



Legato

COMMUNITY
DESIGN STANDARDS
& GUIDELINES

OCTOBER 2020

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City Staff Certificate:

Approved by the Department of Community Development of the City of
Commerce City, this 08 day of October, 2020.

A handwritten signature in black ink, appearing to be 'J. R. R.', written over a horizontal line.

Department of Community Development

October, 2020

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LIVE PLAY WORK SHOP {it}

This unique place moves in harmony with the dynamics of its location and the rhythm of its residents. Features include remarkable new homes, a central park, trails and a neighborhood school – all in concert with commercial conveniences in one seamless transition.

Legato





Table of Contents

Design Standards and Guidelines

1.0 LEGATO COMMUNITY PLAN/ OVERVIEW

- 1.0 Community Plan Intent
- 1.1 PUD Community Plan
- 1.2 Illustrative Site Plan

2.0 ADMINISTRATION AND ENFORCEMENT

- 2.1 General Purpose of Design Standards & Guidelines
- 2.2 Administration & Enforcement
 - 2.2.1 Applicability
 - 2.2.2 Design Review Board
 - 2.2.3 Design Review Board Review
- 2.3 Amendment to Design Standards & Guidelines
- 2.4 Alternative Compliance to Design Standards & Guidelines

3.0 COMMUNITY DESIGN INTENT

- 3.1 Principles of Cohesion
 - 3.1.1 Continuity
 - 3.1.2 Scale
 - 3.1.3 Diversity

COMMUNITY DESIGN STANDARDS AND GUIDELINES

4.0 SITE PLANNING STANDARDS AND GUIDELINES

- 4.1 Residential Neighborhoods
 - 4.1.1 Single Family Detached
 - 4.1.2 Single Family Attached
 - 4.1.3 Multi- Family Residential & Vertical Mixed Use
- 4.2 Non-Residential Developments
- 4.3 Standards Applicable to Residential & Non-Residential
- 4.4 Sustainability

5.0 COMMUNITY DESIGN FEATURES

- 5.1 Residential and Non-Residential Design Features
- 5.2 Site Furnishings
- 5.3 Site Shelters, Plazas & Amphitheaters
- 5.4 Site Lighting
- 5.5 Site Fencing, Walls and Screening

6.0 PEDESTRIAN NETWORK AND CONNECTIVITY

- 6.0 Parks, Trails and Open Space Graphic
- 6.1 Neighborhood Connectivity
- 6.2 Parks, Community Focal Points & Neighborhood Features
- 6.3 Pedestrian Circulation Network
 - 6.3.1 Walks
 - 6.3.2 E-470 Greenway Design
 - 6.3.3 Open Space Trail Design
 - 6.3.4 Trail, Sidewalk & Crosswalk Design

7.0 VEHICULAR TRANSPORTATION NETWORK

- 7.1 Vehicular Connectivity
- 7.2 Legato Street Cross Sections
- 7.3 Local Street Name Options

8.0 LANDSCAPE DESIGN STANDARDS

- 8.1 Landscape Design Intent

- 8.2 Plant Material- Shrubs & Turf
- 8.3 Plant Material- Trees
- 8.4 Detention Ponds
- 8.5 Landscape Buffer
- 8.6 Streetscape Design
- 8.7 Streetscape Design Concepts
- 8.8 Specialty Streetscape Design

ARCHITECTURAL STANDARDS AND GUIDELINES

9.0 PRINCIPLES OF COHESIVE ARCHITECTURE

- 9.1 Massing/Scale & Garages
- 9.2 Roofs, Architectural Elements, Doors & Windows
- 9.3 Materials
- 9.4 Decks & Porches

10.0 RESIDENTIAL DESIGN STYLES

- 10.1 Design Styles
- 10.2 Mid-Century Modern
- 10.3 Modern Contemporary
- 10.4 Transitional

11.0 COMMERCIAL DESIGN STYLES

- 11.1 Design Styles
 - 11.1.2 Building Forms & Massing
 - 11.1.3 Entries & Facades
 - 11.1.4 Materials & Colors
 - 11.1.5 Architectural Elements
- 11.2 Commercial Building Types
 - 11.2.1 Multi-Family
 - 11.2.2 Retail
 - 11.2.3 Office
 - 11.2.4 Mixed-Use
 - 11.2.5 Hospitality
 - 11.2.6 Building Forms & Massing

SIGNAGE PROGRAM

12.0 PERMANENT SIGNAGE

- 12.1 Primary Monuments
- 12.2 Secondary Monuments
- 12.3 Tertiary & Park Monuments
- 12.4 Retail/Workplace Directional and Tenant Roster Signage

13.0 TEMPORARY SIGNAGE

- 13.1 Temporary Signage Application
- 13.2 Promotional Signage Application

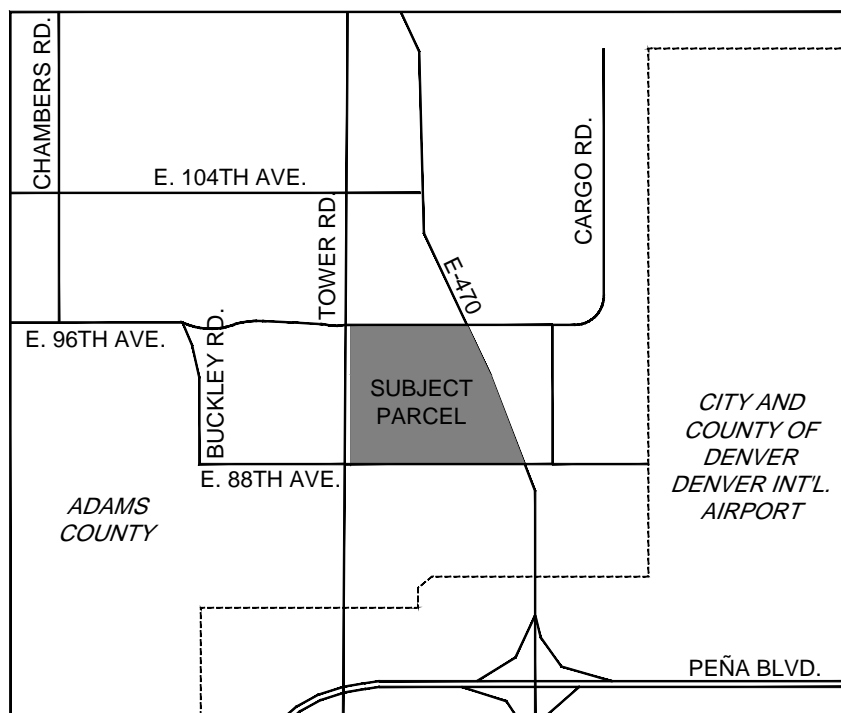
APPENDIX

14.0 APPENDICES

- 14.1 Definitions
- 14.2 LDRB Approval Compliance
- 14.3 Architectural Character Menu
- 14.4 LDRB Checklist



Vicinity Map



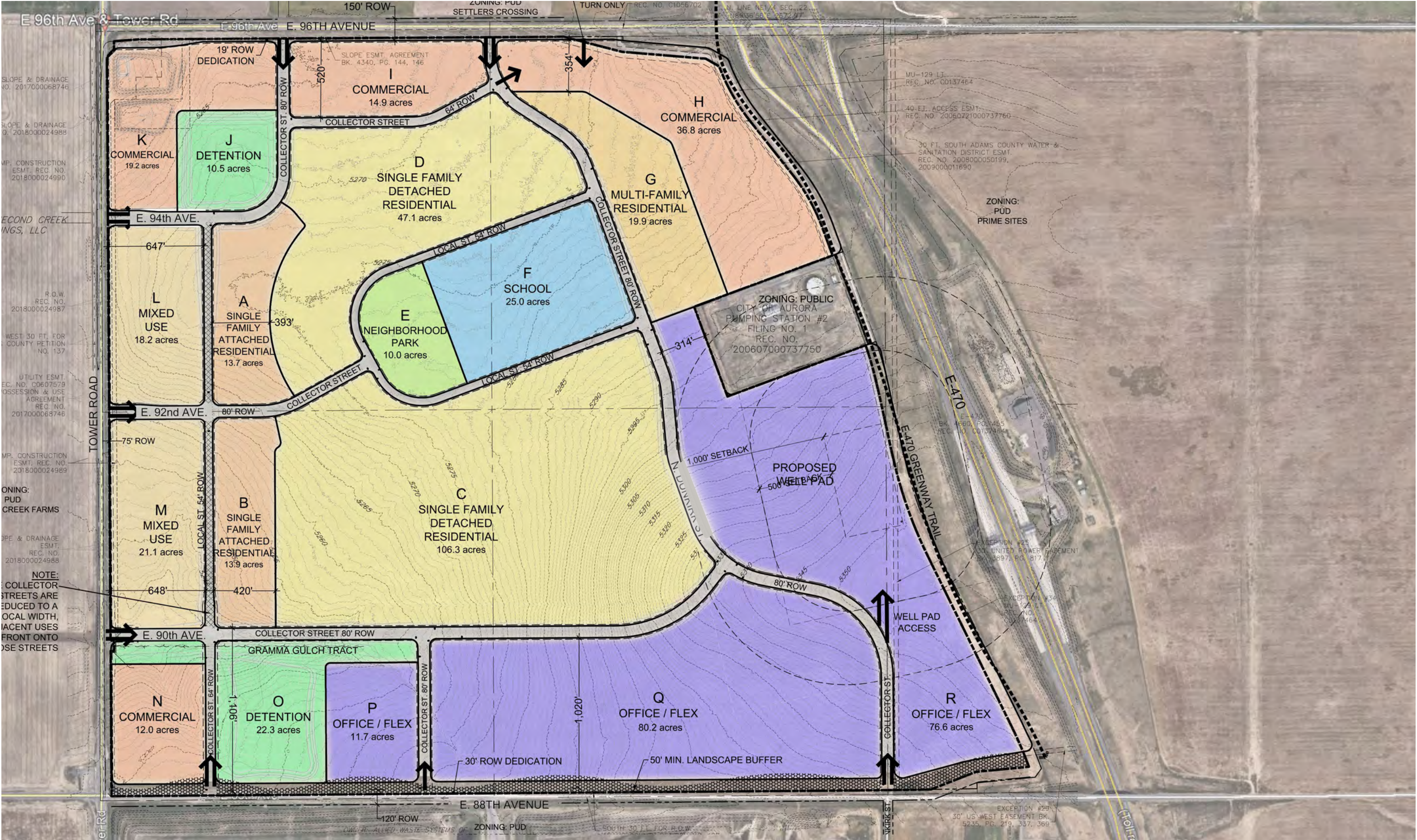
1.0 // Legato Community Plan Intent

- / The intent of Legato is to create a well-planned, cohesive and compatible mixed-use community that takes advantage of its proximity to the Tower Road and E. 96th Avenue arterial roadway corridors, as well as the E-470 regional highway. Easy access to Denver International Airport and the northeastern Denver metropolitan area provides convenience to residents and economic opportunities for retail and service commercial users, employment possibilities, business campuses, warehousing, and light manufacturing companies. The employment center is well positioned geographically with ease of access to attract employers and employees on a regional basis. It is anticipated that the commercial areas will provide goods and services for more local or nearby users.
- / A variety of residential dwelling types are anticipated including single family detached homes, cluster homes, paired homes, single family attached, and multiple family homes. The intent is to provide a range of homes of various sizes and price points for a wide demographic. The housing types will be attractive to young professionals, first time home buyers, and families through all stages of life with the opportunity to move into larger homes within the same community.
- / The dwellings, mixed-use and commercial areas frame a 10-acre neighborhood park and 25-acre school site. Through landscaping, private/pocket parks, internal trails, and detention facilities, each area is connected to the park and school, creating a strong sense of place for families, school children, employees, and employers. Legato is a place where live, work, play, and shop cohesively align to match the surrounding area's exponential growth ensuring advancement for generations to come.

• Single Family Attached	27.6 Acres; 415 Dwelling Units (15.0 DU/Ac)
• Single Family Detached	153.4 Acres; 1,227 Dwelling Units (8.0 DU/Ac)
• Multi-family	19.9 Acres; 796 Dwelling Units (40.0 DU/ Ac)
• Commercial	82.9 Acres; 0.35: 1 FAR
• Mixed Use	39.9 Acres; 1,100 Dwelling Units (1:1 FAR, 40.0 DU/Ac)
• Office/Flex	168.5 Acres; 0.33: 1 FAR
• Detention	32.7 Acres
• Neighborhood Park	10.0 Acres
• School	25.0 Acres
• Right of Way	38.4 Acres
TOTAL	597.7 Acres

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1.1 Legato Community Plan // PUD Community Master Plan



The PUD Zone Document is fully approved by Commerce City.

1.2 Legato Community Plan // Illustrative Site Plan



The PUD Zone Document is fully approved by Commerce City. The illustrative site plan herewith is for discussion purposes only.



Legato

ADMINISTRATION &
ENFORCEMENT

2.0 // Administration and Enforcement

2.1 General Purpose of Design Standards and Guidelines

/ The Legato Design Standards and Guidelines have been created to ensure the development meets the intent of the Commerce City Comprehensive Plan and the Legato PUD Zone Document as well as the intent of the Legato Community. Planning and design considerations related to site planning, architecture, landscaping, and signage have been addressed and incorporated herein to promote the vision of the development as follows:

“A unique place that moves in harmony with the dynamics of its location and the rhythm of its residents. Features include remarkable new homes, a central park, trails and a neighborhood school all in concert with commercial convenience and employment opportunities in seamless transition.”

2.2 Administration and Enforcement

2.2.1 Applicability The Legato Design Standards and Design Guidelines (“Standards and Guidelines”) are incorporated by reference in the Legato PUD Zone Document. The following Standards and Guidelines apply to every development project, including Use by Permit, Conditional Use Permit, and Model Elevation Review within Legato, as well as accessory uses and structures. Provisions outlined in the City of Commerce City (“City”) Land Development Code shall apply unless specified otherwise in the Legato PUD Zone Document and Legato Design Standards and Guidelines.

The Commerce City Land Development Code (“LDC”) may be modified by these Design Standards and Guidelines only to the extent permitted by the Land Development Code and the Legato PUD Zone Document; and to the extent regulations are specifically addressed in these Standards and Guidelines in a manner that directly conflict with the LDC. Nothing in these Standards and Guidelines shall be construed to override the PUD, any development review ordinance, or any code adopted by reference or to grant any vested property rights. In general, the purpose of these Standards and Guidelines is to facilitate the creation of high-quality buildings and outdoor spaces that conform to the stated vision for the development of Legato.

2.2.2 Design Review Board It shall be the primary responsibility of the Legato Design Review Board (“LDRB”) established pursuant to the Covenants. Conditions and Restrictions (CC&Rs) to review, comment and approve plans to ensure compliance with the Standards and Guidelines contained herein. Developers and builders must first submit all plans and reports required by the LDRB as outlined in the CC&Rs and these Design Standards and Guidelines and receive an approval letter prior to submitting an application for a PUD amendment, subdivision plat or PUD Development Permit application to the City of Commerce City.

All proposed development, including architecture and siting requirements, must be approved by the Legato Design Review Board prior to submittal to Commerce City for approval. Confirmation of compliance with Community Design Standards and Guidelines shall be provided in accordance the Checklist provided in the Appendix for LDRB review and approval.

2.2.3 LDRB Review Each area for review by the City and Legato Design Review Board shall be evaluated by the following components:

- A. *Intent*- Intent statements set the goals of the development in Legato. The overall intent of Legato is discussed in the Standards and Guidelines. A specific intent statement is required with each development submitted for review and approval by the LDRB and City. The Standards and Guidelines provide direction as to how the goals as defined in the intent statement may be achieved.
- B. *Standards*- Standards are requirements to provide specific direction based on the stated intent. Standards must be met within each development submitted for review and approval by the LDRB and City.
- C. *Guidelines*- Guidelines provide considerations that promote the goals defined in the intent statements. Meeting the specific guidelines may help in identifying alternative approaches

to meeting standards. Guidelines are strongly considered if there is a request to waive a related standard.

2.3 Amendments to the Design Standards and Guidelines

The LDRB may request approval of an amendment to these Standards and Guidelines. Final approval of any modification to these Standards and Guidelines shall be given only by the Community Development Director of Commerce City. All amendments shall be reviewed and approved based on the following criteria:

- A. Is consistent with the overall intent of the Standards and Guidelines, the City's Comprehensive Plan, project intent for the development and the provisions of the Legato PUD Zone Document.
- B. Is necessary and desirable because of changing social values, new planning concepts or other social or economic conditions. Economic conditions must be substantiated to the satisfaction of the Community Development Director of Commerce City to justify the request for an amendment.
- C. Is substantially compatible with the immediate area.
- D. Will not have a significant adverse effect on the future development of the area.
- E. Will continue to promote the public health, safety and welfare of the people living and working in Commerce City.

2.4 Alternative Compliance to the Design Standards and Guidelines

The Standards and Guidelines provided herein will need to provide both continuity and flexibility into the future. As such, Alternative Compliance may be considered upon support and recommendation by the LDRB for approval by the Commerce City Community Development Director. A request for Alternative Compliance does not require a formal amendment to the Guidelines and Standards or the Legato PUD Zone Document. Approval of the Alternative Compliance shall be based on the following criteria:

- A. Is consistent with the overall intent of the Standards and Guidelines, the City's Comprehensive Plan, project intent for the development and the provisions of the Legato PUD Zone Document.
- B. Is necessary and desirable because of changing social values, new planning concepts or other social or economic conditions. Economic conditions must be substantiated to the satisfaction of the LDRB to justify the request for an alternative compliance.
- C. Is substantially compatible with the immediate area.
- D. Will not have a significant adverse effect on the future development of the area.
- E. Will continue to promote the public health, safety and welfare of the people living and working in Commerce City.
- F. An extraordinary condition or situation exists where the strict enforcement of the Standards and Guidelines will deprive the property of privileges generally enjoyed by property of the same or similar land use within the Legato.
- G. An Alternative Compliance request shall be for a specific lot or development parcel.





3.0 // Community Design Intent

Principles of Cohesion: A Cohesive Community

Legato is dedicated to a collective mission to create a cohesive community, resulting in a compelling resident, employee and visitor experience for generations to come.

Design Intent:

1. To establish a shared vision and a sense of belonging for a broad spectrum of residents and visitors.
2. Provide for diversity in resident's backgrounds, their community experiences and their circumstances, so that all will be appreciated and respectfully valued.
3. Provide for strong and positive relationships between residents, the workforce, the school and within the neighborhoods.



3.1.1- Continuity

The design of Legato is intended to consistently meet ever-changing market demands. This is made possible by the evident continuity of the strategic direction presented in the Legato Design Standards and Guidelines. When continuity is matched with continuous refinement it is mutually reinforcing and always successful.



3.1.2- Scale

The success of the live, work and play community will be based upon carefully designed relationships. These relationships will be scaled and proportioned to relate to each other in a meaningful and harmonic way.

The scale of materials, dimensions, structural and landforms - all enjoying a complimentary physical relationship - will be the governing criteria of our community's cohesive experience.



3.1.3- Diversity

The mission of Legato extends well beyond creating a "mixed-use community". The commitment to create a cohesive community is synonymous with creating a beautiful mosaic. A mosaic of different people, different interests, different uses and different experiences.

Diversity is the art of thinking, living, working and playing independently... together.



Community Design Standards & Guidelines

/ The Legato Design Standards and Guidelines are incorporated as reference to the Legato PUD Zone Document. The Design Standards and Guidelines serve as a document of standards and guidelines that shall be applied to each project within the Legato Community. Each standard uses the term "shall", which denotes regulations or directives that are mandatory and compulsory. The City of Commerce City Land Development Code provisions shall apply unless specified otherwise in the Legato Design Standards and Guidelines.

/ Creating a cohesive, connected community requires a thoughtful, yet flexible approach to the Community Design Guidelines. Each guideline uses the term "should" or "may" to denote that they are considered pertinent to achieving the aesthetic elements and emotive connection among residents and visitors. Achieving these guidelines may help in identifying alternative approaches to meeting standards.



Legato

SITE PLANNING
STANDARDS AND
GUIDELINES

4.0 // Site Planning Standards and Guidelines

4.1 Residential Neighborhoods Intent

All proposed development, including architecture and siting requirements, must be approved by the Legato Design Review Board prior to submittal to Commerce City for approval. Confirmation of compliance with Community Design Standards and Guidelines shall be provided in accordance the Checklist provided in the Appendix for LDRB review and approval.

- / All neighborhoods shall be designed to conform to the policies for subdivision design in the Commerce City Comprehensive Plan and the standards contained within the Commerce City Land Development Code. The following standards are provided to further the design intent of Legato.
- / Residential development within Legato is intended to establish a quality appearance, compatibility of character, variety of design, and enhanced community values.

4.1.1a Single Family Detached Residential and Paired Homes Standards

- A. All homes shall front public streets with a "local street" classification; a green court with alley/private drive access to the rear of the home; or an auto court/private drive that is accessed from a local public street.
- B. Homes backing on a collector or arterial public street shall have a landscape tract with a minimum width of 20-feet separating the rear lot line from the right-of-way of the collector street or arterial street.
- C. Building entries shall be positioned so they are immediately identifiable from the adjacent streets, auto courts, or green court.
- D. In the case of 35-foot wide lots, the depth of the lots are not restricted to three-times the lot width.
- E. Provide a street network and lotting pattern whereas homes side on the school site to reduce traffic impacts generated by school traffic on the home sites. Home sites are not permitted to back on the school.
- F. Provide a street network and lotting pattern whereas homes either front or side on the neighborhood park to maintain "eyes" on the park for added safety.
- G. Single family detached homes are permitted to front or side on the enhanced streetscape for Legato Parkway. The homes are permitted to have a screen style fence of five-feet in height. All lot lines siding on the street are setback a minimum of 80-feet from the back of curb along Legato Parkway.

