

**"CITY MATTRESS OFFICE"
INTERIOR RENOVATION
226 PALM COURT DELRAY BEACH, FL.**

APPLICABLE CODES

2020 FLORIDA BUILDING CODE
2020 FLORIDA PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE (FBC 107.2)
2020 FLORIDA MECHANICAL CODE
2020 FLORIDA FIRE PREVENTION CODE 7TH EDITION
-FLORIDA SPECIFIC NFPA-101, CHAPTER 42
2020 NFPA 101 LIFE SAFETY CODE EDITION
-FLORIDA SPECIFIC NFPA-101, CHAPTER 42
2020 FLORIDA ACCESSIBILITY CODE / ADA 94.

GENERAL NOTES

- 1) THE ARCHITECT AND HIS AUTHORIZED REPRESENTATIVES AND AGENTS SHALL HAVE ACCESS TO AND BE PERMITTED TO INSPECT ALL WORK, MATERIALS AND OTHER RELEVANT DATA AND RECORDS WHEREVER THEY ARE IN PREPARATION AND PROGRESS. WHEN REQUESTED, THE CONTRACTOR SHALL FURNISH DUPLICATE COPIES OF THE AFOREMENTIONED DATA.
- 2) ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENT DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO COMMENCEMENT OF WORK OR CONSTRUCTION, SO THAT CORRECTIVE MEASURES MAY BE TAKEN.
- 3) THE GENERAL CONTRACTOR WILL MAKE EVERY EFFORT TO EXPEDITIOUSLY COORDINATE ALL PHASES OF THE WORK TO OBTAIN THE END RESULT WITHIN THE FULL PURPOSE AND INTENT OF THE DRAWINGS FOR THE PROJECT.
- 4) ANY UNFORESEEN CONDITIONS IN FIELD AFFECTING THE DESIGN CONCEPT OF THE BUILDING, OR THAT ARE IN CONFLICT WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. EACH CONTRACTOR AND SUBCONTRACTOR SHALL GUARANTEE TO RESPECT THE SITE FOR ALL EXISTING CONDITIONS WHICH COULD AFFECT THE WORK THEY ARE BIDDING FOR AND SHALL BE RESPONSIBLE FOR ANTICIPATING THE EFFECTS OF THOSE CONDITIONS UPON THEIR WORK.
- 5) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 EDITION, AND ALL APPLICABLE NATIONAL AND LOCAL RULES, REGULATIONS AND ORDINANCES. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- 6) ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER.
- 7) THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.
- 8) DO NOT SCALE THE DRAWINGS.
- 9) FIELD VERIFY ALL DIMENSIONS.
- 10) ALL AREA CALCULATIONS ARE APPROXIMATE.
- 11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES.
- 12) THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF ALL SYSTEMS SO THAT THEY ARE COMPLETE AND FULLY FUNCTIONING (EXCEPT AS NOTED HEREIN).
- 13) ALL INTERIOR FINISHES ARE TO BE SUPPLIED BY CONTRACTOR AND APPROVED BY OWNER.
- 14) THE DESIGN AND CONSTRUCTION OF ACCESSIBLE BUILDING ELEMENTS SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 94, FBC 2020 & ALL LOCAL CODES OR STANDARDS FOR ACCESSIBILITY SHALL APPLY WHEN THEY SPECIFY A MORE STRINGENT REQUIREMENT.
- 15) THE INTERPRETATION OF DRAWINGS, SPECIFICATIONS, OR OTHER BIDDING DOCUMENTS SHALL NOT BE MADE VERBALLY TO THE BIDDER. IF THE BIDDER IS IN DOUBT AS TO THE MEANING OF ANY OF THESE CONTRACT DOCUMENTS OR SHOULD DISCOVER ANY DISCREPANCIES OR CONFLICT HERE IN, THE BIDDER SHALL TELEPHONE OR SEND A WRITING TO THE ARCHITECT TO REQUEST INTERPRETATION. IN THE EVENT THAT THE BIDDER FAILS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, THE BIDDER IS DEMANDED TO HAVE ESTIMATED THE MOST EXPENSIVE WAY OF DOING THE WORK.
- 16) THE CONTRACTOR SHALL PROVIDE OWNER / ARCHITECT WITH A WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT, WHICH COULD CHANGE THE DAY TO DAY OPERATIONS OF THE OWNER.
- 17) THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER/ARCHITECT FOR THE ACTS AND OMISSIONS OF ITS COMPLETION OF THE WORK.
- 18) NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ARCHITECT AND OWNER FOR SUBSTITUTIONS MADE IN SPECIFIED EQUIPMENT, MATERIALS AND COLORS.
- 19) DETAILS MARKED AS TYPICAL APPLY TO SIMILAR CONDITIONS INCLUDING CONDITIONS NOT MARKED AS SIMILAR, UNO. TYPICAL DETAILS NOT SHOWN BUT NECESSARY FOR CONFORMANCE WITH APPLICATION.
- 20) ALL WORK MATERIAL AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- 21) TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND DAILY OPERATIONS.
- 22) DISPOSAL: CONTRACTOR IS RESPONSIBLE FOR REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. NOTE: CONTRACTOR TO COORDINATE W/ OWNER TO VERIFY ALL ITEMS TO BE SALVAGED OR REMOVED FROM SITE - PRIOR TO DEMOLITION.
- 23) NOTE: NO ATTEMPT IS MADE ON THESE DRAWINGS TO SHOW EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL VISIT SITE TO DETERMINE WHETHER OR NOT SMALLER ITEMS NOT SHOWN ARE TO BE REMOVED. CONTRACTOR IS HEREBY NOTIFIED TO STUDY THE ARCHITECTURAL PLANS TO DETERMINE THE FINISH DESIGN CONTENT. ANY QUESTIONS SHALL BE DIRECTED TO THE GEN. CONTRACTOR CONCERNING ALL ITEMS TO BE REMOVED OR TO REMAIN.
- 24) THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT SIX (6) PRINTS (PDF'S) OF DETAIL SHOP DRAWINGS OF ALL APPLICABLE CONSTRUCTION. SUCH DRAWINGS SHALL SHOW THE DESIGN DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO ENSURE THAT THEY ACCURATELY INTERPRET THE DRAWINGS. THE CONTRACTOR WILL RETAIN RESPONSIBILITY FOR FURNISHING THE MATERIALS, APPARATUS, DEVICES, ETC. OF PROPER DIMENSION, SIZE, QUANTITY, AND QUALITY AS SHOWN ON THE DRAWINGS AND THE RESPONSIBILITY FOR ANY ERRORS OF THE SHOP DRAWINGS. ALLOW TWO WEEKS FOR REVIEW TIME.

SHEET SCHEDULE					
SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE
ARCHITECTURAL					
A201E	EXISTING SECOND FLOOR PLAN (FOR REFERENCE ONLY)		SCALE: 3/16" = 1'-0"		
A201D	PROPOSED SECOND FLOOR DEMOLITION PLAN		SCALE: 3/16" = 1'-0"		
A202D	PROPOSED SECOND FLOOR DIMENSION PLAN		SCALE: 3/16" = 1'-0"		
A202N	PROPOSED SECOND FLOOR NOTED PLAN		SCALE: 3/16" = 1'-0"		
A500	PROPOSED REFLECTED CEILING PLAN		SCALE: 3/16" = 1'-0"		
A800	TYPICAL DETAILS		SCALE: VARIES		
A801	TYPICAL DETAILS / WINDOW & DOOR SCHEDULE		SCALE: VARIES		
B100	TYPICAL ACCESSIBLE DETAILS		SCALE: N.T.S.		
B101	TYPICAL ACCESSIBLE DETAILS		SCALE: N.T.S.		
LS-1	PROPOSED SECOND FLOOR LIFE SAFETY PLAN	SCALE: 3/16" = 1'-0"			

- 25) ALL SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES ARE SUBJECT TO REVIEW BY THE ARCHITECT & OR ASSOCIATED PROFESSIONALS, AT THEIR DISCRETION.
- 26) SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT BY THE GENERAL CONTRACTOR ONLY FOR REVIEW PRIOR TO FABRICATION.
- 27) THE CONTRACTOR IS EXPECTED TO FURNISH ALL ITEMS FOR A COMPLETE ELECTRICAL, PLUMBING, AND MECHANICAL, TO MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER IN CONFORMITY WITH LOCAL STANDARDS AND APPLICABLE CODES HAVING JURISDICTION. DIMENSIONS INDICATED ON THE PLANS FROM FACE OR FINISH WALL. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. USE FIGURED DIM. ONLY. DO NOT SCALE DRAWINGS. DO NOT DEVIATE FROM THE WRITTEN DIM. MORE THAN 1" WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. IF AN APPROVAL IS NOT RECEIVED, NOTIFY ARCHITECT WHERE 'CLEAR OR 'HOLD' DIMENSIONS ARE INDICATED. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES IN THE PLANS OR Specs. NOTE: ALL DIMENSIONS TO TAKE PREDENCE OVER SCALE SHOWN ON PLANS.
- 28) CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP.
- 29) ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.
- 30) ALL EXTERIOR METAL FASTENERS, NAILS, AND BOLTS SHALL BE ZINC PLATED, HOT DIPPED GALVANIZED. (IF APPLICABLE)
- 31) PRIOR TO PLACEMENT OF ANY STUCCO OVER CONCRETE SURFACES, SUCH SURFACES SHALL BE TREATED WITH BONDING AGENT APPLIED IN FULL CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS (IF APPLICABLE).
- 32) IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- 33) CONTRACTOR TO PROVIDE TECHNICAL DATA SHEETS ON ALL CHEMICALS TO BUILDING DEPT. FOR APPROVAL. HEPTACHLOR, CHLORDANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S INSTRUCTIONS IN COMPLIANCE WITH EPA. REGULATIONS. (IF APPLICABLE).
- 34) ALL INTERIOR PAINT COLORS TO BE SELECTED BY OWNER. NOTE: ALL COLORS DEPICTED ON PLANS FOR PRICING PURPOSES ONLY. (PAINT SUB-CONTRACTOR TO PROVIDE PAINT SAMPLES FOR APPROVAL PRIOR TO PAINTING). VERIFY WITH OWNER ON MATCHING EXISTING COLORS.
- 35) NOTE: PRODUCTS BY ANY OF THESE MANUFACTURERS ARE ACCEPTABLE: COATING OF BENJAMIN MOORE, SHERWIN WILLIAMS, PITTSBURGH, DEVOE, DUPONT, & PORTER ARE CONSIDERED EQUAL.
- 36) CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.
- 37) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND OBTAIN ACCESS TO THE SITE WITH OWNER.
- 38) THE CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL REQUIRED PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE COMPLETION OF THE WORK.
- 39) ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION OF THE OWNER AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- 40) THE CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WITH EACH OTHER TO PREVENT OVERSTEPPING EACH OTHER. THE CONTRACTOR SHALL PROVIDE LABOR & MATERIALS NECESSARY TO MAINTAIN CONSTRUCTION SCHEDULING. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE TO MEET THE SCHEDULE AS PROVIDED AND AGREED TO WITH THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 41) ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMAN-LIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY THE ENGINEER / ARCHITECT MUST BE A CONDITION OF THE CONTRACT BETWEEN THE GEN. CONTRACTOR AND OWNER.
- 42) ANY WORK ON EXTERIOR SHALL BE APPROVED BY OWNER PRIOR TO WORK BEING PERFORMED. (IF APPLICABLE)
- 43) THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING WORK:
 - MAKE-WAY / HOOK UP SCHEDULING OF ALL TRADES AND WORK (INCLUDING WORK OF OTHERS WHERE NO CONTRACTUAL RELATIONSHIP EXIST).
 - PROVIDING BARRICADES, TEMPORARY POWER, LIGHTING, TELEPHONE SERVICES, ETC. AS REQ'D. TO COMPLETE WORK.
 - TEMPORARY UTILITIES, CONNECTIONS AND PAYMENT OF ALL UTILITY CHARGES DURING CONSTRUCTION.
 - COORDINATION WITH OWNER OR AGENT OF DELIVERY AND REMOVAL IF MATERIALS, EQUIPMENT, AND OTHER ITEMS TO / FROM SITE.
 - REMOVAL OF TRASH AND DEBRIS. PLACE IN DESIGNATED CONTAINERS AS DIRECTED BY OWNER. REMOVE ALL TRASH FROM PREMISES.
 - ISSUE ALL ADDENDUMS, REVISIONS AND UPDATES TO SUBCONTRACTORS IN A TIMELY MANNER.
- 44) ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE ARCHITECT'S PROPERTY. NO CHANGES, ADDITIONS OR DELETIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF COMPLETE AND CURRENT DRAWINGS AVAILABLE FOR REVIEW AT THE JOBSITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNER RECORD COPY.
- 45) ALL WORK SHALL BE LAID OUT TRUE, SQUARE AND PLUMB TO EXACT AND CORRECT DIMENSIONS. IF DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER / ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE ARCHITECT WILL ISSUE A DIMENSIONAL OR LAYOUT CORRECTION NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT DIMENSIONAL ERRORS.
- 46) ALL MATERIALS USED IN THE PERMANENT CONSTRUCTION OF THE WORK MUST BE NEW AND UNUSED (UNO). FIRST QUALITY, FREE FROM DEFECTS AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS FOR THE APPLICATION AT HAND. ALL WORKMANSHIP SHALL BE OF FIRST CLASS QUALITY.
- 47) CONTRACTOR SHALL PROVIDE CUT-SHEETS AND SPECIFICATIONS OF ALL ITEMS FOR SUBMISSION TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR INSTALLING.
- 48) PRODUCT MANUFACTURERS INDICATED IN SCHEDULES AND / OR ON PLANS WERE SELECTED BASED UPON QUALITY, STYLE, SIZE, COLOR, ETC. AND ARE NOT INTENDED TO RESTRICT THE COMPETITIVE BIDDING. PRODUCTS EQUAL TO OR INTENDED TO BE USED AS SUBSTITUTES ARE SUBJECT TO ARCHITECT'S APPROVAL IN WRITING PRIOR TO PURCHASE OR INSTALLATION.
- 49) REQUIRED RESTROOMS SHALL HAVE FLOORS & WALLS OF IMPERVIOUS MATERIALS TO HAVE A HEIGHT OF 60" AFF. (ALL FLOORS SHALL BE "NON-SKID" COMMERCIAL GRADE). - IF APPLICABLE - NOTE RESTROOMS ARE EXISTING & TO REMAIN "AS IS".
- 50) OWNER SHALL REVIEW THESE CONSTRUCTION DOCUMENTS AND VERIFY THAT THEY ARE CORRECT AND COMPLETE PRIOR TO BIDDING AND START OF CONSTRUCTION.
- 51) OWNER SHALL APPROVE ALL MATERIAL AND FINISH SAMPLES ALONG WITH ALL EQUIPMENT & SPECIFICATIONS PRIOR TO ORDERING AND INSTALLATION.
- 52) ALL EXTERIOR DOORS TO HAVE 1/2" MAX BEVELED THRESHOLD. - CONTRACTOR TO VERIFY ALL EXTERIOR DOORS COMPLY.
- 53) ALL WALKWAYS TO BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE (NOTE: SIDEWALKS UNDER NO CIRCUMSTANCES SHALL NOT EXCEED 2% SLOPE. (IF APPLICABLE))
- 54) FLASHING, DRIPS & ETC. TO BE 16 OZ. COPPER (NOT APPLICABLE)
- 55) PROVIDE FIRE STOPPING AT ROOF, WALLS, AND CEILING AS REQUIRED.
- 56) INSTALL PVC PLASTER STOPS AROUND PERIMETER OF ALL AREAS WHERE PLASTER ABUTS OTHER MATERIAL. STOPS SHALL BE CAREFULLY MITERED AT CORNERS. ALL EXTERIOR CORNERS AND WINDOW AND DOOR OPENING TO RECEIVE PVC CORNER BEADS. (IF APPLICABLE)
- 57) CONCEAL ALL FASTENINGS AND ATTACHMENTS FROM VIEW.
- 58) CONTRACTOR TO COORDINATE WITH OWNER / ARCHITECT FOR MAINTAINING EMERGENCY EGRESS AT ALL TIMES DURING OCCUPANCY OF BUILDING. - MAINTAIN EXISTING WALLS OR USE TEMPORARY DUST/CONSTRUCTION BARRIERS UNTIL WORK IS SUBSTANTIALLY COMPLETED IN AREAS OF OCCUPANCY. - (NOTE: CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL EXISTING BUILDING AND FACILITY FUNCTIONS DURING DEMOLITION AND CONSTRUCTION OF INTERIOR BUILD OUT).
- 59) THE CONTRACT DOCUMENTS INCLUDE ARCHITECTURAL, ELECTRICAL, PLUMBING AND MECHANICAL DRAWINGS. NO PORTION BY ITSELF PROVIDES ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT. THEREFORE IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL OTHER SUBCONTRACTORS TO THOROUGHLY FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND COORDINATE THE INFORMATION CONTAINED THEREIN TO PROPERLY AND SUCCESSFULLY CONSTRUCT THE PROJECT.
- 60) ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS. VERIFY EXISTING CONDITIONS COMPLY WITH CURRENT CODE REQUIREMENTS. NOTIFY ARCHITECT IN WRITING IF CHANGES ARE NECESSARY. NO EXTRAS WILL BE GIVEN. REPORT ANY DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO SUBMITTING PROPOSAL.
- 61) THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.
- 62) CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.
- 63) THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- 64) ALL GYPSUM WALLBOARD TO BE SCREW APPLIED AS PER THE GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION.
- 65) ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED 1" THICK FIBERGLASS PIPE INSULATION.
- 66) DRYWALL PRODUCTS BY GOLD BOND, USG, CELOTEX, GEORGIA PACIFIC, MILCOR PRODUCTS ARE ACCEPTABLE.

LEGAL DESCRIPTION

LOTS 2 AND 3, BLOCK 11, OF "DEL-IDA PARK",
ACCORDING TO THE PLAT THEREOF AS RECORDED
IN PLAT BOOK 9 PAGE 52, OF THE PUBLIC
RECORDS OF PALM BEACH COUNTY, FLORIDA.

ZONING

RO (HISTORIC DEL-IDA)

ALLOWABLE AREA

GROUP B/23,000 S.F./3 STORIES

OCCUPANCY CLASSIFICATION

GROUP 'B' BUSINESS

TYPE OF CONSTRUCTION

TYPE IIB
UNPROTECTED
SPRINKLERED

ALL INTERIOR PAINT COLORS SELECTED BY OWNER.

PROVIDE WATERPROOF GYPSUM WALL BOARD (MR) IN ALL BATHROOM. (NOTE: BATHROOMS ARE EXISTING & TO REMAIN "AS IS" - (IF APPLICABLE))

ALL DOOR FRAMES TO BE LOCATED 4' FROM ADJACENT PARTITIONS, UNO.

ALL DRYWALL PARTITIONS WILL BE TAPE, SPACKLED, Sanded, PRIMED AND PAINTED.

THE CONTRACTOR WILL PROVIDE THE NECESSARY TEMPORARY CLOSING OF ALL NEW OPENINGS IN WALLS OR ROOF AT THE END OF EACH DAY'S WORK TO KEEP THE BUILDING WEATHER TIGHT AND SECURE.

ALL INTERIOR FINISHES SHALL COMPLY W/ FBC 2020 FOR FLAME SPREAD RESTRICTIONS & LIFE SAFETY 101 EDITION (CLASS A AND B).

ALL INTERIOR FLOORING TO BE APPROVED BY OWNER AND INSTALLED BY GEN. CONTRACTOR.

ALL INTERIOR FIXTURES ARE FOR REFERENCE ONLY, ACTUAL SIZE AND LOCATIONS TO BE PROVIDED TO CONTRACTOR BY OWNER (TYP).

ALL INTERIOR PARTITIONS ARE TO BE 4 1/2" X 4 1/2" UNO.

THE CONTRACTOR WILL PATCH, REPAIR OR REPLACE EXISTING WORK DAMAGED BY NEW CONSTRUCTION.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE INFORMED THAT UNDER NO CIRCUMSTANCES SHALL THE EXISTING CONCRETE Poured IN PLACE POST TENSION FLOOR AND CEILING HAVE MORE THAN A 1/4" PENETRATION FOR ALL ATTACHMENTS AND FASTENERS.

EXISTING CONCRETE SLAB (FLOOR AND CEILING) ARE POST TENSION CONSTRUCTION. X-RAY REQUIRED PRIOR TO ANY PENETRATION OF SLAB (THAT IS AN EXCESS OF 3/4"). IF CLEARED FOR PENETRATION MAKE NEAT HOLES AND MINIMIZE DAMAGE TO ADJACENT WORK. CHECK FOR ALL CONCEALED UTILITIES AND STRUCTURE PRIOR TO CUTTING. - PATCHING - MAKE PATCHES, SEAM & JOINTS DURABLE, INCONSPICUOUS AND REMOVE ALL ABANDONED UTILITIES - WHERE POSSIBLE.

CONTRACTOR TO COORDINATE WITH OWNER / ARCHITECT FOR MAINTAINING EMERGENCY EGRESS AT ALL TIMES DURING OCCUPANCY OF BUILDING. - MAINTAIN EXISTING WALLS OR USE TEMPORARY DUST/CONSTRUCTION BARRIERS UNTIL WORK IS SUBSTANTIALLY COMPLETED IN AREAS OF OCCUPANCY. - (NOTE: CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL EXISTING BUILDING AND FACILITY FUNCTIONS DURING DEMOLITION AND CONSTRUCTION OF INTERIOR BUILD OUT).

THE CONTRACT DOCUMENTS INCLUDE ARCHITECTURAL, ELECTRICAL, PLUMBING AND MECHANICAL DRAWINGS. NO PORTION BY ITSELF PROVIDES ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT. THEREFORE IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL OTHER SUBCONTRACTORS TO THOROUGHLY FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND COORDINATE THE INFORMATION CONTAINED THEREIN TO PROPERLY AND SUCCESSFULLY CONSTRUCT THE PROJECT.

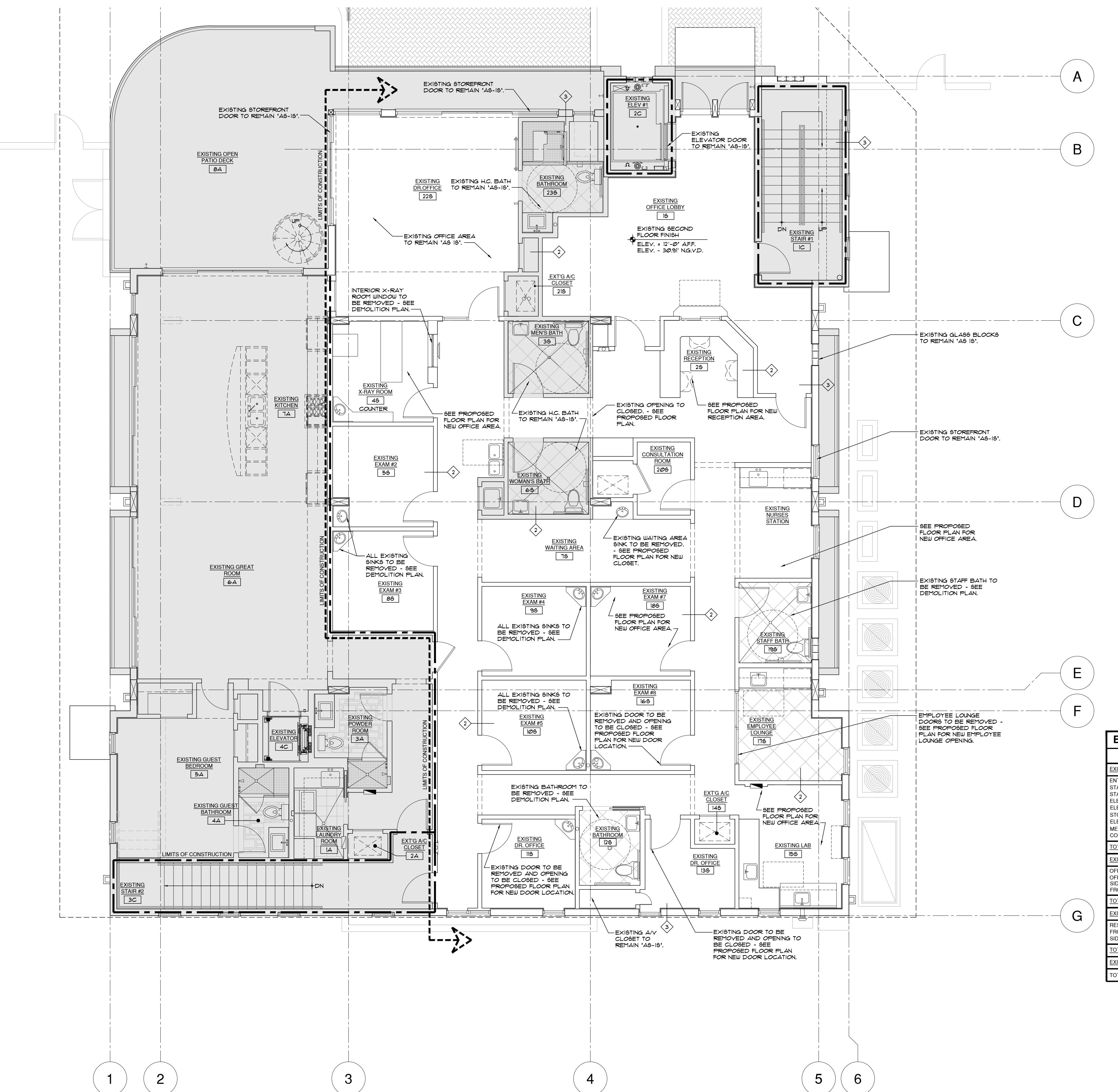
ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS. VERIFY EXISTING CONDITIONS COMPLY WITH CURRENT CODE REQUIREMENTS. NOTIFY ARCHITECT IN WRITING IF CHANGES ARE NECESSARY. NO EXTRAS WILL BE GIVEN. REPORT ANY DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO SUBMITTING PROPOSAL.

THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.

