

AVISON  
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For Lease  
Light Industrial



# Cityview Business Park

10,420 SF, 26,533 SF, 26,567 SF & 39,846 SF Units Available  
**PLUS 264,996 SF FULL BUILDING OPPORTUNITY AVAILABLE JUNE 2027**

Southeast Edmonton, AB



# Cityview Business Park

Southeast Edmonton, AB



## Four first-class distribution units

Oxford Cityview Business Park is prominently located in the heart of Edmonton's southeast sector. Comprising over 1.5M SF across 16 buildings, this vast campus offers flexible space opportunities for every size business. Suitable for warehousing, distribution or light manufacturing, **these facilities represent best-in-class innovation.**



## The Cityview Advantage

- The Landlords dedication to Tenant's is displayed by their ability to **decrease operating costs** in inflationary environment
- **Best in class** physical characteristics
- **Every vacancy is move in ready** with well appointed office space and modern amenities
- **Institutionally managed** by the original developer, Oxford Properties

## Drive times

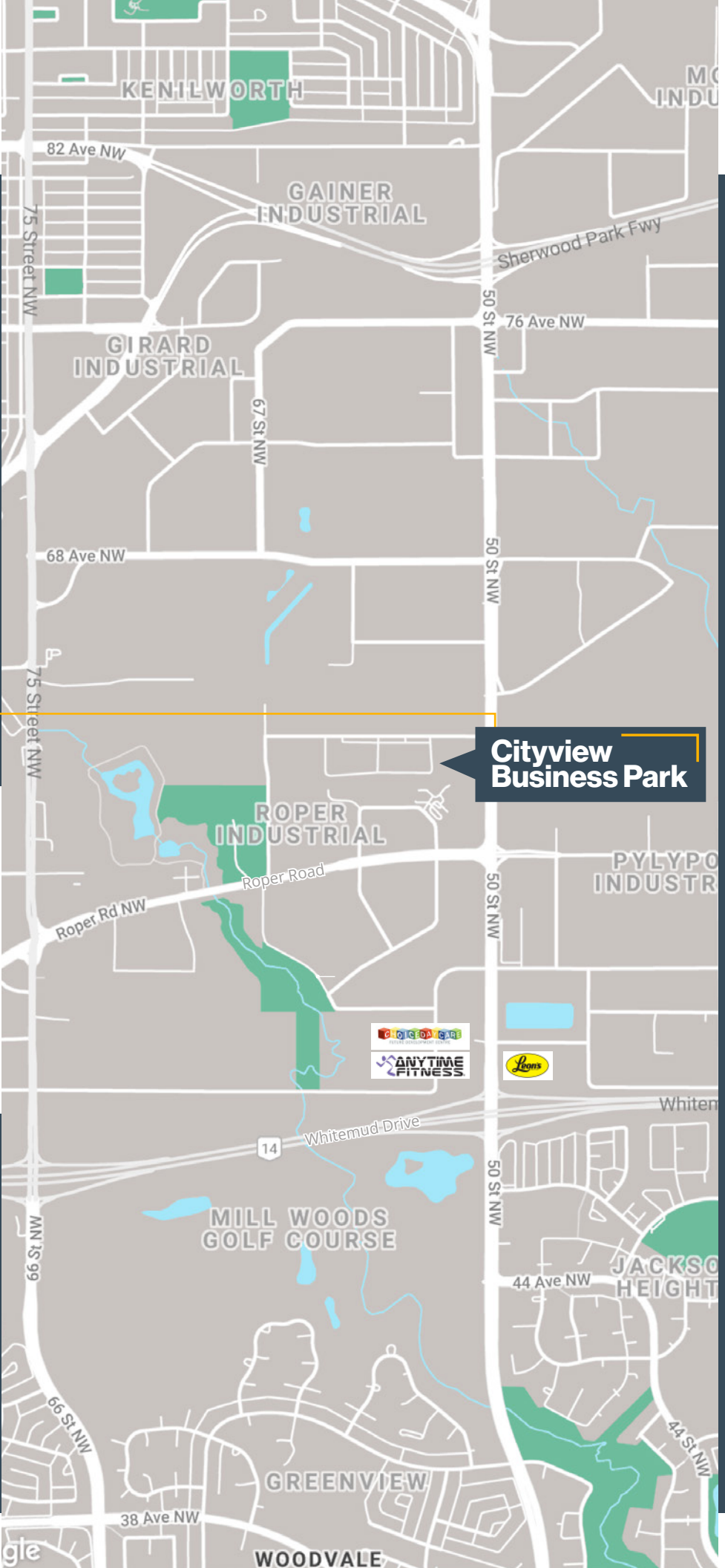
Access Highlights	
Nearest Hotel	3 mins
Nearest Shopping Centre	8 mins
Downtown	15 mins
YEG International Airport	25 mins
Major Road Arteries:	
Whitemud Drive	3 mins
Sherwood Park FWY	4 mins
75 Street	4 mins
Employee Access:	
Millwoods`	4 mins
Sherwood Park	8 mins
Capilano	10 mins
Ellerslie	15 mins
St. Albert	25 mins

