



FOR SALE | ASKING \$800,000

N
NEC

I-17 & PEORIA AVE

PHOENIX, AZ



property summary

AVAILABLE	±54,973 SF	PRICING	\$800,000
ZONING	A-1 (Light Industrial)		

LOCATION HIGHLIGHTS

- » Near Metrocenter Mall which is being redeveloped into a large mixed-use property driving more traffic to the area.
- » Easy access to and from I-17
- » Dense population of ±390,000 people.

TRAFFIC COUNTS

I-17

N ±201,383 VPD (NB & SB)

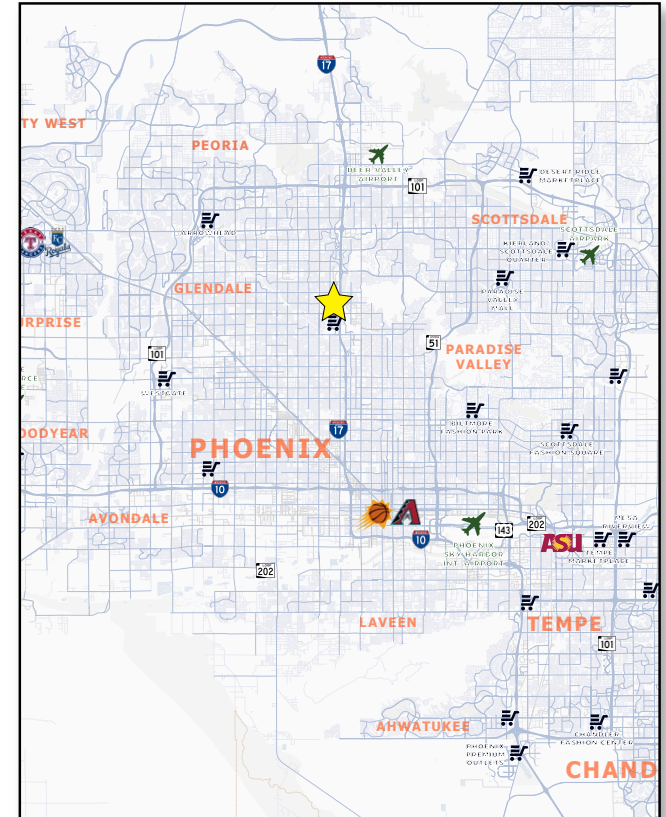
S ±197,591 VPD (NB & SB)

PEORIA AVE

E ±57,398 VPD (EB & WB)

W ±51,865 VPD (EB & WB)

INRIX 2022



NEIGHBORING TENANTS



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aerial



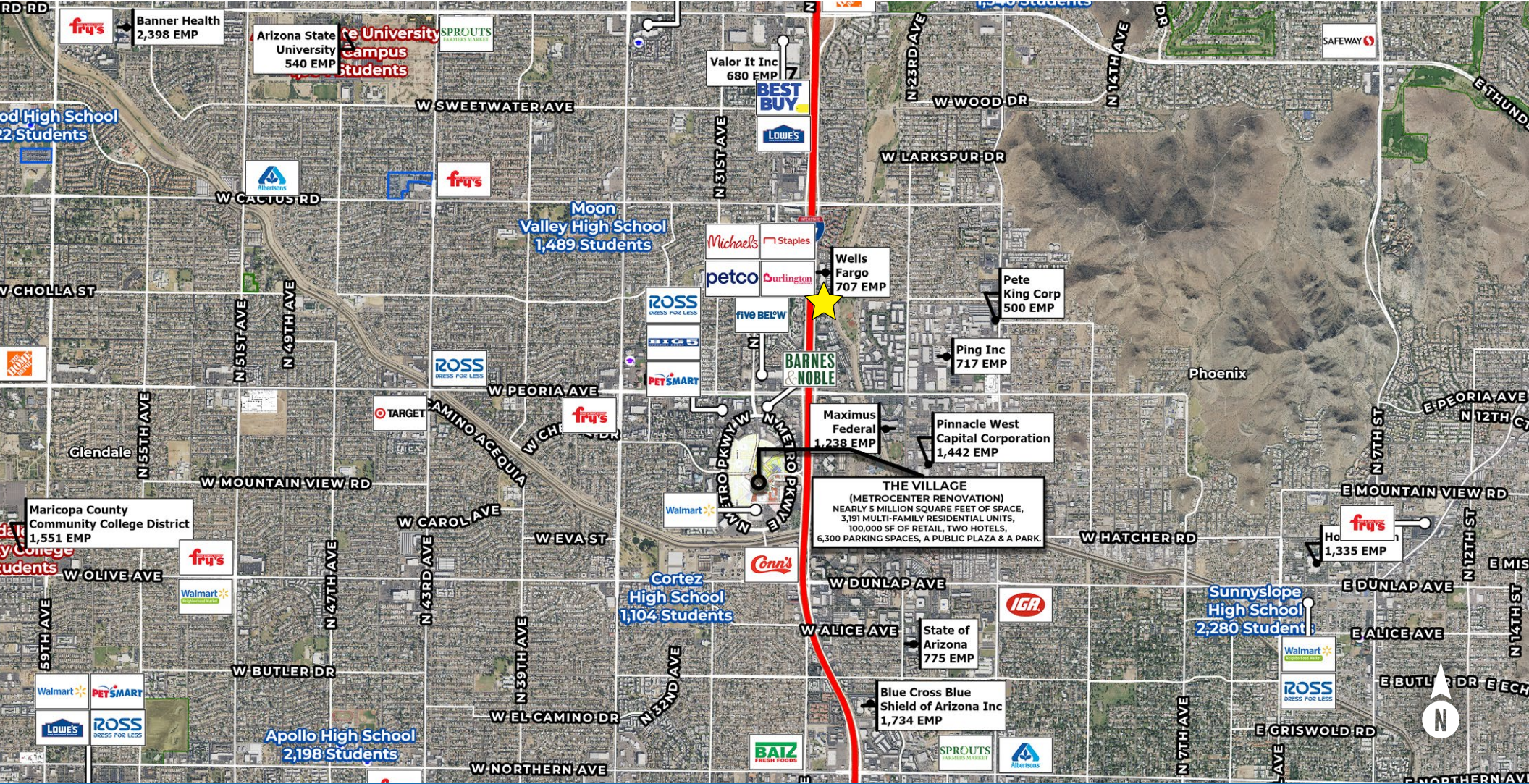
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wide aerial



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demographics

2023 ESRI ESTIMATES



	1-Mile	3-Mile	5-Mile
2023 Total Daytime Pop	28,922	146,145	390,571
Workers	21,305	59,499	157,270
Residents	7,617	86,646	233,301



	1-Mile	3-Mile	5-Mile
2023 Housing Units	6,856	64,476	175,577
Owner Occupied	28.6%	48.1%	51.9%
Renter Occupied	65.0%	46.5%	42.5%



	1-Mile	3-Mile	5-Mile
2023 Total Population	14,494	164,011	444,209
2028 Total Population	14,238	161,570	439,416



	1-Mile	3-Mile	5-Mile
2023 Households	6,415	61,017	165,799
2028 Households	6,332	60,618	165,365



	1-Mile	3-Mile	5-Mile
Median HH Income	\$45,337	\$55,974	\$60,455
Average HH Income	\$57,611	\$79,729	\$88,186
Per Capita Income	\$25,421	\$29,605	\$33,076



	1-Mile	3-Mile	5-Mile
2023 Businesses	1,241	3,943	10,536



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exclusively listed by

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