WALL LEGEND	
	EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.
	EXISTING 4' TO 6' INTERIOR DRYWALL PARTITION TO REMAIN 'AS-IS'.
	EXISTING 3½' 1-HR. RATED WALL TO REMAIN 'AS-IS'. (NOTE: FIRE RATING TO BE MAINTAINED).
	EXISTING EX. WALLS 8' CMU WALL W/ STUCCO FINISH TO REMAIN 'AS-IS'.
	EXISTING 8' INT. CMU WALL W/ 2-COATS SMOOTH STUCCO PAINTED FINISH TO REMAIN 'AS-IS'.
	5' INTERIOR (NON-LOAD BEARING PARTITION) W/ 3½" 25 GA. MTL STUDS @ 24" O.C. (SEE DIT. FIRE PLANS FOR ACTUAL WALL THICKNESS FOR DRYWALL & BATTING). KITCHEN & BATH (8' DENS-SHEILD BEHIND TILE). (NOTE: STUDS TO BE 12" O.C. WHEN INSTALLING FIRE DRYWALL). (NOTE: FIRE RATING IV FINISH THROUGHOUT OFFICE. (THE RATED NON-LOADING PARTITIONS TO BE UL-1419 OR EQUAL - REMAIN 'AS-IS').
	AREAS TO REMAIN 'AS-IS'
	EXISTING CONCRETE COLUMN TO REMAIN 'AS-IS'.
	EXISTING STRUCTURAL STEEL COLUMN TO REMAIN 'AS-IS'.
	WINDOW NUMBER
	DOOR NUMBER
NOTE: ALL INTERIOR WALLS W/ CABINETS TO BE PROVIDED W/ 1/2" FLYWOOD OR PT. WOOD BLOCKING.	
2. ALL OFFICE, BREAK ROOM, AND CONFERENCE ROOM WALLS TO RECEIVE BATT SOUND INSULATION (TYPE) - VERIFY W/ OWNER FOR ALL LOCATIONS.	
3. ALL TILED WALLS TO RECEIVE 5/16" DURROCK BACKING OR EQUAL.	
4. ALL EXISTING / NEW FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, WOOD BARRIERS, FIRE RETAININGS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE EERLY IDENTIFIED AND PROTECTED IDENTIFIED WITH SIGNS OR STENCILING ABOVE THE DECORATIVE CEILING AND IN CONCEALED SPACES OF THE WALL WITH 8" X 8" STAINLESS STEEL FIRE BARRIER - PROTECT ALL OPENINGS AS PER CHAPTER 1 - FBC 2020 ED.	
F-1 EXISTING 1-HR. RATED PARTITION - UL-1419.	
F-2 EXISTING 2 HR. RATED PARTN. - UL1030-MIN.	
F-3 EXISTING 2 HR. RATED SHAFT WALL PARTN. - UL1031-MIN.	

 PROJECT TITLE
**PROPOSED
INTERIOR
RENOVATION**

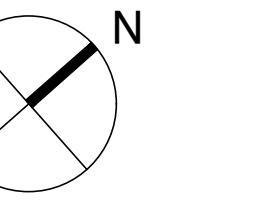
EXISTING AREA CALCULATIONS (FOR REF. ONLY)	
	TOTAL UNDER A/C
	TOTAL UNDER ROOF
EXISTING GROUND FLOOR AREA:	
ENTRY LOBBY	168 SQ.FT.
STAIR #1	155 SQ.FT.
STAIR #2	178 SQ.FT.
ELEVATOR #1	63 SQ.FT.
ELEVATOR MEASUREMENT	88 SQ.FT.
STORE ROOM	135 SQ.FT.
ELECTRICAL ROOM	98 SQ.FT.
MECH. ROOM	4,606 SQ.FT.
COVERED PARKING GARAGE	
TOTAL EXISTING GROUND FLOOR AREA	5,540 SQ.FT.
EXISTING SECOND FLOOR AREA:	
OFFICE FLOOR AREA (NET SQ.FT.)	3,385 SQ.FT.
OFFICE FLOOR AREA (GROSS SQ.FT.)	3,570 SQ.FT.
SIDE BALCONETTES (N.I.C. UNDER ROOF)	(2) @ 32 SQ.FT.
FRONT BALCONY (N.I.C. UNDER ROOF)	34 SQ.FT.
TOTAL EXISTING SECOND FLOOR OFFICE AREA (GROSS SQ.FT.)	3,570 SQ.FT.
EXISTING SECOND FLOOR RESIDENTIAL UNIT	
RESIDENTIAL CONDO UNIT	1,338 SQ.FT.
FRONT BALCONY	622 SQ.FT.
SIDE BALCONETTES (N.I.C. UNDER ROOF)	(2) @ 32 SQ.FT.
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF	4,908 SQ.FT.
EXISTING ROOF TOP	789 SQ.FT.
TOTAL EXISTING AREA UNDER ROOF:	10,448 SQ.FT.

 THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.
 FILE NUMBER 1205A201E
 DRAWING TITLE EXISTING SECOND FLOOR PLAN (FOR REF. ONLY)
 DATE 01.03.22 DRAWN BY GE/DR
 JOB NUMBER 20211205
 DRAWING NUMBER
 A2.01E

 EXISTING SECOND FLOOR PLAN
 (FOR REFERENCE ONLY)

A2.01E

SCALE: 3/16"=1'-0"

(FOR REFERENCE ONLY)



FLOOR NOTES

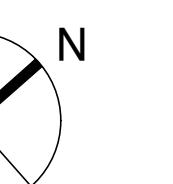
- EXISTING STOREFRONT WINDOWS / DOORS TO REMAIN "AS IS". CONTRACTOR TO FIELD VERIFY ALL EXISTING DOORS ARE IN WORKING CONDITION & MEET ADA REQUIREMENTS.
- NOTE: DASH RECTANGLE INDICATES MIN. FLOOR CLEARANCE FOR PARALLEL AND FORWARD APPROACH FOR VARIOUS LOCATIONS THROUGHOUT SPACE. THIS PORTION OF BUILDING TO COMPLY WITH ALL APPLICABLE ADA REQUIREMENTS.
- EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- EXISTING OFFICE H.O. BATHROOMS TO REMAIN "AS IS" - VERIFY W/ OWNER - FIELD VERIFY ALL SIGNAGE.
- Maintain proper fire rating at all penetrations of rated wall assemblies (i.e. mechanical and electrical service runs).
- FURRED OUT WALL 6' TO 8' FOR PLUMBING STACK - SEE PLUMBING PLANS FOR LOCATIONS IF REQUIRED.
- SEE FLOOR PLAN FOR LOCATION OF 5 LB. (ABC) RATING FIRE EXTINGUISHERS AND WALL HANGERS (VERIFIED LOCATION W/ OWNER) - FIRE EXTINGUISHERS ARE TO BE ADDED TO FLOOR - FOR PRICING PURPOSES USE RECESSED CABINETS - LARSEN'S SOLID DOOR W/ BLACK TYPE A - DIECUT LETTERING (STAINLESS STEEL #90-14209 - VERIFY IF EXISTING DOORS ARE IN WORKING CONDITION - INSPECTION DATES ARE CURRENT).
- BATT SOUND INSULATION TO BE INSTALLED IN ALL WALLS, (TYP. FOR ALL NEW PARTITION AND ANY WALLS THAT ARE OPENED UP). SEE WALL TYPE 3.
- NON-LOAD BEARING 5' INT. PARTITION WALL W/ (1) LAYER OF 5/8" TYPE "X" GULW. SMOOTH LEVEL IV FINISH - PAINTED ON EA. SIDE OF 3/4" 20 GA. METAL STUDS @ 24" O.C. W/ BATT. SOUND INSULATION. FLOOR IS 1/2" CONCRETE WALL THICKNESS (1/2" DRYWALL @ UTILITY AREA 5/8" DENS-SHIELD BEHIND TILE). (NOTE: STUDS TO BE 12" O.C. WHEN INSTALLING MR. DRYWALL CLG'S. (TYP.).
- FLOOR OUTLETS - CONTRACTOR TO COORDINATE EXACT LOCATION W/ OWNER - STYLE & COLOR TO BE APPROVED BY OWNER - NOTE: ALL POST-TENSION SLABS TO BE X-RAY PRIOR TO ANY PENETRATION.
- EXISTING TELEPHONE SOUND SYSTEM & COMPUTER IT. ROOM TO REMAIN "AS IS".
- EXISTING ELECTRICAL SERVICE PANEL TO REMAIN "AS IS" - CONTRACTOR TO FIELD VERIFY EXISTING SERVICE PANEL / BREAKERS ARE IN WORKING CONDITION.
- 3/4" TYPE "X" GYPSUM WALL BOARD - PAINTED ON 1/2" FURRING CHANNELS @ 24" O.C. W/ 1/2" FI-POIL INSULATION BETWEEN FURRING & EXTERIOR WALLS.
- AIR HANDLING UNIT TO REMAIN "AS IS" - VERIFY W/ OWNER.
- 3/4" FLOOR DRAIN - TO REMAIN "AS IS" - VERIFY W/ OWNER (TYP. 4 ALL OFFICE BATHROOMS) - ALL EXISTING DRAINS AT BATHROOMS TO BE REMOVED TO BE CAPPED OFF / SEALED.
- LAVATORY (TO REMAIN "AS IS" - VERIFY W/ OWNER). CONTRACTOR TO FIELD VERIFY ALL ARE IN WORKING ORDER.
- WATER CLOSET (TO REMAIN "AS IS" - VERIFY W/ OWNER). CONTRACTOR TO FIELD VERIFY ALL ARE IN WORKING ORDER.
- SEE ROOM FINISH SCHEDULES FOR ALL WALLS, CEILINGS & FLOOR COVERINGS - VERIFY W/ OWNER.
- ALL FLOORING SHALL BE "NONSKID", COMMERCIAL GRADE & COMPLY W/ ADA REQUIREMENTS. - VERIFY W/ OWNER.
- 1/2" D. CEDAR SHELVING @ 68" AFF. COORDINATE WITH OWNER (CONTRACTOR TO PROVIDE PRICE FOR BUILT-INS).
- CONTRACTOR TO VERIFY W/ OWNER ALL REQUIRED HT'S & BACKING FOR ALL PLASMA/FLAT SCREEN TV LOCATIONS (TYP.).
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL MILLWORK - VERIFY W/ OWNER.
- CONT. 1/2" FLAT STOCK - PAINT GRADE "POPLAR" OR EQUAL BASE BOARD (MATCH EXISTING) - VERIFY W/ OWNER.
- ALL NEW INTERIOR DOORS MATCH EXISTING - 8'-0" H. SINGLE PANEL "SC1010" MDF FLUSH SLAB DOORS BY TIMBERLINE OR EQUAL. SEE DOOR SCHEDULE FOR EXISTING DOORS TO BE RELOCATED (VERIFY W/ OWNER).
- EXISTING MOP SINK TO REMAIN "AS IS" - VERIFY W/ OWNER.
- EXISTING DRINKING FOUNTAIN TO REMAIN "AS IS" - VERIFY W/ OWNER.
- EXISTING STRUCTURAL COLUMNS TO REMAIN "AS IS".
- EXISTING DOORS TO REMAIN "AS IS" - CONTRACTOR TO VERIFY HARDWARE AND PATCH & REPAIR "AS NECESSARY".
- NOTE: SOME DOORS TO BE RELOCATED & REVERSED HARDWARE - ALL HARDWARE TO MATCH EXISTING (VERIFY W/ OWNER).
- CEILING COVE OUTLINE - SEE PROPOSED REFLECTED CEILING PLAN / ELECTRICAL DRAWINGS.
- 1/2" INTERIOR TEMPERED GLASS DOOR BY "AVANT" SET IN (INSTALL A6 PER MANUF.). ALL DOOR HARDWARE TO BE APPROVED BY OWNER.
- 1/2" INTERIOR TEMPERED SINGLE GLAZING SYSTEM PARTITION CHANNEL BY "AVANT" SET IN 2-Piece CHANNEL BY (INSTALL AS PER MANUF.). VERIFY W/ OWNER ON GLASS TINT / COLOR & ALL FINISHES.



PROPOSED SECOND FLOOR NOTED PLAN

SCALE : 3/16"=1'-0"

1
A2.02N



WALL LEGEND

- EXISTING WALL & WINDOWS & DOORS TO BE REMOVED.
- EXISTING 4' TO 6' INTERIOR DRYWALL PARTITION TO REMAIN "AS IS".
- EXISTING 3 1/2" 1-HR. RATED WALL TO REMAIN "AS IS". (NOTE: FIRE RATING TO BE MAINTAINED).
- EXISTING EX. WALLS, 6" CBS W/ STUCCO FINISH TO REMAIN "AS IS".
- EXISTING 8" INT. CMU WALL W/ 2-COATS SMOOTH STUCCO PAINTED FINISH TO REMAIN "AS IS".
- 5" INTERIOR NON-LOAD BEARING PARTITION W/ 5/8" 20 GA. METAL STUDS @ 24" O.C. (SEE DIM. FLOOR PLANS FOR ACTUAL WALL THICKNESS) (MR. DRYWALL). BATHROOMS, KITCHEN, LAUNDRY, 5/8" DENS-SHIELD BEHIND TILE. NOTE: STUDS TO BE 12" O.C. WHEN INSTALLING MR. DRYWALL CEILINGS (TYP.) - LEVEL IV FINISH. EXISTING 8" INT. CMU WALLS TO BE RATED NON-LOADING PARTITIONS TO BE 12" O.C. OR EQUAL - REMAIN "AS IS".
- AREAS TO REMAIN "AS IS".
- EXISTING CONCRETE COLUMN.
- EXISTING STRUCTURAL STEEL COLUMN TO REMAIN "AS IS".
- WINDOW NUMBER
- DOOR NUMBER
- NOTE: 1. ALL INTERIOR WALLS W/ CABINETS TO BE PROVIDED W/ 1/2" Plywood OR PT. WOOD BLOCKING.
- 2. ALL OFFICE, BREAK ROOM, AND CONFERENCE ROOM WALLS TO RECEIVE BATT SOUND INSULATION (TYP.) - VERIFY W/ OWNER FOR ALL LOCATIONS.
- 3. ALL TILED WALLS TO RECEIVE 5/16" DURROCK BACKING OR EQUAL.
- 4. ALL EXISTING 1" NEW FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKING BARRIER, SMOKE PARTITIONS OR ANY OTHER PROTECTED OPENINGS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED AND MAINTAINED, INCLUDING ABOVE THE DECORATIVE CEILING AND IN CONCEALED SPACES OF THE WALL WITH SUGGESTED WORDING FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS AS PER CHAPTER 1 - FBC 2020 ED.
- F-1 EXISTING 1HR. RATED PARTITION - UL - U415.
- F-2 EXISTING 2 HR. RATED PARTN. - UL1520-2-MIN.
- F-3 EXISTING 2 HR. RATED SHFT WALL PARTN. - WP 1051-MIN.

EXISTING AREA CALCULATIONS (FOR REF. ONLY)

	TOTAL UNDER A/C	TOTAL UNDER ROOF
EXISTING GROUND FLOOR AREA:		
ENTRY LOBBY	168 SQ.FT.	
STAIR #1	155 SQ.FT.	
STAIR #2	178 SQ.FT.	
ELEVATOR #1	63 SQ.FT.	
ELEVATOR CLOSURE	69 SQ.FT.	
STORE ROOM	125 SQ.FT.	
ELECTRICAL ROOM	98 SQ.FT.	
MECH. ROOM	98 SQ.FT.	
COVERED PARKING GARAGE	4,606 SQ.FT.	
TOTAL EXISTING GROUND FLOOR AREA	5,540 SQ.FT.	
EXISTING SECOND FLOOR AREA:		
OFFICE FLOOR AREA (NET SQ.FT.)	3,385 SQ.FT.	
OFFICE FLOOR AREA (GROSS SQ.FT.)	3,570 SQ.FT.	
SIDE BALCONY (N.L.C. UNDER ROOF)	(2) @ 32 SQ.FT.	
FRONT BALCONY (N.L.C. UNDER ROOF)	34 SQ.FT.	
TOTAL EXISTING SECOND FLOOR OFFICE AREA (GROSS SQ.FT.)	3,570 SQ.FT.	
EXISTING SECOND FLOOR RESIDENTIAL UNIT		
RESIDENTIAL CONDO UNIT	1,338 SQ.FT.	
FRONT BALCONY	622 SQ.FT.	
SIDE BALCONETTE'S (N.I.C. UNDER ROOF)	(2) @ 32 SQ.FT.	
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF	4,908 SQ.FT.	
EXISTING ROOF TOP GARDEN (N.L.C.)	789 SQ.FT.	
TOTAL EXISTING AREA UNDER ROOF:	10,448 SQ.FT.	

REQUIRED PLUMBING FIXTURES AS PER TABLE 403.
FPC - 2020
(3.510 SQ.FT. OFFICE (150 GROSS SQ.FT. / PERSON = 23.8 + 24 PERSONS)

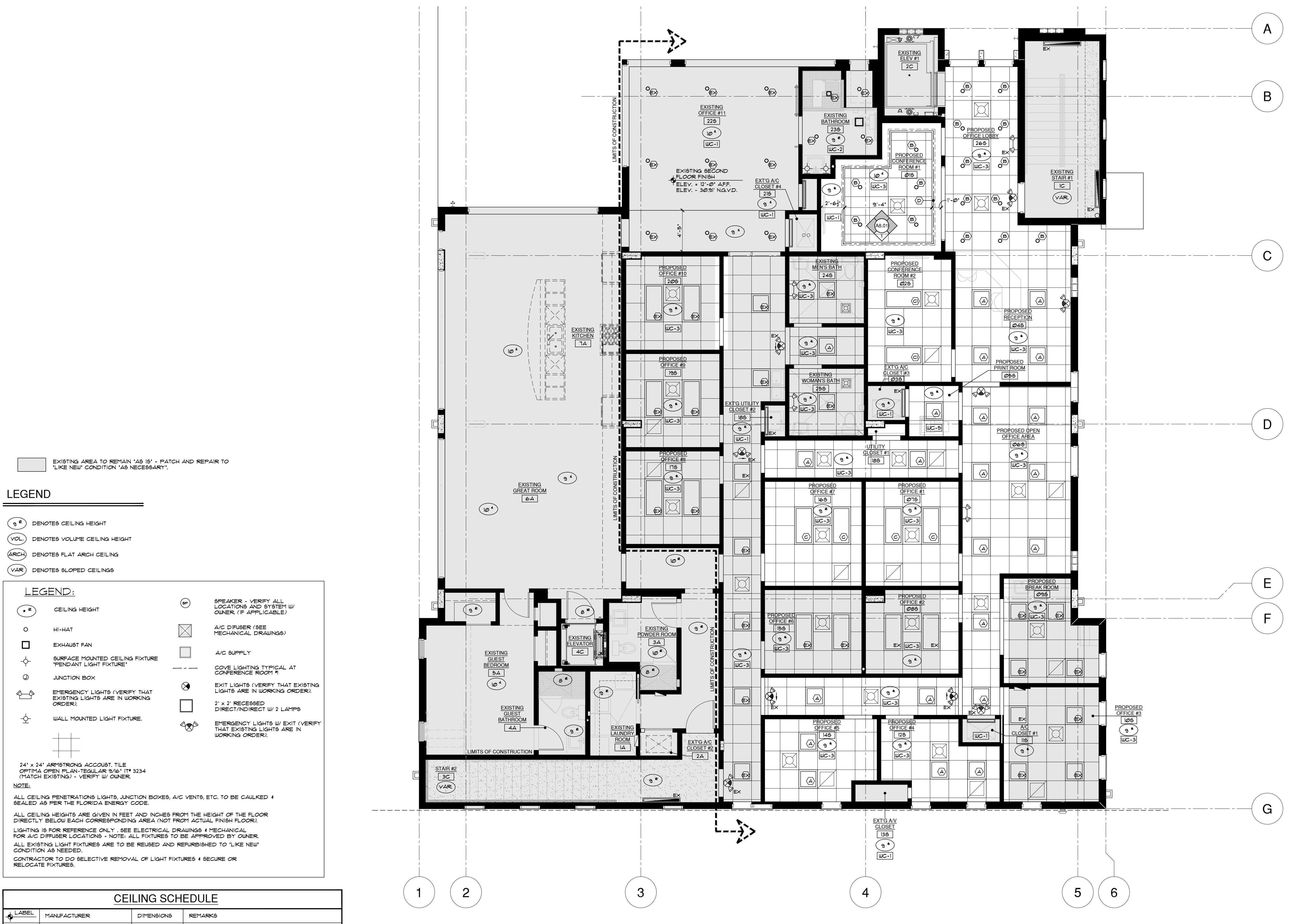
REQUIRED FIXTURE COUNT	WC	LAVS.	URINALS	DF
PROVIDED FIXTURE COUNT	1	1	-	1
PROVIDED FIXTURE COUNT	1	1	-	1

NOTE: (1) WC REQUIRED FOR 1/25 PEOPLE (1 MEN & 1 WOMEN)
(2) LAV REQUIRED FOR 1/40 PEOPLE (1 MEN & 1 WOMEN)
(3) DF REQUIRED FOR 1/60 PEOPLE

NOTE:
INSULATE WATER SUPPLY AND DRAIN PIPES BELOW LAVATORY.
PROVIDE WOOD BACKING AS REQUIRED FOR ACCESSORIES MOUNTING.

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)



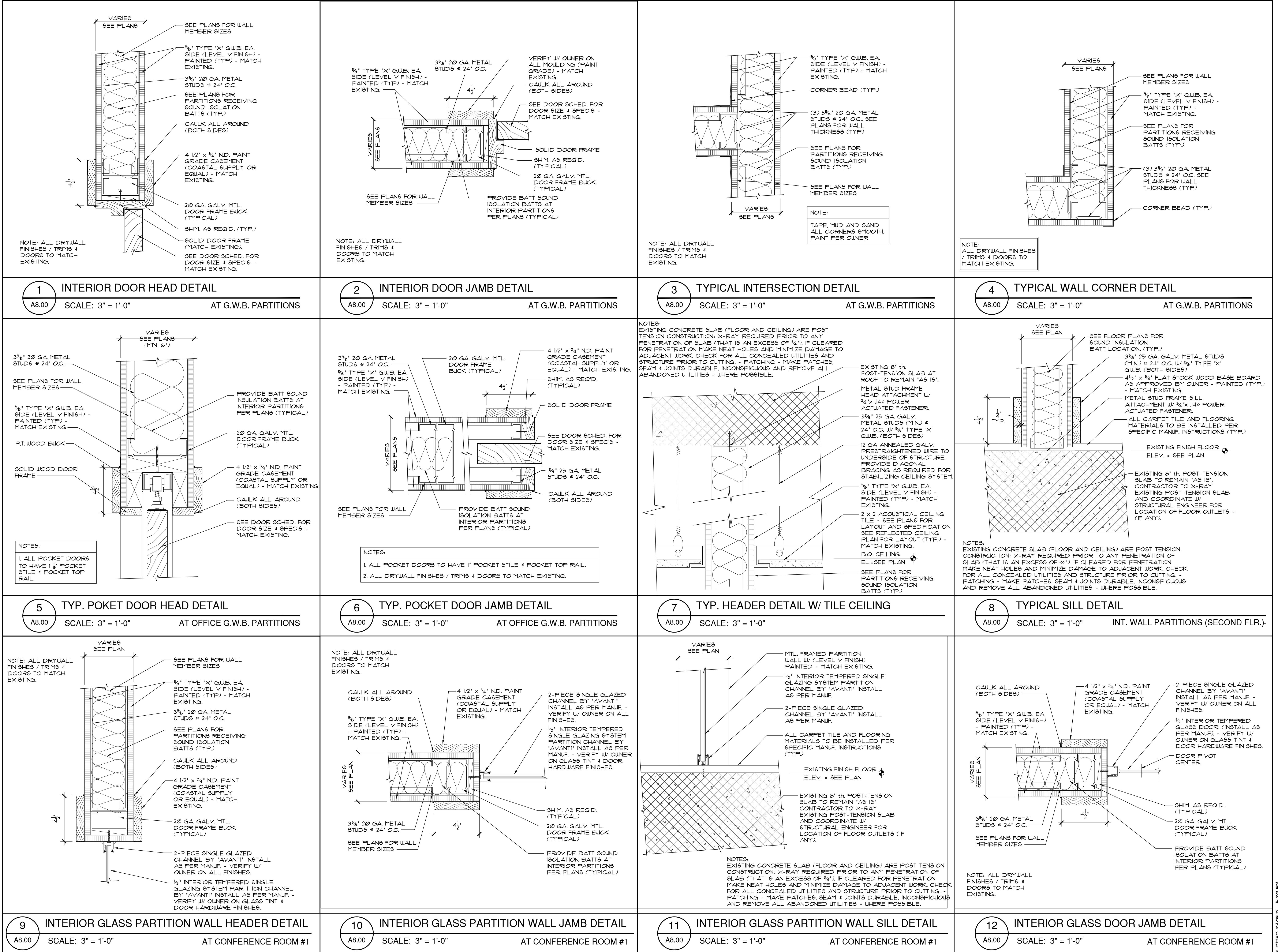
CEILING SCHEDULE			
LABEL	MANUFACTURER	DIMENSIONS	REMARKS
WC-1	USG. GYPSUM	5/8" TYPE X"	GYP. WALL BD. -PAINTED - LEVEL IV FINISH
WC-2	USG. GYPSUM	5/8" TYPE X"	MR. GYP. WALL BD. -PAINTED - LEVEL IV FINISH
WC-3	ARMSTRONG CEILING TILES®	24" x 24"	OPTIMA OPEN PLAN

