

CERTIFICATIONS

SITE PLAN OF: THE YARD, 24 MODEL AVENUE
 LOT: 26 BLOCK: 11 ZONE: TH
 OWNER/APPLICANT: SAWDUST CONSTRUCTION LLC
 ADDRESS: 2 RINGOES MILL, HOPEWELL, NJ 08525
 BOROUGH OF HOPEWELL TAX MAP SHEET #4

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD OF THE BOROUGH OF HOPEWELL:

Henry Wittman III 10/7/20
 HENRY WITTMAN III - OWNER, DATE

2 RINGOES MILL, HOPEWELL, NJ 08525
 ADDRESS

I HERBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND INFORMATION ARE CORRECT.

George H. Folk PROFESSIONAL ENGINEER, N.J. LIC.#35258

APPROVED BY THE HOPEWELL BOROUGH PLANNING BOARD:

DATE BOARD SECRETARY

DATE BOARD CHAIRMAN

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

DATE MUNICIPAL ENGINEER

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES.

DATE MUNICIPAL ENGINEER

DATE BUILDING INSPECTOR

OCCUPANCY PERMIT ISSUED DATE

PROPERTY OWNERS WITHIN 200 FEET OF SITE
 AS OF 1/13/22

| BLOCK/LOT | OWNERS NAME & ADDRESS |
|-----------|--|
| 4/31 | DEMERS, PETER & SHARON 5 NEWELL PLACE HOPEWELL, NJ 08525 |
| 4/40 | CROSSLEY, SUSAN R. 6 PERSON PLACE HOPEWELL, NJ 08525 |
| 4/41.01 | MURPHY, MARK 3 PERSON PLACE HOPEWELL, NJ 08525 |
| 4/54-56 | BERTMAN, KATSLARYNA 48 SHAFTSBURY AVE. HOPEWELL, NJ 08525 |
| 6/1 | LEPORE, ALLEN E. & TATTENBAUM, ELLEN 7 GOLDEN AVENUE HOPEWELL, NJ 08525 |
| 6/5 | CONSOIL RAIL CORP./NORFOLK SOUTHERN 3 COMMERCIAL PL--BOX 209 NORFOLK, VA 23510 |
| 7/1 | CONSOLIDATED RAIL CORPORATION P.O. BOX 8499 PHILADELPHIA, PA 19101 |
| 11/21 | REYNERTSON, KURT & SHEILA 42 MODEL AVE. HOPEWELL, NJ 08525 |
| 11/22 | KUHN, ADELAIDE DIANE 40 MODEL AVE. HOPEWELL, NJ 08525 |
| 11/23 | SUDLOW, RICHARD B UX 58 MODEL AVE. HOPEWELL, NJ 08525 |
| 11/24 | MYERS, ROBERT III & ALISON 58 MODEL AVE. HOPEWELL, NJ 08525 |
| 11/25 | SANDFORD, THOMAS 34 MODEL AVE. HOPEWELL, NJ 08525 |
| 11/27 | CARTER, HOPE 32 MODEL AVE. HOPEWELL, NJ 08525 |
| 11/29 | MODEL 16 LLC 20 MODEL AVE. HOPEWELL, NJ 08525 |
| 11/30 | KLESNEY JR., FRANCOIS & ANITA F. PO BOX 147 COLUMBUS, NJ 08022 |
| 14/3 | CONSONE, BRENDA G. & RICHARD S. 39 MODEL AVE. HOPEWELL, NJ 08525 |
| 14/6 | DOWNIE, BRUCE & MICHELE 33 MODEL AVE. HOPEWELL, NJ 08525 |
| 14/7-8 | MIKO, JOSEPH JR UX 27 MODEL AVE. HOPEWELL, NJ 08525 |
| 14/9 | WANNERSDALE, RAYMOND & ARLETTE 550 MONTAGNE CT NW CALABASH, NC 28467 |
| 14/10 | BASILE, FRANK 44-E VOORHEES AVE HOPEWELL, NJ 08525 |
| 14/11-12 | MATSON CONSTRUCTION INC 4 NEVINS CT HILLSBOROUGH, NJ 08844 |
| 15/1 | BREGENZER PROPERTIES, LLC PO BOX 335 HOPEWELL, NJ 08525 |
| 15/2 | KAPLAN, JOSEPH & DONIA A. 15 & 15B MODEL AVE HOPEWELL, NJ 08525 |
| 15/3 | GRESKO, SARAH E 13 MODEL AVE. HOPEWELL, NJ 08525 |
| 15/11 | SNYDER, JAMES D & SHARON 18 CENTER ST HOPEWELL, NJ 08525 |
| 15/12 | PAWELKO, JOANNE M & GRAHAM, JOSEPH M 18 CENTER ST HOPEWELL, NJ 08525 |
| 15/13 | WATERMAN, BARBARA JO 1 VOORHEES AVENUE HOPEWELL, NJ 08525 |

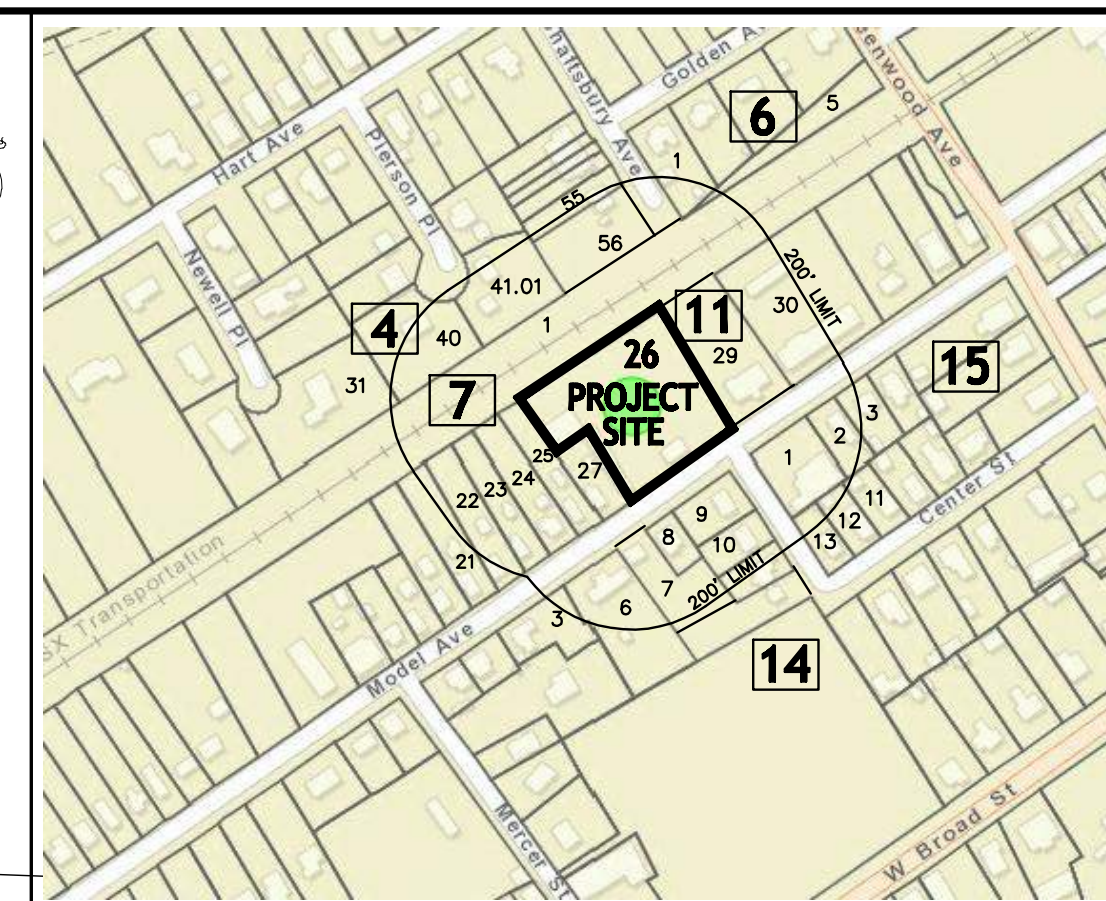
UTILITY & OTHER AGENCY CONTACTS
 AS OF 1/13/22

| |
|---|
| VERIZON CORP. OFFICE 295 NORTH MAPLE AVENUE BASKING RIDGE, NJ 07002 |
| ELIZABETHTOWN PLAZA UNION, NJ 07083 |
| PSE&G 80 PARK PLACE NEWARK, NJ 07102 |
| STONEY BROOK SEWER AUTHORITY 290 RIVER ROAD PRINCETON, NJ 08540 |
| MERCER COUNTY PLANNING BOARD 640 SOUTH BROAD STREET, ROOM 411 TRENTON, NJ 08611 |

DRAWING LIST

| SHEET # | DESCRIPTION |
|---------------------------------|--|
| 1 of 10 | PRELIMINARY & FINAL MAJOR SITE PLAN |
| 2 of 10 | DEMOLITION PLAN |
| 3 of 10 | HORIZONTAL CONTROL PLAN |
| 4 of 10 | GRADING, UTILITIES & SOIL EROSION CONTROL PLAN |
| 5 of 10 | LIGHTING PLAN |
| 6 of 10 | LANDSCAPE PLAN |
| 7 of 10 | STORM SEWER PROFILES |
| 8 of 10 | CONSTRUCTION DETAILS |
| 9 of 10 | CONSTRUCTION DETAILS |
| 10 of 10 | CONSTRUCTION DETAILS |
| PLANS BY D.S. ENGINEERING, P.C. | |
| 1 of 4 | EXISTING FEATURES PLAN |
| 2 of 4 | SITE PLAN |
| 3 of 4 | GRADING PLAN |
| 4 of 4 | STORMWATER MANAGEMENT DETAILS |

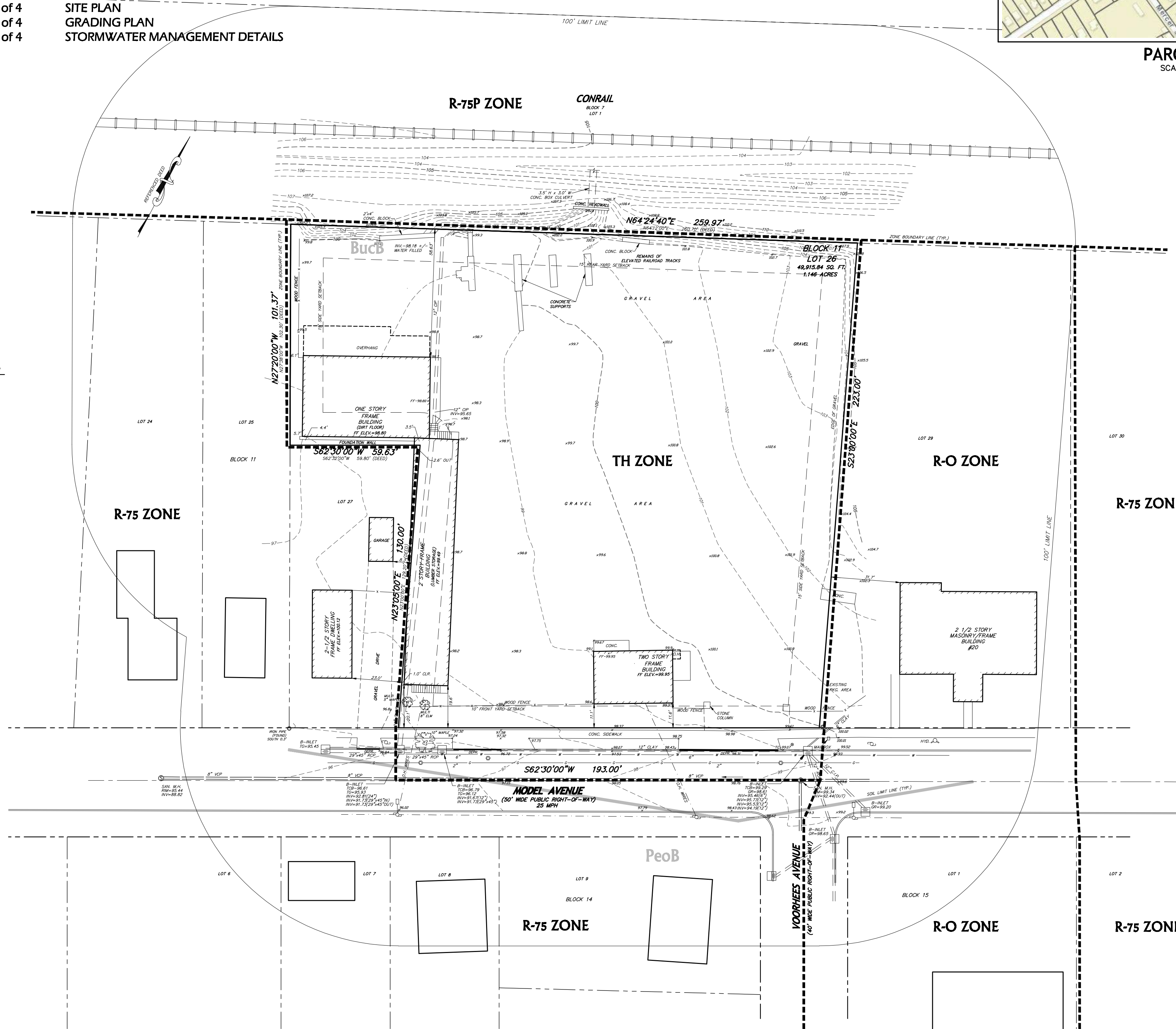
PRELIMINARY & FINAL MAJOR SITE PLAN
THE YARD
 24 MODEL AVENUE
 BLOCK 11 LOT 26
 BOROUGH OF HOPEWELL MERCER COUNTY NEW JERSEY



PARCEL MAP
 SCALE: N.T.S.



