

"CITY MATTRESS OFFICE"
INTERIOR RENOVATION
226 PALM COURT DELRAY BEACH, FL.

SHEET SCHEDULE

SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE
	ARCHITECTURAL				
A2.01E	EXISTING SECOND FLOOR PLAN (FOR REFERENCE ONLY) SCALE: 3/16" = 1'-0"				
A2.01D	PROPOSED SECOND FLOOR DEMOLITION PLAN SCALE: 3/16" = 1'-0"				
A2.02D	PROPOSED SECOND FLOOR DIMENSION PLAN SCALE: 3/16" = 1'-0"				
A2.02N	PROPOSED SECOND FLOOR NOTED PLAN SCALE: 3/16" = 1'-0"				
A3.00	PROPOSED REFLECTED CEILING PLAN SCALE: 3/16" = 1'-0"				
A3.00	TYPICAL DETAILS SCALE: VARIES				
A3.01	TYPICAL DETAILS / WINDOW & DOOR SCHEDULE SCALE: VARIES				
B1.00	TYPICAL ACCESSIBLE DETAILS SCALE: N.T.S.				
B1.01	TYPICAL ACCESSIBLE DETAILS SCALE: N.T.S.				
L3-1	PROPOSED SECOND FLOOR LIFE SAFETY PLAN SCALE: 3/16" = 1'-0"				

APPLICABLE CODES

2020 FLORIDA BUILDING CODE
2020 FLORIDA PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE (FBC 107.2)
2020 FLORIDA MECHANICAL CODE
2020 FLORIDA FIRE PREVENTION CODE 7TH EDITION
-FLORIDA SPECIFIC NFPA-101, CHAPTER 42
2020 NFPA 101 LIFE SAFETY CODE EDITION
-FLORIDA SPECIFIC NFPA-101, CHAPTER 42
2020 FLORIDA ACCESSIBILITY CODE / ADA 94.

GENERAL NOTES

- THE ARCHITECT AND HIS AUTHORIZED REPRESENTATIVES AND AGENTS SHALL HAVE ACCESS TO AND BE PERMITTED TO INSPECT ALL WORK MATERIALS AND OTHER RELEVANT DATA AND RECORDS WHEREVER THEY ARE IN PREPARATION AND PROGRESS. WHEN REQUESTED, THE CONTRACTOR SHALL FURNISH DUPLICATE COPIES OF THE AFOREMENTIONED DATA.
- ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENT DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO COMMENCEMENT OF WORK OR CONSTRUCTION, SO THAT CORRECTIVE MEASURES MAY BE TAKEN.
- THE GENERAL CONTRACTOR WILL MAKE EVERY EFFORT TO EXPEDITIOUSLY COORDINATE ALL PHASES OF THE WORK TO OBTAIN THE END RESULT WITHIN THE FULL PURPOSE AND INTENT OF THE DRAWINGS FOR THE PROJECT.
- ANY UNFORESEEN CONDITIONS IN FIELD AFFECTING THE DESIGN CONCEPT OF THE BUILDING, OR THAT ARE IN CONFLICT WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. EACH CONTRACTOR AND/OR SUBCONTRACTOR SHALL BE EXPECTED TO INSPECT THE SITE FOR ALL EXISTING CONDITIONS WHICH COULD AFFECT THE WORK THEY ARE BIDDING FOR AND SHALL BE RESPONSIBLE FOR ANTICIPATING THE EFFECTS OF THOSE CONDITIONS UPON THEIR WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 EDITION, AND ALL APPLICABLE NATIONAL AND LOCAL RULES, REGULATIONS AND ORDINANCES. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- FIELD VERIFY ALL DIMENSIONS.
- ALL AREA CALCULATIONS ARE APPROXIMATE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES.
- THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF ALL SYSTEMS SO THAT THEY ARE COMPLETE AND FULLY FUNCTIONING (EXCEPT AS NOTED HEREIN).
- ALL INTERIOR FINISHES ARE TO BE SUPPLIED BY CONTRACTOR AND APPROVED BY OWNER.
- THE DESIGN AND CONSTRUCTION OF ACCESSIBLE BUILDING ELEMENTS SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 94, FEB 2020 & ALL LOCAL CODES OR STANDARDS FOR ACCESSIBILITY SHALL APPLY WHEN THEY SPECIFY A MORE STRINGENT REQUIREMENT.
- THE INTERPRETATION OF DRAWINGS, SPECIFICATIONS, OR OTHER BIDDING DOCUMENTS SHALL NOT BE MADE VERBALLY TO THE BIDDER. IF THE BIDDER IS IN DOUBT AS TO THE MEANING OF ANY OF THESE CONTRACT DOCUMENTS OR SHOULD DISCOVER ANY DISCREPANCIES OR CONFLICT HERE IN, THE BIDDER SHALL TELEPHONE OR SUBMIT IN WRITING TO THE ARCHITECT A REQUEST FOR INTERPRETATION. IN THE EVENT THAT THE BIDDER FAILS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, THE BIDDER IS DEMANDDED TO HAVE ESTIMATED THE MOST EXPENSIVE WAY OF DOING THE WORK.
- THE CONTRACTOR SHALL PROVIDE OWNER / ARCHITECT WITH A WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT, WHICH COULD CHANGE THE DAY TO DAY OPERATIONS OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER/ARCHITECT FOR THE ACTS AND OMISSIONS OF ITS COMPLETION OF THE WORK.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ARCHITECT AND OWNER FOR SUBSTITUTIONS MADE IN SPECIFIED EQUIPMENT, MATERIALS AND COLORS.
- DETAILS MARKED AS TYPICAL APPLY TO SIMILAR CONDITIONS INCLUDING CONDITIONS NOT MARKED AS SIMILAR. UNO. TYPICAL DETAILS NOT SHOWN BUT NECESSARY FOR CONFORMANCE WITH APPLICATION.
- ALL WORK MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND DAILY OPERATIONS.
- DISPOSAL: CONTRACTOR IS RESPONSIBLE FOR REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. NOTE: CONTRACTOR TO COORDINATE W/ OWNER TO VERIFY ALL ITEMS TO BE SALVAGED OR REMOVED FROM SITE - PRIOR TO DEMOLITION.
- NOTE: NO ATTEMPT IS MADE ON THESE DRAWINGS TO SHOW EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL VISIT SITE TO DETERMINE WHETHER OR NOT SMALLER ITEMS NOT SHOWN ARE TO BE REMOVED. CONTRACTOR IS HEREBY NOTIFIED TO STUDY THE ARCHITECTURAL PLANS TO DETERMINE THE FINISH DESIGN CONTENT. ANY QUESTIONS SHALL BE DIRECTED TO THE GEN. CONTRACTOR CONCERNING ALL ITEMS TO BE REMOVED OR TO REMAIN.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT SIX (6) PRINTS (PDF'S) OF DETAIL SHOP DRAWINGS OF ALL APPLICABLE CONSTRUCTION. SUCH DRAWINGS SHALL SHOW THE DESIGN, DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO INSURE THAT THEY ACCURATELY INTERPRET THE DRAWINGS. THE CONTRACTOR WILL RETAIN RESPONSIBILITY FOR FURNISHING THE MATERIALS, APPARATUS, DEVICES, ETC. OF PROPER DIMENSION, SIZE, QUANTITY, AND QUALITY AS SHOWN ON THE DRAWINGS AND THE RESPONSIBILITY FOR ANY ERRORS OF THE SHOP DRAWINGS. ALLOW TWO WEEKS FOR REVIEW TIME.

- ALL SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES ARE SUBJECT TO REVIEW BY THE ARCHITECT & OR ASSOCIATED PROFESSIONALS, AT THEIR DISCRETION.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT BY THE GENERAL CONTRACTOR ONLY FOR REVIEW PRIOR TO FABRICATION.
- THE CONTRACTOR IS EXPECTED TO FURNISH ALL ITEMS FOR A COMPLETE ELECTRICAL, PLUMBING, AND MECHANICAL TO MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER IN CONFORMANCE WITH LOCAL STANDARDS AND APPLICABLE CODES HAVING JURISDICTION. DIMENSIONS INDICATED ON THE PLANS ARE FROM FACE OF FINISH WALL. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. USE FIGURED DIM. ONLY. DO NOT SCALE DRAWINGS. DO NOT DEVIATE FROM THE WRITTEN DIM. MORE THAN 1" WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. DEVIATION IS NOT PERMITTED WHERE 'CLEAR' OR 'HOLD' DIMENSIONS ARE INDICATED. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES IN THE PLANS OR SPECS. NOTE: ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.
- ALL EXTERIOR METAL FASTENERS, NAILS, AND BOLTS SHALL BE ZINC PLATED, HOT DIPPED GALVANIZED. (IF APPLICABLE)
- PRIOR TO PLACEMENT OF ANY STUCCO OVER CONCRETE SURFACES, SUCH SURFACES SHALL BE TREATED WITH BONDING AGENT APPLIED IN FULL CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS (IF APPLICABLE).
- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR TO PROVIDE TECHNICAL DATA SHEETS ON ALL CHEMICALS TO BUILDING DEPT. FOR APPROVAL. HEFTACHIOR, TECHNICAL CHLORIDANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS IN COMPLIANCE WITH EPA REGULATIONS. (IF APPLICABLE).
- ALL INTERIOR PAINT COLORS TO BE SELECTED BY OWNER. NOTE: ALL COLORS DEPICTED ON PLANS FOR PRICING PURPOSES ONLY. (PAINT SUB-CONTRACTOR TO PROVIDE PAINT SAMPLES FOR APPROVAL PRIOR TO PAINTING). VERIFY WITH OWNER ON MATCHING EXISTING COLORS.
- NOTE: PRODUCTS BY ANY OF THESE MANUFACTURERS ARE ACCEPTABLE: COATINGS OF BENJAMIN MOORE, SHERWIN WILLIAMS, PITTSBURGH, DEVON, DUPONT, & PORTER ARE CONSIDERED EQUAL.
- CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND OBTAIN ACCESS TO THE SITE WITH OWNER.
- THE CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL REQUIRED PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE COMPLETION OF THE WORK.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION OF THE OWNER AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WITH EACH OTHER TO PREVENT OVERSTEPPING EACH OTHER. THE CONTRACTOR SHALL PROVIDE LABOR & MATERIALS NECESSARY TO MAINTAIN CONSTRUCTION SCHEDULING. THE SUB - CONTRACTOR SHALL BE RESPONSIBLE TO MEET THE SCHEDULE AS PROVIDED AND AGREED TO WITH THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMAN-LIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY THE ENGINEER / ARCHITECT MUST BE A CONDITION OF THE CONTRACT BETWEEN THE GEN. CONTRACTOR AND OWNER.
- ANY WORK ON EXTERIOR SHALL BE APPROVED BY OWNER PRIOR TO WORK BEING PERFORMED. (IF APPLICABLE)
- THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING WORK:
 - MAKE-WAY / HOOK UP SCHEDULING OF ALL TRADES AND WORK (INCLUDING WORK OF OTHERS WHERE NO CONTRACTUAL RELATIONSHIP EXIST).
 - PROVIDING BARRICADES, TEMPORARY POWER, LIGHTING, TELEPHONE SERVICES, ETC. AS REQ'D. TO COMPLETE WORK.
 - TEMPORARY UTILITIES, CONNECTIONS AND PAYMENT OF ALL UTILITY CHARGES DURING CONSTRUCTION.
 - COORDINATION WITH OWNER OR AGENT OF DELIVERY AND REMOVAL IF MATERIALS, EQUIPMENT, AND OTHER ITEMS TO / FROM SITE.
 - REMOVAL OF TRASH AND DEBRIS. PLACE IN DESIGNATED CONTAINERS AS DIRECTED BY OWNER. REMOVE ALL TRASH FROM PREMISES.
 - ISSUE ALL ADDENDUMS, REVISIONS AND UPDATES TO SUBCONTRACTORS IN A TIMELY MANNER.

- ALL MATERIALS USED IN THE PERMANENT CONSTRUCTION OF THE WORK MUST BE NEW AND UNUSED (UNO.) FIRST QUALITY, FREE FROM DEFECTS AND INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS FOR THE APPLICATION AT HAND. ALL WORKMANSHIP SHALL BE OF FIRST CLASS QUALITY.
- CONTRACTOR SHALL PROVIDE CUT-SHEETS AND SPECIFICATIONS OF ALL ITEMS FOR SUBMISSION TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR INSTALLING.
- PRODUCT MANUFACTURERS INDICATED IN SCHEDULES AND / OR ON PLANS WERE SELECTED BASED UPON QUALITY, STYLE, SIZE, COLOR, ETC. AND ARE NOT INTENDED TO RESTRICT THE COMPETITIVE BIDDING. PRODUCTS EQUAL TO OR INTENDED TO BE USED AS SUBSTITUTES ARE SUBJECT TO ARCHITECT'S APPROVAL IN WRITING PRIOR TO PURCHASE OR INSTALLATION.
- REQUIRED RESTROOMS SHALL HAVE FLOORS & WALLS OF IMPERVIOUS MATERIALS TO HAVE A HEIGHT OF 6'-0" AFF. (ALL FLOORS SHALL BE 'NON-SKID' COMMERCIAL GRADE). - IF APPLICABLE - NOTE RESTROOMS ARE EXISTING & TO REMAIN 'AS IS'.
- OWNER SHALL REVIEW THESE CONSTRUCTION DOCUMENTS AND VERIFY THAT THEY ARE CORRECT AND COMPLETE PRIOR TO BIDDING AND START OF CONSTRUCTION.
- OWNER SHALL APPROVE ALL MATERIAL AND FINISH SAMPLES ALONG WITH ALL EQUIPMENT SPECIFICATIONS PRIOR TO ORDERING AND INSTALLATION.
- ALL EXTERIOR DOORS TO HAVE 1/2" MAX. BEVELED THRESHOLD. - CONTRACTOR TO VERIFY ALL EXTERIOR DOORS COMPLY.
- ALL WALKWAYS TO BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE (NOTE: SIDEWALKS (WALKWAYS) SHALL NOT EXCEED 2% SLOPE. (IF APPLICABLE)
- FLASHING, DRIPS & ETC. TO BE 16 OZ. COPPER (NOT APPLICABLE)
- PROVIDE FIRE STOPPING AT ROOF, WALLS, AND CEILING AS REQUIRED.
- INSTALL PVC PLASTER STOPS AROUND PERIMETER OF ALL AREAS WHERE PLASTER ABUTS OTHER MATERIAL. STOPS SHALL BE CAREFULLY MITERED AT CORNERS. ALL EXTERIOR CORNERS AND WINDOW AND DOOR OPENING TO RECEIVE PVC CORNER BEADS. (IF APPLICABLE)
- CONCEAL ALL FASTENINGS AND ATTACHMENTS FROM VIEW.
- CONTRACTOR TO COORDINATE WITH OWNER / ARCHITECT FOR MAINTAINING EMERGENCY EGRESS AT ALL TIMES DURING OCCUPANCY OF BUILDING. - MAINTAIN EXISTING WALLS, OR USE TEMPORARY DUST/ CONSTRUCTION BARRIERS UNTIL WORK IS SUBSTANTIALLY COMPLETED IN AREAS OF OCCUPANCY. (NOTE: CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL EXISTING BUILDING AND FACILITY FUNCTIONS DURING DEMOLITION AND CONSTRUCTION OF INTERIOR BUILD OUT.
- THE CONTRACT DOCUMENTS INCLUDE ARCHITECTURAL, ELECTRICAL, PLUMBING AND MECHANICAL DRAWINGS. NO PORTION BY ITSELF PROVIDES ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT. THEREFORE IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL OF THEIR SUBCONTRACTORS TO THOROUGHLY FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND COORDINATE THE INFORMATION CONTAINED THEREIN TO PROPERLY AND SUCCESSFULLY CONSTRUCT THE PROJECT.
- ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS. VERIFY EXIST'G CONDITIONS COMPLY WITH CURRENT CODE REQUIREMENTS. NOTIFY ARCHITECT IN WRITING IF CHANGES ARE NECESSARY. NO EXTRAS WILL BE GIVEN. REPORT ANY DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO SUBMITTING PROPOSAL.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.
- THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- ALL GYPSUM WALLBOARD TO BE SCREW AFFLIED AS PER THE GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION.
- ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED 1" THICK FIBERGLASS PIPE INSULATION.
- DRYWALL PRODUCTS BY GOLD BOND, USG, CELOTEX, GEORGIA PACIFIC, MILCOR PRODUCTS ARE ACCEPTABLE.

LEGAL DESCRIPTION

LOTS 2 AND 3, BLOCK 11, OF "DEL-IDA PARK", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 9 PAGE 52, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

ZONING

RO (HISTORIC DEL-IDA)

ALLOWABLE AREA

GROUP B/23,000 S.F./3 STORIES

OCCUPANCY CLASSIFICATION

GROUP 'B' BUSINESS

TYPE OF CONSTRUCTION

TYPE IIB
UNPROTECTED
SPRINKLERED

- ALL INTERIOR PAINT COLORS SELECTED BY OWNER.
- PROVIDE WATERPROOF GYPSUM WALL BOARD (MR.) IN ALL BATHROOM. (NOTE: BATHROOMS ARE EXISTING & TO REMAIN 'AS IS') - (IF APPLICABLE)
- ALL DOOR FRAMES TO BE LOCATED 4" FROM ADJACENT PARTITIONS, UNO.
- ALL DRYWALL PARTITIONS WILL BE TAPED, SPACKLED, SANDED, PRIMED AND PAINTED.
- THE CONTRACTOR WILL PROVIDE THE NECESSARY TEMPORARY CLOSING OF ALL NEW OPENINGS IN WALLS OR ROOF AT THE END OF EACH DAY'S WORK TO KEEP THE BUILDING WEATHER TIGHT AND SECURE.
- ALL INTERIOR FINISHES SHALL COMPLY W/ F.B.C. 2020 FOR FLAME SPREAD RESTRICTIONS & LIFESAFETY 101 2020 EDITION (CLASS A AND B).
- ALL INTERIOR FLOORING TO BE APPROVED BY OWNER AND INSTALLED BY GEN. CONTRACTOR.
- ALL INTERIOR FIXTURES ARE FOR REFERENCE ONLY. ACTUAL SIZE AND LOCATIONS TO BE PROVIDED TO CONTRACTOR BY OWNER (TYP.).
- ALL INTERIOR PARTITIONS ARE TO BE 4 5/8" & 4 7/8" UNO.
- THE CONTRACTOR WILL PATCH, REPAIR OR REPLACE EXISTING WORK DAMAGED BY NEW CONSTRUCTION.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE INFORMED THAT UNDER NO CIRCUMSTANCES SHALL THE EXISTING CONCRETE POURED IN PLACE POST TENSION FLOOR AND CEILING HAVE MORE THAN A 3/4" PENETRATION FOR ALL ATTACHMENTS AND FASTENERS.
- EXISTING CONCRETE SLAB (FLOOR AND CEILING) ARE POST TENSION CONSTRUCTION. X-RAY REQUIRED PRIOR TO ANY PENETRATION OF SLAB (THAT IS AN EXCESS OF 3/4"). IF CLEARED FOR PENETRATION MAKE NEAT HOLES AND MINIMIZE DAMAGE TO ADJACENT WORK. CHECK FOR ALL CONCEALED UTILITIES AND STRUCTURE PRIOR TO CUTTING. - PATCHING - MAKE PATCHES, SEAM & JOINTS DURABLE, INCONSPICUOUS AND REMOVE ALL ABANDONED UTILITIES - WHERE POSSIBLE.

NOTES:

- DO NOT SCALE DRAWINGS
- FIELD VERIFY ALL DIMENSIONS
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- ALL AREA CALCULATIONS ARE APPROX.

THIS DRAWING IS NOT FOR CONSTRUCTION.
IT HAS BEEN ISSUED FOR GOVERNMENTAL
REVIEW AND/OR PRELIMINARY PRICING

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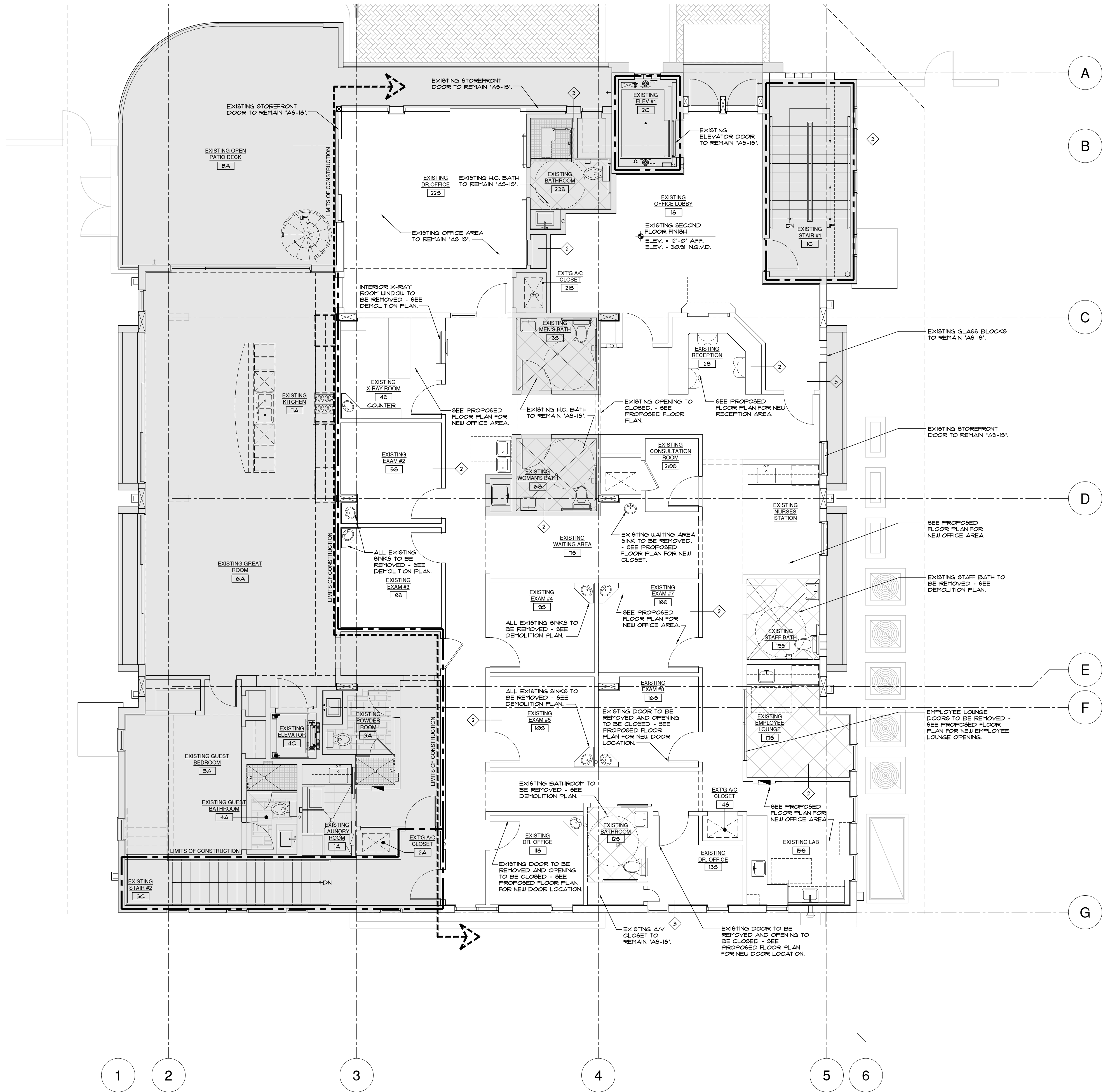
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WALL LEGEND

EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.

EXISTING 4" TO 6" INTERIOR DRYWALL PARTITION TO REMAIN 'AS IS'.

EXISTING 3/4" 1-HR. RATED WALL TO REMAIN 'AS IS'. (NOTE: FIRE RATING TO BE MAINTAINED).

EXISTING EXT. WALLS, 8" CBS W/ STUCCO FINISH TO REMAIN 'AS IS'.

EXISTING 8" INT. CMU WALL W/ 2" 2-COATS SMOOTH STUCCO PAINTED FINISH TO REMAIN 'AS IS'.

5" INTERIOR (NON-LOAD BEARING) PARTITION W/ 3/4" 25 GA. HTL. STUDS @ 24" O.C. (SEE P.T. FLR. PLANS FOR ACTUAL WALL THICKNESS) (MR. DRYWALL & BATHROOMS, KITCHEN, LAUNDRY, 4 5/8" DEN-SHIELD BEHIND TILE) (NOTE: STUDS TO BE 12" O.C. WHEN INSTALLING MR. DRYWALL, CEILING, TYPE I, LEVEL IV FINISH THROUGHOUT OFFICE, (1-HR. RATED NON-LOADING PARTITIONS TO BE UL-441B OR EQUAL - REMAIN 'AS IS').

AREAS TO REMAIN 'AS IS'

EXISTING CONCRETE COLUMN TO REMAIN 'AS IS'.

EXISTING STRUCTURAL STEEL COLUMN TO REMAIN 'AS IS'.

WINDOW NUMBER

DOOR NUMBER

NOTE:

1. ALL INTERIOR WALLS W/ CABINETS TO BE PROVIDED W/ 1/2" PLYWOOD OR P.T. WOOD BLOCKING.

2. ALL OFFICE, BREAK ROOM, AND CONFERENCE ROOM WALLS TO RECEIVE BATT SOUND INSULATION (TYP.) - VERIFY W/ OWNER FOR ALL LOCATIONS.

3. ALL TILED WALLS TO RECEIVE 5/16" "DUROCK" BACKING OR EQUAL.

4. ALL EXISTING / NEW FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIER, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE IDENTIFIED WITH SIGNS OR STENCILING ABOVE THE DECORATIVE CEILING AND IN CONCEALED SPACES OF THE WALL WITH SUGGESTED WORDING "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS" AS PER CHAPTER 1 - FBC 2020 ED.

F-1

EXISTING 1-HR. RATED PARTITION - UL - U41B.

F-2

EXISTING 2 HR. RATED PARTN. - UL1906-MIN.

F-3

EXISTING 2 HR. RATED SHAFT WALL PARTN. - UP 1051-MIN.

NOTES:

1. DO NOT SCALE DRAWINGS!

2. FIELD VERIFY ALL DIMENSIONS!

3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES).

EXISTING AREA CALCULATIONS (FOR REF. ONLY)		TOTAL UNDER AC	TOTAL UNDER ROOF
EXISTING GROUND FLOOR AREA:			
ENTRY LOBBY	168 SQ. FT.		
STAIR #1	155 SQ. FT.		
ELEVATOR #1	178 SQ. FT.		
ELEVATOR ENCLOSURE	63 SQ. FT.		
STORAGE ROOM	69 SQ. FT.		
ELECTRICAL ROOM	88 SQ. FT.		
MECH. ROOM	138 SQ. FT.		
COVERED PARKING GARAGE	98 SQ. FT.		
TOTAL EXISTING GROUND FLOOR AREA	4,605 SQ. FT.		
EXISTING SECOND FLOOR AREA:			
OFFICE FLOOR AREA (NET SQ. FT.)	3,385 SQ. FT.		
OFFICE FLOOR AREA (GROSS SQ. FT.)	3,570 SQ. FT.		
SIDE BALCONNETTES (N.I.C. UNDER ROOF)		(2) @ 32 SQ. FT.	
FRONT BALCONY (N.I.C. UNDER ROOF)		34 SQ. FT.	
TOTAL EXISTING SECOND FLOOR OFFICE AREA (GROSS SQ. FT.)	3,570 SQ. FT.		
EXISTING SECOND FLOOR RESIDENTIAL UNIT:			
RESIDENTIAL CONDO UNIT	1,336 SQ. FT.		
FRONT BALCONY	622 SQ. FT.		
SIDE BALCONNETTES (N.I.C. UNDER ROOF)		(2) @ 32 SQ. FT.	
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF	4,908 SQ. FT.		
EXISTING ROOF TOP	789 SQ. FT.		
TOTAL EXISTING AREA UNDER ROOF:	10,448 SQ. FT.		

1

A2.01E

EXISTING SECOND FLOOR PLAN

SCALE : 3/16"=1'-0"

(FOR REFERENCE ONLY)

N

ge

architecture, inc.

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ISSUED FOR

BIDS

PERMIT 04.12.22

CONSTRUCTION

PROJECT TITLE

PROPOSED INTERIOR RENOVATION

226 PALM COURT
DELRAY BEACH, FL

REVISIONS

THIS DRAWING IS NOT FOR CONSTRUCTION. IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

FILE NUMBER

1205A201E

DRAWING TITLE

EXISTING SECOND FLOOR PLAN (FOR REF. ONLY)

DATE

01.03.22

DRAWN BY

GE/DR

JOB NUMBER

20211205

DRAWING NUMBER

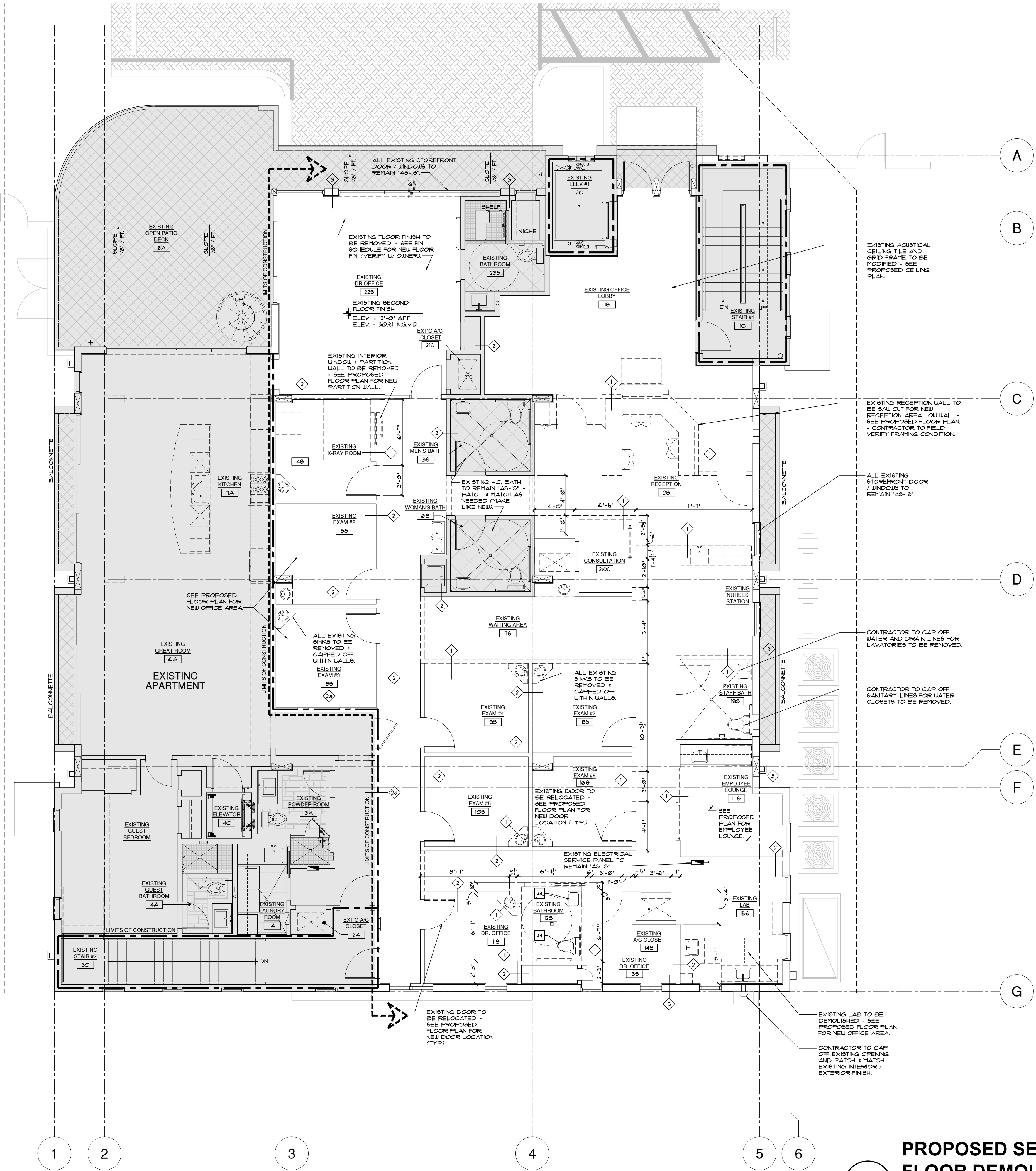
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PLOTTED 04/02/22 - 5:00 PM