4.1.1b Single Family Detached Residential and Paired Homes Design Guidelines

- A. In residential districts, blocks lengths should not exceed 600-feet. If the block length is greater, pedestrian and bicycle access corridors with a minimum width of 30-feet shall be provided to minimize travel distance between streets and neighborhoods, parks, schools, primary trails, and collector or arterial streets. These access corridors shall be maintained by the developer/builder, homeowner's association or metro district.
- B. Streets should be designed with a north/south orientation to maximize solar exposure for the homes to the extent possible. However, the design intent of the neighborhood including pedestrian and vehicular connectivity, should not be compromised to achieve the suggested street orientation.

4.1.2a Single Family Attached Residential Standards

- A. The primary entry façade of homes within the Single Family Attached and Mixed-Use Planning Areas shall face the adjacent public streets and Argonne Street located between the Mixed-Use area and the Single Family Attached area. Paralleling access drives, parking and garages are not permitted in the front of the primary façade of the homes.

All homes facing the streets shall have vehicular access from the rear of the home.

- B. Building entries shall be positioned so they are immediately identifiable from the adjacent streets, auto courts, or green courts.
- C. Trash receptacles, air conditioning units, utility pedestals, meters and similar above ground appurtenances shall be screened from view of the adjacent public street by landscaping, a screen fence or landscape wall.
- D. Clear pedestrian access and crossings shall be provided to connect residents within and to the Mixed-Use areas.
- E. Residential within the Mixed-Use areas located within a vertical mix shall meet the Non-Residential Development Standards as specified within the Legato PUD Zone Document. Residential within the Mixed-Use areas within a horizontal mix shall meet the Multiple Family Development Standards within the Legato PUD Zone Document.
- F. Single Family Attached and Residential in the Mixed-Use Planning Areas shall face or side on the enhanced Legato Parkway corridor. Landscaping, street furnishings, and the building design shall embrace the enhanced streetscapes public realm.
- G. Buildings and site features shall be designed to be inviting to the pedestrian through the use of landscaping, low intensity lighting, street furnishing, and hardscape areas. The architecture of the buildings shall relate to human scale by including articulated facades, welcoming entries, glazing, overhangs, and awnings.



4.1.2b Single Family Attached Residential Design Guidelines

- A. The attached homes are encouraged to be rear-loaded with access from the alley.
- B. It is encouraged that auto court and green court homes utilize enhanced paving for the auto court to create a high quality and unique feel, if permitted by Public Works.
- C. Building should be sited and arranged to define both public and private spaces. Public spaces should have open views for surveillance within public areas. Private areas should be defined by the arrangement of landscaping, walkways building edges or low fences to provide privacy.

4.1.3a Multi-Family Residential and Vertical Mixed Use Standards

- A. Building entries shall be positioned so they are immediately identifiable from the adjacent streets, autocourts, or green courts.
- B. Trash enclosures and other service facilities shall be screened from view of the adjacent public street per Commerce City Development and Design Standards.
- C. Clear pedestrian access and crossings shall be provided to connect residents within and to the Mixed-Use areas.

- D. Residential within the Mixed-Use areas located within a vertical mix shall meet the Non-Residential Development Standards as specified within the Legato PUD Zone Document. Residential within the Mixed-Use areas within a horizontal mix shall meet the Multiple Family Development Standards within the Legato PUD Zone Document.

4.1.3b Multi-Family Residential and Vertical Mixed Use Design Guidelines

- A. The development should be designed with a coordinated pedestrian system (sidewalks and/or pedestrian paths) that provides access to the primary entrances to buildings, guest parking, and development amenities.
- B. Sidewalks and walkways should be designed to provide clear sight lines and direct links to the public sidewalk.
- C. Pedestrian scale lighting fixtures should be provided along all sidewalks and walkways to provide ample lighting during nighttime hours.

4.2 Non-Residential Developments Intent

/ Commercial and Office/Flex uses are planned to be located along the major road corridors which flank the edges of Legato. Given the prominent location of these uses, buildings should be well planned and designed to reinforce the project character.

4.2.1a Non-Residential Developments Standards

- A. Buildings shall be designed to enhance the Tower Road, Legato Parkway, and E. 96th Avenue frontage by:
 - Siting primary building facades to Tower Road and E. 96th Avenue.
 - Establish a build-to edge for the buildings.
 - Service areas adjacent to the perimeter street corridors are prohibited.
- B. Clear pedestrian and bicycle access shall be provided.
- C. Building entries shall be positioned so they are immediately identifiable from the interior driveways and/or public streets. Enhanced pedestrian access shall be used from the access drive or parking lot.
- D. Building massing shall be used to screen large surface parking areas from public view.
- E. Human scale elements such as awnings, canopies, and sunshades shall be used on the ground floor.
- F. Multi-lot and multi-building developments shall be designed as a unified project with a sense of place including building orientation.
- G. Commercial pad development shall not be sited to completely obstruct the view of an anchor store.
- H. Drive-through windows and the access lanes serving the window shall not face E. 96th Avenue or Tower Road.
- I. Drive-through lanes shall provide for adequate stacking of multiple vehicles in front of the order board, and between the order area and pick-up window. Areas for stacking of vehicles shall not block vehicular or pedestrian circulation routes.
- J. Building massing and scale shall be provided by variations in heights, variations in setbacks, changes in building form, changes in materials, and fenestration patterns. This shall be evaluated with each development parcel.
- K. A primary entry drive shall be provided to each building or building grouping.
- L. Entry road drives shall provide unobstructed sight-lines for safe entering and exiting movements.

4.2.1b Non-Residential Developments Design Guidelines

- A. LEED certified buildings and other sustainable practices are strongly encouraged.
- B. Where possible, drive-through lanes should be located internally to the project and not adjacent to sidewalks or other public rights-of-way.
- C. Buildings should not place service sides facing residential buildings. If unavoidable, service areas should be screened effectively.
- D. Building forms should be developed to compliment landforms.
- E. Consideration should be given for adjoining site and building to share access, amenities and relationships of form that will create a stronger project identity.
- F. Designated pedestrian connection routes within non- residential areas should be included through widened sidewalk and directional signage to provide access to trail corridors, pocket parks, and residential neighborhoods.

4.3 Standards Applicable to Residential and Non-Residential Developments

4.3.1a Parking Standards

- A. Parking structures in Multi-Family/Mixed Use and Non-Residential Developments shall conceal views of automobiles from public streets and open spaces. A masonry, precast or similar wall at least 42-inches in height shall be provided at ground level where a garage is within 40-feet of a public street or open space (not including E-470). Architectural materials shall compliment the materials used on principal buildings on the site.
- B. Any parking structure detached from the buildings served by the structure shall provide a connecting pedestrian walk that is incorporated into the surrounding landscape and open space.
- C. Non-Residential Developments shall provide parking along the side or rear yards, while the main entrance faces the right-of-way, rather than an internal access drive. However, if spacing and/or unique situations are present, parking may be provided in the front of Non-Residential Developments.
- D. Shared parking lots are encouraged. If proposed, comprehensive shared parking strategies that minimize redundant access and maximize open space and landscaping shall be provided. A Shared Parking Plan shall be submitted with the PUD Development Permit. Shared parking is permitted for multiple structures on the same development parcel in non-residential and mixed-use areas.
- E. Vehicular circulation on-site shall be clearly organized to facilitate movement into and throughout parking areas. Parking drive lanes and intersections shall align whenever practicable. On-site intersection shall be located to preclude stacking of vehicle across intersections and onto public streets.
- F. Pedestrian crossing of drive aisles shall be clearly marked with signage, special paving, special landscaping, striping or other acceptable methods.

4.4 Sustainability Intent

/ Sustainability practices are strongly encouraged and should incorporate many of the following principles:

4.4.1a Sustainability Guidelines

- A. Minimize environmental and city infrastructure impacts through careful selection of materials, building siting, use of alternative energy sources, and stormwater management techniques.
- B. Semi-pervious paving materials, such as permeable pavers, porous asphalt or porous

concrete, are encouraged for private streets, sidewalks, driveways, and off-street parking so as to permit natural percolation of water. Such materials shall be installed and maintained in accordance with industry and manufacturer standards. The semi-pervious parking shall be reviewed and approved by Commerce City Public Works.

- C. To the maximum extent practicable, new buildings are encouraged to incorporate one or more of the following features:
 - i. Low Impact Development (LID) stormwater management features; designed for on site stormwater mitigation through low impact development techniques as approved by the City.
 - ii. Energy-efficient materials, including recycled materials that meet the requirements of these Guidelines.
 - iii. Alternative energy systems such as solar and geothermal are encouraged and should be placed in a manner that limits negative visual impacts when viewed from adjacent property or the public rights-of-way.
- D. Preferred parking for Green Vehicles.
- E. Recycling facilities.
- F. Low-flow plumbing fixtures.
- G. Energy Star appliances.
- H. Energy Star, compact florescent or LED light fixtures.
- I. Minimize construction waste and establish construction waste recycling programs and facilities.
- J. Orient structures to maximize heating and cooling efficiencies.



Legato

COMMUNITY DESIGN
FEATURES

5.0 // Community Design Features

5.1 Residential and Non-Residential Design Features

/ All neighborhoods shall be designed to conform to the policies for subdivision design in the Commerce City Comprehensive Plan and the standards contained within the Commerce City Land Development Code. The following standards are provided to further the design intent of Legato.

5.2 Site Furnishings Intent

/ Site furnishings shall enhance the pedestrian experience, create a unifying aesthetic, and help create a safe and appealing place that contributes to a livable environment. The standard furnishings included in this document provide the baseline requirement.

5.2.1a Design Standards

- A. Street furnishings shall be placed such that the public right-of-way remains clear and safe for pedestrians.
- B. Street furnishings and dining areas shall not impede ADA access.
- C. Plastic, resin, vinyl, and raw metal materials are prohibited for street furnishings. Refer to Design Guidelines below for list of preferred materials for street furnishings.
- D. Outdoor dining enclosures shall be decorative in nature and should be at least 50% transparent. Accepted materials include wrought iron, painted metal, wood, and high-quality fabric. Solid masonry walls that are outside the public right-of-way are allowed.
- E. Site furnishings including benches, trash receptacles, bike racks, planters, tree grates, etc. shall be consistent throughout Legato. The palette provided in this document shall be used to create a unifying character.
- F. Freestanding planters and pots are allowed, but shall not exceed 42-inches in height.
- G. If umbrellas are used, vinyl and plastic materials are prohibited. Umbrella stands should be cast aluminum, wrought iron, or fabricated steel.
- H. Site furnishings shall not be placed within 2 feet of back of curb along public or private streets.

5.2.1b Design Guidelines

- A. Benches and planters should be placed against a building wall in order to promote easy pedestrian movement along the sidewalk.
- B. Social arrangements of benches (facing, on corners, etc.) are encouraged to help create livable "outdoor rooms".
- C. Consider ease of access and potential for pedestrian/bicycle conflicts when placing bike racks or other furnishings.
- D. Public art is encouraged and shall be reviewed and approved by the LDRB. Public art creates a unique sense of place by reflecting and revealing society, enhancing meaning to civic spaces and adding uniqueness to whatever space it is in.

5.2.2a Specific Site Furnishings Standards

- A. The following site furnishings shall be provided. Any alternates shall be approved by the LDRB.
- B. Colors may vary by neighborhood or non-residential development. However, Legato's established primary and/or secondary colors shall be used.

5.2.2 Site Furnishings

Standard Site Bench

Manufacturer: DuMor
 Product: Bench 500, Bench 501
 Model Number: 500-60HS, 501-60HSNA
 Size: 6'
 Material: Powder Coated Steel
 Color: Refer to image below



Standard Trash Receptacle

Manufacturer: DuMor
 Product: Receptacle 502
 Model Number: 502-32HS- BT
 Size: Standard
 Material: Powder Coated Steel
 Color: Refer to image below



Site Picnic Table

Manufacturer: DuMor
 Product: Table 299
 Model Number: 299-60HS/S-2; 299-60-1PL/S-2
 Size: Standard
 Material: Powder Coated Steel
 Color: Refer to image below



Standard Bike Rack

Manufacturer: DuMor
 Product: Bike Rack 293
 Model Number: 293-00/S-2
 Size: Standard
 Material: Powder Coated Steel
 Color: Refer to adjacent image.

DuMor Primary Colors



DuMor Secondary Colors



Streetscape Planter I

Manufacturer: DuMor
 Product: Planter 440
 Model Number: 400-17x17S, 400-17x32S
 Size: Standard
 Material: Powder Coated Steel
 Color: Only Textured Powder Coat Options



Streetscape Planter II

Manufacturer: Tournesol
 Product: The Wilshire Collection
 Model Number: WR-all types permitted
 Size: Varies
 Material: FRP Fiberglass
 Color: Tier 1 Colors



5.3 Site Shelters, Plazas and Amphitheaters

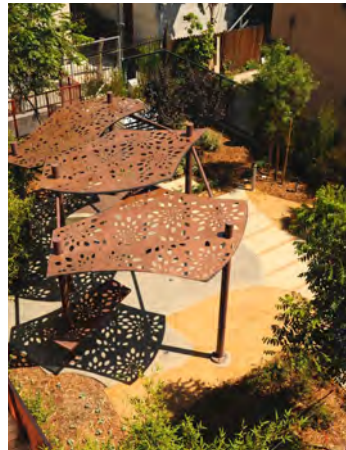
5.3.1 Site Furnishings Intent

/ All shelters, plaza types and amphitheaters shall be attractive, easy to maintain, and enhance the identity of the neighborhood, reflecting the surrounding architecture and streetscape furniture. Shelters, plazas, and amphitheater styles shall be designed at a further date in conjunction with the developer. All designs to reflect the imagery examples below.

5.3.1a Design Standards- Shelters

- A. Shelters shall be constructed of durable materials such as wood and metal. Masonry may be used as a base material.
- B. Each shelter throughout Legato shall be unique to enhance the space.
- C. Shelters shall typically be placed on a hard surface base for accessibility.
- D. At least a portion of each shelter shall provide shade for the user.
- E. Down cast lighting shall be provided for safety and to limit vandalism.

5.3.1b Design Guidelines- Shelters Concepts



5.3.2a Design Standards- Plazas

- A. Plazas shall be provided in parks, the commercial areas and key focal points within Legato.
- B. The plazas shall be designed to encourage social interaction with site furniture including benches, bike racks, and outdoor games where appropriate.
- C. Plazas shall have landscaping or planters to enhance the space.

5.3.2b Design Guidelines- Plaza Concepts



5.3.3a Design Standards- Amphitheaters

- A. At least one amphitheater shall be provided within Legato. The natural location is within the Office/ Flex planning area where natural topography enables such a facility.
- B. The amphitheater shall be incorporated into a public park space that ties into the pedestrian network.
- C. The amphitheater shall be located where access is easy for both residents and employees without nuisance noise and light.

5.3.3b Design Guidelines- Amphitheater Concepts



5.4 Site Lighting

5.4.1 Site Lighting Intent

/ Lighting furnishings shall be appealing, energy-efficient, and made of durable materials and strengthen the identity of the neighborhood. Lighting within Legato shall comply with the LDC with the following modifications and clarifications. The standard light fixtures included in this document provide the baseline requirement. A developer may elect to upgrade to premium light fixtures if desired.

5.4.1a Design Standards

- A. Pedestrians walkways shall be illuminated with a minimum maintained one-foot candle of light and not to exceed four-foot candles of light.
- B. Downcast lighting shall be provided in residential areas.
- C. Care shall be taken to ensure all source colors and illumination levels are consistent throughout the development for each light type: parking, street, and pedestrian.
- D. High quality, long lasting, LED lights shall be used. Metal halide luminaries are not accepted.
- E. Light poles can be placed within an intersection's sight triangle.
- F. Bollard style lighting shall be provided in key locations along the open space and trail corridors

5.4.1b Design Guidelines

- A. Street and pedestrian lights should be consistent throughout Legato
- B. Festival/Catenary lighting is encouraged on private property. String style festival bulbs are exempt from the shielding requirements of the LDC and should be used only in the areas defined as parks, plazas, focal points, and high impact areas.

5.4 Site Lighting Concepts

Street/Area Lighting



Area/ Pedestrian Lighting



Path/ Accent Lighting



5.5 Site Fencing, Walls and Screening

5.5.1 Fencing, Walls and Screening Intent

- A. All fencing, walls and screening within Legato shall comply with Commerce City Land Development Code with the following modifications:

5.5.1a Design Standards

- A. The following fencing types are *not permitted* within Residential Areas:

- Vinyl/PVC pickets
- Split rail fences
- Chain link
- Untreated CMU block



- B. The following fencing types are *not permitted* within Non-Residential Areas:

- Vinyl/PVC pickets
- Split rail fences
- Untreated CMU block

*Chain link fencing shall not be used for screening purposes or along major corridors, such as 88th, 96th Avenue, Tower Road or E-470.

- C. Screen walls or fences shall be used to obscure parking and utility areas from public view shall be made from materials and colors compatible with the surrounding buildings. Perimeter parking screen walls shall not obstruct required sight triangles.
- D. The maximum height of any fence or wall shall be six (6) feet in height.
- E. Perimeter screen fences are not permitted adjacent to E. 96th Avenue; Tower Road, and E. 88th Avenue.
- F. Perimeter screen fences and walls located at the rear or side lot line adjacent to arterial and collector street shall be of a consistent design, height, and stain color. Masonry columns a minimum of 2-feet square, shall be provided at an interval of approximately 75-feet, but may be adjusted to coincide with lot corners and changes in angles of the fence. The column may exceed the height of the fence at a maximum of 1-foot, unless a greater column height is required when the fence steps to accommodate changes in grade.
- G. The perimeter screen fence shall be placed along the rear or side lot line adjacent to the collector or arterial street. A break in the perimeter screen fence shall be provided at open space tracts as illustrated on the following fencing diagram. The fence height shall transition to the 42-inch high open rail fence required along open space tracts.
- H. When fencing is situated in areas with grades, the fence or wall shall step with the grade rather than paralleling the grade.
- I. Fencing and walls shall be double sided if easily viewed from adjacent collector and arterial roads, and public areas.
- J. Fencing in Single Family Detached areas shall have open rail fencing with a maximum height of 42-inch when adjacent to parks and open space corridors. A wire mesh grid may be provided on the lot side of the fence for pet enclosure.
- K. Screen (opaque) fencing with a maximum height of six (6) feet may be provided along internal rear and side lot lines. A complementary fence may be provided as the front "wing" fence between homes. The wing fence shall be placed at least two (2) feet from the most forward facade of the structure.
- L. A transition in fence shall be provided between fences of different heights.
- M. Fencing shall be consistent throughout a filing, neighborhood or non-residential development.
- N. Corner side yard screen fencing adjacent to a local street public right-of-way shall be a maximum of 5-feet in height. The screen fence shall be setback from the sidewalk a minimum of 30-inches.

Residential Screen Fence
5 or 6-feet in Height



Semi-screen Fence 5-feet
in Height



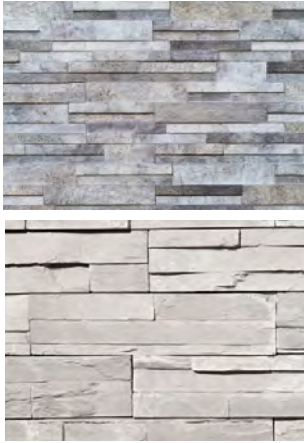
Masonry Column



Three Rail Fence



Retaining Wall &/or Screening Concepts



Community Fence Plan





Legato

NEIGHBORHOOD
CONNECTIVITY

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6.0 Legato Community Plan // Parks, Trails & Open Space



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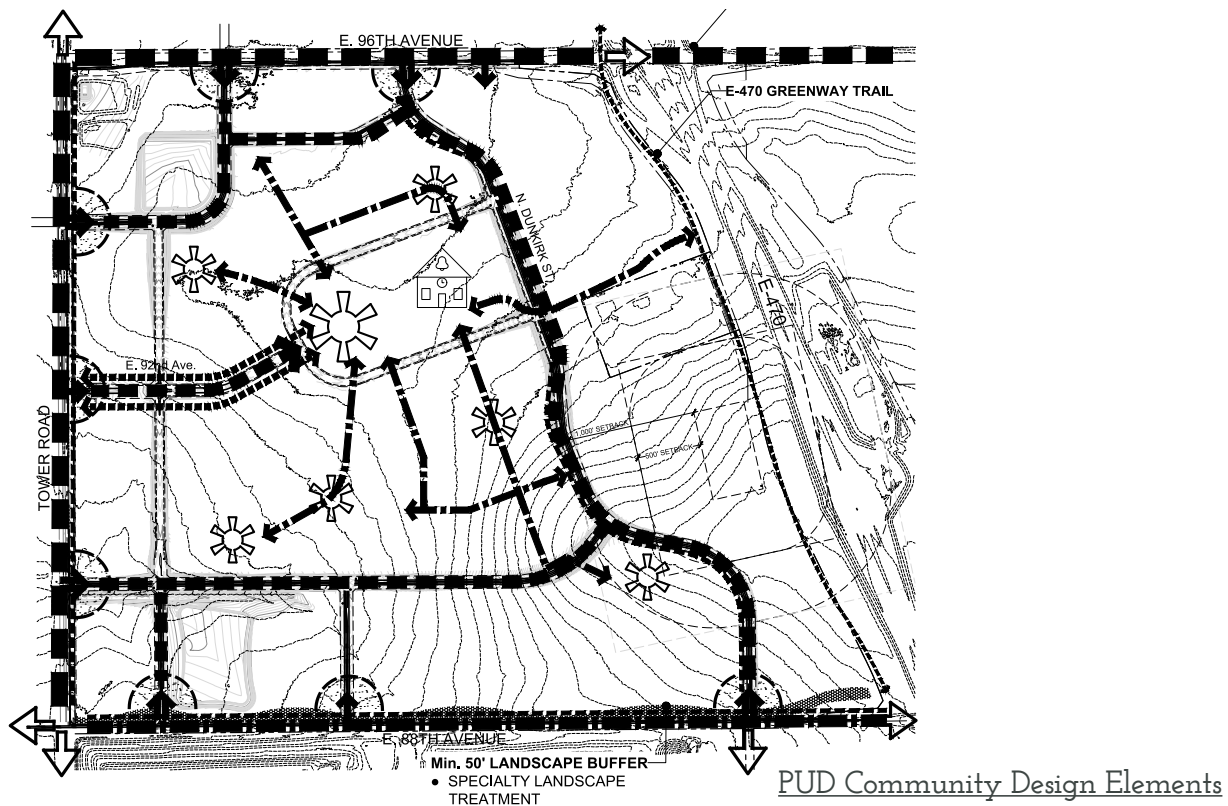
6.0 // Neighborhood Connectivity

6.1 Neighborhood Connectivity Intent

/ Legato is planned as a cohesive connected community for residents and visitors alike. Connectivity is achieved through both the vehicular, pedestrian and bicycle network.

