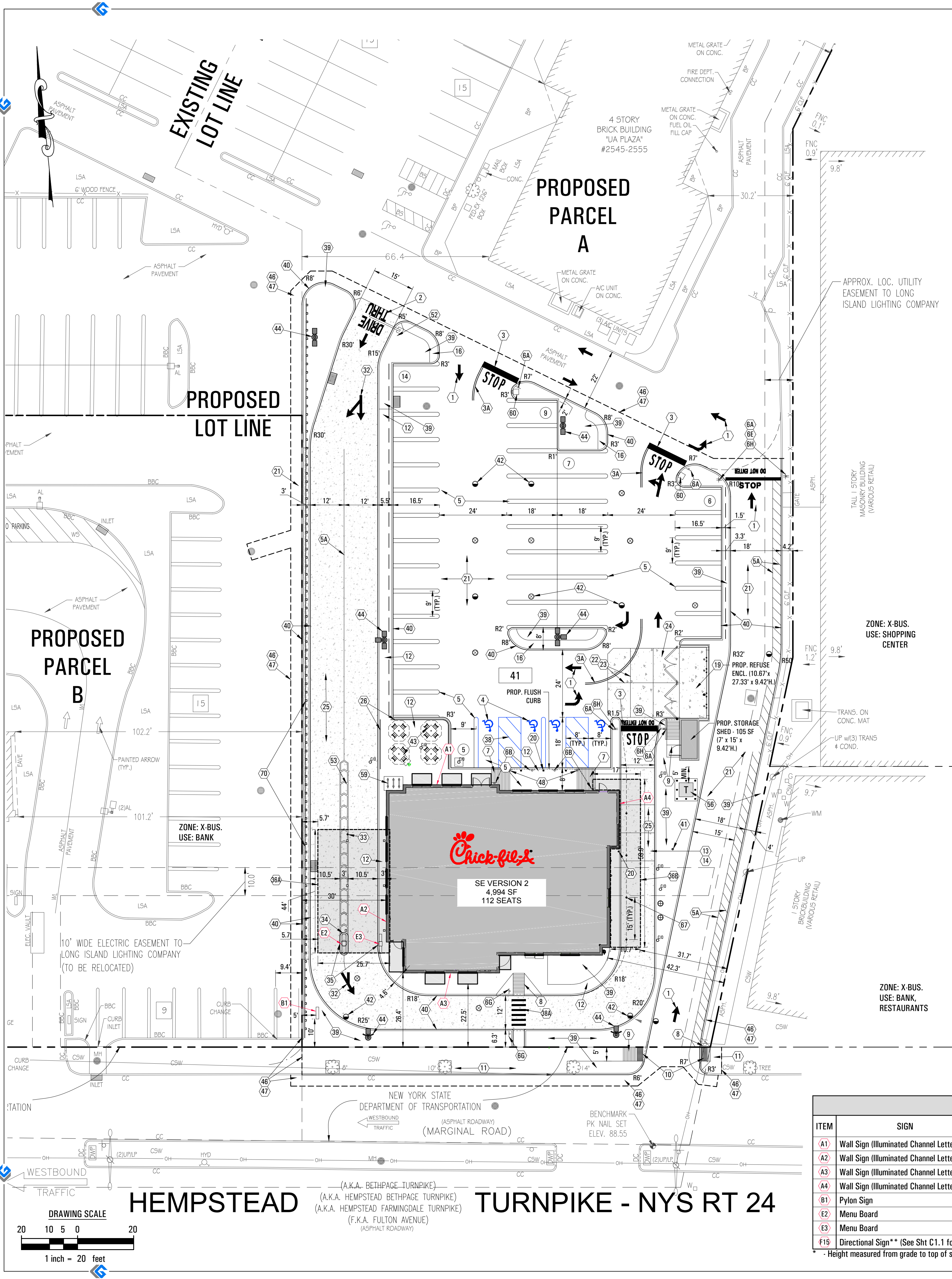


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SITE PLAN KEYNOTES

ITEM	NOTE	DETAIL REF.
1	DIRECTIONAL ARROW (TYP.)	(C1)
2	DRIVE-THRU GRAPHICS	(C2)
3	STOP LINE GRAPHIC (WHITE)	(C3)
3A	DOUBLE YELLOW STRIPING	(C3A)
4	THERMOPLASTIC HANDICAP SYMBOL (BLUE)	(C4)
5	STANDARD PARKING STALL (WHITE)	(C5)
5A	STRIPING (WHITE)	(C5A)
6	DIRECTIONAL SIGNAGE	(C6)
6A	STOP SIGN	(C6A)
6B	HANDICAPPED PARKING SIGN	(C6B)
6C	CIRCLE BLDG. FOR DRIVE-THRU SIGN (NOT USED)	(C6C)
6D	KEEP RIGHT SIGN (NOT USED)	(C6D)
6E	ONE WAY SIGN	(C6E)
6F	LEFT TURN ONLY SIGN (NOT USED)	(C6F)
6G	PEDESTRIAN CROSSING SIGN (NOT USED)	(C6G)
6H	DO NOT ENTER SIGN (NOT USED)	(C6H)
6I	ALL TRAFFIC "RIGHT" SIGN (NOT USED)	(C6I)
7	SIDEWALK HANDICAP RAMP	(C7)
8	HANDICAP RAMP W/LANED SIDES	(C8)
9	RETURNED CURB HANDICAP RAMP	(C9)
10	TRUNCATED DOMES - CAST IN PLACE	(C10)
11	TYPICAL CONCRETE SIDEWALK	(C11)
12	SIDEWALK WITH CURB SECTION	(C12)
13	DRIVE - THRU PLAN	(C13)
14	DRIVE - THRU ISOMETRIC	(C14)
15	SOLID PLASTIC WHEEL STOP (NOT USED)	(C15)
16	LANDSCAPE & IRRIGATION PROTECTOR	(C16)
17	24" CONCRETE CURB & GUTTER (NOT USED)	(C17)
18	ROLLOVER/MOUNTABLE CURB (NOT USED)	(C18)
19	REFUSE ENCLOSURE	(C19)
20	PICK-UP WINDOW BOLLARD	(C20)
21	TYPICAL PAVEMENT SECTION	(C21)
22	TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT	(C22)
23	TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT	(C23)