DEMOLITION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL ASPECTS OF THE DEMOLITION PROCESS AND WILL TAKE PRECAUTIONS AGAINST DAMAGE TO SURROUNDING SURFACES AND SYSTEMS.
2. THE CONTRACTOR IS RESPONSIBLE FOR SHORING AND BRACING DURING DEMOLITION. BEARING WALLS AND COLUMNS TO BE DEMOLISHED WILL NOT BE REMOVED UNTIL ADEQUATE SHORING AND/OR NEW STRUCTURE IS IN PLACE AND VERIFIED BY THE ARCHITECT OR ENGINEER. CONTRACTOR TO SUBMIT SIGNED & SEALED SHOP DRAWINGS PRIOR TO DEMOLITION. (IF APPLICABLE).
3. THE CONTRACTOR SHALL TAKE PRECAUTION AGAINST DAMAGE TO EXISTING MECHANICAL/ELEC. AND PLUMBING/GAS SYSTEMS (VERIFY W/ OWNER).
4. ALL SYSTEMS REQUIRING REROUTING OR TERMINATION SHALL BE IN ACCORDANCE WITH LOCAL CODES AND PRACTICES, OR MANUFACTURER'S SPECIFICATIONS. REMOVE ALL DEBRIS ON A DAILY BASIS AND KEEP JOB SITE CLEAN AND FREE OF HAZARDS.
5. ALL APPLIANCES, CABINETRY, HARDWARE, PLUMBING AND LIGHTING FIXTURES SHALL BE REMOVED WITH CARE AND SALVAGED FOR FUTURE USE. REUSE DOORS AND HARDWARE WHERE APPLICABLE. CONSULT WITH OWNER FOR WHICH MATERIALS TO STORE/REUSE OR DISCARD.
6. PRIOR TO COMMENCING WORK INSPECT SITE FOR THE FOLLOWING:
 - HAZARDOUS MATERIALS, IF ENCOUNTERED - NOTIFY OWNER AND COMPLY WITH ALL APPL. CODES AND REGS. FOR REMOVAL.
 - ANY EXISTING DAMAGED MATERIALS AND SURFACES - DOCUMENT AS REQ'D & INFORM OWNER FOR PROTECTION AGAINST CLAIMS - ONCE DEMOLITION STARTS.
7. DEMOLITION INCLUDES COMPLETE REMOVAL OF AND ITEMS LABELLED AND DISPOSAL OF DEMOLISHED MATERIALS.
8. SCHEDULE, SUBMIT PROPOSED METHODS AND OPERATIONS OF BUILDING DEMOLITION TO OWNER FOR REVIEW PRIOR TO START OF WORK. INCLUDE IN SCHEDULE COORDINATION FOR SHUT-OFF, CARRYING AND CONTINUATION OF ALL UTILITY SERVICES.
9. TRAFFIC, CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
10. PROTECTION, ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATION TO PREVENT INJURY TO ADJACENT SECTIONS OF SPACES / APARTMENT.
11. DISPOSAL, REMOVE FROM SITE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
12. NOTE: NO ATTEMPT IS MADE ON THESE DRAWINGS TO SHOW EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL VISIT SITE TO DETERMINE WHETHER OR NOT SMALLER ITEMS NOT SHOWN ARE TO BE REMOVED. CONTRACTOR IS HEREBY NOTIFIED TO STUDY THE ARCHITECTURAL ELEVATIONS TO DETERMINE THE FINISH DESIGN CONTENT. ANY QUESTIONS SHALL BE DIRECTED TO THE GEN. CONTRACTOR CONCERNING ALL ITEMS TO BE REMOVED OR TO REMAIN.
13. X - X - INDICATES TEMPORARY POST & BEAM SHORING BY GENERAL CONTRACTOR. INSTALL PRIOR TO REMOVING ANY LOADBEARING COMPONENT AND MAINTAIN IN PLACE UNTIL NEW WORK IS COMPLETED. - COORDINATE WITH STRUCTURAL ENGINEER (IF APPLICABLE).
14. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATION AND CONDITIONS PRIOR TO CONSTRUCTION.
15. CONTRACTOR TO NOTIFY OWNER PRIOR TO SHUT-OFF OF ALL EXISTING UTILITIES. CAP-OFF ALL UTILITIES TO BE DISCONTINUED IN USE. CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION OF OWNER.
16. THE ELECTRICAL SUBCONTRACTOR MUST MAINTAIN THE FOLLOWING:
 - A. TEMP. POWER AND LIGHTING SHALL BE INSTALLED DURING CONSTRUCTION AS PER NEC 930 TEMPORARY INSTALLATIONS B. PROVIDE GFCI PROTECTION FOR TEMP. POWER. C. ALL REMOVAL OR DISCONNECTING OF POWER SHALL BE SAFELY CAPPED OR REMOVED.
17. CONTRACTOR TO MAINTAIN A SAFE MEANS OF EGRESS AT ALL TIMES DURING DEMOLITION & CONSTRUCTION OF PROJECT.
18. CONTRACTOR TO COORDINATE W/ OWNER LOCATION OF TEMPORARY FRAMED UP WALL (PLYWOOD & VISQUEEN) TO CONTROL LOOSE AIR-BORN-DEBRIS & DUST DURING DEMOLITION & CONSTRUCTION OF THE ENTIRE PROJECT (IF APPLICABLE).
19. CONTRACTOR TO PROVIDE A WEATHER-RESISTIVE BARRIER AT ALL OPENINGS AND PENETRATIONS OF THE BUILDING ENVELOPE.
20. THE CONTRACT DOCUMENTS INCLUDE ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL. NO PORTION BY ITSELF PROVIDES ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT. THEREFORE IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL OF THEIR SUBCONTRACTORS TO THOROUGHLY FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND COORDINATE THE INFORMATION CONTAINED THEREIN TO PROPERLY AND SUCCESSFULLY PERFORM THE DEMOLITION PORTION OF THE PROJECT.
21. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE INFORMED THAT UNDER NO CIRCUMSTANCES SHALL THE EXISTING CONCRETE POURED IN PLACE POST TENSION FLOOR AND CEILING HAVE MORE THAN A 3/4" PENETRATION FOR ALL ATTACHMENTS AND FASTENERS.
22. EXISTING CONCRETE SLAB (FLOOR AND CEILING) ARE POST TENSION CONSTRUCTION. X-RAY REQUIRED PRIOR TO ANY PENETRATION OF SLAB THAT IS AN EXCESS OF 3/4". IF CLEARED FOR PENETRATION MAKE NEAT HOLES AND MINIMIZE DAMAGE TO ADJACENT WORK. CHECK FOR ALL CONCEALED UTILITIES AND STRUCTURE PRIOR TO CUTTING - PATCHING - MAKE PATCHES SEAM & JOINTS DURABLE, INCONSPICUOUS AND REMOVE ALL ABANDONED UTILITIES - WHERE POSSIBLE.
23. EXISTING VINYL BASE BOARD TO BE REPLACED WITH FLAT STOCK WOOD BASE BOARD - VERIFY W/ OWNER.
24. CONTRACTOR TO CAP OFF WATER AND DRAIN LINES FOR LAVATORIES TO BE REMOVED.
25. CONTRACTOR TO CAP OFF SANITARY LINES FOR WATER CLOSETS TO BE REMOVED.
26. ALL EXISTING FLOOR FINISHES TO BE REMOVED UNO. - CONTRACTOR TO PREP SLAB FOR NEW FLOOR FINISH.
27. EXISTING DRYWALL TO REMAIN UNO. - CONTRACTOR TO PATCH & REPAIR - PREP FOR LEVEL & FINISH.
28. PROTECT EXISTING AREAS TO REMAIN 'AS IS'. - REPAIR & MAKE 'LIKE NEW'.



WALL LEGEND

- EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.
- EXISTING 4" TO 6" INTERIOR DRYWALL PARTITION TO REMAIN 'AS IS'.
- EXISTING 3/4" 1-HR. RATED WALL TO REMAIN 'AS IS'. - (NOTE: FIRE RATING TO BE MAINTAINED).
- EXISTING EXT. WALLS, 8" CBS W/ STUCCO FINISH TO REMAIN 'AS IS'.
- EXISTING 8" INT. CMU WALL W/ 2-COATS SMOOTH STUCCO PAINTED FINISH TO REMAIN 'AS IS'.
- 5" INTERIOR (NON-LOAD BEARING) PARTITION W/ 3/4" 25 GA. MTL. STUDS @ 24" O.C. (SEE DR. 11-12 FOR ACTUAL WALL THICKNESS) / MR. DRYWALL #9 BATHROOMS, KITCHEN LAUNDRY & 5/8" PEN-SHIELD BEHIND TILE. (NOTE: STUDS TO BE 1" O.C. WHEN INSTALLING MR. DRYWALL CEILING. TYP.) - LEVEL IV FINISH THROUGHOUT OFFICE (1-HR. RATED NON-LOADING PARTITIONS TO BE UL-1418 OR EQUAL - REMAIN 'AS IS').
- AREAS TO REMAIN 'AS IS'
- EXISTING CONCRETE COLUMN TO REMAIN 'AS IS'.
- EXISTING STRUCTURAL STEEL COLUMN TO REMAIN 'AS IS'.
- WINDOW NUMBER
- DOOR NUMBER

NOTE:
1. ALL INTERIOR WALLS W/ CABINETS TO BE PROVIDED W/ 1/2" PLYWOOD OR P.T. WOOD BLOCKING.
2. ALL OFFICE, BREAK ROOM, AND CONFERENCE ROOM WALLS TO RECEIVE BATT SOUND INSULATION (TYP.) - VERIFY W/ OWNER FOR ALL LOCATIONS.
3. ALL TILED WALLS TO RECEIVE 5/8" "DUROCK" BACKING OR EQUAL.
4. ALL EXISTING / NEW FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIER, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING ABOVE THE DECORATIVE CEILING AND IN CONCEALED SPACES OF THE WALL WITH SUGGESTED WORDING "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS" AS PER CHAPTER 1 - FBC 2022 ED.

- F-1 EXISTING 1-HR. RATED PARTITION - UL - 1418.
- F-2 EXISTING 2 HR. RATED PARTN. - UL-1906-MIN.
- F-3 EXISTING 2 HR. RATED SHAFT WALL PARTN. - WF 1025-MIN.

SPECIAL NOTES:

STRUCTURAL INSPECTOR TO VISIT SITE AND PERFORM VISUAL INSPECTION OF ALL EXISTING STRUCTURAL CONDITIONS AT THE TIME OF DEMOLITION TO VERIFY ALL NEW AND PROPOSED STRUCTURALLY THROSED LOADS AND CONNECTIONS.

IT SHOULD BE NOTED THAT ALL OBSERVATIONS AND RECOMMENDATIONS ARE BASED UPON A VISUAL INSPECTION. NON-DESCRIPTIVE INSPECTION PROCESS. CONSEQUENTLY, THE RECOMMENDATIONS STATED WITHIN THESE DRAWINGS MAY BE CONTRADICTED BY THE PRESENCE OF EXISTING HIDDEN DEFECTS OR CONDITIONS.

THESE DRAWINGS SHOULD IN NO WAY BE TAKEN AS IMPLIED WARRANTY THAT THERE ARE NOT ADDITIONAL HIDDEN DEFECTS PRESENT THAT WERE NOT ACCESSIBLE OR VISIBLE AT THE TIME OF ANY ON-SITE INSPECTION OR WHETHER OR NOT THIS STRUCTURE WAS ORIGINALLY CONSTRUCTED IN ACCORDANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, THE ORIGINAL CONSTRUCTION DOCUMENTS, OR SOUND ENGINEERING PRINCIPALS AND PRACTICE.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE INFORMED THAT UNDER NO CIRCUMSTANCES SHALL THE EXISTING CONCRETE POURED IN PLACE POST TENSION FLOOR AND CEILING HAVE MORE THAN A 3/4" PENETRATION FOR ALL ATTACHMENTS AND FASTENERS.

EXISTING CONCRETE SLAB (FLOOR AND CEILING) ARE POST TENSION CONSTRUCTION. X-RAY REQUIRED PRIOR TO ANY PENETRATION OF SLAB THAT IS AN EXCESS OF 3/4". IF CLEARED FOR PENETRATION MAKE NEAT HOLES AND MINIMIZE DAMAGE TO ADJACENT WORK. CHECK FOR ALL CONCEALED UTILITIES AND STRUCTURE PRIOR TO CUTTING - PATCHING - MAKE PATCHES SEAM & JOINTS DURABLE, INCONSPICUOUS AND REMOVE ALL ABANDONED UTILITIES - WHERE POSSIBLE.

NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES.)

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ISSUED FOR

BIDS

PERMIT 04.12.22

CONSTRUCTION

PROJECT TITLE

**PROPOSED
INTERIOR
RENOVATION**

226 PALM COURT
DELRAY BEACH, FL

REVISIONS

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FILE NUMBER 1205A201D

DRAWING TITLE

**PROPOSED
SECOND FLOOR
DEMOLITION
PLAN**

DATE 01.03.22 DRAWN BY GE/DR

JOB NUMBER 20211205

DRAWING NUMBER

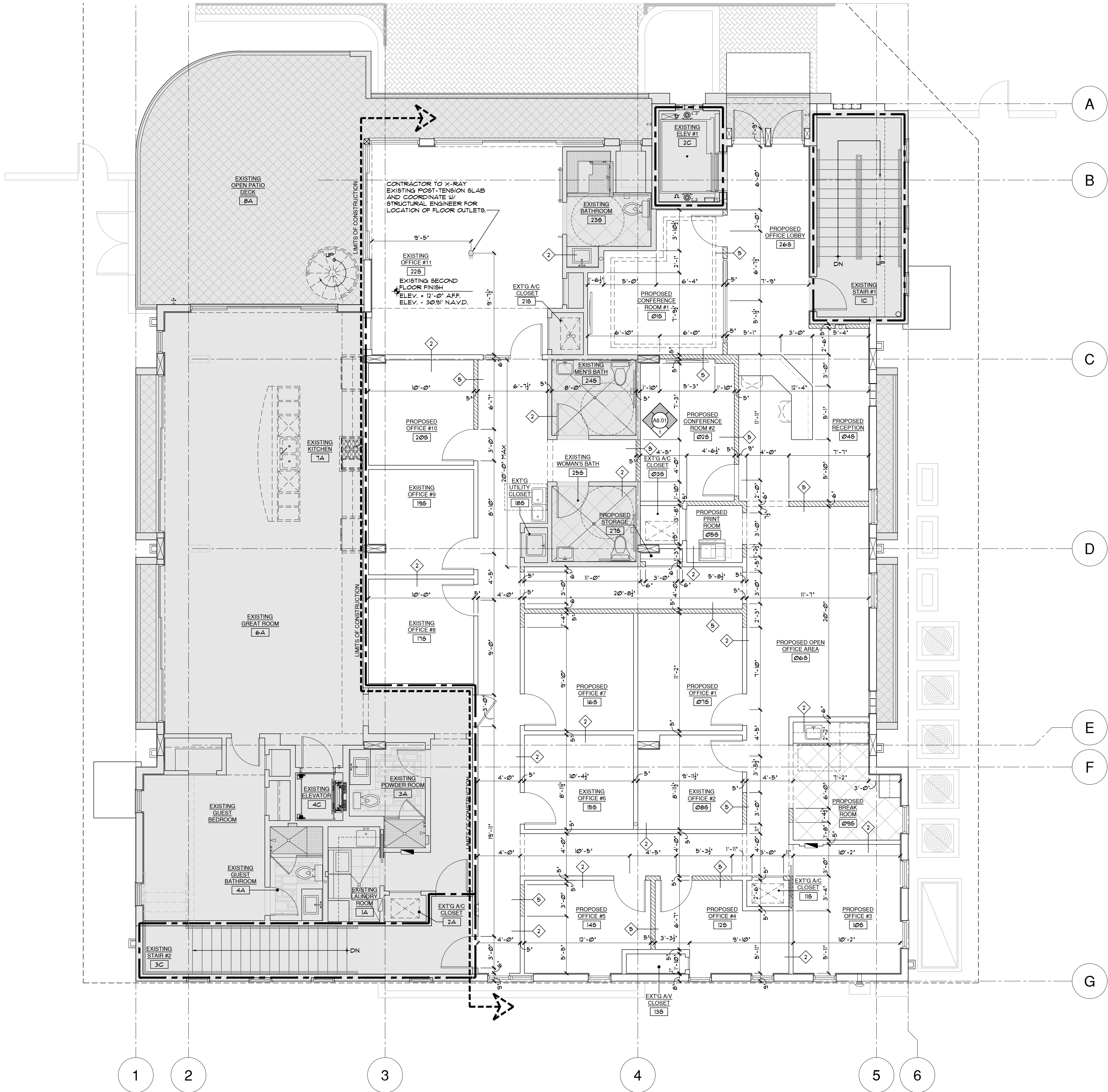
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PROPOSED SECOND FLOOR DEMOLITION PLAN

SCALE : 3/16"=1'-0"



PROPOSED SECOND FLOOR DIMENSION PLAN
A2.02D
SCALE : 3/16"=1'-0"

WALL LEGEND

- EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.
- EXISTING 4' TO 6' INTERIOR DRYWALL PARTITION TO REMAIN 'AS IS'.
- EXISTING 3 1/2" 1-HR. RATED WALL TO REMAIN 'AS IS'. - (NOTE: FIRE RATING TO BE MAINTAINED).
- EXISTING EXT. WALLS, 8" CBS W/ STUCCO FINISH TO REMAIN 'AS IS'.
- EXISTING 8' INT. CMU WALL W/ 2-COATS SMOOTH STUCCO PAINTED FINISH TO REMAIN 'AS IS'.
- 5' INTERIOR (NON-LOAD BEARING) PARTITION W/ 3/8" 25 GA. HTL. STUDS @ 24" O.C. (SEE DIM. FLR. PLANS FOR ACTUAL WALL THICKNESS) (M.R. DRYWALL @ BATHROOMS, KITCHEN, LAUNDRY) @ 5/8" DENS-SHIELD BEHIND TILES / (NOTE: STUDS TO BE 12" O.C. WHEN INSTALLING M.R. DRYWALL CEILING). TYP. - LEVEL 1/4 FINISH THROUGHOUT OFFICE (1-HR. RATED NON-LOADING PARTITIONS TO BE UL-W419 OR EQUAL - REMAIN 'AS IS').
- AREAS TO REMAIN 'AS IS'
- EXISTING CONCRETE COLUMN TO REMAIN 'AS IS'
- EXISTING STRUCTURAL STEEL COLUMN TO REMAIN 'AS IS'
- WINDOW NUMBER
- DOOR NUMBER

NOTE:
1. ALL INTERIOR WALLS W/ CABINETS TO BE PROVIDED W/ 1/2" PLYWOOD OR P.T. WOOD BLOCKING.
2. ALL OFFICE, BREAK ROOM, AND CONFERENCE ROOM WALLS TO RECEIVE BATT SOUND INSULATION (TYP.) - VERIFY W/ OWNER FOR ALL LOCATIONS.
3. ALL TILED WALLS TO RECEIVE 1/16" "DUROCK" BACKING OR EQUAL.
4. ALL EXISTING / NEW FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIER SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE IDENTIFIED WITH SIGNS OR STENCILING ABOVE THE DECORATIVE CEILING AND IN CONCEALED SPACES OF THE WALL WITH SUGGESTED WORDING "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS" AS PER CHAPTER 7 - FBC 2020 ED.

F-1 EXISTING 1-HR. RATED PARTITION - UL - W419.
F-2 EXISTING 2-HR. RATED PARTN. - UL-W306-MIN.
F-3 EXISTING 2-HR. RATED SHAFT WALL PARTN. - WP 1201-MIN.

EXISTING AREA CALCULATIONS (FOR REF. ONLY)		TOTAL UNDER AC	TOTAL UNDER ROOF
EXISTING GROUND FLOOR AREA:			
ENTRY LOBBY	168 SQ.FT.		155 SQ.FT.
STAIR #1			178 SQ.FT.
STAIR #2			63 SQ.FT.
ELEVATOR #1			69 SQ.FT.
ELEVATOR ENCLOSURE			68 SQ.FT.
STORAGE ROOM			135 SQ.FT.
ELECTRICAL ROOM			98 SQ.FT.
MECH. ROOM			4,698 SQ.FT.
COVERED PARKING GARAGE			
TOTAL EXISTING GROUND FLOOR AREA			5,546 SQ.FT.
EXISTING SECOND FLOOR AREA:			
OFFICE FLOOR AREA (NET SQ.FT.)	3,385 SQ.FT.		
OFFICE FLOOR AREA (GROSS SQ.FT.)	3,570 SQ.FT.	(2) @ 32 SQ.FT.	34 SQ.FT.
SIDE BALCONNETTES (N.I.C. UNDER ROOF)			
FRONT BALCONY (N.I.C. UNDER ROOF)			
TOTAL EXISTING SECOND FLOOR OFFICE AREA (GROSS SQ.FT.)			3,570 SQ.FT.
EXISTING SECOND FLOOR RESIDENTIAL UNIT:			
RESIDENTIAL CONDO UNIT	1,338 SQ.FT.		
FRONT BALCONY			622 SQ.FT.
SIDE BALCONNETTES (N.I.C. UNDER ROOF)			(2) @ 32 SQ.FT.
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF			4,908 SQ.FT.
EXISTING ROOF TOP GARDEN (N.I.C.)			789 SQ.FT.
TOTAL EXISTING AREA UNDER ROOF:			10,448 SQ.FT.

REQUIRED PLUMBING FIXTURES AS PER TABLE 403:
FPC - 2020
1/3510 SQ. FT. OFFICE (150 GROSS SQ.FT. / PERSON = 23.8 = 24 PERSONS)

REQUIRED FIXTURE COUNT	W/C	LAV'S	URNALS	DF
	1		-	1

PROVIDED FIXTURE COUNT:

W/C	LAV'S	URNALS	DF
1		-	1

NOTE: (1) W/C REQUIRED PER 125 PEOPLE (1 MEN AND 1 WOMEN)
(1) LAV REQUIRED PER 140 PEOPLE (1 MEN AND 1 WOMEN)
(1) DF REQUIRED PER 120 PEOPLE

NOTE:
INSULATE WATER SUPPLY AND DRAIN PIPES BELOW LAVATORY.
PROVIDE WOOD BACKING AS REQUIRED FOR ACCESSORIES MOUNTING.

- NOTES:**
- DO NOT SCALE DRAWINGS!
 - FIELD VERIFY ALL DIMENSIONS!
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)

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PERMIT 04.12.22

CONSTRUCTION

PROPOSED INTERIOR RENOVATION

**226 PALM COURT
DELRAY BEACH, FL**

REVISIONS

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FILE NUMBER **1205A202D**

DRAWING TITLE

PROPOSED SECOND FLOOR DIMENSION PLAN

DATE **01.03.22** DRAWN BY **GE/DR**

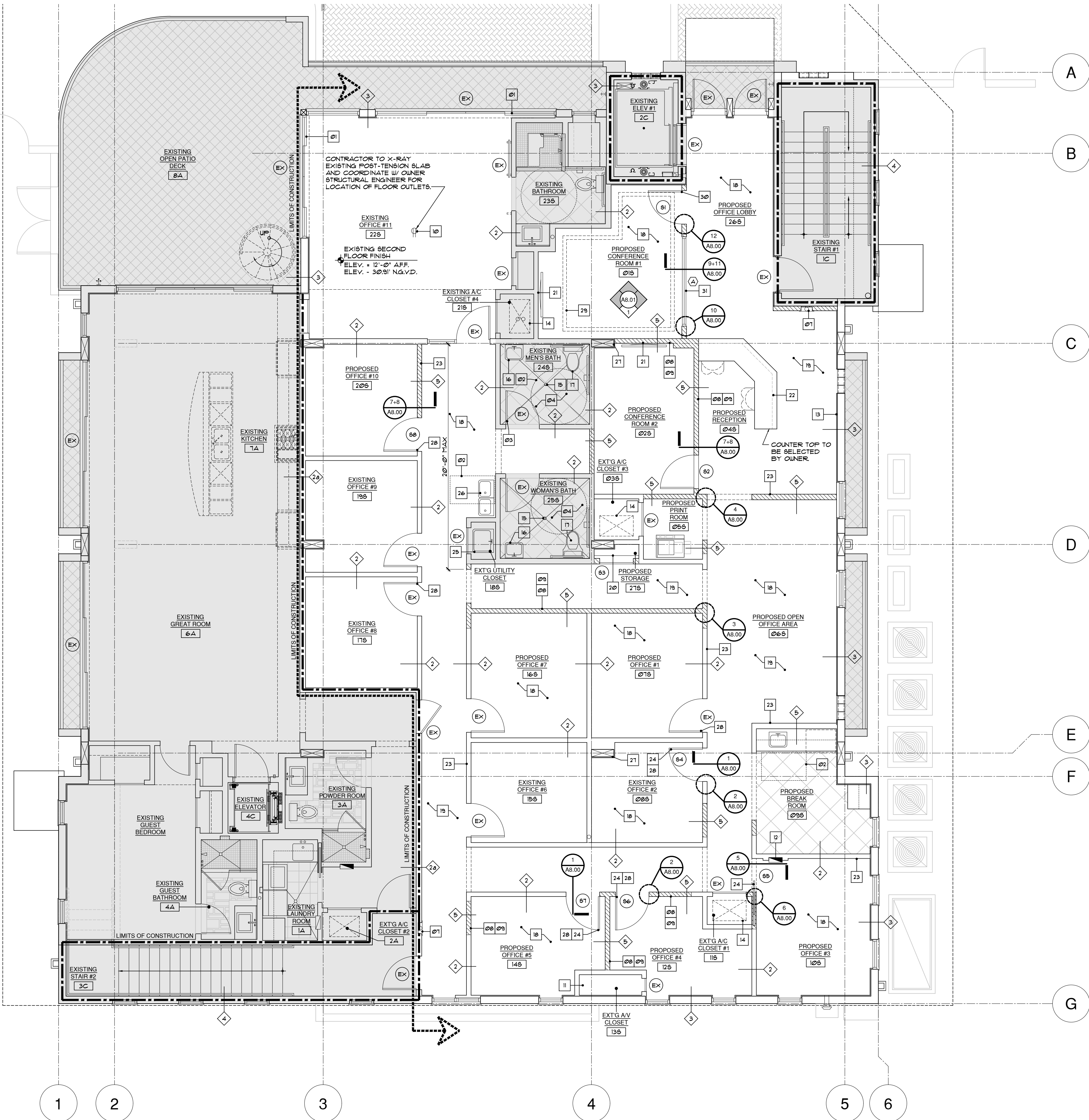
JOB NUMBER **20211205**

DRAWING NUMBER

A2.02D

FLOOR NOTES

- 01 EXISTING STOREFRONT WINDOWS / DOORS TO REMAIN 'AS IS'. CONTRACTOR TO FIELD VERIFY ALL EXISTING DOORS ARE IN WORKING CONDITION & MEET ADA REQUIREMENTS.
- 02 NOTE: DASH RECTANGLE INDICATES MIN. FLOOR CLEARANCE FOR PARALLEL AND FORWARD APPROACH FOR VARIOUS LOCATIONS THROUGHOUT SPACE - THIS PORTION OF BUILDING TO COMPLY WITH ALL APPLICABLE ADA REQUIREMENTS.
- 03 EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- 04 EXISTING OFFICE H.C. BATHROOMS TO REMAIN 'AS IS' - VERIFY W/ OWNER - FIELD VERIFY ALL SIGNAGE.
- 05 MAINTAIN PROPER FIRE RATING AT ALL PENETRATIONS OF RATED WALL ASSEMBLIES I.E. MECHANICAL AND ELECTRICAL SERVICE RUNS.
- 06 FURRED OUT WALL 6" TO 8" FOR PLUMBING STACK - SEE PLUMBING PLANS FOR LOCATIONS (IF REQUIRED).
- 07 SEE FLOOR PLAN FOR LOCATION OF 5 LB. (ABC) RATING FIRE EXTINGUISHERS AND WALL HANGERS (VERIFY LOCATION W/ OWNER) - TOP OF EXTINGUISHERS MAX 40" ABOVE FLOOR - FOR PRICING PURPOSES USE RECESSED CABINETS - 'LARSEN'S' SOLID DOOR W/ BLACK TYPE A - DIE-CUT LETTERING (STAINLESS STEEL) #60 -2403 - VERIFY IF EXISTING EXTINGUISHERS ARE IN WORKING CONDITION - INSPECTION DATES ARE CURRENT.
- 08 BATT SOUND INSULATION TO BE INSTALLED IN ALL WALLS. (TYP. FOR ALL NEW PARTITION AND ANY WALLS THAT ARE OPENED UP) - SEE WALL TYPE #2.
- 09 NON-LOAD BEARING 5' INT. PARTITION WALL W/ (1) LAYER OF 5/8" TYPE 'X' G.W.B. W/ SMOOTH LEVEL 'V' FINISH - PAINTED ON EA. SIDE OF 3 3/4" 20 GA. MTL. STUDS @ 24" O.C. W/ BATT. SOUND INSULATION (SEE DIM. FLR. PLANS FOR ACTUAL WALL THICKNESS) (MFR. DRYWALL & UTILITY AREA 5/8" DENS-SHIELD BEHIND TILE.) (NOTE: STUDS TO BE 12" O.C. WHEN INSTALLING MFR. DRYWALL CLG'S. (TYP.).
- 10 FLOOR OUTLETS - CONTRACTOR TO COORDINATE EXACT LOCATION W/ OWNER - STYLE & COLOR TO BE APPROVED BY OWNER - NOTE: ALL POST-TENSION SLABS TO BE X-RAY PRIOR TO ANY PENETRATION.
- 11 EXISTING TELEPHONE, SOUND SYSTEM & COMPUTER I.T. ROOM TO REMAIN 'AS IS'.
- 12 EXISTING ELECTRICAL SERVICE PANEL TO REMAIN 'AS IS' - CONTRACTOR TO FIELD VERIFY EXISTING SERVICE PANEL / BREAKERS ARE IN WORKING CONDITION.
- 13 1" TYPE 'X' Gypsum WALL BOARD - PAINTED ON 3" FURRING CHANNELS @ 24" O.C. W/ RAI FI-FOIL INSULATION BETWEEN FURRING & G.W.B. * EXTERIOR WALLS.
- 14 AIR HANDLING UNIT TO REMAIN 'AS IS' VERIFY W/ OWNER.
- 15 3" FLOOR DRAIN - TO REMAIN 'AS IS' VERIFY W/ OWNER (TYP. * ALL OFFICE BATHROOMS) - ALL EXISTING DRAINS AT BATHROOMS TO BE REMOVED TO BE CAPPED OFF / SEALED.
- 16 LAVATORY (TO REMAIN 'AS IS' - VERIFY W/ OWNER). CONTRACTOR TO FIELD VERIFY ALL ARE IN WORKING ORDER.
- 17 WATER CLOSET (TO REMAIN 'AS IS' - VERIFY W/ OWNER). CONTRACTOR TO FIELD VERIFY ALL ARE IN WORKING ORDER.
- 18 SEE ROOM FINISH SCHEDULES FOR ALL WALLS, CEILINGS & FLOOR COVERINGS - VERIFY W/ OWNER.
- 19 ALL FLOORING SHALL BE 'NONSKID' COMMERCIAL GRADE & COMPLY W/ ADA REQUIREMENTS) - VERIFY W/ OWNER.
- 20 1/2" D. CEDAR SHELVEING @ 68" AFF. COORDINATE WITH OWNER. (CONTRACTOR TO PROVIDE PRICING FOR BUILT-INS).
- 21 CONTRACTOR TO VERIFY W/ OWNER ALL REQUIRED HT'S & BACKING FOR ALL PLASMA/FLAT SCREEN TV LOCATIONS (TYP.).
- 22 CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL MILLWORK - VERIFY W/ OWNER.
- 23 CONT. 1 x 6 FLAT STOCK - PAINT GRADE 'POPLAR' OR EQUAL BASE BOARD (MATCH EXISTING) - VERIFY W/ OWNER.
- 24 ALL NEW INTERIOR DOORS MATCH EXISTING - 8'-0" H. SINGLE PANEL 'SC100' MDF FLUSH SLAB DOORS BY 'TIMBERLAND' OR EQUAL - SEE DOOR SCHEDULE FOR EXISTING DOORS TO BE RELOCATED (VERIFY W/ OWNER).
- 25 EXISTING MOP SINK TO REMAIN 'AS-IS' - VERIFY W/ OWNER.
- 26 EXISTING DRINKING FOUNTAIN TO REMAIN 'AS-IS' - VERIFY W/ OWNER.
- 27 EXISTING STRUCTURAL COLUMNS TO REMAIN 'AS IS'.
- 28 EXISTING DOORS TO REMAIN 'AS IS' - CONTRACTOR TO VERIFY HARDWARE AND PATCH & REPAIR 'AS NECESSARY'.
- 29 NOTE: SOME DOORS TO BE RELOCATED & REVERSED HARDWARE - ALL HARDWARE TO MATCH EXISTING (VERIFY W/ OWNER).
- 30 CEILING COVE OUTLINE - SEE PROPOSED REFLECTED CEILING PLAN / ELECTRICAL DRAWINGS.
- 31 1/2" INTERIOR TEMPERED GLASS DOOR BY 'AVANTI' SET IN (INSTALL 'AS PER MANUF.' - ALL DOOR HARDWARE TO BE APPROVED BY OWNER.
- 32 1/2" INTERIOR TEMPERED SINGLE GLAZING SYSTEM PARTITION CHANNEL BY 'AVANTI' SET IN 2-PIECE CHANNEL BY (INSTALL 'AS PER MANUF.' VERIFY W/ OWNER ON GLASS TINT / COLOR & ALL FINISHES.



1 A2.02N PROPOSED SECOND FLOOR NOTED PLAN SCALE : 3/16"=1'-0"

WALL LEGEND

- 1 EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.
- 2 EXISTING 4" TO 6" INTERIOR DRYWALL PARTITION TO REMAIN 'AS IS'.
- 2A EXISTING 3 1/4" 1-HR. RATED WALL TO REMAIN 'AS IS' - (NOTE: FIRE RATING TO BE MAINTAINED).
- 3 EXISTING EXT. WALLS, 8" CB5 W/ STUCCO FINISH TO REMAIN 'AS IS'.
- 4 EXISTING 8" INT. CMU WALL W/ 2-COATS SMOOTH STUCCO PAINTED FINISH TO REMAIN 'AS IS'.
- 5 5" INTERIOR (NON-LOAD BEARING PARTITION) W/ 3/4" 25 GA. MTL. STUDS @ 24" O.C. (SEE DIM. FLR. PLANS FOR ACTUAL WALL THICKNESS) (MFR. DRYWALL @ BATHROOMS, KITCHEN, LAUNDRY & 5/8" DENS-SHIELD BEHIND TILE.) (NOTE: STUDS TO BE 12" O.C. WHEN INSTALLING MFR. DRYWALL CEILINGSS (TYP.) - LEVEL 'V' FINISH THROUGHOUT OFFICE. (1-HR. RATED NON-LOADING PARTITIONS TO BE UL-1418 OR EQUAL - REMAIN 'AS IS').
- AREAS TO REMAIN 'AS IS'
- EXISTING CONCRETE COLUMN TO REMAIN 'AS IS'.
- EXISTING STRUCTURAL STEEL COLUMN TO REMAIN 'AS IS'.
- WINDOW NUMBER
- DOOR NUMBER
- NOTE:
1. ALL INTERIOR WALLS W/ CABINETS TO BE PROVIDED W/ 1/2" PLYWOOD OR P1, WOOD BLOCKING.
2. ALL OFFICE, BREAK ROOM, AND CONFERENCE ROOM WALLS TO RECEIVE BATT SOUND INSULATION (TYP.) - VERIFY W/ OWNER FOR ALL LOCATIONS.
3. ALL TILED WALLS TO RECEIVE 5/16"-1" DUROCK® BACKING OR EQUAL.
4. ALL EXISTING / NEW FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIER, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE IDENTIFIED WITH SIGNS OR STENCILING ABOVE THE DECORATIVE CEILING AND IN CONCEALED SPACES OF THE WALL, WITH SUGGESTED WORDING 'FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS' AS PER CHAPTER 1 - FBC 2020 ED.
- F-1 EXISTING 1-HR. RATED PARTITION - UL - 1418.
- F-2 EXISTING 2-HR. RATED PARTN. - UL1906-MIN.
- F-3 EXISTING 2-HR. RATED SHAFT WALL PARTN. - UP 1051-MIN.

