

## **PEEK ROAD AND GRAND PARKWAY**

### **Property Specifications:**

- 3.0337+/- acre site
- 415' of Frontage on Peek Road
- Direct Access to the Grand Parkway
- Flood zone X (outside 500 year)
- Offsite Detention and all utilities present

### **Property Highlights:**

- Heavy daytime population
- 1,400 Multifamily units within 1 mile
- Easily accessible to both the EnergyCorridor and Downtown
- One of the FASTEST growing trade areas in the Houston MSA
- One of the FASTEST growing housing markets in the nation
- 47,766 Future Homes

### **2020 Demographics:**

<u>Population:</u>	<u>Avg. HH Income:</u>
3 mi. - 112,026	3 mi. - \$90,501
5 mi. - 279,544	5 mi. - \$99,352
7 mi. - 448,780	7 mi. - \$114,023

### **Immediate Area Developments:**

RON WICKES, ASSOCIATED BROKER, WALZEL COMMERCIAL HOLDINGS 936-648-3939 [ronwickes@gmail.com](mailto:ronwickes@gmail.com)



- Davis Multifamily – 400 Units
- Sabic Headquarters - 1,000 Daily Employees
- Amazon Fulfillment Center 3,000 Daily Employees
- Duke Realty Trust (Industrial) 1,000,000+/- sq.ft. campus
- InSite Realty (Industrial)

### **Offering Information:**

- List price \$2,702,426.60
- \$20.45/sf
- Seller might consider splitting the property if property is split right down the middle and then price for 1.5 acres would be \$1,750,000.