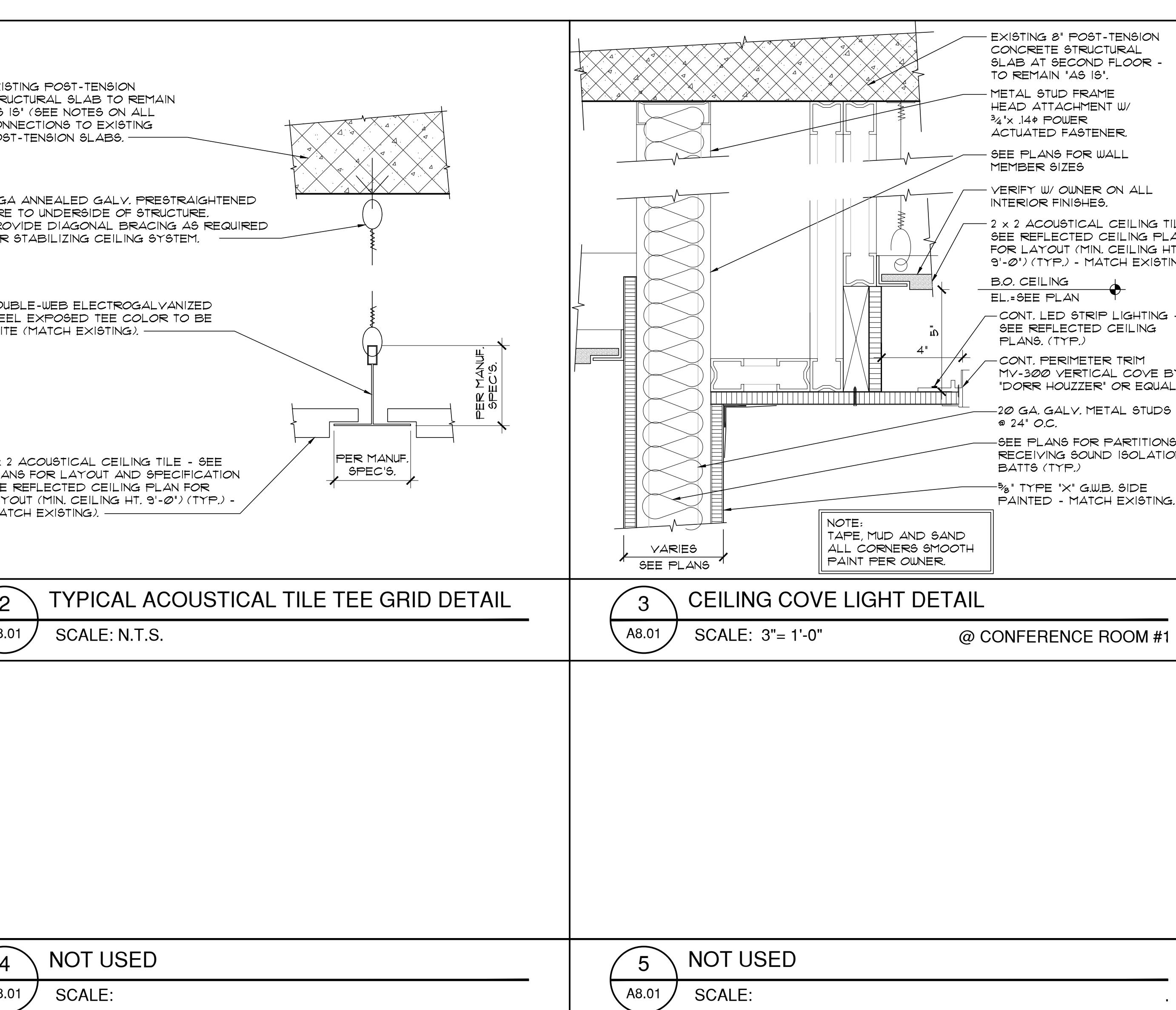
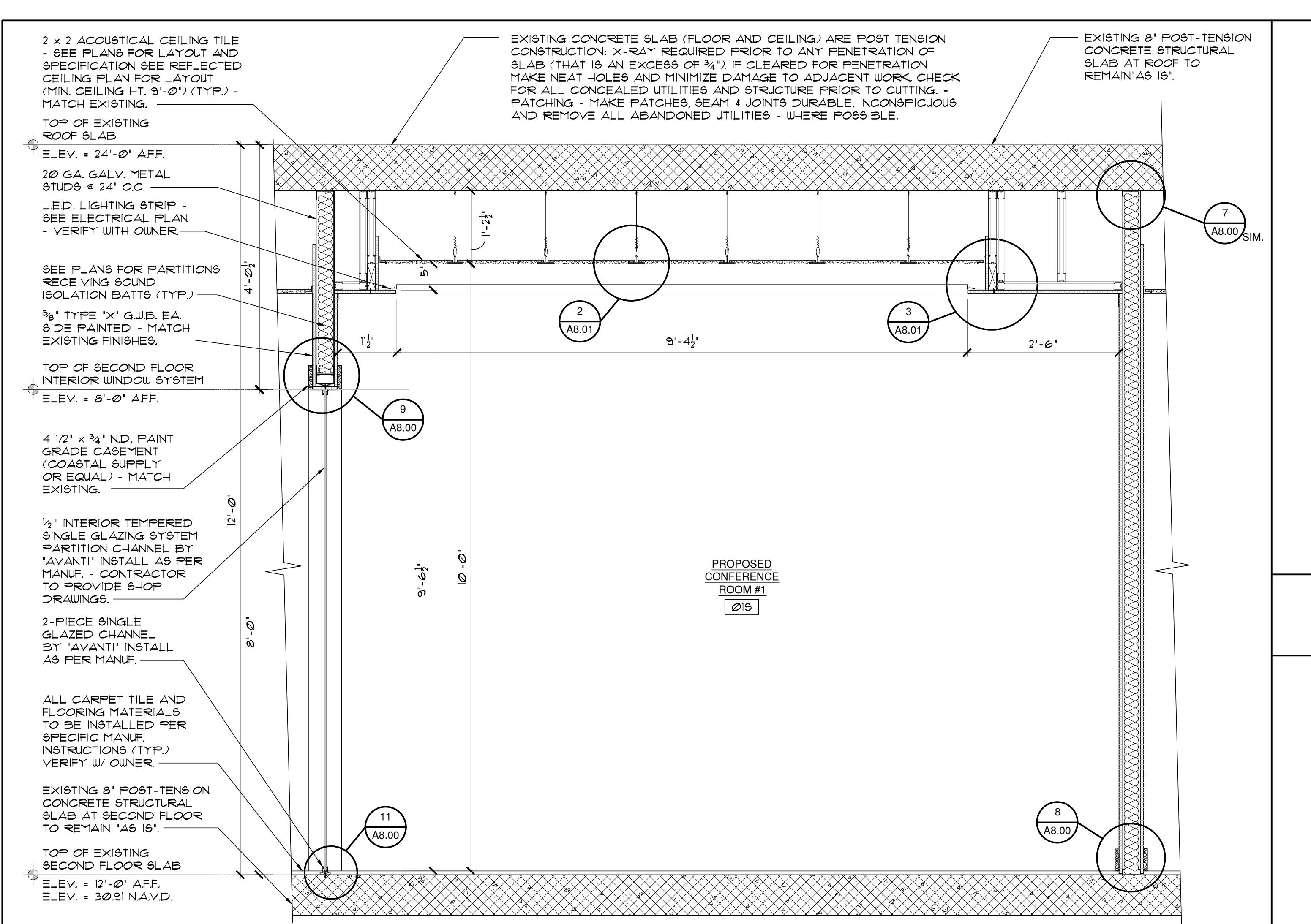
• NOTE: ALL LIGHT FIXTURES FOR PRICING PURPOSES ONLY - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO PURCHASE.
• ALL LIGHTS AND LOCATIONS TO BE APPROVED BY OWNER PRIOR TO PURCHASE. (LIGHT FIXTURES FOR PRICING PURPOSES ONLY).

LIGHT FIXTURE SCHEDULE								
- FOR PRICING PURPOSES ONLY.								
TYPE	Fixture Description	MANUF.	CATALOG NUMBER	VOLT	LAMPS	WATTS	MOUNTING	REMARKS
A	EXISTING 3x2 LED ARCHITECTURAL FIXTURE	MATALUX	218R-LD2-29-UNV-L835-A3/8-2/8G-CD1-PL-U	UNV	LED 24	RECESSED	DIMMING FIELD DETERMINED LENGTHS - LIGHT FIXTURES TO BE RELOCATED	
B	EXISTING 4" DIA LED DOWNLIGHT	HALO	M1-4D29NL940-TIR80FL4D-TL4482GX	UNV	LED 12	RECESSED	EXISTING LIGHT FIXTURES TO BE RELOCATED	
C	EXISTING 2x4 LED ARCHITECTURAL FIXTURE	MATALUX	248R-LD2-29-UNV-L835-A3/8-2/8G-CD1-PL-U	UNV	LED 48	RECESSED	EXISTING LIGHT FIXTURES TO BE RELOCATED	
D	2x4 LED ARCHITECTURAL FIXTURE	MATALUX	248R-LD2-29-UNV-L835-A3/8-2/8G-CD1-PL-U	UNV	LED 48	RECESSED	30' MAX RUN LENGTH / 0-10V DIMMING	
E	LED TAPE LIGHT	QTRAN	IQ20-25-50-32/Q-STRAP/QTH-Elec-200-20/24-DIM	UNV	LED 32WFT	COVE		

NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)





1 CONFERENCE ROOM #1 INTERIOR ELEVATION / SECTION
A8.01 SCALE: 3/4" = 1'-0"

2 TYPICAL ACOUSTICAL TILE TEE GRID DETAIL
A8.01 SCALE: N.T.S.

3 CEILING COVE LIGHT DETAIL
A8.01 SCALE: 3" = 1'-0" @ CONFERENCE ROOM #1

4 NOT USED
A8.01 SCALE:

5 NOT USED
A8.01 SCALE:

WINDOW SCHEDULE

NOTE: ALL INTERIOR WINDOWS BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS.

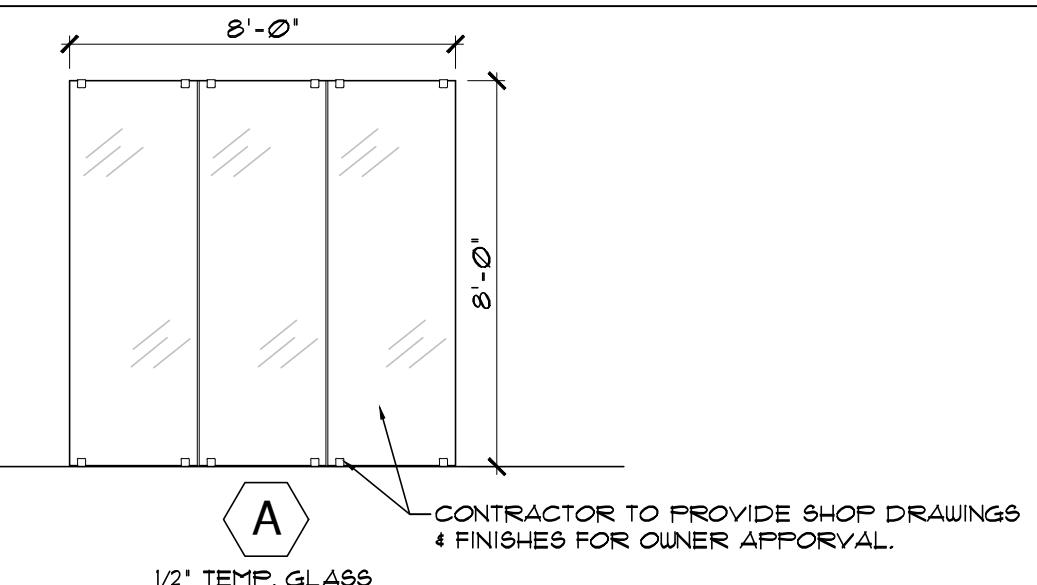
(ALL INTERIOR WINDOW SYSTEMS TO BE "AVANTI" W/ BRUSHED NICKEL FINISH OR EQUAL.

WINDOW	SIZE (WxH)	QTY.	SERIES	WALL TYPE	FRAME	SILL	GLASS COLOR	CLIP COLOR	COMMENT
A	8'-0" x 8'-0"	1	CUSTOM	FRAMED	N/A	N/A	CLEAR	BRUSHED NICKEL	1/2" TEMP. GLAZING SYSTEM BY "AVANTI"

NOTE: - ALL GLAZING BELOW 18" AFF. TO BE TEMPERED SAFETY GLASS - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR OWNER'S APPROVAL.
- VERIFY ALL WINDOW SYSTEMS WITH PROPOSED FLOOR PLAN & OWNER.

NOTE: VERIFY ALL INTERIOR DOORS & INTERIOR DOOR TRIMS/CASING W/ OWNER & INTERIOR DESIGNER.

WINDOW ELEVATIONS

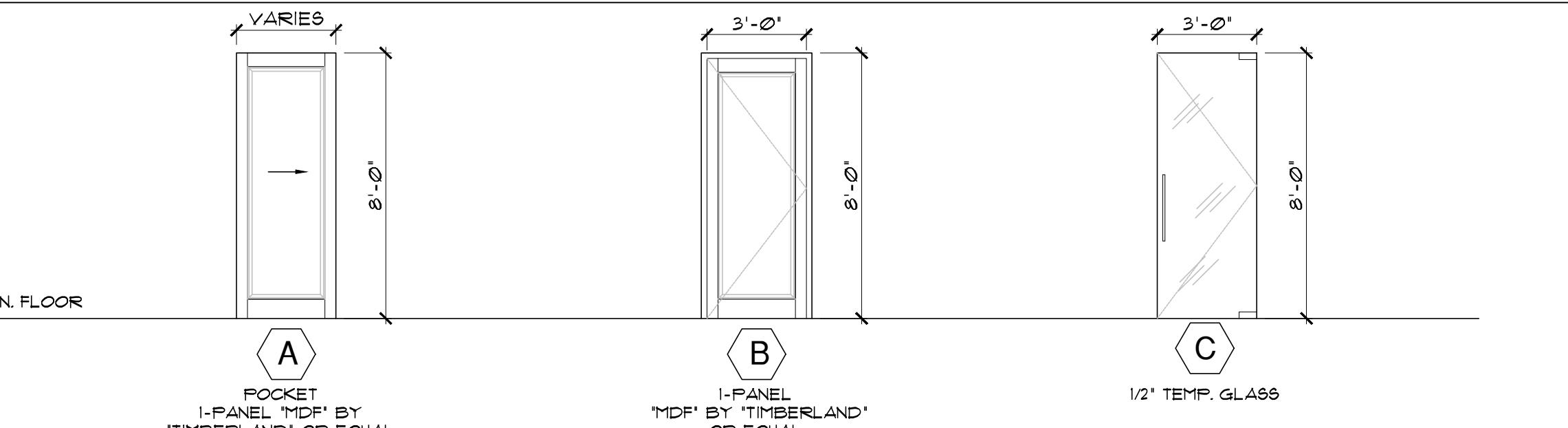


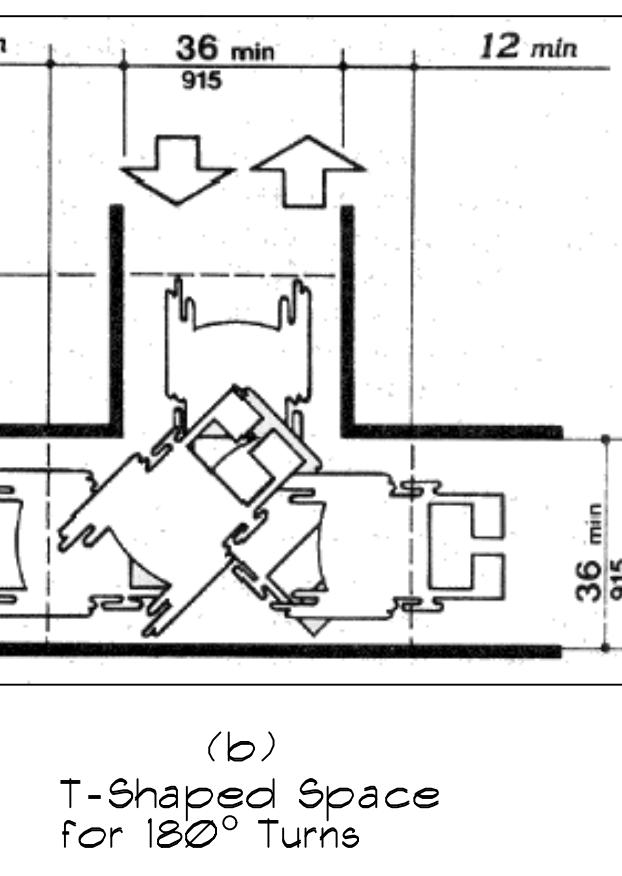
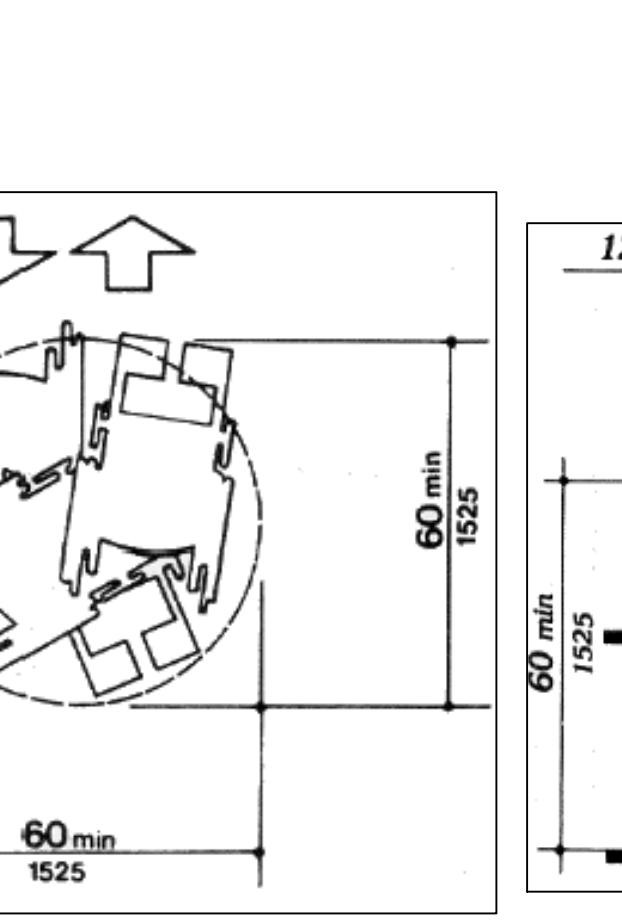
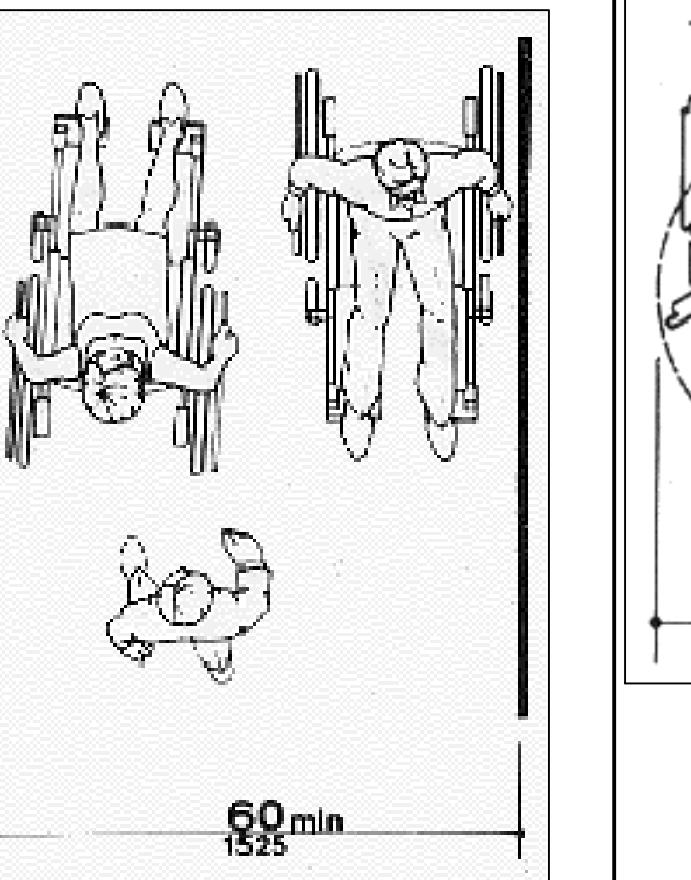
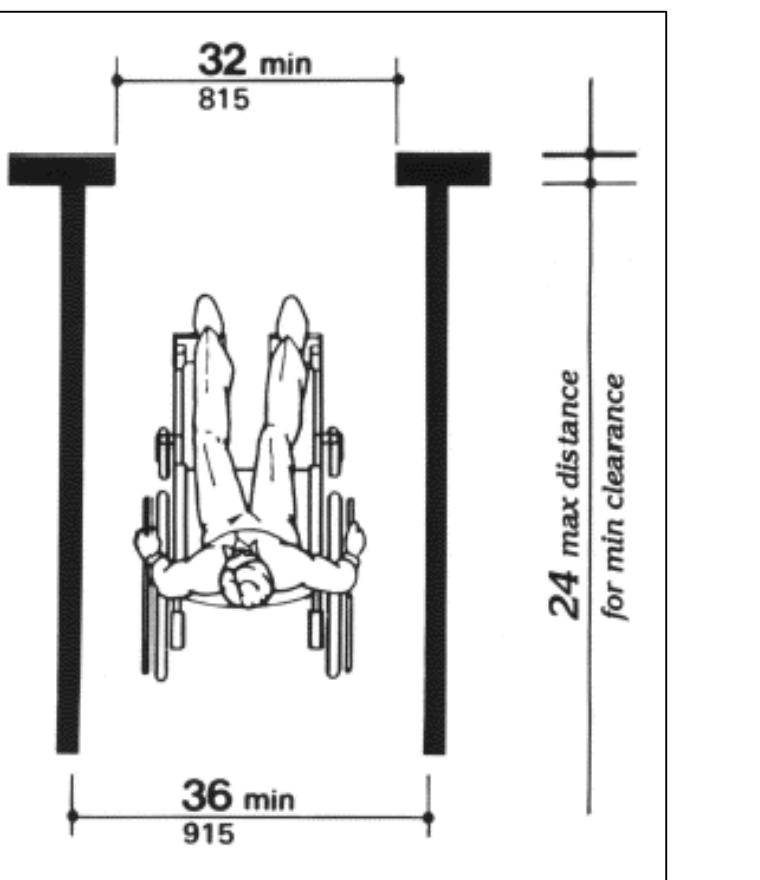
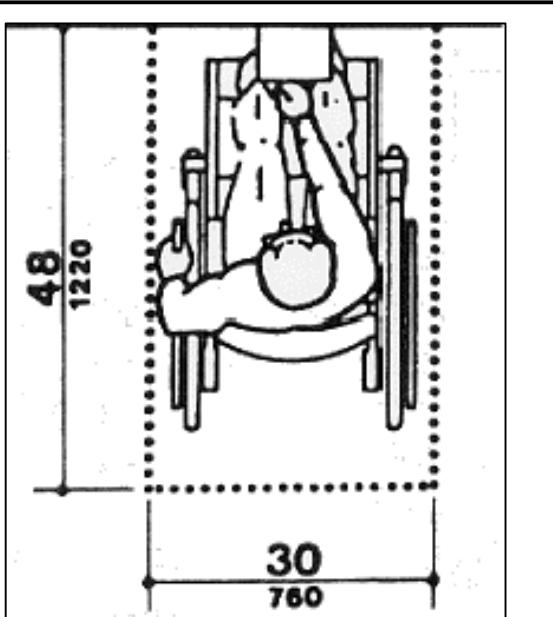
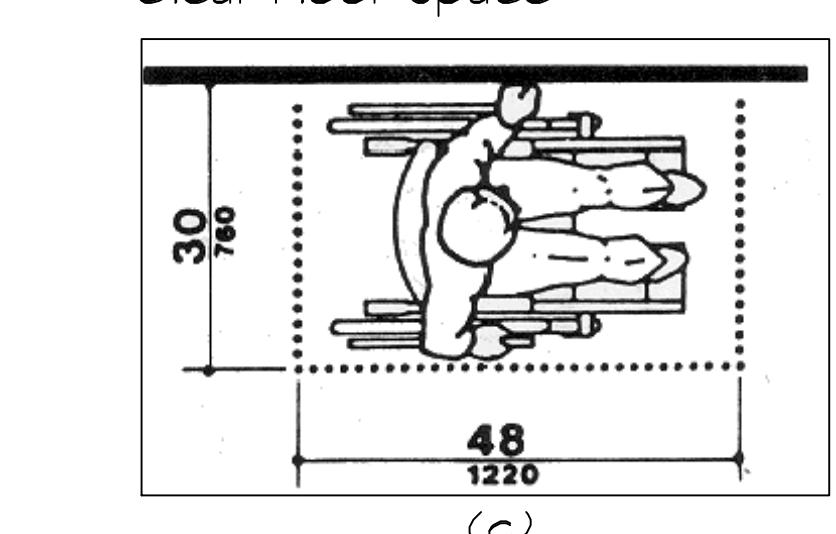
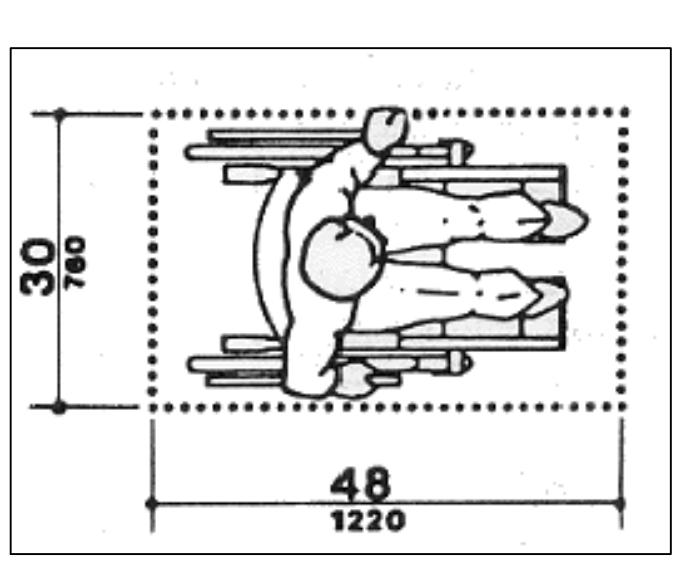
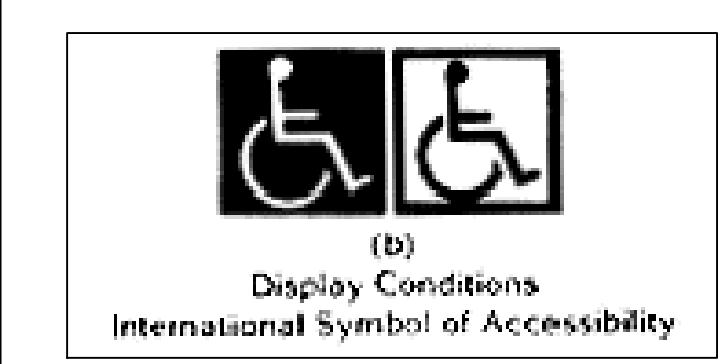
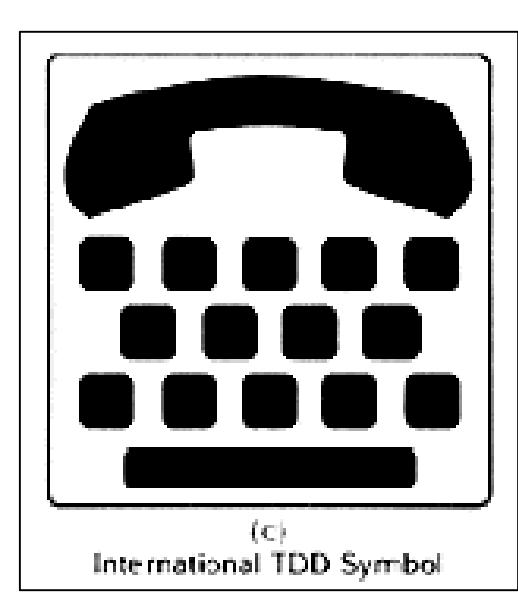
DOOR SCHEDULE

NOTE: ANY GLAZING BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS.