EXISTING AREA CALCULATIONS (FOR REF. ONLY)		
	TOTAL UNDER AC	TOTAL UNDER ROOF
EXISTING GROUND FLOOR AREA:		
ENTRY LOBBY	168 SQ.FT.	155 SQ.FT.
STAIR #1		178 SQ.FT.
ELEVATOR #2		63 SQ.FT.
ELEVATOR ENCLOSURE		68 SQ.FT.
STORAGE ROOM		68 SQ.FT.
ELECTRICAL ROOM		135 SQ.FT.
MECH. ROOM		98 SQ.FT.
COVERED PARKING GARAGE		4,608 SQ.FT.
TOTAL EXISTING GROUND FLOOR AREA		5,540 SQ.FT.
EXISTING SECOND FLOOR AREA:		
OFFICE FLOOR AREA (NET SQ.FT.)	3,385 SQ.FT.	
OFFICE FLOOR AREA (GROSS SQ.FT.)	3,570 SQ.FT.	(2) @ 32 SQ.FT.
SIDE BALCONNETTES (N.I.C. UNDER ROOF)		34 SQ.FT.
FRONT BALCONY N.I.C. UNDER ROOF		
TOTAL EXISTING SECOND FLOOR OFFICE AREA (GROSS SQ.FT.)		3,570 SQ.FT.
EXISTING SECOND FLOOR RESIDENTIAL UNIT		
RESIDENTIAL CONDO UNIT	1,338 SQ.FT.	
FRONT BALCONY		622 SQ.FT.
SIDE BALCONNETTES (N.I.C. UNDER ROOF)		(2) @ 32 SQ.FT.
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF		4,908 SQ.FT.
EXISTING ROOF TOP GARDEN (N.I.C.)		789 SQ.FT.
TOTAL EXISTING AREA UNDER ROOF:		10,448 SQ.FT.

REQUIRED PLUMBING FIXTURES AS PER TABLE 403.1
FPC - 2012
(3,510) SQ. FT. OFFICE (150) GROSS SQ.FT. / PERSON = 23.8 = 24 PERSONS

REQUIRED FIXTURE COUNT			
WC	LAV'S	URINALS	DF
1	1	-	1

PROVIDED FIXTURE COUNT			
WC	LAV'S	URINALS	DF
1	1	-	1

NOTE: (1) WC REQUIRED PER 125 PEOPLE (1 MEN AND 1 WOMEN)
(1) LAV REQUIRED PER 140 PEOPLE (1 MEN AND 1 WOMEN)
(1) DF REQUIRED PER 100 PEOPLE

NOTE:
INSULATE WATER SUPPLY AND DRAIN PIPES BELOW LAVATORY.
PROVIDE WOOD BACKING AS REQUIRED FOR ACCESSORIES MOUNTING.

NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)



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CONSTRUCTION

PROJECT TITLE

PROPOSED INTERIOR RENOVATION

226 PALM COURT
DELRAY BEACH, FL

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FILE NUMBER 1205A202N

DRAWING TITLE

PROPOSED SECOND FLOOR NOTED PLAN

DATE 01.03.22 DRAWN BY GE/DR

JOB NUMBER 20211205

DRAWING NUMBER

A2.02N

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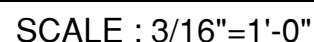
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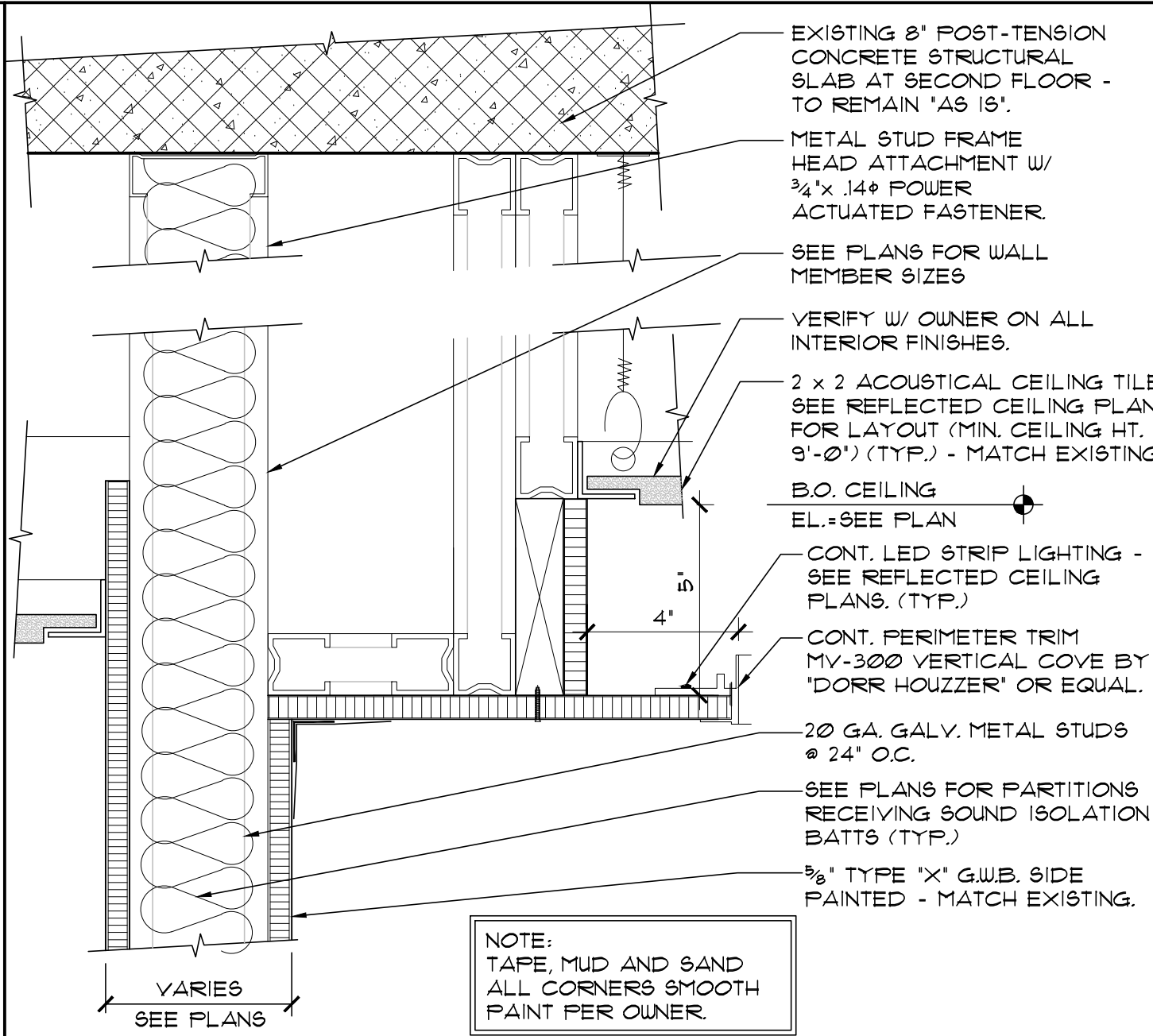
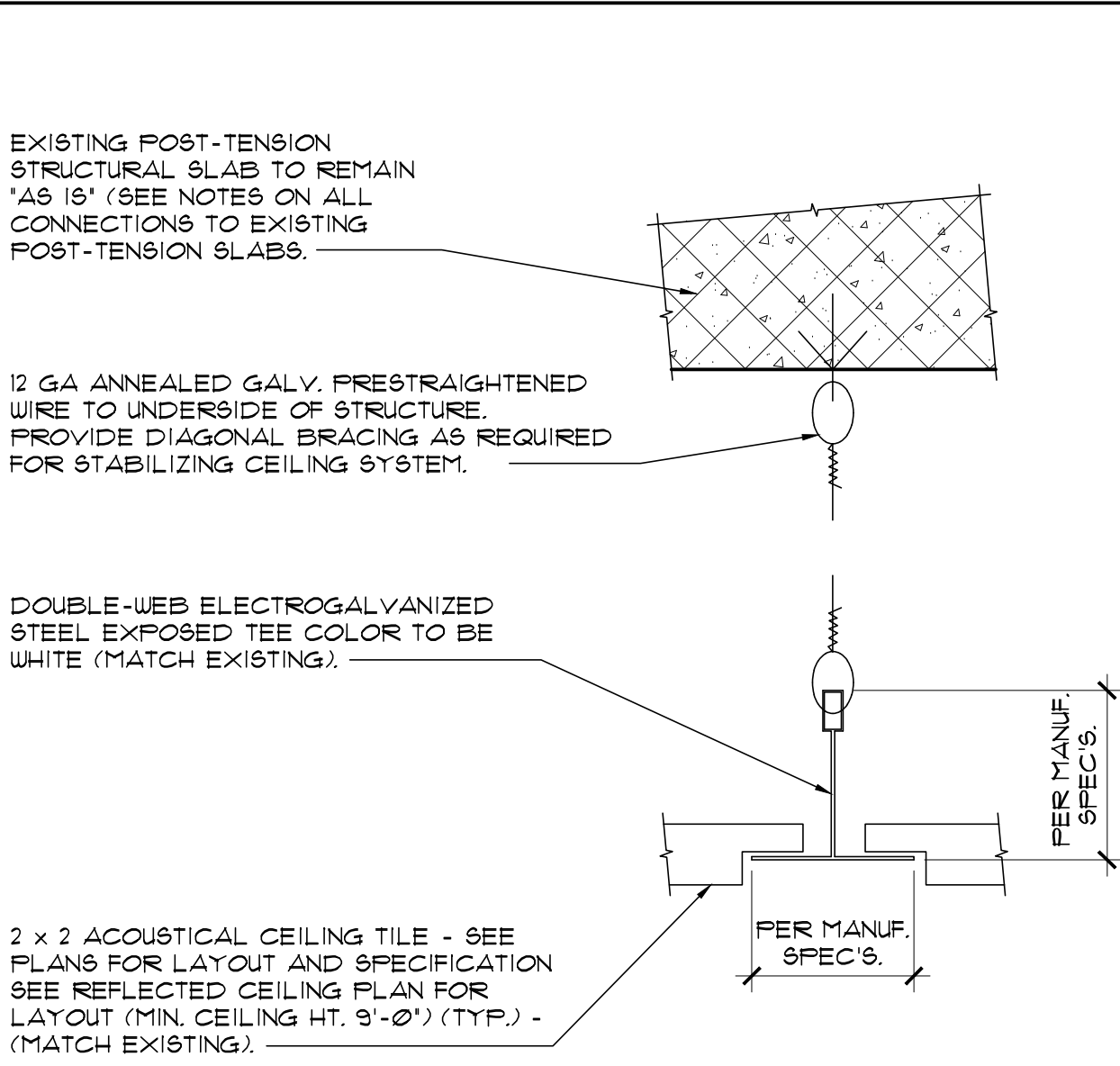
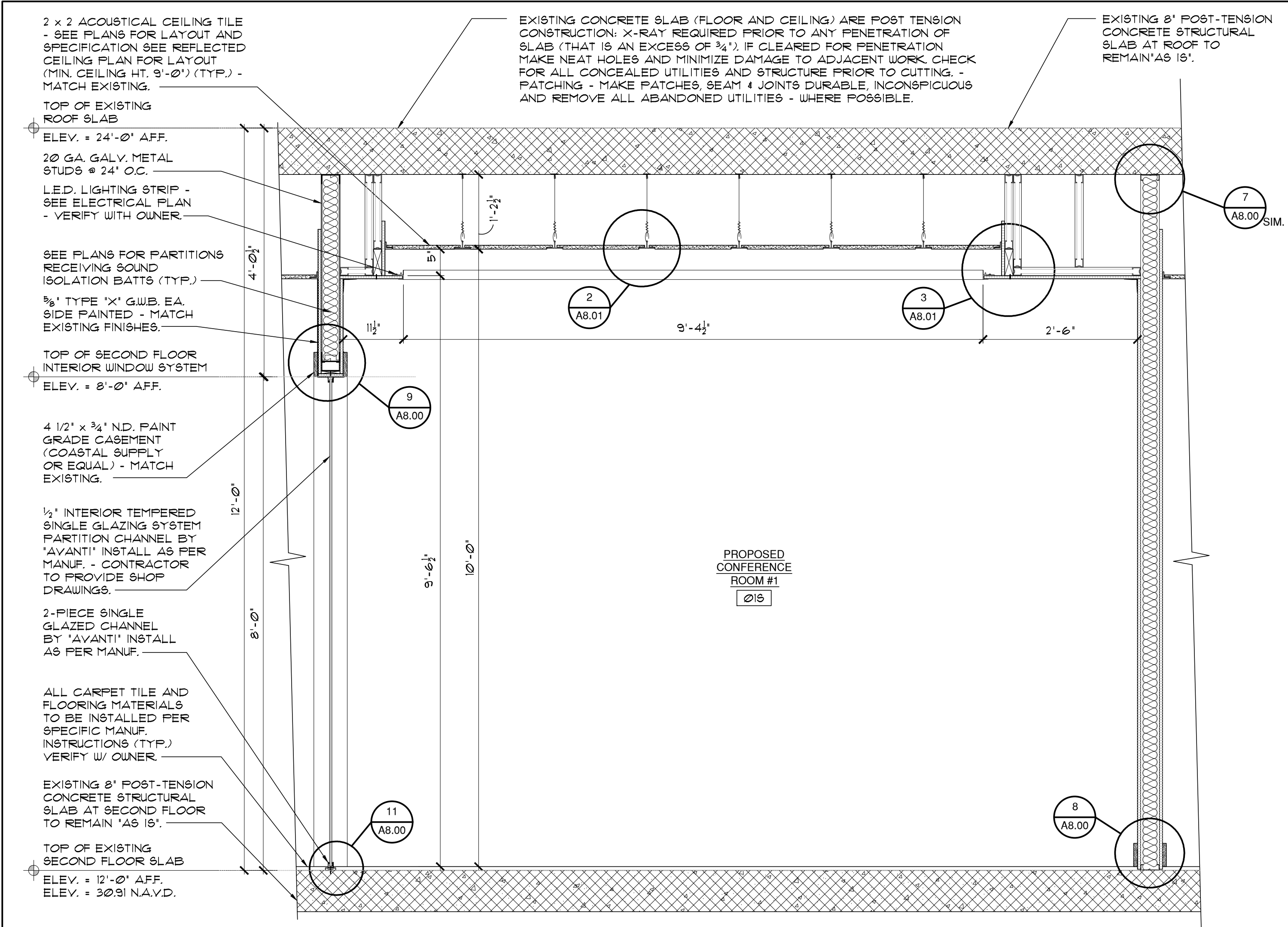
PROPOSED INTERIOR RENOVATION

DISCUSSION

A5.00

[illegible]

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)



2 TYPICAL ACOUSTICAL TILE TEE GRID DETAIL

A8.01 SCALE: N.T.S.

3 CEILING COVE LIGHT DETAIL

A8.01 SCALE: 3"= 1'-0" @ CONFERENCE ROOM #1

4 NOT USED

A8.01 SCALE:

5 NOT USED

A8.01 SCALE:

1 CONFERENCE ROOM #1 INTERIOR ELEVATION / SECTION

A8.01 SCALE: 3/4" = 1'-0"

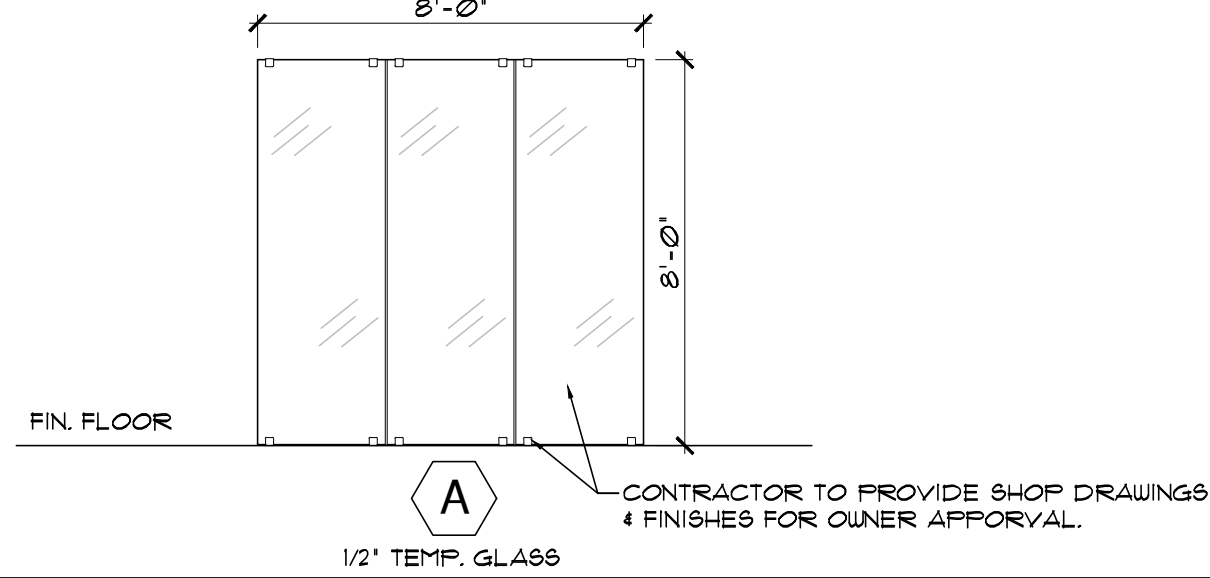
WINDOW SCHEDULE

NOTE: ALL INTERIOR WINDOWS BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS.

SECOND FLOOR	(ALL INTERIOR WINDOW SYSTEMS TO BE "AVANTI" W/ BRUSHED NICKEL FINISH OR EQUAL.									
	WINDOW	SIZE (WxH)	QTY.	SERIES	WALL TYPE	FRAME	SILL	GLASS COLOR	CLIP COLOR	COMMENT
	A	8'-0" x 8'-0"	1	CUSTOM	FRAMED	N/A	N/A	CLEAR	BRUSHED NICKEL	1/2" TEMP. GLAZING SYSTEM BY "AVANTI"
	NOTE: - ALL GLAZING BELOW 18" AFF. TO BE TEMPERED SAFETY GLASS - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR OWNER'S APPROVAL. - VERIFY ALL WINDOW SYSTEMS WITH PROPOSED FLOOR PLAN & OWNER.									

NOTE: VERIFY ALL INTERIOR DOORS & INTERIOR DOOR TRIMS/CASING W/ OWNER & INTERIOR DESIGNER.

WINDOW ELEVATIONS

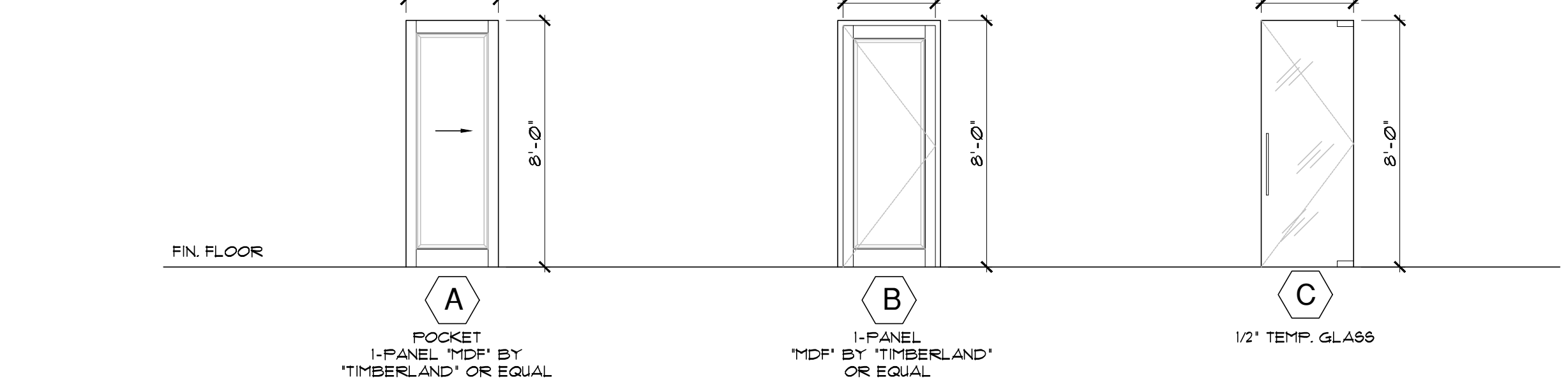


DOOR SCHEDULE

NOTE: ANY GLAZING BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS.

	DOOR	LOCATION	TYPE	ELEV.	SIZE (W x H x D)	ACTION	LABEL	WIND LOAD PRESSURE	THRES.	COMMENTS/HARDWARE
SECOND FLOOR	S1	CONF. ROOM #1	FRAMELESS/TEMP. 1/2" TH. GLASS	C	3'-0" x 8'-0" x 1/2"	RH SWING	-	-	-	TEMPERED GLASS W/ FRAMELESS PERIMETER. PAINTED BRUSHED NICKEL HINGES & PULL.
	S2	CONF. ROOM #2	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	LH SWING	-	-	-	PASSAGE HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE) - 1-PANEL "TIMBERLAND" SOLID CORE #TM1300 - PAINTED - FIELD VERIFY (MATCH EXISTING).
	S3	STORAGE	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	LHR SWING	-	-	-	PASSAGE HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE) - 1-PANEL "TIMBERLAND" SOLID CORE #TM1300 - PAINTED - FIELD VERIFY (MATCH EXISTING).
	S4	OFFICE #2	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	RH SWING	-	-	-	PRIVACY HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE - PUSH BUTTON LOCK) - 1-PANEL "TIMBERLAND" SOLID CORE #XX - PAINTED - FIELD VERIFY (MATCH EXISTING) - EXISTING DOOR TO BE RELOCATED.
	S5	OFFICE #3	"MDF" PANEL	A	3'-0" x 8'-0" x 1 3/4"	POCKET	-	-	-	PRIVACY HARDWARE ("BALDWIN" - BRUSHED NICKEL - ROTATION LATCH) - 1-PANEL "TIMBERLAND" SOLID CORE #XX - PAINTED - FIELD VERIFY (MATCH EXISTING).
	S6	OFFICE #4	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	RH SWING	-	-	-	PRIVACY HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE - PUSH BUTTON LOCK) - 1-PANEL "TIMBERLAND" SOLID CORE #XX - PAINTED - FIELD VERIFY (MATCH EXISTING) - EXISTING DOOR TO BE RELOCATED.
	S7	OFFICE #5	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	LH SWING	-	-	-	PRIVACY HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE - PUSH BUTTON LOCK) - 1-PANEL "TIMBERLAND" SOLID CORE #XX - PAINTED - FIELD VERIFY (MATCH EXISTING) - EXISTING DOOR TO BE RELOCATED.
	S8	OFFICE #10	"MDF" PANEL	B	3'-0" x 8'-0" x 1 3/4"	LH SWING	-	-	-	PRIVACY HARDWARE ("BALDWIN" - BRUSHED NICKEL - LEVER HANDLE - PUSH BUTTON LOCK) - 1-PANEL "TIMBERLAND" SOLID CORE #XX - PAINTED - FIELD VERIFY (MATCH EXISTING) - EXISTING DOOR TO BE RELOCATED.

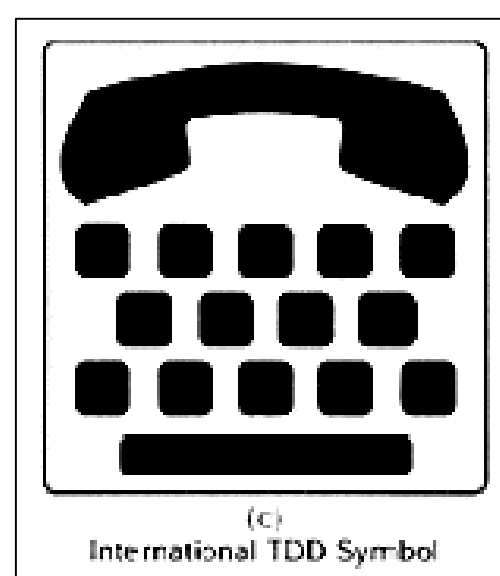
DOOR ELEVATIONS



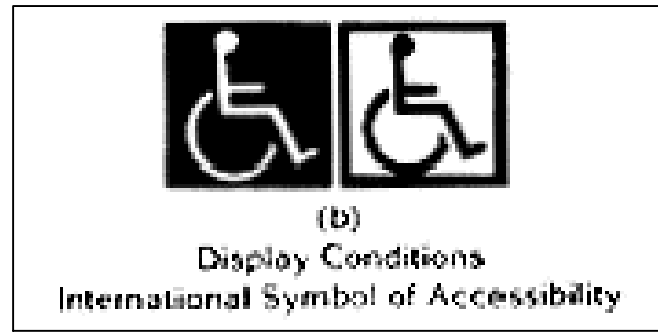
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(a) Proportions
International Symbol of Accessibility



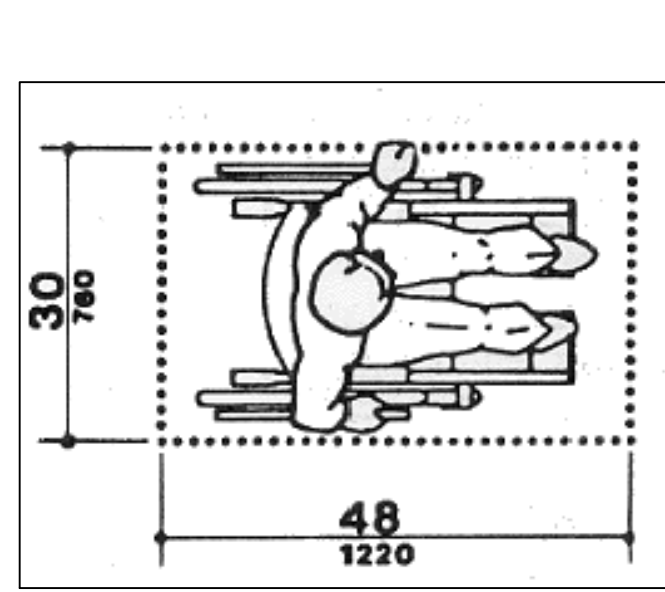
(c) International TDD Symbol



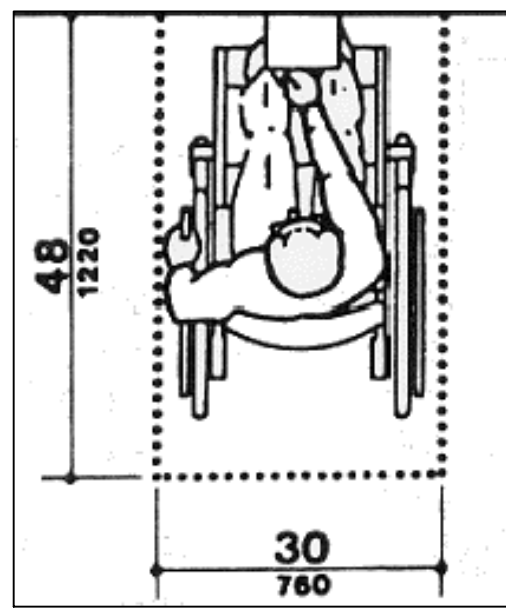
(b) Display Conditions
International Symbol of Accessibility



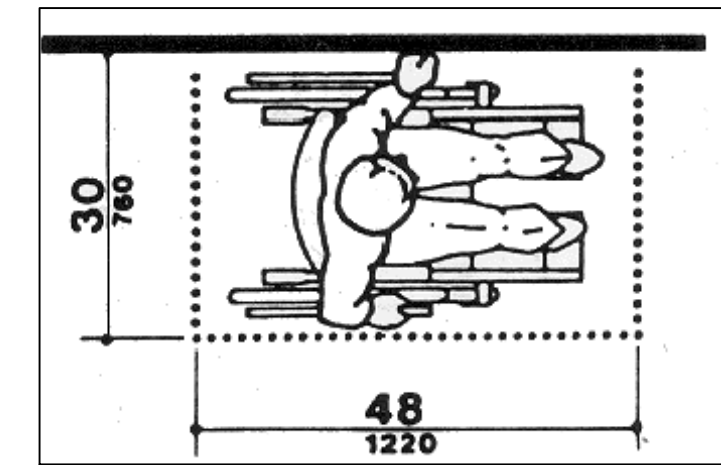
(d) International Symbol of Access for Hearing Loss
Fig. 43 International Symbols



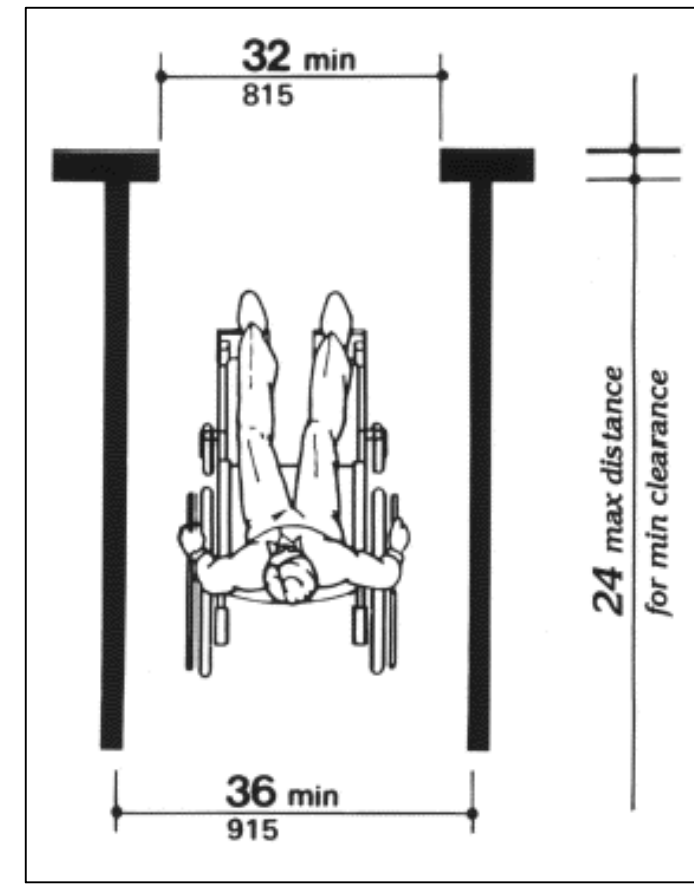
(a) Clear Floor Space



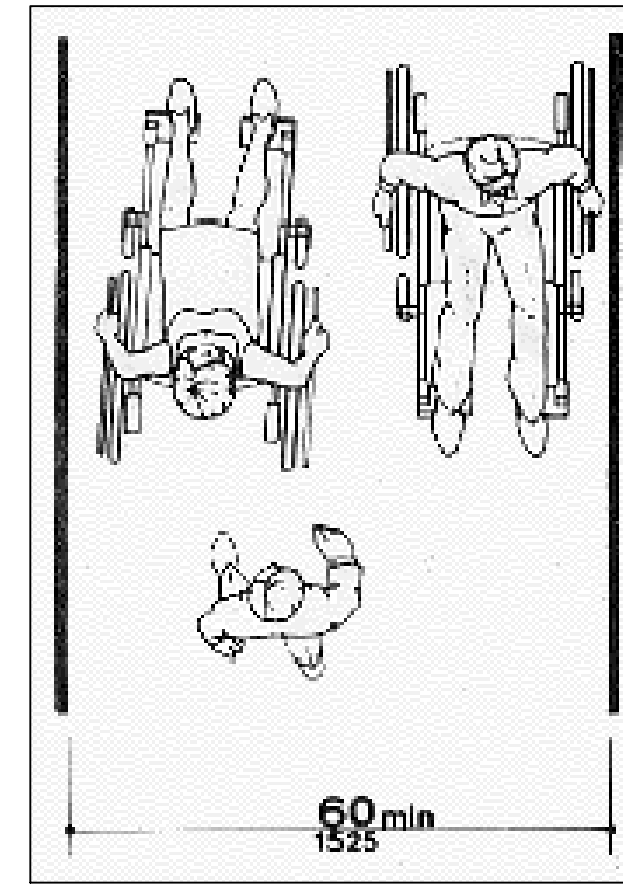
(b) Forward Approach



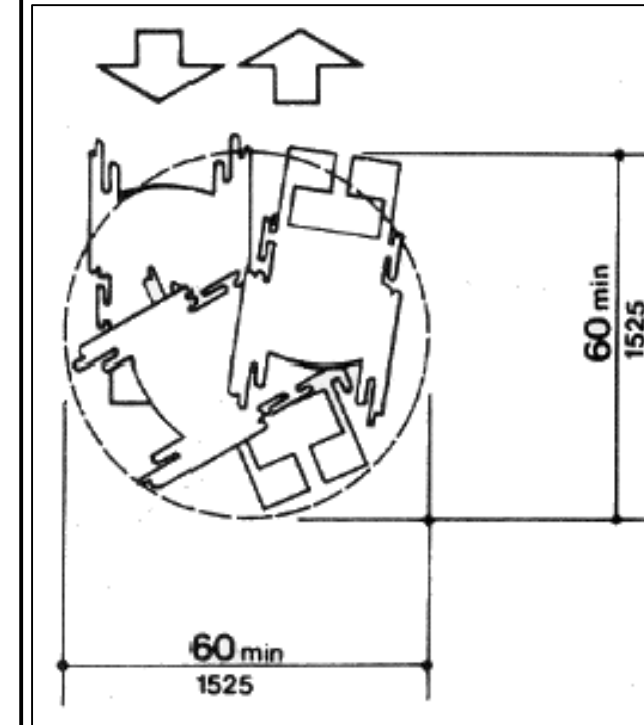
(c)



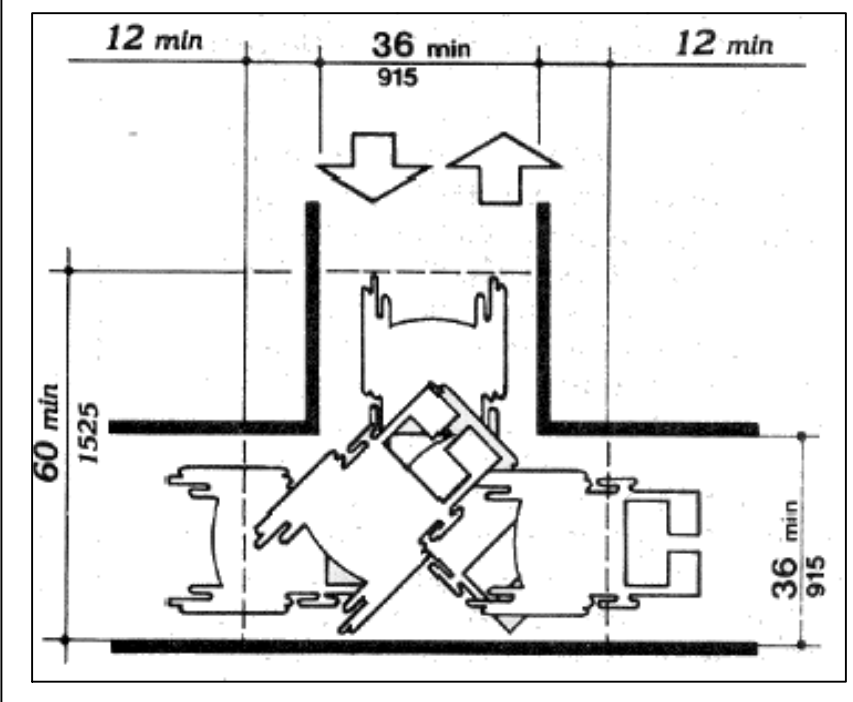
3 MIN. CLEARANCE FOR WHEELCHAIR
SCALE: N.T.S.