KEY MAP
 SCALE: 1" = 500'+/-



ZONE DATA

TH: TOWNHOUSE RESIDENTIAL ZONE
 BLOCK 11, LOT 26
 EXISTING USE: LUMBER YARD
 PROPOSED USE: RESIDENTIAL, 13 TOWNHOUSES
 TOTAL TRACT AREA = 49,916 S.F. or 1.146 AC.

AS SHOWN ON THE BOROUGH OF HOPEWELL TAX MAP SHEET #4

AREA AND YARD RESTRICTIONS

| DESCRIPTION | REQUIRED/ALLOWED | EXISTING | PROPOSED |
|---|--------------------------|-----------------------|--------------------------|
| MIN. LOT AREA | 1 ACRE | 1.146 ACRES | 1.146 ACRES |
| MIN. LOT FRONTAGE | 150 FT. | 193.00 FT. | 193.00 FT. |
| MIN. FRONT YARD SETBACK | 10 FT. | 11.1 FT. | 22.98 FT. |
| MIN. SIDE YARD SETBACK(BLDG.) | 15 FT. | -2.6 FT.* | 15.00 FT. |
| MIN. SIDE YARD SETBACK(PORCH) | - | - | 10.19 FT. |
| MIN. REAR SETBACK(BLDG.) | 15 FT. | 58.63 FT. | 25.60 FT. |
| MIN. REAR SETBACK(PORCH) | - | - | 35.43 FT. |
| MIN. BUILDING TO BUILDING | 15 FT. | 0 FT.* | 15 FT. |
| MIN. BUILDING TO BUILDING(PORCH) | - | - | 9.50 FT. |
| MAX. IMPERVIOUS COVERAGE | 50% | 92.28* | 39.95% |
| MAX. DENSITY | 12 UNITS/ACRE | N/A | 11.3 UNITS/ACRE |
| MAX. BLDG. HEIGHT | 2-1/2 STORIES/ 35 FT. | 2 STORIES/ <35 FT. | 2-1/2 STORIES/ 35 FT. |
| PARKING PER UNIT | PER RGIS | N/A | 31 |
| SETBACK FROM PROPERTY LINE | 5 FT. | 0 FT. | 6.47 FT. |
| DISTANCE FROM BUILDING | 5 FT. | 0 FT. | 5 FT. |
| MIN. LANDSCAPED BUFFER ADJACENT TO EXISTING PUBLIC STREETS AND PROPERTY LINES | 10 FT. | N/A | 10.0 FT. |
| MIN. SET ASIDE OF LOW AND MODERATE INCOME UNITS | 2 | N/A | 2 |

*EXISTING NON-COMFORMITY

PARKING CALCULATION

| | | | |
|--|------------|-----------------|-----------------------|
| TYPE 1 | 3 BEDROOMS | 2.4 SPACES/UNIT | 3 UNITS = 7.2 SPACES |
| TYPE 2 | 3 BEDROOMS | 2.4 SPACES/UNIT | 3 UNITS = 7.2 SPACES |
| TYPE 3/3.1 | 3 BEDROOMS | 2.4 SPACES/UNIT | 5 UNITS = 12.0 SPACES |
| TYPE 4 | 2 BEDROOMS | 2.3 SPACES/UNIT | 2 UNITS = 4.6 SPACES |
| TOTAL REQUIRED = 31 SPACES INCLUDES REQUIRED VISITOR SPACES | | | |

PARKING SPACES PROVIDED = 44 SPACES ON SITE
 5 SPACES ON STREET
 TOTAL PROVIDED = 49 SPACES

Floor area in sq.ft. for zoning application use

| | Type 1 | Type 2 | Type 3 | Type 3.1 | Type 4 |
|-----------------|--------|--------|--------|----------|--------|
| 3rd floor | | 650 | | | 320 |
| 2nd floor | 1,075 | 1,110 | 1,285 | 1,220 | 530 |
| 1st floor | 1,075 | 1,110 | 900 | 900 | 530 |
| per home sq.ft. | 2,150 | 2,870 | 2,185 | 2,120 | 1,380 |
| no. of homes | 3 | 3 | 2 | 3 | 2 |
| sub. total | 6,450 | 8,610 | 4,370 | 6,360 | 2,760 |

OUTSIDE APPROVAL AGENCIES

- MERCER COUNTY PLANNING BOARD
- MERCER COUNTY SOIL CONSERVATION
- BOROUGH OF HOPEWELL BUILDING CONSTRUCTION PERMITS
- DRCC
- HISTORIC PRESERVATION

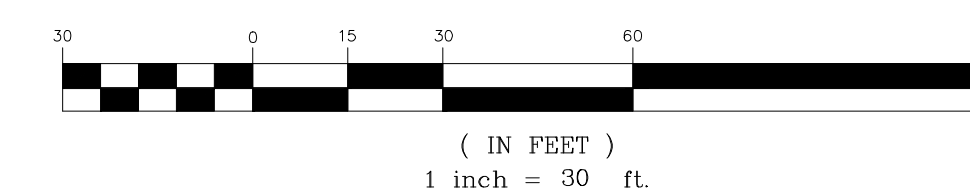
OWNER/APPLICANT

SAWDUST CONSTRUCTION LLC
 2 RINGOES MILL
 HOPEWELL, NJ 08525
 ATTN: HENRY WITTMAN
 PH: (908)385-4805

REFERENCES:

1. THE PROJECT SITE CONTAINS NO ENVIRONMENTALLY SENSITIVE AREAS OR CRITICAL AREAS NOR IS IT WITHIN 150' OF ANY ENVIRONMENTALLY SENSITIVE AREAS OR CRITICAL AREAS.
2. THE PROJECT SITE CONTAINS NO ENVIRONMENTALLY SENSITIVE AREAS OR CRITICAL AREAS NOR IS IT WITHIN 150' OF ANY ENVIRONMENTALLY SENSITIVE AREAS OR CRITICAL AREAS.

GRAPHIC SCALE



GARY V. MARMO
 PROFESSIONAL LAND SURVEYOR N.J. LICENSE No. 37599

Gary Marmo DATE 10/7/20

NOTICE

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| | | |
|----------|---|-----|
| 5/29/25 | REVISED PER BOROUGH & COMPLIANCE COMMENTS | SMT |
| 7/19/24 | REVISED PER BOROUGH & DRCC COMMENTS | SMT |
| 10/28/22 | REVISED PER BOROUGH COMMENTS | SMT |
| 6/2/21 | REVISED PER BOROUGH COMMENTS | SMT |
| DATE | REVISION | BY |

DAS
 DAVID A. STIRES ASSOCIATES, LLC
 ENGINEERS - SURVEYORS - PLANNERS - ENVIRONMENTALISTS

678 US HWY 202/206 N, SUITE 6
 BRIDGEWATER, N.J. 08807
 PHONE: (908)252-7000 FAX: (908)252-7090
 www.dastires.com

GEORGE H. FOLK
 PROFESSIONAL ENGINEER

N.J. LICENSE No. 35258
 DATE 10/7/20

CAUTION: If the document does not contain the raised impression seal of the professional, it is not an authorized original document and may have been altered.

DESIGNED BY: GHF
 DRAWN BY: SMT
 CHECKED BY: GHF

SCALE: 1"=30'

PRELIMINARY & FINAL MAJOR SITE PLAN

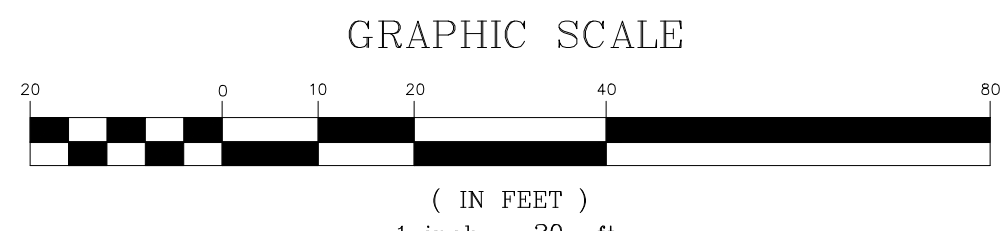
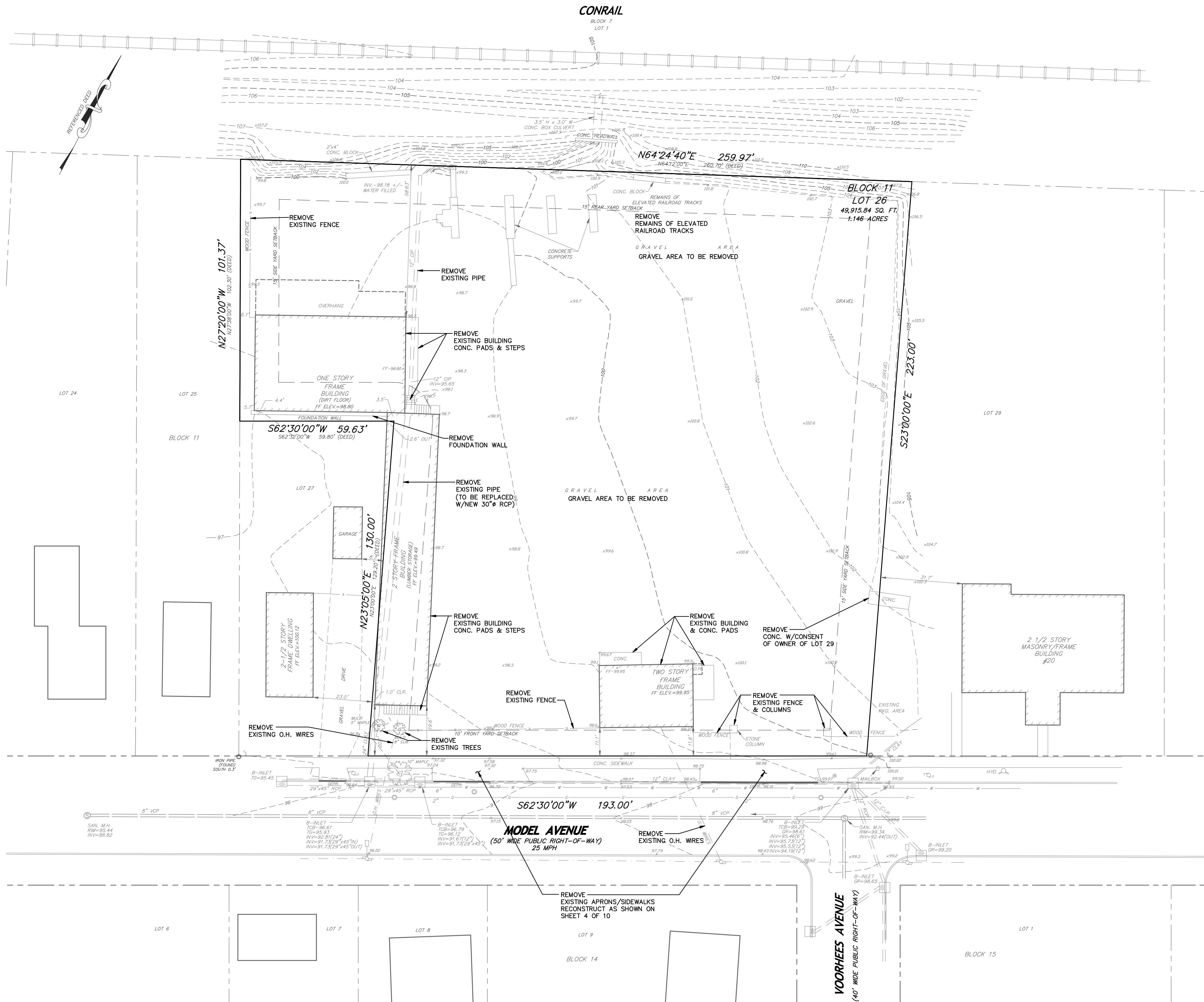
THE YARD
 TAX BLOCK 11 LOT 26
 BOROUGH OF HOPEWELL MERCER COUNTY NEW JERSEY

PROJECT No.
06057

SHEET NUMBER
1 OF 10

DEMOLITION NOTES

- EXISTING UTILITIES, PAVEMENT, CURB, LANDSCAPING, BUILDING, CONCRETE SIDEWALK, LIGHTING FEATURES, ETC. SHALL BE REMOVED, CAPPED, RECONSTRUCTED, AND/OR RELOCATED AS NECESSARY IN THE AREAS OF CONSTRUCTION.
- SITE LIGHTING, UNDERGROUND CONDUIT, WATER, GAS, TELEPHONE, SANITARY SEWER LATERALS AND STORM DRAINAGE ALL SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL VERIFY AND PROTECT ALL UTILITIES IN AREAS OF EXCAVATION.
- THE CONTRACTOR SHALL NOT REMOVE FROM SERVICE ANY UTILITY WITHOUT VERIFICATION THAT THE SERVICE HAS BEEN REROUTED, CAPPED OR TAKEN OUT OF SERVICE. ROOF LEADERS, SANITARY SEWERS, GAS, ELECTRIC, TELEPHONE, WATER, SITE LIGHTING AND ANY MISCELLANEOUS UTILITY SHALL REMAIN IN SERVICE AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY SERVICE/UTILITY AGENCY PRIOR TO SERVICE REMOVAL.
- THE CONTRACTOR SHALL BACKFILL ALL DEMOLITION TO SUBGRADE USING SUITABLE MATERIAL AND SHALL PLACE AND COMPACT BACKFILL IN LIFTS TO ASSURE 95% PROCTOR.
- ALL STORM STRUCTURES AND PIPES NOTED TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES.
- ANY UNDERGROUND STORAGE TANKS SHALL BE REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES.