6.1a Neighborhood Connectivity Standards

- A. Street Pattern:
 - 1. The street system shall be a modified grid network connecting to collector and arterial streets.
 - 2. The street system shall tie into adjacent neighborhoods where possible.
 - 3. Local streets shall be designed in a modified grid which aids in organizing smaller neighborhoods into interconnecting blocks enhancing pedestrian connectivity.
- B. Pedestrian connectivity is provided through a comprehensive system of detached sidewalks on all public streets; enhanced wider sidewalks on select collector streets and off-street trails through open space corridors.



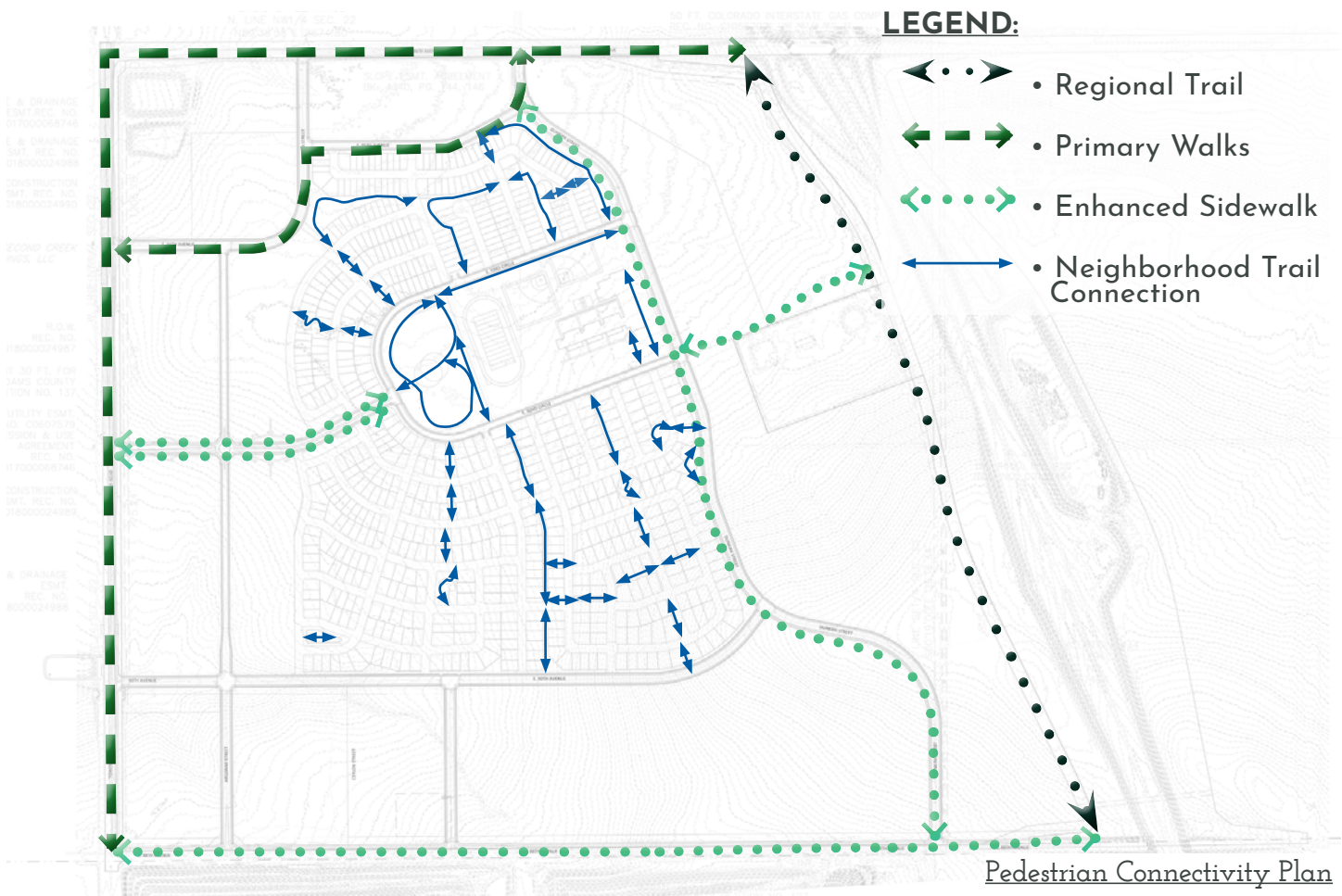
6.2 Parks, Community Focal Points & Neighborhood Features

6.2.1 Parks, Community Focal Points & Neighborhood Features Intent

/ The Community Focal Points serve as the Neighborhood feature. The focal points shall serve as central gathering spaces for Legato with both active and passive activities. The features shall include the following:

- A. 25-acre school site shall be designed by the school district with joint use outdoor amenities with the adjacent park.
- B. 10-acre neighborhood park shall be designed and constructed in accordance with Commerce City Park and Recreation Design Standards for Neighborhood Parks.
- C. Private/pocket parks are intended as neighborhood features and focal points within the community.

1. The private/pocket parks shall be located along the internal pedestrian trail network.
 2. The private/pocket parks shall provide both active and passive recreational amenities including playgrounds, shade and picnic shelters, play fields, gardens, loop trail, site furniture, and like items.
 3. Each park design shall be provided with the PUD Development Permit for each subdivision plat.
- D. At least three percent (3%) of all usable land in residential developments shall be set aside as private/pocket parks or open space. "Usable land" shall mean all land in the subdivision (including private streets) except oil and gas sites, floodplains, public right-of-way dedications, commercial sites, industrial sites, public school sites, public library sites, police station sites, fire station sites, and public parks, trails, and recreation facilities.
1. Private/pocket parks shall comply with the design standards contained in within the Land Development Code.
 2. For residential development in Planning Areas C and D as specified in the Legato PUD Zone Document, if the gross density is increased above six (6) dwelling units per acre, the minimum open space and parks shall be increased to 4%. If the gross density is above eight (8) dwelling units per acre, then the minimum open space and parks shall be increased to 5%.
- E. A private/pocket park is planned within Planning Area Q, the Office/Flex area. The natural topography provides a unique opportunity to create an amphitheater, a sledding hill, and a fitness trail, as well as a plaza and gathering place for employees within the office/flex area and/or residences.



6.3 Pedestrian Circulation Network

6.3 Pedestrian Circulation Network Intent

/ Pedestrian connectivity is provided through a comprehensive system of detached sidewalks on all public streets; enhanced wider sidewalks on select collector streets, and off-street trails through open space corridors.

6.3.1 Walks Adjacent to Streets Design Standards

- A. Detached sidewalks are required in all public streets and are encouraged on private drives through all residential, mixed use, commercial, and employment areas.
- B. Detached sidewalks shall be a minimum of five (5) feet in width.
- C. Enhanced sidewalks shall be provided as follows for facilitate connections from residential and employment areas to the school site and central neighborhood park;
 - 1. A 10-foot wide sidewalk shall be provided on the west side of Himalaya Parkway. A bike lane is also provided on both sides of Himalaya Parkway.
 - 2. A 10-foot wide sidewalk shall be provided on the north side of E. 88th Avenue. A bike lane is also provided on both sides of E. 88th Avenue.
 - 3. An 10-foot wide sidewalk shall be provided on both sides of Legato Parkway from Tower Road to the neighborhood park. A bike lane is provided on both sides of Legato Parkway.



6.3.2 E-470 Greenway Trail Design Standard

Trail connections shall be provided from the internal sidewalks and trail network to the E-470 Greenway Trail providing regional trail connectivity.

6.3.3 Open Space/ Greenway Trails Design Standards

- A. Primary trails though open space greenways shall be a minimum of eight (8) feet in width and concrete.
- B. Secondary or connecting trails shall be a minimum of five (5) feet in width and shall be concrete.
- C. Tertiary trails providing loops, connections or seat nodes in parks shall be a minimum of four (4) feet in width if concrete, and three (3) feet in width if constructed of a soft surface such as gravel or crusher fines.
- D. Open space greenway trail corridors shall be a minimum of 30-feet in width and shall include a mixture of drought tolerant landscape plant materials including shrubs, trees, ornamental grasses, and perennials.
- E. Site furnishings including benches, trash receptacles, bike racks, pet waste stations, and bollard lighting shall be provided along the trail corridors at a minimum interval of every 300-feet.
- F. Enhanced landscaping shall be provided at trail intersections and to highlight access to the private/pocket parks along the trail corridors. Bollard lights and wayfinding signage shall highlight intersections of trails, parks, and street crossings.
- G. The trail corridor shall provide connections to the private/pocket parks, the school, and the neighborhood park in the central core of the neighborhood, common areas, commercial, and mixed-use developments, and the employment areas.
- H. A connection shall be provided from the open space greenway trail system to the E-470 Greenway.

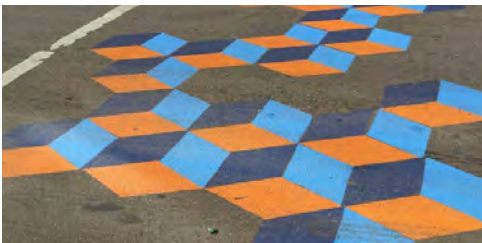
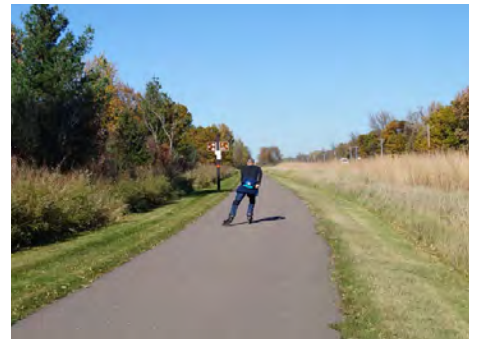
6.3.4 Trails, Sidewalks & Crosswalks

6.3.4a Design Standards

- A. Enhanced paving shall be provided in high impact areas, and significant walks and trail crossings. All enhanced paving shall be approved by Commerce City Public Works.
- B. The enhanced paving pattern shall be executed in multiple locations throughout Legato with consistency to create a unique, identifiable unifying design. Secondary or connecting trails shall be a minimum of five (5) feet in width and shall be concrete.

6.3.4b Design Guidelines

- A. The enhanced paving may include colored concrete, sand blasted concrete, stamped concrete, modular pavers, natural stone, and thermoplastic striping or crosswalk paving.



Trail Corridor Example

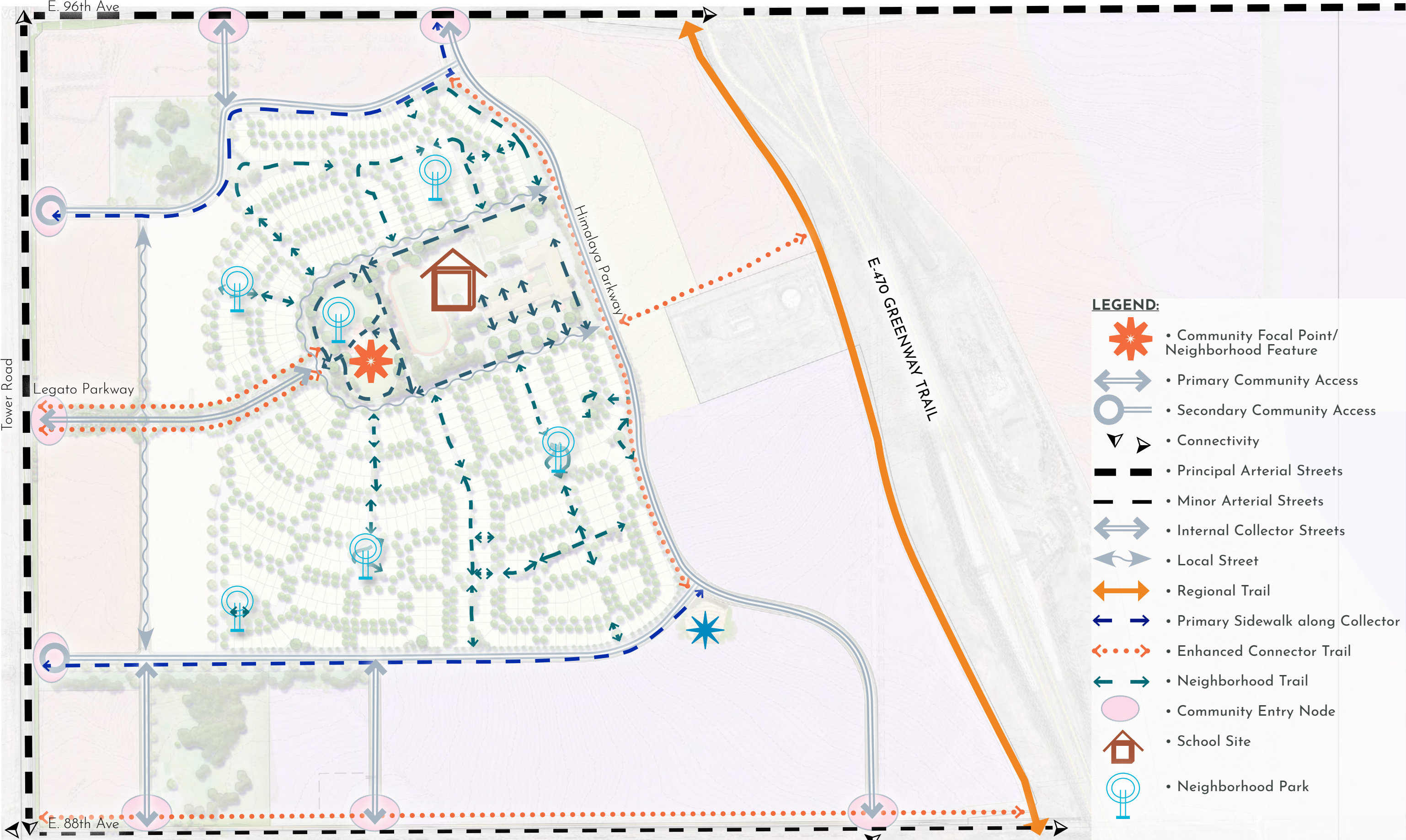


Legato

VEHICULAR
TRANSPORTATION
NETWORK

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7.0 Legato Community Design Guidelines // Community Connectivity Diagram



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7.0 // Vehicular Transportation Network

7.1 Vehicular Connectivity Intent

/ The vehicular transportation network shall further the connectivity of Legato. A logical hierarchy of interconnected streets shall provide a system of access for all modes of transportation within Legato.

- A. Provide a street network that interconnects neighborhoods, non-residential developments, and community amenities to establish the framework for development.
- C. Provide adequate and safe access for automobiles, cyclists, and pedestrians by incorporating best practices of a multi-modal urban street system where possible.
- D. Provide adequate access for emergency service providers to protect the public health, safety and general welfare of residents, and visitors of Legato.

7.1.1a Design Standards

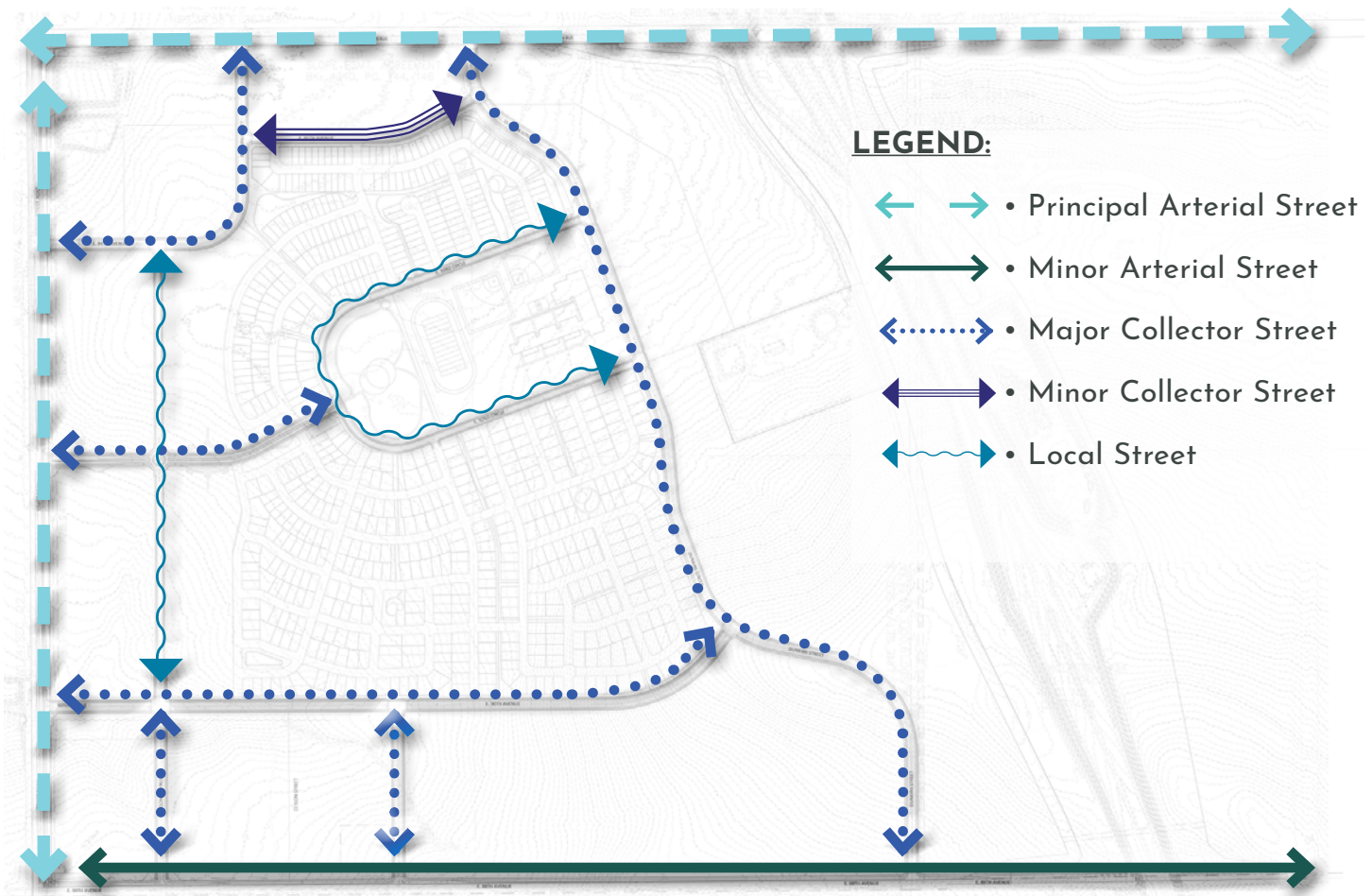
- A. Public streets and roads shall be designed/constructed in accordance with the City of Commerce City standards and specifications.
- B. The transportation network shall comply with the Engineering Construction Standards and Specifications and LDC of Commerce City with limited variances.
- C. Common private roads shall be located within private access easements and shall be maintained by the developer, builder, property owner's association or it assigns.
- D. Clarity shall be provided of pedestrian and vehicular junctions through materials, signage, lighting, landscaping, and other identifying site features.

7.1.1b Design Guidelines

- A. Streets within Legato should use similar or complimentary streetscape standards, hardscape treatments and plantings.
- B. Paving beyond the pedestrian walking zone may be distinguished differently by the use of specialty paving.
- C. To the extent possible, roads should be oriented in a north/south direction to maximize solar exposure for the lots. This may be altered based on the intent of neighborhood design and maximize lot frontages or side lots on public facilities such as parks, schools, and open space.
- D. The design of the streets should also consider the site's topography and proposed overall development pattern.
- E. Curb to curb widths of private streets should be as narrow as practical for pedestrian safety without preventing the ability to accommodate projected traffic and services, including emergency service vehicles.



