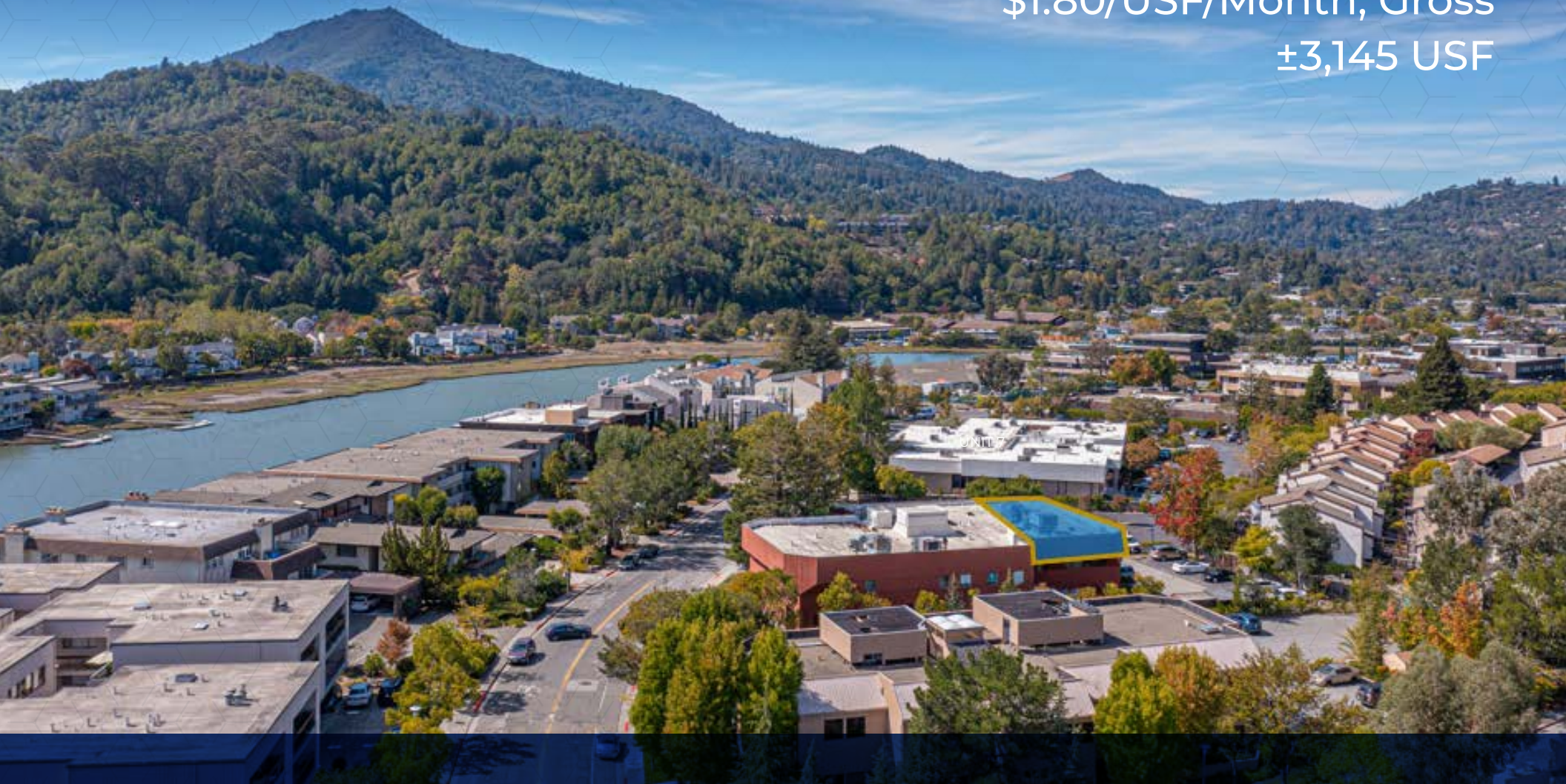


UNIT 7 | SUITE 201
1000 S. ELISEO DRIVE
GREENBRAE | CA

CONDOMINIUM
FOR LEASE

\$1.80/USF/Month, Gross
±3,145 USF



NEWMARK

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EXECUTIVE SUMMARY

NEWMARK, as exclusive listing agent, is pleased to offer the ability to lease a commercial medical office condominium located at 1000 S. Eliseo Drive, Unit 7 (Suite 201), in Greenbrae, California.