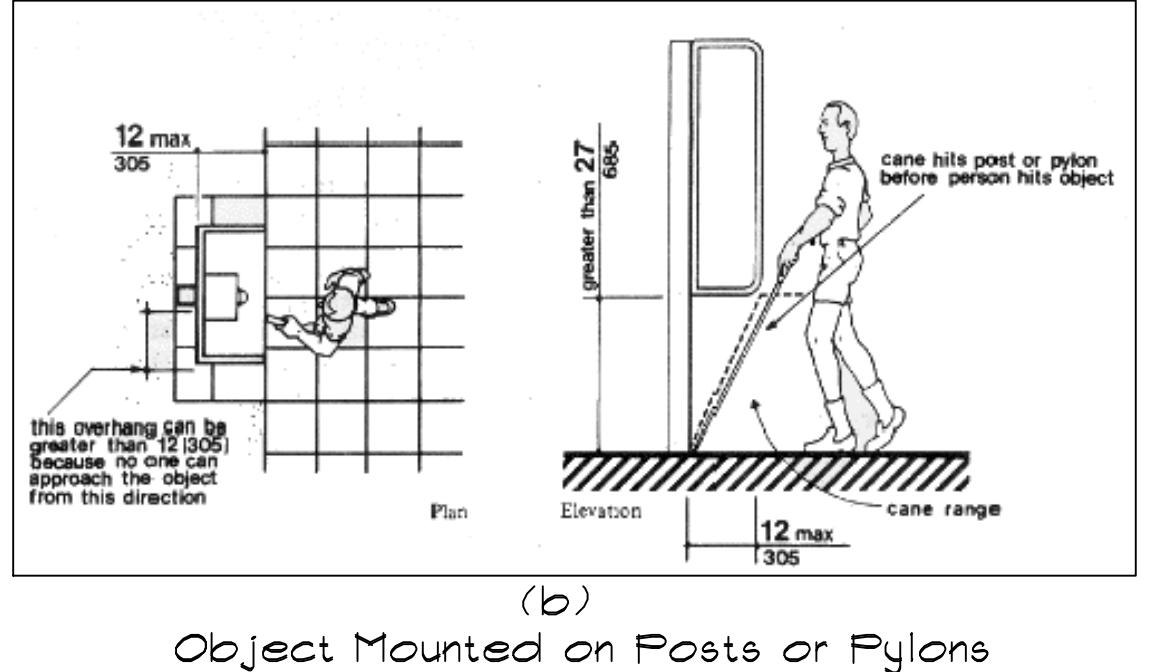
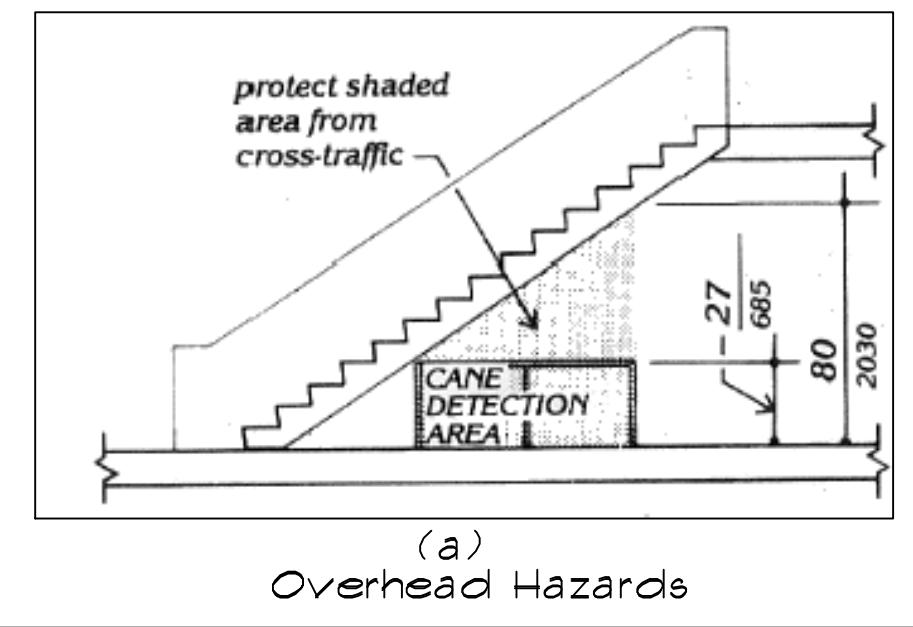
DOOR	LOCATION	TYPE	ELEV.	SIZE (W x H x D)	ACTION	LABEL	WIND LOAD PRESSURE	THRES.	COMMENTS/HARDWARE
S1	CONF. ROOM #1	FRAMELESS/TEMP. 1/2" TH. GLASS	C	3'-0" x 8'-0" x 1/2"	RH SWING	-	-	-	TEMPERED GLASS W/ FRAMELESS PERIMETER. PAINTED BRUSHED NICKEL HINGES & PULL.
S2	CONF. ROOM #2	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	LH SWING	-	-	-	PASSAGE HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE) - 1-PANEL "TIMBERLAND" SOLID CORE #TM1300 - PAINTED - FIELD VERIFY (MATCH EXISTING).
S3	STORAGE	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	LHR SWING	-	-	-	PASSAGE HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE) - 1-PANEL "TIMBERLAND" SOLID CORE #TM1300 - PAINTED - FIELD VERIFY (MATCH EXISTING).
S4	OFFICE #2	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	RH SWING	-	-	-	PRIVACY HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE - PUSH BUTTON LOCK) - 1-PANEL "TIMBERLAND" SOLID CORE #XX - PAINTED - FIELD VERIFY (MATCH EXISTING) - EXISTING DOOR TO BE RELOCATED.
S5	OFFICE #3	"MDF" PANEL	A	3'-0" x 8'-0" x 1 3/4"	POCKET	-	-	-	PRIVACY HARDWARE ("BALDWIN" - BRUSHED NICKEL - ROTATION LATCH) - 1-PANEL "TIMBERLAND" SOLID CORE #XX - PAINTED - FIELD VERIFY (MATCH EXISTING).
S6	OFFICE #4	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	RH SWING	-	-	-	PRIVACY HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE - PUSH BUTTON LOCK) - 1-PANEL "TIMBERLAND" SOLID CORE #XX - PAINTED - FIELD VERIFY (MATCH EXISTING) - EXISTING DOOR TO BE RELOCATED.
S7	OFFICE #5	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	LH SWING	-	-	-	PRIVACY HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE - PUSH BUTTON LOCK) - 1-PANEL "TIMBERLAND" SOLID CORE #XX - PAINTED - FIELD VERIFY (MATCH EXISTING) - EXISTING DOOR TO BE RELOCATED.
S8	OFFICE #10	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	LH SWING	-	-	-	PRIVACY HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE - PUSH BUTTON LOCK) - 1-PANEL "TIMBERLAND" SOLID CORE #XX - PAINTED - FIELD VERIFY (MATCH EXISTING) - EXISTING DOOR TO BE RELOCATED.

DOOR ELEVATIONS

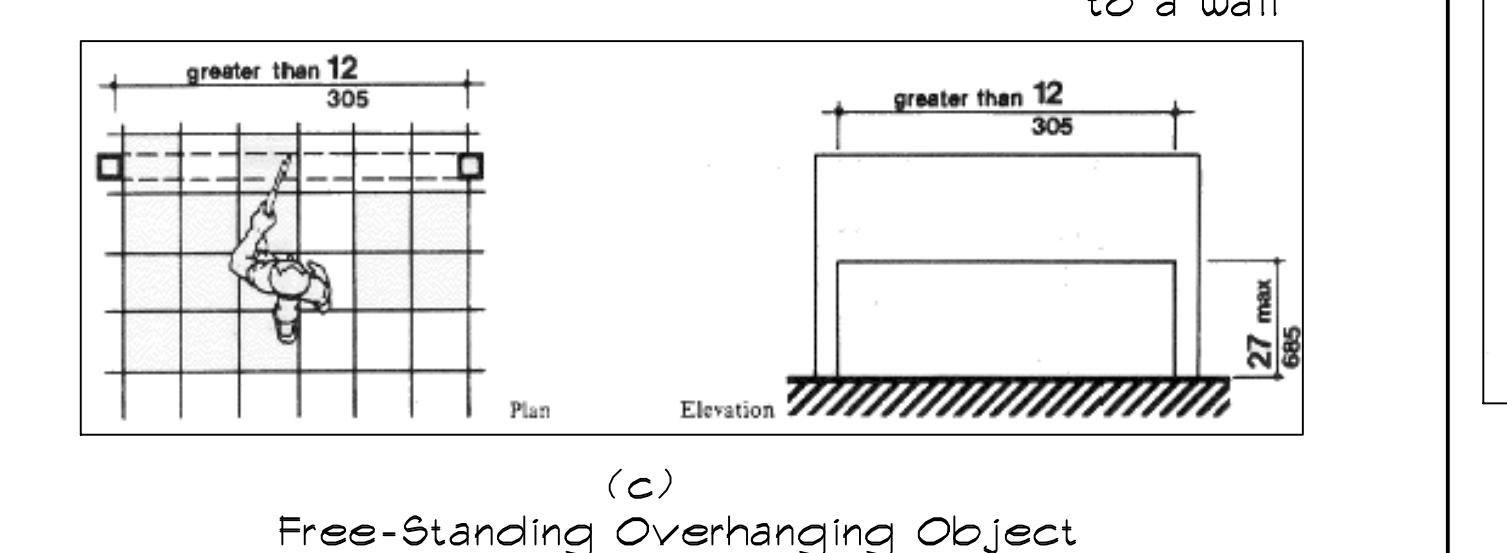
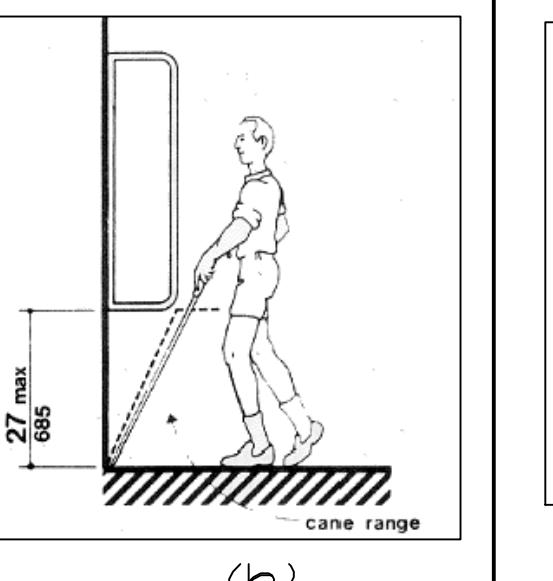
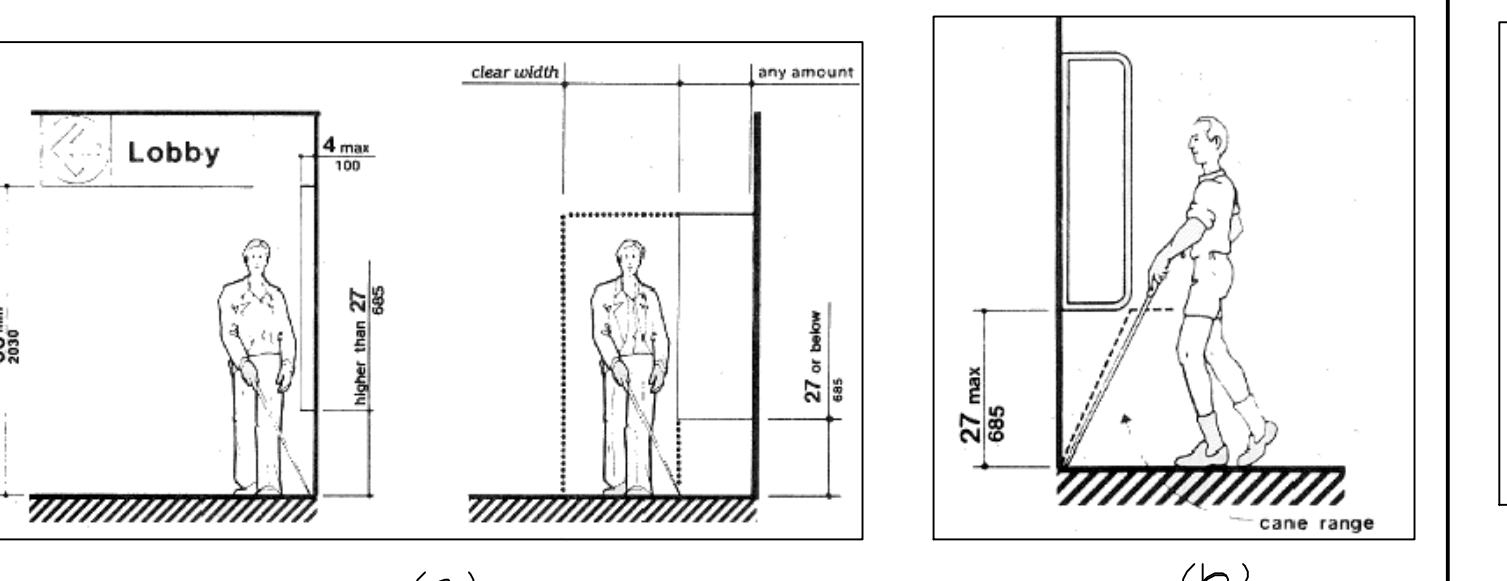




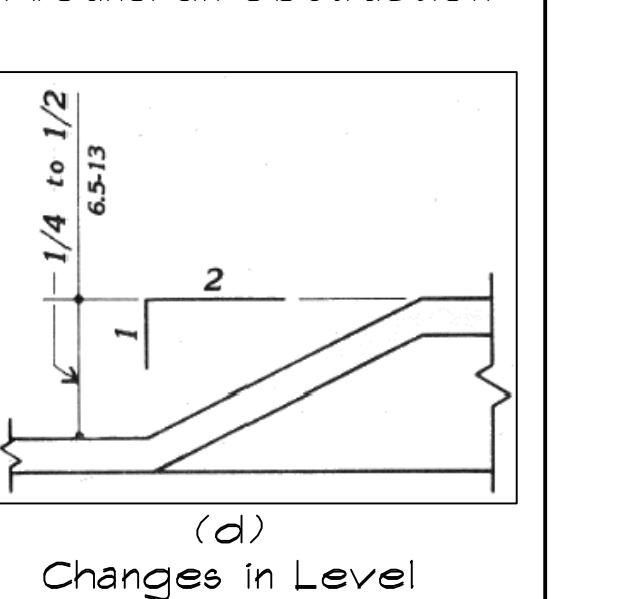
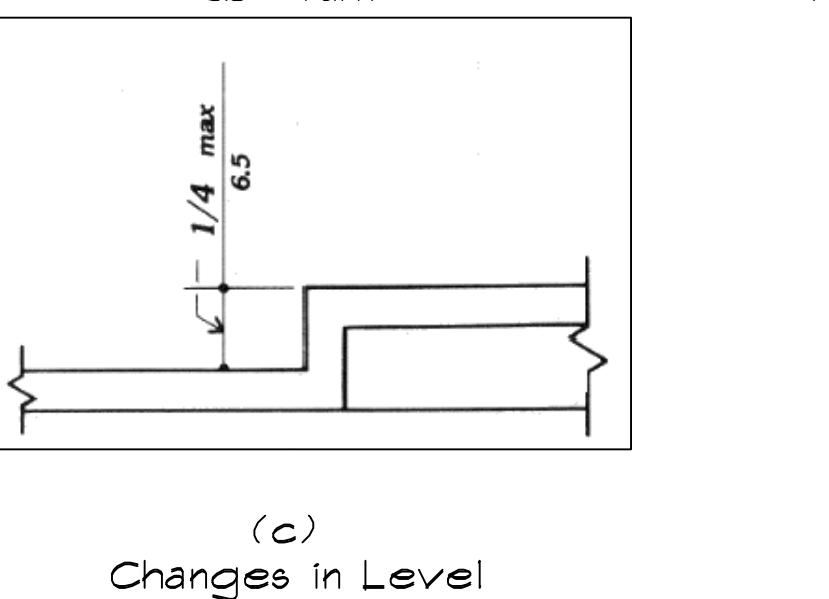
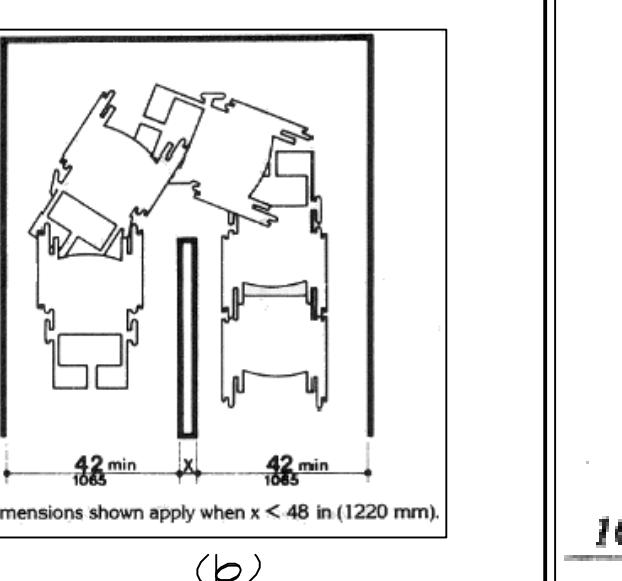
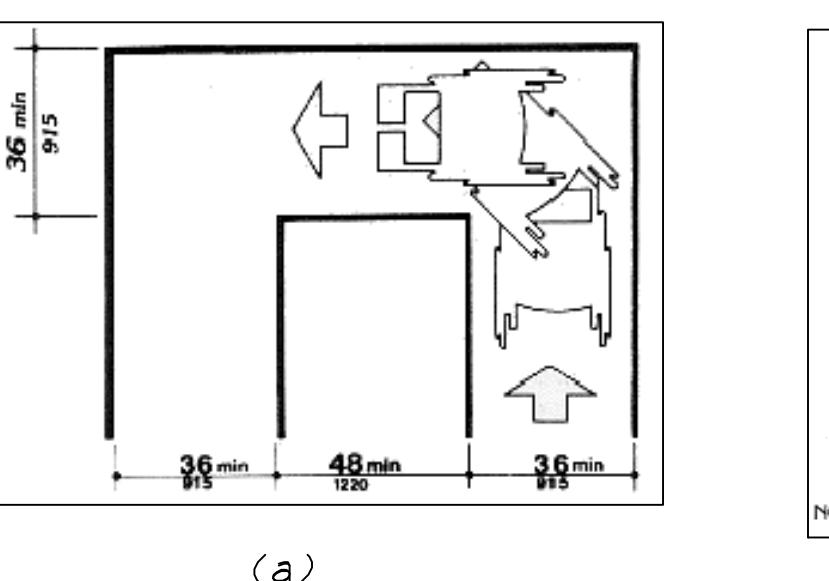
1 INTERNATIONAL SYMBOL
B1.00 SCALE: N.T.S.



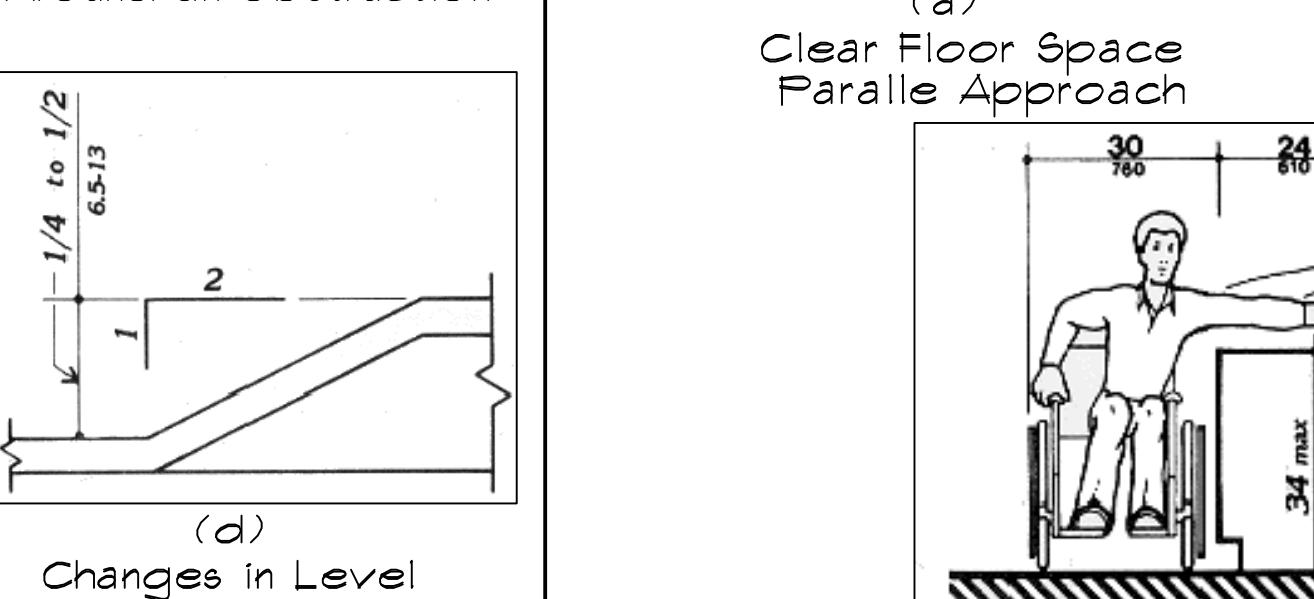
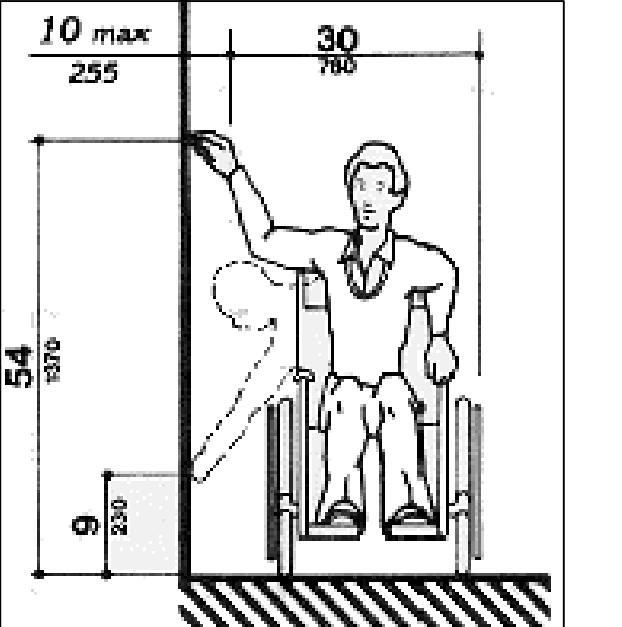
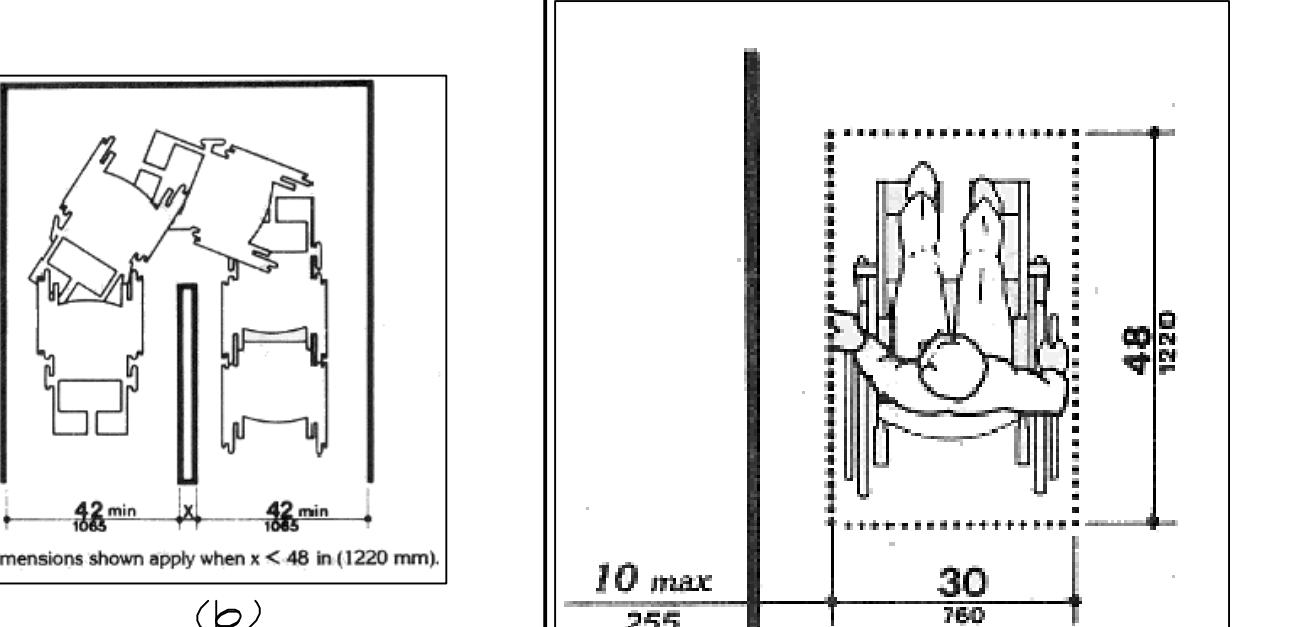
2 MIN. CLEARANCE FOR WHEELCHAIR
B1.00 SCALE: N.T.S.