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|----------|-------------------------------------|-----|
| 7/19/24 | REVISED PER BOROUGH & DRCC COMMENTS | SMT |
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GEORGE H. FOLK
 PROFESSIONAL ENGINEER
 N.J. LICENSE No. 35258
 DATE **10/7/20**

DESIGNED BY: GHF
 DRAWN BY: SMT
 CHECKED BY: GHF
 SCALE: 1"=20'

DEMOLITION PLAN
THE YARD
TAX BLOCK 11 LOT 26
 BOROUGH OF HOPEWELL MERCER COUNTY NEW JERSEY

PROJECT No. 06057
 SHEET NUMBER **2** OF 10

GENERAL NOTES

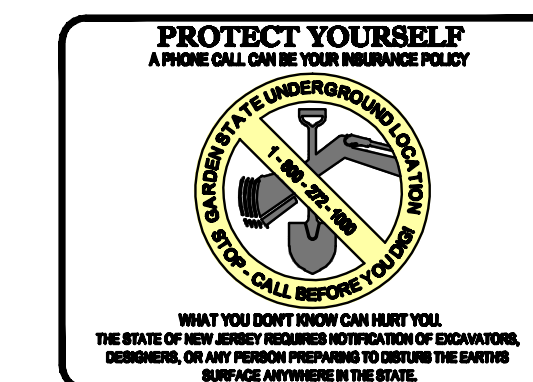
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- ANY DISCREPANCIES IN REFERENCED COORDINATES, ELEVATIONS, EXISTING DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- ALL DEBRIS, CONCRETE CHUNKS, TREE STUMPS, AND OTHER UNSUITABLE MATERIAL RESULTING FROM THE SITE GRADING AND EXISTING STRUCTURAL DEMOLITION SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL LOCATION. NO UNSUITABLE MATERIALS SHALL BE PERMITTED TO BE BURIED ON SITE.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE MOST RECENT CONSTRUCTION STANDARDS OF THE BOROUGH OF HOPEWELL.
- IN INSTANCES WHERE THE BOROUGH SPECIFICATIONS PROVIDE NO DETAILED SPECIFICATION, THE MATERIALS AND METHODS OF CONSTRUCTION SHALL MEET AND CONFORM TO THE REQUIREMENTS OF "THE STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" FOR THE NEW JERSEY DEPARTMENT OF TRANSPORTATION.
- ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
- THE PROJECT SITE CONTAINS NO ENVIRONMENTALLY SENSITIVE AREAS OR CRITICAL AREAS NOR IS IT WITHIN 150' OF ANY ENVIRONMENTALLY SENSITIVE AREAS OR CRITICAL AREAS.
- ALL UNITS TO HAVE SPRINKLERS PURSUANT TO NFPA 13D.
- LIMIT OF DISTURBANCE AREA = 51,570 S.F.
- REFUSE AND RECYCLING TO BE BROUGHT TO MODEL AVENUE CURB FOR ALL UNITS.
- HVAC UNITS WILL BE SCREENED USING LANDSCAPING AS APPROPRIATE.
- EACH GARAGE WILL BE MADE READY FOR AN ELECTRIC VEHICLE CHARGING SYSTEM.
- TEMPORARY CHAINLINK FENCE SHALL BE INSTALLED DURING CONSTRUCTION.
- ALL RAILINGS SHALL MEET ALL LOCAL AND STATE CODES.

DEMOLITION NOTES

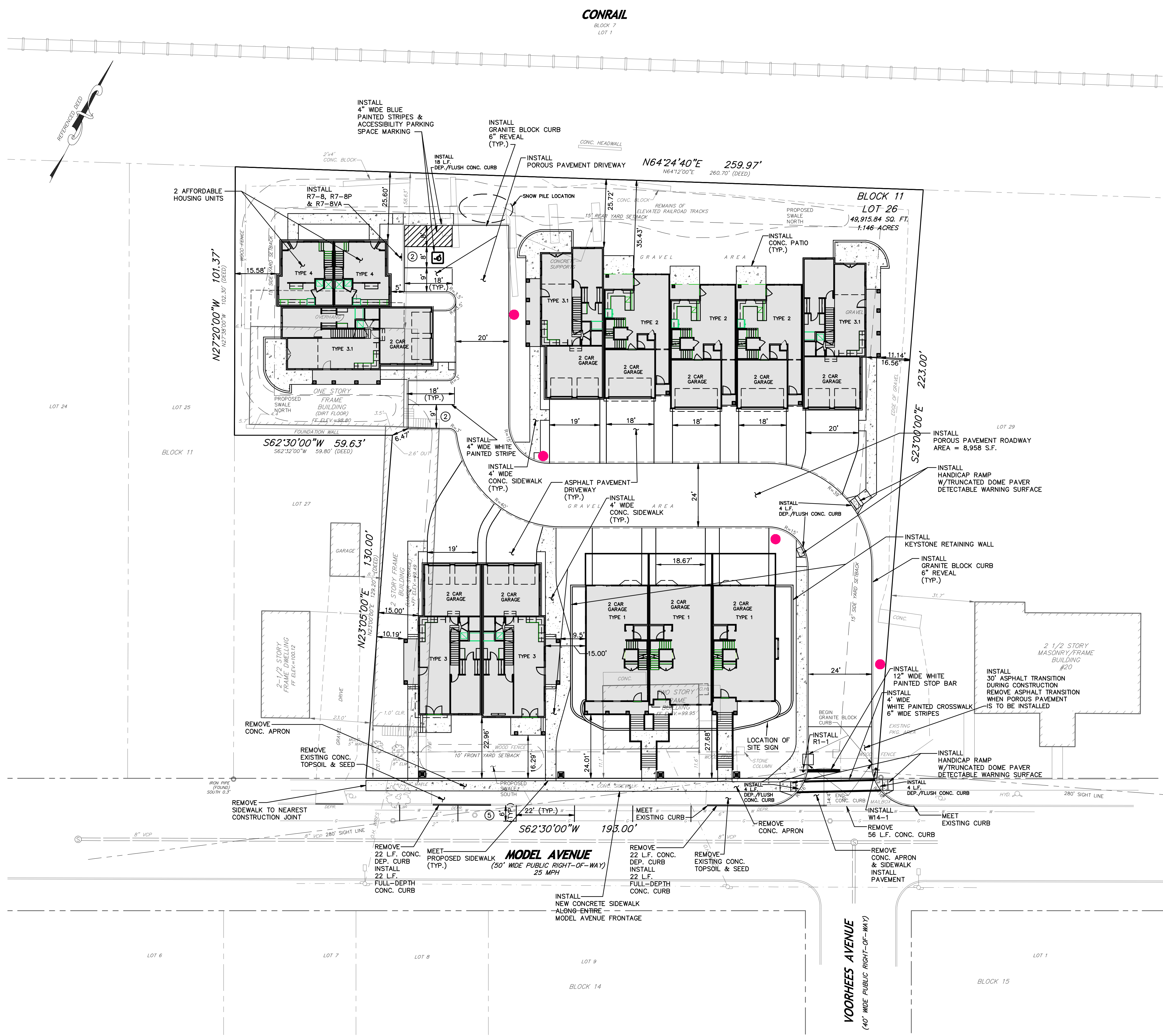
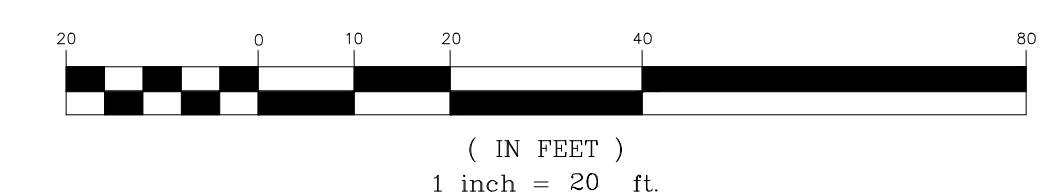
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- THE CONTRACTOR SHALL BACKFILL ALL DEMOLITION TO SUBGRADE USING SUITABLE MATERIAL AND SHALL PLACE AND COMPACT BACKFILL IN LIFTS TO ASSURE 95% PROCTOR.

REFERENCES:

- ARCHITECTURAL PLANS PREPARED BY MINNO & WASKO ARCHITECTS & PLANNERS, DATED 6/8/2020, LAST REVISED 4/22/2021, 6 SHEETS.
- FOR SURVEY INFORMATION TAKEN FROM A PLAN ENTITLED "PLAN OF SURVEY, PREPARED FOR LOT 26 IN BLOCK 11, LOCATED IN HOPEWELL BOROUGH, MERCER COUNTY, NEW JERSEY" PREPARED BY SALADIN ASSOCIATES, P.C. AND DATED 11/15/2006. ADDITIONAL SURVEY INFORMATION PROVIDED BY DAVID A. STIRES ASSOCIATES, L.L.C.



GRAPHIC SCALE



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GEORGE H. FOLK
PROFESSIONAL ENGINEER
N.J. LICENSE No. 35258
DATE **10/7/20**
Certificate of Authorization #: 240428088800

DESIGNED BY: GHF
DRAWN BY: SMT
CHECKED BY: GHF
SCALE: 1"=20'

HORIZONTAL CONTROL PLAN
THE YARD
TAX BLOCK 11 LOT 26
BOROUGH OF HOPEWELL MERCER COUNTY NEW JERSEY

PROJECT No. 06057
SHEET NUMBER **3** OF **10**

GENERAL NOTES

- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE AND DIMENSION OF ALL UNDERGROUND UTILITIES. DAVID A. STIRES ASSOCIATES, L.L.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF BURIED UTILITIES SHOWN NOR LACK THEREOF. THE CONTRACTOR SHALL CONTACT THE UTILITY MARK OUT SERVICE BY CALLING 1-800-272-1000 PRIOR TO THE START OF CONSTRUCTION.
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- ALL UNITS TO HAVE SPRINKLERS PURSUANT TO NFPA 13D.
- LIMIT OF DISTURBANCE AREA = 51,570 S.F.
- REFUSE AND RECYCLING TO BE BROUGHT TO MODEL AVENUE CURB FOR ALL UNITS.
- HVAC UNITS WILL BE SCREENED USING LANDSCAPING AS APPROPRIATE.
- EACH GARAGE WILL BE MADE READY FOR AN ELECTRIC VEHICLE CHARGING SYSTEM.
- TEMPORARY CHAINLINK FENCE SHALL BE INSTALLED DURING CONSTRUCTION.
- ALL RAILINGS SHALL MEET ALL LOCAL AND STATE CODES.
- TOPSOIL SHALL BE IMPORTED ONTO SITE AS NEEDED FROM OFFSITE SOURCE.
- NO STORMWATER RUNOFF FROM SWALES SHALL BE ALLOWED TO DRAIN OFF SITE.
- HDPE PIPE TO BE ADS N-12 OR EQUAL.

DEMOLITION NOTES

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- THE CONTRACTOR SHALL NOT REMOVE FROM SERVICE ANY UTILITY WITHOUT VERIFICATION THAT THE SERVICE HAS BEEN ROUTED, CAPPED OR TAKEN OUT OF SERVICE. ROOF LEADERS, SANITARY SEWERS, GAS, ELECTRIC, TELEPHONE, WATER, SITE LIGHTING AND ANY MISCELLANEOUS UTILITY SHALL REMAIN IN SERVICE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BACKFILL ALL DEMOLITION TO SUBGRADE USING SUITABLE MATERIAL AND SHALL PLACE AND COMPACT BACKFILL IN LIFTS TO ASSURE 95% PROCTOR.