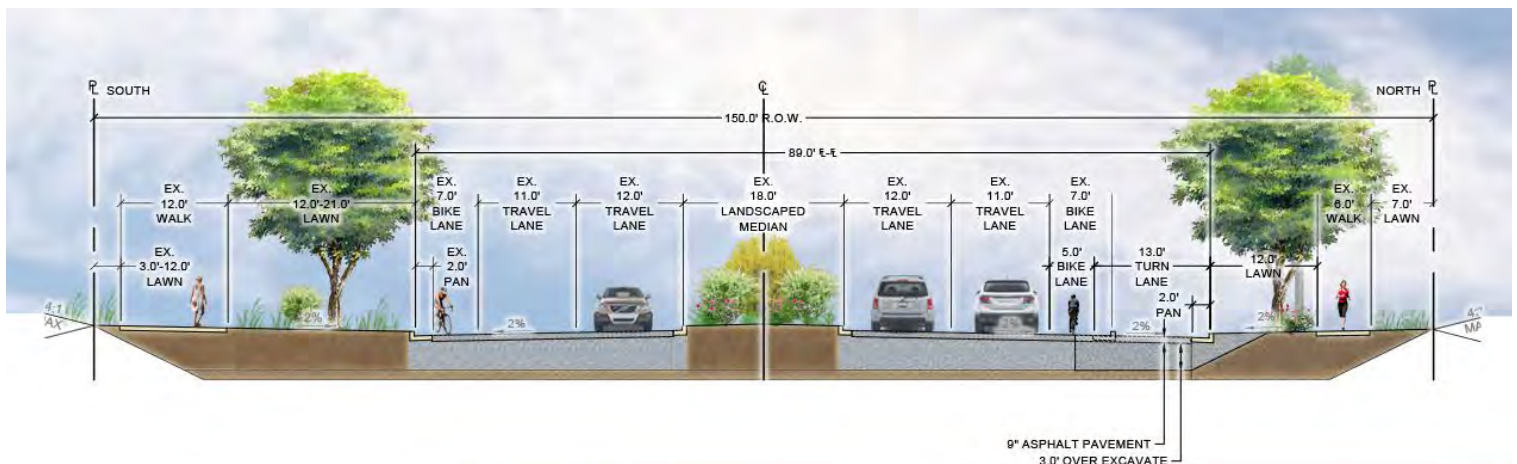
Vehicular Connectivity Plan



7.2 Legato Street Sections

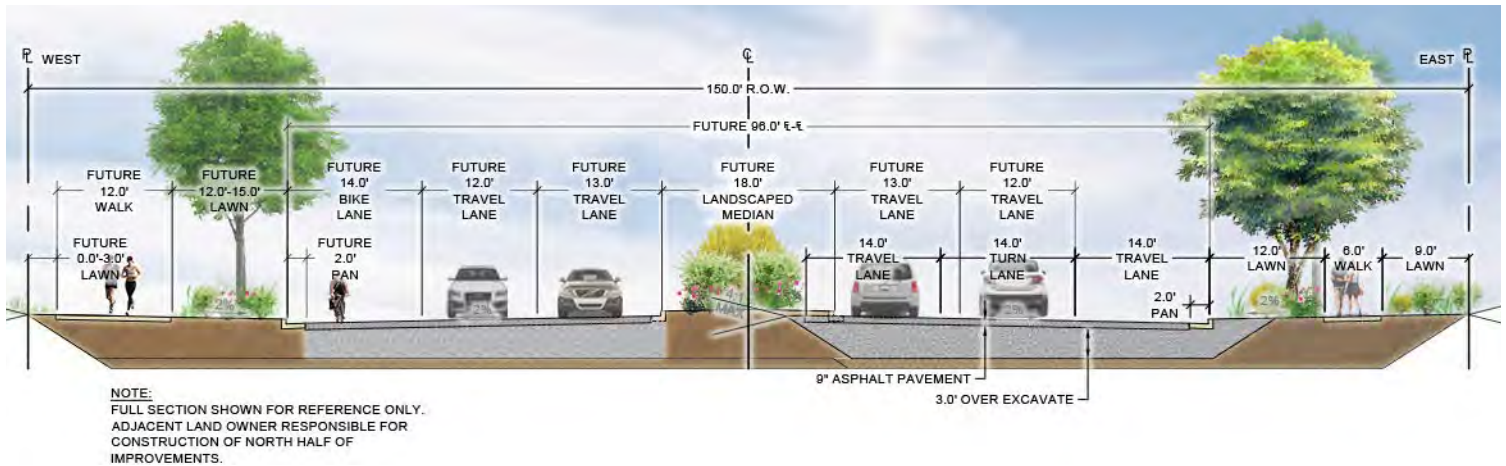
7.2.1a Principal Arterial Section- Tower Road and E. 96th Avenue (150-foot Right-of-Way)

/ Principal Arterial: Roadways with up to six (6) through lanes are designed to provide intra-city and inter-community connections, for moderate speeds and moderate traffic volumes. Access needs to be controlled in order to preserve the traffic carrying capacity of the roadway.



Legato- Principal Arterial Section
(Tower Road)

7.2.1b Principal Arterial Section- E. 96th Avenue (150-foot Right-of-Way)

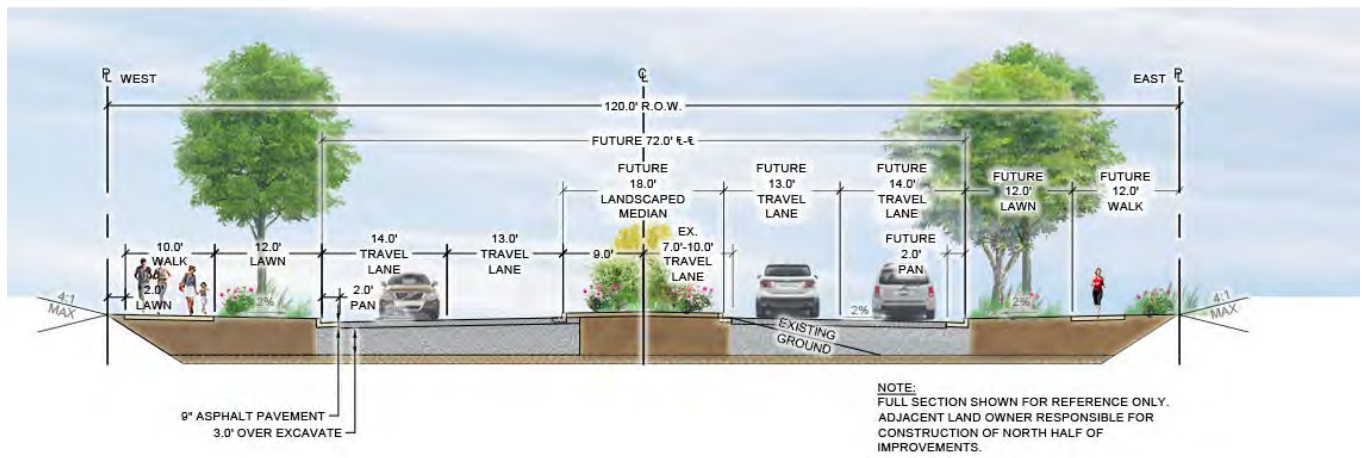


Legato- Principal Arterial Section (E. 96th Avenue)

Legato to dedicate 19-feet of right-of-way on the south side of E. 96th Avenue

7.2.3 Minor Arterial Section- E. 88th Avenue (120-foot Right-of-Way)

/ Minor Arterial: Roadways consist of four (4) through lanes designed to provide intra-city and inter-community connections, for moderate speeds and moderate traffic volumes. Access needs to be controlled but can be more frequent than principal arterials.

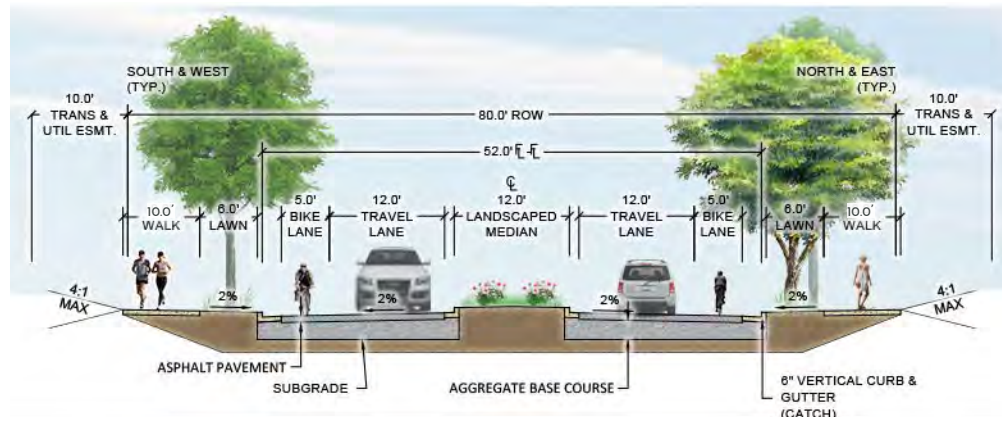


Legato- Minor Arterial Section (E. 88th Avenue)

Legato to dedicate 30-feet of right of way on the north side of E. 88th Avenue

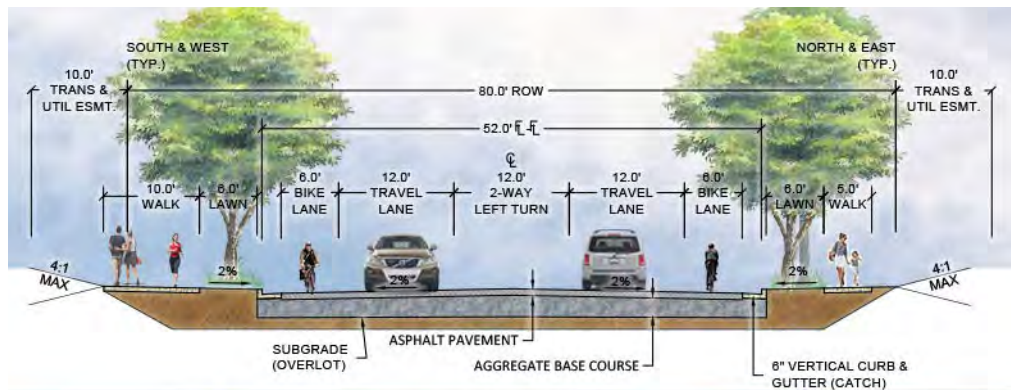
7.2.4 Major Collector Section- Himalaya Parkway, E. 90th Avenue, Legato Parkway, E. 94th Avenue and North/South entry drives from adjacent arterials (80-foot Right-of-Way)

/ Major Collector: Roadways are designed to handle traffic volumes generally greater than 7,000 vehicles per day. These streets collect and distribute traffic between arterials and local streets and serve as main connectors within communities

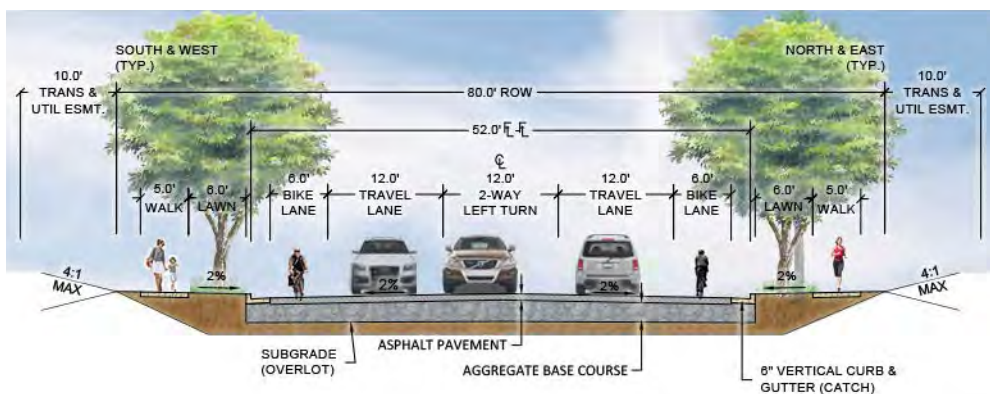


Legato- Major Collector Section
(Legato Parkway)

*Pedestrian walk varies from graphic at specific sections of Legato Parkway. Refer to page _ for detailed section cuts.



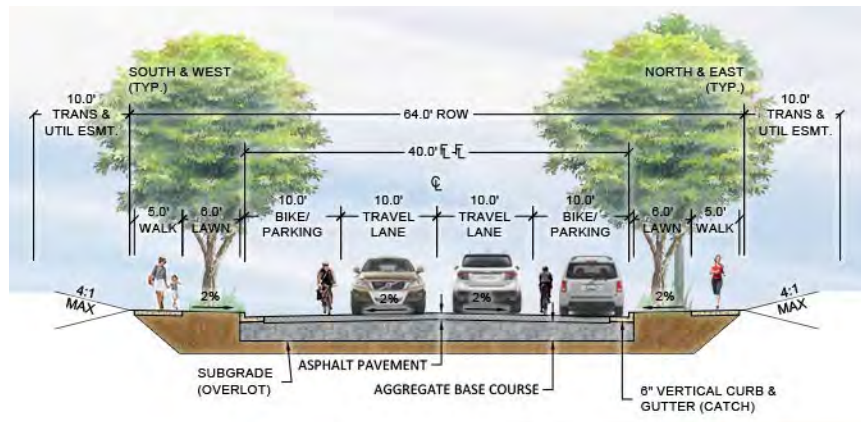
Legato- Major Collector Section
(Himalaya Parkway)



Legato- Major Collector Section
(Typical)

7.2.5 Minor Collector Section- 64-foot Right-of-Way

/ Minor Collector: Roadways designed to handle traffic volumes generally less than 7,000 vehicles per day. These streets collect and distribute traffic between arterials and local streets and serve as main connectors within communities.



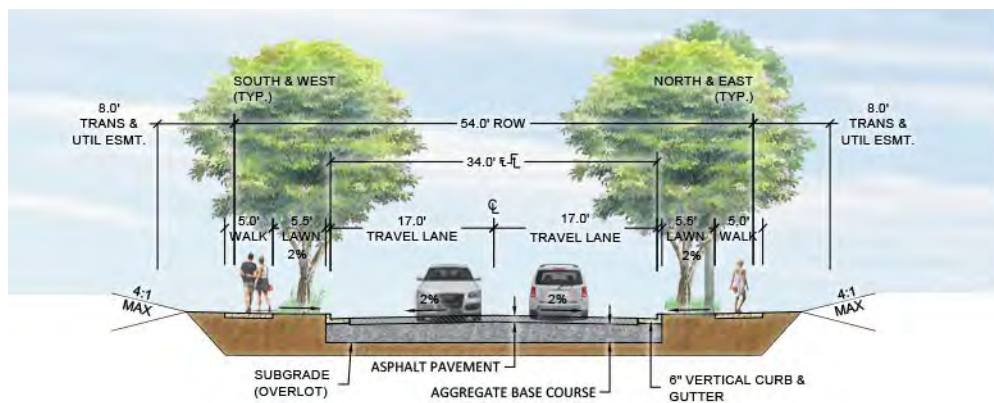
Legato- Minor Collector Section
(Typical)

7.2.6 Local Commercial Street

/ Roadways that provide direct access to public right-of-way from abutting commercial and high-density residential developments. Traffic volumes are to be less than 2,500 vehicles per day.

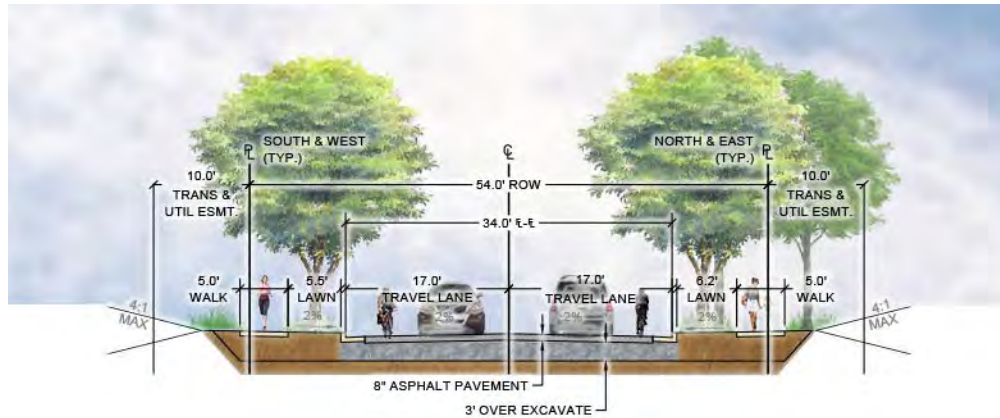
7.2.7 Local Residential Section

/ Roadways that provide direct access to public right-of-way from abutting residential development. Traffic volumes are to be less than 2,500 vehicles per day, and are designed to accommodate pedestrians and bicyclists, as well as passenger cars, trucks, and emergency vehicles.

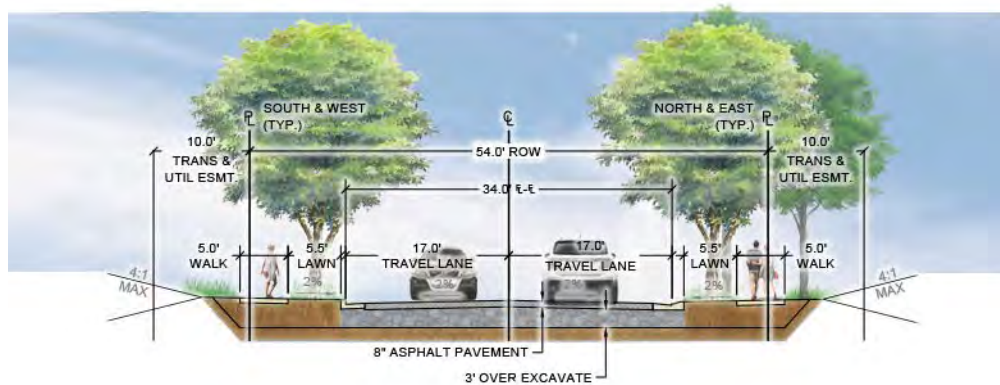


Legato- Local Street Section
(Argonne Street)

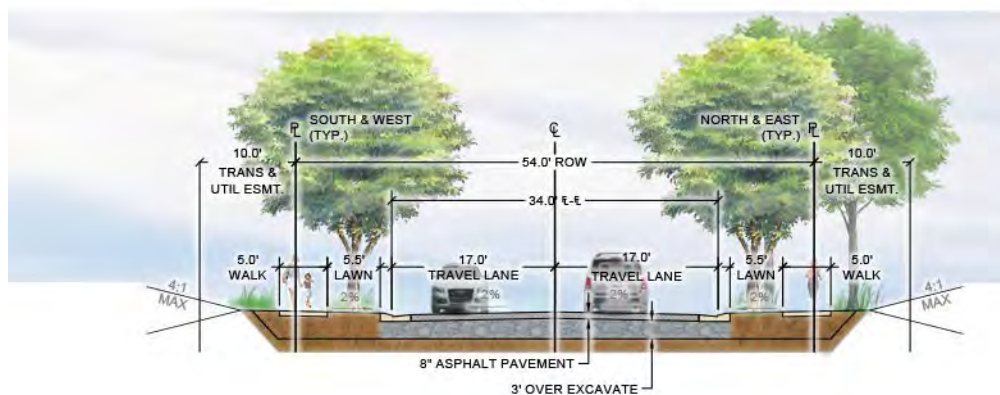
7.2.7 Local Residential Section



Legato- Local Street Section
(E. 92nd Place & E. 93rd Place)



Legato- Local Street Section
(E. 92nd Place & E. 93rd Place)



Legato- Local Street Section
(Road 11 and Road 12)

7.3 Local Street Name Options

Street names for Legato shall follow the Denver Metropolitan Grid System. Additional street names shall follow the naming convention established below.

North/ South Street from Tower Road East to Himalaya Parkway	North/ South Street from Himalaya Parkway to Himalaya Road	Himalaya Road to Piccadilly Road
Andres Street	Ensenada Street	Jebel Street
Argonne Street	Espana Street	Jericho Street
Bahama Street	Flaunders Street	Killamey Street
Biscay Street	Fundy Street	Kirk Street
Cathay Street	Genoa Street	Lisbon Street
Ceylon Street	Gibraltar Street	Liverpool Street
Danube Street	Halifax Street	Malaya Street
		Malta Street
		Nepal Street
		Netherlands Street
		Odessa Street
		Orleans Street
		Perth Street

East/ West Street from E. 96th Avenue South
E. 95th Avenue
E. 94th Avenue
E. 93rd Avenue
Legato Parkway
E. 91st Avenue
E. 90th Avenue
E. 89th Avenue
E. 88th Avenue

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Legato

LANDSCAPE DESIGN
STANDARDS

8.0 // Landscape Design Standards

8.1 Landscape Design Intent

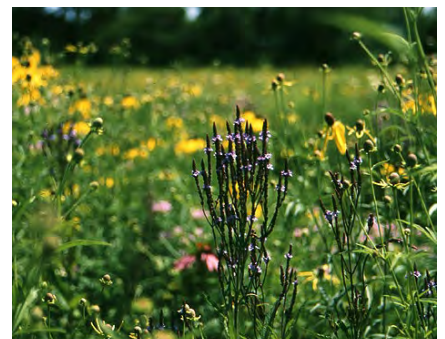
/ All landscaping within the Legato development shall meet the landscape standards in the LDC. Guidelines provided in this document are enhancements to those standards and must first be approved by the LDRB for consistency with neighborhood design. Landscape design will reflect the conformity and continuity of the streetscape, while providing variety and uniqueness for each property.

8.1.1a Design Standards

- A. When used, the steel edger shall include a roll-top design to ensure no sharp edges are exposed.
- B. When used, weed barriers shall be non-woven polypropylene so that air and water may penetrate the soil.
- C. The use of artificial turf shall be limited on private property, particularly in areas design for pets. Artificial turf is not permitted in front yards.
- D. Planting patterns shall indicate community wide architectural elements and/or special areas including public spaces, interior street tree lawns and private/pocket parks to create methodical and appealing landscape expression.
- E. Irrigation systems shall conserve water.

8.1.1b Design Guidelines

- A. Landscape designs should address transitions from manicured lawns of private property to native grasses of open space and detention ponds.
- B. Artificial turf may be used for specific recreational amenities.
- B. Monocultures are strongly discouraged, not only to protect the health of the ecosystem, but to avoid monotony within the landscape.
- C. Designs should that vary in color, height and interest, drawing the eye from one space to the other.
- D. Designs should mitigate the visual impact of large buildings and expansive parking lots.
- E. Site design should integrate and utilize landscape design to reinforce and enhance arrival, pedestrian circulation, open space and building placement.
- F. Reinforce the project character with coordinated landscape along public streets.
- G. Planting designs should emphasize moderate to low water use species, emphasizing native plants to reduce overall water consumption.
- H. Plant selection should be appropriate to the specific location, solar orientation and micro-climate.
- I. Landscaping should visually frame buildings, while also buffering parking, garage and service areas.
- J. Landscape character of adjacent lots should be coordinated with the overall project character.
- K. High efficiency irrigation methods such as drip irrigation are preferred to less efficient overhead irrigation.



8.2 Plant Material- Specific Land Uses; Shrubs and Turf

The items listed below are in addition to the Requirements and Standards of Landscape Areas listed in the LDC of Commerce City.