## On-site amenities



## Join businesses such as

- Culligan
- Blue Water Supply Chain
- Pattison Group
- Guillevin International
- Mitten Building Products
- Wajax
- Fedex



# Cityview Business Park

## Master park plan

	Building Area (SF)	Available (SF)
Building 1	65,584	10,420 (May 2026)
Building 2	76,895	Fully Leased
Building 3	90,058	Fully Leased
Building 4	118,971	39,846 (May 2026)
Building 5	264,996	264,996 (June 2027)
Building 6	89,333	Fully Leased
Building 7	183,962	Fully Leased
Building 8	99,000	Fully Leased
Building 9	121,203	Fully Leased
Building 10	99,203	Fully Leased
Building 11	121,000	Fully Leased
Building 12	94,806	27,533 (May 2026)
Building 14	91,250	26,567 (March 2026)

## Full building opportunity coming soon (June 2027)

264,996 SF with various demising options available and 5.28 acres of improved yard area.

Click icon to return to site plan





# Building 1



## Space Highlights

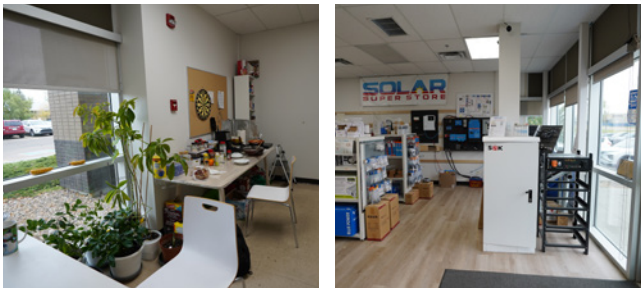
- Available May 1, 2026
- Excellent exposure to Roper Road
- Dock and drive-in loading
- 10,420 SF available