3 MIN. CLEARANCE FOR WHEELCHAIR
SCALE: N.T.S.



4 WHEELCHAIR TURNING SPACE
SCALE: N.T.S.



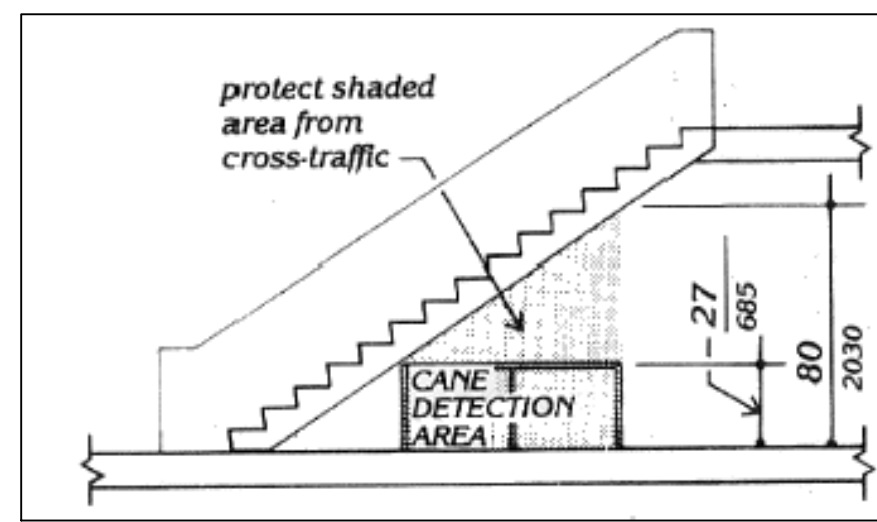
(b) T-Shaped Space for 180° Turns

1 INTERNATIONAL SYMBOL
SCALE: N.T.S.

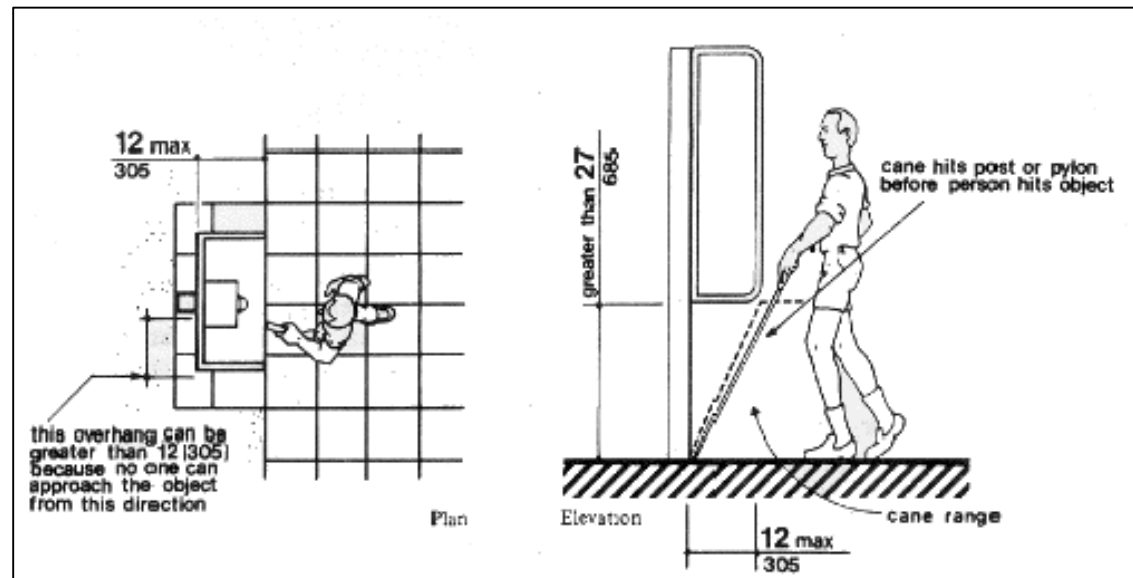
2 MIN. CLEARANCE FOR WHEELCHAIR
SCALE: N.T.S.

3 MIN. CLEARANCE FOR WHEELCHAIR
SCALE: N.T.S.

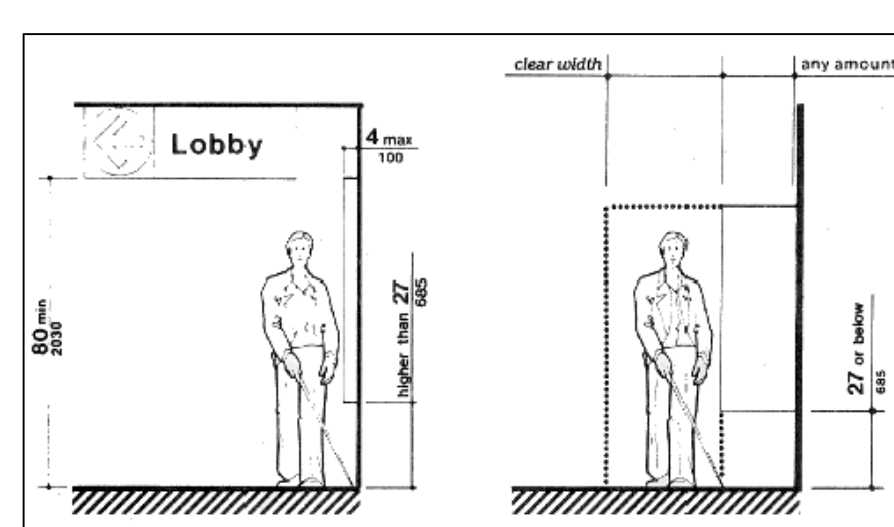
4 WHEELCHAIR TURNING SPACE
SCALE: N.T.S.



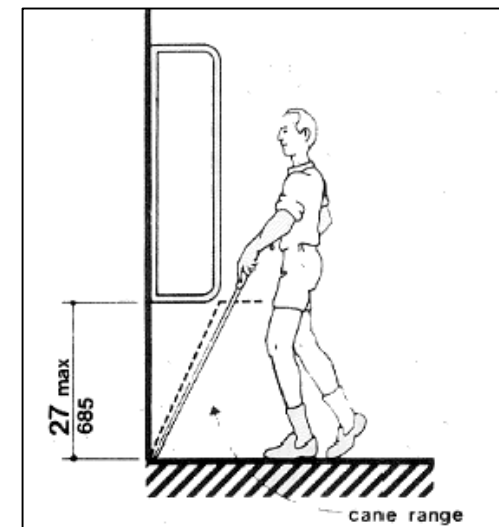
(a) Overhead Hazards



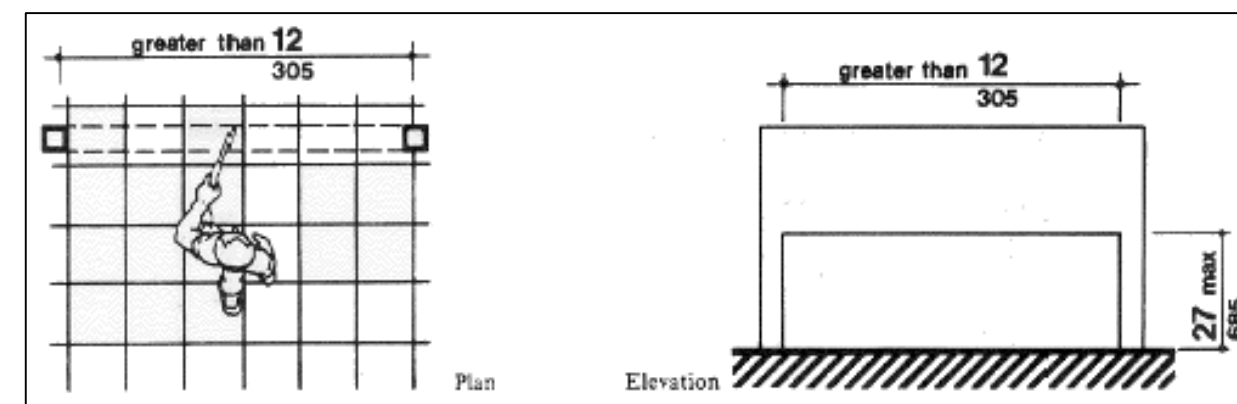
(b) Object Mounted on Posts or Pylons



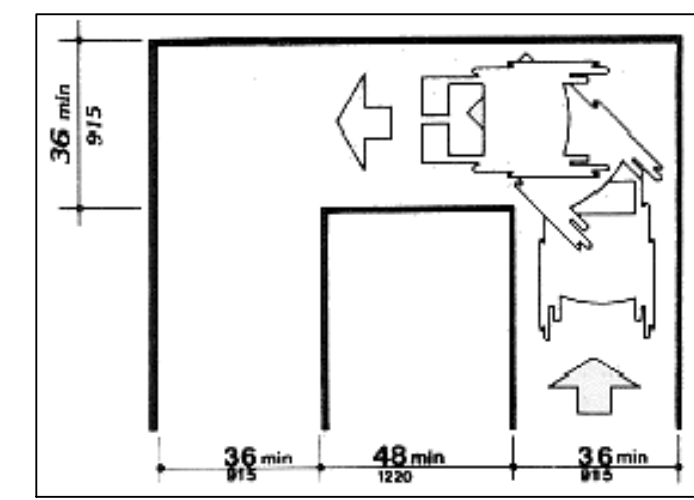
(a) Walking Parallel to a Wall



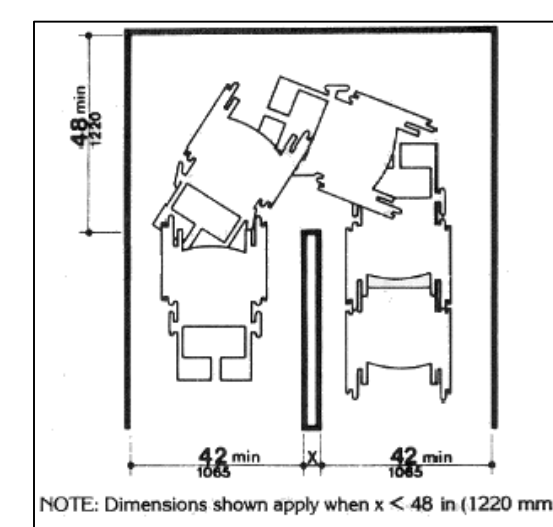
(b) Walking Perpendicular to a Wall



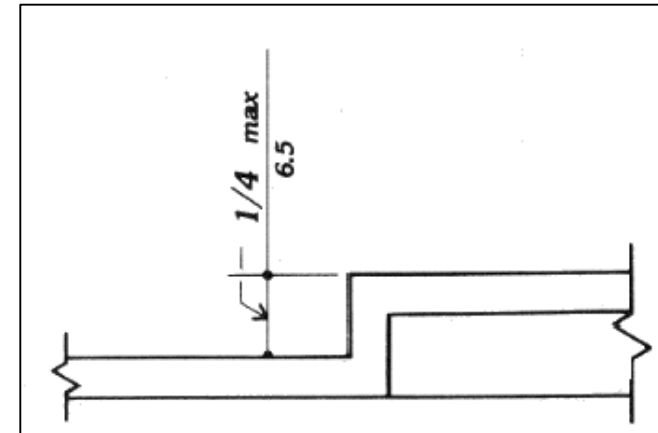
(c) Free-Standing Overhanging Object



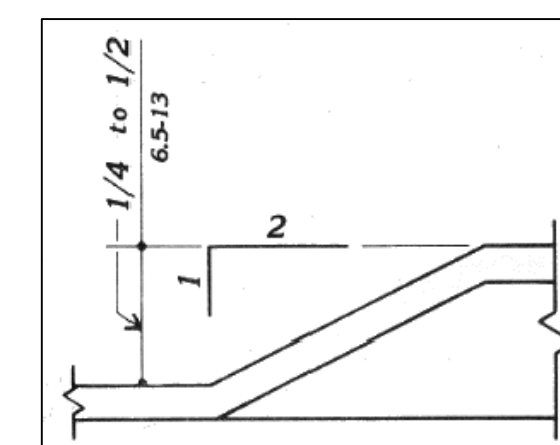
(a) 90° Turn



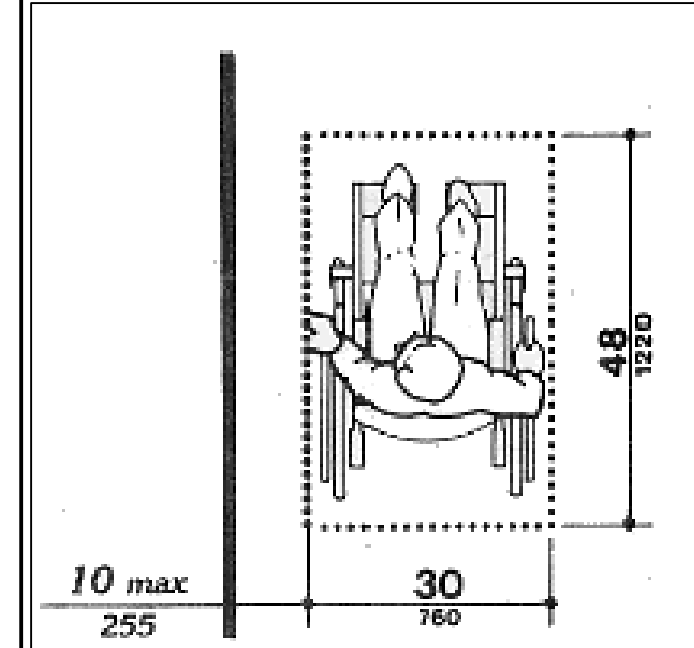
(b) Turn Around an Obstruction



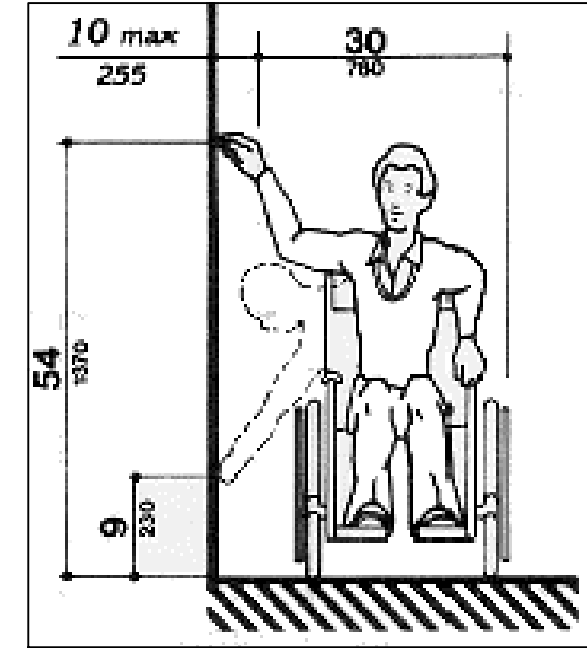
(c) Changes in Level



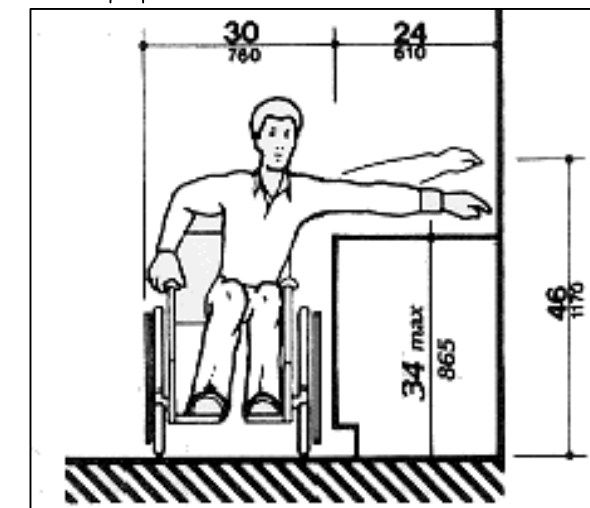
(d) Changes in Level



(a) Clear Floor Space Parallel Approach



(b) High and Low Side Reach Limits



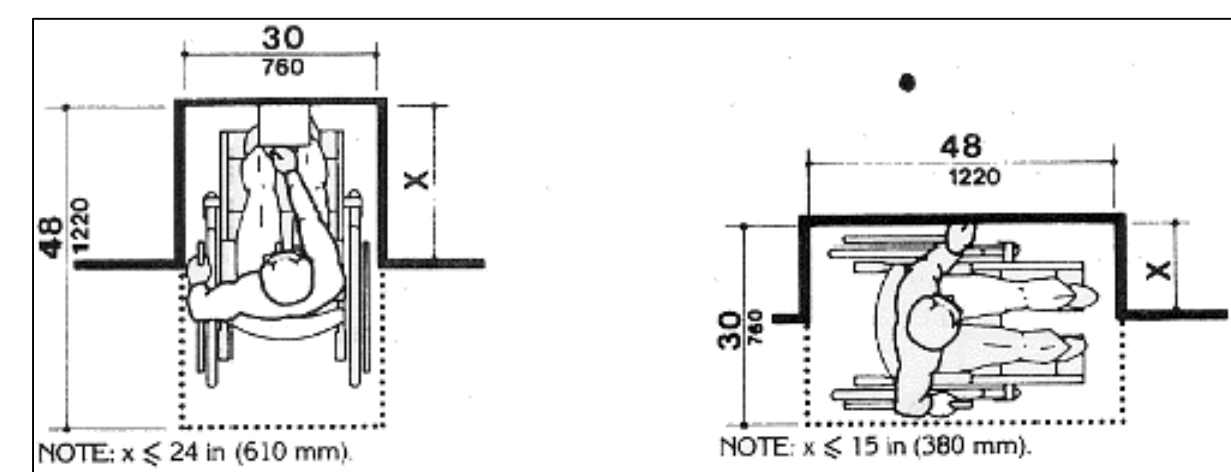
(c) Maximum Side Reach over Obstruction

5 OBJECT MOUNTED ON POST OR PILONS
SCALE: N.T.S.

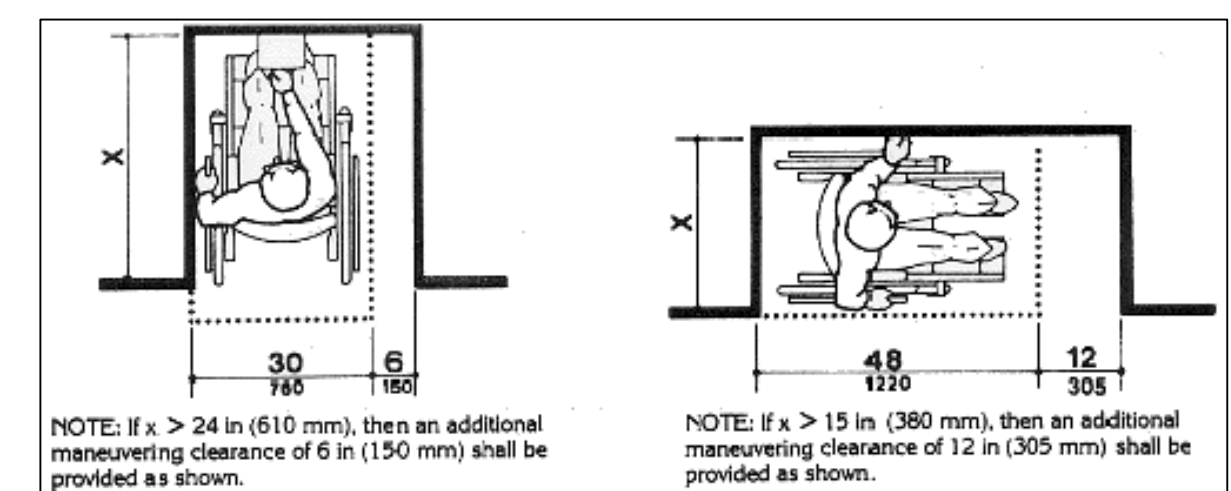
6 FREE STANDING OVERHANGING OBJECT
SCALE: N.T.S.

7 TURN AROUND AN OBSTRUCTION
SCALE: N.T.S.

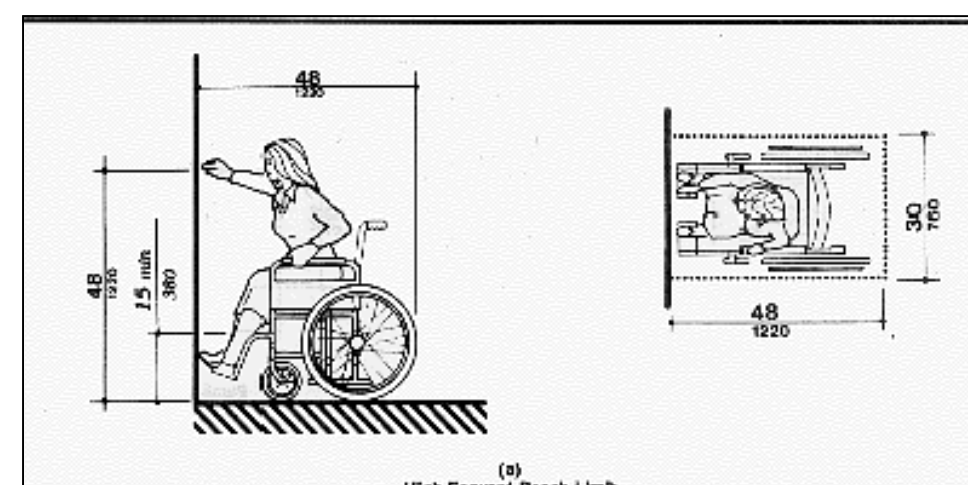
8 MAX. SIDE REACH OVER OBSTRUCTION
SCALE: N.T.S.



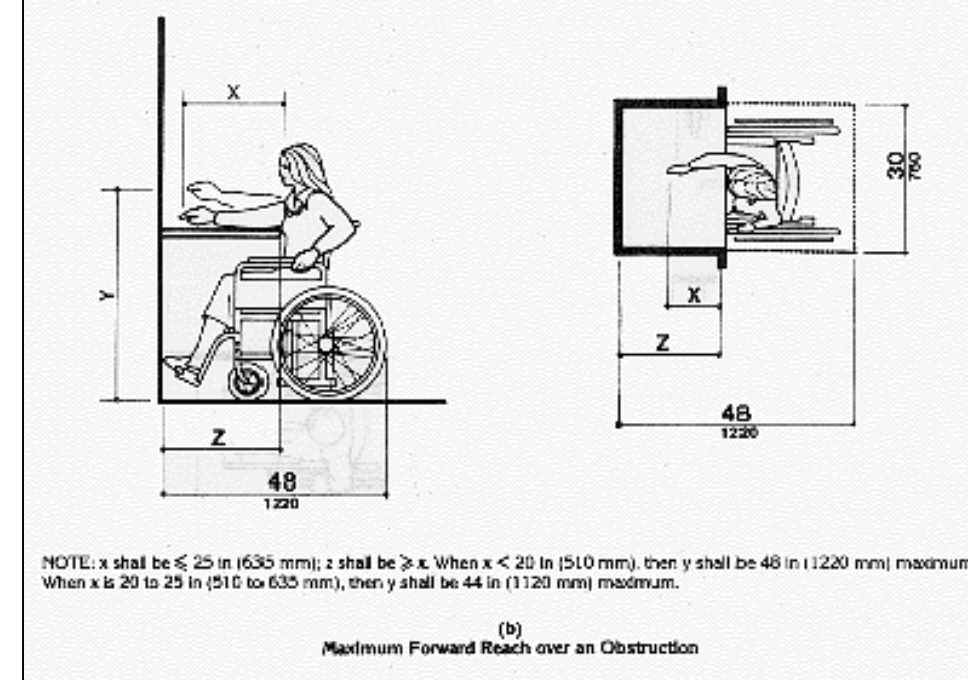
(d) Clear floor Space in Alcove



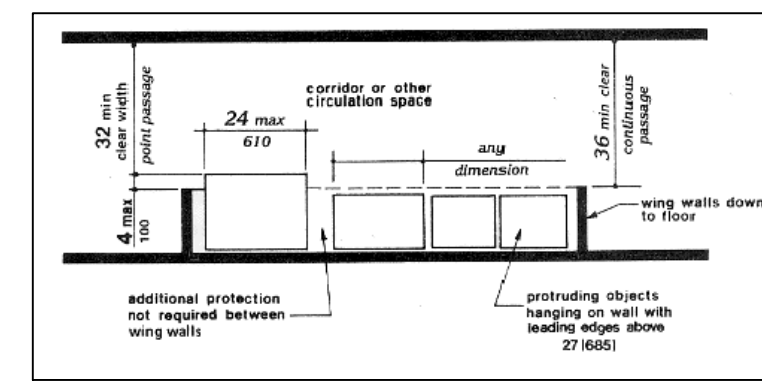
(e) Additional Maneuvering Clearance for Alcoves



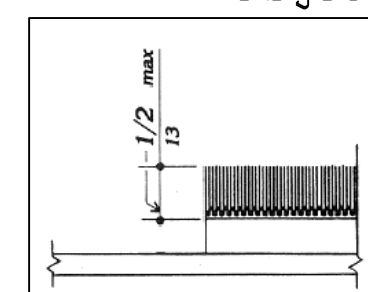
(a) High Forward Reach Limit



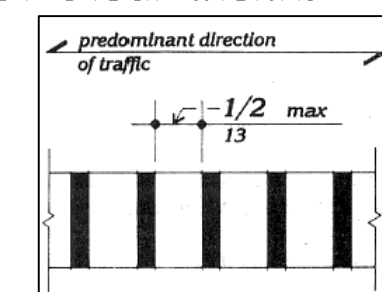
(b) Maximum Forward Reach over an Obstruction



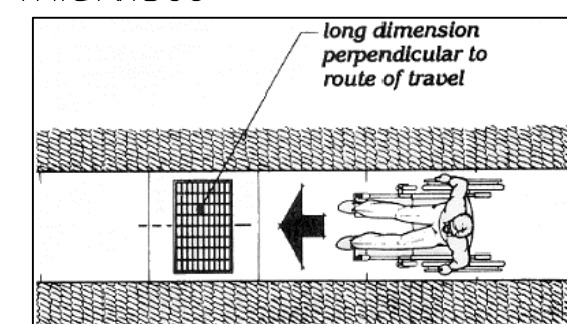
(e) Example of Protection around Wall-Mounted Object and Measurements of Clear Widths