24	CONCRETE APRON @ TRASH ENCLOSURE	(C24)
25	CONCRETE PAVING DRIVE - THRU LANE	(C25)
26	ALUMINUM HANDRAIL (NOT USED)	(C26)
27	TYPICAL ADA RAMP HANDRAIL (NOT USED)	(C27)
32	DRIVE - THRU DIRECTIONAL GRAPHICS	(C32)
33	DRIVE - THRU ORDER POINT BOLLARD	(C33)
34	DRIVE - THRU ORDER POINT ISLAND CURB	(C34)
35	MENU BOARD LOOP DETECTION SYSTEM	(C35)
36A	ORDER POINT CANOPY (SEE ARCHITECTURAL DRAWINGS BY OTHERS)	(C36A)
36B	MEAL DELIVERY CANOPY (SEE ARCHITECTURAL DRAWINGS BY OTHERS)	(C36B)
37	STAMPED CONCRETE WALK (NOT USED)	(C37)
38	ADA PARKING STRIPING (TYP.)	(C38)
38A	STRIPED CROSSWALK	(C38A)
39	LANDSCAPE AREA	(C39)
40	CONCRETE CURB	(C40)
41	FLAG POLE	(C41)
42	DRAINAGE STRUCTURE (TYP.) (SEE SHEET GRADING AND DRAINAGE PLAN FOR DETAILS)	(C42)
43	OUTDOOR SEATING (SEE ARCHITECTURAL DRAWINGS BY OTHERS)	(C43)
44	LIGHT POLE (SEE LIGHTING PLAN FOR DETAILS)	(C44)
45	CURB WALL (MAX. 2' HT.) (NOT USED)	(C45)
46	MEET EXISTING	(C46)
47	LIMIT OF DISTURBANCE / SAWCUT LINE	(C47)
48	"NO PARKING ANY TIME" SIGN (NOT USED)	(C48)
49	"LANES MERGE AHEAD" SIGN (NOT USED)	(C49)
51	PRE-MENU BOARD (NOT USED)	(C51)
52	CLEARANCE BAR	(C52)
53	MULTI-ORDER POINT STRIPING	(C53)
55	DIRECTIONAL SIGN	(C55)
56	ELECTRICAL TRANSFORMER	(C56)
59	BICYCLE RACK - ORION MODEL ORNS-2-SF-ES	(C59)
60	TRASH RECEPTACLE WITH CHUTE	(C60)
67	4" RED "GORILLA POST" MAGNETIC BASE BOLLARD (15' O.C.)	(C67)
70	GUIDERAIL (TIMBER)	(C70)