3 MIN. CLEARANCE FOR WHEELCHAIR
B1.00 SCALE: N.T.S.

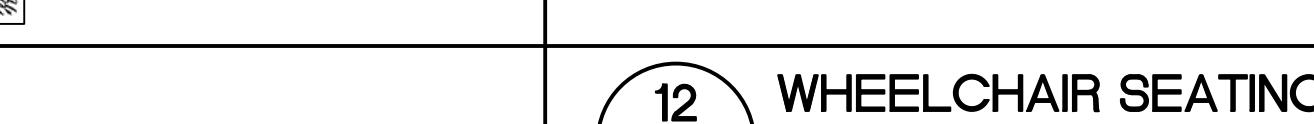
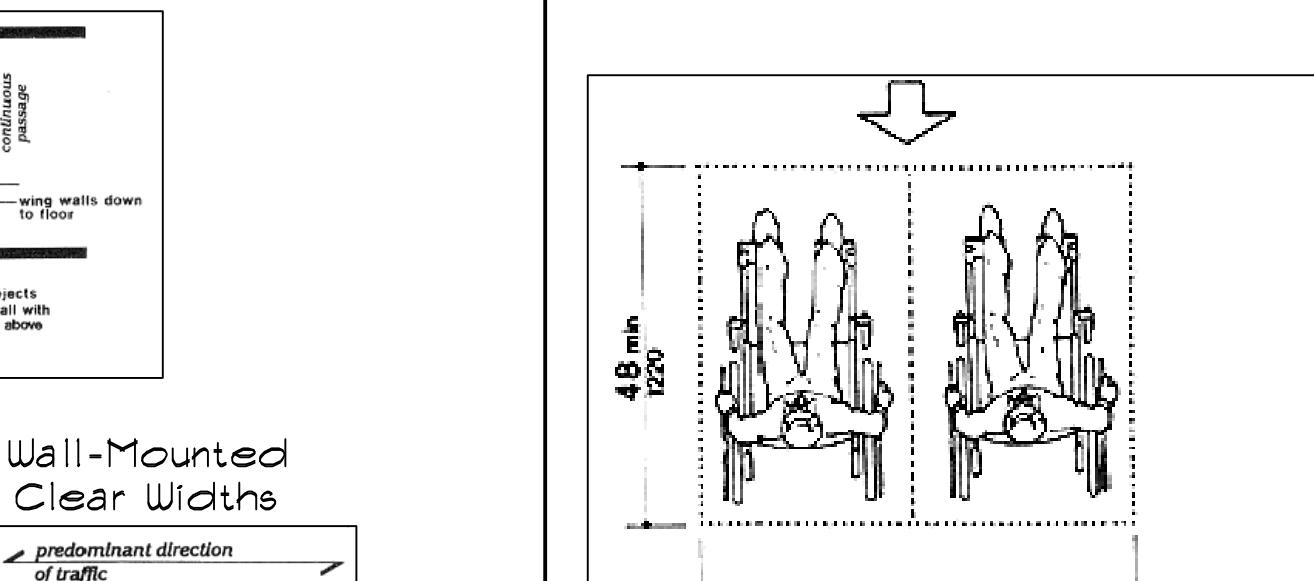


4 WHEELCHAIR TURNING SPACE
B1.00 SCALE: N.T.S.



5 OBJECT MOUNTED ON POST OR PILONS
B1.00 SCALE: N.T.S.

6 FREE STANDING OVERHANGING OBJECT
B1.00 SCALE: N.T.S.



9 MIN. CLEARANCE FOR WHEELCHAIR
B1.00 SCALE: N.T.S.

10 MAX. + MIN. FORWARD RICH
B1.00 SCALE: N.T.S.

11 PORTRUDING OBJECT
B1.00 SCALE: N.T.S.

12 WHEELCHAIR SEATING IN SERIES
B1.00 SCALE: N.T.S.

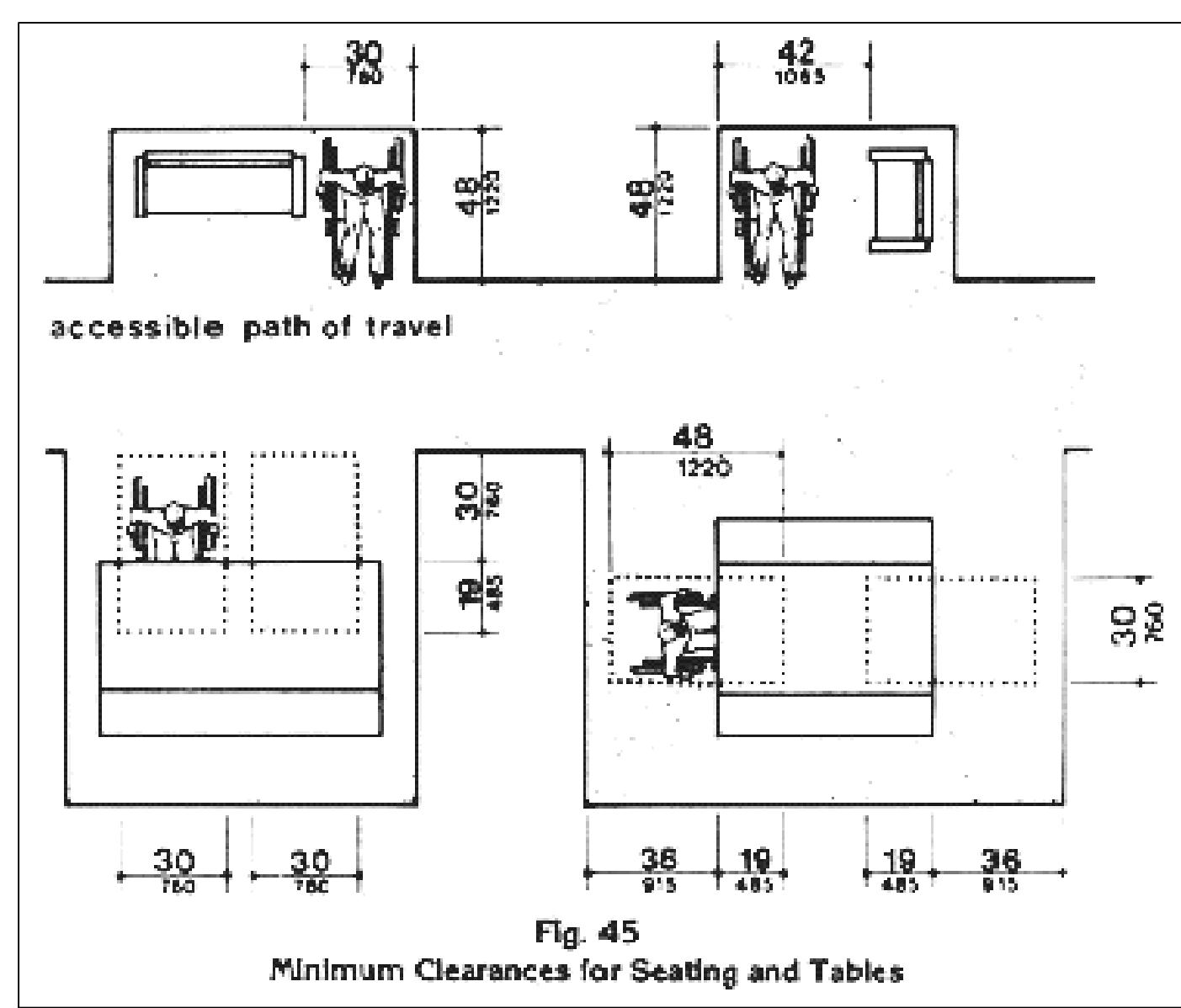


Fig. 45
Minimum Clearances for Seating and Tables

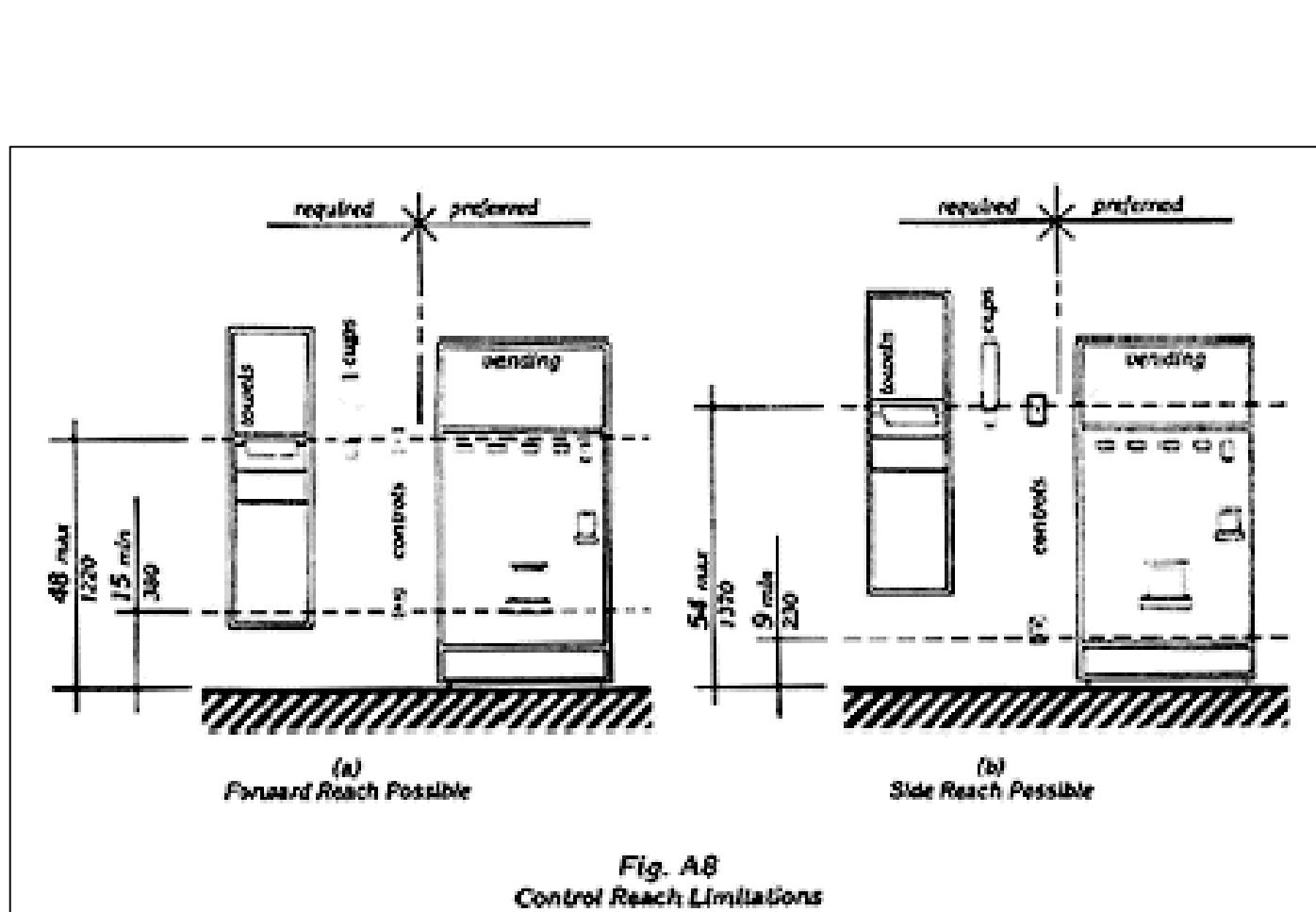
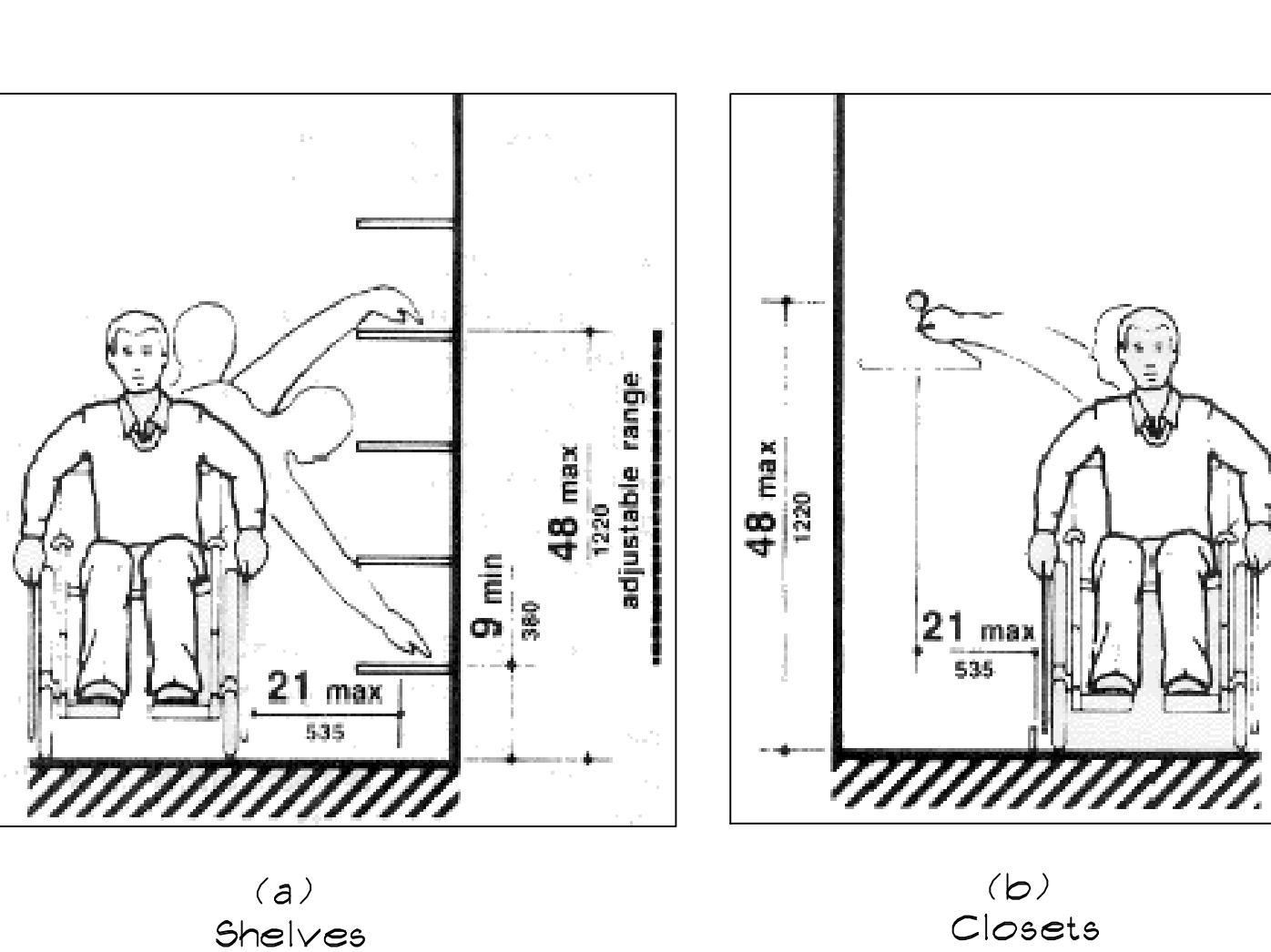
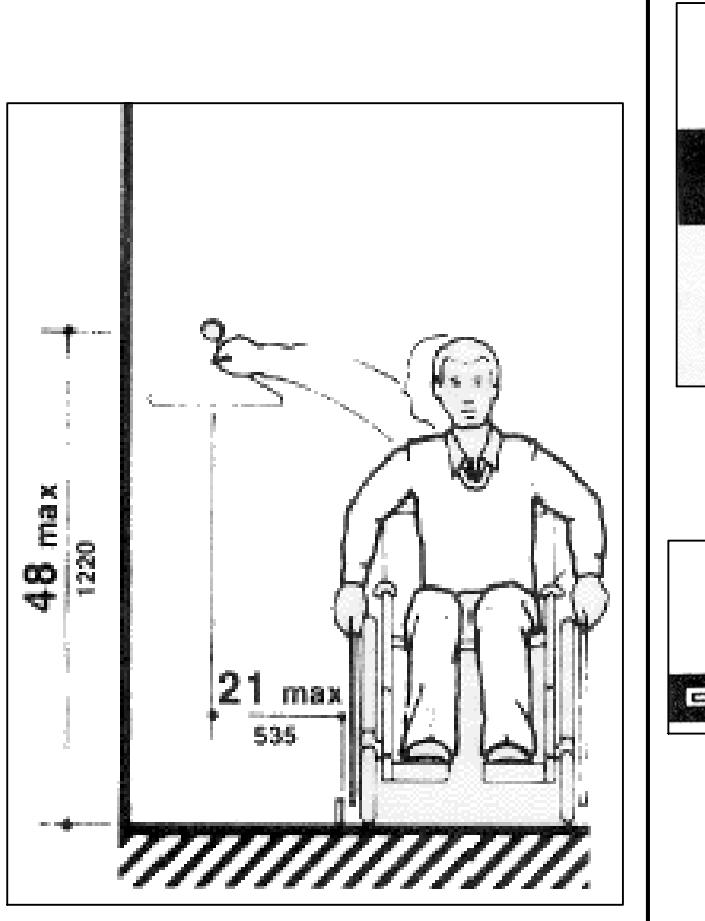


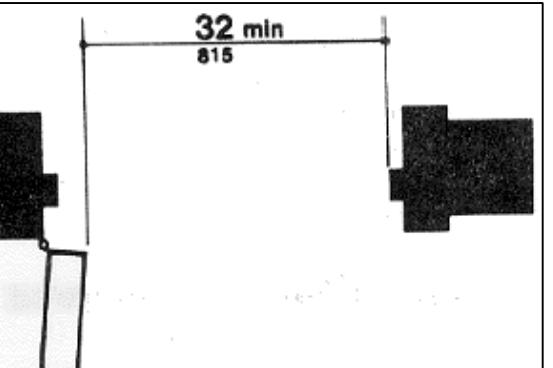
Fig. A8
Control Reach Limitations



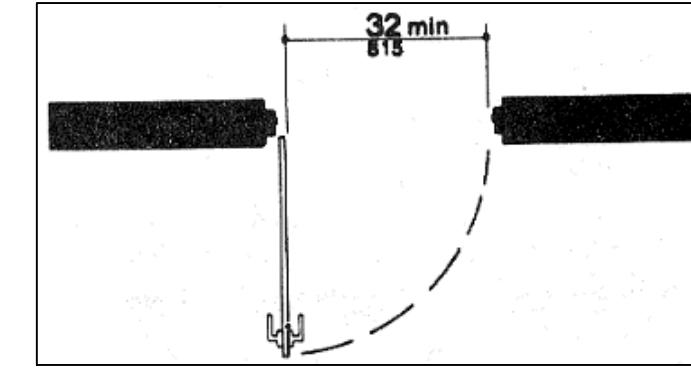
(a) Shelves



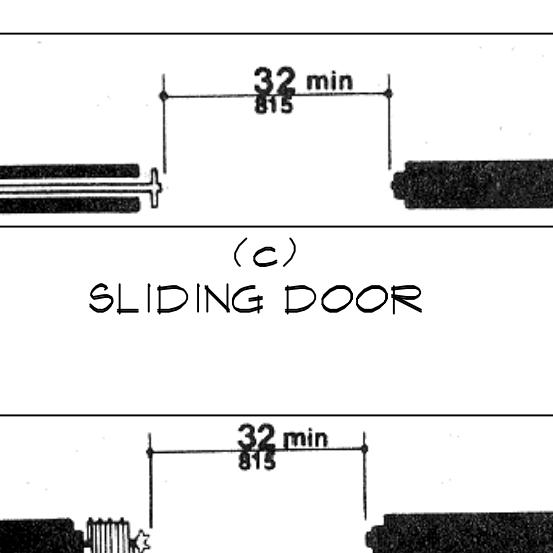
(b) Closets



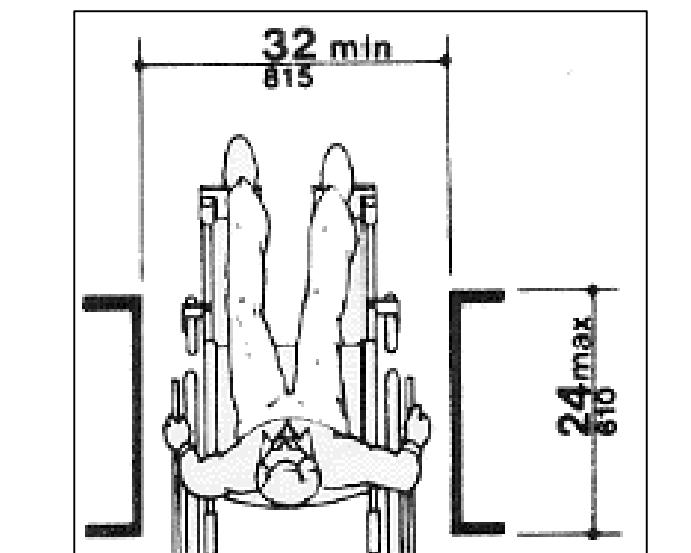
(a) DETAIL



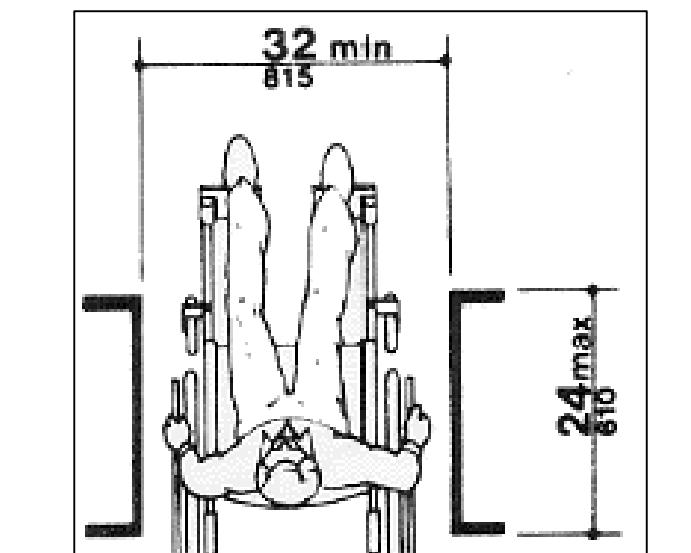
(b) HINGED DOOR



(c) SLIDING DOOR



(d) FOLDING DOOR



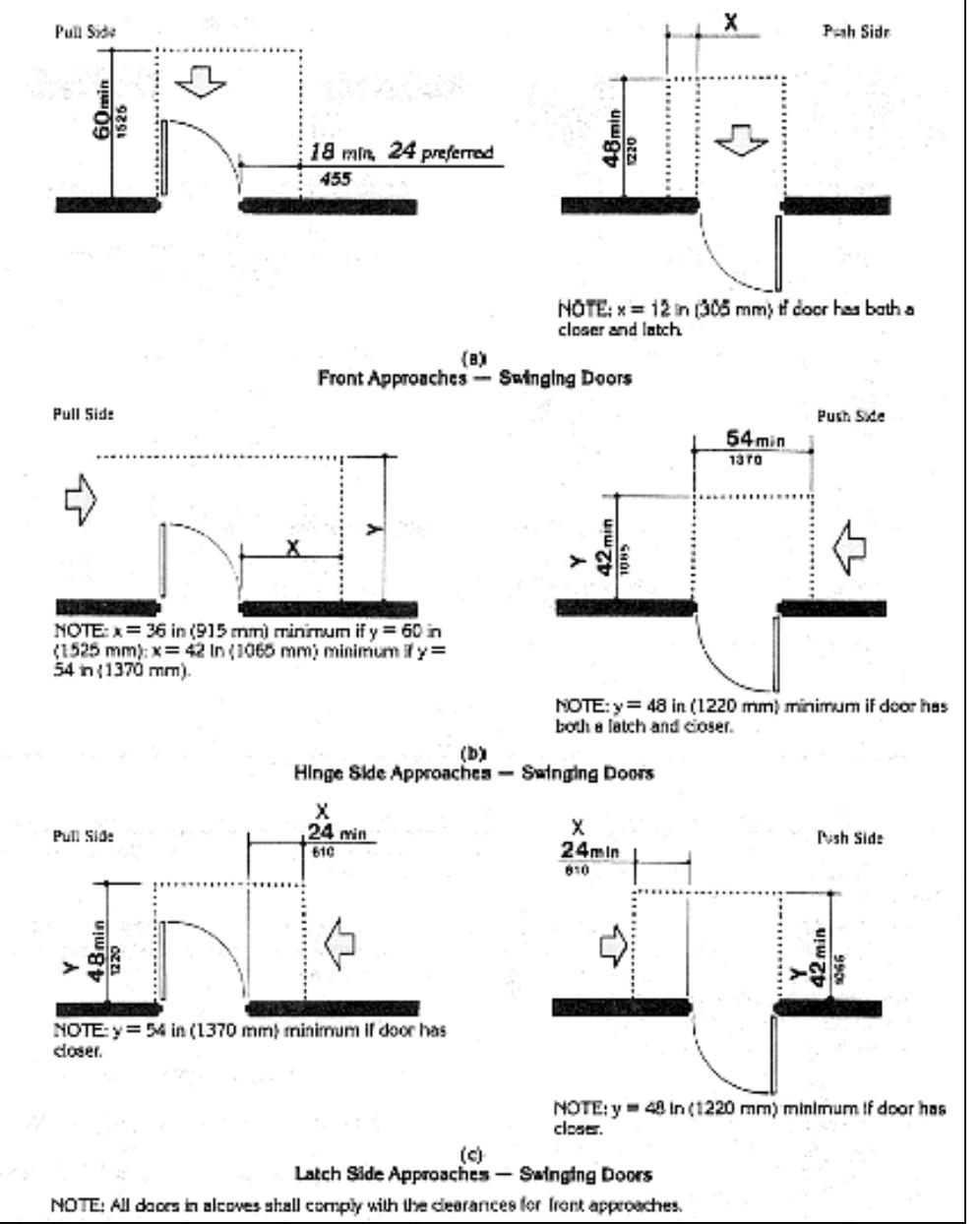
(e) MAXIMUM DOORWAY DEPTH

1 WHEELCHAIR SEATING IN SERIES
B1.01 SCALE: N.T.S.

2 CONTROL REACH LIMITATIONS
B1.01 SCALE: N.T.S.

3 MIN. CLEARANCE FOR WHEELCHAIR
B1.01 SCALE: N.T.S.

4 CLEAR DOORWAY WIDTH + DEPTH
B1.01 SCALE: N.T.S.



5 MANEUVERING CLEARANCE @ DOORS
B1.01 SCALE: N.T.S.

6 MANEUVERING CLEARANCE @ DOORS
B1.01 SCALE: N.T.S.

7 TWO HINGED DOOR IN SERIES
B1.01 SCALE: N.T.S.

8 NOT USED
B1.01 SCALE: N.T.S.

9 NOT USED
B1.01 SCALE: N.T.S.

10 NOT USED
B1.01 SCALE: N.T.S.

11 NOT USED
B1.01 SCALE: N.T.S.

12 NOT USED
B1.01 SCALE: N.T.S.

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DESCRIPRIVTY W/ DRAWINGS. (SEE GENERAL NOTES)


 PROPOSED SECOND FLOOR
 LIFE SAFETY PLAN

 1
 LS-1

SCALE : 3/16"=1'-0"

EXISTING AREA CALCULATIONS (FOR REF. ONLY)		
	TOTAL UNDER A/C	TOTAL UNDER ROOF
EXISTING GROUND FLOOR AREA:		
ENTRY LOBBY	168 SQ.FT.	
STAIR #1	155 SQ.FT.	
STAIR #2	178 SQ.FT.	
ELEVATOR #1	63 SQ.FT.	
ELECTRICAL ENCLOSURE	68 SQ.FT.	
STORAGE ROOM	135 SQ.FT.	
ELECTRICAL ROOM	98 SQ.FT.	
MECH. ROOM	4,606 SQ.FT.	
COVERED PARKING GARAGE		
TOTAL EXISTING GROUND FLOOR AREA	5,540 SQ.FT.	
EXISTING SECOND FLOOR AREA:		
OFFICE FLOOR AREA (NET SQ.FT.)	3,385 SQ.FT.	
OFFICE FLOOR AREA (GROSS SQ.FT.)	3,570 SQ.FT.	
SIDE BALCONETTES (N.I.C. UNDER ROOF)	(2) @ 32 SQ.FT.	
FRONT BALCONY (N.I.C. UNDER ROOF)	34 SQ.FT.	
TOTAL EXISTING SECOND FLOOR OFFICE AREA (GROSS SQ.FT.)	3,570 SQ.FT.	
EXISTING SECOND FLOOR RESIDENTIAL UNIT:		
RESIDENTIAL CONDO UNIT	1,338 SQ.FT.	
FRONT BALCONY (N.I.C. UNDER ROOF)	622 SQ.FT.	
SIDE BALCONETTES (N.I.C. UNDER ROOF)	(2) @ 32 SQ.FT.	
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF	4,908 SQ.FT.	
EXISTING ROOF TOP		789 SQ.FT.
TOTAL EXISTING AREA UNDER ROOF:		10,448 SQ.FT.