## Building Specifications

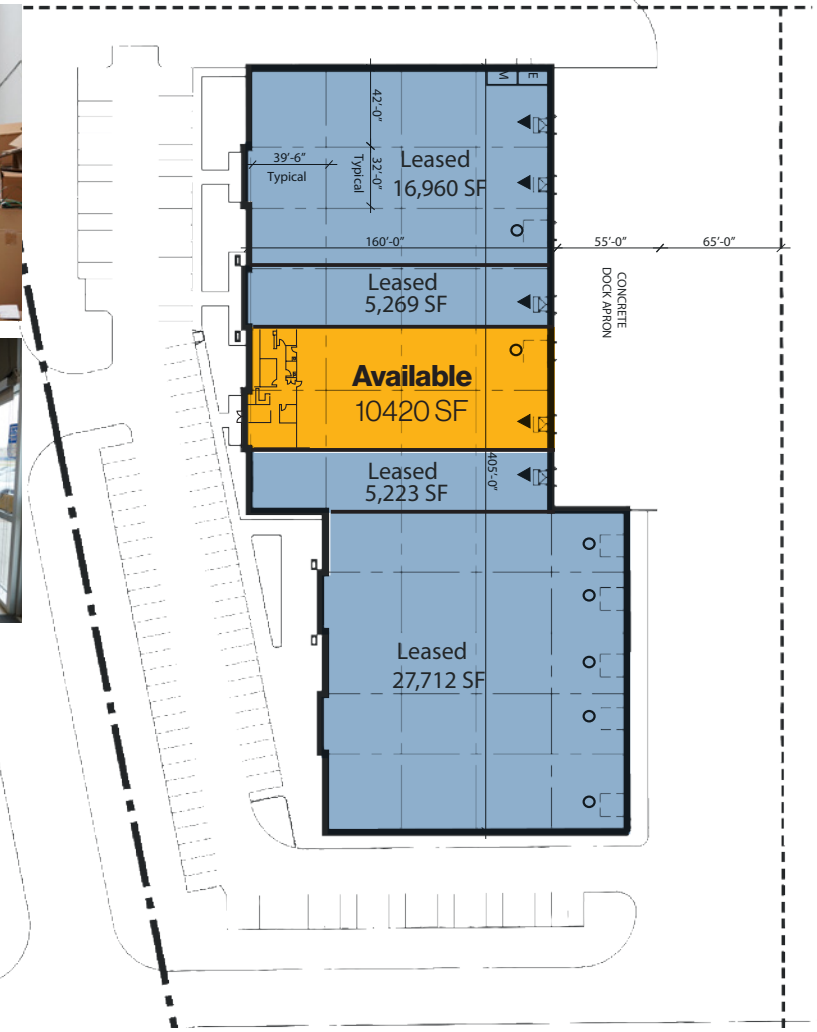
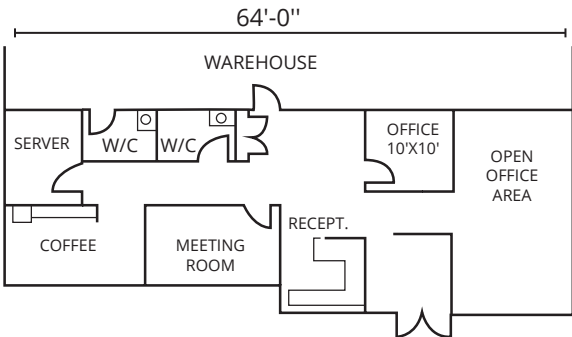
- |   |  |
|---|--|
| • BE zoning                                       | • 24' clear height                           |
| • 65,584 SF total building area                   | • 9 non-exclusive car parking stalls         |
| • 120'-0" truck court                             | • ESFR sprinklers                            |
| • 32' x 39'6" typical bay size                    | • 6" concrete floor slab with steel fibre    |
| • Power: 100A, 347/600V 3 phase, 4 wire           | • 1 dock door, 1 drive-in grade loading door |
| • Bay size is approximately 160' deep by 64' wide | • T5 lighting                                |



Area Available:	10,420 SF available area (1,400 SF office area)
Additional Costs:	\$6.42 PSF (2025) <small>*Excluding water &amp; management fee*</small>
Loading:	1 dock door, 1 drive-in grade loading door
Asking Rate:	Market



### Office buildout



# Building 4



## Space Highlights

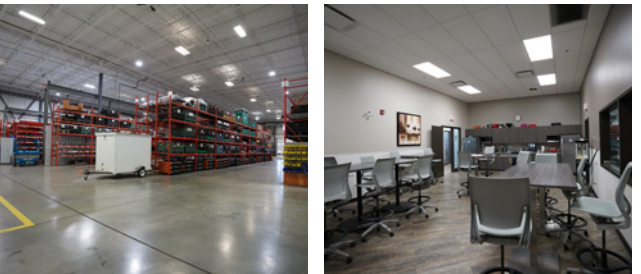
- Available May 1, 2026
- Features premium office buildout
- Rare corner location with abundant glazing
- Dock and drive-in loading
- 39,846 SF available