SITE PLAN NOTES

- The General Notes shall be part of this entire document package and are part of the contract documents. The contractor is to familiarize himself and acknowledge his familiarity with all the General Notes as well as any and all drawing sheet specific notes below.
- Signs to be filed under separate applications.
- Lighting fixtures shall be "full cutoff" type and shall be shielded so as not to produce glare or direct illumination across boundary property lines.
- Location of existing and proposed services shown are approximate and must be confirmed independently by the contractor with the utility companies prior to commencement of construction. If discrepancies exist, notify the engineer immediately in writing.
- Stormwater runoff within property to be collected on-site with no overland runoff onto right-of-way or adjacent properties.
- Unsuitable material, construction debris, excess soils, etc. shall be properly removed and disposed of off-site in accordance with all applicable codes, ordinances and laws.
- The contractor is responsible to take erosion control measures necessary in accordance with NY Standards and Specification for Erosion and Sediment Control to prevent sediment and/or loose debris from washing onto adjacent properties.
- Directional signage to comply with the latest NYS MUTCD standards.
- All sidewalks, curbs, and pavement damaged by construction activities shall be repaired or replaced, whether specified on this plan or not.
- All on-site curbing to be concrete curb unless noted otherwise.
- Relocation and/or removal of existing utility poles, traffic signs, etc., shall be coordinated by the contractor. The contractor is responsible for field-verifying their presence.
- Excavation shall be properly backfilled with clean materials. The contractor shall refer to geotechnical reports. The contractor shall be responsible for compaction testing and shall submit such reports and results to the engineer of record and owner.

TOWN OF HEMPSTEAD NOTES

- All traffic signs and pavement markings shall conform to the New York State Department of Transportation Manual of Uniform Traffic Control Devices (Latest Edition).
- Minimum of 1.00 lumens per square foot of lighting will be provided throughout the entire site and residential dwellings shall be shielded.
- No speed bumps are permitted.
- No bumper stops or wheel stops are permitted.
- Any broken or hazardous existing sidewalk, driveway aprons and curbing adjacent to and on the subject site shall be replaced in accordance with current standards.
- The owner is responsible for the necessary traffic controls within the site and shall have a New York State professional engineer design same.
- Debris shall not be buried on the subject site. All unsuitable material and debris shall be disposed of in accordance with all local Town, County, State and Federal laws and applicable codes.
- All drywells and catch basins shall be precast, with precast openings for drainage pipes and shall conform to Nassau County Standards.
- Existing drywells shall be cleaned.
- The installation of all site and highway improvements including excavation, backfill and compaction of the trenches for sanitary sewers and utilities shall be supervised by the developer's Professional Engineer (licensed by the State of New York, or a Land Surveyor with a 7208n Certificate) who shall submit a signed and sealed letter to the Town of Hempstead stating that the improvements have been made in accordance with the site plan and installed to the applicable New York State, Nassau County or Town of Hempstead specifications. The certification shall also apply to the proposed road openings on existing streets. Said work on existing streets shall include traffic maintenance and the placement of temporary and final pavement.
- Town of Hempstead Planning Department shall be notified 48 hours prior to any construction.