LIFE SAFETY DEVICE SYMBOL LIST	
①	FIRE ALARM SYSTEM FULL STATION
②	FIRE ALARM SYSTEM SMOKE DETECTOR
③	FIRE ALARM SYSTEM STROBE LIGHT, 120d or 110cd.
④	FIRE ALARM SYSTEM COMBINATION HORN/STROBE LIGHT, 120d OR 110cd
ESR	FIRE ALARM SYSTEM ELEVATOR STATUS/RECALL SWITCH
FCP	FIRE ALARM SYSTEM CONTROL PANEL
⑤	FIRE ALARM SYSTEM HEAT DETECTOR (WITHIN ELEVATOR)
WP	WEATHER PROOF
⑥	EXIT SIGN - 90 MINUTE BATTERY
⑦	COMBO EXIT SIGN + EMERGENCY LIGHT - 90 MINUTE BATTERY
⑧	EMERGENCY LIGHT - 90 MIN. BATTERY
⑨	EXISTING KNOB BOX (LOCATED @ MAIN ENTRANCE SHOW FOR COORDINATION PURPOSES ONLY)
FE	EXISTING FIRE EXTINGUISHERS

MEANS OF EGRESS CALCULATIONS			
CORRIDOR WIDTH	NUMBER OF EXITS	EXIT DOOR WIDTH	
REQUIRED	PROVIDED	REQUIRED	PROVIDED
36'	48'	(27 PER TENANT)	32' 36" MIN.
TENANT	TENANT		
MAX. COMMON PATH	MAX. TRAVEL WITHIN GROUND FLOOR	DEAD END	
REQUIRED	PROVIDED	REQUIRED	PROVIDED
100'-0"	80'-0"	NONE	N.A.
(UNSPRINKLED)			

OCCUPANCY LOAD FOR EGRESS	
SECOND FLOOR	
CONFERENCE ROOM #1	* 148 SF. @ 150 SF/ PERSON, 0.99
CONFERENCE ROOM #2	* 117 SF. @ 150 SF/ PERSON, 0.78
PRINT STATION	* 28 SF. @ 150 SF/ PERSON, 0.19
OPEN OFFICE AREA	* 151 SF. @ 150 SF/ PERSON, 1.01
EXISTING CLOSET	* 10 SF. @ 150 SF/ PERSON, 0.07
WOMEN'S BATHROOM	* 63 SF. @ 50 SF/ PERSON, 1.26
MEN'S BATHROOM	* 63 SF. @ 50 SF/ PERSON, 1.26
OFFICE #10	* 10 SF. @ 150 SF/ PERSON, 0.13
OFFICE #11	* 26 SF. @ 150 SF/ PERSON, 0.51
OFFICE #12	* 124 SF. @ 150 SF/ PERSON, 0.83
OFFICE #13	* 92 SF. @ 150 SF/ PERSON, 0.61
OFFICE #14	* 100 SF. @ 150 SF/ PERSON, 0.61
OFFICE #15	* 93 SF. @ 150 SF/ PERSON, 0.62
OFFICE #16	* 116 SF. @ 150 SF/ PERSON, 0.77
OFFICE #17	* 95 SF. @ 150 SF/ PERSON, 0.66
OFFICE #18	* 100 SF. @ 150 SF/ PERSON, 0.61
OFFICE #19	* 98 SF. @ 150 SF/ PERSON, 0.66
OFFICE #20	* 117 SF. @ 150 SF/ PERSON, 0.8
EXISTING BATH	* 41 SF. @ 150 SF/ PERSON, 0.94
STAFF BREAKROOM	* 102 SF. @ 150 SF/ PERSON, 0.68
TOTAL SECOND FLOOR OFFICE OCCUPANCY LOAD	= 1515 PEOPLE
REQUIRED MINIMUM WIDTH PER TENANT:	
2.5' x 2 = 5.026' REQUIRED	
36' @ SOUTH EAST SIDE,	
36' @ NORTH WEST SIDE	
EXITS FOR TOTAL OF 12' PROVIDED.	
MEANS OF EGRESS	

THE EXISTING 2-STORY BUILDING CONSISTS OF THE FOLLOWING: PARKING, ENTRY LOBBY, ELECTRICAL ROOM, MECHANICAL ROOM, 4 STORAGE ROOM AT THE GROUND FLOOR AND A RESIDENTIAL APARTMENT, 4 OFFICE SPACE ON THE SECOND FLOOR. THE EXISTING GROUND FLOOR HAS A TOTAL OF 3 SEPARATE EXITS.

TRAVEL DISTANCE FOR THE ENTIRE BUILDING IS WITHIN THE ALLOWED 250 FEET FOR SPRINKLER SYSTEM BUILDINGS.

EXIT DISCHARGE MEETS THE REQUIREMENTS OF THE LIFE SAFETY CODE 2020. EXIT DISCHARGE IS PROVIDED IN SUCH A MANNER AS SHOWN ON THE DRAWINGS. ALL EXIST LIGHTS AND CORRIDOR LIGHTING TO BE CONNECTED TO EMERGENCY GENERATOR (SEE ELECTRICAL DRAWINGS).

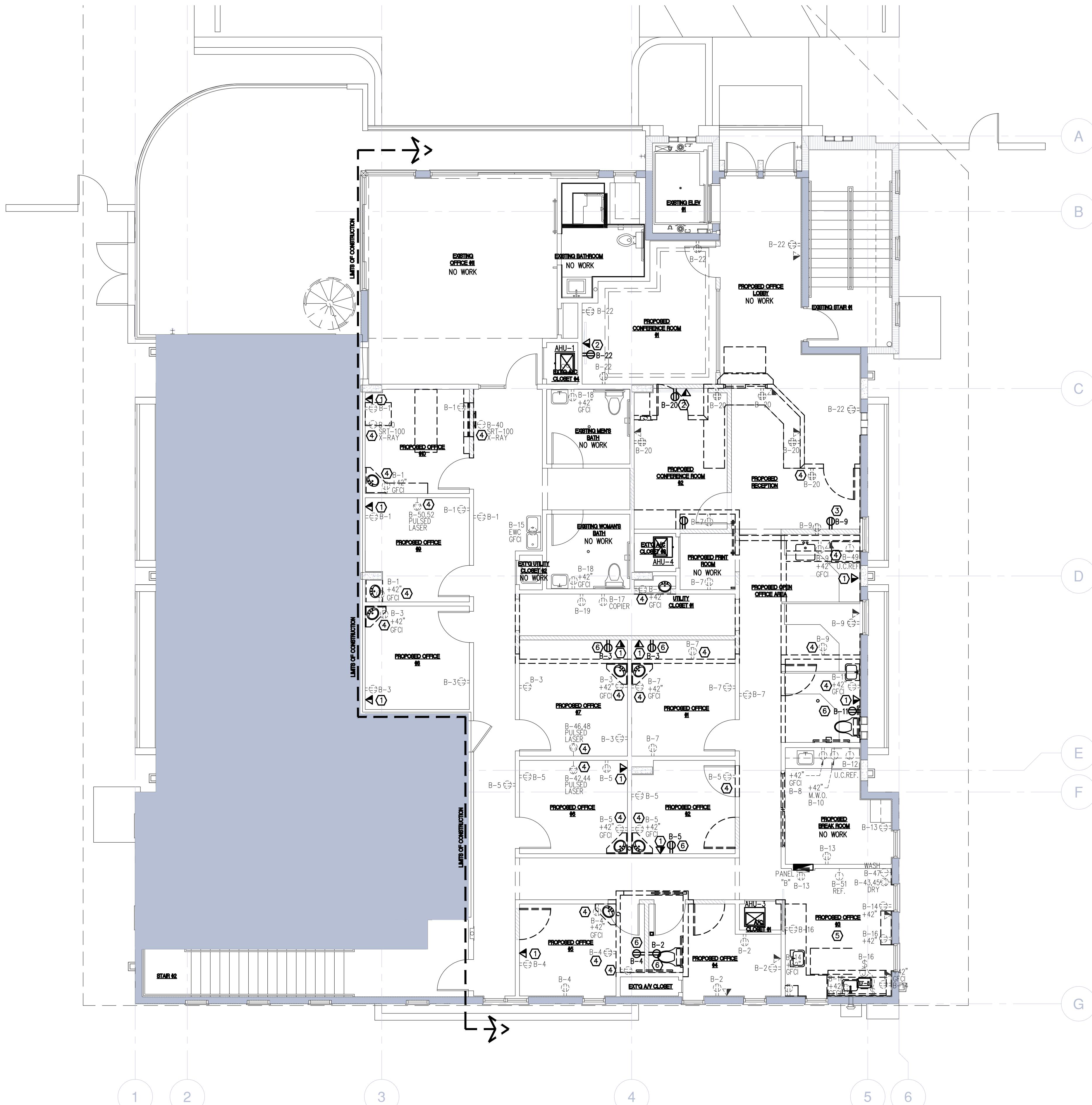
PROTECTION FROM HAZARDS

SERVICE EQUIPMENT AREAS SHALL HAVE BOTH FIRE SPRINKLER PROTECTION AND A MIN. OF ONE-HOUR SEPARATION FROM OTHER PARTS OF THE BUILDING.

INTERIOR FINISHES

INTERIOR FINISHES SHALL BE AS FOLLOWS:
 CLASS "A" FOR EXIT ENCLOSURES
 CLASS "A" OR "B" FOR CORRIDORS AND LOBBY
 CLASS "A", "B" OR "C" FOR ALL OTHER AREAS

EXISTING AREA TO REMAIN "AS IS".



SECOND FLOOR ELECTRICAL PLAN

SCALE : 3/16"=1'-0"

NOTE

NOTE
THESE DRAWINGS ARE PREPARED PER
ESTABLISHED INDUSTRY STANDARDS AND
PRESENT THE ENGINEERS DESIGN
CONCEPT. THEY ARE NOT INTENDED TO
PROVIDE EVERY DETAIL OR CONDITION
REQUIRED TO CONSTRUCT THE BUILDING.
CONTRACTOR THROUGH SUBMITTALS
OTHER COORDINATION EFFORTS IS
ONLY RESPONSIBLE FOR PROVIDING A
COMPLETE AND OPERATIONAL BUILDING
AS FURTHER INDICATED ON THE PLANS OR NOT.

**226 PALM COURT
DELRAY BEACH, FL.**

CLIENT APPROVAL

- REVISIONS
- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8

FILE NUMBER

DRAWING TITLE
SECOND FLOOR
ELECTRICAL PLAN

DATE DRAWN BY
4-14-2022 | **TYEC**
JOB NUMBER
20211205 / 22039
DRAWING NUMBER

E-1.1

ge
architecture, inc.

Architect, Planner and Designer
AA-26002044

1045 East Atlantic Ave. Suite 303
Delray Beach, Florida 33483
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR

BIDS

PERMIT 4-14-2022

CONSTRUCTION

TYEC HVAC
PLUMBING
ELECTRICAL

THOMPSON & YOUNGROSS
ENGINEERING CONSULTANTS, LLC
C.o.A. NO. 25996

ANDREW J. YOUNGROSS
LICENSE NO. 51758
PROFESSIONAL ENGINEER
STATE OF FLORIDA
902 CLINT MOORE ROAD STE 142
BOCA RATON, FLA 33487
TEL: 561-274-0200
FAX: 561-274-0222
E-MAIL: tec@tecfla.com
www.tecfla.com

PROPOSED INTERIOR RENOVATION

**226 PALM COURT
DELRAY BEACH, FL.**

CLIENT APPROVAL

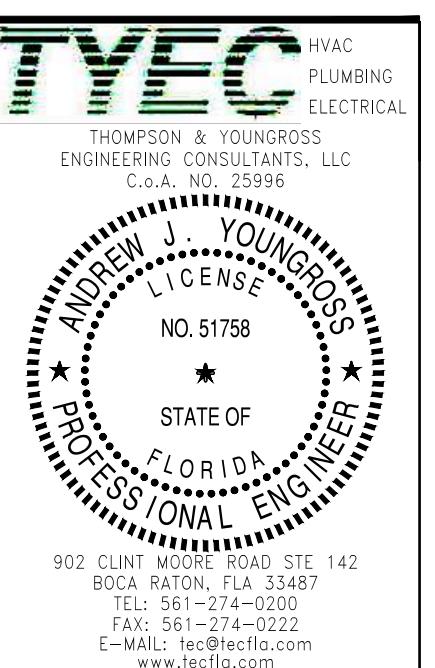
- REVISIONS
- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8

FILE NUMBER

DRAWING TITLE
SECOND FLOOR
ELECTRICAL PLAN

DATE DRAWN BY
4-14-2022 | **TYEC**
JOB NUMBER
20211205 / 22039
DRAWING NUMBER

E-1.1



PROJECT TITLE
**PROPOSED
INTERIOR
RENOVATION**

226 PALM COURT
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS
△ △ △ △ △ △

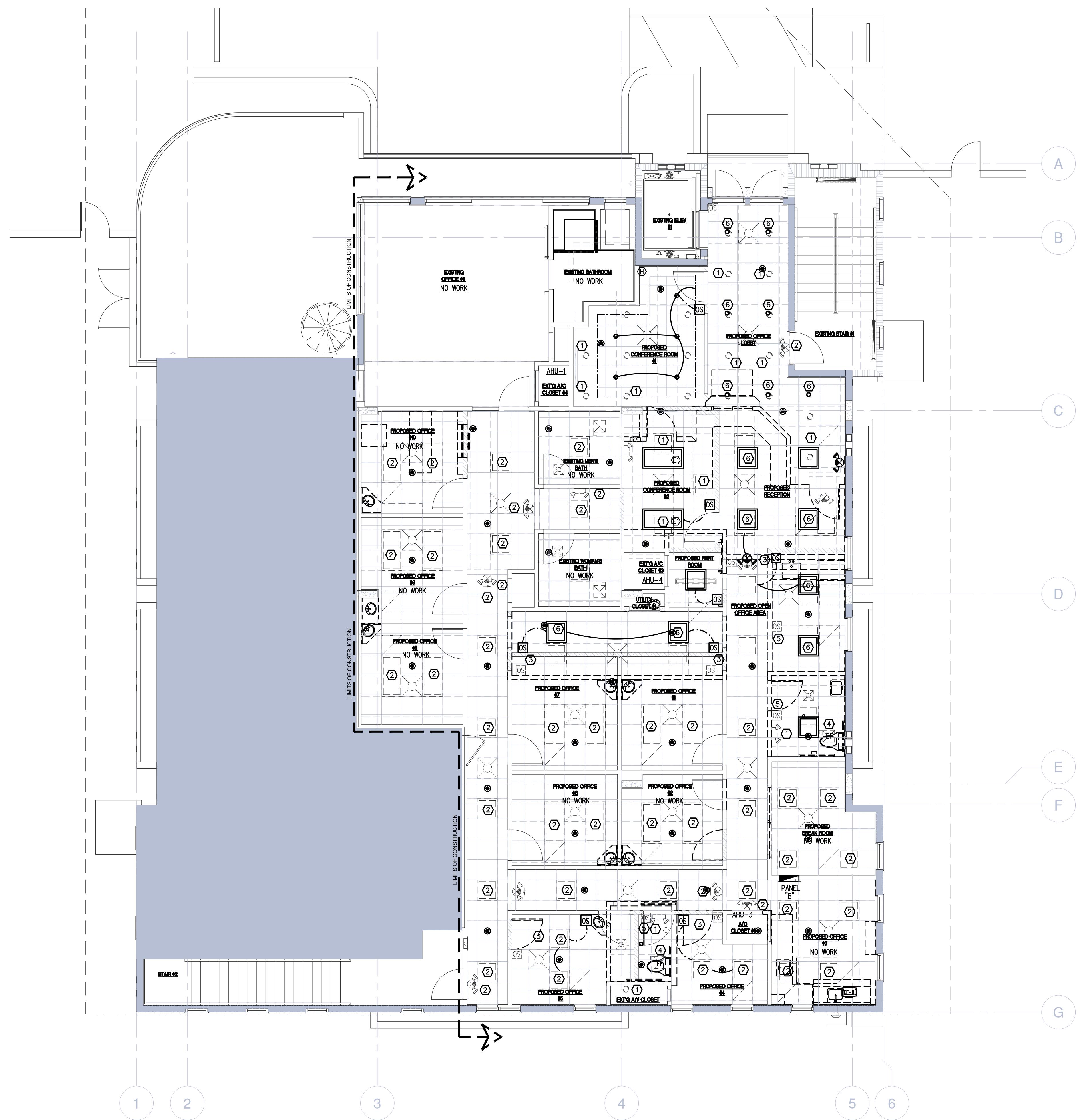
FILE NUMBER

DRAWING TITLE
**SECOND FLOOR
LIGHTING PLAN**

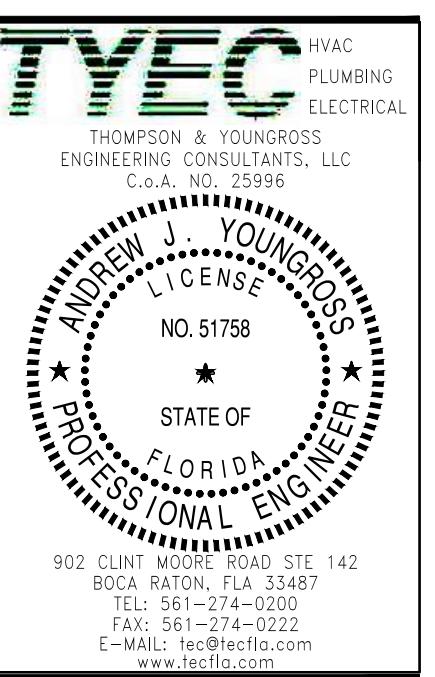
DATE
4-14-2022 DRAWN BY
TYEC
JOB NUMBER
20211205 / 22039
DRAWING NUMBER

E-2.1

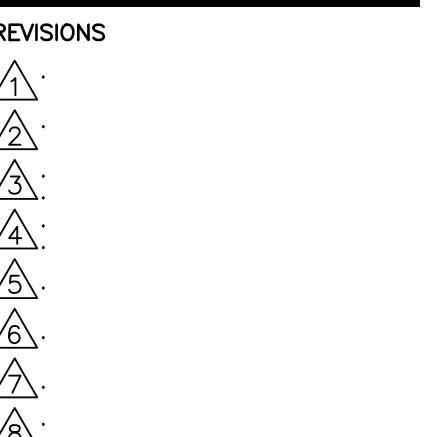
PLAN KEY NOTES	
①	EXISTING LIGHTING FIXTURE TO BE REMOVED AND EITHER DISPOSED OF OR RETURNED TO OWNER.
②	EXISTING LIGHTING FIXTURE TO REMAIN "AS-IS", NO WORK.
③	EXISTING OCCUPANCY SENSOR TO BE RELOCATED AND CONTROL LIGHTING FIXTURES AS INDICATED
④	EXISTING EXHAUST FAN TO BE REMOVED AND REFER TO MECHANICAL PLANS.
⑤	EXISTING OCCUPANCY SENSOR TO BE REMOVED.
⑥	EXISTING LIGHTING FIXTURE TO BE RELOCATED AS INDICATED



NOTE	
THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.	


**PROPOSED
INTERIOR
RENOVATION**
**226 PALM COURT
DELRAY BEACH, FL.**

CLIENT APPROVAL



FILE NUMBER

 DRAWING TITLE
**ELECTRICAL
PANEL
SCHEMES**

 DATE 4-14-2022 DRAWN BY TYEC
JOB NUMBER 20211205 / 22039
DRAWING NUMBER

EXISTING PANEL BOARD "B"																																		
BUS (KVA)			LOAD			WIRE GND COND AMPS POLE			POLE AMPS GND WIRE			LOAD			BUS (KVA)																			
A	B	C														A	B	C																
12			LIGHTING & RECEPTACLES	#12	#12	1/2"	20	1	1			2	1	20	1/2"	#12	LIGHTING & RECEPTACLES	1.0																
	1.2		LIGHTING & RECEPTACLES	#12	#12	1/2"	20	1	3			4	1	20	1/2"	#12	LIGHTING & RECEPTACLES	1.0																
		1.2	LIGHTING & RECEPTACLES	#12	#12	1/2"	20	1	5			6	1	20	1/2"	#12	LIGHTING & RECEPTACLES - E RESTROOM	0.5																
12			LIGHTING & RECEPTACLES	#12	#12	1/2"	20	1	7			8	1	20	1/2"	#12	APPLIANCE RECEPTACLE	1.5																
	1.2		LIGHTING & RECEPTACLES	#12	#12	1/2"	20	1	9			10	1	20	1/2"	#12	M.W.O. RECEPTACLE - E LOUNGE	1.5																
		1.2	LIGHTING & RECEPTACLES - E RESTROOM	#12	#12	1/2"	20	1	11			12	1	20	1/2"	#12	U.C. REFRIG. RECEPTACLE - E LOUNGE	1.2																
12			LIGHTING & RECEPTACLES - E LOUNGE	#12	#12	1/2"	20	1	13			14	1	20	1/2"	#12	RECEPTACLES	1.0																
	1.2		GFO RECEPTACLE - EVC	#12	#12	1/2"	20	1	15			16	1	20	1/2"	#12	RECEPTACLES	1.0																
		1.2	RECEPTACLE - COPIER	#12	#12	1/2"	20	1	17			18	1	20	1/2"	#12	LIGHTING & RECEPTACLES - RESTROOM	0.7																
1.5			RECEPTACLES - WORKSTATION COUNTER	#12	#12	1/2"	20	1	19			20	1	20	1/2"	#12	RECEPTACLES - RECEPTION	1.8																
	1.0		RECEPTACLES - DATA	#12	#12	1/2"	20	1	21			22	1	20	1/2"	#12	RECEPTACLES - WAITING	1.2																
		1.8	GENERAL LIGHTING	#12	#12	1/2"	20	1	23			24	1	20	1/2"	#12	GENERAL LIGHTING	1.8																
			SPARE									26	2	15	1/2"	#12	AHU#1 (NON-CONCURRENT)	0.0																
5.7			PANEL "AC"	#3	#8	1 1/2"	100	2	27			28						0.0																
	5.7		(NON CONCURRENT LOADS)									30	2	15	1/2"	#12	AHU#4 (NON-CONCURRENT)	0.0																
2.5			ELECTRIC WATER HEATER (EWH)	#10	#10	1/2"	30	2	31			32						0.0																
	2.5											34	1	20	1/2"	#12	RECEPTACLES	1.8																
2.0			0.2 HOT WATER RECIRCULATING PUMP	#12	#12	1/2"	20	1	35			36	2	15	1/2"	#12	AHU#1 (NON-CONCURRENT)	0.0																
	2.0		STEAM GENERATOR	#10	#10	1/2"	25	3	37			38						0.0																
		2.0										40	1	20	1/2"		NEW SPARE																	
			NEWSPARE									42	2	25	1/2"		NEW SPARE																	
2.5												44																						
	1.2		NEWSPARE									46	2	25	1/2"		NEW SPARE																	
1.0			NEWSPARE									48																						
	1.0		NEWSPARE									50	2	25	1/2"		NEW SPARE																	
			SPARE									52																						
												54	1	20			SPARE																	
BUS A 15.4 KVA			BUS B 18.5 KVA			BUS C 12.5 KVA			TOTAL 46.3 KVA			BUS A 128 AMPS			BUS B 154 AMPS			BUS C 104 AMPS			TOTAL 128 AMPS													
RATED VOLTAGE: <input checked="" type="checkbox"/> 120/208 <input type="checkbox"/> 120/240 <input type="checkbox"/> 277/480 3-PHASE 4-WIRE																		BRANCH POLES: <input type="checkbox"/> 12 <input type="checkbox"/> 18 <input type="checkbox"/> 20 <input type="checkbox"/> 24 <input type="checkbox"/> 30 <input type="checkbox"/> 36 <input type="checkbox"/> 42 <input checked="" type="checkbox"/> 54																
RATED AMPS: <input type="checkbox"/> 100 <input checked="" type="checkbox"/> 228 <input type="checkbox"/> 400 <input type="checkbox"/> 600																		CABINET: <input type="checkbox"/> SURFACE <input checked="" type="checkbox"/> FLUSH																
<input checked="" type="checkbox"/> FULL NEUTRAL BUS <input type="checkbox"/> GROUND BUS <input checked="" type="checkbox"/> HINGED DOOR <input checked="" type="checkbox"/> KEYED DOOR LATCH																		ENCLOSURE TYPE: NEMA-1																
<input checked="" type="checkbox"/> MAIN LUGS ONLY <input type="checkbox"/> MAIN AMPS <input type="checkbox"/> BREAKER <input type="checkbox"/> FUSED SWITCHED																		ALL BREAKERS MUST BE RATED TO INTERRUPT A SHORT CIRCUIT CURRENT OF 10,000 AMPS SYMMETRICAL																
ACCEPTABLE MANUFACTURERS: S.Q.D OR APPROVED EQUAL																		.8.5 TO BE GFCI BREAKERS																
NOTES: (1) CONDENSING UNITS CIRCUIT BREAKERS TO BE HACR TYPE. (2) CONTRACTOR IS RESPONSIBLE FOR "AS-BUILT" COORDINATION.																																		