THIS CONDOMINIUM is improved as a medical office, totaling $\pm 3,145$ usable square feet of second floor space, the largest unit of seven within the complex.

THE BUILDING is elevator served and is within walking distance to MarinHealth Medical Center, one of the premier hospitals in the heart of Marin County.

THE UNIT is currently vacant and ready for a new tenant or owner occupier.



BUILDING HISTORY

- Built in 1974
- Great views of Mt Tamalpais
- Less than a mile from MarinHealth Medical Center
- 2.5 miles from Hwy 101
- Ready for occupancy



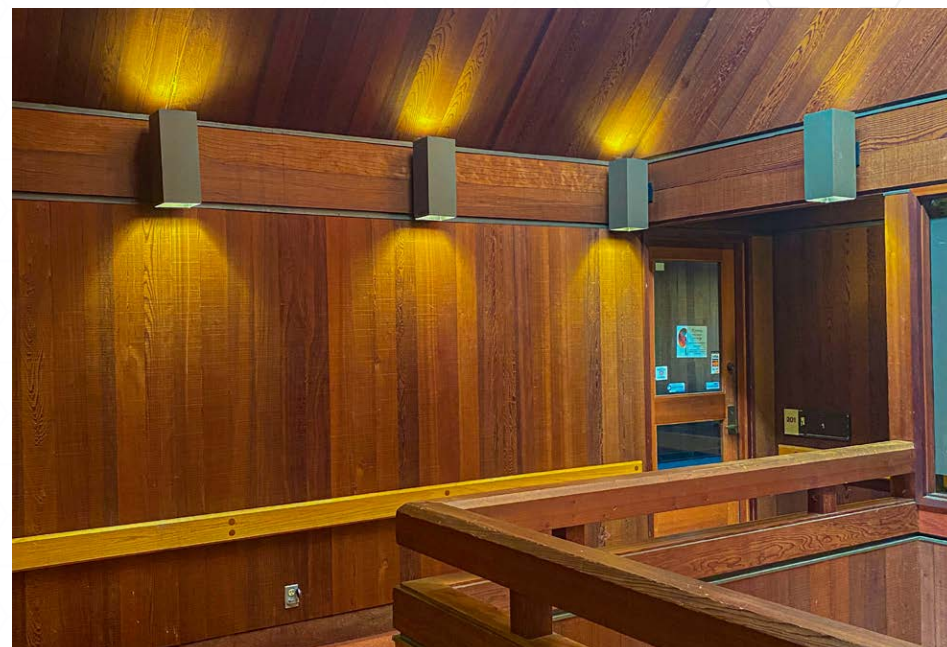
OFFERING TERMS

LEASE PRICE:	\$1.80/USF/Month, Gross
ADDRESS:	1000 S. Eliseo Drive, Greenbrae
UNIT:	Unit 7 (aka Suite 201)
UNIT SIZE:	±3,145 USF (per CC&R's)
UNIT APN:	022-500-07
PERCENT OF COMPLEX:	±24.6%
BUILDING SIZE:	±12,808 USF // ±15,138 Gross SF
CONSTRUCTION:	Wood frame with concrete foundation
SITE SIZE:	±1.0 acre
YEAR BUILT :	±1974
PARKING:	±75 stalls (i.e. ±5.86/1000 USF)
FLOOD ZONE:	X (located outside of the 100 and 500-year floodplain)
ZONING:	A-P (Administrative and Professional District)
ZONING JURISDICTION:	City of Larkspur
PERMITTED USES:	Medical and dental offices and clinics, administrative & executive offices, professional offices, business offices and some service establishments.
MORE INFORMATION:	https://larkspur.municipal.codes/Code/18.40

PROPERTY GALLERY



COMMON ATRIUM



PARCEL MAP



GENERAL CONDOMINIUM NOTES

1. The "Common Area" of this project is the land and real property included within the exterior boundary of R.M. Bk. 16-Pg. 23, except therefrom Units 1 through 7 inclusive, which are subdivisions of air space as shown and defined in O.R. 2853-167.

2. Assessor's parcel numbers shown opposite each unit include respective rights held in fee title plus the interest in the Common Area.