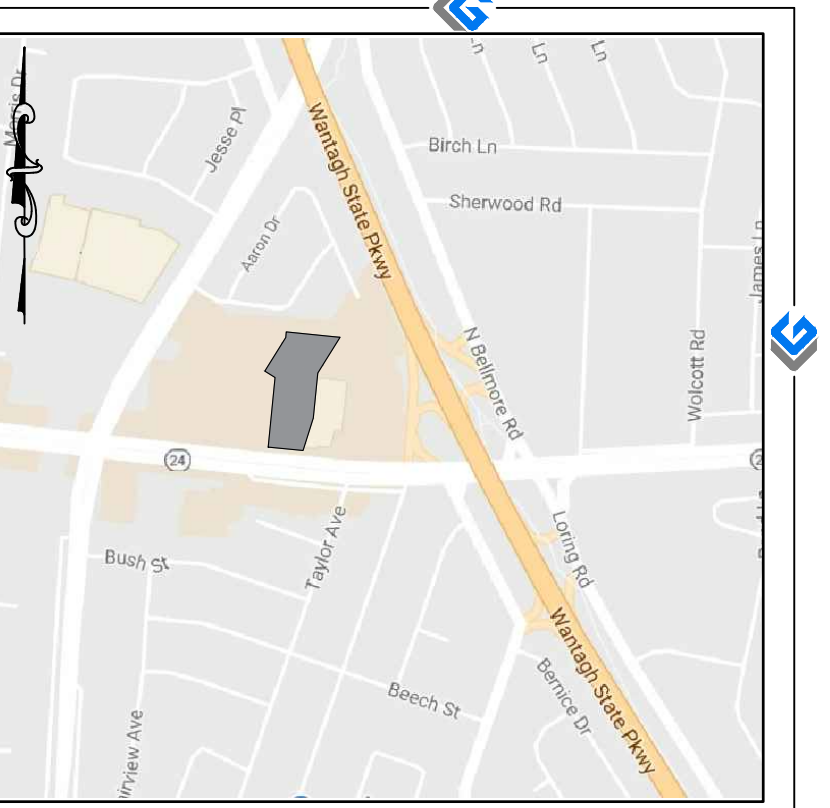
LEGEND

Existing	Item	Proposed
	Building	
	Sawcut Line	
	Property Line	
	Hydrant	
	Dep. Curb	
	Curb	
	Area Light	
	Utility pole/Light Pole	
	Guy Wire	
	Sign	
	Traffic Arrows	
	Overhead Wires	
	Manhole Cover	
	Cleanout	
	Inlet(s)	
	Water Valve	
	Gas Valve	
	Detectable Warning Pad	
	Fence	
	Railing	
	Guiderail	
	Trees	
	Bollard	
	Car Stack Count	(3)
	Key Note Label	(12)
	Parking Count	(11)

SIGN PLAN KEYNOTES

ITEM	SIGN	DIMENSIONS	AREA (SF)	TOTAL HEIGHT*	CLEARANCE	DETAIL
A1	Wall Sign (Illuminated Channel Letters)	11'-9" x 60"	58.75	18'-11 3/4"	13'-11 3/4"	(C44)
A2	Wall Sign (Illuminated Channel Letters)	11'-9" x 60"	58.75	18'-11 3/4"	13'-11 3/4"	(C44)
A3	Wall Sign (Illuminated Channel Letters)	11'-9" x 60"	58.75	18'-11 3/4"	13'-11 3/4"	(C44)
A4	Wall Sign (Illuminated Channel Letters)	11'-9" x 60"	58.75	18'-11 3/4"	13'-11 3/4"	(C44)
B1	Pylon Sign	4'-3 3/4" x 8'-2 1/4"	35.68	15'-0"	6'-7 3/4"	(C44)
E2	Menu Board	2 panels @ 4'-2 1/8" x 2'-8 1/4"	22.45	6'-4 7/8"	1'-8"	(C52)
E3	Menu Board	2 panels @ 4'-2 1/8" x 2'-8 1/4"	22.45	6'-4 7/8"	1'-8"	(C52)
F15	Directional Sign** (See Sht C1.1 for Loc.)	2'-0" x 3'-0"	6	10'-0"	8'-0"	(C67)

* Height measured from grade to top of sign



OWNER APPLICANT

1" = 800'

OWNER APPLICANT

Owner:
UNS Management Associates, Ltd.
2545 Hempstead Turnpike, Suite 221
East Meadow, NY 11554
Attn: Mike Mandell

Applicant:
Chick-Fil-A
5200 Buffington Road
Atlanta, GA 30348

REFERENCES

ALTANSPS Land Title Survey
Prepared by:
Galus Surveying Group
171 Church Lane
North Brunswick, NJ 08902
(732) 422-8700
Date: 10/10/17 (Rev. 3)

BULK REQUIREMENTS

Zone: X - Business

Item	Required	Existing	Proposed
Min. Lot Area	N/A	89,898 SF (2.066 AC.)	178,138.77 SF (4.11 AC.)
Max. Building Height - 5200	60'4 Stories	4 Stories	4 Stories (Exist. to Rem.) 21.67'1 Story (Prop. Bldg.)
Front Yard Setback - 5202A	20' or Avg. of F.Y. setbacks on adjacent properties within 200'	253.9'	26.4' (Bldg.) 22.5' (Avring)
Rear Yard Setback - 5203	N/A	N/A	N/A
Side Yard Setback -	NA	N/A	N/A

*Special Permit required per Town of Hempstead B20 5272, C (10) and (14).

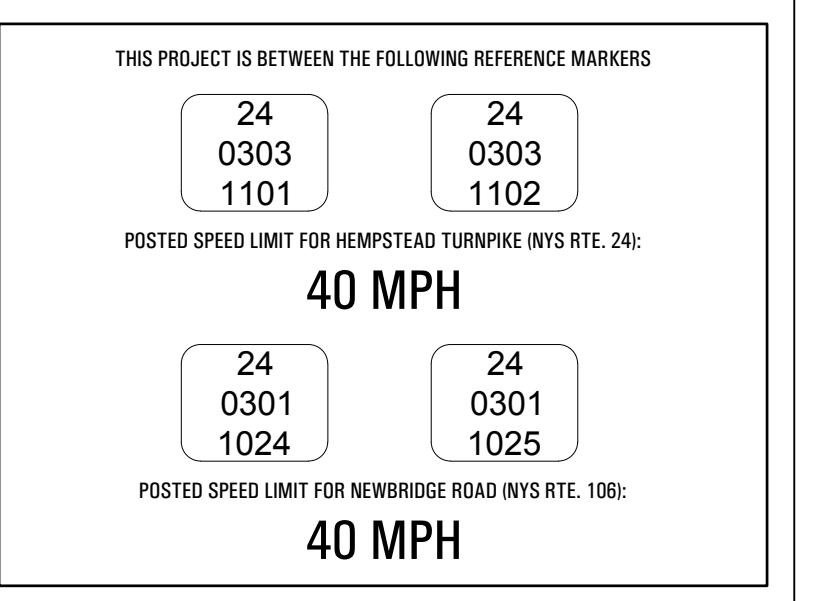
PARKING CALCULATION

(Per B2-319 A, (12) & A, (18))