EXISTING LOAD CENTER "AC" SCHEDULE																	
BUS (KVA)			LOAD			WIRE GND COND AMPS POLE			BUS (KVA)			LOAD			BUS (KVA)		
A	B	C										A	B				

MECHANICAL LEGEND

SYMBOL	DESCRIPTION
O.A.	OUTSIDE AIR
O.A.L.	OUTSIDE AIR LOUVER
R.A.	RETURN AIR
C.F.M.	CUBIC FEET PER MINUTE
(T)	THERMOSTAT
(R)	REMOTE SMOKE DETECTOR TEST STATION
(H)	HUMIDISTAT
(CO2)	CARBON DIOXIDE SENSOR
— (SD)	SMOKE DETECTOR
(A) CFM	A = DIFFUSER TYPE, CFM = DIFFUSER AIR FLOW
— FD	UL LISTED FIRE DAMPER
— VD	MANUAL VOLUME DAMPER
— MOD	MOTOR OPERATED DAMPER
— (TWIST-IN COLLAR WITH DAMPER)	TWIST-IN COLLAR WITH DAMPER
(X) (X)	CEILING DIFFUSER – SUPPLY AIR
(T)	SIDE-WALL DIFFUSER – SUPPLY AIR
(V)	TURNING VANES
{ }	DUCTWORK
~~~~~	FLEXIBLE DUCT
(X) (X)	CEILING DIFFUSER – RETURN AIR
(T)	SIDE-WALL DIFFUSER – RETURN AIR
{ }	SHEET METAL DUCTWORK – EXHAUST AIR
(F)	CEILING MOUNTED EXHAUST FAN
— RL — RL —	REFRIGERANT LIQUID LINE
— RS — RS —	REFRIGERANT SUCTION LINE
— COND —	CONDENSATE WATER PIPING

# GENERAL DUCTWORK NOTES

1. ALL DUCT SIZES SHOWN ARE INSIDE CLEAR DIMENSIONS.
2. DUCT CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SMACNA HVAC DUCT CONSTRUCTION STANDARD AND DETAILS ON THESE PLANS.
3. ALL AIR DEVICES (DIFFUSERS, REGISTERS AND GRILLES) SHALL BE ALL ALUMINUM CONSTRUCTION WITH EXPOSED SURFACE OFF WHITE BAKED ENAMEL FINISH OR AS SPECIFIED BY ARCHITECT. PROVIDE OPPOSED BLADE DAMPERS AT ALL DIFFUSERS AND REGISTERS AS INDICATED ON PLANS. PROVIDE BALANCING DAMPERS FOR ALL SUPPLY AND RETURN DIFFUSERS AND REGISTERS TO ENSURE COMPLIANCE AIR FLOW AND WITH FMC-2020 SEC. 601.4 FOR BALANCED RETURN TRANSFER AIR FLOW.
4. ALL DAMPER CONTROLS SHALL BE ACCESSIBLE.
5. ALL OUTSIDE AIR DUCTS OR INTAKES SHALL HAVE DAMPERS.
6. ALL PENETRATIONS OF REQUIRED FIRE RATED WALLS AND CEILINGS SHALL BE WITH AN ACCESSIBLE U.L. LABELED FIRE DAMPER OR WITH A U.L. LISTED FIRE STOPPING SYSTEM INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S LISTED DETAILS AND SPECS.
7. ALL BRANCH TAKE-OFFS SHALL BE PROVIDED WITH MANUAL VOLUME DAMPERS. PROVIDE RADIUS ELBOWS WHERE FEASIBLE, SQUARE ELBOWS AND TEE'S SHALL BE FURNISHED W/SINGLE FOIL TURNING VANES. PROVIDE MANUAL VOLUME DAMPERS WITH EXTRACTOR AT ALL FLEX TAKE-OFFS. PROVIDE REMOTE, CABLE OPERATED VOLUME DAMPERS IN INACCESIBLE AND HARD CEILING AREAS, "YOUNG REGULATOR" OR EQUAL.
8. ALL OUTSIDE AIR DUCTS OR INTAKES SHALL HAVE DAMPERS. BOTH OUTDOOR AIR SUPPLY AND EXHAUST SYSTEMS SHALL BE EQUIPPED WITH DAMPERS THAT WILL AUTOMATICALLY SHUT WHEN THE SYSTEMS OR SPACES SERVED ARE NOT IN USE. VENTILATION OUTSIDE AIR DAMPERS SHALL BE CAPABLE OF AUTOMATICALLY SHUTTING OFF DURING PREOCCUPANCY BUILDING WARMUP, COOLDOWN, AND SETBACK, EXCEPT WHEN VENTILATION REDUCES ENERGY COSTS (E.G., NIGHT PURGE) OR WHEN VENTILATION MUST BE SUPPLIED TO MEET CODE REQUIREMENTS. MOTORIZED DAMPERS SHALL BE NOT LESS THAN A CLASS I LEAKAGE-RATED DAMPER WITH A MAXIMUM LEAKAGE RATE OF 4 CFM PER S.F. AT 1" W.G. WHEN TESTED IN ACCORDANCE WITH AMCA 500D.
9. SMACNA DUCT PRESSURE CLASSES BASED ON OPERATING PRESSURE ARE: 1/2", 1", 2", 3", 4", 6", AND 10". EACH DUCT SYSTEM SHALL BE CONSTRUCTED FOR THE SPECIFIC DUCT PRESSURE CLASS SHOWN ON PLANS. WHERE NO PRESSURE CLASS IS SPECIFIED FOR CONSTANT VOLUME SYSTEMS, 1" W.G. PRESSURE CLASS IS THE BASIS OF COMPLIANCE WITH THE SMACNA STANDARDS REGARDLESS OF VELOCITY. WHERE NO PRESSURE CLASS IS SPECIFIED FOR VARIABLE VOLUME SYSTEMS, 2" W.G. PRESSURE CLASS IS THE BASIS OF COMPLIANCE WITH THE SMACNA STANDARDS FOR DUCTWORK UPSTREAM OF VAV BOXES. ALL DUCTWORK SHALL BE SEALED TO SMACNA "HVAC DUCT CONSTRUCTION STANDARDS" FOR ITS PRESSURE CLASS SEALING METHODS.
10. ALL INSULATION WILL HAVE FIRE/SMOKE RATING LESS THAN 25/50.

## DUCTWORK NOTES

1. ALL AIR CONDITIONING DUCT WORK SHALL BE OF 1" (R-4.2) STANDARD DUTY FOIL REINFORCED FIBERGLASS WITH MANUFACTURER'S LOGO PRINTED ON VAPOR BARRIER ALL FLEXIBLE DUCT TO BE R-4.2 WITH A MAX. TOTAL LENGTH NOT TO EXCEED 15 FT. INSTALL UL LISTED FOR PLENUM, FLEXIBLE DUCTWORK ELBOW SUPPORTS AT EACH DIFFUSER, GRILLE, AND REGISTER EQUAL TO "FLEXRIGHT" BY TITUS OR "FLEXXFLOW ELBOW" AS MANUFACTURED BY "THERMAFLEX".
2. EXPOSED ROUND METAL DUCT WORK SHALL BE SINGLE WALL 24 GAUGE GALVANIZED SHEET METAL OF SPIRAL LOCK SEAM CONSTRUCTION.
3. ALL EXHAUST DUCTS SHALL BE 26 GAUGE GALVANIZED SHEET METAL WITH SEALED SEAMS AND JOINTS. ALL OUTSIDE AIR DUCT SHALL BE INSULATED WITH EXTERNAL BLANKET INSULATION R-6 MIN. ALL METAL EXHAUST, MAKE-UP OR OTHERWISE DUCTS INSTALLED IN LOCATIONS WHERE DEWPOINT CONDITIONS CAN OCCUR INSIDE THE DUCT SHALL BE EXTERNALLY INSULATED WITH R-6 MIN. AIR INTAKE AND EXHAUST OPENINGS SHALL BE SCREENED WITH A CORROSION RESISTANT MATERIAL PER FMC 2010, TABLE 401.5.

## GENERAL HVAC NOTES

ALL WORK SHALL COMPLY WITH THE 2020 EDITION OF THE FLORIDA MECHANICAL, ENERGY CONSERVATION, ACCESSIBILITY CODES, AND AND ALL LOCAL CODE AMENDMENTS.

CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING, ORDERING, FABRICATION OR INSTALLATION OF MATERIALS OR EQUIPMENT, IN ORDER TO PROVIDE A FULLY INTEGRATED MECHANICAL AND CONTROLS SYSTEMS WITH THE EXISTING ONES. ANY DISCREPANCY BETWEEN EXISTING CONDITIONS AND PLANS, OR ADDITIONAL CLARIFICATION REQUIRED SHALL BE BROUGHT TO THE ATTENTION OF ENGINEER PRIOR TO FINAL BIDDING AND WORK. SUBMISSION OF THE CONTRACTORS PROPOSAL SHALL BE CONSTRUED AS INDICATING SUCH KNOWLEDGE. ANY CHANGES RESULTING FROM CONFLICTS IN THE FIELD, WHICH WERE NOT BROUGHT TO THE ENGINEERS ATTENTION, ARE TO BE MADE BY THIS CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF WORK. MECHANICAL PLANS ARE GENERAL, DIAGRAMMATIC IN NATURE, AND ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, PLUMBING, ELECTRICAL, FIRE SPRINKLER, STRUCTURAL AND INTERIOR DESIGNER PLANS AND SHALL BE CONSIDERED AS ONE SET OF DOCUMENTS. PROVIDE OFFSETS AND DEVIATIONS FROM WORK SHOWN ON THE DRAWINGS AS MAY BE NECESSARY TO FIT ACTUAL SPACE CONDITIONS AT NO ADDITIONAL COST TO THE OWNER. DUCTWORK CHANGES MAY BE MADE BY CONTRACTOR USING EQUIVALENT SIZED DUCT. CONTACT ENGINEER IF DUCT AREA WILL NOT FIT.

CONTRACTOR SHALL PROVIDE A COMPLETE MECHANICAL SYSTEM(S) AS DETAILED ON THE DRAWINGS AND SPECIFICATIONS. WORK CONSISTS OF PROVIDING ALL MATERIALS, EQUIPMENT, APPURTENANCES, ETC. REQUIRED FOR A COMPLETE SYSTEM(S). INCLUDE ANY INCIDENTAL APPARATUS, APPLIANCES, MATERIALS, LABOR, PERMITS, SERVICES, ETC. NECESSARY TO MAKE WORK COMPLETE AND READY FOR OPERATION. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO CALL FOR COMPLETE, FINISHED WORK, TESTED, AND READY FOR OPERATION.

CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING CONFLICTS IN THE DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND REPORTING CONFLICTS TO THE ENGINEER BEFORE BIDDING. ANY CHANGES RESULTING FROM CONFLICTS IN THE FIELD, WHICH WERE NOT BROUGHT TO THE ENGINEERS ATTENTION, ARE TO BE MADE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL GUARANTEE THE INSTALLATION AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE. DEFECTS SHALL BE PROMPTLY REMEDIED WITHOUT COST TO THE OWNER.

CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION AND TESTS. CONTRACTOR SHALL OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO COMMENCEMENT OF WORK OR ORDERING EQUIPMENT. CONTRACTOR SHALL BE PRESENT FOR ALL INSPECTIONS OF HIS WORK BY REGULATORY AUTHORITIES.

CONTRACTOR SHALL PROVIDE RECORD DRAWINGS TO THE BUILDING OWNER AND ARCHITECT. DRAWINGS SHALL INCLUDE ALL ADDENDUM ITEMS, CHANGE ORDERS, ALTERATIONS, REROUTINGS, ETC.

CONTRACTOR SHALL PROVIDE INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.

ALL MATERIAL SHALL BE NEW OF U.S. MANUFACTURER OF GOOD QUALITY. ALL WORK SHALL BE PERFORMED AT INDUSTRY STANDARD QUALITY LEVEL BY CERTIFIED PROFESSIONALS. ALL EQUIPMENT SHALL BE UL OR ETL LISTED. ALL INSTALLATIONS SHALL COMPLY WITH FMC 2020, CH. 3, GENERAL REGULATIONS. BUILDINGS LOCATED WITHIN 3,000 FT FROM THE OCEAN SHALL UTILIZE NON-FERROUS MATERIALS FOR ALL OUTDOOR EXPOSED SUPPORTS, STANDS, FASTENERS, ETC.

CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL MECHANICAL EQUIPMENT, CONTROLS AND ACCESSORIES COORDINATED WITH ALL TRADES AT ONE TIME, INDEXED IN A NEAT AND ORDERLY MANNER. PARTIAL SUBMITTALS WILL NOT BE ACCEPTED. CONTRACTOR SHALL NOT ORDER ANY EQUIPMENT WITHOUT APPROVAL FROM ENGINEER, ARCHITECT, OWNER, AND INTERIOR DESIGNER (IF APPLICABLE).

COORDINATE EXACT LOCATION OF ALL DIFFUSERS AND RETURNS WITH ARCHITECTURAL REFLECTED CEILING PLAN.

CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL CONCEALED MECHANICAL EQUIPMENT. PANELS IN RATED WALLS OR CEILINGS MUST MAINTAIN THE SAME RATING AND MUST MATCH THE FINISH OF THE WALL OR CEILING IN WHICH IS INSTALLED.

MATERIALS ALLOWED IN RETURN AIR PLENUMS OR ABOVE CEILINGS USED AS RETURN AIR PLENUM SHALL COMPLY WITH FMC-2020, SECTION 602.2.1. IF SPACE WITH RETURN AIR PLENUM HAS ANY DECK TO DECK PARTITIONS, AIR TRANSFER DUCTS MUST BE INSTALLED. WHEN CPVC PIPING IS USED FOR FIRE SPRINKLER SYSTEMS, THE R/A GRILLES LAYOUT SHALL BE (FIELD) COORDINATED WITH SUCH PIPING SO THAT NO PORTION OF THE GRILLES WILL BE DIRECTLY BELOW THE CPVC PIPING. STUD CAVITIES AND JOIST SPACE PLENUMS SHALL COMPLY WITH FMC-2020, SEC. 602.3.

CONDENSATE DRAIN PIPING TO BE AS SPECIFIED PER PLUMBING PLANS. IF NOT SPECIFIED THEY SHALL BE TYPE "L" COPPER, CPVC OR SCHEDULE 40 PVC WHERE ALLOWED BY CODE. PROVIDE 3/4" THICK AP/ARMAFLEX SS (SELF-SEAL) INSULATION FOR ALL HORIZONTAL ABOVE-GRADE PIPING. PROVIDE APPROVED WATER LEVEL DETECTOR OR FLOAT SWITCH TO AUTOMATICALLY SHUT DOWN THE AIR COND. UNIT, AS A SECONDARY DRAIN SYSTEM TO COMPLY WITH FMC-2020, SEC. 307. SUPPLY CONDENSATE PUMP WHERE NECESSARY AS IMPOSED BY FIELD CONDITIONS OR INSTALLATION CHANGES AND PIPE TO CONDENSATE DRAIN PER PLUMBING PLANS. PVC PIPING EXPOSED TO SUNLIGHT SHALL BE COATED WITH AN ULTRA VIOLET INHIBITING MATERIAL.

16. RUN INSULATED FIRE RATED CONDENSATE DRAINS AS REQUIRED. AUXILIARY DRAIN PANS SHALL BE INSTALLED UNDER ALL COILS ON WHICH CONDENSATION CAN OCCUR AND UNDER ALL UNITS IN CONCEALED SPACES OR ANY AREA WHERE BLDG. DAMAGE CAN OCCUR AS A RESULT OF AN OVERFLOW, TO COMPLY WITH FBC-2020, SEC. 307.2. AN ALTERNATE WATER-DETECTION LEVEL DEVICE TO SHUT DOWN THE EQUIPMENT IS ACCEPTABLE.
17. LOCATE THERMOSTATS, TEMPERATURE SENSORS, HUMIDISTATS, AND HUMIDITY SENSORS AS PER A.D.A REQUIREMENTS WHERE APPLICABLE; MAX. 48" ABOVE FINISHED FLOOR HIGH FOR FORWARD REACH, MAX. 54" A.F.F. HIGH FOR SIDE REACH. COORDINATE LOCATIONS WITH OTHER EQUIPMENT, FURNITURE, AND DOOR SWINGS. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR ALL REQUIREMENTS FOR JUNCTION BOXES, CONDUITS, CONTROL WIRING, POWER, ETC. AND DEFINE RESPONSIBILITIES AND SCOPE OF WORK FOR EACH TRADE PRIOR TO PURCHASING/INSTALLATION.
18. PROVIDE NEW FILTERS FOR ALL AIR CONDITIONING EQUIPMENT BEFORE START-UP, REPLACE PRIOR TO FINAL ACCEPTANCE BY OWNER.
19. CONTRACTOR SHALL INSTALL SMOKE DETECTORS WITH SERVICE ACCESS DOORS IN RETURN AIR SYSTEMS WITH A DESIGN CAPACITY GREATER THAN 2,000 CFM, IN THE RETURN AIR DUCT OR PLENUM UPSTREAM OF ANY FILTERS, EXHAUST AIR CONNECTIONS, OUTDOOR CONNECTIONS, OR DECONTAMINATION EQUIPMENT AND APPLIANCES AS PER FMC-2020, SEC. 606.2.1. CONTRACTOR SHALL INSTALL SMOKE DETECTORS WHERE MULTIPLE AIR-HANDLING SYSTEMS SHARE A COMMON SUPPLY OR RETURN AIR DUCTS OR PLENUMS WITH A COMBINED DESIGN CAPACITY GREATER THAN 2,000 CFM AS PER FMC-2020, SEC. 606.2.1. FOR SMOKE DETECTORS NOT VISIBLE, IN CONCEALED SPACES, PROVIDE REMOTE ANNUNCIATION/TEST STATION AS REQUIRED BY AUTHORITY HAVING JURISDICTION, COORDINATE PRIOR TO INSTALLATION. DETECTORS SHALL BE BY ONE MANUFACTURER, COORDINATE VOLTAGE ETC. WITH ELECTRICAL CONTRACTOR AND FIRE ALARM SYSTEM BEFORE ORDERING. UPON DETECTION, SMOKE DETECTORS SHUT DOWN ASSOCIATED AIR MOVING EQUIPMENT AND ALL AIR MOVING EQUIPMENT SERVING THAT COMMON PLENUM.
20. ALL INSTALLED ELECTRICAL DEVICES, ACTUATORS, APPURTENANCES, AUXILIARY EQUIPMENT ETC. REQUIRING ENVIRONMENTAL PROTECTION SHALL BE PROVIDED WITH ADEQUATE NEMA ENCLOSURES FOR THE CONDITIONS WHERE INSTALLED, WEATHER INDOORS OR OUTDOORS, EVEN IF NOT SPECIFICALLY INDICATED ON PLANS.
21. MECHANICAL EQUIPMENT ON ROOF OR ELEVATED STRUCTURES SHALL COMPLY WITH FMC-2020 SEC. 306.5 IF INSTALLED HIGHER THAN 16 FEET A.F.F. MECHANICAL EQUIPMENT INSTALLED IN ATTICS SHALL MEET THE REQUIREMENTS OF FMC-2010 SEC. 306.3 IF THE EQUIPMENT CAN NOT BE SERVICED/REMOVED THROUGH REQUIRED OPENING. MECHANICAL EQUIPMENT SHALL BE PROTECTED WITH MECHANICAL BARRIERS IF EXPOSED TO MECHANICAL DAMAGE. ALL EXTERIOR GRADE MOUNTED EQUIPMENT SHALL BE INSTALLED ON 6" CONCRETE PAD.
22. ALL WIND LOAD AND OTHER COMPLIANCE CALCULATIONS AND/OR INSTALLATION DETAILS FOR ROOF MOUNTED EQUIPMENT AS REQUIRED BY FBC-2020, SEC. 1509, 1522 AND CHAPTER 16, SHALL BE PROVIDED BY STRUCTURAL ENGINEER/ARCHITECT. CONTRACTOR TO PROVIDE WIND LOAD CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER FOR NON PRE-APPROVED CONFIGURATIONS DEVIATING FROM THE ORIGINAL CONSTRUCTION DOCUMENTS.
23. CONTRACTOR SHALL PATCH AND REPAIR EXISTING ROOFING MATERIAL AS REQUIRED BY AN APPROVED ROOFING CONTRACTOR FOR ROOFING MEMBRANE ORIGINALLY INSTALLED SO AS NOT TO VOID WARRANTY. CONTRACTOR IS TO PROVIDE REQUIRED STRUCTURAL STEEL FRAMEWORK FOR ADDITIONAL SUPPORT. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING A STRUCTURAL ENGINEER FOR SIZING OF STRUCTURAL STEEL FRAMEWORK REQUIRED.
24. CLEARANCE FOR MAINTENANCE, SERVICE, REPAIRS, AND REPLACEMENT FOR ALL MECHANICAL EQUIPMENT SHALL BE PROVIDED TO COMPLY WITH FMC-2020, SEC. 306. SERVICE ACCESS PANELS FOR MECHANICAL EQUIPMENT IN CONCEALED SPACES SHALL BE PROVIDED TO COMPLY WITH THE REQUIREMENTS OF SEC. 306.