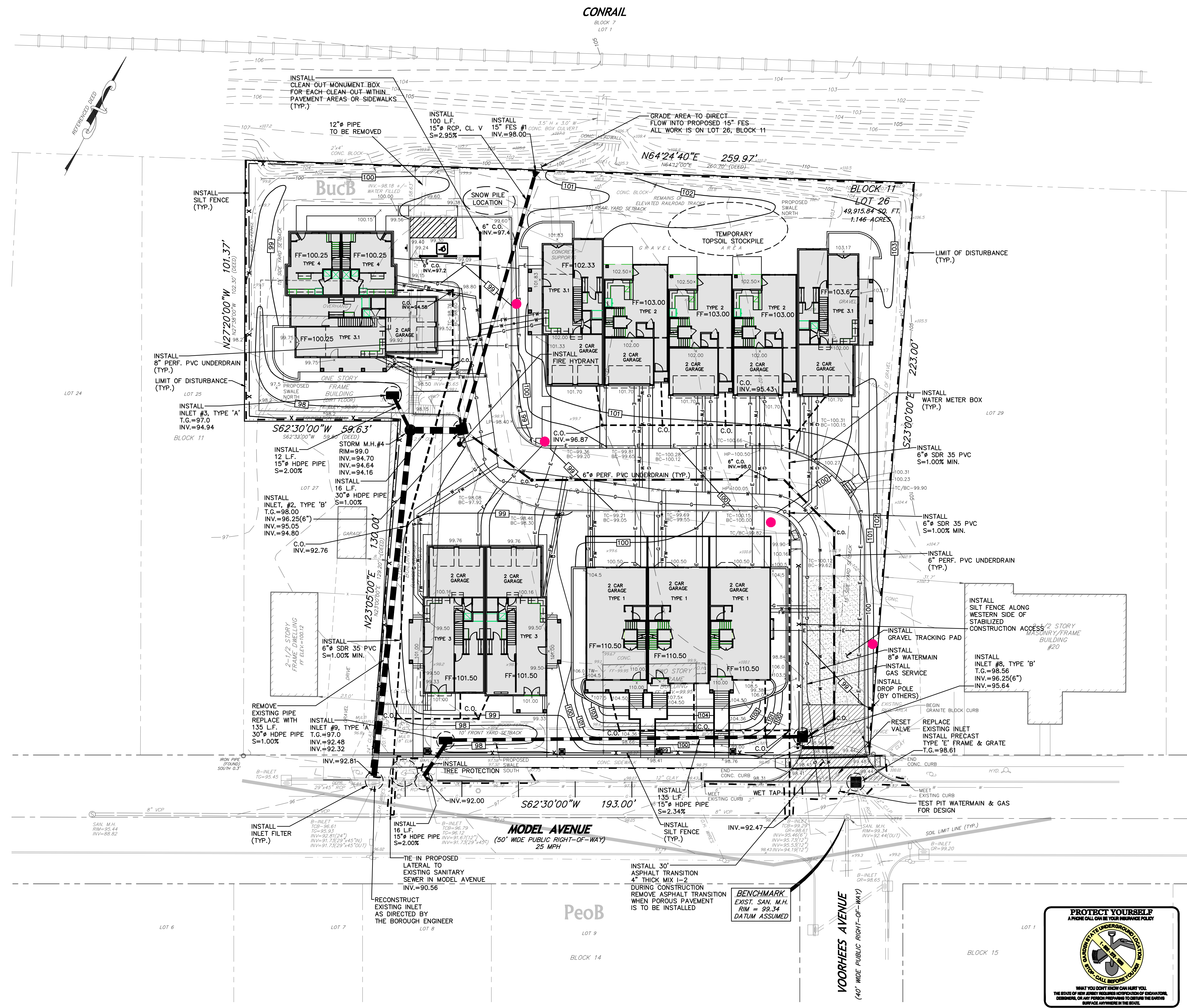
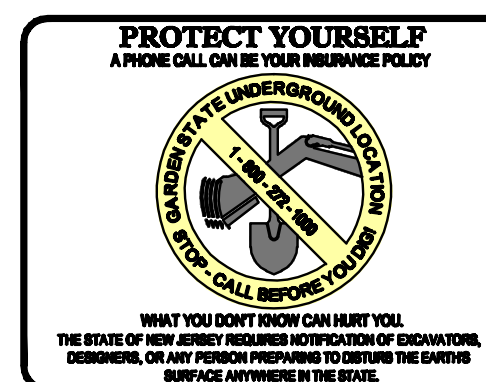
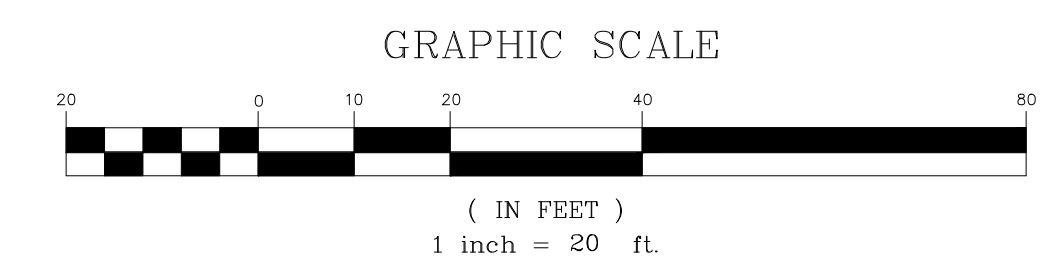
SANITARY SEWER, STORMWATER AND WATERMAIN NOTES:

- ALL WATERMAIN PIPE SHALL BE DUCTILE IRON CLASS 52, CEMENT LINED WITH PUSH ON JOINTS AND THAT ALL FITTINGS SHALL BE MECHANICAL JOINT WITH MEGALUG SERIES 1100 MECHANICAL JOINT RETAINER GLANDS, OR APPROVED EQUAL.
- ALL WATERMAIN FITTINGS OR BENDS SHALL BE RESTRAINED WITH CONCRETE THRUST BLOCKS.
- ALL WATER SERVICED CONNECTIONS SHALL BE 1" DIAMETER TYPE K COPPER TUBING WITH 1" DIAMETER CORPORATION STOP AND CURB VALVE BY MUELLER CO. OR APPROVED EQUAL.
- ALL 6" SANITARY SEWER MAINS SHALL BE SDR 35 OR APPROVED EQUAL.
- ALL EXISTING AND PROPOSED UTILITY VALVES AND CLEANOUTS SHALL BE FURNISHED WITH A PROTECTION BOX.
- ALL MATERIAL INVOLVING THE DOMESTIC WATER AND FIRE LINE, SANITARY SEWER AND STORM SEWER SHALL BE APPROVED BY BOROUGH ENGINEER PRIOR TO CONSTRUCTION.

NOTE:
FOR STORMWATER MANAGEMENT PLAN SEE PLANS PREPARED BY D.S. ENGINEERING, P.C. DATED MAY 31, 2024.

EXISTING 12" PIPE
12" Ø CIP @ 80 L.F. @ S=0.031
V=8.52 FPS
Q=6.69 CFS


PROPOSED 15" PIPE
15" Ø RCP @ 100 L.F. @ S=0.029
V=10.39 FPS
Q=12.75 CFS



S:\Arch\DWG\2025\2025-07-20\2025-07-20.dwg, 6/17/2025 11:16:00 AM, User: ds, PLOT: 10

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| 7/19/24 | REVISED PER BOROUGH, DRCC & MCOSS COMMENTS | SMT |
| 10/28/22 | REVISED PER BOROUGH COMMENTS | SMT |
| 8/3/21 | REVISED PER BOROUGH COMMENTS | SMT |
| 6/2/21 | REVISED PER BOROUGH COMMENTS | SMT |



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GEORGE H. FOLK
PROFESSIONAL ENGINEER
N.J. LICENSE No. 35258
DATE 10/7/20

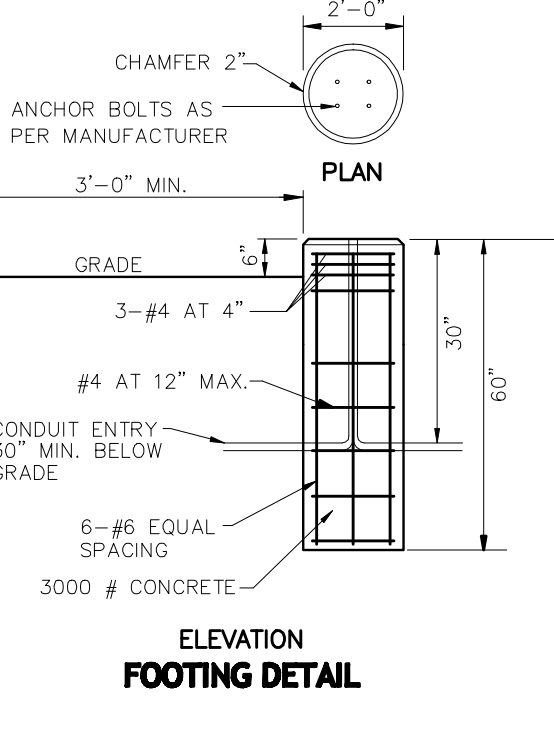
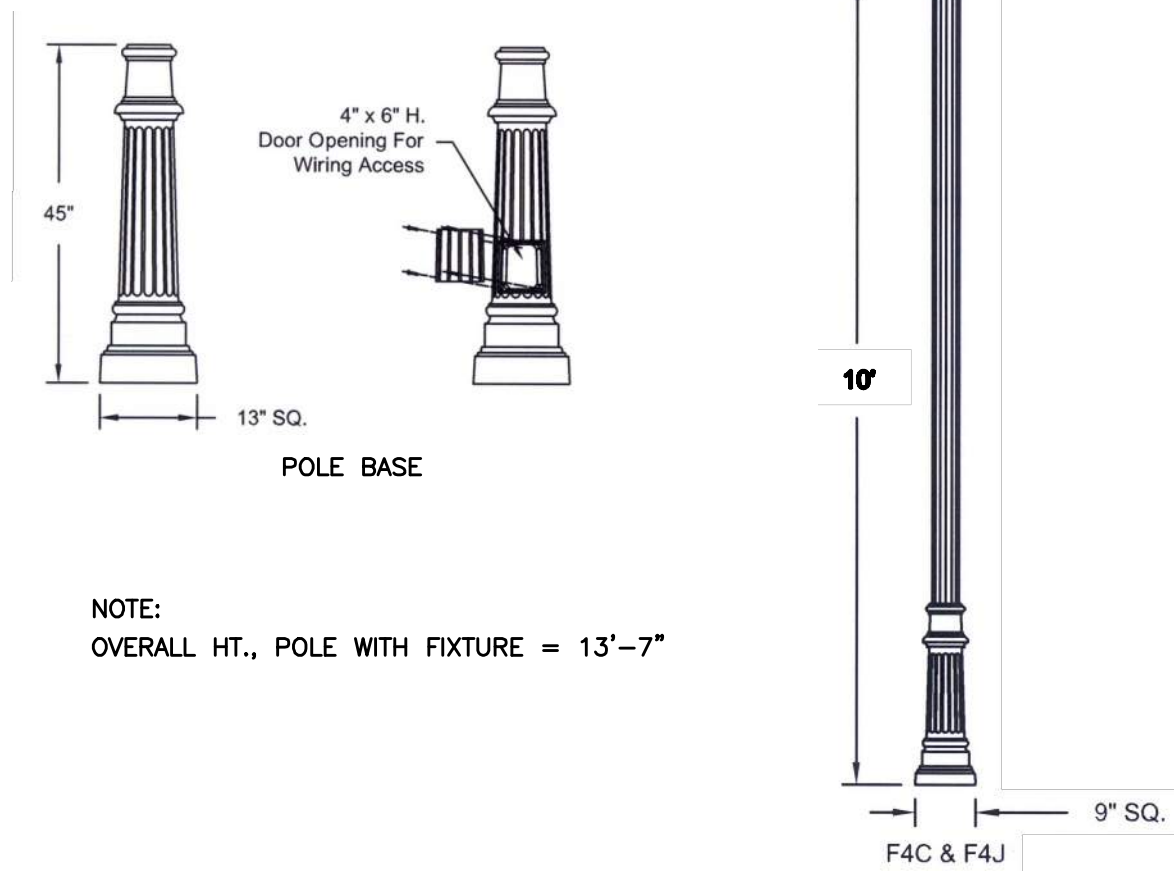
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CHECKED BY: GHF
SCALE: 1"=20'
Certificate of Authorization #: 24C42808800

| | |
|--|---|
| <p>GRADING, UTILITIES & SOIL EROSION CONTROL PLAN THE YARD TAX BLOCK 11 LOT 26 BOROUGH OF HOPEWELL MERCER COUNTY NEW JERSEY</p> | <p>PROJECT No. 06057 SHEET NUMBER 4 OF 10</p> |
|--|---|

| LumNo | Label | X | Y | Z | Orient |
|-------|-------|---------|---------|----|--------|
| 1 | B1 | 36.165 | 151.2 | 10 | 190 |
| 2 | B1 | 47.16 | 97.769 | 10 | 270 |
| 3 | B1 | 134.933 | 66.393 | 10 | 90 |
| 4 | B1 | 174.429 | 19.121 | 10 | 180 |
| 5 | C1 | 120.202 | -22.674 | 6 | 270 |
| 6 | C1 | 91.508 | -22.674 | 6 | 270 |
| 7 | C1 | 83.948 | -22.674 | 6 | 270 |
| 8 | C1 | 1.521 | -22.357 | 6 | 270 |

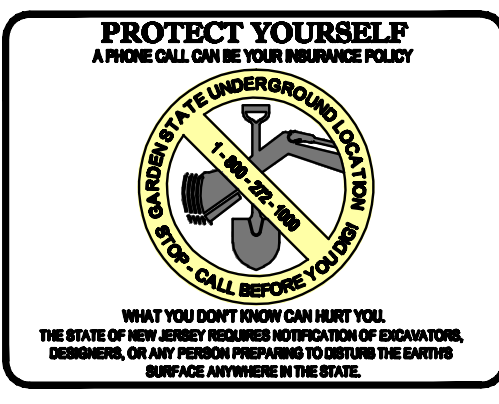
| Calculation Summary | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
|---------------------|---------------------|-------|------|-----|------|---------|---------|
| Label | Spill Light Summary | Fc | 0.18 | 6.8 | N.A. | N.A. | N.A. |
| Spill Light Summary | Road Summary | Fc | 0.57 | 1.4 | 0.2 | 2.85 | 7.00 |

| Luminaire Schedule | Qty | Label | Arrangement | LLF | Lum. Lumens | Lum. Watts | Description | (MANUFAC) |
|--------------------|-----|-------|-------------|-------|-------------|------------|--------------------------|----------------------------|
| Symbol | 4 | C1 | SINGLE | 0.910 | 2783 | 30.01 | 247L P102 XXXX 30K R3 PY | American Electric Lighting |
| | 4 | B1 | SINGLE | 0.920 | 3265 | 26 | WSE2 P10 30K AS 3 | Holophane |



Road Summary
 Illuminance (Fc)
 Average = 0.57
 Maximum = 1.4
 Minimum = 0.2
 Avg/Min Ratio = 2.85
 Max/Min Ratio = 7.00

BENCHMARK
 EXIST. SAN. M.H.
 RIM = 99.34
 DATUM ASSUMED



Washington Postelite Enhanced LED Series Luminaire Housing: Utility Washington Housing: Slc: Utility Washington

DECORATIVE OUTDOOR

TYPE 'B'
 MAXIMUM COLOR TEMPERATURE OF 3000K

TYPE 'C'

ORDERING INFORMATION:

LED PERFORMANCE OPTIONS:

CONTROLLER OPTIONS:

ACCESSORIES:

NOTES ARE LOCATED ON PAGE 3

American Revolution Full Cutoff LED Series 247LC

PRODUCT OVERVIEW

Features:

- Colonial LED luminaire, replaces up to 250W HID models for street and area lighting applications
- Fifteen (15) LED performance packages deliver just the right amount of light for any given application up to 5,300 lumens
- Available in color temperature choices of 2700K, 3000K and 4000K
- Four (4) distinct light distribution options provide design flexibility, available in Type II, Type III, Type IV, and Type V
- The cast aluminum housing, engineered for sturdy filtering performance
- Luminaire is rated for 3g vibration per ANSI C136.51
- The cast aluminum hood features a trigger latch (TL) option and captive thumb screws for fast, easy electrical and optical chamber access
- Standard paint finish is smooth gloss
- Housing is tension pole mounted and designed for use with a 3" tall by 2-3/8" to 3" diameter ferris, and secured by three set screws
- Rated LED and driver life greater than 100,000 hours at 25°C
- Surge protection device (standards) exceeds ANSI/IEEE C82.41-2002 Category C High (100/10/100) and ANSI/IEEE C82.41-2002 Category C High (100/10/100/300V) Option exceeds ANSI/IEEE C82.41-2002 Category C High (100/10/100) and ANSI C136.2-2015 Extreme (200V/100A)
- Equipped with LED electronic 0-10V dimmable driver with DALI driver option

Standards:

- Complies with all applicable ANSI C136 standards.
- CSA listed and suitable for use up to 40°C ambient
- DesignLight Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlight.org (DLP) to confirm which versions are qualified.