(f) Carpet Pile Thickness



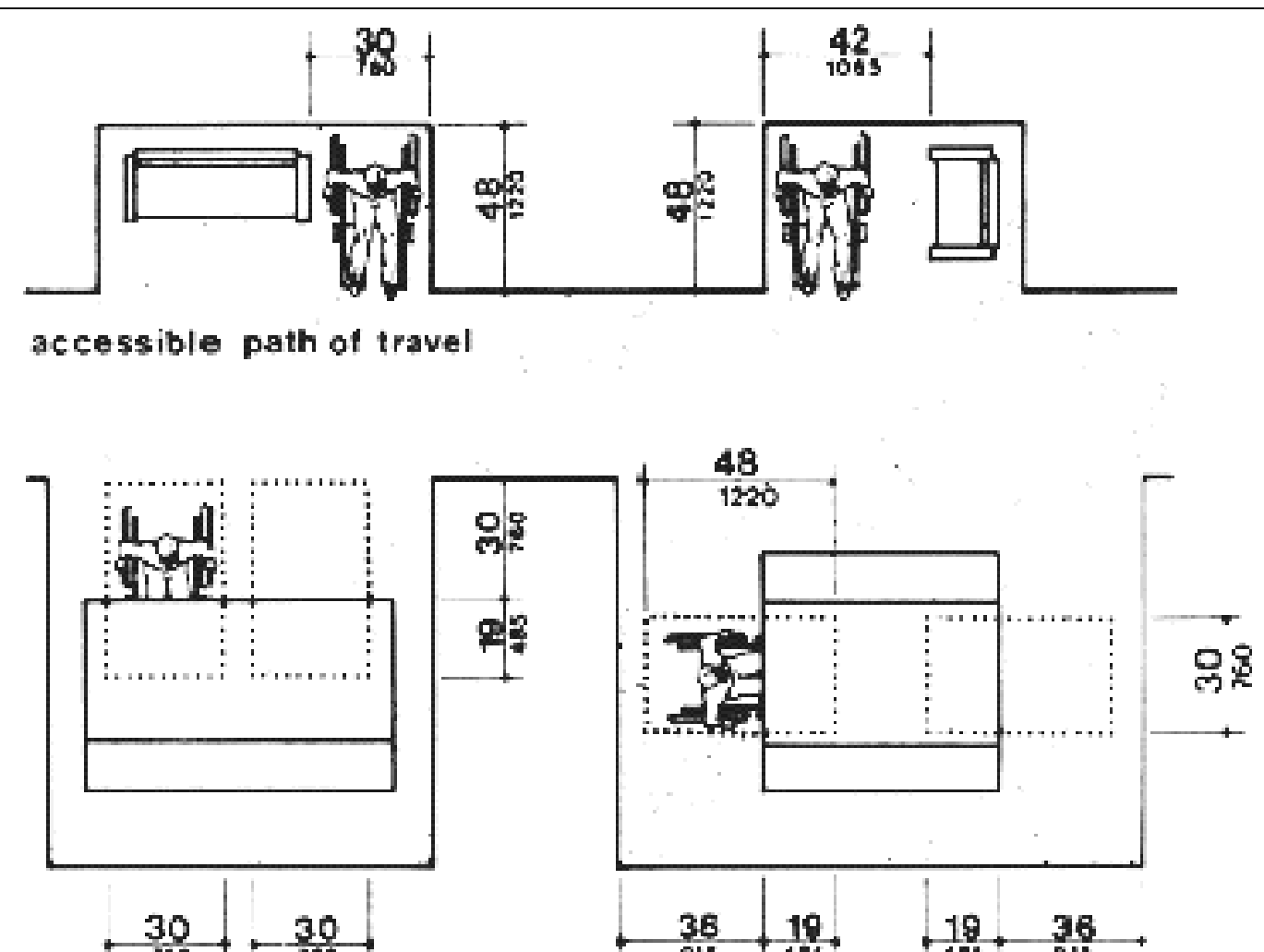
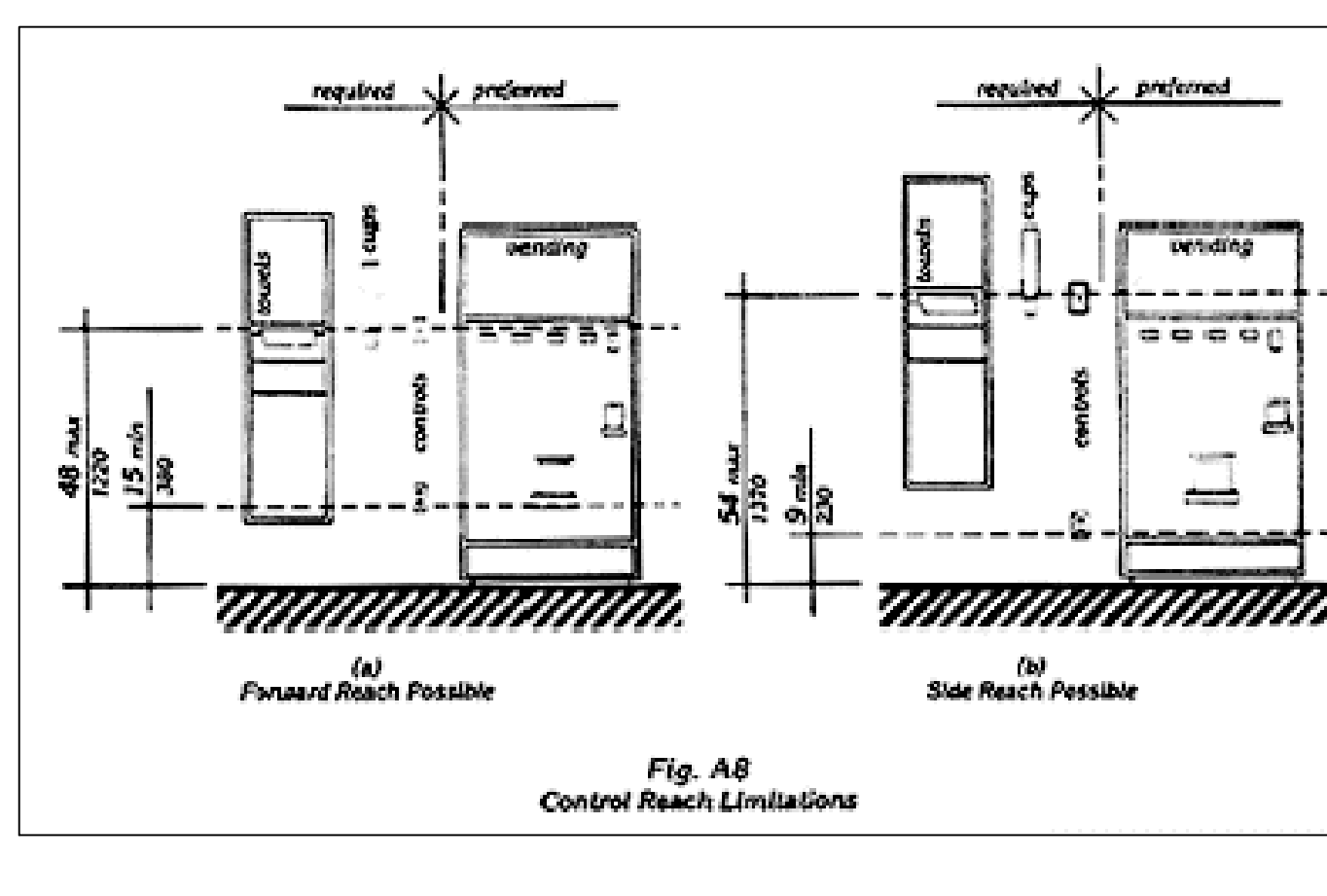
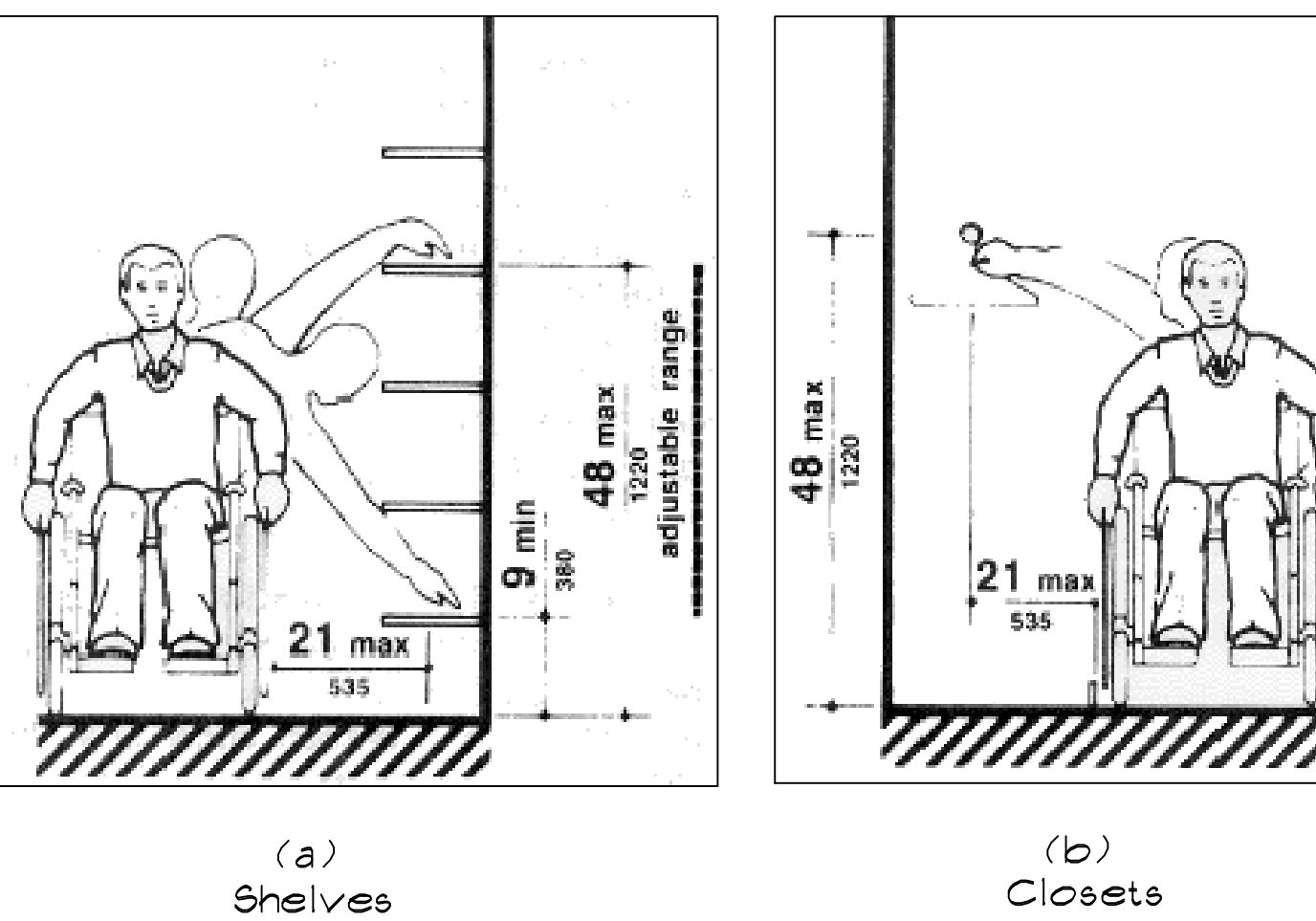
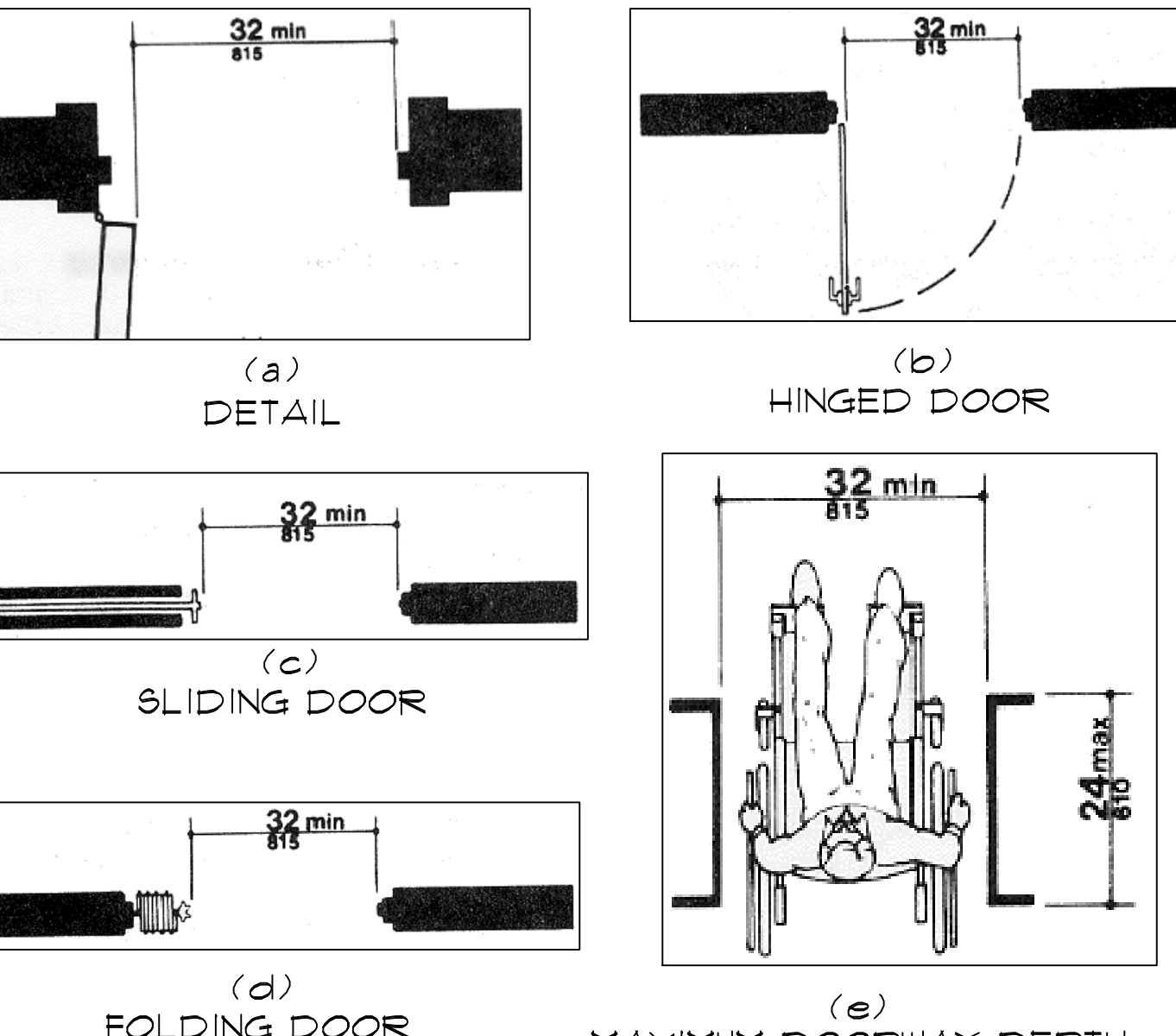
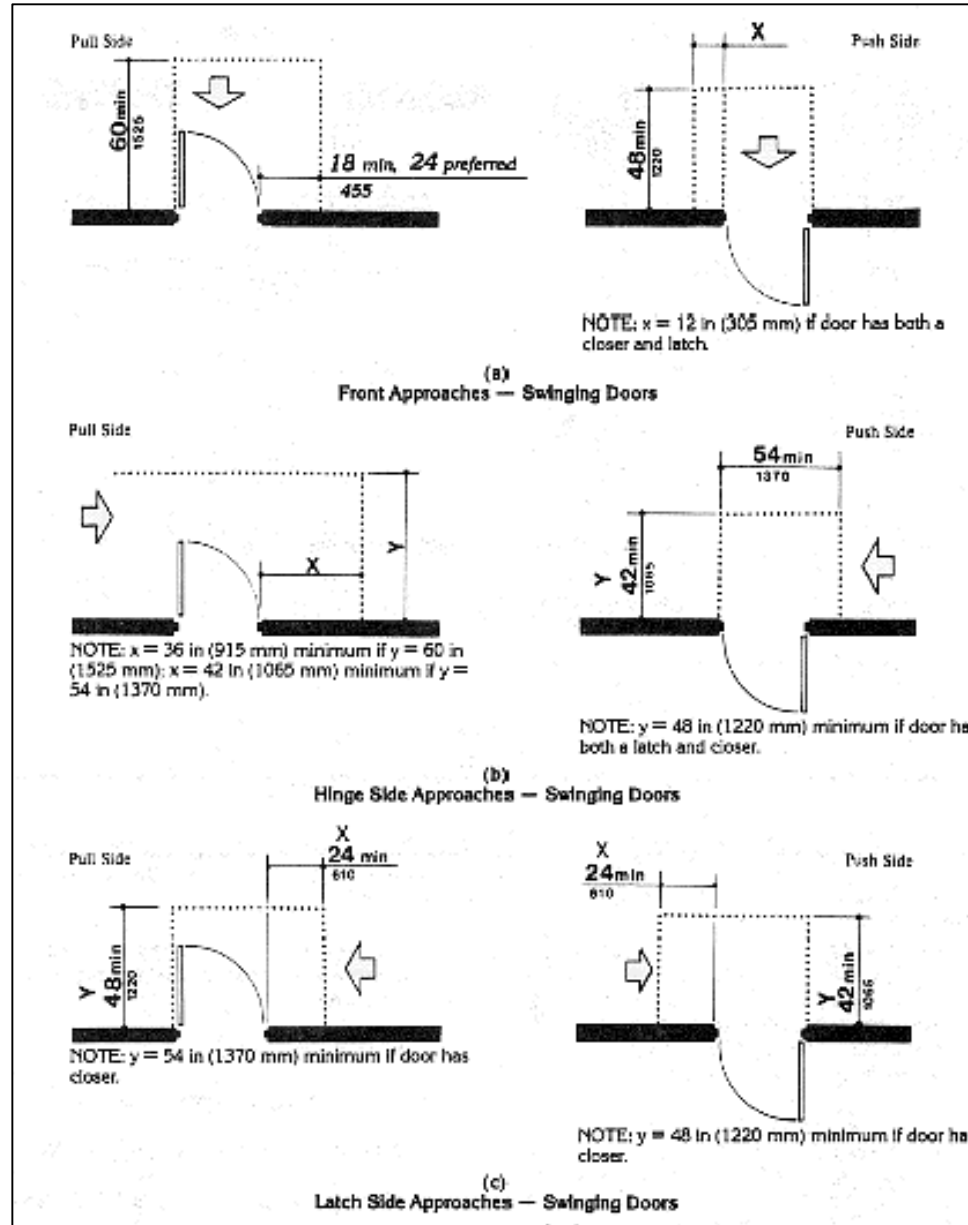
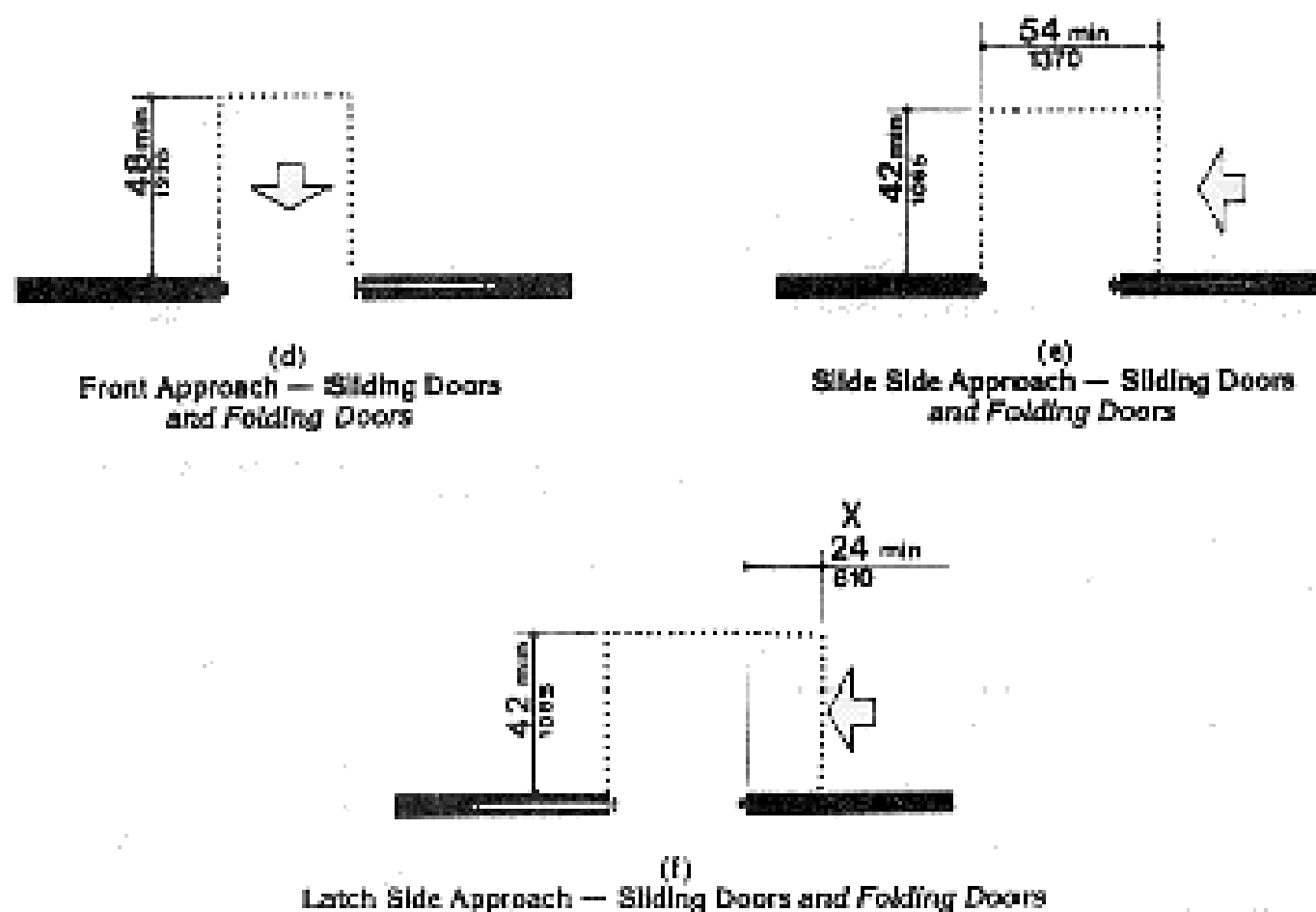
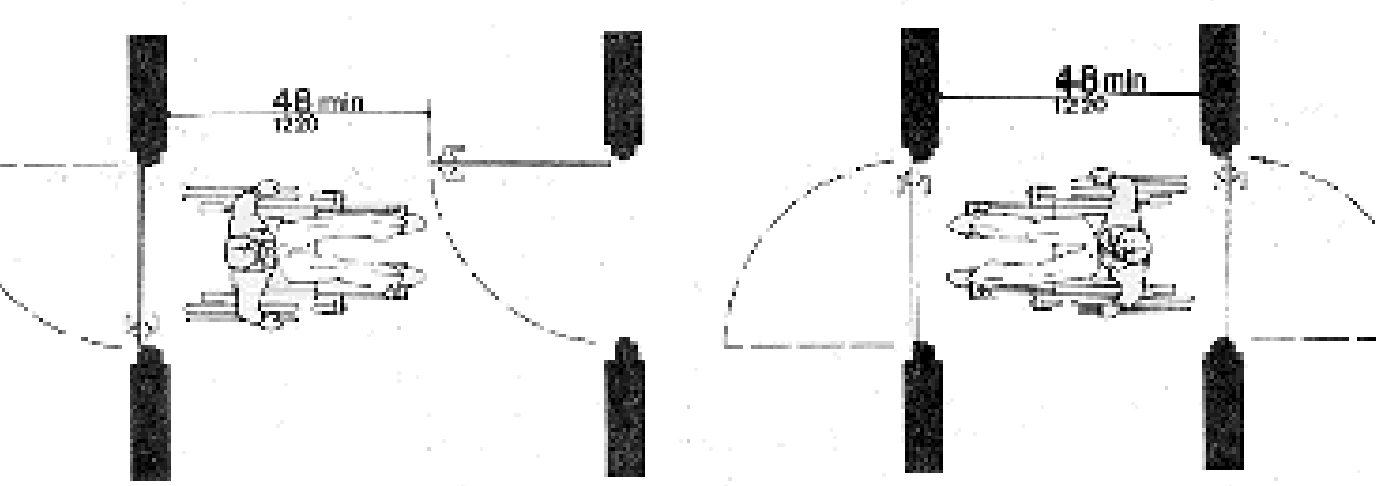
(g) Gratings



(h) Grating Orientation

11 PORTRUDING OBJECT
SCALE: N.T.S.

12 WHEELCHAIR SEATING IN SERIES
SCALE: N.T.S.

 <p>accessible path of travel</p> <p>Fig. 45 Minimum Clearances for Seating and Tables</p>	 <p>Fig. A8 Control Reach Limitations</p>	 <p>(a) Shelves (b) Closets</p>	 <p>(a) DETAIL (b) HINGED DOOR (c) SLIDING DOOR (d) FOLDING DOOR (e) MAXIMUM DOORWAY DEPTH</p>
<div>1</div> <div>WHEELCHAIR SEATING IN SERIES</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>	<div>2</div> <div>CONTROL REACH LIMITATIONS</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>	<div>3</div> <div>MIN. CLEARANCE FOR WHEELCHAIR</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>	<div>4</div> <div>CLEAR DOORWAY WIDTH + DEPTH</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>
 <p>Maneuvering Clearance - Doors</p>	 <p>Maneuvering Clearance - Doors</p>	 <p>Two Hinged Door in Series</p>	
<div>5</div> <div>MANEUVERING CLEARANCE • DOORS</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>	<div>6</div> <div>MANEUVERING CLEARANCE • DOORS</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>	<div>7</div> <div>TWO HINGED DOOR IN SERIES</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>	<div>8</div> <div>NOT USED</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>
<div>9</div> <div>NOT USED</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>	<div>10</div> <div>NOT USED</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>	<div>11</div> <div>NOT USED</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>	<div>12</div> <div>NOT USED</div> <div>B1.01</div> <div>SCALE: N.T.S.</div>

ge

architecture, inc.

Architect, Planner and Designer

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226 PALM COURT
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FILE NUMBER 1205B101

DRAWING TITLE

TYPICAL
ACCESSIBILITY
DETAILS

DATE 01.03.22 | DRAWN BY GE/DR

JOB NUMBER 20211205

DRAWING NUMBER

B1.01

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EXISTING AREA CALCULATIONS (FOR REF. ONLY)		
	TOTAL UNDER AC	TOTAL UNDER ROOF
EXISTING GROUND FLOOR AREA:		
ENTRY LOBBY	168 SQ.FT.	155 SQ.FT.
STAIR #1		178 SQ.FT.
STAIR #2		63 SQ.FT.
ELEVATOR ENCLOSURE		69 SQ.FT.
STORAGE ROOM		66 SQ.FT.
ELECTRICAL ROOM		135 SQ.FT.
MECH. ROOM		89 SQ.FT.
COVERED PARKING GARAGE		4,606 SQ.FT.
TOTAL EXISTING GROUND FLOOR AREA		5,540 SQ.FT.
EXISTING SECOND FLOOR AREA:		
OFFICE FLOOR AREA (NET SQ.FT.)	3,385 SQ.FT.	
OFFICE FLOOR AREA (GROSS SQ.FT.)	3,570 SQ.FT.	
SIDE BALCONNETTES (N.I.C. UNDER ROOF)		(2) @ 32 SQ.FT.
FRONT BALCONY (N.I.C. UNDER ROOF)		34 SQ.FT.
TOTAL EXISTING SECOND FLOOR OFFICE AREA (GROSS SQ.FT.)		3,570 SQ.FT.
EXISTING SECOND FLOOR RESIDENTIAL UNIT		
RESIDENTIAL CONDO UNIT	1,338 SQ.FT.	
FRONT BALCONY		622 SQ.FT.
SIDE BALCONNETTES (N.I.C. UNDER ROOF)		(2) @ 32 SQ.FT.
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF		4,908 SQ.FT.
EXISTING ROOF TOP		789 SQ.FT.
TOTAL EXISTING AREA UNDER ROOF:		10,448 SQ.FT.

LIFE SAFETY DEVICE SYMBOL LIST	
	FIRE ALARM SYSTEM PULL STATION
	FIRE ALARM SYSTEM SMOKE DETECTOR
	FIRE ALARM SYSTEM STROBE LIGHT, 15cd or 100cd
	FIRE ALARM SYSTEM COMBINATION HORN/STROBE LIGHT, 15cd OR 100cd
	FIRE ALARM SYSTEM ELEVATOR STATUS/RECALL SWITCH
	FIRE ALARM SYSTEM CONTROL PANEL
	FIRE ALARM SYSTEM HEAT DETECTOR (WITHIN ELEVATOR)
	WEATHER PROOF
	EXIT SIGN - 90 MINUTE BATTERY
	COMBO EXIT SIGN + EMERGENCY LIGHT - 90 MINUTE BATTERY
	EMERGENCY LIGHT - 90 MIN. BATTERY
	EXISTING KNOX BOX (LOCATED @ MAIN ENTRANCE SHOWN FOR COORDINATION PURPOSES ONLY.)
	EXISTING FIRE EXTINGUISHERS

MEANS OF EGRESS CALCULATIONS					
CORRIDOR WIDTH		NUMBER OF EXITS		EXIT DOOR WIDTH	
REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
36"	48"	(27 PER TENANT)	(27 PER TENANT)	32"	36" MIN.
MAX. COMMON PATH		MAX. TRAVEL WITHIN GROUND FLOOR		DEAD END	
REQUIRED	PROVIDED	REQUIRED	PROVIDED		
100'-0" OFFICE (UNSPRINKLED)	80'-8"	NONE	N.A.		

OCCUPANCY LOAD FOR EGRESS	
SECOND FLOOR	
CONFERENCE ROOM #1	• 148 SF. • 150 SF./ PERSON • 0.99
CONFERENCE ROOM #2	• 111 SF. • 150 SF./ PERSON • 0.73
PRINT STATION	• 28 SF. • 150 SF./ PERSON • 0.19
OPEN OFFICE AREA	• 151 SF. • 150 SF./ PERSON • 1.01
EXISTING CLOSET	• 10 SF. • 150 SF./ PERSON • 0.07
WOMEN'S BATHROOM	• 63 SF. • 50 SF./ PERSON • 1.26
MEN'S BATHROOM	• 63 SF. • 50 SF./ PERSON • 1.26
OFFICE #01	• 110 SF. • 150 SF./ PERSON • 0.73
OFFICE #02	• 86 SF. • 150 SF./ PERSON • 0.57
OFFICE #03	• 124 SF. • 150 SF./ PERSON • 0.83
OFFICE #04	• 92 SF. • 150 SF./ PERSON • 0.61
OFFICE #05	• 100 SF. • 150 SF./ PERSON • 0.67
OFFICE #06	• 93 SF. • 150 SF./ PERSON • 0.62
OFFICE #07	• 116 SF. • 150 SF./ PERSON • 0.77
OFFICE #08	• 99 SF. • 150 SF./ PERSON • 0.66
OFFICE #09	• 100 SF. • 150 SF./ PERSON • 0.67
OFFICE #10	• 99 SF. • 150 SF./ PERSON • 0.66
OFFICE #11	• 111 SF. • 150 SF./ PERSON • 1.01
EXISTING BATH	• 41 SF. • 50 SF./ PERSON • 0.82
STAFF BREAKROOM	• 102 SF. • 150 SF./ PERSON • 0.68
TOTAL SECOND FLOOR OFFICE OCCUPANCY LOAD • 1515 PEOPLE	
REQUIRED MINIMUM WIDTH PER TENANT:	
25.13 x 2 = 50.26" REQUIRED	
36" • SOUTH EAST SIDE,	
36" • NORTH WEST SIDE,	
EXITS FOR TOTAL OF 12" PROVIDED.	

MEANS OF EGRESS

THE EXISTING 2-STORY BUILDING CONSISTS OF THE FOLLOWING: PARKING, ENTRY LOBBY, ELECTRICAL ROOM, MECHANICAL ROOM, 1 STORAGE ROOM AT THE GROUND FLOOR AND A RESIDENTIAL APARTMENT, 4 OFFICE SPACE ON THE SECOND FLOOR. THE EXISTING GROUND FLOOR HAS A TOTAL OF 3 SEPARATE EXITS.

TRAVEL DISTANCE FOR THE ENTIRE BUILDING IS WITHIN THE ALLOWED 250 FEET FOR SPRINKLER SYSTEM BUILDINGS.

EXIT DISCHARGE MEETS THE REQUIREMENTS OF THE LIFE SAFETY CODE 2020.

EXIT MARKINGS IS REQUIRED WITH SUGGESTED LOCATIONS SHOWN ON THE DRAWINGS. ALL EXIT LIGHTS AND CORRIDOR LIGHTING TO BE CONNECTED TO EMERGENCY GENERATOR (SEE ELECTRICAL DRAWINGS).

PROTECTION FROM HAZARDS

SERVICE EQUIPMENT AREAS SHALL HAVE BOTH FIRE SPRINKLER PROTECTION AND A MIN. OF ONE-HOUR SEPARATION FROM OTHER PARTS OF THE BUILDING.

INTERIOR FINISHES

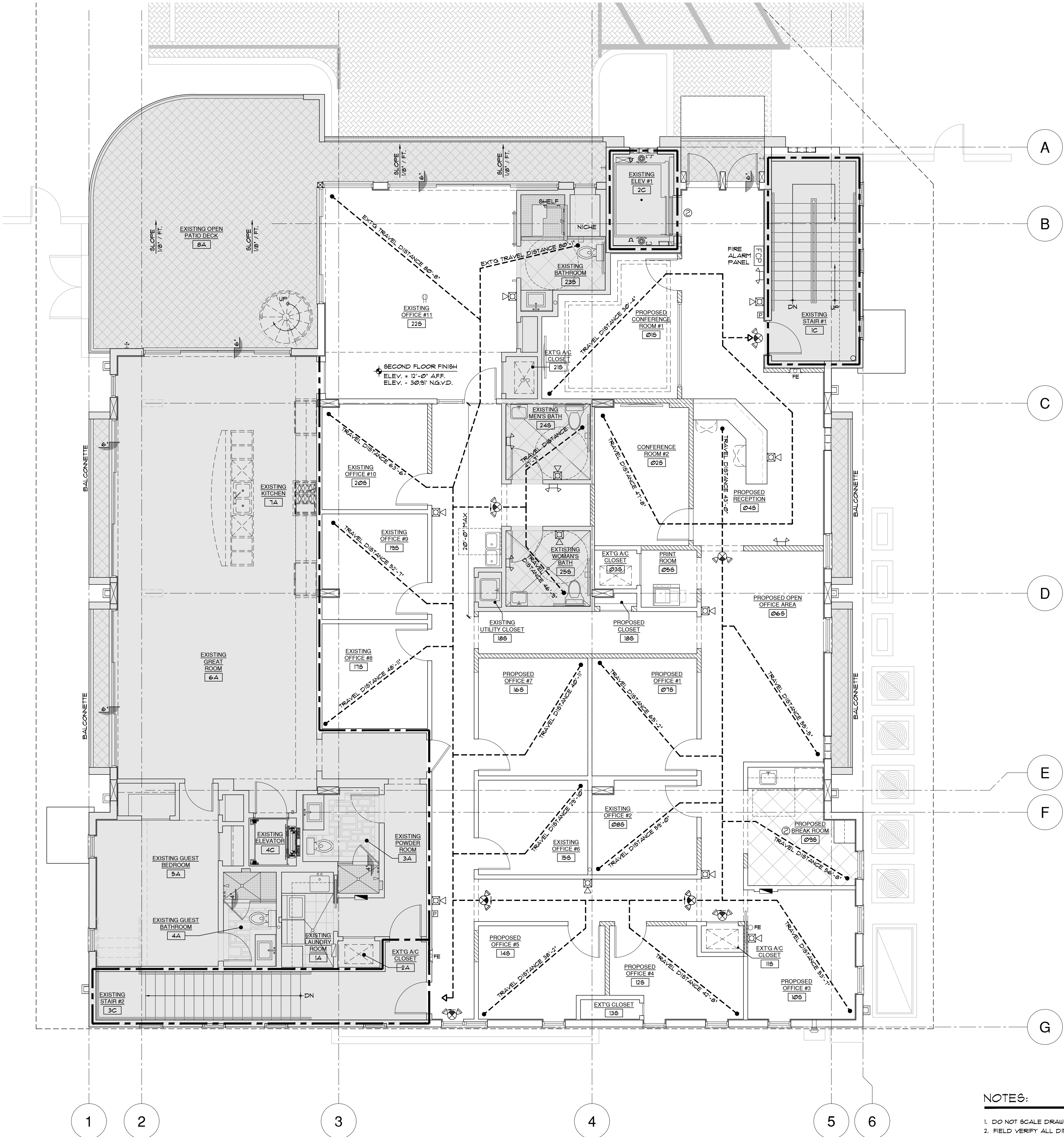
INTERIOR FINISHES SHALL BE AS FOLLOWS:

CLASS 'A' FOR EXIT ENCLOSURES

CLASS 'A' OR 'B' FOR CORRIDORS AND LOBBY

CLASS 'A', 'B' OR 'C' FOR ALL OTHER AREAS

EXISTING AREA TO REMAIN 'AS IS'.