## Building Specifications

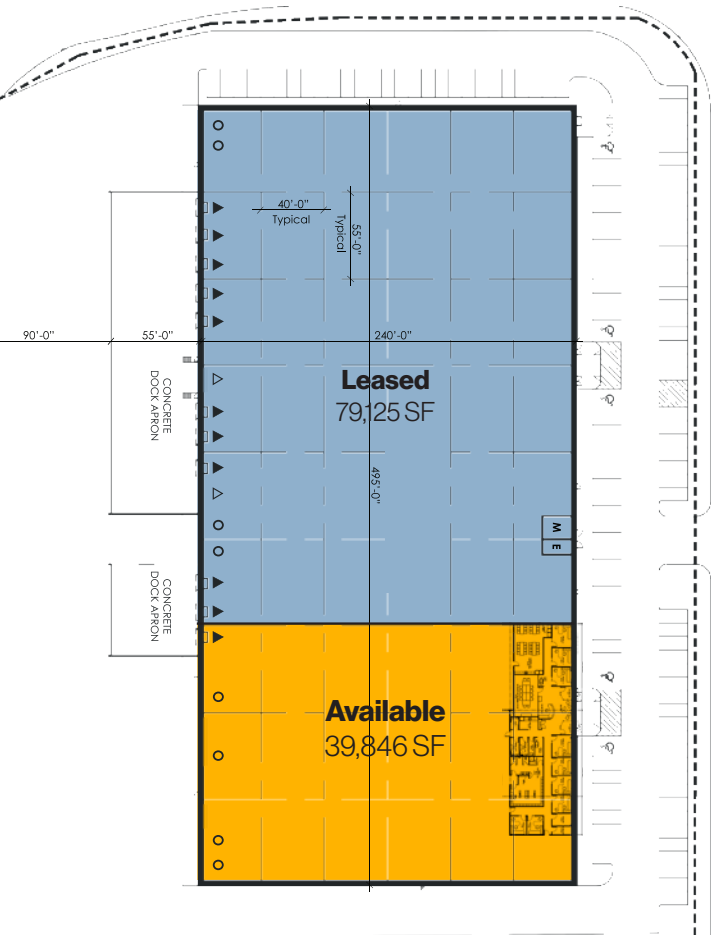
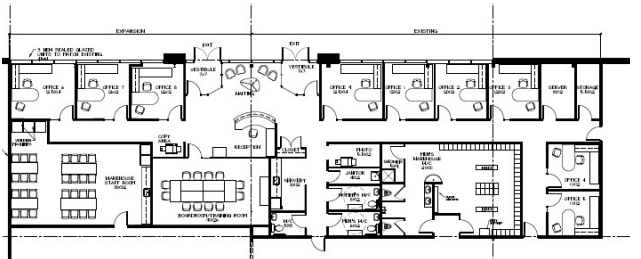
- |                                       |  |
|---------------------------------------|--|
| • DC2 zoning                          | • Power: 150A, 347/600V, 3 phase, 4 wire       |
| • 118,971 SF total building area      | • T5H0 & LED lighting                          |
| • 145'-0" truck court                 | • ESFR sprinklers                              |
| • 240' building depth                 | • 6" concrete floor slab with steel fibre      |
| • 55' x 40' typical column grid       | • 35,000 lbs mechanical leveler                |
| • 28' clear height                    | • 1 dock door, 4 drive-in grade loading stalls |
| • 34 non-exclusive car parking stalls |  |



Area Available:	39,846 SF available area (5,310 SF office area)
Additional Costs:	\$5.78 PSF (2025) <small>*Excluding water &amp; management fee*</small>
Loading:	1 dock door, 4 drive-in grade loading doors
Asking Rate:	Market



### Office buildout





# Building 12



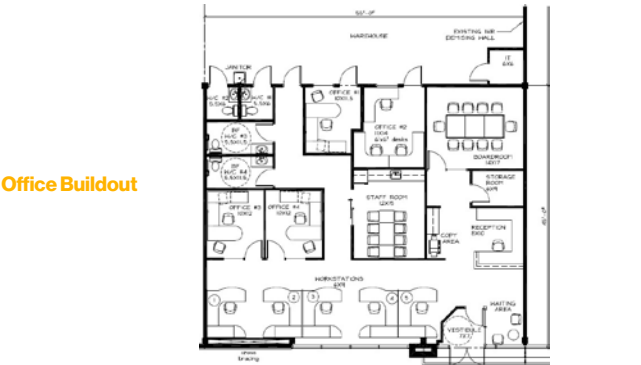
## Space Highlights

- Available May 1, 2026
- Dock and drive-in loading
- Large marshalling areas between buildings
- Excellent exposure to 50th street

## Building Specifications

- DC2 zoning
- 94,806 SF total building area
- 124'-9" truck court
- 55' x 45' typical column grid
- 180' building depth
- 28' clear height
- 1MAU (3,000 CFM)
- Power: 200A, 347/600V
- T5 lighting with motion sensors
- 7" concrete floor slab with steel fibre
- 28 car parking stalls
- 4 docks, 3 drive-in grade loading doors
- 40,000 lbs mechanical levelers