Land Use	Landscape Area	Planting Standards- Shrubs <i>(all shall meet code or better)</i>	Turf Standards
Interior Detached Single Family (3,500- 5,000 SF lot size)	Front & Corner Yard	• Minimum of 6 shrubs* per unit	• Per LDC
Interior Detached Single Family (5,001- 7,000 SF lot size)	Front Yard	• Minimum of 8 shrubs* per unit	• Per LDC
Corner Detached Single Family (5,001- 7,000 SF lot size)	Front & Corner Yard	• Minimum of 12 shrubs* per unit	• Per LDC
Detached Single Family (> 7,000 SF lot size)	Front Yard	• Minimum of 12 shrubs* per unit	• Per LDC
Corner-Detached Single Family (> 7,000 SF lot size)	Front & Corner Yard	• Minimum of 15 shrubs* per unit	• Per LDC
Interior Paired/Attached Single Family	Front Yard	• Minimum of 6 shrubs* per unit	• Per LDC
Corner Paired/Attached Single Family	Front & Corner Yard	• Minimum of 10 shrubs* per unit	• Per LDC
Multi-Family	Building Perimeter	• 5 shrubs per 30 LF	<ul style="list-style-type: none"> • Developments 5 acres or less= Max 40% of landscaped area may be turf • Developments equal or greater than 5 acres= Max 35% of landscaped area may be turf

/ Note: One shrub is defined as (1) five gallon plant or (5) one gallon plants. 50% of the shrub planting requirement may be substituted with five (5) gallon or larger ornamental grasses. To qualify, ornamental grasses must be 18" wide and 48" tall at maturity.



8.3 Plant Material- Specific Land Uses; Trees

Land Use	Landscape Area	Trees in Private Area	Tree Lawn
Interior Detached Single Family (3,500- 5,000 SF lot size)	Front Yard	• Minimum of 1 tree per unit	• Per LDC
Corner Detached Single Family (5,001- 7,000 SF lot size)	Front & Corner Yard	• Minimum of 2 trees per unit	• Per LDC
Interior Detached Single Family (5,001- 7,000 SF lot size)	Front Yard	• Minimum of 1 tree per unit	• Per LDC
Corner Detached Single Family (5,001- 7,000 SF lot size)	Front & Corner Yard	• Minimum of 2 trees per unit	• Per LDC
Detached Single Family (> 7,000 SF lot size)	Front Yard	• Minimum of 2 trees per unit	• Per LDC
Corner-Detached Single Family (> 7,000 SF lot size)	Front & Corner Yard	• Minimum of 3 trees per unit	• Per LDC
Interior Paired/Attached Single Family	Front Yard	• Minimum of 1 deciduous or 1 evergreen tree per unit	• Per LDC
Corner Paired/Attached Single Family	Front & Corner Yard	• Minimum of 2 deciduous or 2 evergreen tree per unit	• Per LDC
Multi-Family	Entire Square Footage Area	• Minimum of 1 deciduous and 1 evergreen tree per 600 SF	• Per LDC
Non-Residential/ Commercial	Entire Area	• 1 tree for every 600 sq ft of landscape area (LDC Code)	• Per LDC
Public/ Mixed Use/ Institutional	Entire Area	• 2 for every 600 sq ft of landscape area (LDC Code)	• Per LDC

Soil Standards	<ul style="list-style-type: none"> • Soils shall be tested by an approved agency to determine appropriate soil amendment needs. • If deficiencies are encountered soil amendments must be provided.
Irrigation Standards	<ul style="list-style-type: none"> • High efficiency irrigation, such as drip irrigation must be used for planting beds. • Over-spray onto hardscape surfaces and structures is unacceptable. • Wind sensor technology shall be used to adjust watering schedules during periods of high winds. • Low trajectory nozzles and subsurface irrigation shall be used as required.



8.4 Detention Ponds

8.4.1 Detention Pond Intent

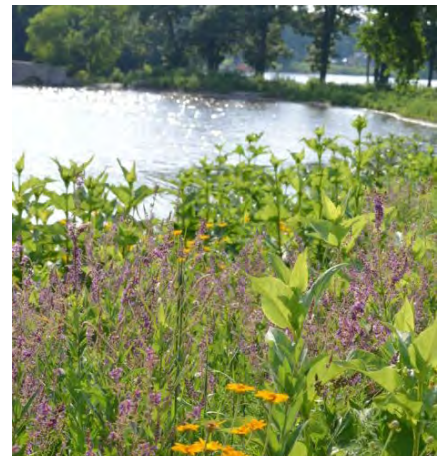
/ Detention Ponds within Legato shall comply with the LDC with the following modifications and/or clarifications.

8.4.1a Design Standards

- A. Ponds shall be landscaped to replicate a natural environment with the appropriate plant material.
- B. One (1) deciduous tree or evergreen tree and ten (10) shrubs are required per 50-feet of pond perimeter measured along the top bank elevation. The required landscaping may be planted in an informal (natural) pattern.
- C. Native seeded areas shall have a temporary irrigation system in place for the first two years of installation instead of permanent irrigation system.
- D. Walls over four (4) feet in height shall be tiered in four (4) foot segments with four (4) feet of separation between the tiered walls.
- E. All stormwater facilities shall be designed with low maintenance plantings, weed control measures, and consistency of grass and turf heights for ease of mowing.
- F. Retaining walls within detention ponds shall meet all City of Commerce City requirements.

8.4.1b Design Guidelines

- A. Stormwater detention and water quality facilities should be a continuation of the surrounding landscape and planted in an informal pattern with natural plantings, trees and trails, rather than viewed as an afterthought.
- B. If a detention pond is adjacent to the right-of-way or other highly visible areas, it should be given special attention in landscape design and appearance.
- C. Plant material, including trees may be placed in groupings, with scattered pockets of landscape along all side slopes of detention ponds.
- D. Special attention should be given to the transitions between manicure plantings to native grasses.
- E. Stormwater facilities should avoid the need of fences. If fences are required for safety measures, it is encouraged to use a design that is utilized in other areas of the site.
- F. Gravel, or additional similar product, should be used for an access road over asphalt or concrete, if acceptable by the agency providing maintenance.



8.5 Landscape Buffer

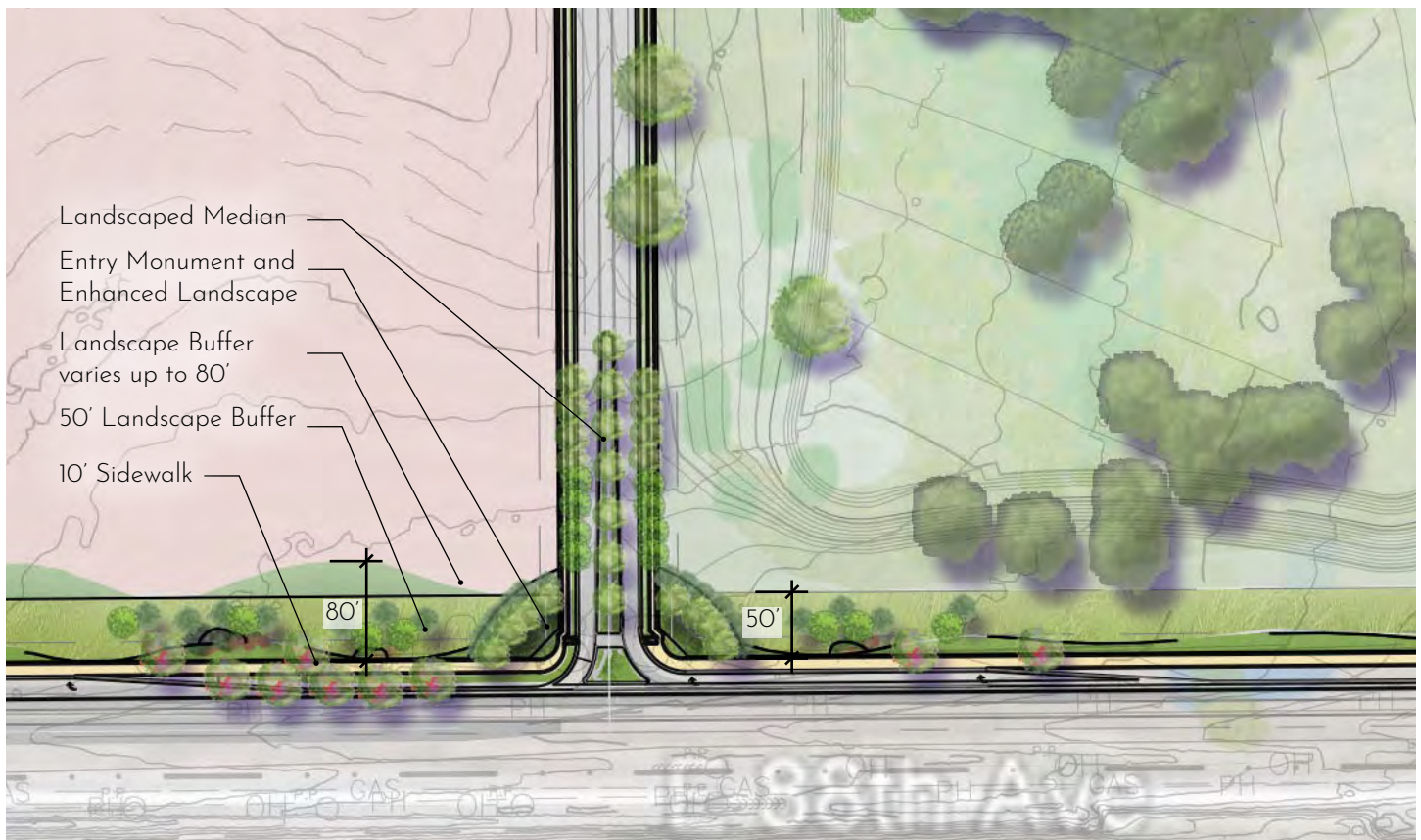
8.5.1 Landscape Buffer Intent

/ An enhanced landscape buffer shall be provided along the north side of E. 88th Avenue as screening and buffering from the Republic Services Tower Landfill. The buffer shall be as follows:

8.5.1a Landscape Buffer Standards

- A. A minimum of 50-feet wide with a varying width up to 80-feet in width.
- B. The buffer shall be integrated into the adjacent development within the Office/Flex Planning Area.
- C. No additional building setback is required beyond the setback as established by the buffer.
- D. The buffer shall incorporate five (5) trees and eight (8) shrubs per 100 linear feet.
- E. Berming and screen walls shall be provided as appropriate.
- F. Berms shall vary in height between two (2) to six (6) feet.
- G. Landscaping in the berms shall include a mixture of trees, shrubs and ornamental grasses.

E. 88th Avenue- Landscape Buffer Example



8.6 Streetscape Landscape

8.6.1 Streetscape Landscape Intent

/ Street trees within Legato Community shall comply with the Commerce City Landscape Development Code in addition to the items below. Street trees should contribute to the overall unity of the streetscape, through layout, scale, and character. Tree species provide scale and visual unity along the street, as well as establishing landmarks and providing contextual character.

8.6.1a Design Standards

- A. Streetscape plans shall be integrated with on-site landscape plans, providing a seamless and continuous appearance.
- B. A functioning automatic smart irrigation system is required for all streetscape landscape areas.
- C. Monocultures along a streetscape are not permitted.

8.6.1b Design Guidelines

- A. Consideration should be given to locating benches, trash receptacles, and streetlights along streetscape.
- B. Project entry ways that include pedestrian sidewalks that intersect with streetscape should include colorful planting of trees, shrubs, and groundcovers.

Arterial Street Tree & Buffer Yard List

/ E. 88th Avenue, Tower Road, and E. 96th Avenue.

*All street trees are in concurrence with the LDC Approved Plant List.

SHADE TREES	
Scientific Name	Common Name
Acer truncatum x A. Platanoides 'Keithform'	Norwegian Sunset Maple
Acer rubrum 'Frank Jr. Plant'	Redpointe Maple
Catalpa speciosa	Western Catalpa
Corylus colurna	Turkish Filbert
Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honeylocust
Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust
Gymnocladus dioicus 'Espresso'	Kentucky Coffee Tree
Quercus 'Bicolor'	Swamp White Oak
Quercus macrocarpa	Burr Oak
Quercus robur	English Oak
Quercus rubra	Northern Red Oak
Sophora japonica 'Regent'	Regent Japanese Pagoda Tree
Tilia cordata 'Greenspire'	Greenspire Linden
ORNAMENTAL TREES	
Acer tataricum 'Garann'	Hot Wings Maple
Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
Crataegus viridis 'Winter King'	Winter King Hawthorn
Crataegus phaenopyrum	Washington Hawthorn
Koelreuteria paniculata	Golden Raintree
Pyrus calleryana 'Chanticleer'	Chanticleer Pear
Quercus crimson spire	Crimson Spire Oak
Syringa reticulata	Japanese Tree Lilac

*Street Tree List is subject to change; refer to PUD Development Permit- Landscape Plan for final tree list, typical.

Internal Street Tree List

/ Defined as a low capacity road which moves traffic to the major collector streets.

SHADE TREES	
Scientific Name	Common Name
<i>Acer plantanoides</i> 'Schwedler'	Schwedler Norway Maple
<i>Acer rubrum</i> 'Frank Jr. Plant'	Redpointe Maple
<i>Acer truncatum</i> x <i>A. Platanoides</i> 'Keithform'	Norwegian Sunset Maple
<i>Celtis occidentalis</i>	Common Hackberry
<i>Gleditsia triacanthos inermis</i> 'Imperial'	Imperial Honeylocust
<i>Gleditsia triacanthos inermis</i> 'Shademaster'	Shademaster Honeylocust
<i>Gleditsia triacanthos inermis</i> 'Skyline'	Skyline Honeylocust
<i>Gymnocladus dioica</i>	Kentucky Coffee Tree
<i>Quercus</i> 'Bicolor'	Swamp White Oak
<i>Quercus macrocarpa</i>	Burr Oak
<i>Quercus robur</i>	English Oak
<i>Quercus rubra</i>	Northern Red Oak
<i>Tilia americana</i>	American Linden
<i>Tilia cordata</i> 'Greenspire'	Greenspire Linden
ORNAMENTAL TREES	
<i>Acer tataricum</i> 'Garann'	Hot Wings Maple
<i>Amelanchier canadensis</i>	Shadblow Serviceberry
<i>Crataegus mordensis</i> 'Toba'	Toba Hawthorn
<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn
<i>Malus</i> 'Radiant'	Radiant Crabapple
<i>Malus</i> 'Spring Snow'	Spring Snow Crabapple
<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear
<i>Quercus crimson spire</i>	Crimson Spire Oak
<i>Syringa vulgaris</i>	Common Purple Lilac
<i>Syringa vulgaris alba</i>	Common White Lilac



Skyline Honeylocust

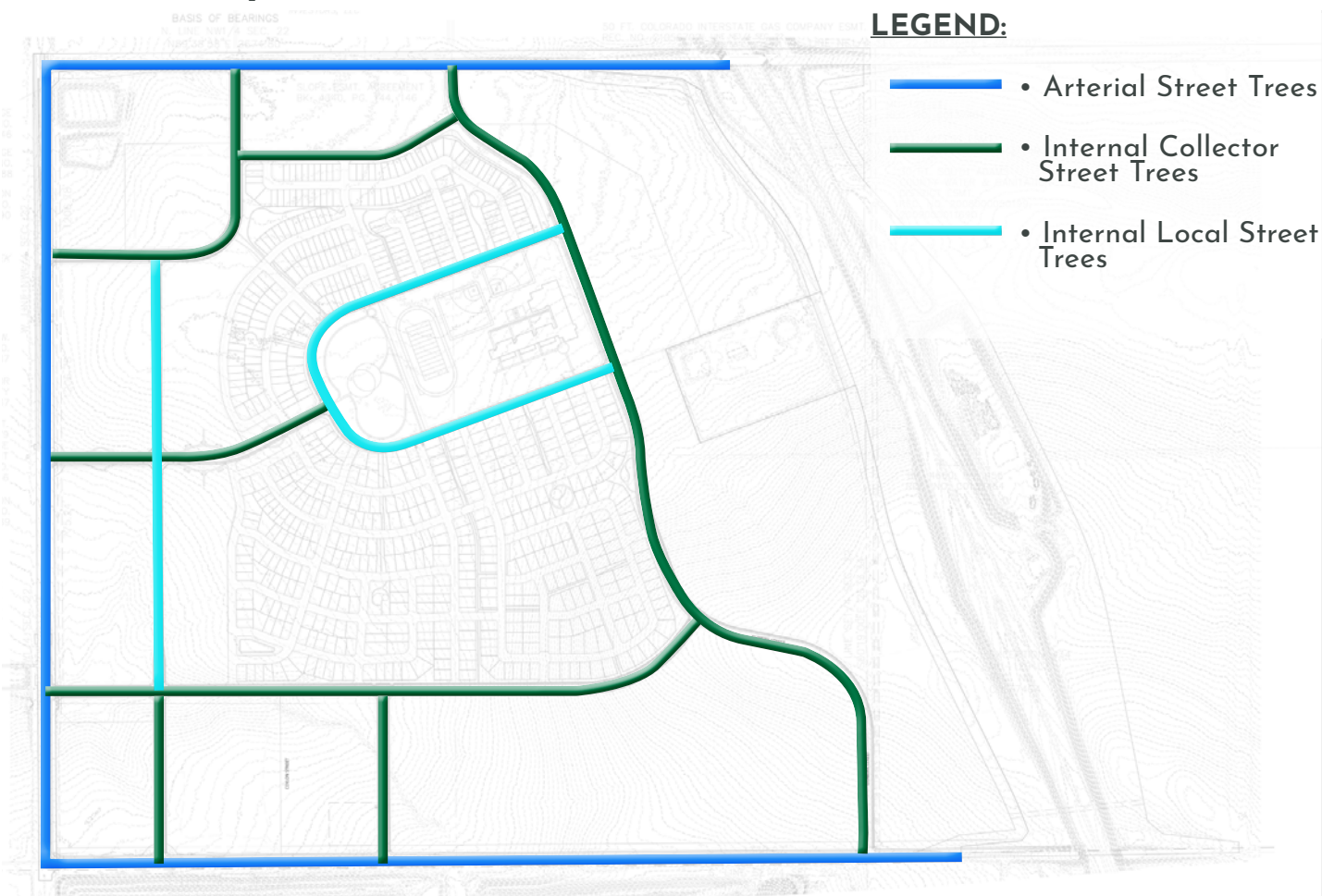


Common White Lilac



English Oak

Street Tree Concept



Greenspire Linden



Shademaster Honeylocust



Winter King Hawthorn



Northern Red Oak



Swedler Norway Maple



Kentucky Coffee Tree



Swamp White Oak



Spring Snow Crabapple

8.7 Streetscape Concepts

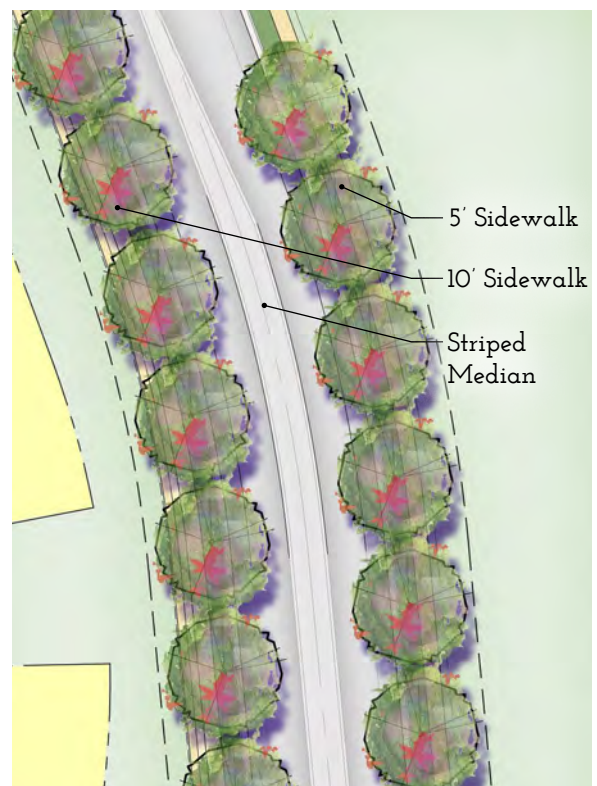


Legato- Major Collector Intersection

(Scale: 1" = 60'-0")

8.7.1 Street Tree Design Standards

- A. Street trees shall be planted in massings of like species. Required number of trees is based on the equation of one (1) tree per every forty linear feet of Legato Streetscape right of way.
- B. Corner beds shall be a minimum of 600-square feet.
- C. Ornamental grasses, perennials, and shrub beds shall be designed to have complete coverage at plant maturity.
- D. Beds are to be covered with a weed barrier fabric then mulched with washer river rock. All beds are to be fully irrigated.
- E. A wood mulch is required around trees and wood mulch shall be used in perennial beds.
- F. Tree groupings of like species shall be placed across the street from each other.
- G. A maximum of eight (8) trees of a single species is permitted in a row.
- H. Landscaping shall be design with sight visibility triangles.