GOVERNMENT PROCUREMENT - BAA - Buy American Act: Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under 50T Buy America regulations.

BAA - Buy American Act: Product with the BAA option also qualifies as produced in the United States under the definitions of the Buy American Act, Buy American Act, and Buy American Act (2011).

Dimensions:

Effective Projected Area (EPA)
 The EPA for the American Revolution Series 247LC is 1.6 sq. ft.
 Ferris weight - 38 lbs.

GRAPHIC SCALE
 1 inch = 20 ft.

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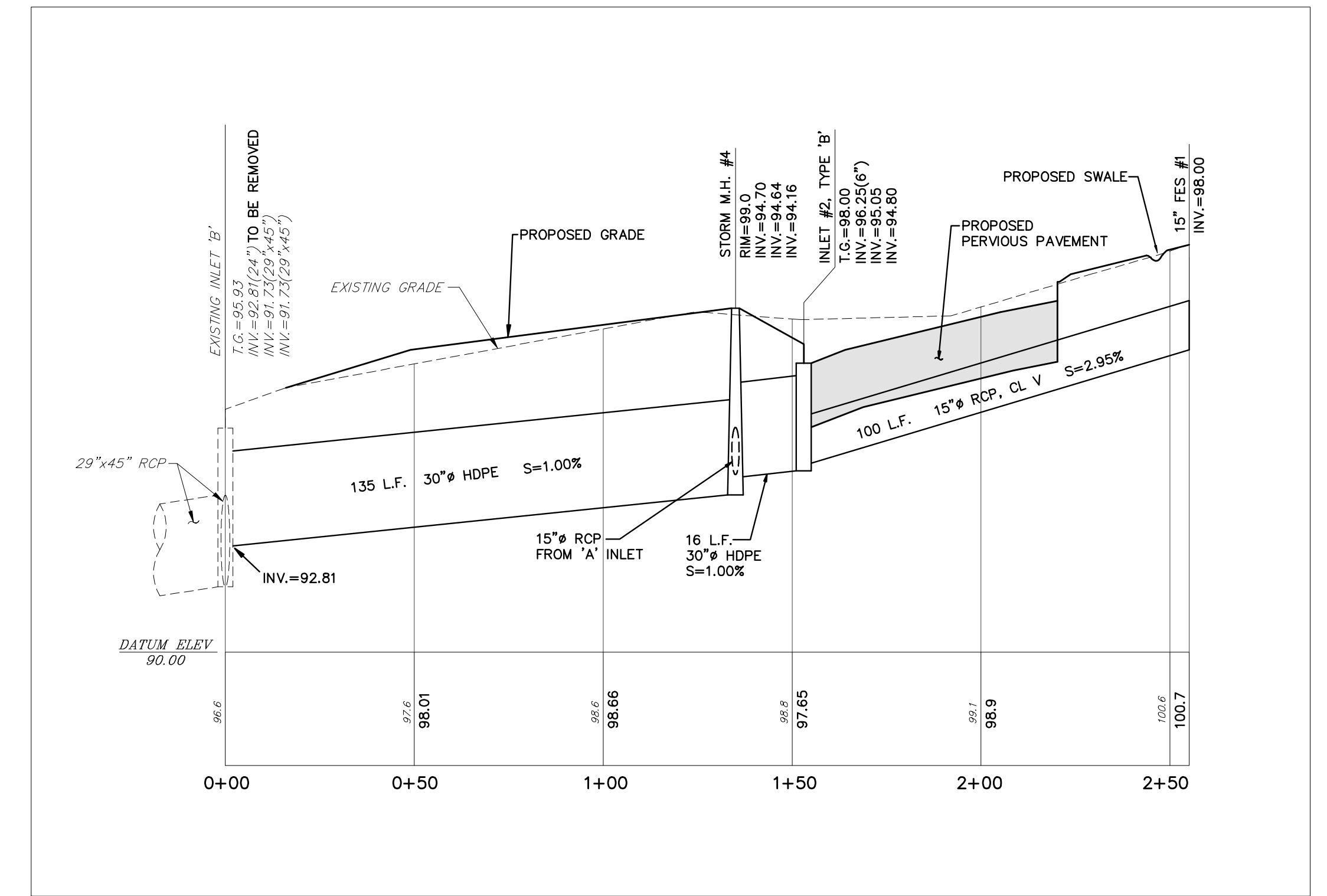
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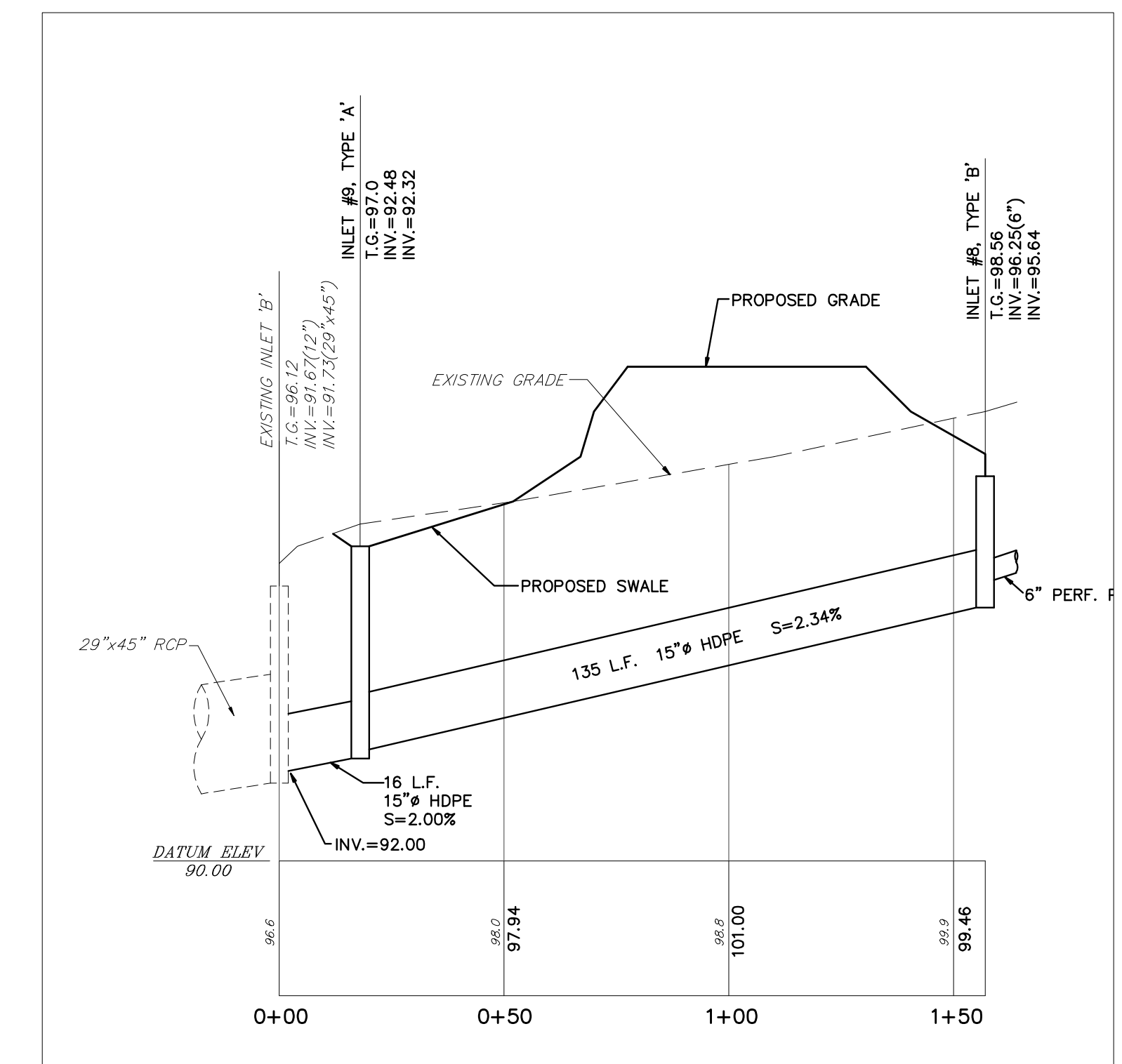
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 SCALE: 1"=20'

LIGHTING PLAN
 THE YARD
 TAX BLOCK 11 LOT 26
 BOROUGH OF HOPEWELL MERCER COUNTY NEW JERSEY

PROJECT No. 06057
 SHEET NUMBER 5 OF 10



STORM SEWER PROFILE
 SCALE: 1"=30'(HORIZ.)
 1"=3'(VERT.)



STORM SEWER PROFILE
 SCALE: 1"=30'(HORIZ.)
 1"=3'(VERT.)

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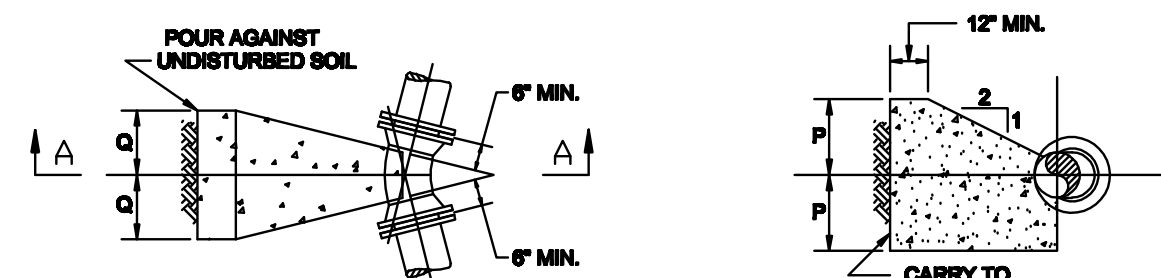
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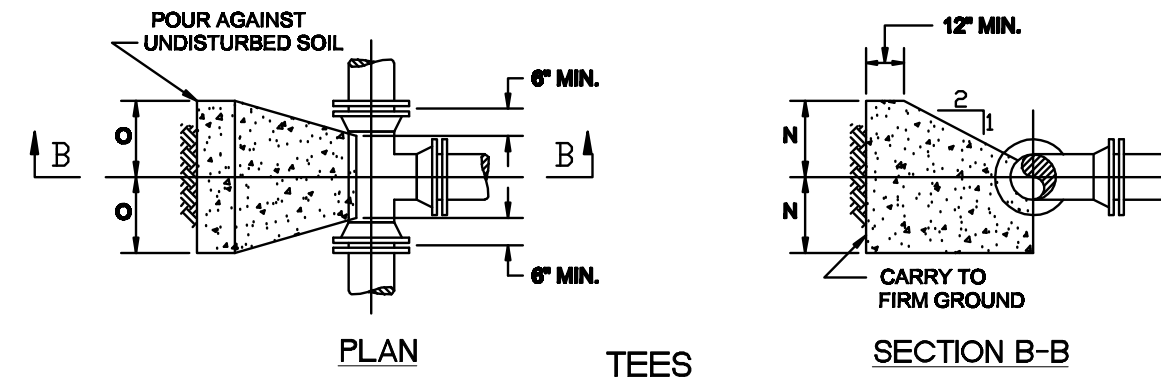
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 SCALE: AS SHOWN