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PROPOSED SECOND FLOOR
LIFE SAFETY PLAN

SCALE : 3/16"=1'-0"

N

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)

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ISSUED FOR

BIDS

PERMIT 04.12.22

CONSTRUCTION

PROJECT TITLE

PROPOSED
INTERIOR
RENOVATION

226 PALM COURT
DELRAY BEACH, FL

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FILE NUMBER 1205LS1

DRAWING TITLE

PROPOSED
SECOND FLOOR
LIFE SAFETY
PLAN

DATE 01.03.22

DRAWN BY GE/DR

JOB NUMBER 20211205

DRAWING NUMBER






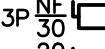







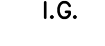

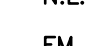







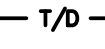



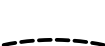

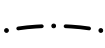












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ELECTRICAL NOTES			
1. ELECTRICAL CONTRACTOR SHALL BE FULLY COGNIZANT OF THE LATEST EDITION OF THE 2020 FBC, 2017 NEC, 2012 NFPA-101, 2012 NFPA-72, 2012 FLORIDA FIRE PREVENTION CODE AND ALL LOCAL CODES, ORDINANCES OF THE AUTHORITIES HAVING JURISDICTION AND PERFORM ALL WORK IN ACCORDANCE WITH THE INTENT AND REQUIREMENTS OF THESE CODES, ORDINANCES AND AUTHORITIES	19. THE CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE UTILITY FOR PROVIDING THE REQUIRED CONDUIT SIZE AND NUMBER TO THE TENANT SPACE. THE CONTRACTOR SHALL PROVIDE ALL CONDUITS WITH PULL CORDS AND SHALL INSTALL FROM THE LOCAL TELEPHONE BOARD TO THE MAIN POINT OF SERVICE.	34. DEVICES SHALL BE AS FOLLOWS: A. RECEPTACLES – HUBBELL #5362 SERIES B. SWITCHES – HUBBELL #121 SERIES C. DIMMERS – LUTRON "NOVA" SERIES D. THE COLOR OF THE DEVICES AND COVER PLATES SHALL BE AS DIRECTED BY ARCHITECT. IN DAMP OR WET LOCATIONS COVER PLATES SHALL BE STAINLESS STEEL. IN DRY LOCATIONS COVER PLATES SHALL BE SMOOTH HIGH ABUSE NYLON OR EQUIVALENT. PROVIDE COVER PLATES FOR SWITCHES, RECEPTACLES, TELEPHONE, TELEVISION, COMPUTER, AND J-BOX OUTLETS AS REQUIRED.	53. ALL WIRING SHALL BE INSTALLED IN LISTED METALLIC RACEWAYS. RACEWAYS IN SLAB-ON-GRADE OR BELOW GRADE SHALL BE SCHEDULE 40 PVC. TRANSITIONS FROM BELOW TO ABOVE GRADE SHALL BE WITH RIGID STEEL ELBOWS WITH P.V.C. JACKET OR APPROVED EQUIVALENT PROTECTION. MET FITTINGS SHALL BE MALLEABLE IRON OR STEEL. CONNECTORS SHALL BE INSULATED THROAT TYPE.
2. DO NOT SCALE DRAWINGS: VERIFY DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF ALL WORK. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL LAYOUT OF ELECTRICAL SYSTEMS.	20. NOT USED.	35. BOXES FOR TELEPHONE, T.V., COMPUTER, WIRING DEVICES, ETC., SHALL BE MINIMUM 4" SQUARE WITH A 3/4" CONDUIT BACK TO NETWORK DEMARKATION.	54. NON-METALLIC AND FLEXIBLE CONDUITS SHALL HAVE A CODE SIZED COPPER GROUNDING CONDUCTOR. INCREASE CONDUIT SIZE AS REQUIRED.
3. WHEREVER THE WORD "PROVIDE" IS USED, IT SHALL MEAN TO "FURNISH AND INSTALL".	21. NOT USED.	36. STEEL TYPE "MC" CABLE #12 AWG AND #10 AWG WITH A FULL SIZED GROUNDING CONDUCTOR MAY BE USED WHERE PERMITTED BY BOTH THE N.E.C. AND LOCAL ORDINANCE, IN THE FOLLOWING APPLICATIONS: 1. IN WALLS FOR HORIZONTAL DEVICE CONNECTION ONLY. HOMERUNS TO PANELBOARDS SHALL BE EMT OR PVC (BELOW GRADE).	55. FIRE ALARM, SOUND, TELEPHONE, COMPUTER, AND SIMILAR SYSTEMS CONDUITS LARGER THAN 1" SHALL HAVE LONG RADIUS SWEEPS (12 TIMES THE DIAMETER).
4. FINAL CONNECTIONS TO EQUIPMENT SHALL BE PER MANUFACTURERS APPROVED WIRING DIAGRAMS, DETAILS AND INSTRUCTIONS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROVIDE MATERIALS AND EQUIPMENT COMPATIBLE WITH EQUIPMENT ACTUALLY SUPPLIED.	22. WIRE SHALL BE COPPER, 75 DEGREES C RATED FOR GENERAL USE, FOR HID FIXTURES AND WIRING WITHIN 3 INCHES OF FLUORESCENT BALLAST WIRE SHALL BE COPPER, MINIMUM 90 DEGREES C RATED. SIZES INDICATED ARE FOR INSTALLATION IN A MAXIMUM 30 DEGREES C AMBIENT. CONDUCTOR AMPACITY SHALL BE DERATED FOR HIGHER AMBIENT INSTALLATIONS. THE CONTRACTOR SHALL INCREASE THE SIZE OF THE CONDUCTOR TO MEET VOLTAGE DROP REQUIREMENTS WHERE FIELD CONDITIONS INCREASE THE CONDUIT RUN LENGTH SUCH THAT THE VOLTAGE DROP IS EFFECTED.	37. RECESSED LIGHT FIXTURES INSTALLED IN GYP. BOARD OR PLASTER CEILINGS SHALL HAVE PLASTER FRAMES INSTALLED PRIOR TO CEILING MATERIAL.	56. CONDUITS PENETRATING THRU ROOF SHALL HAVE FLASHING WITH CAULK TYPE COUNTER FLASHING SLEEVE. INSTALLATION SHALL BE WATERTIGHT.
5. PROVIDE WITH SHOP DRAWING SUBMITTAL, 1/4" SCALE LAYOUT DRAWINGS OF AREAS WITH ELECTRICAL SWITCHGEAR AND TRANSFORMERS. LAYOUT SHALL SHOW LOCATIONS OF AND SHALL BE COORDINATED WITH MECHANICAL EQUIPMENT AND MECHANICAL EQUIPMENT SHALL BE DRAWN TO SCALE.	23. SPLICES IN EXTERIOR PULL BOXES AN MANHOLES SHALL BE MADE WATER PROOF USING "SCOTCHCAST" SPLICE KIT OR APPROVED EQUIVALENT. SEAL ENDS OF CONDUITS AND DUCTS WITH "DUCT SEAL" OR APPROVED EQUIVALENT	38. RECESSED FIXTURES INSTALLED INDOORS SHALL BE THERMALLY PROTECTED.	57. FINAL CONNECTIONS TO MOTORS, TRANSFORMERS AND OTHER VIBRATING EQUIPMENT SHALL BE WITH SEAL TITE FLEX AND APPROVED FITTINGS. DO NOT SECURE CONDUITS, DISCONNECTS OR DEVICES TO DUCTWORK OR MECHANICAL EQUIPMENT.
6. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO ESTABLISH A STANDARD OF QUALITY. THE ENGINEER RESERVES THE RIGHT TO APPROVE METHODS AND MATERIALS NOT REFLECTED HEREIN.	24. ALL EMPTY RACEWAY SYSTEMS SHALL HAVE A #12 PULL WIRE OR EQUIVALENT AND SHALL BE IDENTIFIED AT ALL JUNCTION, PULL AND TERMINATION POINTS, USING PERMANENT METALLIC TAGS. TAG SHALL INDICATE INTENDED USE OF CONDUIT, ORIGINATION AND TERMINATION POINTS OF EACH INDIVIDUAL CONDUIT.	39. FIXTURES RECESSED IN "T-BAR" U.L. FIRE RATED CEILING ASSEMBLIES SHALL BE SUPPORTED INDEPENDENTLY OF THE CEILING SYSTEM, WITH TWO #12 HANGER WIRES UP TO STRUCTURE. SECURE HANGER WIRES TO CORNERS OF FIXTURE. CLIP FIXTURE TO GRID ON TWO SIDES WITH FACTORY-FURNISHED CLIPS. FINAL CONNECTION TO FIXTURE SHALL BE MADE WITH FLEXIBLE U.L. APPROVED ASSEMBLY.	58. WHERE PANELS ARE INSTALLED FLUSH WITH WALLS, EMPTY CONDUITS SHALL BE EXTENDED FROM THE PANEL TO AN ACCESSIBLE SPACE ABOVE OR BELOW. A MINIMUM OF ONE 1/4"C. SHALL BE INSTALLED FOR EVERY THREE SINGLE POLE SPARE CIRCUIT BREAKERS OR SPACES, OR FRACTION THEREOF, BUT NOT LESS THAN TWO CONDUITS. FLUSH MOUNTED PANEL SHALL BE INSTALLED IN 6" WALLS. COORDINATE WITH GENERAL CONTRACTOR.
7. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND SHALL PROVIDE LIGHTS, SWITCHES, RECEPTACLES, TELEPHONE OUTLETS, EQUIPMENT CONNECTIONS, ETC. AND ASSOCIATED CIRCUITING IN NEW AND REMODELED AREAS, EVEN IF SUCH AREAS ARE NOT SHOWN ON THE ELECTRICAL DRAWINGS. LAYOUTS, FIXTURE, TYPES, QUANTITIES AND SPACING SHALL BE IN ACCORDANCE WITH SIMILAR AREAS ON THIS PROJECT. THE CONTRACTOR SHALL INCLUDE COSTS FOR THE ABOVE IN HIS BID. IN ADDITION, THE CONTRACTOR SHALL PROVIDE LAYOUT DRAWINGS FOR WORK IN SUCH AREAS AND SUBMIT FOR APPROVAL PRIOR TO ROUGH-IN.	25. PROVIDE APPROVED FIRE STOPPING MATERIALS AT ALL PENETRATIONS THROUGH FIRE RATED FLOORS AND WALLS TO PREVENT THE PASSAGE OF SMOKE, FIRE TOXIC GAS OR WATER THROUGH THE PENETRATION EITHER BEFORE, DURING OR AFTER A FIRE, AS REQUIRED BY ARTICLE 300, OF THE NEC.	40. NOT USED.	59. ALL ELECTRICAL SYSTEMS COMPONENTS SHALL BE LISTED OR LABELED BY U.L. OR OTHER RECOGNIZED TESTING FACILITIES.
8. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL, STRUCTURAL, MECHANICAL AND OTHER DRAWINGS PRIOR TO BID AND SHALL COORDINATE ALL TRADES TO PROVIDE A COMPLETE, PRODUCT TO AVOID CONFLICTS BETWEEN TRADES, AND TO DETERMINE WHICH TRADE IS TO PERFORM THE NECESSARY WORK. COORDINATION BETWEEN TRADES SHALL INCLUDE LOW VOLTAGE WIRING.	26. PRESENT SHOP DRAWING SUBMITTAL DATA AT ONE TIME, BOUND IN THREE-RING BINDERS, INDEXED IN A NEAT AND ORDERLY MANNER. PARTIAL SUBMITTALS WILL NOT BE ACCEPTED. SUBMITTALS SHALL INCLUDE, BUT NOT BE LIMITED TO: LIGHTING FIXTURES, SWITCHGEAR, PANELBOARDS, WIRING DEVICES, SAFETY SWITCHES, FUSES, MOTOR STARTERS, LAMPS, CONDUIT, CONDUIT FITTINGS AND TRANSFORMERS.	41. SEE DIVISION 15 DRAWINGS FOR LOCATION OF MECHANICAL EQUIPMENT. PROVIDE SERVICE TO AND CONNECT EQUIPMENT AS REQUIRED.	60. WIRE TERMINATION PROVISIONS FOR PANELBOARDS, CIRCUIT BREAKERS, SAFETY SWITCHES, AND ALL OTHER ELECTRICAL APPARATUS SHALL BE LISTED AS SUITABLE FOR 75 DEGREE C.
9. PROVIDE SUBSTITUTIONS OF ELECTRICAL EQUIPMENT OR REQUEST FOR "OR EQUIVALENT" OR "APPROVED EQUIVALENT" LISTING SHALL BE SUBMITTED TO THE ARCHITECT NOT LESS THAN TEN (10) WORKING DAYS PRIOR TO BID. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.	27. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING EQUIPMENT WHICH IS DAMAGED DUE TO INCORRECT FIELD WIRING PROVIDED UNDER THIS SECTION OR FACTORY WIRING IN EQUIPMENT PROVIDED UNDER THIS SECTION.	42. SWITCHBOARDS, (DISTRIBUTION BOARDS), PANELBOARDS, DISCONNECT SWITCHES, MOTOR CONTROL CENTERS, TRANSFORMERS, ETC., INDICATING EQUIPMENT DESIGNATION (OR DESIGNATION OF EQUIPMENT SERVED) AND VOLTAGE.	61. ELECTRICAL CONTRACTOR SHALL PROVIDE CONTROLS, INTERLOCKS, ACCESSORIES, ETC., IN MOTOR CONTROL. STARTERS AS REQUIRED BY THE TEMPERATURE CONTROL. CONTRACTOR, STARTERS SHALL CONTAIN 120V CONTROL, TRANSFORMER, PILOT LIGHT, AND PUSH BUTTONS OR SELECTOR SWITCH AS REQUIRED, IN ADDITION TO OTHER ITEMS (AUXILIARY CONTACTS, DOOR SWITCHES, RELAYS, ETC.) REQUIRED. SUBMIT ELEMENTARY CONTROL DIAGRAMS FOR APPROVAL. SUBMITTALS SHALL INCLUDE INDICATION OF PRIOR REVIEW AND ACCEPTANCE BY TEMPERATURE CONTROL CONTRACTOR. REFER TO DIV. 15 DRAWINGS AND TEMPERATURE CONTROL DIAGRAMS FOR ADDITIONAL CONDUIT, WIRE, RELAYS, TRANSFORMERS, CONNECTIONS, ETC. REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM.
10. WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER TO THE SATISFACTION OF THE ARCHITECT.	28. CONTRACTOR'S FAILURE TO ORDER OR RELEASE ORDER FOR MATERIALS AND/OR EQUIPMENT WILL NOT BE ACCEPTED AS A REASON TO SUBSTITUTE ALTERNATE MATERIAL, EQUIPMENT OR INSTALLATION METHODS.	43. RECEPTACLE AND TELEPHONE OUTLETS AT COUNTER SHALL BE MOUNTED WITH THEIR LONG AXIS HORIZONTAL AT +42" UNLESS NOTED.	62. NOT USED.
11. ALL EQUIPMENT AND MATERIALS PROVIDED SHALL BE NEW AND IN CONFORMANCE WITH APPLICABLE PROVISIONS OF NEMA, ANSI, U.L., ETC AND SHALL BEAR AN APPROVED TESTING AGENCY LABEL, WHERE APPLICABLE.	29. SYSTEMS SHALL BE COMPLETE, OPERABLE AND READY FOR CONTINUOUS OPERATION. LIGHTS, SWITCHES, RECEPTACLES, MOTORS, ETC., SHALL BE CONNECTED AND OPERABLE.	44. NOT USED.	63. PROVIDE EXPANSION FITTINGS IN CONDUIT RUNS CROSSING STRUCTURAL EXPANSION JOINTS.
12. PROVIDE PERMITS AND INSPECTIONS AS REQUIRED.	30. RECEPTACLES WHICH ARE SHOWN WALL MOUNTED ON THE ELECTRICAL DRAWINGS ON WALLS WHICH, ON THE ARCHITECTURAL DRAWINGS AND ELEVATIONS ARE SHOWN AS GLASS OR PARTITIONS, SHALL BE FLUSH FLOOR DUPLEX RECEPTACLES MOUNTED ADJACENT TO BASE OR WALLS.	45. PROVIDE ENGRAVED NAMEPLATES ON SWITCHBOARDS, PANELBOARDS DISCONNECT SWITCHES, MOTOR CONTROL CENTERS, TRANSFORMERS, ETC., INDICATING EQUIPMENT DESIGNATION (OR DESIGNATION OF EQUIPMENT SERVED) AND VOLTAGE.	64. THE LIGHTING HAS BEEN DESIGNED IN ACCORDANCE OF THE STATE OF FLORIDA BUILDING CODE – ENERGY CONSERVATION, SECTION 505 AND 506.
13. GUARANTEE THE INSTALLATION AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE. DEFECTS SHALL BE PROMPTLY REMEDED WITHOUT COST TO THE OWNER.	31. VERIFY EXACT LOCATIONS OF EXISTING AND NEW UNDERGROUND UTILITIES, PIPING AND RACEWAY SYSTEMS PRIOR TO TRENCHING. PROVIDE NECESSARY TRENCHING, BACKFILL, EXCAVATION, SUPPORTS, SERVICE FEEDERS (CONDUIT AND/OR WIRE), PULL BOXES, TRANSFORMER PAD, SAW CUTTING AND PATCHING, CONCRETE/PAVING, ETC., REQUIRED BACKFILL TRENCHED TO 90% COMPACTION AND PATCH TO MATCH EXISTING. CONTRACTOR SHALL OBTAIN AND VERIFY EXACT UTILITY COMPANY DRAWINGS AND REQUIREMENTS.	46. DISCONNECT SWITCHES SHALL BE GENERAL DUTY TYPE. FUSIBLE SWITCHES SHALL ACCEPT GLASS "R" FUSES ONLY AND REJECT ALL OTHERS.	65. VOLTAGE DROP CALCULATIONS ON ALL FEEDERS AND BRANCH CIRCUITS HAVE BEEN PERFORMED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE – ENERGY CONSERVATION, SECTION 505, 505.7.3. THE CONTRACTOR IS RESPONSIBLE TO BE FAMILIAR WITH SECTION 505 AND SHALL UPSIZE THE CONDUCTORS FOR FEEDER AND BRANCH CIRCUITS BASED ON THE ACTUAL ROUTING IN THE FIELD.
14. PROVIDE RECORD DRAWINGS TO THE BUILDING OWNER AND ARCHITECT WITHIN 30 DAYS AFTER SYSTEM ACCEPTANCE, PER FLORIDA BUILDING CODE – ENERGY CONSERVATION, SECTION 505, 505.7.4.2. DRAWINGS SHALL INCLUDE ALL ADDENDUM ITEMS, CHANGE ORDERS, ALTERATIONS, RE-ROUTINGS, ETC.	32. PULL BOXES, CABINETS, ETC., MOUNTED ON THE EXTERIOR AT GRADE LEVEL, SHALL BE WEATHER PROOF TYPE WITH HINGED LOCKABLE COVERS SECURED WITH TAMPER-PROOF SCREWS.	47. PROVIDE TWO (2) SETS OF THREE (3) SPARE FUSES FOR EACH SIZE AND TYPE PROVIDED ON THIS PROJECT. INSTALL FUSES IN A HINGED DOOR, SHEET METAL STORAGE CABINET EQUIPPED WITH CLIPS OR CUBICLES, EACH MARKED WITH THE SIZE AND TYPE FUSE STORED THEREIN. PROVIDE NAMEPLATE "SPARE FUSES".	66. ADDITIONAL NOTES FOR NEW PANELBOARDS: A. PROVIDE LIGHTING AND RECEPTACLE PANELS AS INDICATED ON THE PLANS AND AS SPECIFIED HEREIN. ALL PANELS SHALL BE DEAD FRONT, CIRCUIT BREAKER TYPE, AND SHALL BEAR THE U.L. LABEL AS WELL AS MEET ALL APPLICABLE NEMA REQUIREMENTS. B. UNLESS OTHERWISE NOTED, TOP OF PANELS SHALL BE MOUNTED 6'-0" A.F.F. C. ALL PANELS SHALL HAVE TYPEWRITTEN CIRCUIT DIRECTORIES MOUNTED INSIDE OF DOOR. D. PANELS SHALL BE SUITABLE FOR THE SERVICE RATING AND THE A.I.C. RATING INDICATED ON THE PANEL SCHEDULES. E. ALL BREAKERS SHALL BE FULL SPACE, INDIVIDUAL FRAME TYPE, BOLT-ON E. TYPE. NO "THROU-BACK" OR TANDEM BREAKERS WILL BE PERMITTED. F. CONTRACTOR SHALL PROVIDE ON ALL FLUSH (RECESSED) MOUNTED PANELS TWO (2), SPARE 2" CONDUITS STUBBED INTO THE CEILING SPACE. G. ALL CURRENT CARRYING BUS BARS SHALL BE COPPER.
15. VERIFY EXACT LOCATION OF EQUIPMENT TO BE FURNISHED BY OTHERS PRIOR TO ROUGH-IN. MODIFICATIONS REQUIRED DUE TO LACK OF COORDINATION BY CONTRACTORS, WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.	33. FLUSH FLOOR RECEPTACLE OUTLETS SHALL BE HUBBELL #B-2529 WITH BRASS COVER #5-3725. PROVIDE CARPET OR TILE FLANGE TO MATCH FLOOR FINISH.	48. PROVIDE TWO (2) SETS OF THREE (3) SPARE FUSES FOR EACH SIZE AND TYPE PROVIDED ON THIS PROJECT. INSTALL FUSES IN A HINGED DOOR, SHEET METAL STORAGE CABINET EQUIPPED WITH CLIPS OR CUBICLES, EACH MARKED WITH THE SIZE AND TYPE FUSE STORED THEREIN. PROVIDE NAMEPLATE "SPARE FUSES".	
16. SYSTEMS SHALL BE TESTED FOR PROPER OPERATION. IF TESTS SHOW THAT WORK IS DEFECTIVE, THE CONTRACTOR SHALL MAKE CORRECTIONS NECESSARY AT NO COST TO THE OWNER.	34. FLUSH FLOOR TELEPHONE OUTLETS SHALL BE HUBBELL #B-2529 WITH BRASS COVER #5-2725. PROVIDE CARPET OR TILE FLANGE TO MATCH FLOOR FINISH.	49. DISCONNECT SWITCHES SHALL BE GENERAL DUTY TYPE. FUSIBLE SWITCHES SHALL ACCEPT GLASS "R" FUSES ONLY AND REJECT ALL OTHERS.	
17. THE CONTRACTOR SHALL PROVIDE OPERATING MANUALS TO THE OWNER, PER PER FLORIDA BUILDING CODE – ENERGY CONSERVATION, SECTION 505, 505.7.4.1.		50. PROVIDE TWO (2) SETS OF THREE (3) SPARE FUSES FOR EACH SIZE AND TYPE PROVIDED ON THIS PROJECT. INSTALL FUSES IN A HINGED DOOR, SHEET METAL STORAGE CABINET EQUIPPED WITH CLIPS OR CUBICLES, EACH MARKED WITH THE SIZE AND TYPE FUSE STORED THEREIN. PROVIDE NAMEPLATE "SPARE FUSES".	
18. THE CONTRACTOR SHALL COORDINATE WITH FPL ALL REQUIREMENTS FOR CONDUIT ENTRY AND CABLE TERMINATIONS IN THE UTILITY TRANSFORMER. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO COMMENCEMENT OF WORK.		51. CIRCUIT BREAKERS SHALL BE BOLT-ON TYPE AND FUSES SHALL BE BUSSMANN OR LITLIT FUSE.	
		52. NOT USED.	

ELECTRICAL SYMBOL LIST			
	DIMMER SWITCH – 125V – 1000W – 20 AMP, MOUNT 46" A.F.F. OR AS NOTED		PANELBOARD
	MOTOR RATED "SNAP" SWITCH – 125V – 20 AMP, MOUNT AS NOTED		LOADCENTER
	TIME DELAY WALL SWITCH – 1 POLE – 125V – 20 AMP. MOUNT 46" A.F.F. GREENHECK MODEL "GTD" OR EQUAL		DISTRIBUTION PANEL
	LINE VOLTAGE OCCUPANCY SENSOR SWITCH – 120V-800W-6.7 AMP, MOUNT 46" A.F.F. OR AS NOTED. DUAL TECHNOLOGY		NON-FUSED DISCONNECT SWITCH.
	LINE VOLTAGE OCCUPANCY SENSOR SWITCH – 125V-800W-6 AMP, CEILING MOUNT OR AS NOTED. DUAL TECHNOLOGY		FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER ENCLOSURE.
	LINE VOLTAGE OCCUPANCY SENSOR SWITCH – 125V-800W-6 AMP, CEILING MOUNT OR AS NOTED. DUAL TECHNOLOGY		PUSH BUTTON
	SINGLE RECEPTACLE – 125V – 20 AMP – NEMA 5-20R, MOUNT 15" A.F.F. (STANDARD), 42" A.F.F. Ø COUNTERTOPS OR AS NOTED		WEATHERPROOF
	DUPLEX RECEPTACLE – 125V – 20 AMP – NEMA 5-20R, MOUNT 15" A.F.F. (STANDARD), 42" A.F.F. Ø COUNTERTOPS OR AS NOTED		VAPOR PROOF
	DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTER CIRCUIT. 125V – 20 AMP – NEMA 5-20R		ISOLATED GROUND
	DUPLEX RECEPTACLE WITH SPLIT BUS – TOP HALF ON SWITCH CONTROL 125V – 20 AMP – NEMA 5-20R		NIGHT LIGHT
	DUPLEX RECEPTACLE WITH SPLIT BUS – TWO CIRCUIT WIRING. 125V – 20 AMP – NEMA 5-20R		EMERGENCY
	QUAD RECEPTACLE – 125V – 20 AMP – NEMA 5-20R, MOUNT 15" A.F.F. (STANDARD), 42" A.F.F. Ø COUNTERTOPS OR AS NOTED		ELECTRICAL OVERHEAD SERVICE LINE
	SINGLE RECEPTACLE – 125/250V – 30 AMP – NEMA 10-30R, MOUNT 15" A.F.F. (STANDARD) OR AS NOTED		ELECTRICAL UNDERGROUND SERVICE LINE
	SINGLE RECEPTACLE – 125/250V – 50 AMP – NEMA 10-50R, MOUNT 15" A.F.F. (STANDARD) OR AS NOTED		TELEPHONE SERVICE CONDUIT
	POWER/DATA POLE FOR MODULAR FURNITURE SYSTEMS.		TELE-DATA SERVICE CONDUIT
	JUNCTION BOX RECESSED IN FLOOR.		ELECTRICAL CONDUIT
	JUNCTION BOX MOUNTED ABOVE CEILING.		ELECTRICAL CONDUIT CONCEALED IN WALLS OR IN CONCRETE
	JUNCTION BOX RECESS OR MOUNTED IN WALL.		ELECTRICAL CONDUIT UNDERGROUND
	THERMOSTAT LOCATION, MOUNT 54" A.F.F.		ELECTRICAL CONTROL WIRING
	TELEVISION OUTLET MOUNT 15" A.F.F. OR AS NOTED, PROVIDE CONDUIT IN WALL STUBBED UP 6" INTO CEILING CAVITY. COORDINATE EXACT SIZE OF J-BOX AND CONDUIT WITH CABLING CONTRACTOR.		ELECTRICAL WIRE HOME-RUN, 1ST HASH MARK REPRESENTS THE HOT, SECOND HASH MARK WITH A DOT REPRESENTS THE NEUTRAL, ARC WIRE MARK REPRESENTS THE GROUND
	TELE/DATA OUTLET, MOUNT 15" A.F.F. OR AS NOTED. PROVIDE CONDUIT IN WALL STUBBED UP 6" INTO CEILING CAVITY. COORDINATE EXACT SIZE OF J-BOX AND CONDUIT WITH CABLING CONTRACTOR.		ELECTRICAL WIRE HOME-RUN, HASH MARK'S WITHOUT A DOT REPRESENTS THE NUMBER OF HOTS, HASH MARK WITH A DOT REPRESENTS THE NEUTRAL, ARC WIRE MARK REPRESENTS THE GROUND

ELECTRICAL DRAWING LIST		NOTE
DRAWING	DRAWING NAME	THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.
E-01	ELECTRICAL NOTES AND SYMBOLS	
E-11	SECOND FLOOR ELECTRICAL PLAN	
E-21	SECOND FLOOR LIGHTING PLAN	
E-31	PANEL SCHEDULES	



Architect, Planner and Designer
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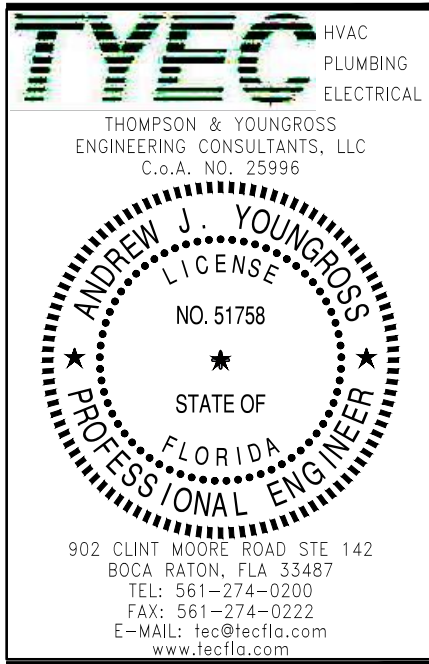
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BIDS

PERMIT 4-14-2022

CONSTRUCTION



PROJECT TITLE

PROPOSED
INTERIOR
RENOVATION

226 PALM COURT
DELRAY BEACH, FL.

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REVISIONS



FILE NUMBER

DRAWING TITLE

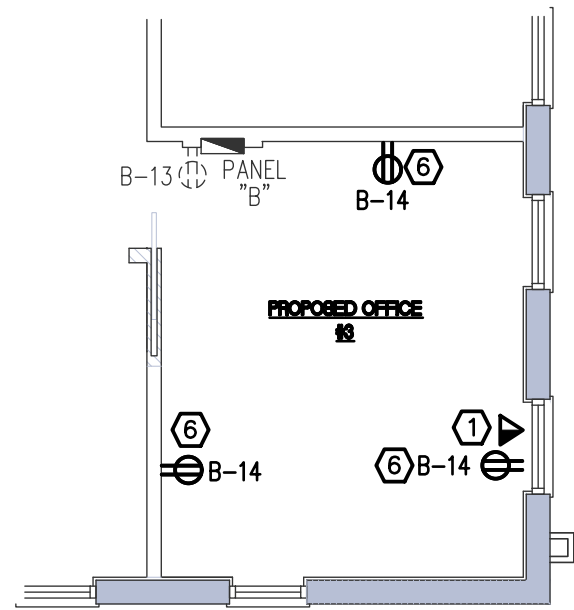
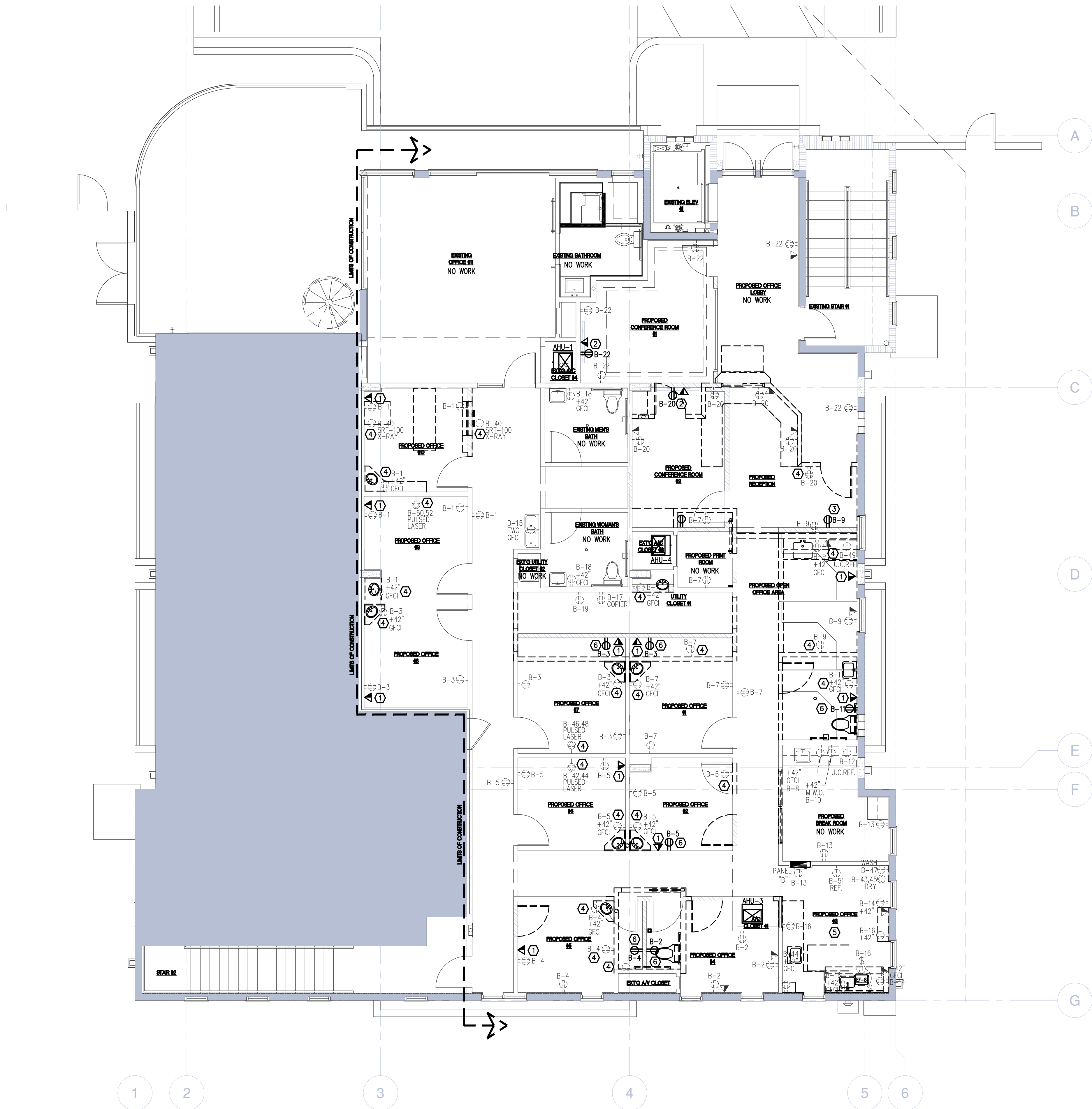
ELECTRICAL
NOTES AND
SYMBOLS

DATE 4-14-2022 DRAWN BY TYEC
JOB NUMBER 20211205 / 22039
DRAWING NUMBER

E-0.1

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PLAN KEY NOTES	
①	PROVIDE A NEW TELE/DATA JUNCTION BOX FOR OWNER/TENANT'S CATS CABLING.
②	PROVIDE NEW POWER AND TELE/DATA RECEPTACLES MOUNTED @ 60" A.F.F. COORDINATE EXACT LOCATION WITH OWNER/TENANT.
③	RELOCATE EXISTING RECEPTACLE AS INDICATED. EXTENDED EXISTING CONDUIT/CONDUCTORS OR PROVIDE NEW AND KEEP CONNECTED TO EXISTING CIRCUIT.
④	REMOVE EXISTING RECEPTACLE, CONDUIT, & CONDUCTORS. TERMINATE CONDUIT ABOVE CEILING FOR ANY FUTURE USE.
⑤	REMOVE ALL POWER AND TELE/DATA RECEPTACLES. REFER TO SEPARATE PLAN FOR NEW LAYOUT OF POWER AND TELE/DATA RECEPTACLES.
⑥	PROVIDE A NEW POWER RECEPTACLE AND CONNECT TO CIRCUIT AS INDICATED.