Legato- Major Collector Streetscape

Himalaya Parkway

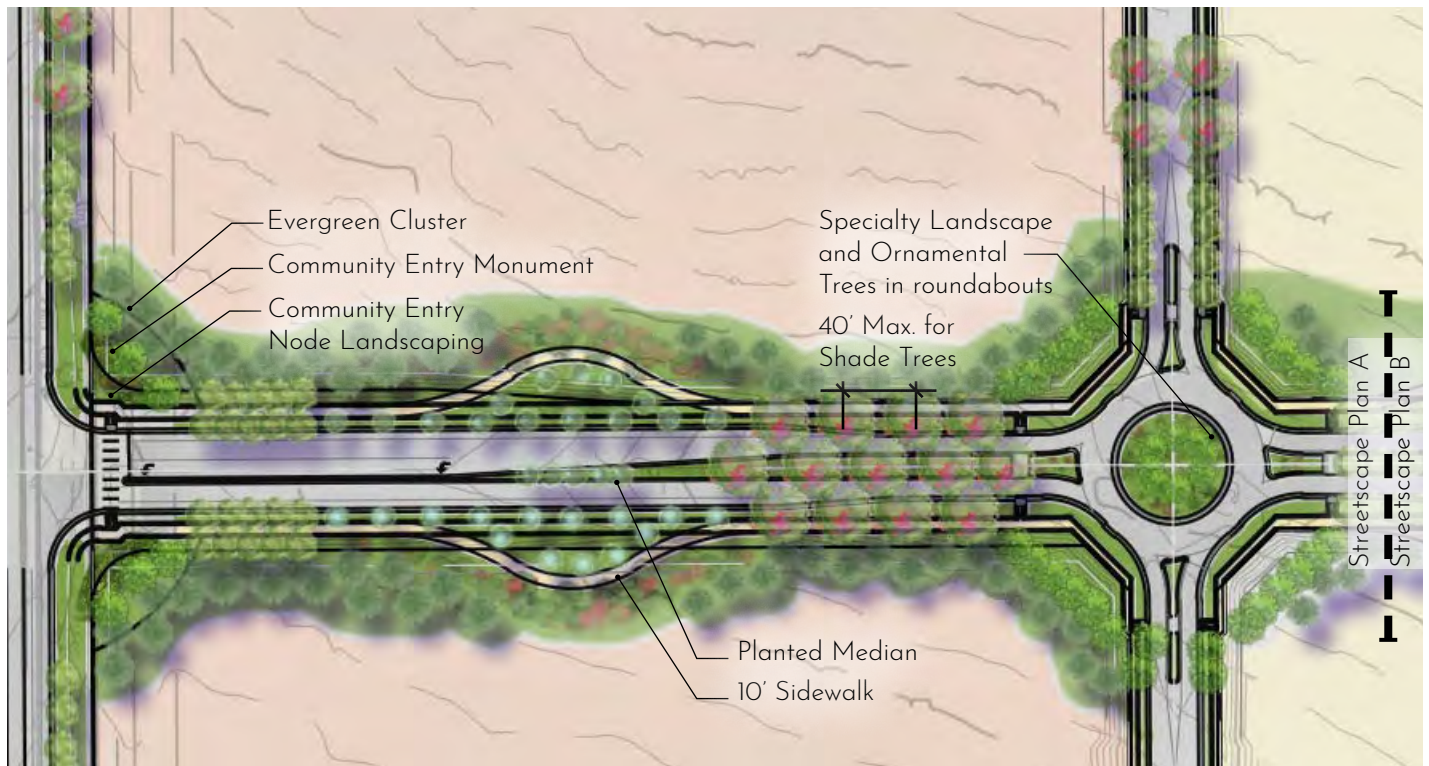
(Scale: 1" = 60'-0")

8.8 Specialty Streetscape- Legato Parkway Enhanced Landscape

8.8.1 Legato Parkway Streetscape Intent

/ Legato Parkway serves as the main entry for the Legato Community. The streetscape design shall feature an entry monument that includes at least six (6) evergreen trees, ornamental trees, shrubs and grasses to create a sense of arrival.

8.8.2 Legato Parkway Streetscape Concepts

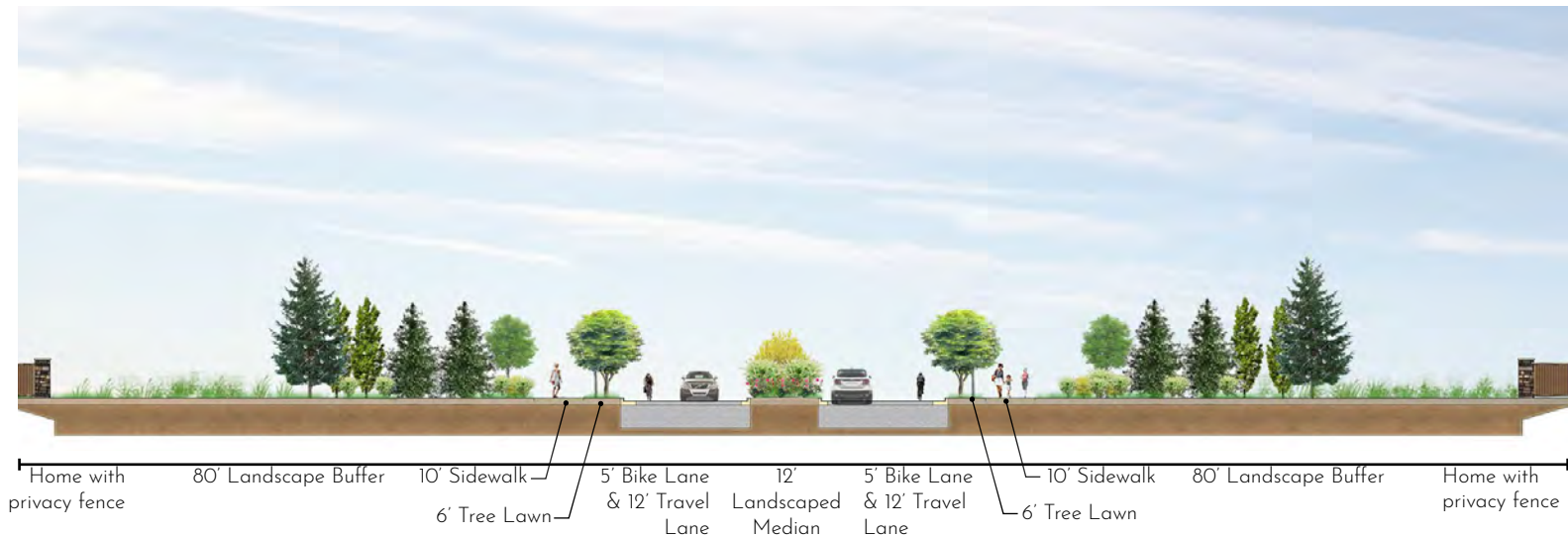


Legato- Major Collector Streetscape Plan- A (Legato Parkway)
(Scale: NTS)

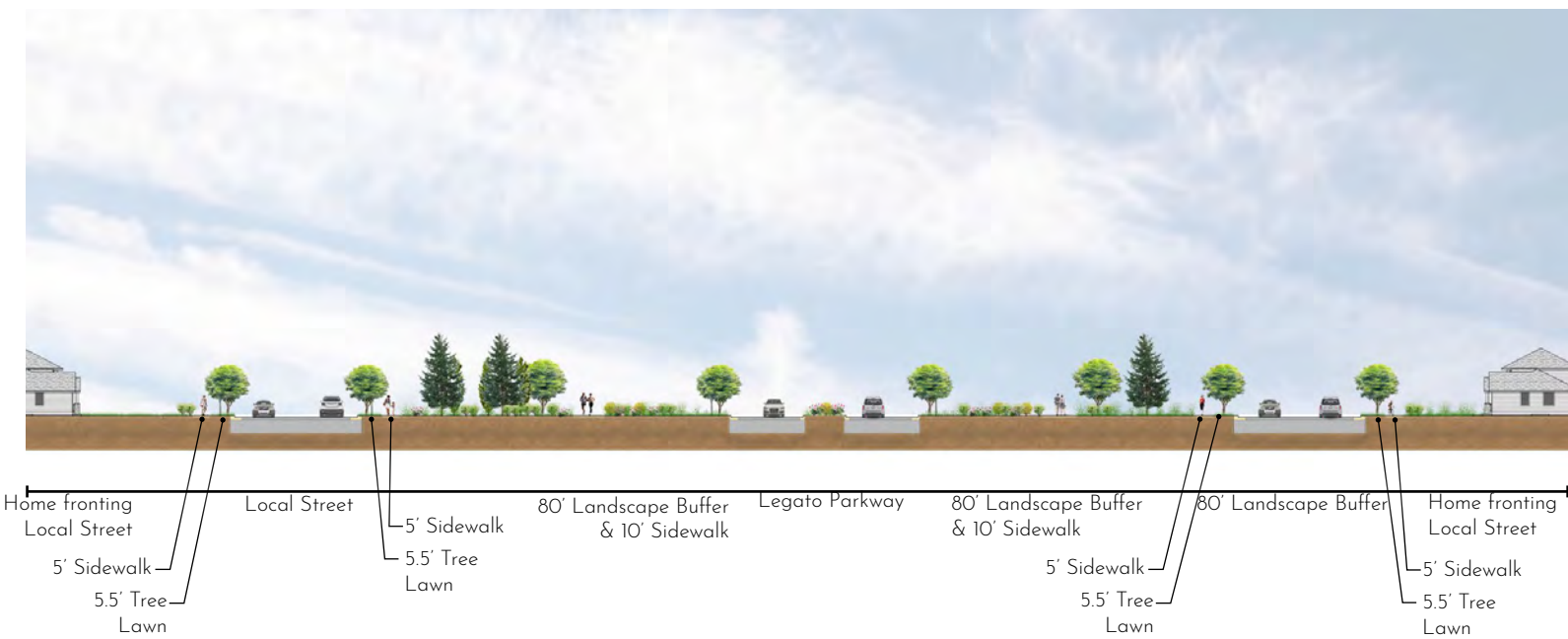


Legato- Major Collector Streetscape Plan- B (Legato Parkway)
(Scale: NTS)

8.8.2 Streetscape Section Cuts



Legato Parkway Section Cut A
(Scale: NTS)



Legato Parkway Section Cut B
(Scale: NTS)



Legato

ARCHITECTURAL
BUILDING
REQUIREMENTS

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9.0 Principles of Cohesive Architecture

The architecture of Legato will embrace the Principles of Cohesion through consideration to authenticity, attention to simplicity, and a touch of whimsy.

The continuity of sleek, clean lines paired with a human scale are meant to calm the everyday chaos of today's digital world. The emphasis of people first at street level shall be emphasized with warm welcoming entrances; a clever use of natural materials can support this feeling.

The architecture shall reflect the diversity of the many lifestyles, events, and businesses that make up the Legato community. Soaring roof lines, deep protective overhangs, to simple flat roofs will define the skyline. Colors shall be used to draw attention to features, and accents that complement the uncomplicated building masses.

The architecture shall reflect an approach that links together the souls, environment, and shelter that make Legato a harmonious community.

9.0 // Principles of Cohesive Architecture

All residential developments, including architecture and siting requirements must be approved by the Legato Design Review Board prior to submittal to Commerce City for approval. Confirmation of compliance with Community Design Standards and Guidelines shall be provided in accordance the Checklist provided in the Appendix for LDRB review and approval.

9.1 Massing/ Scale and Garages

9.1.1 Massing/ Scale Design Standards

- A. The home shall have human scaled entries, and porches that welcome visitors.
- B. Single - family detached homes shall be composed of simple geometric solids, with rectangular shape, as the major mass. These geometric forms shall be articulated with porches, offsets in wall planes, and other architectural elements.
- C. A variety of massing and forms are required between plans to avoid repetition along a streetscape.
- D. The massing and scale of the architecture shall be enhanced through the variation of materials and color.
- E. Buildings shall have strong and compatible design elements and details. These shall articulate building forms and add depth, shadows, visual interest, and relief to individual houses and the street scene. These elements shall include covered porches and entryways, balconies, roof overhangs, and the handling of window and door openings.



/ Mid-Century Modern Massing and Scale Shown



/ Transitional Scale Shown



/ Contemporary Massing Shown

9.1.2 Garage Design Standards

- A. The visual impact of the garage shall be minimized. Alternative options to achieve this include, but are not limited to:
 - / Garages attached and recessed behind the front porch or living area of the home a minimum of 2 feet.
 - / Attached garages with a deeply recessed front access garage utilizing a long side yard and possibly incorporating a side port cochere.
 - / Attached garages turned 90 degrees from front plane of home.
 - / Attached garage with a side or rear access.
 - / Attached garage flush with Front Porch or Living Area of the house. Front Porch must be a minimum of 6' in depth.
 - / Attached garage forward designs (where garage front is forward of Living Area or Front Porch). Garage cannot extend more than 5' in front of Front Porch or Living Area. Front Porch depth must be a minimum of 5' deep. Garage forward designs will be required to include on garage door/ garage face enhancement from the following:
 1. Glass (window panels) and or panel elements on garage door surface.
 2. Recessed door a minimum of 8 1/2" from wall plane.
 3. Other enhancements will be reviewed for approval by the LDRB.

9.2 Roofs, Architectural Elements, Doors and Windows

9.2.1a Roof Form Design Standards

- A. Each plan shall have a significantly different roof form.
- B. Roof slopes shall be shallow in nature with a minimum of 3:12 and maximum of 10:12.
- C. Roof forms shall articulate different volumes/ massing.
- D. If pitched roofs are used, gable roofs shall be the predominant roof form.
- E. Fascia's must be a minimum of 6".

9.2.1b Roof Form Design Guidelines

- A. Use varying roof heights to add visual interest.
- B. Large roofs with a long single ridge are discouraged.
- C. Flat roofs are encouraged.
- D. Overhangs can vary from 0" to 24".



/ Mid-Century Modern Roof Shown

9.2.2 Architectural Elements Design Standards

- A. Columns shall reflect the architectural style of the home.
- B. Columns shall be proportionately sized and spaced.
- C. Deck post shall be substantial and anchored to the ground with a solid base.
- D. Light fixtures shall be appropriate to the architectural style of the home.



/ Modern Contemporary Columns and Entryway Shown

9.2.3 Doors and Windows Design Standards

- A. Architecturally, entry doors and garage doors shall be decorative, style specific and unique.
- B. The entry door colors shall be colorful and compliment the color pallet of the home.
- C. Clear wall space above the garage door shall be minimized. 30" max at straight soffit conditions, or 24" at gable edge conditions.
- D. Window groupings shall be placed to enhance the architectural style of the home.



/ Transitional Windows Shown

9.3 Materials

9.3.1a Siding Design Standards

- A. Vinyl siding is prohibited.
- B. Horizontal lap siding, ship lap siding, board and batten, and vertical groove siding is permitted. Diagonal application will be approved on an individual basis by the LDRB.

9.3.1b Siding Design Guidelines

- A. Wood siding can be natural wood, composition wood material, or cementitious material. Smooth finish is encouraged.
- B. Creative application of materials is encouraged.

9.3.2a Roofing Design Standards

- A. The roofing color shall be consistent with the color palette of the architectural style.
- B. Flat roofs shall be a medium to dark tone to protect neighboring lots from glare.

9.3.2b Roofing Design Guidelines

- A. Metal accent roofs are encouraged.
- B. Architectural grade dimensional shingles, metal, and concrete roof tile are permitted.

9.3.3a Masonry Design Standards

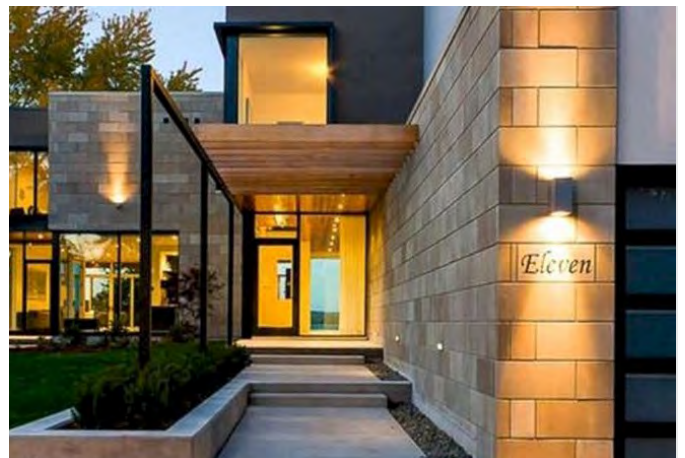
- A. Brick, large scale masonry units, and cut stone shall be used for a majority of the elevation styles.
- B. Materials shall always wrap the corner of a wall and preferably terminate at an inside corner.

9.3.3b Masonry Design Guidelines

- A. Adhered concrete masonry veneer, real stone and exposed board form concrete are permitted.
- B. River Rock and Large Scale Field Stone are prohibited.
- C. Dry stacked stone is permitted on a minority of the elevation styles.

9.3.4 Color Design Standards

- A. All building materials, colors, and textures shall be used to provide visual interest to the home.
- B. A distinctive color and material palette shall be created for each architectural style and approved by the LDRB.
- C. Natural earth tones and neutral colors shall be the dominate colors used on homes with "punch" colors to accentuate architectural forms and features.
- D. All exposed wood shall be sealed or stained to prevent premature deterioration.



9.4 Decks and Porches

9.4.1a Deck and Porch Design Standards

- A. Fifty square feet shall be the minimum size of a porch.
- B. Human-scaled entry porches shall provide a sense of entry.
- B. Integrate rear decks into the mass of the home, they shall not appear tacked on.

9.4.1b Deck and Porch Design Guidelines

- A. Larger porches at corner lots are encouraged.





10.0 Residential Design Styles

/ There are three strategically selected architectural styles that inspire the character of the Single-Family homes of Legato. They were chosen for their unique but cohesive qualities. The three styles, Mid-Century Modern, Modern Contemporary, and Transitional were chosen to give Legato a fresh aesthetic quality. Other styles will be considered but must be approved by the Design Review Board.

/ Simple forms, clean detailing, and accessible materials used in creative ways are the foundation of these styles. The following guidelines are intended to aid in moving this vision forward. Any other proposed alternative styles shall strongly consider these principles in their design aesthetic.



10.0 // Residential Design Styles

10.1 Design Styles

10.1.1a Mid Century Modern Design Intent

Utilize post and beam concepts that eliminated bulky support walls in favor of walls seemingly made of glass. Function is as important as form with an emphasis placed on targeting the needs of the average American family. This style shall be favorable to the narrower lot configurations of the community. Simply structural forms shall be articulated along with minimal ornamentation. Indoor/Outdoor relationships shall be a key part of the floor plans.



10.1.1b Modern Contemporary Design Intent

New and innovative technologies of construction shall be evident, particularly the use of glass, steel, and concrete. Contrast of materials is essential, along with large expanses of glass that invite the occupants to experience the outdoors. Roofs and overhangs shall be purposeful with respect to solar orientation. Crisp, defined edges are reflected in the building and the landscaping. This style will probably be prominent in the larger more expensive lots. Clean, mono-chromatic color blocking with relationships to materials is encouraged. Fenestration shall be commercial in appearance.



10.1.1c Transitional Design Intent

A fresh take on the typical suburban neighborhood is what this style shall evoke. Familiar shapes and forms shall be simplified, and shown with less ornamentation. Materials shall be re-interpreted and/or used in different ways, along with introducing new materials. Colors shall be playful but purposeful.



10.2 Mid-Century Modern



10.2.1a Mid-Century Modern Design Standards

- A. If masonry is used it shall be brick, cut stone, or masonry units.
- B. Natural earth tone colors shall be prominent in the color scheme.
- C. Window and door trim shall be minimized.
- D. Trapezoid windows shall be used to express major roof slopes.
- E. Entry doors and garage doors shall be smooth/ flush.
- F. Maximum roof pitch shall be 4:12.
- G. Post and beam construction shall be emphasized at porches and entries.
- H. Porch columns shall be monolithic, steel, or wood.
- I. Mid-Century era light fixtures shall be used.

10.2.1b Mid-Century Modern Design Guidelines

- A. Painted brick is permitted.
- B. Accent Glass is encouraged.
- C. Exposed wood beams are encouraged.
- D. Railings are encouraged to provide a consistent architectural design element.



10.2.2 Mid-Century Modern Design Concepts



10.3 Modern Contemporary



10.3.1a Modern Contemporary Design Standards

- A. Building forms shall have an additive composure with clean geometric shapes.
- B. Natural stone, dry stacked, board formed concrete, and material wood accents shall be incorporated into the architecture.
- C. Asymmetrical window groupings shall be used.
- D. Window and door trim shall be minimized.
- E. Entry doors shall be minimalistic.
- F. Flat accent roofs or parapet walls shall be used.
- G. Columns shall be solid, expressive, and composed of masonry or solid materials.
- H. Light fixtures shall have clean, simple lines.

10.3.1b Modern Contemporary Design Guidelines

- A. Corner windows are encouraged.



10.3.2 Modern Contemporary Design Concepts



10.4 Transitional



10.4.1a Transitional Design Standards

- A. Building forms shall reflect traditional and classic forms and massing.
- B. Creative material application is required.
- C. Window and door trim shall be reflective of the architectural style, yet have a modern flavor.
- D. Minimum roof pitch shall be 6:12.
- E. Columns and beams shall be a modern interpretation of the traditional version for the selected architectural style.
- F. Light fixtures shall reflect the selected architectural style.

10.4.1b Transitional Design Guidelines

- A. Masonry can be any of the masonry mentioned in section 9.3.3 of the Principles of Cohesive Architecture.
- B. Decorative elements such as awnings, vents, and railings are allowed.
- C. Flat accent roofs and parapet walls are permitted.
- D. Vents and railings are allowed.



10.4.2 Transitional Design Concepts



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11.0 Commercial Design Standards & Guidelines

The Commercial components of Legato should link to the Residential Neighborhoods through the established Residential Architectural Styles, (Mid-Century, Contemporary, and Transitional.) Large covered plazas that blend indoors and outdoors are essential in emphasizing the Colorado lifestyle. Welcoming, human scale entrances will blend with the pedestrian connections throughout the site. A tectonic, industrial pallet of materials will give the commercial buildings a richer quality than the Residential structures. This will create a fusion of exciting structures that will separate Legato from any other community in Colorado.



11.0 // Commercial Design Styles

All non-residential and multi-family developments, including architecture and siting requirements must be approved by the Legato Design Review Board prior to submittal to Commerce City for approval. Confirmation of compliance with Community Design Standards and Guidelines shall be provided in accordance the Checklist provided in the Appendix for LDRB review and approval.

11.1 Commercial Design Style Standards

- A. Buildings including franchise architecture shall be designed to reinforce the forward-thinking style established for Legato and shall comply with these standards and guidelines. Modifications to standard franchise architecture may be necessary to achieve the required architectural design for Legato.



11.1.2 Building Forms & Massing Guidelines

- A. Building forms and facades should provide an awareness of the activity within the buildings through frequent doors and windows that are oriented towards the public streets and open spaces.
- B. Enhance the massing and scale of the architecture through the variation of materials and color.
- C. Human scale elements such as awnings, canopies, sunshades, etc. should populate the ground floor.



11.1.3a Entries and Facades Standards

- A. Building elements shall have good proportions and be complimentary with one another.
- B. Special emphasis shall be placed on the design of corner elements located at street corners.
- C. Public entries to the building shall be obviously identifiable from the street.