25. CONTRACTOR SHALL PROVIDE A CERTIFIED TEST & BALANCE REPORT AT COMPLETION OF PROJECT PRIOR TO FINAL INSPECTION. IT SHALL BE DONE BY AN INDEPENDENT COMPANY FOR ALL MECHANICAL EQUIPMENT, AIR DEVICES, DAMPERS, AND ANY AIR MOVING SYSTEMS. THE TEST AND BALANCE REPORT SHALL BE IN ACCORDANCE WITH THE AABC OR NEBB STANDARDS AND PROCEDURES AND SHALL INCLUDE AIR QUANTITIES FOR ALL SUPPLY GRILLES, RETURN GRILLES AND EXHAUST GRILLES AND THE LEAVING AND ENTERING AIR TEMPERATURE (°F) FROM SUPPLY GRILLES, EVAPORATORS, ENERGY RECOVERY UNITS AND ANY TYPE OF HEAT EXCHANGERS. CONTRACTOR SHALL INCLUDE COSTS NECESSARY (PART OF BID) TO MAKE ONE CHANGE IN EACH UNITS SHEAVE, BUSHINGS AND BELTS, BALANCING DAMPERS REQUIRED AND ANY OTHER DEVICES REQUIRED FOR THE CORRECT BALANCE OF THE SYSTEM AS REQUIRED BY THE TAB FIRM.
26. O/A INTAKES SHALL NOT BE TAKEN FROM A LOCATION CLOSER THAN 10 FT FROM ANY CHIMNEY, VENT OUTLET OR SANITARY SEWER VENT OUTLET PER FMC-2020, SEC. 401.4.1. OUTSIDE AIR INTAKE VENTS LOCATED ON ROOFS WILL BE PROPERLY MARKED WITH A UNIVERSAL MARKING "INTAKE", PERMANENTLY ATTACHED.
27. MECHANICAL EQUIPMENT, APPLIANCES AND SUPPORTS THAT ARE EXPOSED TO WIND SHALL BE DESIGNED AND INSTALLED TO RESIST THE WIND PRESSURES DETERMINED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, BUILDING.
28. GENERAL CONTRACTOR SHALL VERIFY THAT THE AIR CONDITIONED SPACE IS SEALED WITH AN APPROVED AIR BARRIER IN ACCORDANCE WITH FECC-2020, SEC 402.4.1. MECHANICAL CONTRACTOR SHALL NOTIFY GENERAL CONTRACTOR, ARCHITECT AND ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO INSTALLATION OF ANY EQUIPMENT.

The image features a large, bold, lowercase 'get' logo in a white sans-serif font. The letters are partially cut off on the right side. Below the logo, the words 'architecture, inc.' are written in a smaller, white, lowercase sans-serif font.

STRUCTURE INC.  
Architect, Planner and  
Designer  
AA-26002044

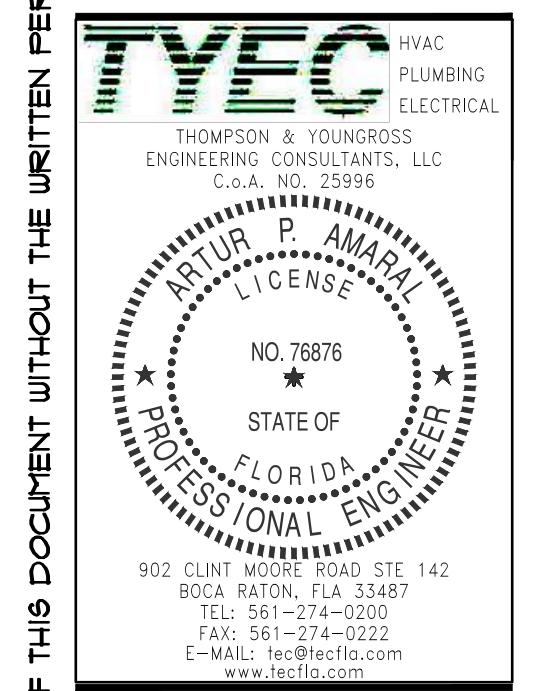
**ARCHITE** 1045 East Atlantic Ave. Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

A _____  
E ISSUED FOR

DF G

PERMIT 4-14-2022

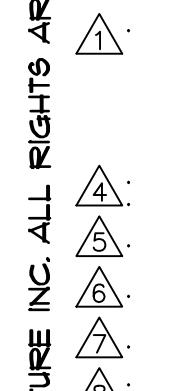
## CONSTRUCTION



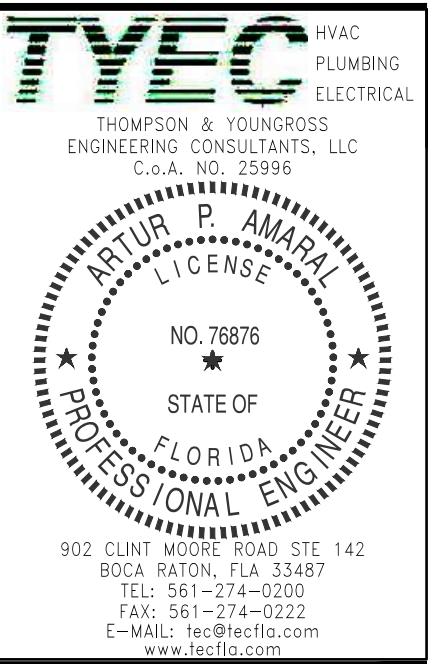
# PROPOSED INTERIOR REFNOVATION

ED AN  
**226 PALM COURT  
DELRAY BEACH, FL.**

### CLIENT APPROVAL



IS THE PROPERTY OF  
FILE NUMBER  
DRAWING TITLE  
**MECHANICAL  
NOTES  
& LEGEND**



PROJECT TITLE  
**PROPOSED  
INTERIOR  
RENOVATION**

226 PALM COURT  
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS  
△

△  
△  
△  
△

FILE NUMBER

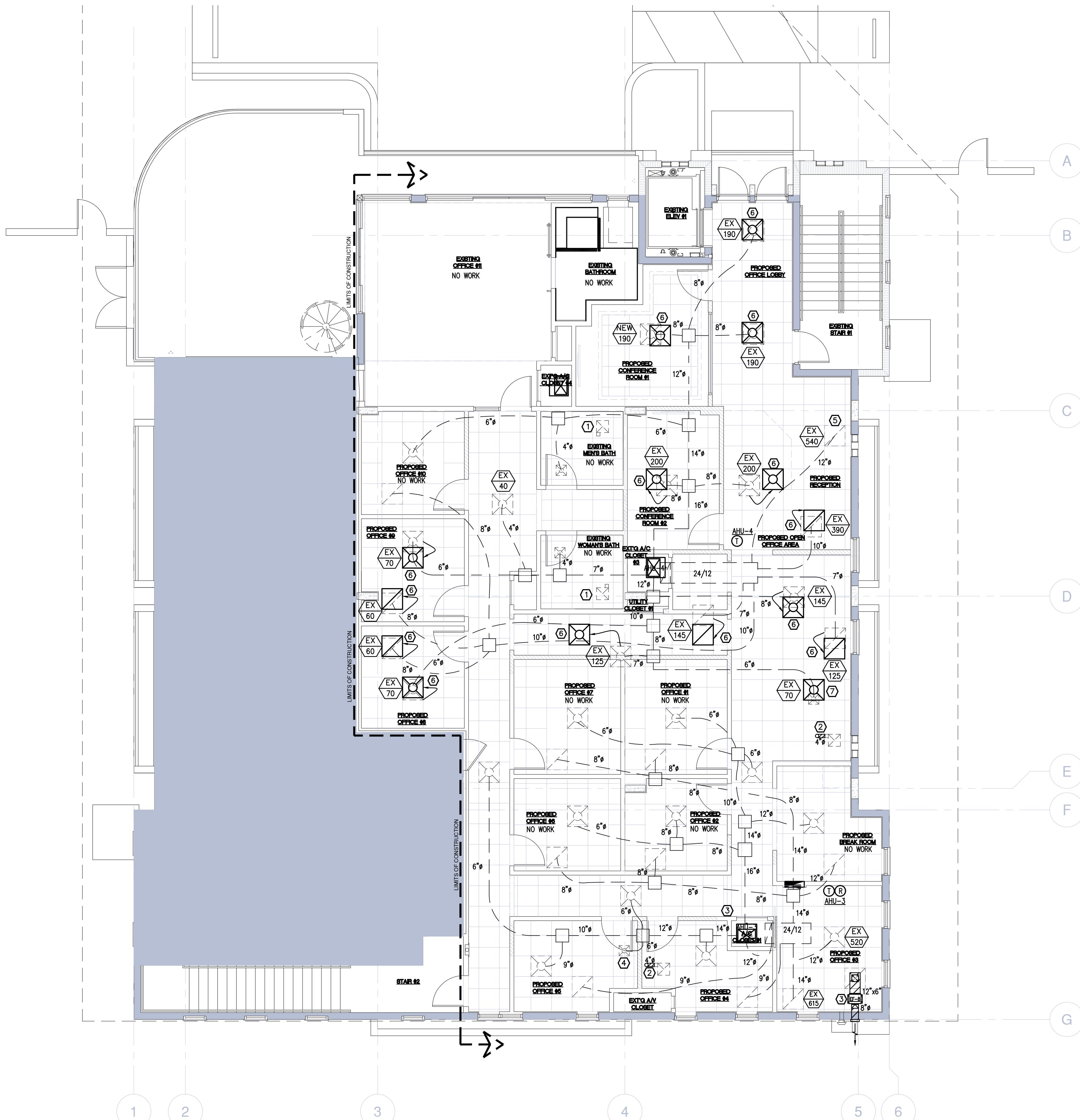
DRAWING TITLE  
**SECOND FLOOR  
MECHANICAL  
PLAN**

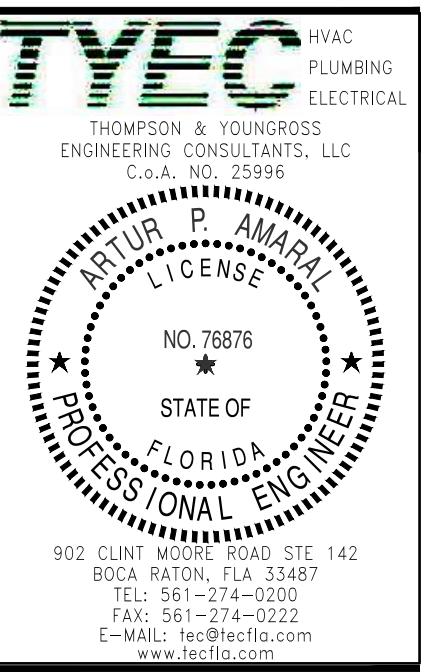
DATE  
4-14-2022  
DRAWN BY  
TYEC  
JOB NUMBER  
20211205 / 22039  
DRAWING NUMBER

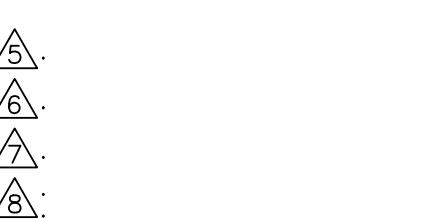
M-1.1

THIS DOCUMENT IS THE PROPERTY OF GE ARCHITECTURE INC. ALL RIGHTS ARE RESERVED AND ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF GE ARCHITECTURE INC. IS PROHIBITED.

PLAN KEY NOTES	
①	EXISTING EXHAUST FAN TO REMAIN.
②	EXISTING EXHAUST FAN & 4" S.M. DUCT TO BE REMOVED. EXISTING ALUMINUM ROOF CAP TO ALSO BE CAPPED BELOW THE ROOF.
③	EXISTING EXHAUST FAN, RETURN GRILLE, RELATED S.M. DUCT, AND 8" WALL CAP TO BE REMOVED. GENERAL CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR EXTERIOR WALL REPAIR DETAILS.
④	REMOVE EXISTING SUPPLY AIR DIFFUSER, DUCT, AND PATCH DISTRIBUTION BOX
⑤	CONTRACTOR TO PROVIDE AND INSTALL DRYER BOX MODEL 425 RECESSED IN WALL. REFER TO DETAIL FOR ADDITIONAL INFORMATION. 4" EXHAUST UP TO GREENHECK (O/E) MODEL "RFC-7" ALUMINUM ROOF CAP WITH BIRD SCREEN.
⑥	EXISTING SUPPLY DIFFUSER OR RETURN GRILL TO BE RELOCATED TO ACCOMMODATE NEW CEILING GRID. EXTEND EXISTING OR PROVIDE NEW DUCT-WORK IN ORDER TO PROVIDE THE STATED CFM AIR FLOW.
⑦	PROVIDE A NEW SUPPLY AIR GRILLE AND MATCH EXISTING.




 PROPOSED  
INTERIOR  
RENOVATION

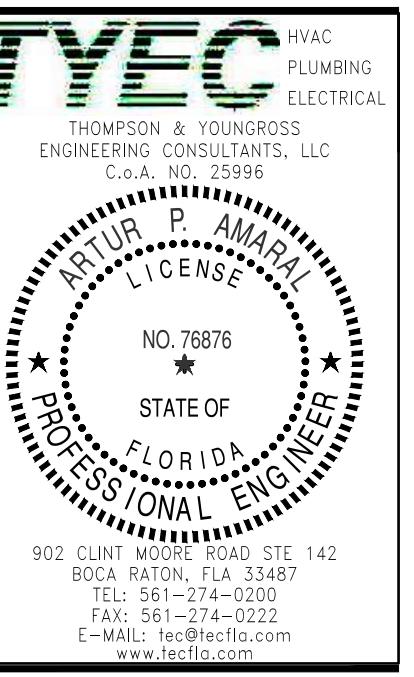
 226 PALM COURT  
DELRAY BEACH, FL.


PLUMBING LEGEND	
C.O.	CLEAN OUT
C.O.T.G.	CLEAN OUT TO GRADE
CW	DOMESTIC COLD WATER
HW	DOMESTIC HOT WATER
HWR	DOMESTIC HOT WATER RETURN
VTR	VENT THRU ROOF
AAV	AIR ADMITTANCE VALVE
DN	DOWN
RWL	RAIN WATER LEADER
SD	STORM DRAIN
V.I.F.	VERIFY IN FIELD
WHA	WATER HAMMER ARRESTOR- PDI #
SOV	SHUT-OFF VALVE
U.G.	UNDER GROUND
T.P.	TRAP PRIMER
CEIL.	PLUMBING LINE ROUTED AT CEILING
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
	BALANCING VALVE
	BALL VALVE
	BALL VALVE IN VERTICAL
	HOSE BIBB WITH VACUUM BREAKER
	WATER HAMMER ARRESTOR- PDI #
	DOMESTIC COLD WATER PIPING
	DOMESTIC HOT WATER PIPING (110F)
	STORM DRAIN PIPING
	CONDENSATE PIPING
	VENT PIPING
	SANITARY SEWER PIPING
	PIPE DROP DOWN
	PIPE RISER UP
	CAPPED END OF PIPE
	P-TRAP
	CLEAN OUT
	UNION - SCREWED OR FLANGED
	CONDENSATE PIPE SUPPORT
	POINT OF CONNECTION
FD	FLOOR DRAIN
RD	ROOF DRAIN

GENERAL PLUMBING NOTES	
1.	ALL WORK SHALL COMPLY WITH THE 2020 EDITION OF THE FLORIDA PLUMBING, ENERGY CONSERVATION, ACCESSIBILITY AND FUEL GAS CODES, AND ALL LOCAL CODE AMENDMENTS.
2.	DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF WORK. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL LAYOUT OF PLUMBING SYSTEMS.
3.	CONTRACTOR SHALL VISIT THE EXISTING SITE (IF APPLICABLE) PRIOR TO BIDDING AND SHALL INVESTIGATE ALL CONDITIONS THAT AFFECT HIS WORK; VERIFY LOCATIONS, SIZES, DIMENSIONS, AND INVERT ELEVATIONS OF ALL ON-SITE SANITARY SEWERS, STORM DRAINS, WATER MAINS AND NATURAL GAS MAINS, AND MAKE CERTAIN THAT ALL CONNECTIONS CAN BE MADE. THE CONTRACTOR SHALL MAKE THE ARCHITECT/ENGINEER AWARE OF ANY CONFLICTS.
4.	CONTRACTOR SHALL REVIEW ARCHITECTURAL, STRUCTURAL, MECHANICAL AND OTHER DRAWINGS PRIOR TO BID AND SHALL COORDINATE ALL TRADES TO PROVIDE A CONFLICT-FREE WORKING ENVIRONMENT. THE CONTRACTOR IS TO DETERMINE WHICH TRADE IS TO PERFORM THE NECESSARY WORK. RESOLVE ALL QUESTIONS OR CONFLICTS WITH THE ENGINEER BEFORE ANY EQUIPMENT IS ORDERED, MATERIALS FABRICATED OR SYSTEMS INSTALLED. CONSULT THE ARCHITECT'S DRAWINGS FOR ALL GRADE AND FINISH FLOOR ELEVATIONS.
5.	CONTRACTOR SHALL GUARANTEE THE INSTALLATION AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE. DEFECTS SHALL BE PROMPTLY REMEDIED WITHOUT COST TO THE OWNER.
6.	CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION AND TESTS. CONTRACTOR SHALL OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO COMMENCEMENT OF WORK OR ORDERING EQUIPMENT. PLUMBING CONTRACTOR SHALL BE PRESENT FOR ALL INSPECTIONS OF HIS WORK BY REGULATORY AUTHORITIES.
7.	CONTRACTOR SHALL PROVIDE RECORD DRAWINGS TO THE BUILDING OWNER AND ARCHITECT. DRAWINGS SHALL INCLUDE ALL ADDENDUM ITEMS, CHANGE ORDERS, ALTERATIONS, REROUTINGS, ETC.
8.	CONTRACTOR SHALL PROVIDE INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
9.	CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT AT ONE TIME, BOUND IN THREE-RING BINDERS, INDEXED IN A NEAT AND ORDERLY MANNER. PARTIAL SUBMITTALS WILL NOT BE ACCEPTED. PLUMBING CONTRACTOR SHALL NOT ORDER ANY EQUIPMENT WITHOUT APPROVAL FROM PLUMBING ENGINEER, ARCHITECT, OWNER, AND INTERIOR DESIGNER (IF APPLICABLE).
10.	CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL CONCEALED VALVES. ACCESS PANELS IN RATED WALLS OR CEILINGS MUST MAINTAIN THE SAME RATING AND MUST MATCH THE FINISH OF THE WALL OR CEILING IN WHICH IS INSTALLED.
11.	TRENCHING, BACKFILL AND CONCRETE WORK ASSOCIATED WITH PLUMBING SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS.
12.	CONTRACTOR SHALL PROVIDE AND INSTALL ALL SLEEVES THROUGH FLOORS AND WALLS. PIPING THROUGH FLOORS SHALL BE SLEEVED, CAULKED AND FLASHED TO PREVENT LEAKAGE. SEAL ALL WALL PENETRATIONS WATERTIGHT WITH SILICONE CAULKING AND BACKER ROD, OR CONCRETE COREBORING. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE PLUMBING SUBCONTRACTOR TO PROVIDE ALL LAYOUTS, SLEEVING, CONCRETE CUTTING AND PATCHING, AND CONCRETE COREBORING AS REQUIRED TO COMPLETE ALL OF PLUMBING WORK. ALL LAYOUT OF REQUIRED CONCRETE CUTTING MUST BE APPROVED BY THE GENERAL CONTRACTOR PRIOR TO PLUMBING SUBCONTRACTOR'S EXECUTION OF SAME.
13.	PIPE PENETRATIONS THROUGH FIRE RATED WALLS OR FLOORS SHALL HAVE EQUIVALENTLY RATED SLEEVES AND SHALL BE SEALED AND FIRE CAULKED WITH A UL LISTED FIRE STOPPING SYSTEM INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S LISTED DETAILS AND SPECS.
14.	LAYOUT PIPES TO FALL (CONCEALED) WITHIN PARTITION WALL OR CHASES. NOTIFY ARCHITECT IF ADDITIONAL WALL SPACE IS REQUIRED. COORDINATE PIPE DROP WITH FOOTINGS, STRUCTURAL STEEL, FIRE RATED WALLS, WHICH MAY FALL BELOW PARTITION WALL OR CHASE. MAKE NECESSARY ADJUSTMENT TO PIPING TO AVOID CONFLICT WITH BUILDING OBSTRUCTIONS. CONSULT WITH ARCHITECT AND CONTRACT DOCUMENTS FOR LOCATION OF ALL RATED WALLS, CEILINGS, FLOORS AND ROOF. FURNISH AND INSTALL APPROPRIATE AND APPROVED FIRE BARRIER AT ALL PENETRATIONS. INSTALLATION SHALL BE PER MANUFACTURE'S SPECIFICATIONS.
15.	NO COMBUSTIBLE MATERIAL TO BE USED IN MECHANICAL ROOM(S) OR IN CEILING SPACE(S) WHERE USED AS RETURN AIR PLUMENS.
16.	NO WATER, SANITARY OR DRAINAGE PIPING PERMITTED IN ELECTRICAL OR ELEVATOR EQUIPMENT ROOMS.
17.	CONTRACTOR SHALL PROVIDE PIPE HANGERS FOR ALL PIPING. HANGER RODS AND DEVICES SHALL BE USED FOR SUPPORT OF ALL PIPING. MAKESHIFT DEVICES WILL NOT BE ACCEPTABLE. HANGER DEVICES SHALL BE SIZED TO FIT AROUND INSULATION. PROVIDE GALVANIZED STEEL SADDLES AS REQUIRED. PIPING SUPPORT SPACING SHALL COMPLY WITH THE FLORIDA PLUMBING CODE-2020.
18.	SANITARY, VENT PIPING AND DOMESTIC WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH SECTION 312 OF THE FLORIDA PLUMBING CODE-2020.
19.	Dielectric couplings are required between all dissimilar metal in piping and equipment connections.
20.	In areas of exposed CMU, all piping shall be within CMU wall. No exposed piping shall be allowed. Coordination with other trades shall be the responsibility of the plumbing contractor.
21.	MATERIALS AND EQUIPMENT SHALL BE NEW OF AMERICAN MANUFACTURER, FREE OF DEFECTS AND IT SHALL MEET THE REQUIREMENTS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, ASTM & ANSI SPECIFICATIONS WHERE SUCH EXIST, STANDARD AND LOCAL BUILDING CODES, AND SHALL BE SUITABLE FOR THE USE INTENDED.
22.	PLUMBING PIPING SHALL BE LABELED WITH CONTENT DESCRIPTION AND FLOW DIRECTION. REFER TO MARKER PLACEMENT RECOMMENDATION DETAIL FOR FURTHER INFORMATION.

WATER PIPING SYSTEM NOTES	
1.	WATER PIPING SHALL BE: COPPER PIPING (ABOVE GRADE): ASTM B88, TYPE L, HARD DRAWN. FITTINGS: (a) SOLDERED: ANSI/ASME B16.23, CAST BRASS OR ANSI/ASME B16.29, WROUGHT COPPER. (b) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND SMART CONNECT (SC FEATURE). JOINTS: (a) SOLDERED: ANSI/ASTM B32, LEAD-FREE SOLDER, GRADE 95TA. (b) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND SMART CONNECT (SC FEATURE).
	COPPER PIPING (UNDERGROUND BUILDING EXTERIOR): ASTM B88, TYPE K, HARD DRAWN. FITTINGS: (a) SOLDERED: ANSI/ASME B16.29, WROUGHT COPPER. (b) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND SMART CONNECT (SC FEATURE). JOINTS: (a) SOLDERED: ANSI/ASTM B32, LEAD-FREE SOLDER, GRADE 95TA. (b) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND SMART CONNECT (SC FEATURE).
	COPPER PIPING (UNDERGROUND UNDER BUILDING SLAB): ASTM B878, TYPE K, SOFT DRAWN. FITTINGS: (a) SOLDERED: ANSI/ASME B16.29, WROUGHT COPPER. (b) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND SMART CONNECT (SC FEATURE). JOINTS: (a) SOLDERED: ANSI/ASTM B32, LEAD-FREE SOLDER, GRADE 95TA. (b) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND SMART CONNECT (SC FEATURE).
	WATER VALVES 7" AND SMALLER SHALL BE A BRONZE BALL VALVE, TWO-PIECE BODY, 600 PSI WORKING PRESSURE. NIBCO MODEL S-585-80-LF (NSF-61 LEAD FREE) OR APPROVED EQUAL. THE USE OF GATE VALVES SHALL BE PROHIBITED.
2.	ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS AND APPROPRIATELY MARKED ACCESS PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
3.	PROVIDE ANGLE STOPS ON ALL WATER SERVICE LINES TO FIXTURES FOR INDIVIDUAL SHUT-OFF.
4.	PROVIDE A WATER HAMMER ARRESTOR ON ALL WATER SUPPLY LINES SERVING FLUSH VALVE PLUMBING FIXTURES, SOLENOID VALVES, ETC. INCLUDING OTHER FIXTURES WITH QUICK CLOSING VALVES (ICE MAKERS, DISHWASHERS). USE A CHROME PLATE ARRESTOR, P-3000; 1/2" CONN., P.D.I.#: 1/2" CONN., P.D.I.#: 1" CONN. APPROVED FOR INSTALLATION WITH NO ACCESS PANEL REQUIRED. CONFORMS WITH ANSI/ASSE 1010 STANDARDS.
5.	PROVIDE AUTOMATIC TRAP PRIMER ON COLD WATER CONNECTION TO LAVATORY FIXTURE WITH COLD WATER TUBE TO FLOOR DRAIN. AUXILIARY INLET FITTING, FLOOR DRAINS IN AREAS WHERE A LAVATORY (TRAP PRIMER) CONNECTION IS NOT AVAILABLE, PROVIDE A TRAP PRIMER DISTRIBUTION UNIT PRECISION PLUMBING PRODUCTS, MODEL PR-500 (OR APPROVED EQUAL) AND A SHUT-OFF VALVE IN ACCESSIBLE AREA.
6.	INSTALL VACUUM BREAKERS ON ALL HOSE BIBBS AND HYDRANTS.
7.	ALL OUTSIDE HOSE BIBBS SHALL BE INSTALLED 2'-0" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
8.	ESCUCHETONS SHALL BE CHROME PLATED BRASS WITH LOCKING SCREWS WHERE PIPES PASS THROUGH FINISHED WALLS.

PLUMBING DRAWING LIST		NOTE
DRAWING NUMBER	DRAWING NAME	THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.
P-01	PLUMBING NOTES, SCHEDULES AND LEGEND	
P-11	SECOND FLOOR PLUMBING PLAN	



226 PALM COURT  
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS  
△ △ △ △ △ △

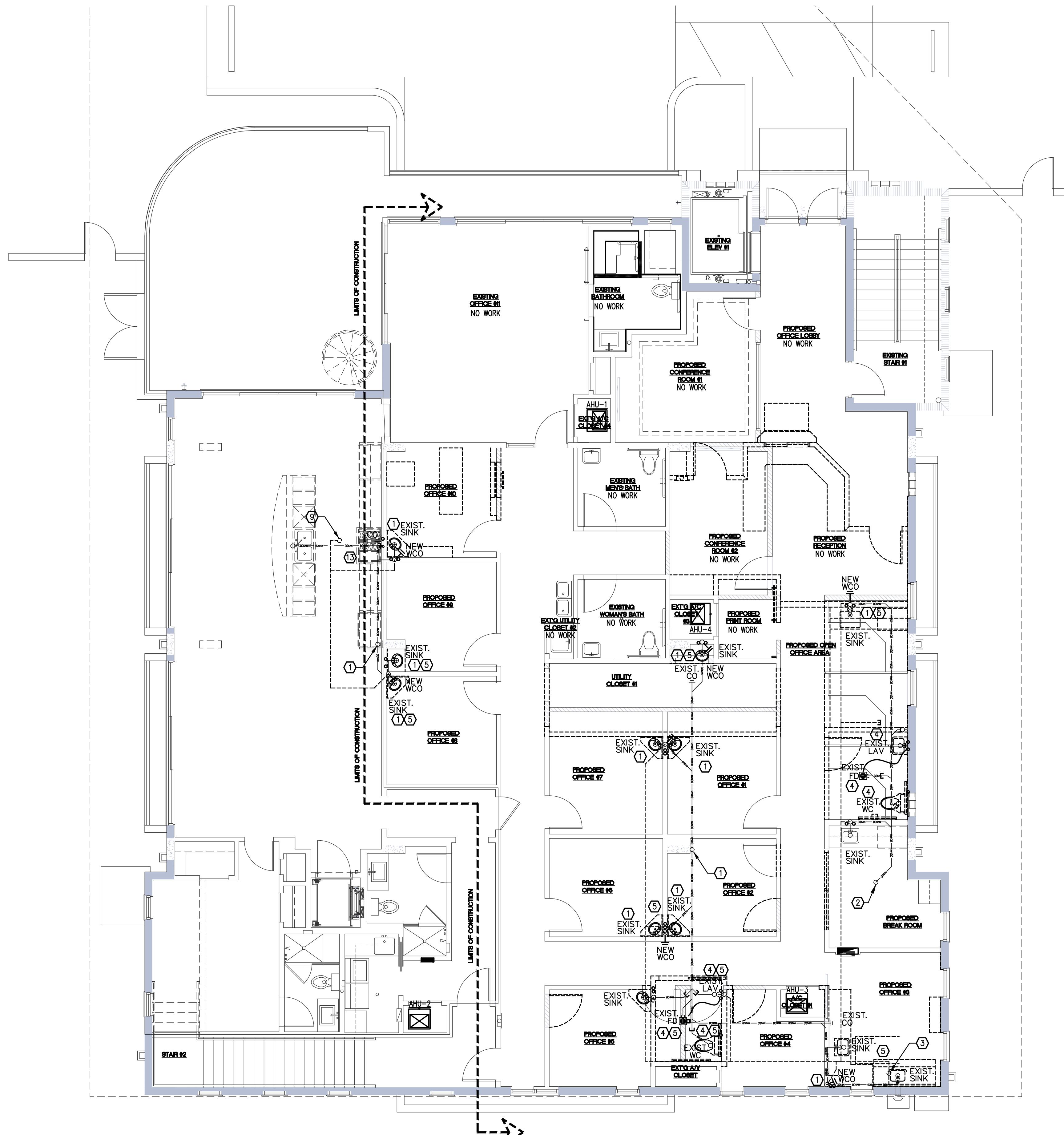
FILE NUMBER

DRAWING TITLE  
**SECOND FLOOR  
PLUMBING  
PLAN**

DATE 4-14-2022 DRAWN BY TYEC  
JOB NUMBER 20211205 / 22039  
DRAWING NUMBER

P-1.1

PLAN KEY NOTES	
①	REMOVE EXISTING SINKS AND PROVIDE A WALL CLEAN-OUT AT SANITARY RISER.
②	EXISTING SANITARY PIPING DOWN TO ROOM BELOW TO REMAIN 'AS-IS'.
③	EXISTING 2" SANITARY VENT PIPING UP TO ROOF TO REMAIN 'AS-IS'.
④	REMOVE EXISTING LAVs, WCs, FDs AND CAP SANITARY PIPING AS INDICATED.
⑤	REMOVE ALL HOT AND COLD WATER PIPING, INCLUDING TRAP PRIMING PIPING; AND CAP PIPING WITHIN THE CEILING CAVITY.



1 **SECOND FLOOR PLUMBING PLAN**  
P-12 SCALE : 3/16"-1'-0"

**NOTE**  
THESE DRAWINGS ARE PREPARED PER  
ESTABLISHED INDUSTRY STANDARDS AND  
REPRESENT THE ENGINEERS DESIGN  
CONCEPT. THEY ARE NOT INTENDED TO  
PROVIDE EVERY DETAIL OR CONDITION  
REQUIRED TO CONSTRUCT THE BUILDING.  
THE CONTRACTOR THROUGH SUBMITTALS  
AND OTHER COORDINATION EFFORTS IS  
FULLY RESPONSIBLE FOR PROVIDING A  
COMPLETE AND OPERATIONAL BUILDING  
WHETHER INDICATED ON THE PLANS OR NOT.