Use	Formula	Proposed Units	Required
Existing Office	1/200 SF	40,144 SF	200.72
Restaurant	1/4 Employees + 1/100 SF	16 Employees + 4,994 SF	53.94
		TOTAL	255

PARKING REQUIREMENTS (Parcel A)

Item	Required	Existing	Proposed
Min. Number of Stalls (Per B2-319 A, (18))	255	161	(See Overall Site Plan, Sht C1.2)
Min. Number of Accessible Stalls (Per ADA Chapter 208.2)	7	5	9
Minimum Stall Size (Per B2-319 D, (2)) including 18" overhang on perimeter stalls with max. 6" high curbs	9'x18'	9' x 18'	9'x18'



THE LAURO GROUP
DIVERSIFIED ALLIANCES IN LAND USE

CHICK-FIL-A
STORE #03996

2555 HEMPSTEAD TURNPIKE (NYS RTE. 24)
EAST MEADOW TOWN OF HEMPSTEAD, NY 11554
Parcel in the County of Nassau, Section 45, Block J.L. 139

PARTIAL SITE PLAN
SHEET C1.0
2 OF 16

Site Plan Package for Proposed
CHICK-FIL-A
STORE #03996

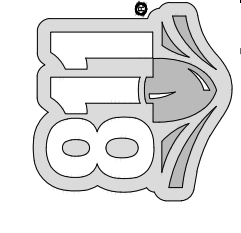
Professional Engineer
DSP ENGINEERING, P.L.C.
1601 Veterans Memorial Hwy, Suite 300, Islandia, NY 11749
Project #: LG-16-0266-CP4b
New York License No. 089927

Project: LG-16-0266-CP4b
Drawn by: TG
Date: 10/10/17

Revision

No.	Date	By
1	11/01/18	MG
2	3/27/18	TG
3	2/22/19	TG

TOTAL PERMITS



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NEWBRIDGE ROAD

NEWBRIDGE ROAD

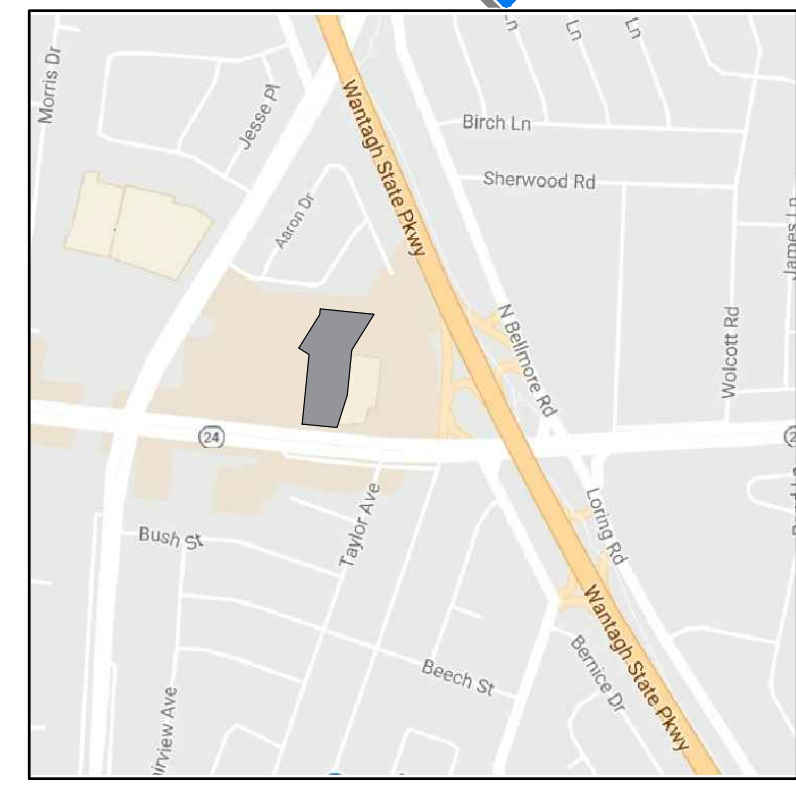
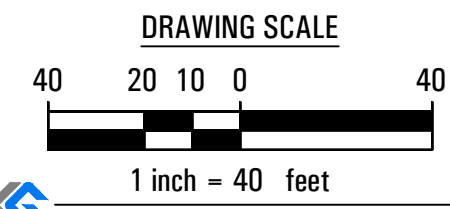
HEMPSTEAD TURNPIKE - NYS RT 24