STORM SEWER PROFILES
 THE YARD
 TAX BLOCK 11 LOT 26
 BOROUGH OF HOPEWELL MERCER COUNTY NEW JERSEY

PROJECT No.
 06057
 SHEET NUMBER
 7 OF 10



HORIZONTAL AND VERTICAL UPWARD BENDS

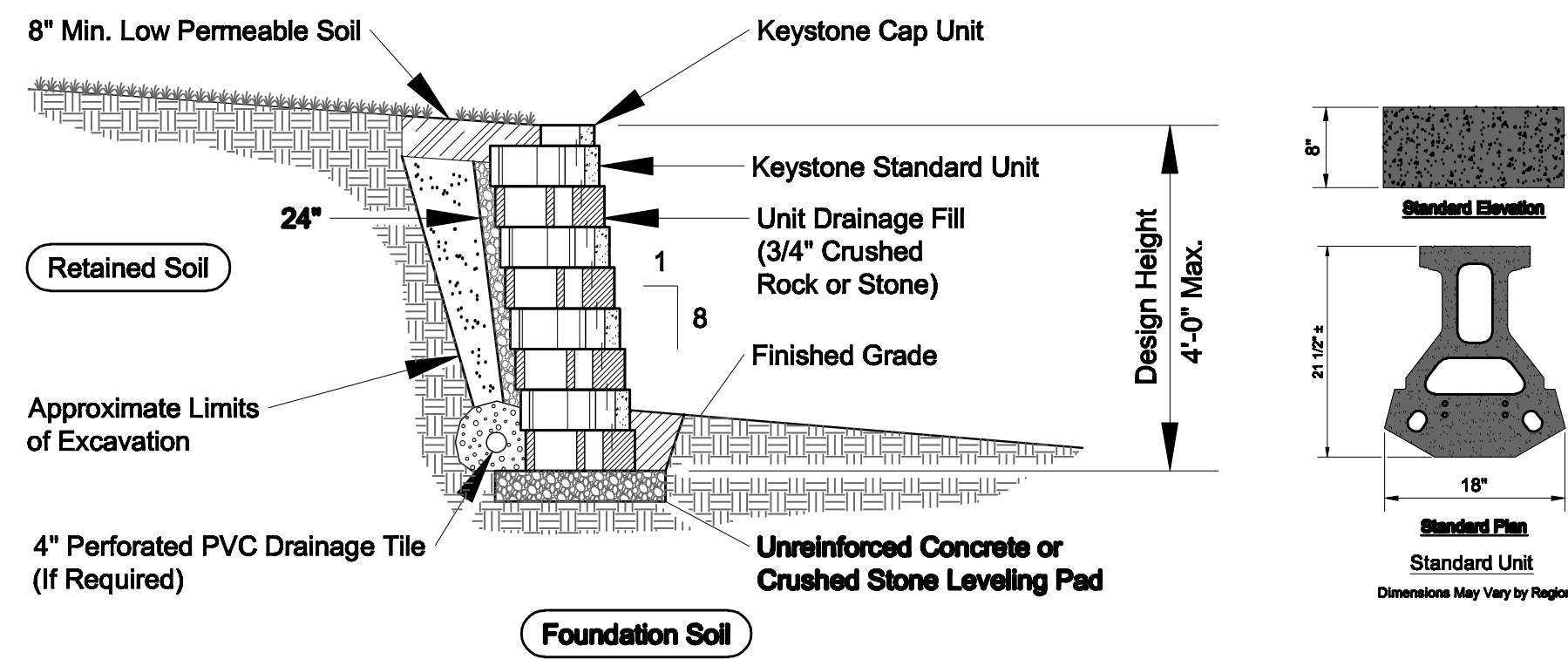


THRUST BLOCKS FOR TEES, HORIZ. & VERTICAL BENDS AND PLUGS

| DESCRIPTION | DIMENSION | 6\"/> |
|-------------|-----------|-------|
| TEES | N | 0-10" |
| | O | 0-10" |
| 90° BENDS | P | 1-0" |
| | Q | 1-0" |
| 45° BENDS | R | 0-8" |
| | S | 0-8" |
| 22½° BENDS | T | 0-7" |
| | U | 0-7" |
| 1½° BENDS | V | 0-8" |
| | W | 0-8" |

THRUST BLOCKS DESIGNED FOR 150 LB. PER SQ. IN. TEST PRESSURE AND 2000 LB. PER SQ. FT. SOIL PRESSURE.

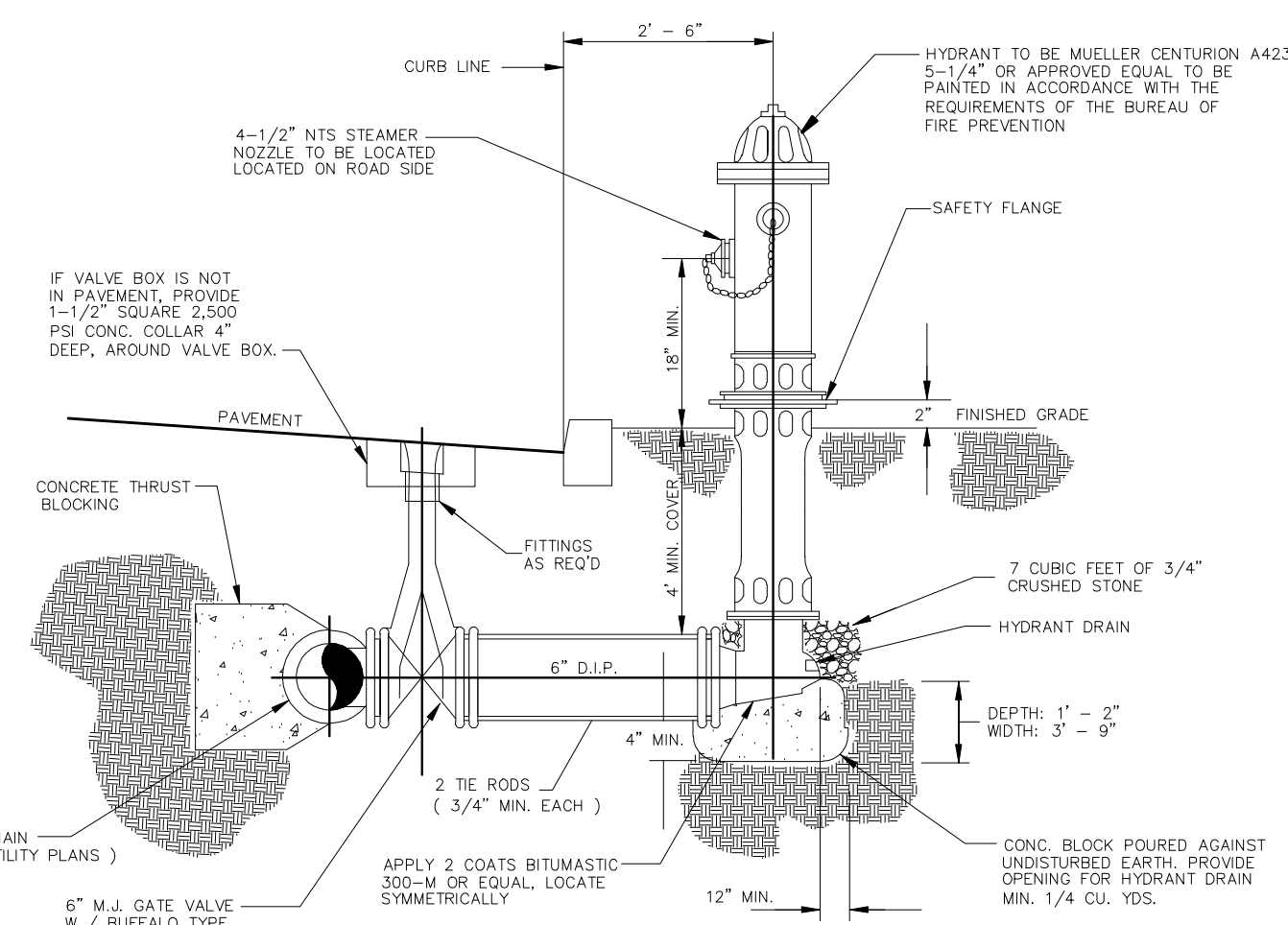
THRUST BLOCKS



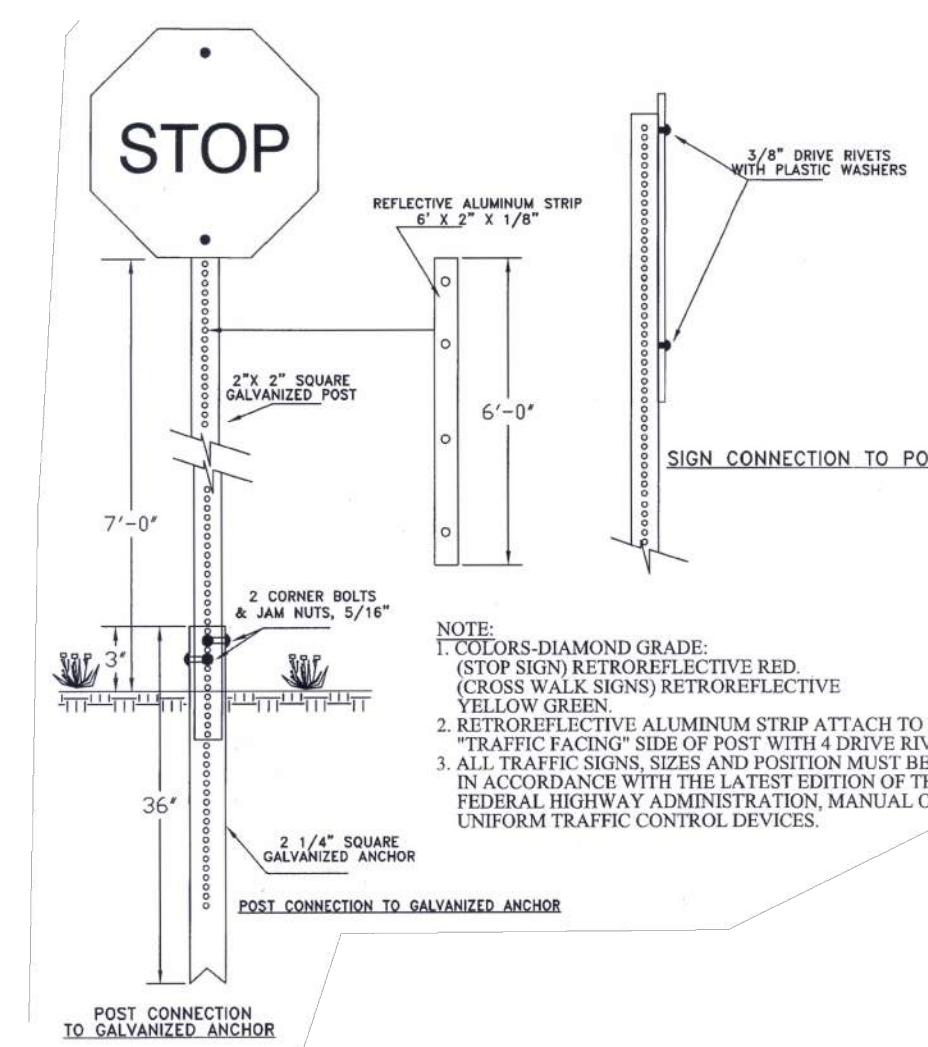
Typical Gravity Wall Section Standard Unit - 1" Setback

RETAINING WALL DETAILS (OR APPROVED EQUAL)

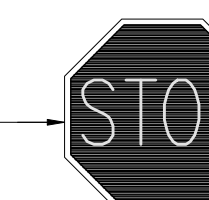
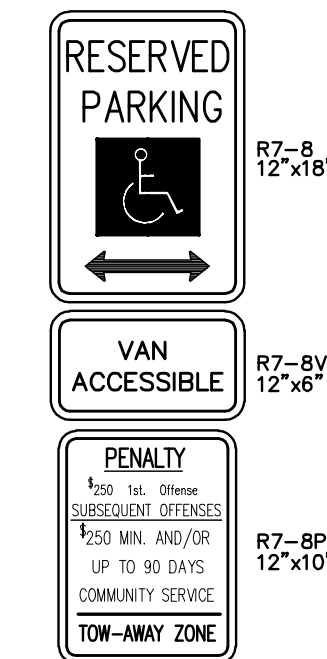
NOTE: BOTTOM OF WALL GRADES AS SHOWN ON GRADING PLAN IS AT INTERFACE WITH PROPOSED GRADE