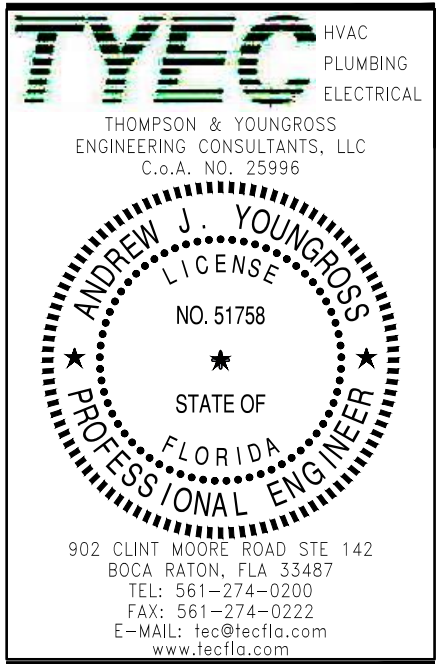
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PROPOSED INTERIOR RENOVATION

**226 PALM COURT
DELRAY BEACH, FL.**

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FILE NUMBER

DRAWING TITLE
SECOND FLOOR ELECTRICAL PLAN

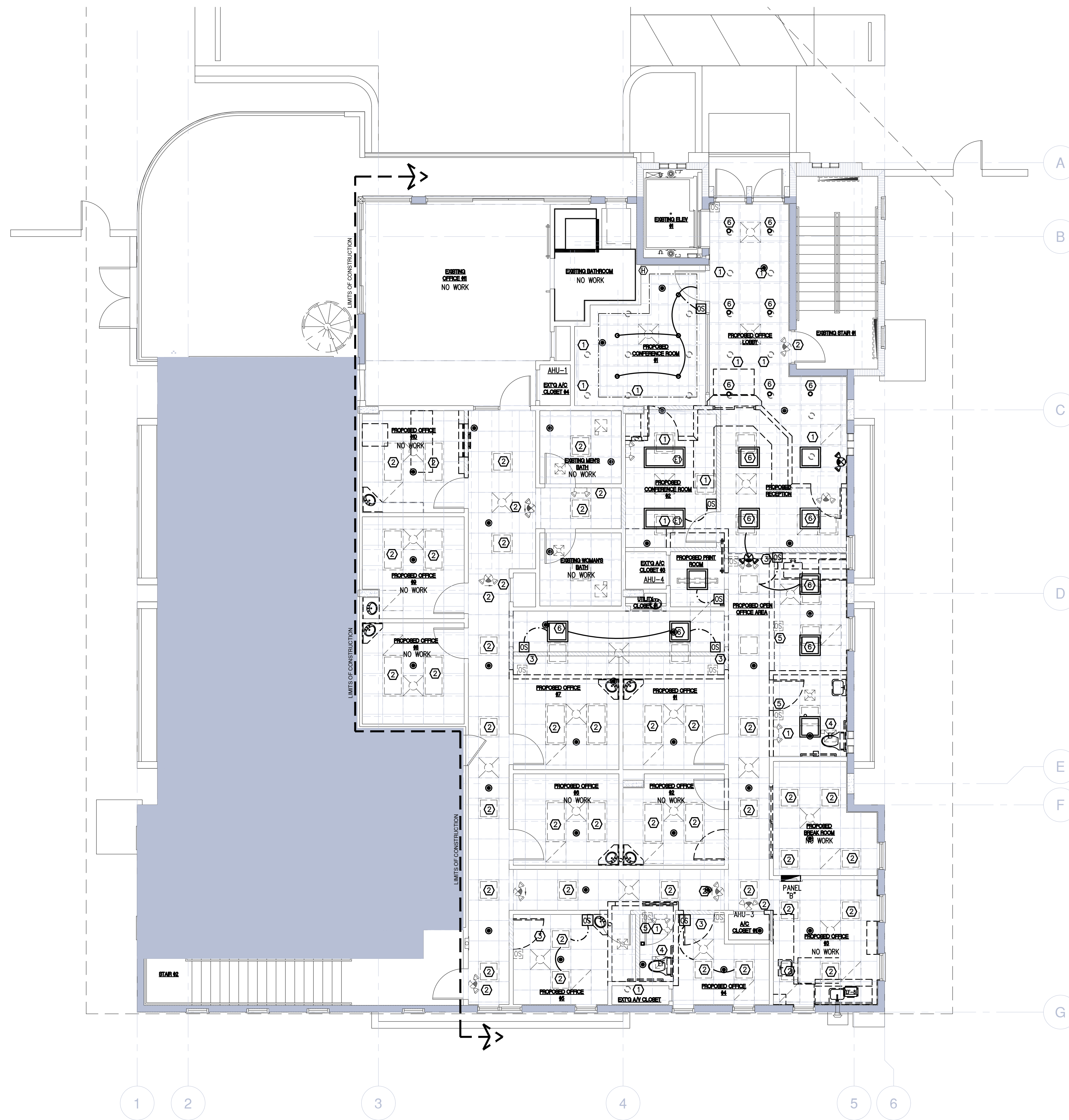
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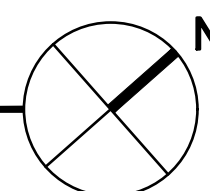
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1 SECOND FLOOR LIGHTING PLAN



PLAN KEY NOTES	
①	EXISTING LIGHTING FIXTURE TO BE REMOVED AND EITHER DISPOSED OF OR RETURNED TO OWNER.
②	EXISTING LIGHTING FIXTURE TO REMAIN 'AS-IS', NO WORK.
③	EXISTING OCCUPANCY SENSOR TO BE RELOCATED AND CONTROL LIGHTING FIXTURES AS INDICATED
④	EXISTING EXHAUST FAN TO BE REMOVED AND REFER TO MECHANICAL PLANS.
⑤	EXISTING OCCUPANCY SENSOR TO BE REMOVED.
⑥	EXISTING LIGHTING FIXTURE TO BE RELOCATED AS INDICATED

NOTE

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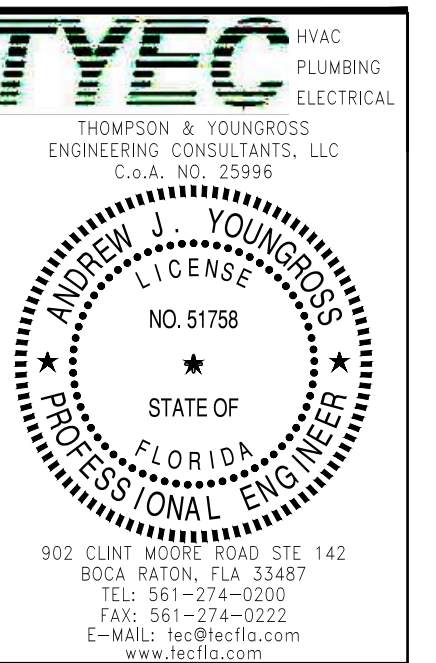
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CONSTRUCTION



PROJECT TITLE

PROPOSED INTERIOR RENOVATION

26 PALM COURT
DELRAY BEACH, FL.

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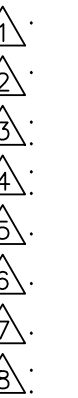


TABLE NUMBER

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SECOND FLOOR LIGHTING PLAN

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E-2.1

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EXISTING PANEL BOARD "B"																																							
BUS (KVA)				LOAD												BUS (KVA)																							
A	B	C		WIRE	GND	COND	AMPS	POLE		POLE	AMPS	GND	COND	WIRE	LOAD	A	B	C																					
1.2				LIGHTING & RECEPTACLES	#12	#12	12"	20	1	1					LIGHTING & RECEPTACLES	1.0																							
	1.2			LIGHTING & RECEPTACLES	#12	#12	12"	20	1	3					LIGHTING & RECEPTACLES		1.0																						
		1.2		LIGHTING & RECEPTACLES	#12	#12	12"	20	1	6					LIGHTING & RECEPTACLES - E-RESTROOM			0.5																					
1.2				LIGHTING & RECEPTACLES	#12	#12	12"	20	1	7					APPLIANCE RECEPTACLE	1.5																							
	1.2			LIGHTING & RECEPTACLES - E-RESTROOM	#12	#12	12"	20	1	9					M.W.O. RECEPTACLE - E-LOUNGE		1.5																						
		1.2		LIGHTING & RECEPTACLES - E-RESTROOM	#12	#12	12"	20	1	11					U.C. REFRIG. RECEPTACLE - E-LOUNGE			1.2																					
1.2				LIGHTING & RECEPTACLES - E-LOUNGE	#12	#12	12"	20	1	13					RECEPTACLES	1.0																							
	1.2			GFO RECEPTACLE - EWC	#12	#12	12"	20	1	15					RECEPTACLES		1.0																						
		1.2		RECEPTACLE - COOPER	#12	#12	12"	20	1	17					LIGHTING & RECEPTACLES - RESTROOM			0.7																					
1.5				RECEPTACLES - WORKSTATION COUNTER	#12	#12	12"	20	1	19					RECEPTACLES - RECEPTION	1.8																							
	1.0			RECEPTACLES - DATA	#12	#12	12"	20	1	21					RECEPTACLES - WAITING		1.2																						
		1.8		GENERAL LIGHTING	#12	#12	12"	20	1	23					GENERAL LIGHTING			1.8																					
				SPARE					1	25					AHU #3 (NON-CONCURRENT)	0.0																							
5.7				PANEL "AC"	#3	#8	112"	100	2	27							0.0																						
	5.7			(NON-CONCURRENT LOADS)					29									0.0																					
2.5				ELECTRIC WATER HEATER (BWH)	#10	#10	12"	30	2	31					AHU #4 (NON-CONCURRENT)		0.0																						
	2.5								33						RECEPTACLES			1.8																					
0.2				HOT WATER RECIRCULATING PUMP	#12	#12	12"	20	1	35					AHU #1 (NON-CONCURRENT)		0.0																						
2.0				STEAM GENERATOR	#10	#10	12"	25	3	37							0.0																						
	2.0								39						NEW SPARE																								
		2.0							41						NEW SPARE																								
				NEW SPARE			12"	30	2	43					NEW SPARE																								
									45																														
1.2				NEW SPARE			12"	20	1	47																													
	1.2			NEW SPARE			12"	25	1	49					NEW SPARE																								
1.0				NEW SPARE			12"	20	1	51																													
				SPARE					53						SPARE																								
									55																														
BUS A 15.4 KVA										BUS B 16.5 KVA										BUS C 12.5 KVA										TOTAL 46.3 KVA									
BUS A 128 AMPS										BUS B 154 AMPS										BUS C 104 AMPS										TOTAL 128 AMPS									
RATED VOLTAGE: <input checked="" type="checkbox"/> 120/208 <input type="checkbox"/> 120/240 <input type="checkbox"/> 277/480 3-PHASE 4-WIRE																																							
RATED AMPS: <input type="checkbox"/> 100 <input checked="" type="checkbox"/> 125 <input type="checkbox"/> 150 <input checked="" type="checkbox"/> 200 <input type="checkbox"/> 250																																							
<input checked="" type="checkbox"/> FULL NEUTRAL BUS <input checked="" type="checkbox"/> GROUND BUS <input type="checkbox"/> HINGED DOOR <input type="checkbox"/> KEVED DOOR LATCH																																							
<input checked="" type="checkbox"/> MAIN LUGS ONLY <input type="checkbox"/> MAIN AMPS <input type="checkbox"/> BREAKER <input type="checkbox"/> FUSED SWITCHED																																							
ALL BREAKERS MUST BE RATED TO INTERRUPT A SHORT CIRCUIT CURRENT OF 10,000 AMPS SYMMETRICAL.																																							
ACCEPTABLE MANUFACTURERS: SQ-D OR APPROVED EQUAL.																																							
NOTE: (1) CONTRACTOR IS RESPONSIBLE FOR "AS-BUILT" COORDINATION.																																							

EXISTING LOAD CENTER "AC" SCHEDULE																			
BUS (KVA)		LOAD		WIRE	GND	COND	AMPS	POLE	BUS		POLE	AMPS	COND	GND	WIRE	LOAD		BUS (KVA)	
A	B								A	B								A	B
		SPARE					20	1	1		2	2	40	3/4"	#10	#8	CU#1		2.7
		SPARE					20	1	2										2.7
		SPARE					20	1	5		5	2	50	3/4"	#10	#8	CU#3	3.9	
		SPARE					20	1	7										3.9
		SPARE					20	1	9		10	2	45	3/4"	#10	#8	CU#4	3.0	
		SPARE					20	1	11		12								3.0
TOTAL KVA		BUS A	9.6 KVA	BUS B	9.6 KVA	CONNECTED KVA		19.2 KVA	TOTAL AMPERIS				BUS A	80.2 AMPS	BUS B	80.2 AMPS	TOTAL	92.5 AMPS	
RATED VOLTAGE:		10/208	20/240	77/480	1-PHASE, 3-WIRE				BRANCH POLES		1	1	1	1	1	1			
RATED AMPS:		10	00	20	00	CABINET:		URFACE		JUSH									
JLL NEUTRAL BUS		GROUND BUS		HINGED DOOR		KEYED DOOR LATCH		ENCLOSURE TYPE: NEMA 3R											
BRANCHES DRIVERS		USED		ROUT BREAKER		§ 5 TO BE GFC BREAKERS													
AN LLIGS ONLY		MAIN		AMPS		REAKER		USED SWITCHED											
ALL BREAKERS MUST BE RATED TO INTERRUPT A SHORT CIRCUIT CURRENT OF 10,000 AMPS SYMMETRICAL.																			
MANUFACTURER AND MODEL NUMBER THAT DESIGN IS BASED ON "SQUARE-D" LOAD CENTER																			
NOTES: (1) CONDENSING UNITS CIRCUIT BREAKERS TO BE HACR TYPE. (2) CONTRACTOR IS RESPONSIBLE FOR "AS-BUILT" COORDINATION.																			

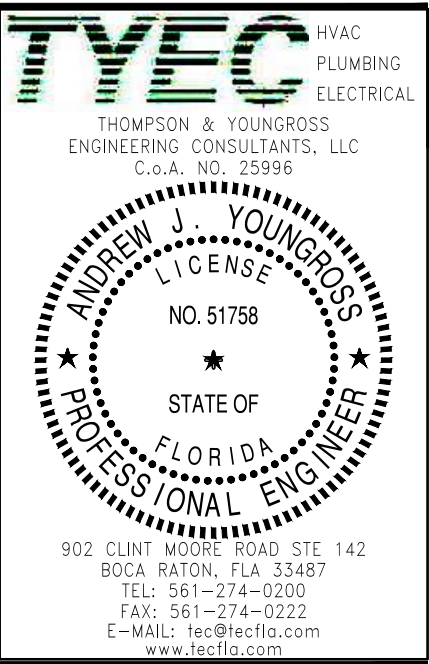
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RENOVATION**

**226 PALM COURT
DELRAY BEACH, FL.**

CLIENT APPROVAL

REVISIONS

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.

FILE NUMBER

DRAWING TITLE

ELECTRICAL
PANEL
SCHEDULES

DATE	DRAWN BY
4-14-2022	TYEC
JOB NUMBER	
20211205 / 22039	
DRAWING NUMBER	

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MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
O.A.	OUTSIDE AIR
O.A.L	OUTSIDE AIR LOUVER
R.A.	RETURN AIR
C.F.M.	CUBIC FEET PER MINUTE
Ⓢ	THERMOSTAT
Ⓡ	REMOTE SMOKE DETECTOR TEST STATION
Ⓢ	HUMIDISTAT
CO2	CARBON DIOXIDE SENSOR
—Ⓢ—	SMOKE DETECTOR
△ CFM	A = DIFFUSER TYPE, CFM = DIFFUSER AIR FLOW
—FD	UL LISTED FIRE DAMPER
—VD	MANUAL VOLUME DAMPER
—MOD	MOTOR OPERATED DAMPER
≡⌵	TWIST-IN COLLAR WITH DAMPER
⊠ ⊠	CEILING DIFFUSER – SUPPLY AIR
⌵—	SIDE-WALL DIFFUSER – SUPPLY AIR
⌵	TURNING VANES
▬▬▬	DUCTWORK
▬▬▬▬	FLEXIBLE DUCT
▬▬▬▬▬	CEILING DIFFUSER – RETURN AIR
⌵—	SIDE-WALL DIFFUSER – RETURN AIR
▨▨▨▨▨	SHEET METAL DUCTWORK – EXHAUST AIR
□	CEILING MOUNTED EXHAUST FAN
—RL—RL—	REFRIGERANT LIQUID LINE
—RS—RS—	REFRIGERANT SUCTION LINE
—COND—	CONDENSATE WATER PIPING

GENERAL DUCTWORK NOTES	
1.	ALL DUCT SIZES SHOWN ARE INSIDE CLEAR DIMENSIONS.
2.	DUCT CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SMACNA HVAC DUCT CONSTRUCTION STANDARD AND DETAILS ON THESE PLANS.
3.	ALL AIR DEVICES (DIFFUSERS, REGISTERS AND GRILLES) SHALL BE ALL ALUMINUM CONSTRUCTION WITH EXPOSED SURFACE OFF WHITE BAKED ENAMEL FINISH OR AS SPECIFIED BY ARCHITECT. PROVIDE OPPOSED BLADE DAMPERS AT ALL DIFFUSERS AND REGISTERS AS INDICATED ON PLANS. PROVIDE BALANCING DAMPERS FOR ALL SUPPLY AND RETURN DIFFUSERS AND REGISTERS TO ENSURE COMPLIANCE AIR FLOW AND WITH FMC–2020 SEC. 601.4 FOR BALANCED RETURN TRANSFER AIR FLOW.
4.	ALL DAMPER CONTROLS SHALL BE ACCESSIBLE.
5.	ALL OUTSIDE AIR DUCTS OR INTAKES SHALL HAVE DAMPERS.
6.	ALL PENETRATIONS OF REQUIRED FIRE RATED WALLS AND CEILINGS SHALL BE WITH AN ACCESSIBLE U.L. LABELED FIRE DAMPER OR WITH A U.L. LISTED FIRE STOPPING SYSTEM INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S LISTED DETAILS AND SPECS.
7.	ALL BRANCH TAKE-OFFS SHALL BE PROVIDED WITH MANUAL VOLUME DAMPERS. PROVIDE RADIUS ELBOWS WHERE FEASIBLE, SQUARE ELBOWS AND TEE'S SHALL BE FURNISHED W/SINGLE FOIL TURNING VANES. PROVIDE MANUAL VOLUME DAMPERS WITH EXTRACTOR AT ALL FLEX TAKE-OFFS. PROVIDE REMOTE, CABLE OPERATED VOLUME DAMPERS IN INACCESSIBLE AND HARD CEILING AREAS, "YOUNG REGULATOR" OR EQUAL.
8.	ALL OUTSIDE AIR DUCTS OR INTAKES SHALL HAVE DAMPERS. BOTH OUTDOOR AIR SUPPLY AND EXHAUST SYSTEMS SHALL BE EQUIPPED WITH DAMPERS THAT WILL AUTOMATICALLY SHUT WHEN THE SYSTEMS OR SPACES SERVED ARE NOT IN USE. VENTILATION OUTSIDE AIR DAMPERS SHALL BE CAPABLE OF AUTOMATICALLY SHUTTING OFF DURING PREOCCUPANCY BUILDING WARMUP, COOLDOWN, AND SETBACK, EXCEPT WHEN VENTILATION REDUCES ENERGY COSTS (E.G., NIGHT PURGE) OR WHEN VENTILATION MUST BE SUPPLIED TO MEET CODE REQUIREMENTS. MOTORIZED DAMPERS SHALL BE NOT LESS THAN A CLASS I LEAKAGE-RATED DAMPER WITH A MAXIMUM LEAKAGE RATE OF 4 CFM PER S.F. AT 1" W.G. WHEN TESTED IN ACCORDANCE WITH AMCA 500D.
9.	SMACNA DUCT PRESSURE CLASSES BASED ON OPERATING PRESSURE ARE: 1/2", 1", 2", 3", 4", 6", AND 10". EACH DUCT SYSTEM SHALL BE CONSTRUCTED FOR THE SPECIFIC DUCT PRESSURE CLASS SHOWN ON PLANS. WHERE NO PRESSURE CLASS IS SPECIFIED FOR CONSTANT VOLUME SYSTEMS, 1" W.G. PRESSURE CLASS IS THE BASIS OF COMPLIANCE WITH THE SMACNA STANDARDS REGARDLESS OF VELOCITY. WHERE NO PRESSURE CLASS IS SPECIFIED FOR VARIABLE VOLUME SYSTEMS, 2" W.G. PRESSURE CLASS IS THE BASIS OF COMPLIANCE WITH THE SMACNA STANDARDS FOR DUCTWORK UPSTREAM OF VAV BOXES. ALL DUCTWORK SHALL BE SEALED TO SMACNA "HVAC DUCT CONSTRUCTION STANDARDS" FOR ITS PRESSURE CLASS SEALING METHODS.
10.	ALL INSULATION WILL HAVE FIRE/SMOKE RATING LESS THAN 25/50.
DUCTWORK NOTES	
1.	ALL AIR CONDITIONING DUCT WORK SHALL BE OF 1" (R–4.2) STANDARD DUTY FOIL REINFORCED FIBERGLASS WITH MANUFACTURER'S LOGO PRINTED ON VAPOR BARRIER ALL FLEXIBLE DUCT TO BE R–4.2 WITH A MAX. TOTAL LENGTH NOT TO EXCEED 15 FT. INSTALL UL LISTED FOR PLENUM, FLEXIBLE DUCTWORK ELBOW SUPPORTS AT EACH DIFFUSER, GRILLE, AND REGISTER EQUAL TO "FLEXRIGHT" BY TITUS OR "FLEXFLOW ELBOW" AS MANUFACTURED BY "THERMAFLEX".
2.	EXPOSED ROUND METAL DUCT WORK SHALL BE SINGLE WALL 24 GAUGE GALVANIZED SHEET METAL OF SPIRAL LOCK SEAM CONSTRUCTION.
3.	ALL EXHAUST DUCTS SHALL BE 26 GAUGE GALVANIZED SHEET METAL WITH SEALED SEAMS AND JOINTS. ALL OUTSIDE AIR DUCT SHALL BE INSULATED WITH EXTERNAL BLANKET INSULATION R–6 MIN. ALL METAL EXHAUST, MAKE-UP OR OTHERWISE DUCTS INSTALLED IN LOCATIONS WHERE DEWPOINT CONDITIONS CAN OCCUR INSIDE THE DUCT SHALL BE EXTERNALLY INSULATED WITH R–6 MIN. AIR INTAKE AND EXHAUST OPENINGS SHALL BE SCREENED WITH A CORROSION RESISTANT MATERIAL PER FMC 2010, TABLE 401.5.

GENERAL HVAC NOTES	
1.	ALL WORK SHALL COMPLY WITH THE 2020 EDITION OF THE FLORIDA MECHANICAL, ENERGY CONSERVATION, ACCESSIBILITY CODES, AND AND ALL LOCAL CODE AMENDMENTS.
2.	CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING, ORDERING, FABRICATION OR INSTALLATION OF MATERIALS OR EQUIPMENT, IN ORDER TO PROVIDE A FULLY INTEGRATED MECHANICAL AND CONTROLS SYSTEMS WITH THE EXISTING ONES. ANY DISCREPANCY BETWEEN EXISTING CONDITIONS AND PLANS, OR ADDITIONAL CLARIFICATION REQUIRED SHALL BE BROUGHT TO THE ATTENTION OF ENGINEER PRIOR TO FINAL BIDDING AND WORK. SUBMISSION OF THE CONTRACTORS PROPOSAL SHALL BE CONSTRUED AS INDICATING SUCH KNOWLEDGE. ANY CHANGES RESULTING FROM CONFLICTS IN THE FIELD, WHICH WERE NOT BROUGHT TO THE ENGINEERS ATTENTION, ARE TO BE MADE BY THIS CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
3.	DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF WORK. MECHANICAL PLANS ARE GENERAL, DIAGRAMMATIC IN NATURE, AND ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, PLUMBING, ELECTRICAL, FIRE SPRINKLER, STRUCTURAL AND INTERIOR DESIGNER PLANS AND SHALL BE CONSIDERED AS ONE SET OF DOCUMENTS. PROVIDE OFFSETS AND DEVIATIONS FROM WORK SHOWN ON THE DRAWINGS AS MAY BE NECESSARY TO FIT ACTUAL SPACE CONDITIONS AT NO ADDITIONAL COST TO THE OWNER. DUCTWORK CHANGES MAY BE MADE BY CONTRACTOR USING EQUIVALENT SIZED DUCT. CONTACT ENGINEER IF DUCT AREA WILL NOT FIT.
4.	CONTRACTOR SHALL PROVIDE A COMPLETE MECHANICAL SYSTEM(S) AS DETAILED ON THE DRAWINGS AND SPECIFICATIONS. WORK CONSISTS OF PROVIDING ALL MATERIALS, EQUIPMENT, APPURTENANCES, ETC. REQUIRED FOR A COMPLETE SYSTEM(S). INCLUDE ANY INCIDENTAL APPARATUS, APPLIANCES, MATERIALS, LABOR, PERMITS, SERVICES, ETC. NECESSARY TO MAKE WORK COMPLETE AND READY FOR OPERATION. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO CALL FOR COMPLETE, FINISHED WORK, TESTED, AND READY FOR OPERATION.
5.	CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING CONFLICTS IN THE DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND REPORTING CONFLICTS TO THE ENGINEER BEFORE BIDDING. ANY CHANGES RESULTING FROM CONFLICTS IN THE FIELD, WHICH WERE NOT BROUGHT TO THE ENGINEERS ATTENTION, ARE TO BE MADE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
6.	CONTRACTOR SHALL GUARANTEE THE INSTALLATION AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE. DEFECTS SHALL BE PROMPTLY REMEDIED WITHOUT COST TO THE OWNER.
7.	CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION AND TESTS. CONTRACTOR SHALL OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO COMMENCEMENT OF WORK OR ORDERING EQUIPMENT. CONTRACTOR SHALL BE PRESENT FOR ALL INSPECTIONS OF HIS WORK BY REGULATORY AUTHORITIES.
8.	CONTRACTOR SHALL PROVIDE RECORD DRAWINGS TO THE BUILDING OWNER AND ARCHITECT. DRAWINGS SHALL INCLUDE ALL ADDENDUM ITEMS, CHANGE ORDERS, ALTERATIONS, REROUTINGS, ETC.
9.	CONTRACTOR SHALL PROVIDE INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
10.	ALL MATERIAL SHALL BE NEW OF U.S. MANUFACTURER OF GOOD QUALITY. ALL WORK SHALL BE PERFORMED AT INDUSTRY STANDARD QUALITY LEVEL BY CERTIFIED PROFESSIONALS. ALL EQUIPMENT SHALL BE UL OR ETL LISTED. ALL INSTALLATIONS SHALL COMPLY WITH FMC 2020, CH. 3, GENERAL REGULATIONS. BUILDINGS LOCATED WITHIN 3,000 FT FROM THE OCEAN SHALL UTILIZE NON-FERROUS MATERIALS FOR ALL OUTDOOR EXPOSED SUPPORTS, STANDS, FASTENERS, ETC.
11.	CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL MECHANICAL EQUIPMENT. CONTROLS AND ACCESSORIES COORDINATED WITH ALL TRADES AT ONE TIME, INDEXED IN A NEAT AND ORDERLY MANNER. PARTIAL SUBMITTALS WILL NOT BE ACCEPTED. CONTRACTOR SHALL NOT ORDER ANY EQUIPMENT WITHOUT APPROVAL FROM ENGINEER, ARCHITECT, OWNER, AND INTERIOR DESIGNER (IF APPLICABLE).
12.	COORDINATE EXACT LOCATION OF ALL DIFFUSERS AND RETURNS WITH ARCHITECTURAL REFLECTED CEILING PLAN.
13.	CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL CONCEALED MECHANICAL EQUIPMENT. PANELS IN RATED WALLS OR CEILINGS MUST MAINTAIN THE SAME RATING AND MUST MATCH THE FINISH OF THE WALL OR CEILING IN WHICH IS INSTALLED.
14.	MATERIALS ALLOWED IN RETURN AIR PLENUMS OR ABOVE CEILINGS USED AS RETURN AIR PLENUM SHALL COMPLY WITH FMC–2020, SECTION 602.2.1. IF SPACE WITH RETURN AIR PLENUM HAS ANY DECK TO DECK PARTITIONS, AIR TRANSFER DUCTS MUST BE INSTALLED. WHEN CPVC PIPING IS USED FOR FIRE SPRINKLER SYSTEMS, THE R/A GRILLES LAYOUT SHALL BE (FIELD) COORDINATED WITH SUCH PIPING SO THAT NO PORTION OF THE GRILLES WILL BE DIRECTLY BELOW THE CPVC PIPING. STUD CAVITIES AND JOIST SPACE PLENUMS SHALL COMPLY WITH FMC–2020, SEC. 602.3.
15.	CONDENSATE DRAIN PIPING TO BE AS SPECIFIED PER PLUMBING PLANS. IF NOT SPECIFIED THEY SHALL BE TYPE "L" COPPER, CPVC OR SCHEDULE 40 PVC WHERE ALLOWED BY CODE. PROVIDE 3/4" THICK AP/ARMAFLEX SS (SELF-SEAL) INSULATION FOR ALL HORIZONTAL ABOVE-GRADE PIPING. PROVIDE APPROVED WATER LEVEL DETECTOR OR FLOAT SWITCH TO AUTOMATICALLY SHUT DOWN THE AIR COND. UNIT, AS A SECONDARY DRAIN SYSTEM TO COMPLY WITH FMC–2020, SEC. 307. SUPPLY CONDENSATE PUMP WHERE NECESSARY AS IMPOSED BY FIELD CONDITIONS OR INSTALLATION CHANGES AND PIPE TO CONDENSATE DRAIN PER PLUMBING PLANS. PVC PIPING EXPOSED TO SUNLIGHT SHALL BE COATED WITH AN ULTRA VIOLET INHIBITING MATERIAL.
16.	RUN INSULATED FIRE RATED CONDENSATE DRAINS AS REQUIRED. AUXILIARY DRAIN PANS SHALL BE INSTALLED UNDER ALL COILS ON WHICH CONDENSATION CAN OCCUR AND UNDER ALL UNITS IN CONCEALED SPACES OR ANY AREA WHERE BLDG. DAMAGE CAN OCCUR AS A RESULT OF AN OVERFLOW, TO COMPLY WITH FBC–2020, SEC. 307.2. AN ALTERNATE WATER–DETECTION LEVEL DEVICE TO SHUT DOWN THE EQUIPMENT IS ACCEPTABLE.
17.	LOCATE THERMOSTATS, TEMPERATURE SENSORS, HUMIDISTATS, AND HUMIDITY SENSORS AS PER A.D.A REQUIREMENTS WHERE APPLICABLE; MAX. 48" ABOVE FINISHED FLOOR HIGH FOR FORWARD REACH, MAX. 54" A.F.F. HIGH FOR SIDE REACH. COORDINATE LOCATIONS WITH OTHER EQUIPMENT, FURNITURE, AND DOOR SWINGS. MECHANICAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR ALL REQUIREMENTS FOR JUNCTION BOXES, CONDUITS, CONTROL WIRING, POWER, ETC. AND DEFINE RESPONSIBILITIES AND SCOPE OF WORK FOR EACH TRADE PRIOR TO PURCHASING/INSTALLATION.
18.	PROVIDE NEW FILTERS FOR ALL AIR CONDITIONING EQUIPMENT BEFORE START–UP, REPLACE PRIOR TO FINAL ACCEPTANCE BY OWNER.
19.	CONTRACTOR SHALL INSTALL SMOKE DETECTORS WITH SERVICE ACCESS DOORS IN RETURN AIR SYSTEMS WITH A DESIGN CAPACITY GREATER THAN 2,000 CFM. IN THE RETURN AIR DUCT OR PLENUM UPSTREAM OF ANY FILTERS, EXHAUST AIR CONNECTIONS, OUTDOOR CONNECTIONS, OR DECONTAMINATION EQUIPMENT AND APPLIANCES AS PER FMC–2020, SEC. 606.2.1. CONTRACTOR SHALL INSTALL SMOKE DETECTORS WHERE MULTIPLE AIR-HANDLING SYSTEMS SHARE A COMMON SUPPLY OR RETURN AIR DUCTS OR PLENUMS WITH A COMBINED DESIGN CAPACITY GREATER THAN 2,000 CFM AS PER FMC–2020, SEC. 606.2.1. FOR SMOKE DETECTORS NOT VISIBLE, IN CONCEALED SPACES, PROVIDE REMOTE ANNUNCIATION/TEST STATION AS REQUIRED BY AUTHORITY HAVING JURISDICTION, COORDINATE PRIOR TO INSTALLATION. DETECTORS SHALL BE BY ONE MANUFACTURER, COORDINATE VOLTAGE ETC. WITH ELECTRICAL CONTRACTOR AND FIRE ALARM SYSTEM BEFORE ORDERING. UPON DETECTION, SMOKE DETECTORS SHUT DOWN ASSOCIATED AIR MOVING EQUIPMENT AND ALL AIR MOVING EQUIPMENT SERVING THAT COMMON PLENUM.
20.	ALL INSTALLED ELECTRICAL DEVICES, ACTUATORS, APPURTENANCES, AUXILIARY EQUIPMENT, ETC. REQUIRING ENVIRONMENTAL PROTECTION SHALL BE PROVIDED WITH ADEQUATE NEMA ENCLOSURES FOR THE CONDITIONS WHERE INSTALLED, WEATHER INDOORS OR OUTDOORS, EVEN IF NOT SPECIFICALLY INDICATED ON PLANS.
21.	MECHANICAL EQUIPMENT ON ROOF OR ELEVATED STRUCTURES SHALL COMPLY WITH FMC–2020 SEC. 306.5 IF INSTALLED HIGHER THAN 16 FEET A.F.F. MECHANICAL EQUIPMENT INSTALLED IN ATTICS SHALL MEET THE REQUIREMENTS OF FMC–2010 SEC. 306.3 IF THE EQUIPMENT CAN NOT BE SERVICED/REMOVED THROUGH REQUIRED OPENING. MECHANICAL EQUIPMENT SHALL BE PROTECTED WITH MECHANICAL BARRIERS IF EXPOSED TO MECHANICAL DAMAGE. ALL EXTERIOR GRADE MOUNTED EQUIPMENT SHALL BE INSTALLED ON 6" CONCRETE PAD.
22.	ALL WIND LOAD AND OTHER COMPLIANCE CALCULATIONS AND/OR INSTALLATION DETAILS FOR ROOF MOUNTED EQUIPMENT AS REQUIRED BY FBC–2020, SEC. 1509, 1522 AND CHAPTER 16, SHALL BE PROVIDED BY STRUCTURAL ENGINEER/ARCHITECT. CONTRACTOR TO PROVIDE WIND LOAD CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER FOR NON PRE-APPROVED CONFIGURATIONS DEVIATING FROM THE ORIGINAL CONSTRUCTION DOCUMENTS.
23.	CONTRACTOR SHALL PATCH AND REPAIR EXISTING ROOFING MATERIAL AS REQUIRED BY AN APPROVED ROOFING CONTRACTOR FOR ROOFING MEMBRANE ORIGINALLY INSTALLED SO AS NOT TO VOID WARRANTY. CONTRACTOR IS TO PROVIDE REQUIRED STRUCTURAL STEEL FRAMEWORK FOR ADDITIONAL SUPPORT. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING A STRUCTURAL ENGINEER FOR SIZING OF STRUCTURAL STEEL FRAMEWORK REQUIRED.
24.	CLEARANCE FOR MAINTENANCE, SERVICE, REPAIRS, AND REPLACEMENT FOR ALL MECHANICAL EQUIPMENT SHALL BE PROVIDED TO COMPLY WITH FMC–2020, SEC. 306. SERVICE ACCESS PANELS FOR MECHANICAL EQUIPMENT IN CONCEALED SPACES SHALL BE PROVIDED TO COMPLY WITH THE REQUIREMENTS OF SEC. 306.
25.	CONTRACTOR SHALL PROVIDE A CERTIFIED TEST & BALANCE REPORT AT COMPLETION OF PROJECT PRIOR TO FINAL INSPECTION. IT SHALL BE DONE BY AN INDEPENDENT COMPANY FOR ALL MECHANICAL EQUIPMENT, AIR DEVICES, DAMPERS, AND ANY AIR MOVING SYSTEMS. THE TEST AND BALANCE REPORT SHALL BE IN ACCORDANCE WITH THE AABC OR NEBB STANDARDS AND PROCEDURES AND SHALL INCLUDE AIR QUANTITIES FOR ALL SUPPLY GRILLES, RETURN GRILLES AND EXHAUST GRILLES AND THE LEAVING AND ENTERING AIR TEMPERATURE (T) FROM SUPPLY GRILLES, EVAPORATORS, ENERGY RECOVERY UNITS AND ANY TYPE OF HEAT EXCHANGERS. CONTRACTOR SHALL INCLUDE COSTS NECESSARY (PART OF BID) TO MAKE ONE CHANGE IN EACH UNITS SHEAVE, BUSHINGS AND BELTS, BALANCING DAMPERS REQUIRED AND ANY OTHER DEVICES REQUIRED FOR THE CORRECT BALANCE OF THE SYSTEM AS REQUIRED BY THE TAB FIRM.
26.	O/A INTAKES SHALL NOT BE TAKEN FROM A LOCATION CLOSER THAN 10 FT FROM ANY CHIMNEY, VENT OUTLET OR SANITARY SEWER VENT OUTLET PER FMC–2020, SEC. 401.4.1. OUTSIDE AIR INTAKE VENTS LOCATED ON ROOFS WILL BE PROPERLY MARKED WITH A UNIVERSAL MARKING "INTAKE", PERMANENTLY ATTACHED.
27.	MECHANICAL EQUIPMENT, APPLIANCES AND SUPPORTS THAT ARE EXPOSED TO WIND SHALL BE DESIGNED AND INSTALLED TO RESIST THE WIND PRESSURES DETERMINED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, BUILDING.
28.	GENERAL CONTRACTOR SHALL VERIFY THAT THE AIR CONDITIONED SPACE IS SEALED WITH AN APPROVED AIR BARRIER IN ACCORDANCE WITH FECC–2020, SEC 402.4.1. MECHANICAL CONTRACTOR SHALL NOTIFY GENERAL CONTRACTOR, ARCHITECT AND ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO INSTALLATION OF ANY EQUIPMENT.