PARCEL B BULK REQUIREMENTS			
Zone: X - Business			
Use: Existing Bank w/Drive Thru			
Item	Required	Existing	
Min. Lot Area	N/A	141792.46 SF (3.25 AC)	
Max. Building Height - \$200	60'4 Stories	25' ±/1 Story	
Front Yard Setback - \$202A	20' or Avg. of F.Y. setbacks on adjacent properties within 200'	74.2'	
Rear Yard Setback - \$203	10'	310.4'	
Side Yard Setback	N/A	N/A	

PARKING CALCULATION (Per BZ 319 A.12)				
Use	Formula	Proposed Units	Required	Provided
Existing Bank	1/200 SF	3,689 SF	19	242
Accessible Parking Stalls (Per ADA Chapter 208.2)				
(Accessible stall requirement based on total stalls provided)				
			7	4

PARCEL A BULK REQUIREMENTS			
Zone: X - Business			
Use: Drive-In Restaurant w/Outdoor Dining and Existing Offices			
Item	Required	Existing	
Min. Lot Area	N/A	89,997.51 SF (2.07 AC)	
Max. Building Height - \$200	60'4 Stories	4 Stories (Exist. to Rem.) 21.67/1 Story (Prop. Bldg.)	
Front Yard Setback - \$202A	20' or Avg. of F.Y. setbacks on adjacent properties within 200'	253.9'	
Rear Yard Setback - \$203	10'	10.2' (Exist. to Rem.)	
Side Yard Setback	N/A	N/A	

PARKING CALCULATION (Per BZ 319 A.12 & A.16)				
Use	Formula	Proposed Units	Required	Proposed
Existing Offices	1/200 SF	40,144 SF (Total)	200.72	
Restaurant	1/4 Employees + 1/1100 SF	16 Employees & 4,994 SF	53.94	87 (Including 46 existing stalls to remain)
TOTAL			255	
Accessible Parking Stalls (Per ADA Chapter 208.2)				
(Accessible stall requirement based on total stalls provided)				
			4	7



OVERALL SITE PLAN (EXISTING LOTS) SHEET **C1.1** 3 OF 16

Site Plan Package for Proposed **CHICK-FIL-A STORE #03996**

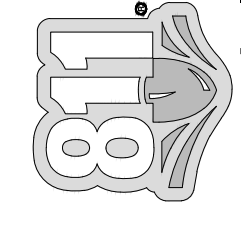
2555 HEMPSTEAD TURNPIKE (NYS RTE. 24) EAST MEADOW (TOWN OF HEMPSTEAD), NY 11554
Parcel in the County of Nassau, Section 45, Block J, Lot 139

LAURO GROUP
DIVERSIFIED ALLIANCES IN LAND USE
One Suffolk Square 1601 Veterans Memorial Hwy Suite 300 Islandia, NY 11749
T 631.656.3222 F 631.750.8050 Project #: LG 16-0266-CP4b

Daniel Piferano
DSP ENGINEERING, P.L.C.
Professional Engineer
New York License No. 089927

Revision
No. Date By: Modified SE Station
1 11/01/18 TG For WCDPW Grease Trap/Sewer Connection Submission
2 3/27/18 TG Modify Shed and Rebar/Concrete Transformer
3 2/22/19 TG Add DIT Complete. Add future lot line adjustments

TOTAL PERMITS



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NEWBRIDGE ROAD

NEWBRIDGE ROAD
R.A.P. (NORTH NEWBRIDGE ROAD)

