roof drains should be extended further from the siding to allow water to drain without running down the siding.



2.1 Item 2(Picture)



2.1 Item 3(Picture)

(3) REPAIR NEEDED

Moisture damage was noted at the drainage runoff at the rear side of the home and it appears the drain is not draining and functioning properly. Repairs are needed to prevent further damage and deterioration.



2.1 Item 4(Picture)

2.2 SIDING / TRIM

Comments: Action Required

(1) FURTHER EVALUATION

Moisture damage noted at the trim and siding at multiple locations around the home. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.



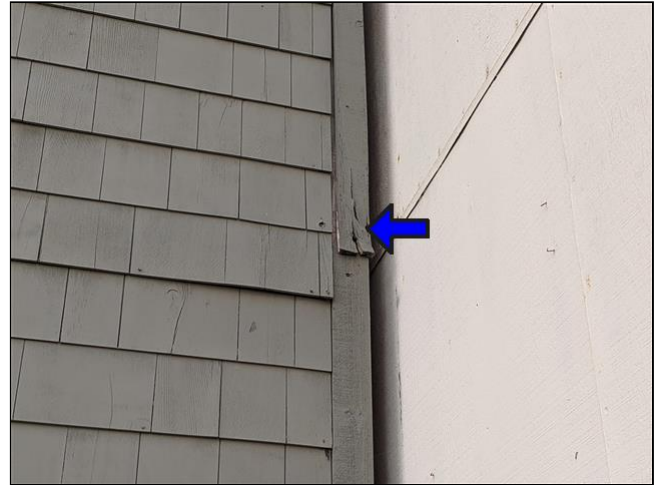
2.2 Item 1(Picture)



2.2 Item 2(Picture)



2.2 Item 3(Picture)



2.2 Item 4(Picture)



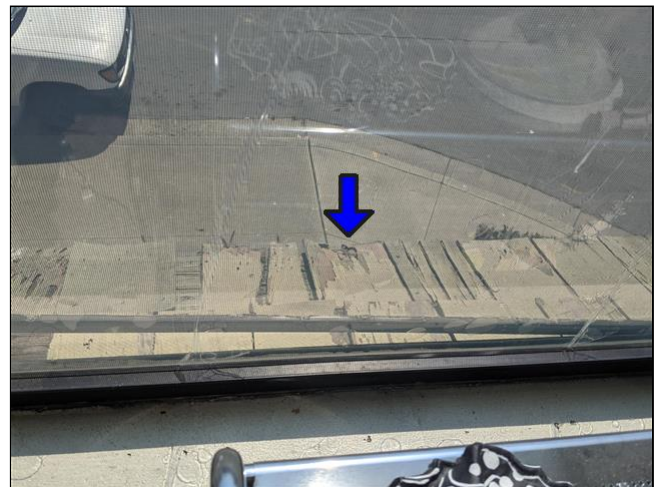
2.2 Item 5(Picture)



2.2 Item 6(Picture)



2.2 Item 7(Picture)



2.2 Item 8(Picture)

(2) REPAIRS NEEDED

Multiple areas around the building has damaged, missing, lifting and displaced sections of siding. Repairs are needed to ensure function of the siding and to prevent further deterioration.



2.2 Item 9(Picture)



2.2 Item 10(Picture)



2.2 Item 11(Picture)



2.2 Item 12(Picture)



2.2 Item 13(Picture)



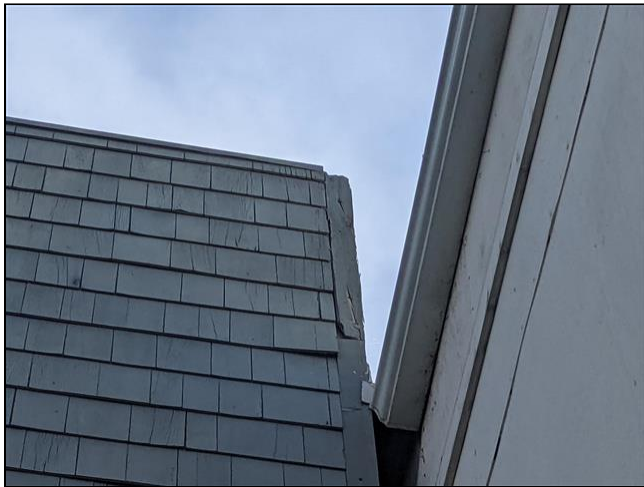
2.2 Item 14(Picture)