11.1.3b Entries and Facades Guidelines

- A. Buildings facing pedestrian streets shall include modulation and/or articulation features every 75' to emulate the pattern of small local storefront shops. Possible methods to use are:
 - / Windows and/or entries that reinforce the 75' storefront facade
 - / Use of awnings, trellises, or other weather protection features
 - / Change in roof line
 - / Change in building material
 - / Break in wall planes
- B. Where possible, indoor two story elements such as double height rooms and stairways should be reflected in the exterior facade.
- C. Facades should be generally parallel to the public streets on which they front and should be oriented toward the street.



11.1.4a Materials and Colors Standards

- A. All architectural building facades shall incorporate materials that are durable economically maintained and timeless in their appearance. Materials include masonry, stone, stucco, architectural precast and architectural site cast concrete and cast stone, architectural metal panels, glass, and cementitious siding and panels.
- B. Horizontal material changes shall be accompanied by changes in plane.

11.1.4b Materials and Colors Guidelines

- A. Materials and design details should be used creatively to develop a unique and well executed image for each building.
- B. Well-designed details and well-executed construction should be used.
- C. Other materials that are consistent with the standards outlined above may be reviewed by the LDRB.

11.1.5a Architectural Elements Standards

- A. Roof parapets shall be high enough to shield rooftop equipment from rights-of-way.





11.1.5b Architectural Elements Guidelines

- A. Ground floors of buildings shall not offer large dead surfaces but instead shall have enough transparency to facilitate social interaction between building occupants and passersby.
- B. Outdoor seating is strongly encouraged.
- C. Recreational roof decks are allowed and encouraged as long as they do not provide views into adjacent private residential yards.
- D. Limit reflective glass to an outside daylight factor of thirty (30) percent or less. Mirror glass is not allowed except in very limited application.

11.1.6a Architectural Secondary Elements Standards

- A. Bay doors, delivery areas, outdoor storage areas, and outdoor display of goods shall be located at the sides or rears of buildings and screened from view from public streets by landscape berms, walls, or screen fencing.
- B. All accessory structures shall be designed to reflect the architectural style and with the same degree of architectural treatment as the primary structure to which it is ancillary and are subject to review by the LDRB.



11.2 Commercial Building Types

11.2.1 Multi-Family Principles

Multi-Family homes are essential in creating a social, economic, and cultural diversity to any community. All multifamily development should blend with the Legato character and exemplify a high quality of architecture. The Buildings and Site plan should connect appropriately to its surroundings, incorporate design variety and interest, and provide well designed amenities. One of the three Residential Architecture styles shall be incorporated into the building design.

All accessory structures shall be designed to reflect the architectural style and with the same degree of architectural treatment as the primary structure to which it is ancillary and are subject to approval by the LDRB.



11.2.2 Retail Principles

Shopping is interlinked with the evolution of strong communities, and pedestrian activity. The retail structures in Legato should connect with the rest of the community at a human scale at street level. Expansive glazing and deep overhangs are also desired along streets. The structures do not need to reflect the three Residential Architectural styles. They do need to be a direct interpretation of these styles. The objective is to ensure that new retail development meets a high-quality design standard to enhance the shopping experience at Legato.



11.2.3 Office Principles

An office building is a visible index of economic activity, financial progress, and technological advancement, and these are all essential to the vibe of Legato. These buildings should not be overpowering in scale or massing, while a pedestrian scale is not essential it should be considered. Buildings that evoke a sense of adventure and forward thinking will fit nicely into the Legato landscape.



11.2.4 Mixed-Use Principles

Multi-Family, Retail, and Office uses are all integral to a vibrant community. The Mixed-Use building type provides an opportunity for people to live, work, and thrive in Legato from one location. Depending on the scale, these buildings can take on a residential scale, in which case they should emulate one of the three Residential Architectural Styles. If the structure is at a commercial scale, then the building should be follow the Retail/Office Principles.



11.2.5 Hospitality Principles

Legato's proximity to D.I.A., along with the thriving business and retail elements, will make it magnet for visitors looking to experience a new Colorado Adventure. Hotels and Restaurants will link these visitors to the long-term residents, and employees of the neighborhood. These buildings should maintain any national identity associated with the ownership group and embrace the design quality associated with the Retail/Office principles.



11.2.6 Office Flex/ Employment Centers Principles

The vision for Legato includes a thriving, aesthetically pleasing light industrial component that serves the community's needs while resulting in little impact to neighbors. The character of the neighborhood provides a unified theme for these large structures, their screening walls, and signage. Simple structures with Iconic entries, and clever use of colors and materials are necessary to mitigate the warehouse appearance of these buildings.





Legato

SIGNAGE PROGRAM



12.0 Permanent Signage



/ Permanent signage at Legato is a welcoming sentry, a way to find your way around, a physical articulation that “you’ve made it” - whether that is home, work, or shopping. The materials and forms combine to create a bold, timeless expression of the community. Monumentation and signage create an enduring impression upon arrival, and strong sense of place far into the future.



12.0 // Permanent Signage

12.1 Primary Monuments Design Intent

- / All primary monuments throughout Legato shall follow a uniform look and feel inclusive of consistent materials, style, and design. Primary monuments shall be located at major entries for Legato itself and its Marketplace and Workplace components. These primary monuments will be constructed with durable materials that require minimal ongoing maintenance.
- / Primary monuments dimensions will be determined to comply with Commerce City signage codes, and take into account locations and setbacks for each application.

12.1.1a Design Standards

- There shall be consistent use of materials throughout residential, non-residential, and amenity areas.
- Concrete, ledge stone veneer, and solid-core dimensional letter forms shall be the predominant materials.
- Signs shall be placed in locations in accordance with the overall land plan and shall take required setbacks into consideration.
- Primary monuments shall be designed and constructed in a horizontal format for consistency.
- High-efficiency uplighting shall be used to ensure readability in low-light.

12.1.1b Design Guidelines

- Color should be used to designate the type of area use (residential, non-residential, recreational, etc)
- Primary monuments should be proportional to the area use/context of location by using the height and width of the “L” of Legato for monument base height and positioning of where “Legato” is then positioned on top/edge of the monument base.
- Dependent upon the primary monuments’ locations, complementary landscaping should be integrated.



PRIMARY COMMUNITY MONUMENT



PRIMARY RETAIL MONUMENT



PRIMARY WORKPLACE MONUMENT

12.2 Secondary Monuments Design Intent

/ Secondary monuments are designed as smaller-scale iterations of the Legato primary monument design elements. These monuments are recommended at secondary or less-trafficked entries into Legato and its workplace and marketplace components if direct access does not accompany the visibility of a primary monument upon initial entry into the community. Secondary monuments designs follow the consistent, uniform design of Legato's primary monuments.

/ Secondary monuments dimensions will be determined to comply with Commerce City signage codes, and take into account locations and setbacks for each application.

12.2.1a Design Standards

- A. There shall be consistent use of durable materials for every secondary monument that require minimal ongoing maintenance.
- B. Concrete, ledge stone veneer, and solid-core dimensional letter forms shall be predominant materials.
- C. Signs shall be placed in locations in accordance with the overall land plan and will take required setbacks into consideration.

12.2.1b Design Guidelines

- A. Minimal color differences should be used to designate the type of area use (residential, non-residential, recreational, etc)
- B. The use of landscaping around secondary monuments should be complementary to its location and context.
- C. High efficiency uplighting should be used in select locations for readability and visibility in lower light settings.



SECONDARY COMMUNITY MONUMENT

12.3 Tertiary and Park Monuments Design Intent

/ The planned park amenities for Legato are significant for the resident and visitor experience, and must be presented and positioned as such. Utilizing consistent materials to keep within the uniform approach of community monumentation, these tertiary/park monuments are designed to replicate the form of primary monuments with the addition of the amenity signature.

/ Tertiary and park monuments dimensions will be determined to comply with Commerce City signage codes, and take into account locations and setbacks for each application.

12.3.1a Design Standards

- A. There shall be consistent use of durable materials for all tertiary and park monuments, which require minimal ongoing maintenance.
- B. Concrete, ledge stone veneer and solid-core dimensional letter forms shall be predominant materials.
- C. Amenity signatures, such as Park or Amphitheater, shall be integrated on the tertiary/park monument facade as dimensional cut letters for area and/or amenity designation.
- D. High efficiency lighting shall be used for readability and visibility in low light.
- E. Tertiary/Park monuments shall be placed in accordance with the overall land plan and will take required setbacks into consideration.

12.3.1b Design Guidelines

- A. Amenity signatures, such as Park or Amphitheater, should use color differentiation in the line of the "g" as well as the amenity signature text to designate area use.
- B. Tertiary and Park monuments should be used for the impending school site, dependent upon the name of the school and in accordance with the sign code.



TERTIARY/PARK COMMUNITY MONUMENT

12.4 Retail/Workplace Directional and Tenant Roster Signage Design Intent

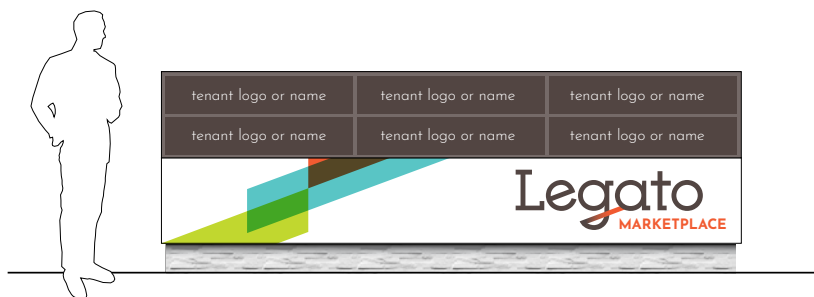
/ Legato's mixture of residential and non-residential components requires intuitive and expected directional and tenant signage for its non-residential locations. However, these signage components must remain consistent with the overall look and feel of the community's permanent signage expressions.

12.4.1a Design Standards

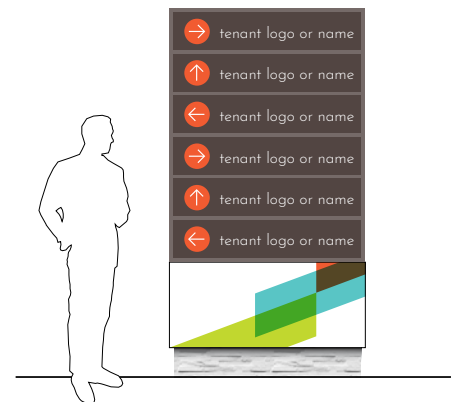
- A. There shall be consistent use of materials for all non-residential directional and tenant roster signage, which shall require minimal ongoing maintenance for tenant signage upkeep and a consistently kempt presentation.
- B. Direct digital print on backing material for Legato logo and graphics, ledge stone veneer, solid-core dimensional letter forms, and direct digital print and/or cut vinyl lettering for tenant logo or name shall be the predominant materials.
- C. Location signatures, such as Marketplace or Workplace, shall be integrated into the tenant roster and directional signs for area use designation.
- D. Color differentiation between Marketplace and Workplace shall be adhered for further area use designation.
- E. Tenants' names and logos shall be manufactured for internal illumination to ensure readability and visibility in low light.

12.4.1b Design Guidelines

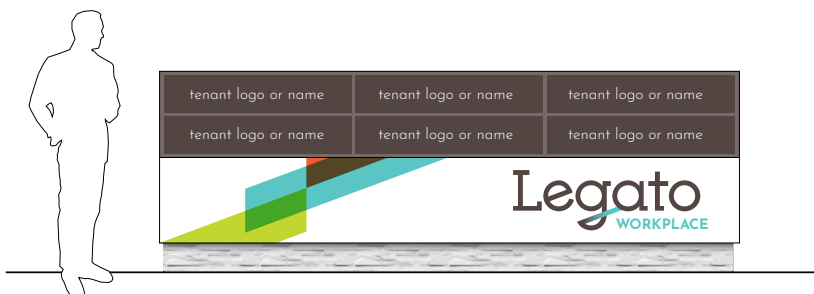
- A. Individual Tenant Signage applications should be used for drive-through signage.
- B. Directional Signage should be used in office park complexes or multi-business retail pads as necessary for easy navigation.
- C. All Retail/Workplace signage should be color-coded to adhere to the separate yet united residential, non-residential, and recreational components of Legato.



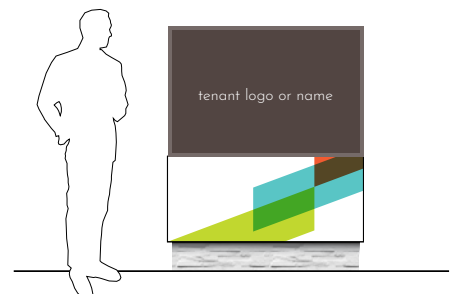
RETAIL TENANT ROSTER SIGNAGE



DIRECTIONAL SIGNAGE



WORKPLACE TENANT ROSTER SIGNAGE



INDIVIDUAL TENANT SIGNAGE



13.0 Temporary Signage Regulations

/ Legato Temporary Signage Regulations have been developed to maintain a clean on-site presentation while still supporting the dynamic promotional needs required during the active development and sales phase of a master-planned community with multiple builders. These regulations have also been developed to ensure parity in new home builder representation.



13.0 // Temporary Signage Regulations

13.1 Temporary Signage Applications

13.1.1 Sales Office Sign

Legato builders are allowed one sales office sign per Sales Office location. This sign is intended to contain information such as builder name/logo, collection information, contact info, pricing info, etc. The sign may be designed to conform with the builder brand look & feel. Sign may not exceed 48 square feet per side. This sign will be fabricated, installed and maintained by builder's selected sign vendor.

13.1.2 Model ID Sign

Legato builders are allowed one model ID sign per model home. This sign may conform with the builder brand look & feel. These signs will be provided and maintained by builder.

13.1.3 A-frame Sign

Legato builders are allowed up to two A-frame signs at their sales office location. A-frame signs may conform with the builder brand look & feel. These signs will be provided and maintained by builder.

13.1.4 Bootleg/T-stake/Weekender Signage

Smaller, temporary signage such as bootlegs/t-stake/weekenders are NOT allowed within the community. The exception to this rule is if temporary signs are directing visitors to a special event (i.e. Parade of Homes, special event, etc.). If that is the case, temporary signs may only be posted during the duration of the event.

13.1.5 Feature/Selling Points Signage

Exterior signage promoting unique product selling points must be approved by the LDRB. This includes messaging such as energy efficiency, sustainability, safety and technology call-outs.

13.1.6 Flag Poles

One flag pole is allowed per Sales Office to fly an American flag and a builder logo flag. Flag pole height may not exceed 50 feet, and will be required to conform to Commerce City guidelines. Proper permitting must be secured.

13.1.7 Lot/Block, Available, Sold and Private Residence Signs

Lot/Block, Available, Sold and Private Residence signs sign may conform with the builder brand look & feel.

13.1.8 Off Site Signage

Any signage that is placed on Legato property, but not on a builder owned lot, shall be approved by the LDRB. Signage that is located on Legato frontage in CDOT/E-470 right-of-way is not permitted. Builders may pursue off-site signage with private landowners as desired.

13.2 Promotional Signage Applications

13.2.1 Promotional Signage

Promotional signage is considered to be temporary additions to a builder's sales office/model area to draw attention to a special promotion or event, i.e. flutter flags, balloons, banners, etc.

Promotional items are permitted within a limited time frame following these guidelines:

A. *Flutter flags, balloons, banners and other promotions materials* may only be used during events, and must be taken down within two days after event completion.

For example, if you're hosting an event all day Saturday, these materials must be removed by close of business on Monday.

B. *Temporary banners* promoting special pricing or other incentives may be fastened to trap fencing, temporary sales office or model home. Banners may be up for a maximum of 30 days.

13.2.2 Cloud Buster Balloons One cloud buster balloon per sales office location is permitted to fly on weekends only.



Legato

APPENDIX

14.0 // Appendix

14.0 Appendix Intent

/ To further the clarity and consistency of the Legato Design Standards and Guidelines, a definitions list and checklist have been provided to ensure that the LDRB may uphold that each applicable standard is met.

14.1 Definitions

/ Auto Court.

Auto Court is defined as an arrangement of single family attached or townhomes, single-family detached homes or paired homes sharing a common private access drive. Auto courts include relatively small areas of outdoor private space. Continuous groupings of these auto-courts are limited unless mitigated with additional outdoor space. The maximum length of a dead-end auto court shall be 150 feet or as permitted by fire code. An auto court private access drive shall gain access from an adjacent public street. Garages and driveways shall take access from the shared private access drive.

/ Build-To Line.

A Build-To Line (BTL) is a set building line on a lot, measured parallel from the front and/or corner side lot line, where the structure must be located. The building facade must be located on the build-to line. Facade articulation, such as window or wall recesses and projections are not counted as the building façade line, which begins at the applicable façade wall. The compulsory building-to-line is intended to maintain a strong edge along the street façade.

/ Eyes on the Park.

Eyes on the park is a term used within the Legato Community Design Standards and Guidelines to describe the siting of homes and non-residential buildings in relation to public spaces such that the public space is within view and easily visible from the adjacent use. The intent is to enhance the safety of the user within the public space.

/ Fences

Screen Style Fence. Screen Style fences shall provide an opaque surface designed to conceal the interior portion of a property from an adjacent property or public right-of-way.

Open Style Fence. Open style fences shall not be designed to completely conceal the interior portion of the lot. Acceptable open style fencing for Legato include open rail or ornamental metal vertical picket fence.

- a. Open rail fence is defined as dimensional boards used as horizontal rails supported by posts. An open rail fence is not a Split Rail fence which is defined as a type of fence constructed of timber logs, usually split lengthwise into rails, and typically used for agricultural or decorative fencing.
- b. Ornamental metal fence is defined vertical metal pickets typically placed four inches apart made of steel, hollow steel, tubular aluminum or wrought iron.

Semi-Screen Fence. A semi-screen fence is defined as a fence that is partially open style and partially a screen style fence. A semi screen fence provides privacy while being 25 percent open.

/ Green Court.

Green Court is defined as a form of development in which three or more single family attached, single family detached, or paired homes are arranged in a side by side lotting configuration and where the front door does not face a public or private street but instead faces a green court open space which acts as a communal front yard, is connected to a public street or private drive, and the development is oriented to direct pedestrian connectivity through the green courts rather than the street/alleys.

/ Guidelines.

Guidelines are a general rule, principle or piece of advice to provide considerations that promote the goals defined in the intent statements. Meeting the specific guidelines may help in identifying alternative approaches to meeting standards. Guidelines are strongly considered if there is a request to waive a related standard.

/ Outdoor Dining Enclosure.

Outdoor Dining Enclosures are typically defined as a three-season outdoor room usually ancillary to an eating and drinking establishment with an open appearance.

/ Private/Pocket Park.

Private/Pocket Parks are intended to provide opportunities for passive outdoor recreation at a sub-neighborhood scale. Private/Pocket Parks are typically located within one-quarter mile of the residents they are intended to serve. Private/Pocket Park shall mean land within or related to a development, not individually owned but dedicated for public use and is generally owned and maintained by a homeowner's association or metro district. The parks are designed and intended for the common use or enjoyment of the residents of the development and may include both passive and active recreational amenities. The Private/Pocket Parks shall meet the standards as specified in the Land Development Code and shall satisfy the Private Parks and Open Space requirements of the Code.

/ Shall.

Shall is considered mandatory and prescribed per the Legato Community Development Standards and Guidelines.

/ Standards.

Standards are rules, principles, or requirements to provide specific direction based on the stated intent. Standards must be met within each development submitted for review and approval by the LDRB and City.

/ Vertical Mix.

Vertical Mixed Use generally refers to residential uses located above retail, commercial, or office uses. The added building height, density, and diversity of uses encourages pedestrian activity and provides housing choices close to goods and services for neighborhood residents.

14.2 Legato Design Review Board Approval Compliance

- / The Legato Design Review Board (LDRB) shall provide an approval letter and reporting form/checklist for each review that demonstrates compliance with the Design Standards and Legato PUD. The letter and reporting form shall be submitted to the Commerce City at time of Plat, PUD Development Permit and Building Permit as applicable.
- / The following items shall be submitted by the applicant for review by the LDRB.

Legato Design Review Board Approval Compliance

(Check as applicable and include with Letter of Approval)

- ☐ Project Data Sheet
- ☐ Applicant Information Sheet

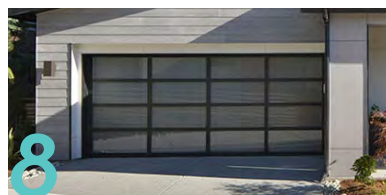
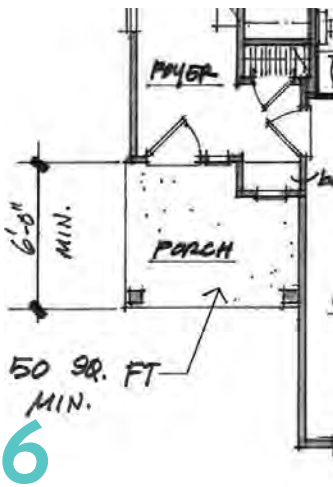
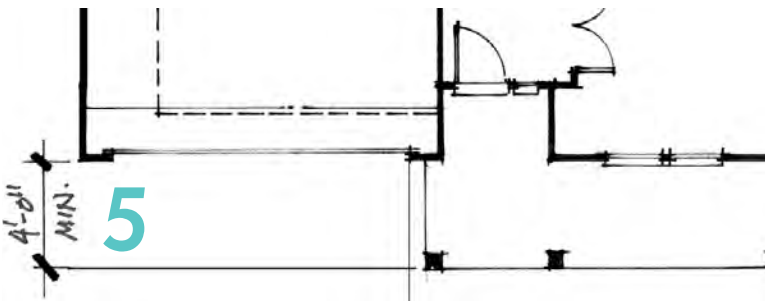
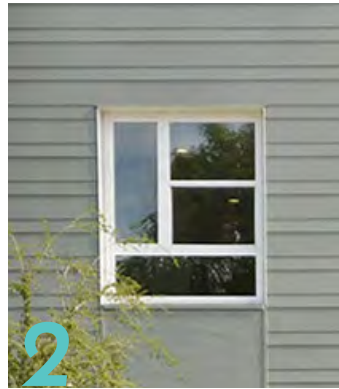
Checklist for Compliance and Approval

- ☐ Building Setback
- ☐ Locational Criteria
- ☐ Fencing
 - ☐ Open Style Fencing (Location and Style)
 - ☐ Screen Style Fencing (Location and Style)
 - ☐ Semi-Screen Style Fencing (Location and Style)
- ☐ General Development Site Grading and Drainage
- ☐ Screening and Buffering
- ☐ Parking
- ☐ Development Site Landscaping
- ☐ Development Site Signage
- ☐ Architectural Features (See attached checklist)

14.3 Legato Single Family: Architectural Character Menu

Master List

1. Metal accent roofs or awnings
2. Unique and asymmetrical window configurations
3. Garage door not facing the public street
4. Covered rear porch or deck with roof structure that is integral to house roof.
5. Garage set back from house or porch a minimum of 4'
6. Front porch of at least 6' deep and 50 SF.
7. Courtyard with style appropriate walls or wood fencing
8. Garage door with windows
9. Metal wall accent treatments
10. A masonry chimney or "Blade Wall" visible from the street



LDRB reserves the right to accept alternative features not listed in these menus if it feels it is in the spirit of the guidelines.