Area Available:	26,533 SF available area (2,523 SF office area)
Additional Costs:	\$5.60 PSF (2025) <small>*Excluding water &amp; management fee*</small>
Loading:	4 docks, 3 drive-in grade loading doors
Asking Rate:	Market



Office Buildout

# Building 14



## Space Highlights

- Available March 1, 2026
- Rare corner location with high end office/showroom buildout
- Drive-in loading
- Large marshalling areas between buildings
- Excellent exposure to 50th street
- Office area can be modified to suit a tenant's specific requirements

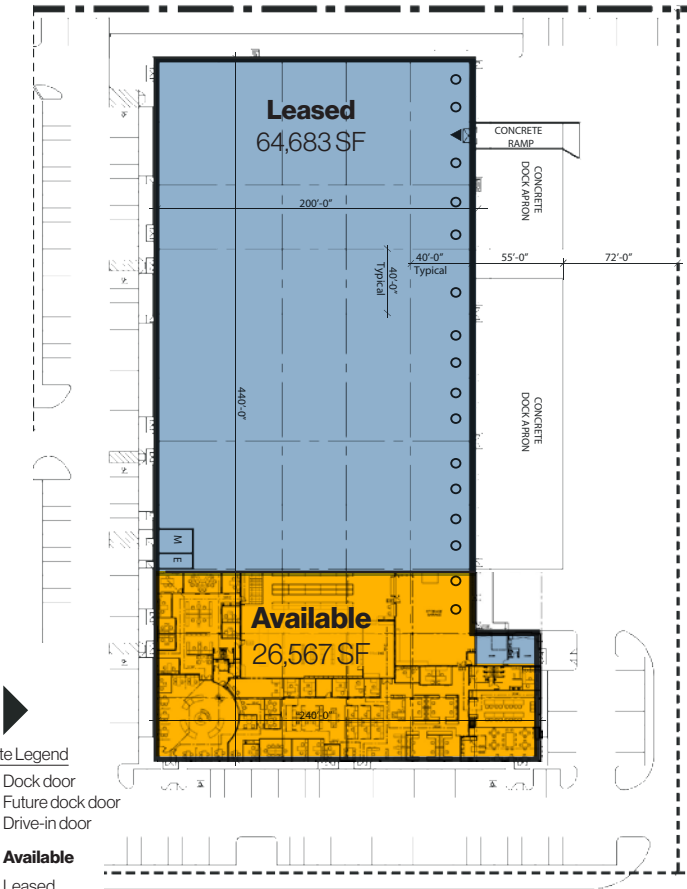
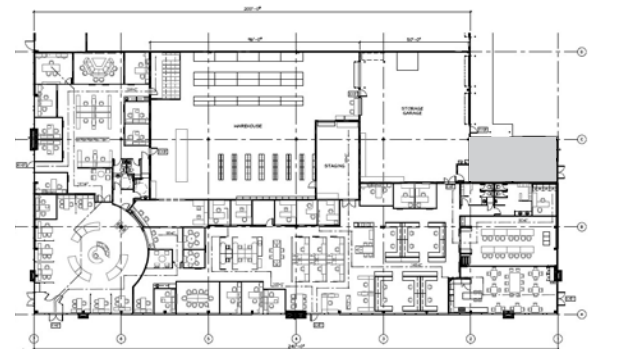
## Building Specifications

- DC2 zoning
- 91,250 SF total building area
- 127' truck court
- 40' x 40' typical column grid
- 200' building depth
- 28' clear height
- 79 non-exclusive car parking stalls
- Power: 400A, 347/600V, 3 phase, 4 wire
- ESFR sprinklers
- 6" concrete floor slab with steel fibre
- 2 drive-in grade loading doors
- 1MAU (5,000 CFM)

Area Available:	26,567 SF available area (17,139 SF office area)
Additional Costs:	\$6.39 PSF (2025) <small>*Excluding water &amp; management fee*</small>
Loading:	2 drive-in grade loading doors
Asking Rate:	Market



Office Buildout



Office Buildout





# Cityview Business Park

 Availability



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# Cityview Business Park

If you would like more information on this property please get in touch.

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