2.2 Item 15(Picture)



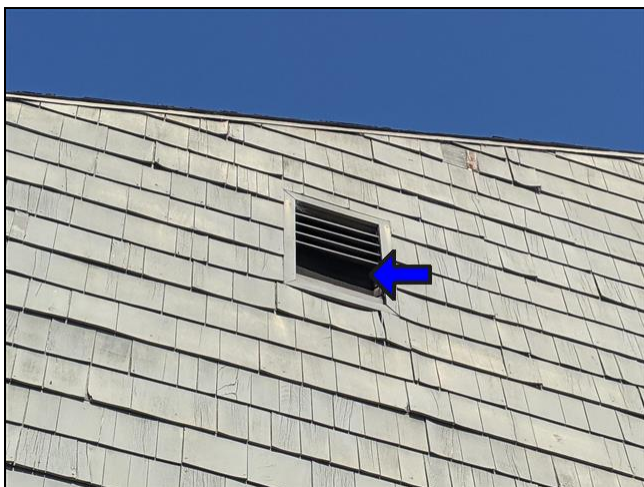
2.2 Item 16(Picture)



2.2 Item 17(Picture)

(3) REPAIR NEEDED

The gable vent is damaged and repairs are needed to prevent unwanted pest intrusion.



2.2 Item 18(Picture)

2.3 EXTERIOR DOORS

Comments: Appears Serviceable

2.4 WINDOWS / SKYLIGHTS

Comments: Action Required

REPAIR AS NEEDED

Damaged screen noted at various locations and can be repaired as needed.

2.5 PAINT / CAULK / SEAL / MISCELLANEOUS.

Comments: Action Required

MAINTENANCE NEEDED

Peeling paint was noted at a few areas of the wood siding, fascia, and trim, and paint maintenance is needed.

3. Heating / Air Conditioning

The inspector is not equipped to inspect heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that the inspection is almost impossible. The inspector cannot light pilot lights. Safety devices are not tested by the inspector. NOTE: Asbestos material have been commonly used in heating systems. Determining the presence of asbestos can only be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or even distribution of air through out a home cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on cooling systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not part of the inspection. Normal service and maintenance is recommended on a yearly basis. It is suggested that all homes with fuel burning systems have a carbon monoxide installed for added safety. All fireplaces should be cleaned on a regular basis to make sure no cracks have developed.

Styles & Materials

Heat Type/Power Source/Age: Cooling Equipment Type/Size/Age:

Electric

No A/C in home

Electric Base board heater(s)

Items

3.0 HEATING EQUIPMENT

Comments: Action Required

REPAIR AS NEEDED

The baseboard heaters appear to be in working condition, but are over 35 years old and at or near the end of it's serviceable life. Recommend service performed by a qualified HVAC contractor to help conserve the remaining life of the unit and have replaced as necessary.

3.1 THERMOSTATS

Comments: Appears Serviceable

4. Plumbing System

Water quality or hazardous materials (lead) is available from local labs. All underground piping related water supply, waste or sprinkler use are excluded from this inspection. City sewer service, septic systems and all underground pipes are not part of this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection. Only the hose faucets which are attached to the home are tested during our inspection. You may wish to test any which are away from the home. The temperature pressure relief valve, at the upper portion of the water heater is a required safety valve which should be connected to a drain line of proper size terminating just above the floor elevation. If no drain is located in the floor a catch pan should be installed with a drain extending to a safe location. The stem caused by a blow off can cause scalding. Improper installations should be corrected. Laundry appliances are not tested or moved. We highly recommend removal and cleaning of the dryer vent at least once a year. Cleaning the vent pipe can significantly reduce the risk of a fire.

Styles & Materials

Water Shut Off Location:	Water Supply Aproximate Size / Material:	Plumbing Water Distribution:
Handle shut off In the utility room	3/4" Copper	Copper
Water Source:	Water Pressure (normal is 40 to 80 psi):	Plumbing Waste (visible only):
Public	Not determined	ABS
Sewer Clean-out Location:	Gas Type / Primary Energy Heat Source:	Water Heater Power Source / Vent Type:
Right exterior of the building	Not installed	Not installed

Items

4.0 SEWER / DRAINS / VENTS (VISIBLE ONLY)

Comments: Appears Serviceable

4.1 WATER LINES (VISIBLE ONLY)

Comments: Appears Serviceable

4.2 GAS LINES (VISIBLE ONLY)

Comments: Appears Serviceable

INFORMATIONAL NOTE

Gas lines appear to have installed at the front of the property, however no gas meters or gas service was noted.