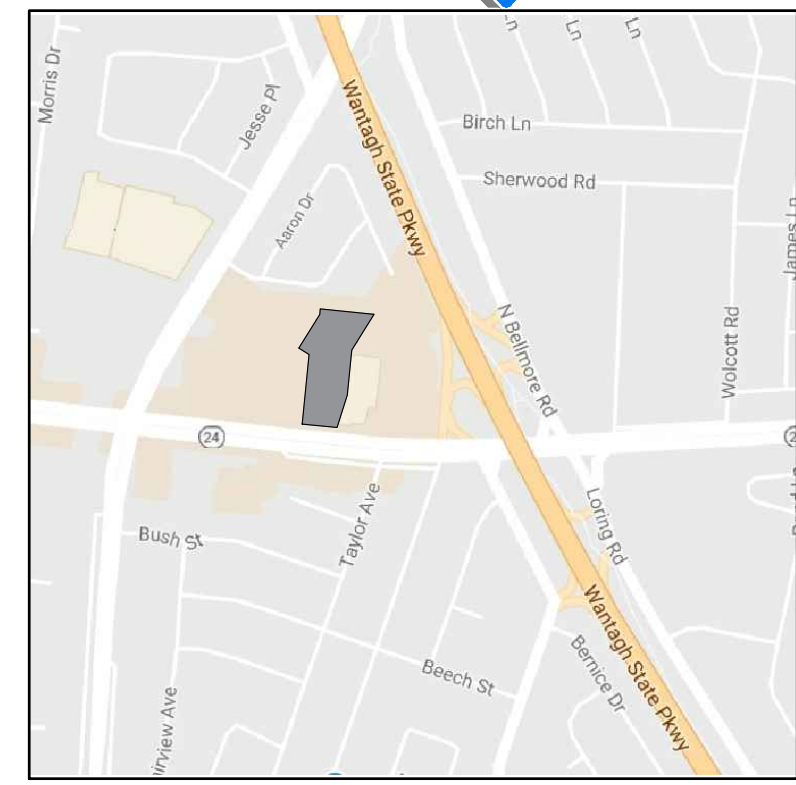
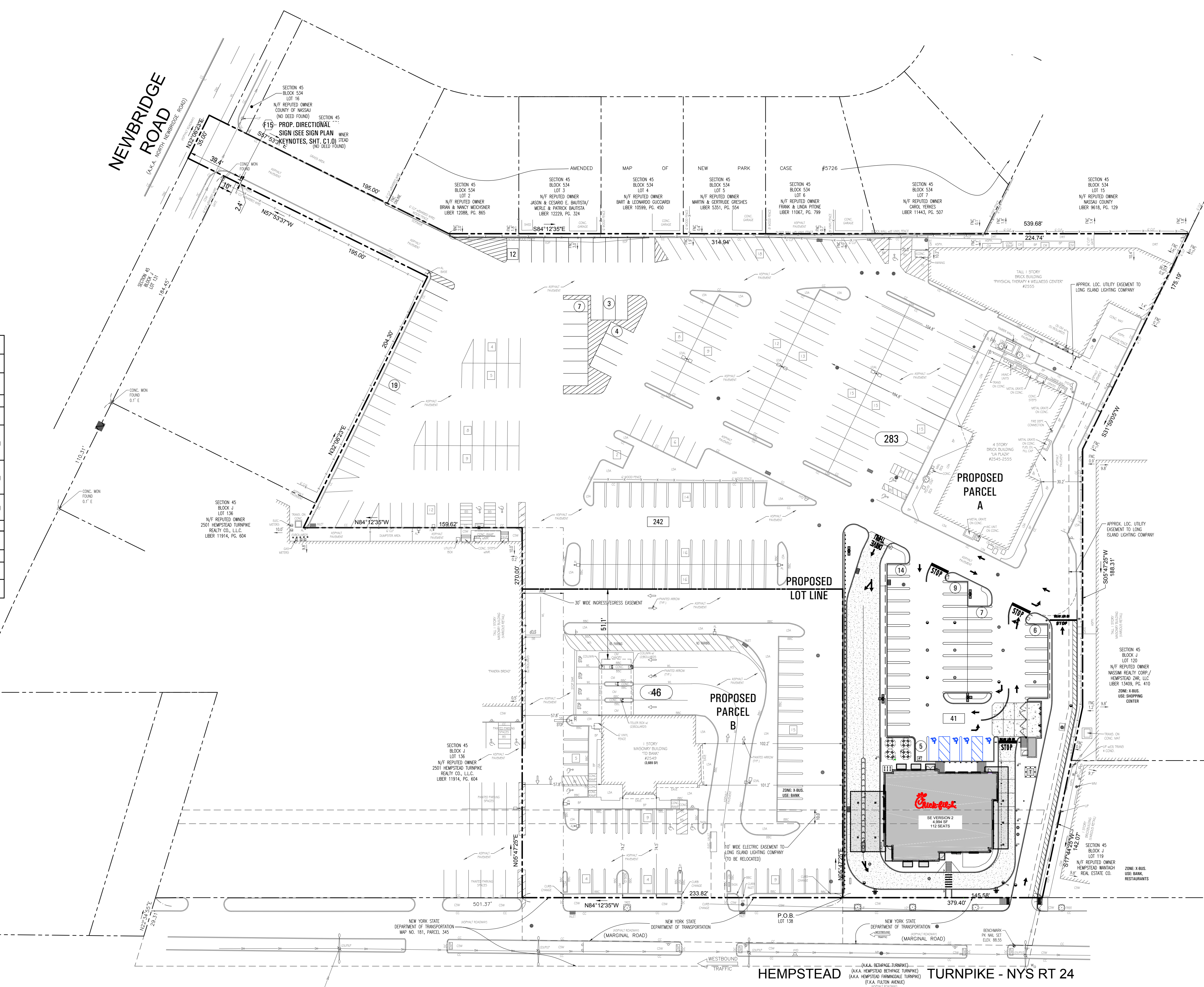
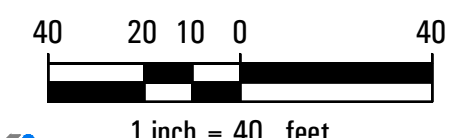
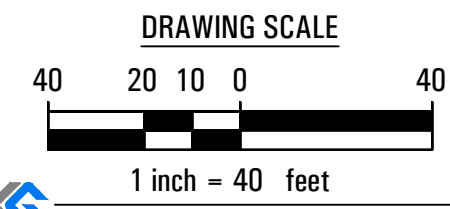
PARCEL B BULK REQUIREMENTS				
Zone: X - Business Use: Existing Bank w/Drive Thru				
Item	Required	Existing	Proposed	
Min. Lot Area	N/A	141,792.46 SF (3.25 AC)	52,850.84 SF (1.21 AC)	
Max. Building Height - \$200	60'4 Stories	25' ±/1 Story (Exist. Building to Remain)	25' ±/1 Story (Exist. Building to Remain)	
Front Yard Setback - \$202A	20' or Avg. of F.Y. setbacks on adjacent properties within 200'	74.2'	74.2' (Exist. Building to Remain)	
Rear Yard Setback - \$203	10'	310.4'	51.1' (Exist. Building to Remain)	
Side Yard Setback	N/A	N/A	N/A	