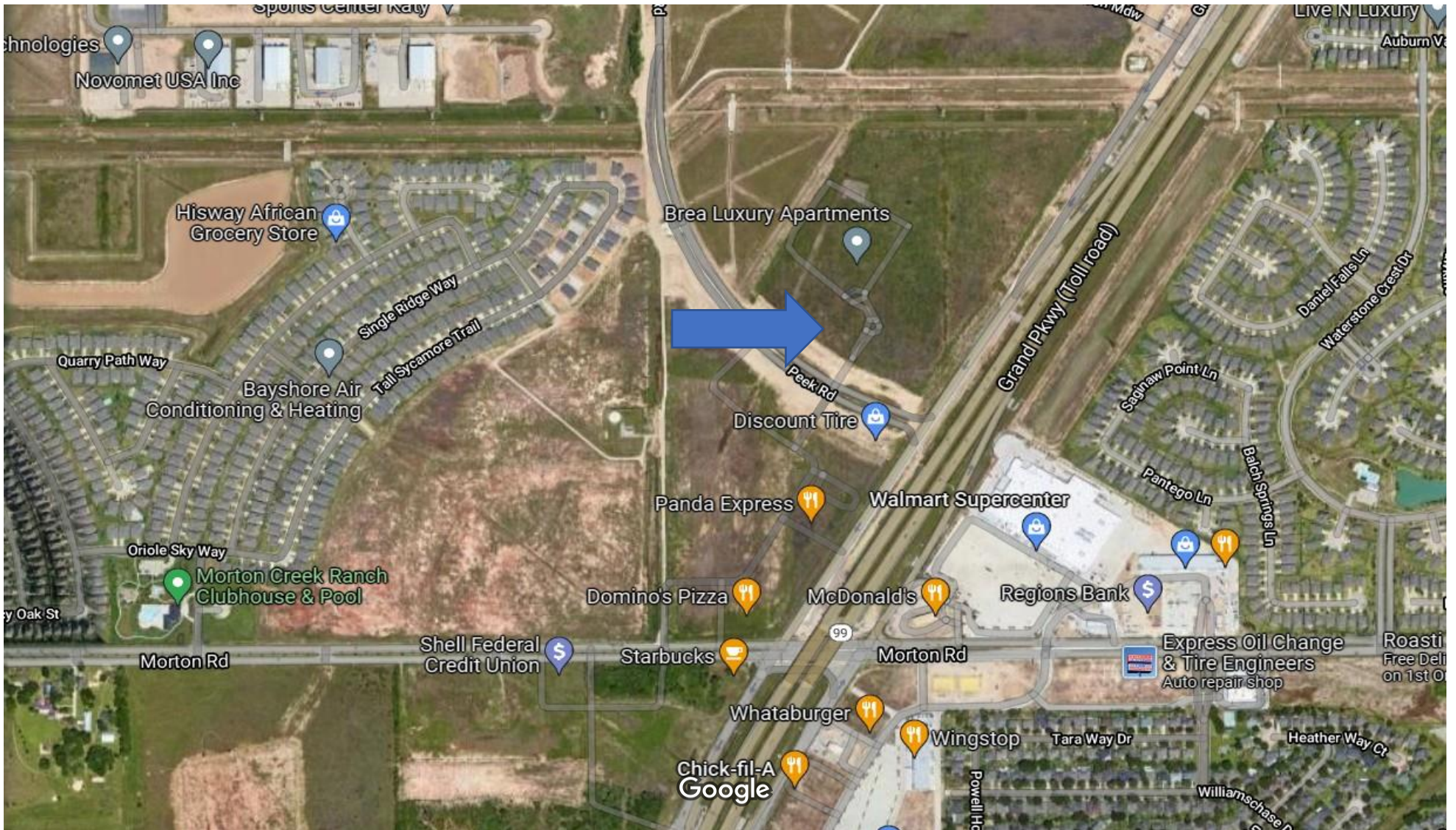
### **Contact Information:**

- Ron Wickes
- 936-648-3939
- ronwickes@gmail.com

## **MAPS ON FOLLOWING PAGES**

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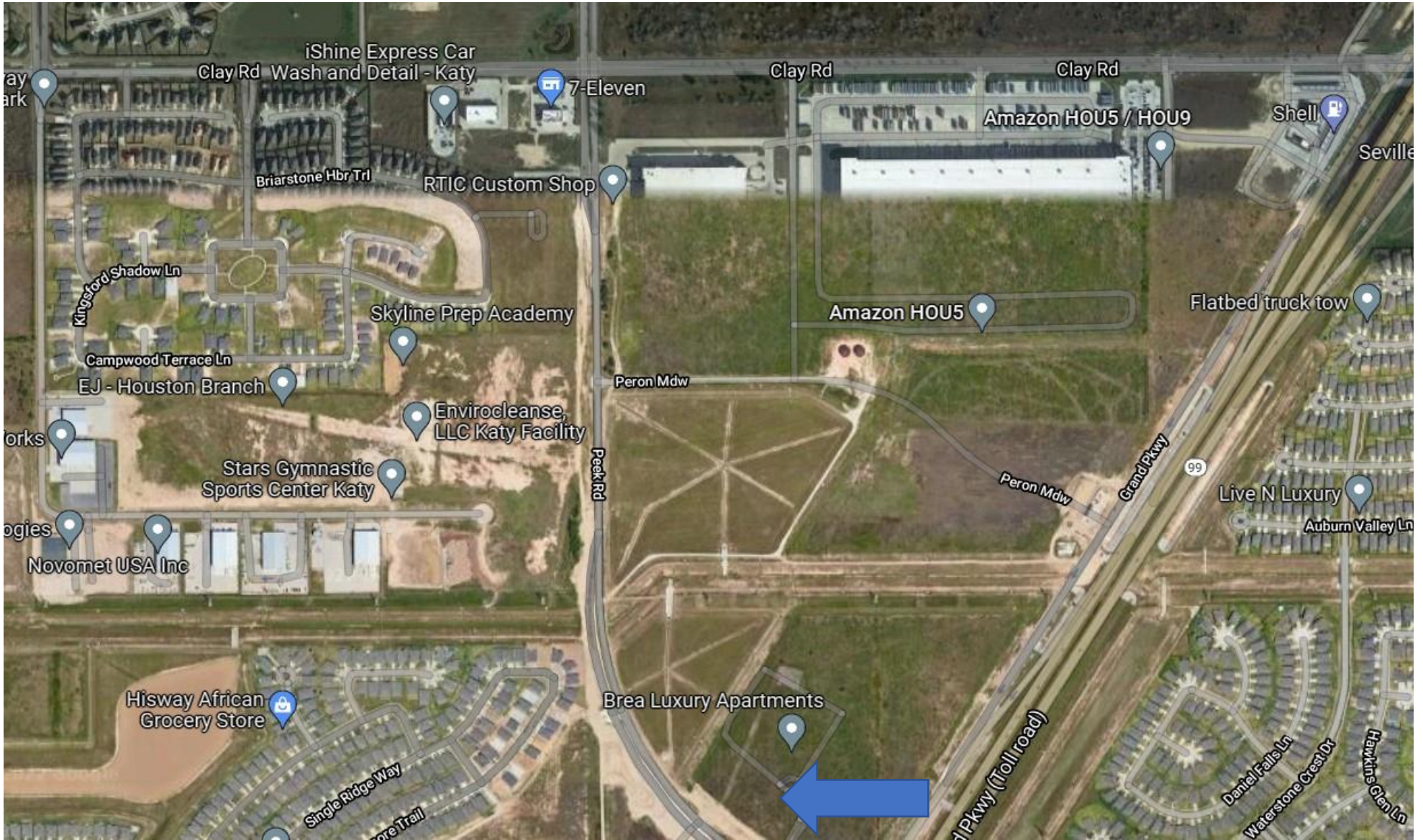




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