4.2 Item 1(Picture)

4.3 PLUMBING VALVES / ACCESSORIES

Comments: Appears Serviceable

INFORMATIONAL NOTE

Water shutoffs are located in the utility room. The water can be turned off by turning the valves clockwise to the piping.



4.3 Item 1(Picture)

4.4 EXTERIOR WATER FAUCETS

Comments: Appears Serviceable

5. Electrical System

Any electrical repairs should be performed by a licensed electrician. Aluminum wiring, when present, will be noted in this report and requires periodic inspection and maintenance by a licensed electrician. Electrical panels and outlets which are not attached to the home are outside the scope of this inspection. The Main Electrical Disconnect is located inside the Main Panel unless otherwise noted.

Styles & Materials

<p>Panel capacity: 50 amp 60 AMP Extra Info : 50 amp unit A B C F 60 amp unit D E</p>	<p>Main Panel/Main Disconnect Location: In the utility room</p>	<p>Electrical Service Conductors: Below ground service 120/240 volt service Interior main service panel</p>
<p>Sub Panel Location(s): On an interior wall Extra Info : on the interior wall of each unit and in the storage room</p>	<p>Distribution Systems and Accessories: Sub-panel(s) Circuit breakers Nonmetallic sheathed cable Copper wires</p>	

Items

5.0 SERVICE ENTRANCE CONDUCTORS

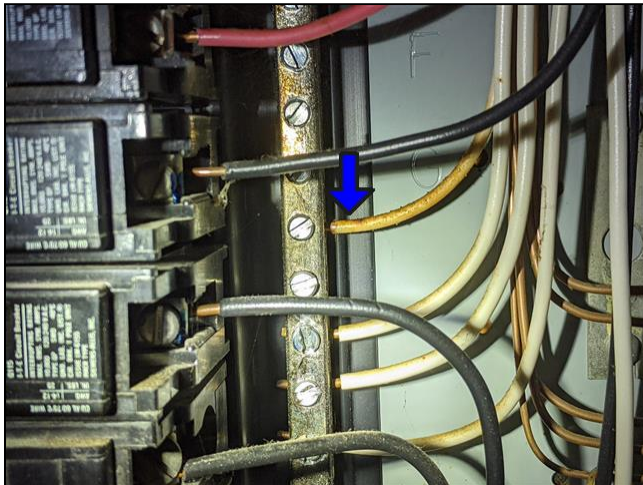
Comments: Appears Serviceable

5.1 MAIN / SUB-PANELS

Comments: Appears Serviceable

REPAIR NEEDED

Overheated wire noted at the sub panel in unit A due to a loose connection. Recommend repairs made at this connection and all connections be checked for proper tightening by a licensed electrician.



5.1 Item 1(Picture)

5.2 BREAKERS / FUSES

Comments: Appears Serviceable

5.3 CIRCUIT WIRING (where visible)

Comments: Appears Serviceable

5.4 JUNCTION BOXES / CONDUITS

Comments: Action Required

INSTALLATION NEEDED

Junction box cover plate missing at the utility room and above the mens bathroom and needs installed to prevent accidental contact and contain heat in the event of a circuit failure.



5.4 Item 1(Picture)



5.4 Item 2(Picture)

5.5 LIGHTING / SWITCHES

Comments: Action Required

(1) FURTHER EVALUATION

The lighting was inoperable in unit F and may be due to the lack of utility service as the unit is currently vacant. Recommend further evaluation is made as needed.

(2) INSTALLATION NEEDED

Light fixture not installed and wires exposed at the unit C. Recommend proper installation of a light fixture or junction box cover added.



5.5 Item 1(Picture)

5.6 RECEPTACLE OUTLETS

Comments: Action Required

(1) FURTHER EVALUATION

The receptacles were inoperable in unit F and may be due to the lack of utility service as the unit is currently vacant. Recommend further evaluation is made as needed.

(2) REPAIR NEEDED

The receptacles at the right and front wall in unit A and the receptacle in the men's bathroom were inoperative at the time of inspection and repairs are needed.

(3) INSTALLATION NEEDED

Receptacle faceplate missing at unit A and needs installed for intended safety.

5.7 SYSTEM GROUNDING / GROUND FAULT CIRCUIT INTERRUPT

Comments: Action Required

INSTALLATION NEEDED

GFCI protection not provided or not functioning at the mens bathroom receptacle. Recommend repair or installation of GFCI protection for receptacles in these locations for intended safety of the home.