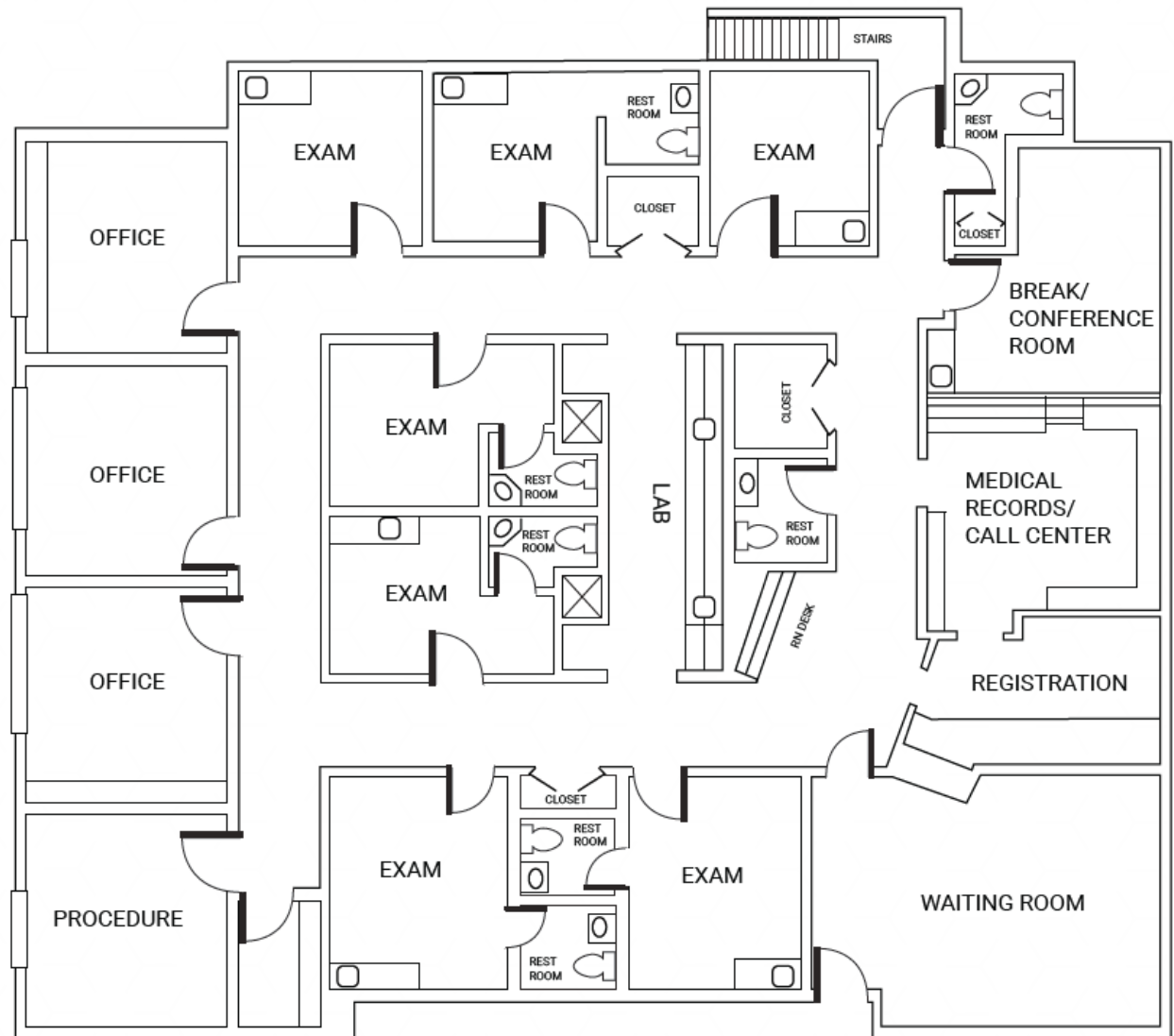
UNIT NO.	ASSESSOR'S PARCEL NO.	PERCENT OF INTEREST IN COMMON AREA
1	22-500-01	23.8
2	22-500-02	5.7
3	22-500-03	4.8
4	22-500-04	19.1
5	22-500-05	12.9
6	22-500-06	9.1
7	22-500-07	24.6

FLOOR PLAN

Unit Buildout

- 7 Exam Rooms in total
- 5 Exam Rooms with restrooms
- 3 Offices along window line
- 1 Procedure Room
- Lab area
- Registration and waiting area
- Administrative Office
- Break/Conference room
- Multiple closets for storage
- 2 general restrooms
- Abundant natural light

*Floor plan is not exactly to scale, provided for planning purposes



**UNIT 7 | SUITE 201
1000 S. ELISEO DRIVE
GREENBRAE | CA**

1101 Fifth Avenue, Suite 370, San Rafael, California 415.526.7676 nmrk.com

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