FIRE HYDRANT DETAIL

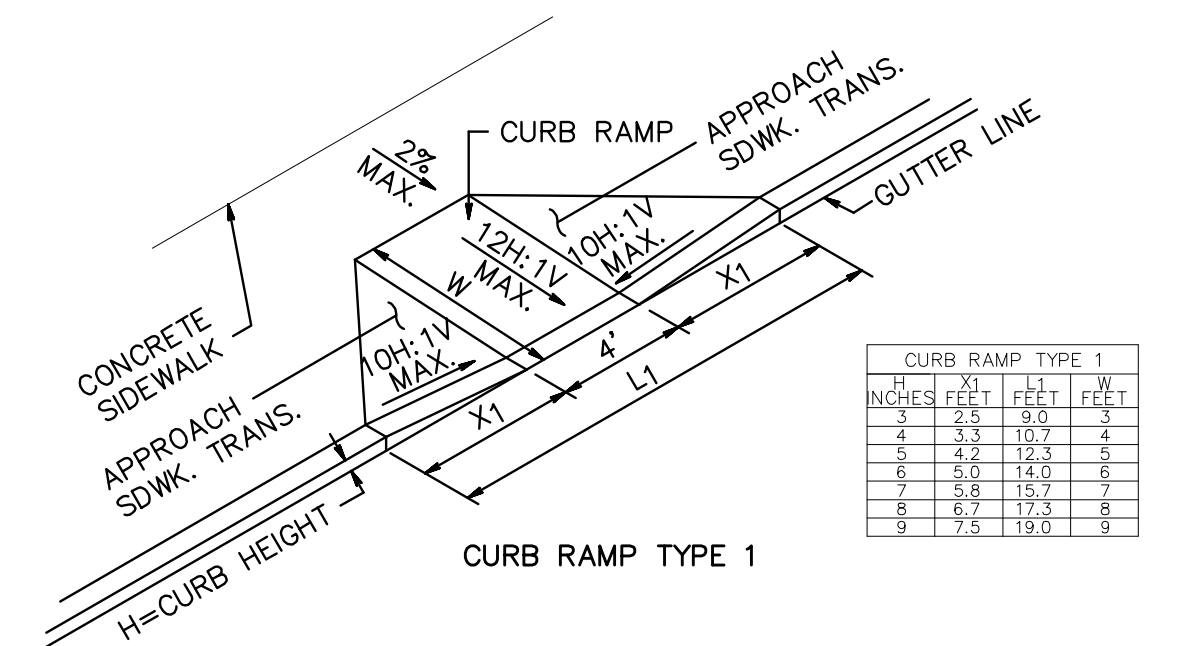


BREAKAWAY STEEL U POST

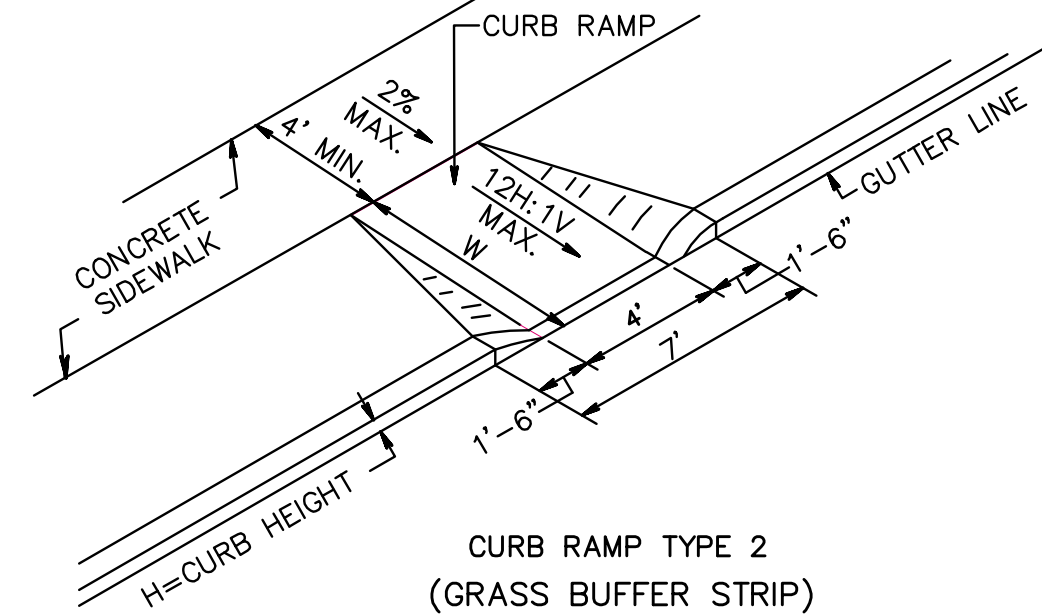


SIGN DETAILS

NOTE: BREAKAWAY MOUNTING HARDWARE SHALL BE USED PER POST NUDOT SPECIFICATIONS



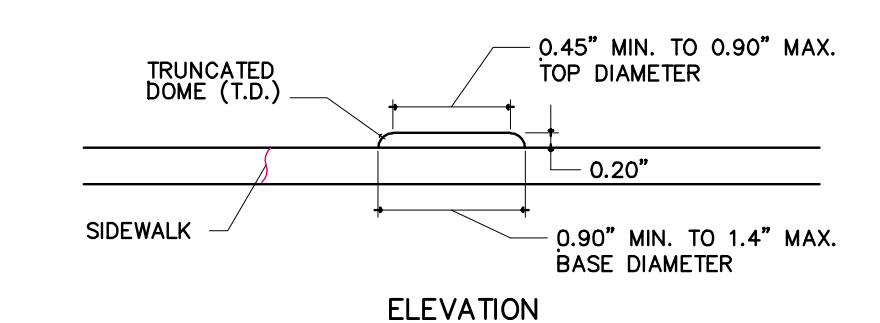
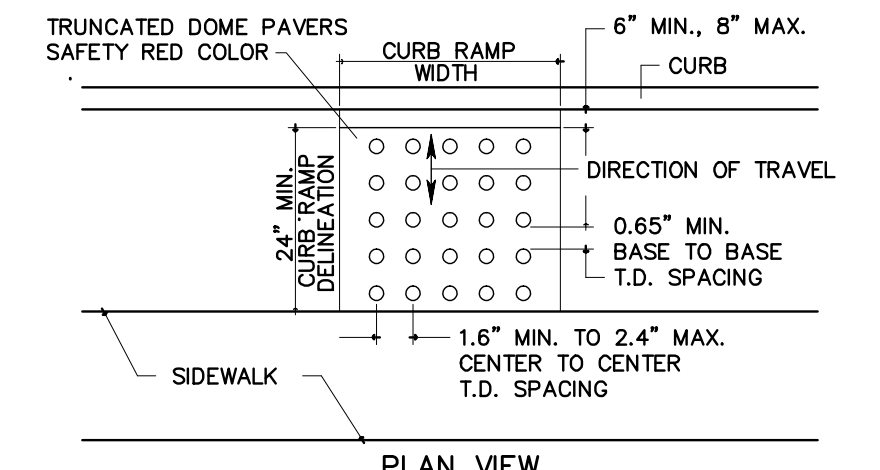
| CURB RAMP TYPE 1 | | | |
|------------------|------|------|------|
| INCHES | FEET | FEET | FEET |
| 2 | 2.5 | 2.0 | 2 |
| 4 | 3.5 | 1.0 | 2 |
| 6 | 5.0 | 1.0 | 2 |
| 8 | 6.5 | 1.0 | 2 |
| 10 | 8.0 | 1.0 | 2 |



CURB RAMP TYPE 2 (GRASS BUFFER STRIP)

- GENERAL NOTES:
- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
 - DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
 - CURB (DROPPED CURB) CUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMPS.
 - DIMENSIONS SHOWN IN TABLES ARE FOR 3 INCH TO 9 INCH CURB HEIGHTS, WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON CROSS SLOPES SHOWN.

HANDICAP RAMP CURB DEPRESSION DETAILS



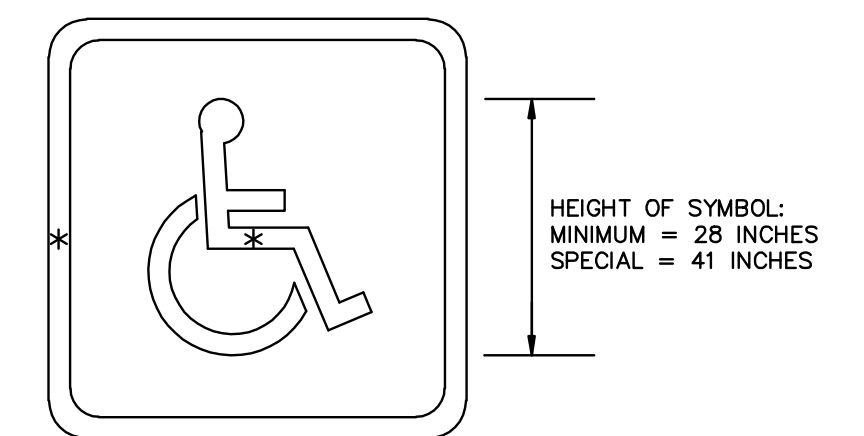
DETECTABLE WARNING SURFACE



48" x 30" s/s HDU sandblasted, raised letters, real gold



SITE SIGN



ACCESSIBILITY PARKING SPACE MARKING

NOTE: BLUE BACKGROUND AND WHITE BORDER ARE OPTIONAL. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE LATEST ADA REQUIREMENTS.

ACCESSIBILITY PARKING SPACE MARKING

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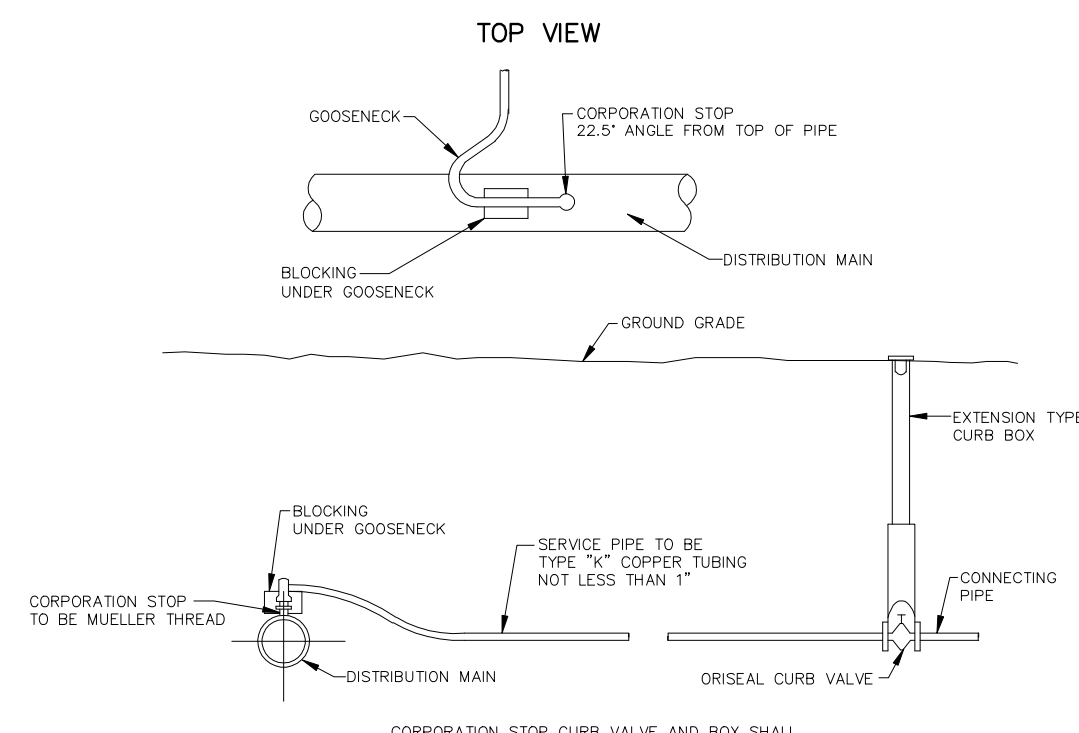
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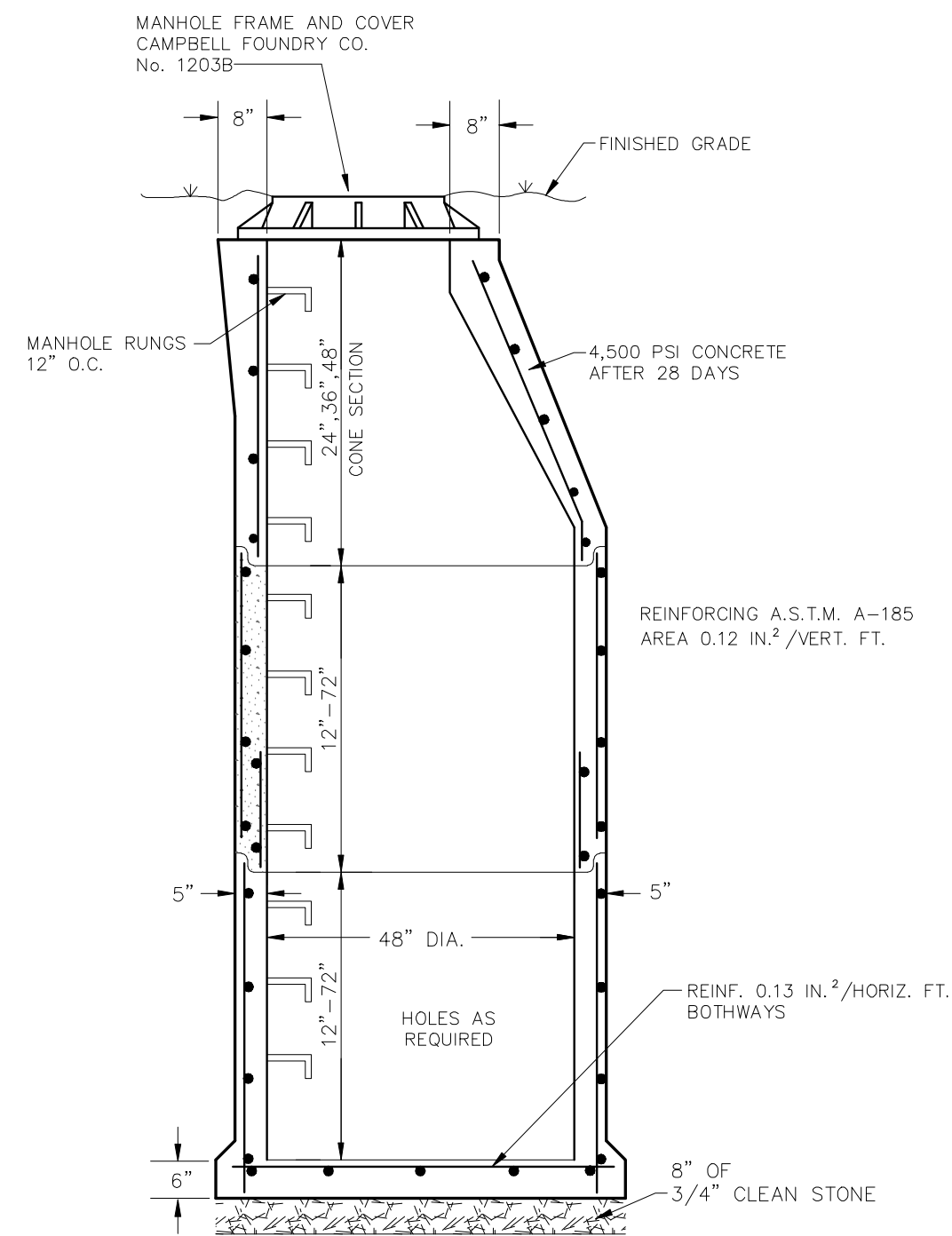
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SCALE: NONE