6(A) . Mens Bathroom

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surround are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath wet areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper on going maintenance will be required in the future.

Styles & Materials

Ventilation:

Exhaust fan

Electrical / GFCI:

Counter outlets
No GFCI protection

Bathroom Type/Size:

1/2 bath

Toilet Type:

1.28 GPF Ultra Low Flow

Items

6.0.A TOILETS

Comments: Appears Serviceable

6.1.A SINKS

Comments: Appears Serviceable

6.2.A VANITYS, COUNTERS

Comments: Appears Serviceable

6.3.A VENTILATION

Comments: Action Required

REPAIR NEEDED

Exhaust fan was inoperative at the time of inspection. Recommend repair or replace as needed.

6.4.A CEILINGS, WALLS, FLOORS

Comments: Appears Serviceable

6.5.A CAULKING AND SEALING

Comments: Appears Serviceable

6.6.A TOWEL HOLDERS, MISC

Comments: Appears Serviceable

6(B) . Ladies Bathrooms

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surround are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath wet areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper on going maintenance will be required in the future.

Items

6.0.B TOILETS

Comments: Action Required

FURTHER EVALUATION

The ladies bathroom was locked at the time of the inspection and could not be accessed. Recommend further evaluation is made as needed.

7. Interiors

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. The paint on the walls is not tested for the presence of lead based paint. Determining the source of odors or like conditions is not part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Window flashings are usually not visible, therefore their condition cannot be reported on. Inspection of window coverings is outside the scope of our inspection. Smoke and CO alarms should be tested monthly and battery replacement yearly.

Styles & Materials

Wall & Ceiling Materials:

Drywall
Ceiling panels

Floor Covering(s):

Carpet
Tile
Laminated wood floors

Interior Styles:

High ceilings (over 8 feet)
Furnished and occupied

Alarms / Safety Equip.:

Smoke alarms
Intruder alarm (not tested)

Items

7.0 CEILINGS, WALLS

Comments: Action Required

(1) FURTHER EVALUATION

Areas of the interior were not fully viewed or evaluated due to furniture and storage, and should be further evaluated after the contents of the building are removed.

(2) FURTHER EVALUATION

Moisture stains noted on the ceiling and walls in unit A and unit D. Recommend the roof and flashings be further evaluated in these areas to determine the cause and remedy of this moisture intrusion.



7.0 Item 1(Picture)



7.0 Item 2(Picture)



7.0 Item 3(Picture)



7.0 Item 4(Picture)

7.1 FLOORS

Comments: Action Required

(1) FURTHER EVALUATION

Areas of the interior were not fully viewed or evaluated due to furniture and storage, and should be further evaluated after the contents of the building are removed.

(2) INSTALLATION NEEDED

Flooring is missing at unit F and should be installed as needed.

(3) REPAIR NEEDED

Moisture damage at the sub-floor was noted near the front door of unit F. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.



7.1 Item 1(Picture)

7.2 DOORS (REPRESENTATIVE NUMBER)

Comments: Appears Serviceable

7.3 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Appears Serviceable

7.4 ALARMS / SAFETY / SECURITY

Comments: Action Required

(1) INSTALLATION NEEDED

Smoke alarms are past their serviceable life (10 years) and should be replaced to ensure maximum safety of the home.

(2) INFORMATIONAL NOTE

Please note that this commercial building does not have any fire sprinkler/suppression system installed. It is important to acknowledge that fire safety standards have evolved, and while the building was constructed without sprinklers, current regulations may require their installation. Clients are advised to consult with a licensed fire safety professional to evaluate the building's fire protection needs and determine any necessary measures to enhance fire safety.

(3) INSTALLATION NEEDED

Recommend smoke alarms installed in unit C.

8. Structure

Areas hidden from view by finished walls or stored items cannot be judged and are not part of this inspection. Minor cracks are typical on many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

Styles & Materials

General Description:

Commercial/Office building

Roof Structure:

Access impaired, no visual inspection

Ceiling and Wall Structure:

Wood framed site built
Concrete block

Floor Structure:

Site framed floor system

Foundation:

Concrete slab

Method Used To Observe Attic:

No access

Items

8.0 FOUNDATION / SLAB (where visible)

Comments: Appears Serviceable

8.1 BUILDING FRAMING MEMBERS

Comments: Action Required

(1) REPAIR NEEDED

Apparent wood destroying pest activity noted in the building at multiple locations. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.

(2) FURTHER EVALUATION

Moisture damage noted at framing in unit D at multiple locations around the home. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.



8.1 Item 1(Picture)