MECHANICAL DRAWING LIST		NOTE
DRAWING NUMBER	DRAWING NAME	THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.
M-01	MECHANICAL NOTES AND LEGEND	
M-11	FIRST FLOOR MECHANICAL PLAN	



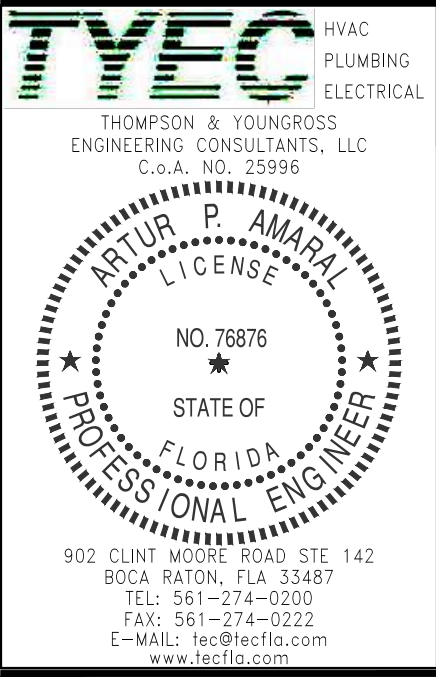
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ISSUED FOR

BIDS

PERMIT 4-14-2022

CONSTRUCTION



PROJECT TITLE

**PROPOSED
INTERIOR
RENOVATION**

CLIENT APPROVAL

REVISIONS

FILE NUMBER

DRAWING TITLE

**MECHANICAL
NOTES
& LEGEND**

DATE 4-14-2022

DRAWN BY TYEC

JOB NUMBER 20211205 / 22039

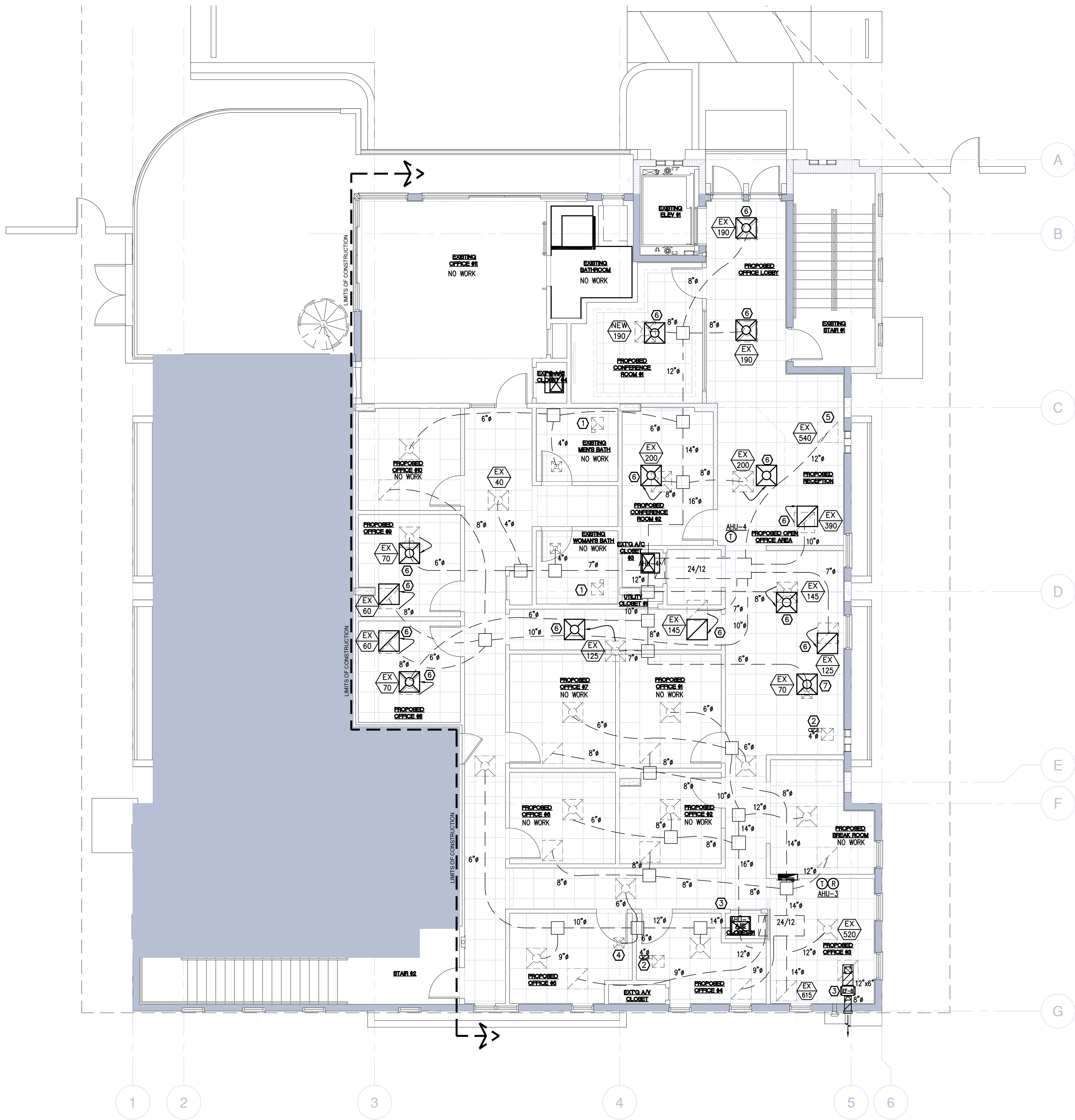
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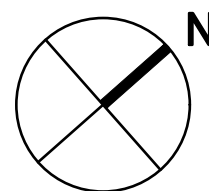
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1 SECOND FLOOR MECHANICAL PLAN
ML2 SCALE : 3/16"=1'-0"



PLAN KEY NOTES	
①	EXISTING EXHAUST FAN TO REMAIN.
②	EXISTING EXHAUST FAN & 4" S.M. DUCT TO BE REMOVED. EXISTING ALUMINUM ROOF CAP TO ALSO BE CAPPED BELOW THE ROOF.
③	EXISTING EXHAUST FAN, RETURN GRILLE, RELATED S.M. DUCT, AND 8" WALL CAP TO BE REMOVED. GENERAL CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR EXTERIOR WALL REPAIR DETAILS.
④	REMOVE EXISTING SUPPLY AIR DIFFUSER, DUCT, AND PATCH DISTRIBUTION BOX.
⑤	CONTRACTOR TO PROVIDE AND INSTALL DRYER BOX MODEL 425 RECESSED IN WALL. REFER TO DETAIL FOR ADDITIONAL INFORMATION. 4" EXHAUST UP TO GREENHECK (O/E) MODEL "RFC-7" ALUMINUM ROOF CAP WITH BIRD SCREEN.
⑥	EXISTING SUPPLY DIFFUSER OR RETURN GRILL TO BE RELOCATED TO ACCOMMODATE NEW CEILING GRID. EXTEND EXISTING OR PROVIDE NEW DUCT-WORK IN ORDER TO PROVIDE THE STATED CFM AIR FLOW.
⑦	PROVIDE A NEW SUPPLY AIR GRILLE AND MATCH EXISTING.

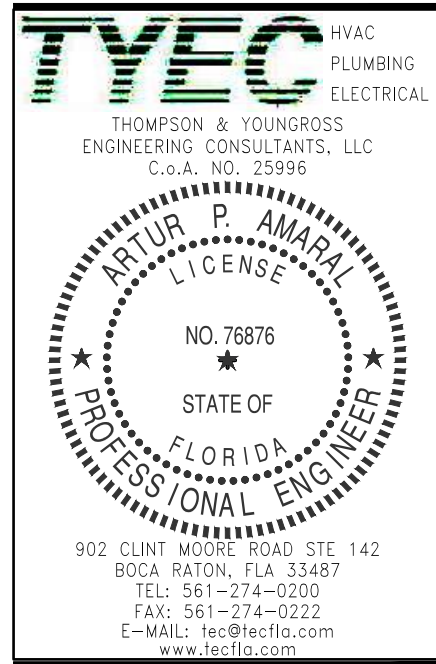
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ISSUED FOR
BIDS
PERMIT 4-14-2022
CONSTRUCTION



PROJECT TITLE
**PROPOSED
INTERIOR
RENOVATION**

**226 PALM COURT
DELRAY BEACH, FL.**

CLIENT APPROVAL

REVISIONS
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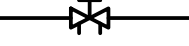




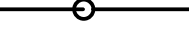
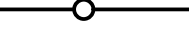








FILE NUMBER

DRAWING TITLE
**SECOND FLOOR
MECHANICAL
PLAN**

DATE 4-14-2022 DRAWN BY TYEC
JOB NUMBER 20211205 / 22039
DRAWING NUMBER

M-1.1

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PLUMBING LEGEND	
C.O.	CLEAN OUT
C.O.T.G.	CLEAN OUT TO GRADE
CW	DOMESTIC COLD WATER
HW	DOMESTIC HOT WATER
HWR	DOMESTIC HOT WATER RETURN
VTR	VENT THRU ROOF
AAV	AIR ADMITTANCE VALVE
DN	DOWN
RWL	RAIN WATER LEADER
SD	STORM DRAIN
V.I.F.	VERIFY IN FIELD
WHA	WATER HAMMER ARRESTER- PDI #
SOV	SHUT-OFF VALVE
U.G.	UNDER GROUND
T.P.	TRAP PRIMER
● CEIL.	PLUMBING LINE ROUTED AT CEILING
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
	BALANCING VALVE
	BALL VALVE
	BALL VALVE IN VERTICAL
	HOSE BIBB WITH VACUUM BREAKER
	WATER HAMMER ARRESTER- PDI #
— —	DOMESTIC COLD WATER PIPING
— —	DOMESTIC HOT WATER PIPING (110°F)
— SD —	STORM DRAIN PIPING
— COND —	CONDENSATE PIPING
— — — — —	VENT PIPING
— — — — —	SANITARY SEWER PIPING
	PIPE DROP DOWN
	PIPE RISER UP
	CAPPED END OF PIPE
	P-TRAP
	CLEAN OUT
	UNION - SCREWED OR FLANGED
	CONDENSATE PIPE SUPPORT
	POINT OF CONNECTION
 FD	FLOOR DRAIN
 RD	ROOF DRAIN

- GENERAL PLUMBING NOTES
1.

ALL WORK SHALL COMPLY WITH THE 2020 EDITION OF THE FLORIDA PLUMBING, ENERGY CONSERVATION, ACCESSIBILITY AND FUEL GAS CODES, AND ALL LOCAL CODE AMENDMENTS.
2.

DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF WORK. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL LAYOUT OF PLUMBING SYSTEMS.
3.

CONTRACTOR SHALL VISIT THE EXISTING SITE (IF APPLICABLE) PRIOR TO BIDDING AND SHALL INVESTIGATE ALL CONDITIONS THAT AFFECT HIS WORK; VERIFY LOCATIONS, SIZES, DIMENSIONS, AND INVERT ELEVATIONS OF ALL ON-SITE SANITARY SEWERS, STORM DRAINS, WATER MAINS AND NATURAL GAS MAINS, AND MAKE CERTAIN THAT ALL CONNECTIONS CAN BE MADE. THE CONTRACTOR SHALL MAKE THE ARCHITECT/ENGINEER AWARE OF ANY CONFLICTS.
4.

CONTRACTOR SHALL REVIEW ARCHITECTURAL, STRUCTURAL, MECHANICAL AND OTHER DRAWINGS PRIOR TO BID AND SHALL COORDINATE ALL TRADES TO PROVIDE A COMPLETE PRODUCT TO AVOID CONFLICTS BETWEEN THE TRADES, AND TO DETERMINE WHICH TRADE IS TO PERFORM THE NECESSARY WORK. RESOLVE ALL QUESTIONS OR CONFLICTS WITH THE ENGINEER BEFORE ANY EQUIPMENT IS ORDERED, MATERIALS FABRICATED OR SYSTEMS INSTALLED. CONSULT THE ARCHITECT'S DRAWINGS FOR ALL GRADE AND FINISH FLOOR ELEVATIONS.
5.

CONTRACTOR SHALL GUARANTEE THE INSTALLATION AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE. DEFECTS SHALL BE PROMPTLY REMEDIED WITHOUT COST TO THE OWNER.
6.

CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION AND TESTS. CONTRACTOR SHALL OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO COMMENCEMENT OF WORK OR ORDERING EQUIPMENT. PLUMBING CONTRACTOR SHALL BE PRESENT FOR ALL INSPECTIONS OF HIS WORK BY REGULATORY AUTHORITIES.
7.

CONTRACTOR SHALL PROVIDE RECORD DRAWINGS TO THE BUILDING OWNER AND ARCHITECT. DRAWINGS SHALL INCLUDE ALL ADDENDUM ITEMS, CHANGE ORDERS, ALTERATIONS, REROUTINGS, ETC.
8.

CONTRACTOR SHALL PROVIDE INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
9.

CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT AT ONE TIME, BOUND IN THREE-RING BINDERS, INDEXED IN A NEAT AND ORDERLY MANNER. PARTIAL SUBMITTALS WILL NOT BE ACCEPTED. PLUMBING CONTRACTOR SHALL NOT ORDER ANY EQUIPMENT WITHOUT APPROVAL FROM PLUMBING ENGINEER, ARCHITECT, OWNER, AND INTERIOR DESIGNER (IF APPLICABLE).
10.

CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL CONCEALED VALVES. ACCESS PANELS IN RATED WALLS OR CEILINGS MUST MAINTAIN THE SAME RATING AND MUST MATCH THE FINISH OF THE WALL OR CEILING IN WHICH IS INSTALLED.
11.

TRENCHING, BACKFILL AND CONCRETE WORK ASSOCIATED WITH PLUMBING SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS.
12.

CONTRACTOR SHALL PROVIDE AND INSTALL ALL SLEEVES THROUGH FLOORS AND WALLS. PIPING THROUGH FLOORS SHALL BE SLEEVED, CAULKED AND FLASHED TO PREVENT LEAKAGE. SEAL ALL WALL PENETRATIONS WATERTIGHT WITH SILICONE CAULKING AND BACKER ROD, OR COVERED WITH ESCUTCHEON PLATES. IT SHALL ALSO BE THE RESPONSIBILITY OF THE PLUMBING SUBCONTRACTOR TO PROVIDE ALL LAYOUT, SLEEVING, CONCRETE CUTTING AND PATCHING, AND CONCRETE COREBORING AS REQUIRED TO COMPLETE ALL OF PLUMBING WORK. ALL LAYOUT OF REQUIRED CONCRETE CUTTING MUST BE APPROVED BY THE GENERAL CONTRACTOR PRIOR TO PLUMBING SUBCONTRACTOR'S EXECUTION OF SAME.
13.

PIPE PENETRATIONS THROUGH FIRE RATED WALLS OR FLOORS SHALL HAVE EQUIVALENTLY RATED SLEEVES AND SHALL BE SEALED AND FIRE CAULKED WITH A UL LISTED FIRE STOPPING SYSTEM INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S LISTED DETAILS AND SPECS.
14.

LAYOUT PIPES TO FALL (CONCEALED) WITHIN PARTITION WALL OR CHASES. NOTIFY ARCHITECT IF ADDITIONAL WALL SPACE IS REQUIRED. COORDINATE PIPE DROP WITH FOOTINGS, STRUCTURAL STEEL, FIRE RATED WALLS, WHICH MAY FALL BELOW PARTITION WALL OR CHASE. MAKE NECESSARY ADJUSTMENT TO PIPING TO AVOID CONFLICT WITH BUILDING OBSTRUCTIONS. CONSULT WITH ARCHITECT AND CONTRACT DOCUMENTS FOR LOCATION OF ALL RATED WALLS, CEILINGS, FLOORS AND ROOF. FURNISH AND INSTALL APPROPRIATE AND APPROVED FIRE BARRIER AT ALL PENETRATIONS. INSTALLATION SHALL BE PER MANUFACTURES SPECIFICATIONS.
15.

NO COMBUSTIBLE MATERIAL TO BE USED IN MECHANICAL ROOM(S) OR IN CEILING SPACE(S) WHERE USED AS RETURN AIR PLENUMS.
16.

NO WATER, SANITARY OR DRAINAGE PIPING PERMITTED IN ELECTRICAL OR ELEVATOR EQUIPMENT ROOMS.
17.

CONTRACTOR SHALL PROVIDE PIPE HANGERS FOR ALL PIPING. HANGER RODS AND DEVICES SHALL BE USED FOR SUPPORT OF ALL PIPING. MAKESHIFT DEVICES WILL NOT BE ACCEPTABLE. HANGER DEVICES SHALL BE SIZED TO FIT AROUND INSULATION. PROVIDE GALVANIZED STEEL SADDLES AS REQUIRED. PIPING SUPPORT SPACING SHALL COMPLY WITH THE FLORIDA PLUMBING CODE-2020.
18.

SANITARY, VENT PIPING AND DOMESTIC WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH SECTION 312 OF THE FLORIDA PLUMBING CODE-2020.
19.

DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS.
20.

IN AREAS OF EXPOSED CMU, ALL PIPING SHALL BE WITHIN CMU WALL. NO EXPOSED PIPING SHALL BE ALLOWED. COORDINATION WITH OTHER TRADES SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR.
21.

MATERIALS AND EQUIPMENT SHALL BE NEW OF AMERICAN MANUFACTURER, FREE OF DEFECTS AND IT SHALL MEET THE REQUIREMENTS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, ASTM & ANSI SPECIFICATIONS WHERE SUCH EXIST, STANDARD AND LOCAL BUILDING CODES, AND SHALL BE SUITABLE FOR THE USE INTENDED.
22.

PLUMBING PIPING SHALL BE LABELED WITH CONTENT DESCRIPTION AND FLOW DIRECTION. REFER TO MARKER PLACEMENT RECOMMENDATION DETAIL FOR FURTHER INFORMATION.

- WATER PIPING SYSTEM NOTES
1.

WATER PIPING SHALL BE:
COPPER PIPING (ABOVE GRADE): ASTM B88, TYPE L, HARD DRAWN.
FITTINGS: (a) SOLDERED:ANSI/ASME B16.23, CAST BRASS OR ANSI/ASME B16.29, WROUGHT COPPER.
(b) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND SMART CONNECT (SC FEATURE).
JOINTS: (a) SOLDERED: ANSI/ASTM B32, LEAD-FREE SOLDER, GRADE 95TA.
(b) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND SMART CONNECT (SC FEATURE).
COPPER PIPING (UNDERGROUND BUILDING EXTERIOR): ASTM B88, TYPE K, HARD DRAWN.
FITTINGS: (a) SOLDERED: ANSI/ASME B16.29, WROUGHT COPPER.
(b) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND SMART CONNECT (SC FEATURE).
JOINTS: (a) SOLDERED: ANSI/ASTM B32, LEAD-FREE SOLDER, GRADE 95TA.
(b) PRESSED: ASME B16.18 OR ASME B16.22, COPPER PRESS FITTING WITH EPDM O-RING AND SMART CONNECT (SC FEATURE).
2.

ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS AND APPROPRIATELY MARKED ACCESS PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
3.

PROVIDE ANGLE STOPS ON ALL WATER SERVICE LINES TO FIXTURES FOR INDIVIDUAL SHUT-OFF.
4.

PROVIDE A WATER HAMMER ARRESTOR ON ALL WATER SUPPLY LINES SERVING FLUSH VALVE PLUMBING FIXTURES, SOLENOID VALVES, ETC. INCLUDING OTHER FIXTURES OR EQUIPMENT WITH QUICK CLOSING VALVES (ICE MAKERS, & DISHWASHERS).
USE SIOUX CHIEF SHOCK ARRESTORS, P.D.I.#A ; 1/2"CONN., P.D.I.#B ; 3/4"CONN. P.D.I.#C ; 1"CONN.. APPROVED FOR INSTALLATION WITH NO ACCESS PANEL REQUIRED. CONFORMS WITH ANSI/ASSE 1010 STANDARDS.
5.

PROVIDE AUTOMATIC TRAP PRIMER ON COLD WATER CONNECTION TO LAVATORY FIXTURE WITH COLD WATER TUBE NO FLOOR DRAIN AUXILIARY INLET FITTING. FLOOR DRAINS IN AREAS WHERE A LAVATORY (TRAP PRIMER) CONNECTION IS NOT AVAILABLE, PROVIDE A TRAP PRIMER DISTRIBUTION UNIT PRECISION PLUMBING PRODUCTS, MODEL PR-500 (OR APPROVED EQUAL) AND A SHUT-OFF VALVE IN ACCESSIBLE AREA.
6.

INSTALL VACUUM BREAKERS ON ALL HOSE BIBBS AND HYDRANTS.
7.

ALL OUTSIDE HOSE BIBBS SHALL BE INSTALLED 2'-0" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
8.

ESCUTCHEONS SHALL BE CHROME PLATED BRASS WITH LOCKING SCREWS WHERE PIPES PASS THROUGH FINISHED WALLS.

- SANITARY, VENT, STORM + CONDENSATE DRAIN SYSTEMS
1.

SANITARY, VENT, STORM DRAIN AND CONDENSATE DRAIN PIPING SHALL BE SOLID WALL SCHEDULE 40 PVC COMPLIANT WITH ASTM D 2685. PROVIDE FIRE WRAPPING FOR ALL PIPING WITHIN RETURN AIR PLENUM. INSTALLATION SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS. PIPING MATERIALS SHALL BEAR LABEL, STAMP, OR OTHER MARKINGS OF SPECIFIED TESTING AGENCY.
2.

ALL CONDENSATE PIPING ABOVE ROOF DECK SHALL BE SCHEDULE 40 PVC WITH NO INSULATION. PVC PIPING EXPOSED TO SUNLIGHT SHALL BE COATED WITH AN ULTRA VIOLET INHIBITING MATERIAL. INSTALLATION SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS.
3.

ALL HORIZONTAL ABOVE GRADE STORM DRAIN PIPING SHALL BE INSULATED WITH 1" THICK AP/ARMAFLEX OR FIBERGLASS PIPE INSULATION.
4.

PROVIDE CHROME PLATED COMBINATION COVER PLATE AND CLEANOUT PLUG OR ACCESS PANEL FOR ALL WALL CLEANOUTS.
5.

MAINTAIN A MINIMUM SLOPE OF 1/4" PER FOOT FOR DRAIN PIPING 2-1/2" OR LESS, AND 1/8" PER FOOT FOR PIPES 3" AND LARGER.
6.

ALL DRAINAGE P-TRAPS FOR SINKS, LAVATORIES, AND WATER COOLERS SHALL BE OF A SLIP-JOINT TYPE.
7.

ALL VENT AND BRANCH VENT PIPES SHALL BE SO GRADED AND CONNECTED AS TO DRAIN BACK TO THE DRAINAGE PIPE BY GRAVITY.
8.

EVERY DRY VENT SHALL RISE VERTICALLY TO A MINIMUM OF 6 INCHES ABOVE THE FLOOD LEVEL RIM OF THE HIGHEST TRAP OR TRAPPED FIXTURE BEING VENTED.
9.

VENT FLASHING AND COUNTER FLASHING SHALL BE COMPATIBLE TO ROOFING SYSTEM.
10.

ALL FLOOR DRAINS SHALL HAVE DEEP SEALTRAP RESEAL FITTINGS.
11.

A CLEANOUT SHALL BE PROVIDED AT THE BASE OF EACH SOIL, WASTE AND STORM STACK.
12.

ALL (VTR'S) VENT THRU ROOF PENETRATIONS INDICATED ON PLANS ARE PRELIMINARY. FINAL LOCATIONS SHALL BE COORDINATED WITH ALL TRADES. ALL VTR'S SHALL BE A MINIMUM OF 10'-0" FROM ALL FRESH AIR INTAKE OPENINGS.

PLUMBING DRAWING LIST		NOTE
DRAWING NUMBER	DRAWING NAME	THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.
P-01	PLUMBING NOTES, SCHEDULES AND LEGEND	
P-11	SECOND FLOOR PLUMBING PLAN	



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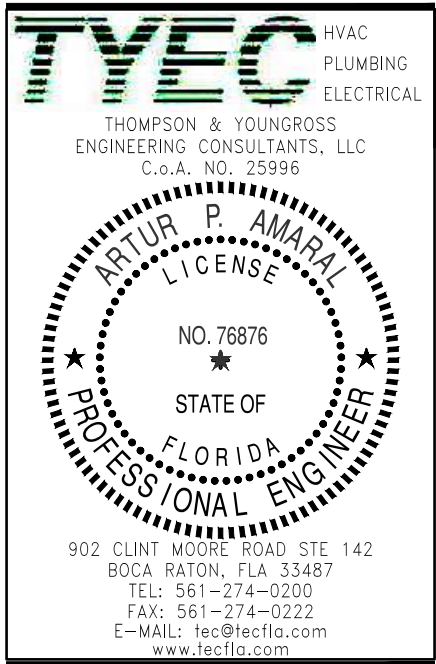
1045 East Atlantic Ave., Suite 303
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ISSUED FOR

BIDS

PERMIT 4-14-2022

CONSTRUCTION



PROJECT TITLE

PROPOSED
INTERIOR
RENOVATION

226 PALM COURT
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS

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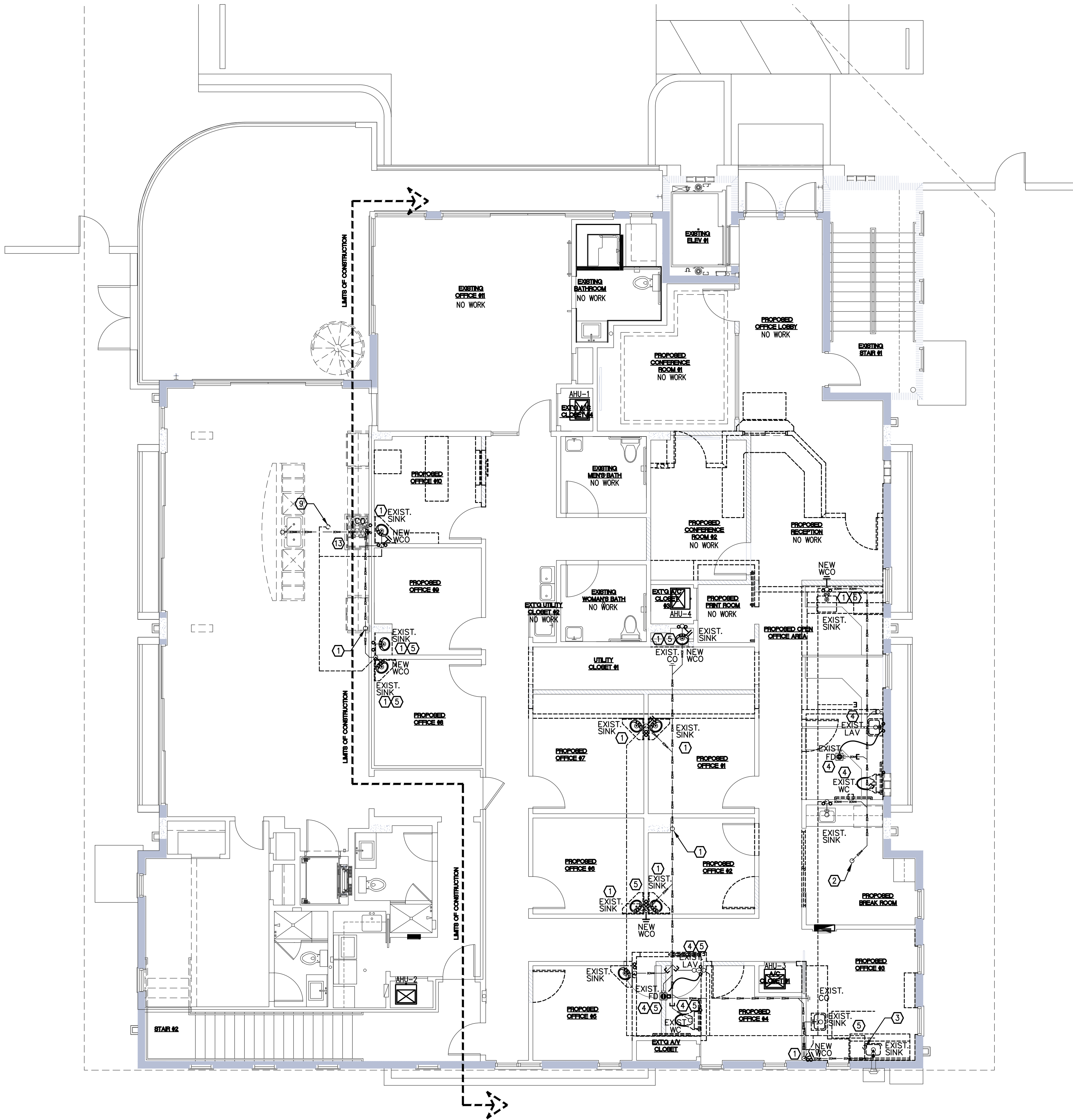
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DRAWING TITLE
PLUMBING
NOTES
SCHEDULES &
LEGEND

DATE 4-14-2022
JOB NUMBER 20211205 / 22039
DRAWING NUMBER

P-0.1

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PLAN KEY NOTES	
①	REMOVE EXISTING SINKS AND PROVIDE A WALL CLEAN-OUT AT SANITARY RISER.
②	EXISTING SANITARY PIPING DOWN TO ROOM BELOW TO REMAIN 'AS-IS'.
③	EXISTING 2" SANITARY VENT PIPING UP TO ROOF TO REMAIN 'AS-IS'.
④	REMOVE EXISTING LAVS, WCs, FDs AND CAP SANITARY PIPING AS INDICATED.
⑤	REMOVE ALL HOT AND COLD WATER PIPING, INCLUDING TRAP PRIMING PIPING; AND CAP PIPING WITHIN THE CEILING CAVITY.

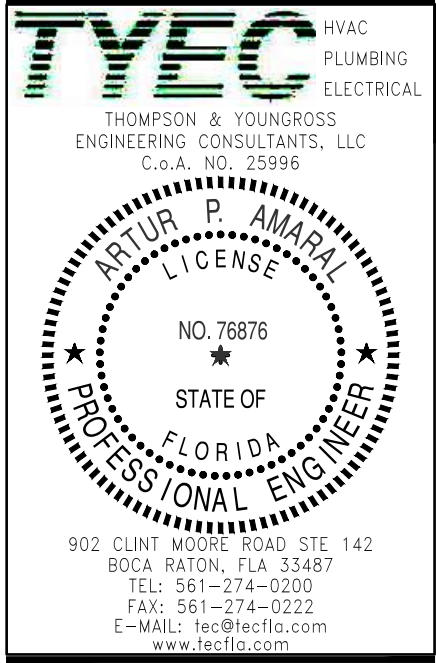
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DELRAY BEACH, FL.**

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FILE NUMBER

DRAWING TITLE
SECOND FLOOR PLUMBING PLAN

DATE 4-14-2022
JOB NUMBER 20211205 / 22039
DRAWING NUMBER

P-1.1

1
P-12
SECOND FLOOR PLUMBING PLAN
SCALE : 3/16"=1'-0"