PARKING CALCULATION (Per BZ 319 A.12)				
Use	Formula	Proposed Units	Required	Provided
Existing Bank	1/200 SF	3,889 SF	19	46
Accessible Parking Stalls (Per ADA Chapter 208.2) (Accessible stall requirement based on total stalls provided)			2	2

PARCEL A BULK REQUIREMENTS				
Zone: X - Business Use: Drive-In Restaurant w/Outdoor Dining and Existing Offices				
Item	Required	Existing	Proposed	
Min. Lot Area	N/A	89,988.51 SF (2.07 AC)	178,139.33 SF (4.11 AC)	
Max. Building Height - \$200	60'4 Stories	4 Stories (Exist. to Rem.)	4 Stories (Exist. to Rem.) 21.67/1 Story (Prop. Bldg.)	
Front Yard Setback - \$202A	20' or Avg. of F.Y. setbacks on adjacent properties within 200'	253.9'	28.4'	
Rear Yard Setback - \$203	10'	10.2'	10.2' (Exist. to Rem.)	
Side Yard Setback	N/A	N/A	N/A	

PARKING CALCULATION (Per BZ 319 A.12) & A.116)				
Use	Formula	Proposed Units	Required	Provided
Existing Offices	1/200 SF	40,144 SF (Total)	200.72	
Restaurant	1/4 Employees + 1/1100 SF	16 Employees & 4,994 SF	53.94	283
TOTAL			255	

Accessible Parking Stalls (Per ADA Chapter 208.2)
(Accessible stall requirement based on total stalls provided)



VICINITY MAP
1" = 800'

Site Plan Package for Proposed
CHICK-FIL-A
STORE #03996

2555 HEMPSTEAD TURNPIKE (NYS RTE. 24)
EAST MEADOW TOWN OF HEMPSTEAD, NY 11554
Parcel in the County of Nassau, Section 45, Block J, Lot 139

OVERALL SITE PLAN
(PROPOSED LOTS)
SHEET C1.2
4 OF 16

THE LAURO GROUP
DIVERSIFIED ALLIANCES IN LAND USE

One Suffolk Square 1601 Veterans Memorial Hwy Suite 300 Islandia, NY 11749
T 631.656.3222 F 631.750.8050 Project #: LG16-0266-CP4b

Daniel Piferano
DSP ENGINEERING, P.L.C.
Professional Engineer
New York License No. 089027

Revision
No. Date By: Modified SE Station
2 11/01/18 TG For WCDPW Grease Trap/Sewer Connection Submission
3 3/27/19 TG Modify Shed and Rebar/Concrete Transformer
4 2/22/19 TG Add DIT Complete. Add future lot line adjustments

Project # LG16-0266-CP4b Drawn by TG Drawing # LG160266-CP4b Date: 1/31/17

TOTAL PERMITS