Legato Single Family: Architectural Character Menu

Mid-Century Modern Character Menu

1. At least 1(one) trapezoidal window facing the street.
2. Stacked bond masonry pattern on the front elevation
3. Natural wood appearing accent siding (horizontal or vertical)
4. Expressive beams and columns at front elevation that mimic traditional post and beam construction
5. 4:12 maximum roof pitch
6. Mid-century era exterior lights and house numbers
7. Narrow, splayed porch columns, (4" SQ or 4" diameter)
8. Clear story windows

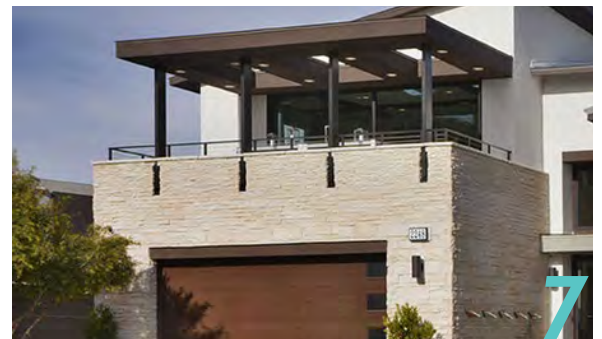


LDRB reserves the right to accept alternative features not listed in these menus if it feels it is in the spirit of the guidelines.

Legato Single Family: Architectural Character Menu

Modern Contemporary Character Menu

1. Contemporary styled stucco or hardboard panels with reveals as predominant front elevation material
2. Flat roof accent at front elevation
3. All glass garage door
4. Color Scheme featuring "Color Blocking" if massing
5. Contemporary metal or cable railing at porch or balcony
6. At least one mono-pitched roof
7. Upper level deck or balcony facing street



LDRB reserves the right to accept alternative features not listed in these menus if it feels it is in the spirit of the guidelines.

Legato Single Family: Architectural Character Menu

Transitional Character Menu

1. Steep roof pitches greater than 8:12 facing the street
2. Roof overhang max 6"
3. Flat accent roofs
4. At least one large masonry feature on front elevation
5. Large expressive panes of glass on front elevation
6. Alternative spacing of lap, or board and batten siding
7. Deep expressive recesses
8. Metal roof accents



LDRB reserves the right to accept alternative features not listed in these menus if it feels it is in the spirit of the guidelines.

Legato Single Family: Architectural Character Menu

Menu Item Requirements

Menu Item Requirements for Elevation Design			
Lots	Master List Quantity	Style Specific List Quantity	Total Items **
40' & 45'	1	2	4
55'	2	2	5
65'	3	3	6
SFA	2	2	4

** Number of items listed are minimum requirements. To meet total item requirements, character element(s) from the master list or style specific list must be chosen to fulfill remaining requirement quantities completely.

Additional Menu Item Examples



Master List Item #7



Master List Item #7



Transitional Item #7



Master List Items #1 & 9



Master List Item #7



Transitional Item #4; Master List Item #8



Master List Item #10



Modern Contemporary Items #6

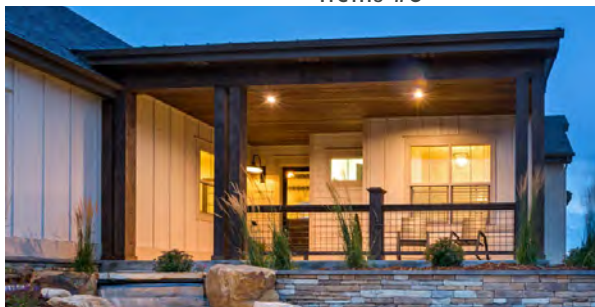


Transitional Item #5



Modern Contemporary Item #6;

Master List Items #9 & 10



Transitional item # 6; Master List Item #4



Mid-Century Modern Items #3, 4, & 6

LDRB reserves the right to accept alternative features not listed in these menus if it feels it is in the spirit of the guidelines.

Legato Commercial Architectural Character Menu

Multi-Family

/ Attached Multi-Family homes are essential in creating a social, economic, and cultural diversity to any community. All multifamily development should blend with the Legato character and exemplify a high quality of architecture. The Buildings and Site plan should connect appropriately to its surroundings, incorporate design variety and interest, and provide well designed amenities. One of the three Residential Architecture styles shall be incorporated into the building design.

/ Any Multi-Family design must contain a minimum of 3 of the following menu items.

1. A unique architectural feature at the building entry.
2. At least three materials on the primary structure.
3. Building forms that express individual units, floor plates, or vertical stacking.
4. Expressive corners to identify building edges.
5. A ground-floor, outdoor amenity that engages the street.
6. Plane break in the ground floor a minimum of 75'.
7. An interior two-story volume space that is expressed on the exterior.
8. Awnings, shade structures, or canopies at street level.



LDRB reserves the right to accept alternative features not listed in these menus if it feels it is in the spirit of the guidelines.

Legato Commercial Architectural Character Menu

Retail

/ Shopping is interlinked with the evolution of strong communities, and pedestrian activity. The retail structures in Legato should connect with the rest of the community at a human scale at street level. Expansive glazing and deep overhangs are also desired along streets. The structures do not need to reflect the three Residential Architectural styles. They do need to be a direct interpretation of these styles. The objective is to ensure that new retail development meets a high-quality design standard to enhance the shopping experience at Legato.

/ Any Retail design must contain a minimum of 3 of the following menu items.

1. A unique architectural feature at shop entries
2. A rusticated, durable material at the building's base.
3. A ground-floor, outdoor, public amenity that engages the street.
4. Awnings, shade structures, or canopies at street level.
5. Plane break on the ground floor a minimum of 75' with glazing to mimic individual storefronts.
6. A parking lot that is not visible from the main public street.
7. Expressive corners to identify building edges.
8. Facades facing pedestrian areas or public streets, to incorporate glazing at street level.
9. Service entrances located away from street and pedestrian areas. These should not be visible from the main street or adjacent buildings.



LDRB reserves the right to accept alternative features not listed in these menus if it feels it is in the spirit of the guidelines.

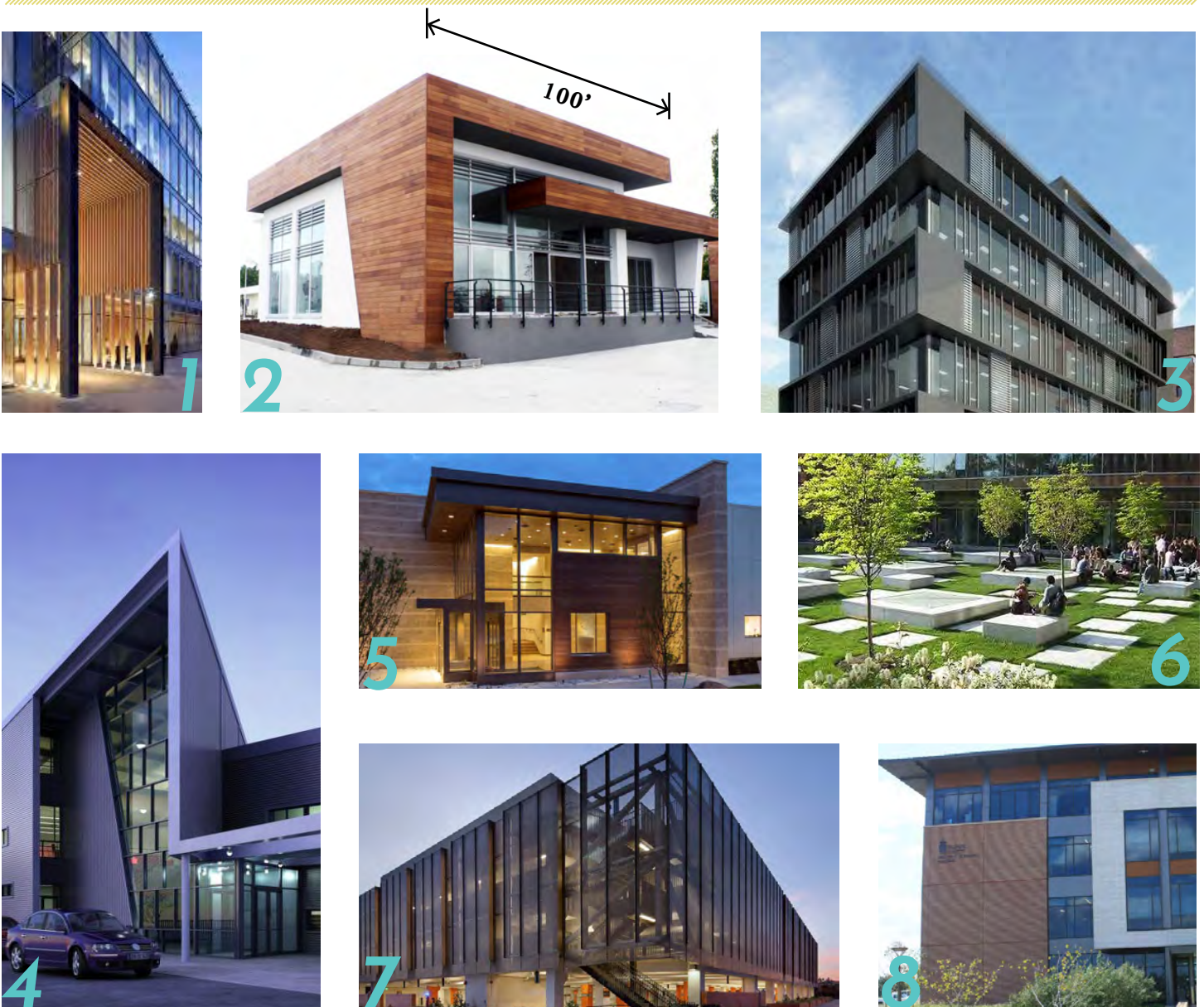
Legato Commercial Architectural Character Menu

Office

/ An office building is a visible index of economic activity, financial progress, and technological advancement, and these are all essential to the vibe of Legato. These buildings should not be overpowering in scale or massing, while a pedestrian scale is not essential it should be considered. Buildings that evoke a sense of adventure and forward thinking will fit nicely into the Legato landscape.

/ Any Office design must contain a minimum of 3 of the following menu items.

1. A unique architectural feature at the building entry.
2. A building mass that does not exceed 100' in length.
3. Clearly identifiable horizontal articulation.
4. Expressive corners to identify building edges.
5. An interior two-story volume space that is expressed on the exterior.
6. A ground-floor, outdoor, public amenity that engages the street.
7. A parking lot that is not visible from the main public street.
8. Creative application of a minimum of 3 materials.



LDRB reserves the right to accept alternative features not listed in these menus if it feels it is in the spirit of the guidelines.

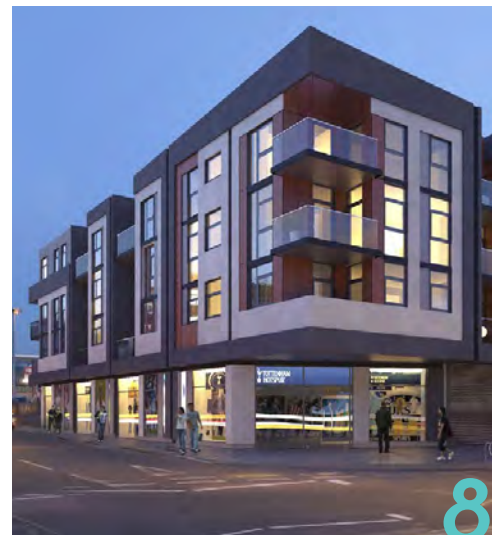
Legato Commercial Architectural Character Menu

Mixed-Use

/ Multi-Family, Retail, and Office uses are all integral to a vibrant community. The Mixed-Use building type provides an opportunity for people to live, work, and thrive in Legato from one location. Depending on the scale, these buildings can take on a residential scale, in which case they should emulate one of the three Residential Architectural Styles. If the structure is at a commercial scale, then the Retail/Office standards should apply.

/ Any Mixed-Use design must contain a minimum of 3 of the following menu items.

1. A unique architectural feature at the building entries.
2. Clearly identifiable horizontal articulation.
3. Building forms that express individual units, floor plates, or vertical stacking.
4. Expressive corners to identify building edges.
5. A ground-floor, outdoor amenity that engages the street.
6. A parking lot that is not visible from the main public street.
7. Awnings, shade structures, or canopies at street level.
8. Plane break in the ground floor a minimum of 75' with glazing to mimic individual storefronts.



LDRB reserves the right to accept alternative features not listed in these menus if it feels it is in the spirit of the guidelines.

Legato Commercial Architectural Character Menu

Hospitality

/ Legato's proximity to DIA, along with the thriving business and retail elements, will make it magnet for visitors looking to experience a new Colorado Adventure. Hotels and Restaurants will link these visitors to the long-term residents, and employees of the neighborhood. These buildings should maintain any national identity associated with the ownership group and embrace the design quality associated with the Retail/Office standards.

/ Any Hospitality design must contain a minimum of 3 of the following menu items.

1. A parking lot that is not visible from the main public street.
2. A ground-floor, public outdoor amenity that engages the street.
3. Building mass that does not exceed 100' in length.
4. An interior two-story volume space that is expressed on the exterior.
5. An identifiable architectural feature at the building entry.
6. Awnings, shade structures, or canopies at street level.
7. Creative and expressive application of materials.
8. Service entrances located away from street and pedestrian areas. These should not be visible from the main street or adjacent buildings.



LDRB reserves the right to accept alternative features not listed in these menus if it feels it is in the spirit of the guidelines.

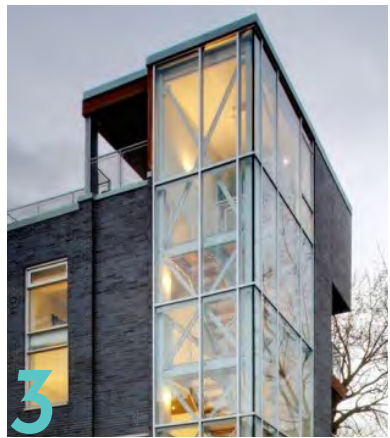
Legato Commercial Architectural Character Menu

Office Flex / Employment Centers

/ The vision for Legato includes a thriving, aesthetically pleasing light industrial component that serves the community's needs while resulting in little impact to neighbors. The character of the neighborhood provides a unified theme for these large structures, their screening walls, and signage. Simple structures with iconic entries, and clever use of colors and materials are necessary to mitigate the warehouse appearance of these buildings.

/ Any Office Flex / Employment Center designs must contain a minimum of 4 of the following menu items.

1. Use color to break up large building planes.
2. Clearly identifiable horizontal articulation.
3. Structural elements are expressed on the exterior.
4. Expressive use of a minimum of 3 building materials.
5. Service entrances located away from street and pedestrian areas. These should not be visible from the main street or adjacent buildings.
6. A unique or identifying form at building entry.
7. A parking lot that is not visible from the main public street.
8. Building mass that does not exceed 200' in length.



LDRB reserves the right to accept alternative features not listed in these menus if it feels it is in the spirit of the guidelines.

14.4 LDRB Checklist

LEGATO DESIGN REVIEW BOARD - Checklist

The Legato Design Review Board (LDRB) shall provide an approval letter and the following reporting form/checklist for each review that demonstrates compliance with the Legato Design Standards and Guidelines, Legato PUD, and the Commerce City Development and Design Standards as applicable. The letter and reporting form shall be submitted to the Commerce City at time of Plat, PUD Development Permit and Building Permit as applicable.

The following items shall be submitted by the applicant for review by the DRB. The DRB shall acknowledge receipt and approval, denial, or request resubmittal of each requirement.

LEGATO SUBMITTAL NO. _____				DATE _____	
Project Description:					
Provided	App.	N/A	Resub. Req.	Criteria	Notes
GENERAL PROJECT INFORMATION					
				Project Data Sheet	
				Applicant Information Sheet	
				Vicinity Map	
				Context Plan	
				Copy of Plat	
TYPE OF APPLICATION					
				Site Plan/Plot Plan	
				PUD Development Permit	
				SFD Master Architecture	
				SFA Master Architecture	
				Multi-family Master Architecture	
				Mixed-Use, Retail, Office/Flex Employment Center Master Architecture	
				Landscape Plan	
				Lighting Plan	
				Signage Plan	
DEVELOPMENT AREA PLANS					
				Pedestrian Connectivity	
				Vehicular Connectivity	
SINGLE FAMILY DETACHED, PAIRED HOMES, CLUSTER HOMES AND SINGLE FAMILY ATTACHED HOMES					
Siting/Use					
				Plot Plan/Site Plan	
				Use type	
				Locational/Siting criteria	
				Building setbacks per PUD	
				Site coverage	
				Grading and drainage plan	
				Utility services	
				Resident and guest Parking	
Landscaping					
				Percentage of site devoted to landscaping	
				Typical lot landscape	
				Common area landscape	
				Minimum plant material	
				Minimum plant size	
				Plant quantities and species	

				Foundation planting	
				Buffers (if required) - width, plant quantity, size, and species	
				Streetscape	
				Irrigation plan	
				Xeriscape techniques	
				Provided per Legato Design Standards and Guidelines and PUD	
				Provided per Commerce City Development and Design Standards	
Architecture					
				Define Residential Architectural Design Style	
				Compliance with Architectural Character Master List	
				Compliance with Menu Item Requirements per Design Style	
				Anti-Monotony Implementation Plan	
				Provided per Legato Design Standards and Guidelines and PUD	
				Provided per Commerce City Development and Design Standards	
Fencing and Walls					
				Locational requirements	
				Open style fencing material, type, color/stain, and height	
				Screen/opaque fencing material, type, color, and height	
				Transition fence for change in fence height if applicable	
				Screening of utility appurtenances	
				Wall type, material, color, and height	
				Stepping to accommodate grades	
				No obstruction to Sight Visibility triangle	
				Corner lot side yard fence setback from sidewalk (30 inches)	
				Provided per Legato Design Standards and Guidelines and PUD	
				Provided per Commerce City Development and Design Standards	
Lighting					
				Complementary to architectural character style	
				Pedestrian scale lights	
				Building mounted lights	
				Provided per Legato Design Standards and Guidelines and PUD	
				Provided per Commerce City Development and Design Standards	
Signage					
				Temporary Signage	
				Neighborhood identification signage	
				Builder Promotional signage	
				Provided per Legato Design Standards and Guidelines	
				Provided per Commerce City Development and Design Standards	

**NON-RESIDENTIAL, MULTI-FAMILY, RETAIL, OFFICE, MIXED-USE,
OFFICE FLEX/EMPLOYMENT CENTER**

Siting/Use

				Use (Permitted or by Permit)	
				Plot Plan/Site Plan	
				Locational/Siting criteria	
				Building setbacks	
				Site coverage	
				Grading and drainage plan	
				Utility services	
				Access and parking design, structure, surface, shared	
				Drive through access, window, menu board location and screening	
				Service areas, loading zones and waste storage	
				Prominence of primary entry	
				Sustainability measures	

Landscaping

				Percentage of site devoted to landscaping	
				Common area landscape	
				Minimum plant material	
				Minimum plant size	
				Plant quantities and species	
				Foundation planting	
				Buffers (if required) - width, plant quantity, size, and species	
				Streetscape	
				Irrigation plan	
				Xeriscape techniques	
				Parking lot screening	
				Detention pond landscaping	
				Provided per Legato Design Standards and Guidelines and PUD	
				Provided per Commerce City Development and Design Standards	

Architecture

				Compliance with Menu Item Requirements per Use type	
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The following items are required per the Design Style Standards and Use Type

				Building Forms and Massing	
				Entries and Façade	
				Materials and Colors	
				Primary Architectural Elements	
				Secondary Architectural Elements	
				Decks and Porches	
				Commercial building type principles by Use Type	
				Provided per Legato Design Standards and Guidelines and PUD	
				Provided per Commerce City Development and Design Standards	

Fencing and Walls

				Locational requirements	
				Open style fencing material, type, color/ stain, and height	
				Screen/opaque fencing material, type, color, and height	

				Transition fence for change in fence height if applicable	
				Screening of utility appurtenances, loading zones, and service areas	
				Wall type, material, color, and height	
				Stepping to accommodate grades	
				Obstruction to Sight Visibility triangle	
				Provided per Legato Design Standards and Guidelines and PUD	
				Provided per Commerce City Development and Design Standards	
Lighting					
				Complementary to architectural character style	
				Adequacy of lighting coverage (photometric plan)	
				Pedestrian scale lights	
				Building mounted lights	
				Parking lot lighting	
				Provided per Legato Design Standards and Guidelines and PUD	
				Provided per Commerce City Development and Design Standards	
Signage					
				Temporary signage	
				Permanent identification signage	
				Directional signage	
				Retail and tenant roster signage	
				Provided per Legato Design Standards and Guidelines	
				Provided per Commerce City Development and Design Standards	

Approved by:

LDRB Reviewer, Title

Date

Legato