CONSTRUCTION DETAILS
THE YARD
TAX BLOCK 11 LOT 26
BOROUGH OF HOPEWELL MERCER COUNTY NEW JERSEY

PROJECT No. 06057
SHEET NUMBER 9 OF 10

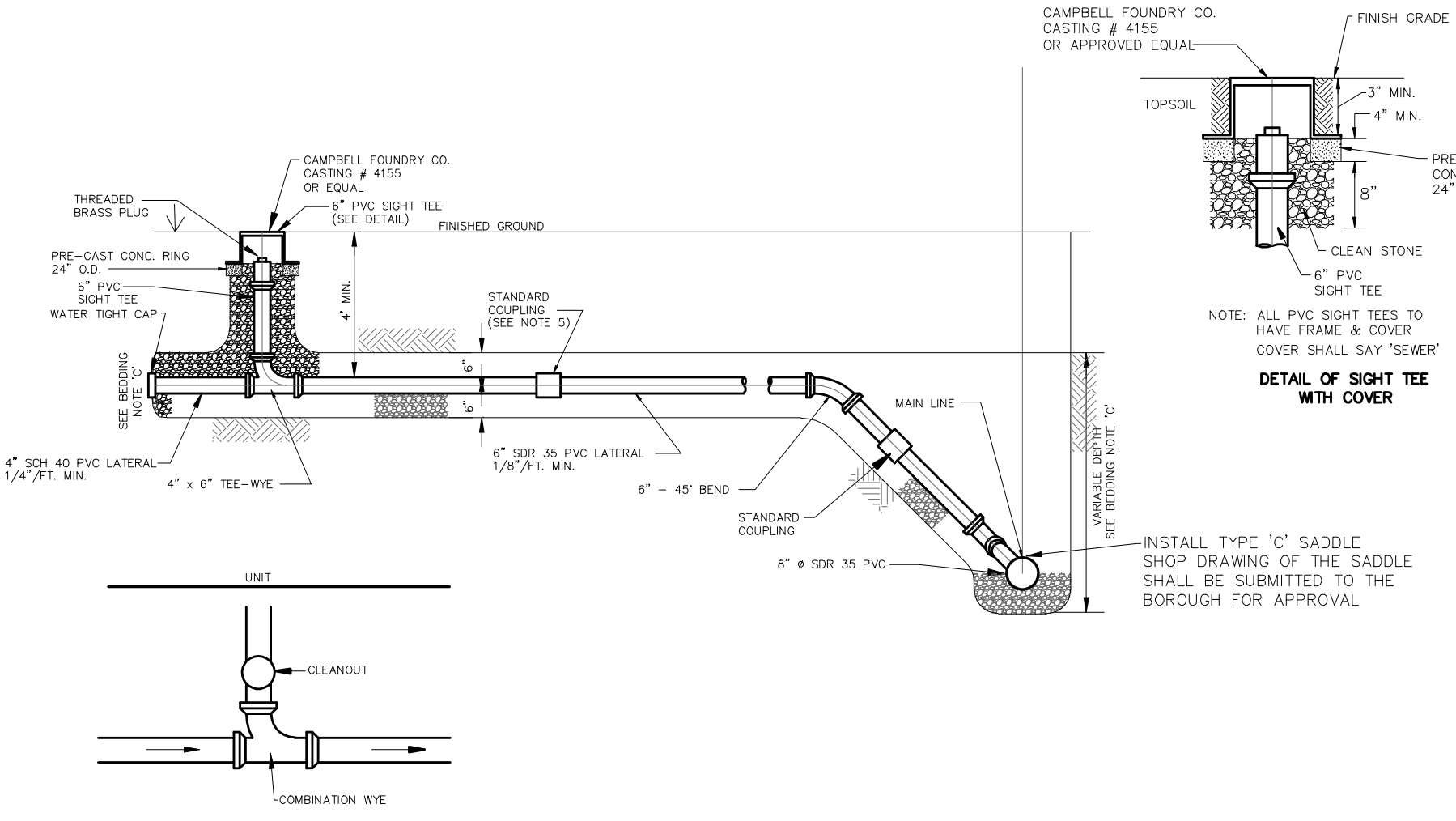


SERVICE CONNECTION



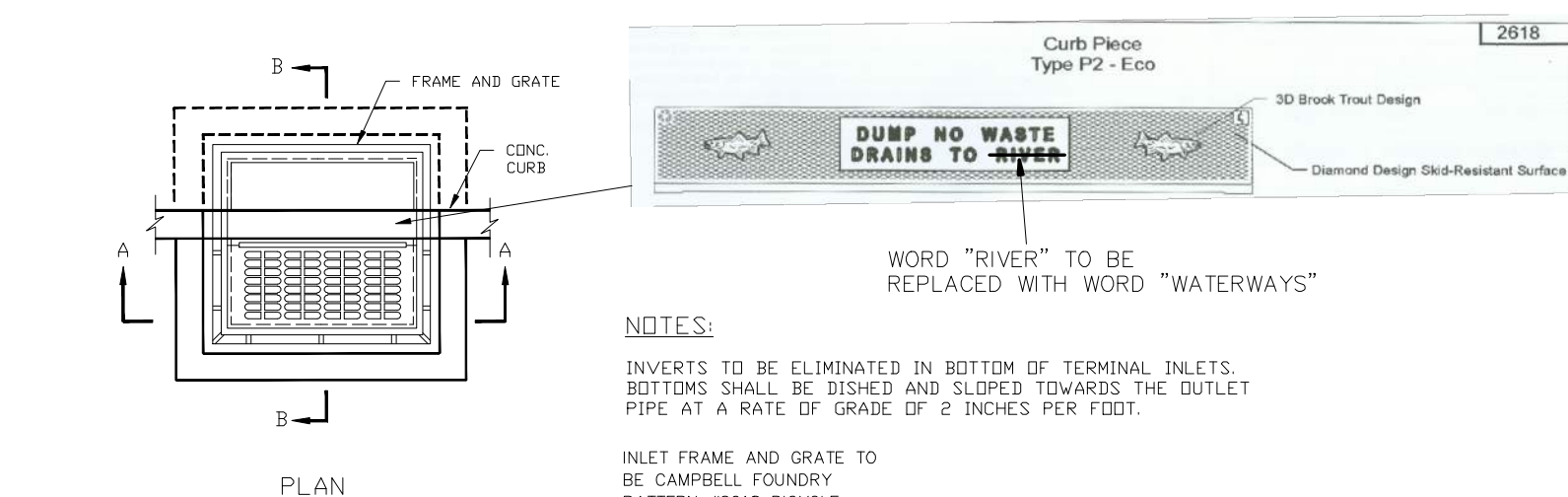
STORM MANHOLE DETAIL

MANHOLE DESIGN SPECIFICATIONS TO CONFORM TO "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" A.S.T.M. C478, LATEST REVISION.

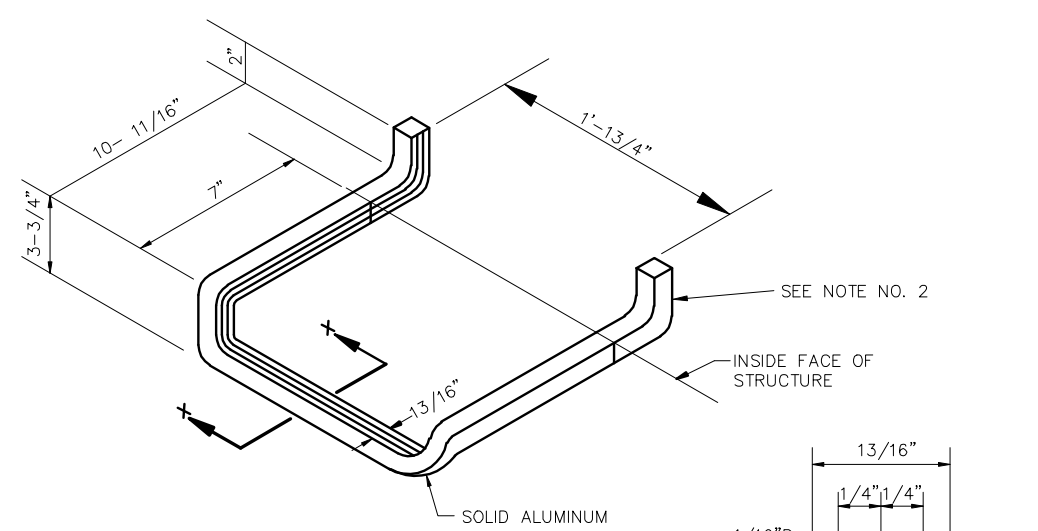


NOTE: CLEANOUTS SHOULD BE INDICATED AT ALL POINTS WHERE THE VARIOUS SANITARY SEWER LATERALS CONNECT OR HAVE ANGLE POINTS. THERE SHOULD BE A COMBINATION WYE AT EACH CONNECTION POINT, WITH A CLEANOUT ADJACENT TO THE WYE AT THE UNIT SIDE. TO THE GREATEST EXTENT POSSIBLE, THE CLEANOUTS SHOULD BE IN LAWN AREAS.

- NOTES:
1. ALL COUPLINGS, PLUGS AND CAPS SHALL BE STANDARD FOR TYPE OF PIPE USED AND INSTALLATION TO BE WATER TIGHT.
 2. CLEANOUTS OR INSPECTION WYES ARE TO BE LOCATED AS SHOWN ON DETAIL.
 3. 1/4" PER FOOT SLOPE GOVERNS OVER CONFLICTS WITH 5 FOOT MINIMUM COVER DIMENSION.
 4. FOR PIPE BEDDING DETAILS, SEE DETAILS THIS SHEET.
 5. WHERE A NEW PVC HOUSE CONNECTION IS TO BE INSTALLED, ALL COUPLINGS SHALL BE STANDARD.
 6. 72 HOURS PRIOR TO INSTALLATION OF THE SANITARY SEWER CONNECTION, THE BOROUGH SHALL BE NOTIFIED.

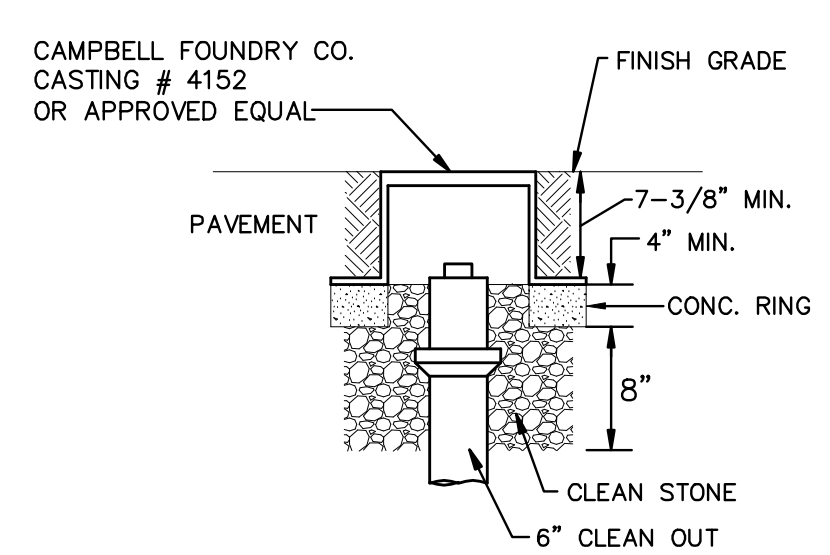


INLET TYPE 'B'



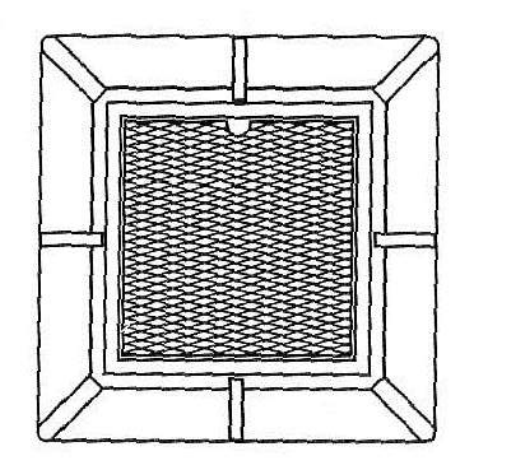
LADDER RUNGS DETAIL

- NOTE:
1. ALUMINUM STEP SHALL BE EXTRUDED ALUM. 6060-T6 ALLOY DROP FRONT DESIGN OR APPROVED EQUAL.
 2. THE PORTION TO BE IMBEDDED IN THE CONCRETE SHALL BE COATED WITH COAL-TAR PITCH OR OTHER APPROVED MATERIAL.
 3. LADDER RUNGS TO FACE TRAFFIC FLOW.



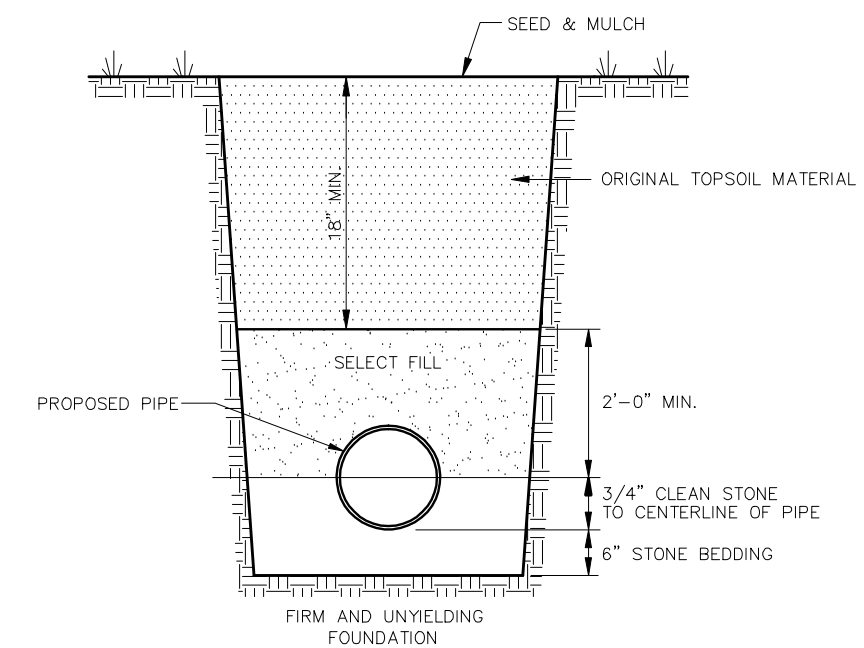
NOTE: ALL PVC CLEAN OUTS IN ROADWAY TO HAVE FRAME & COVER

DETAIL OF CLEAN OUT WITH COVER

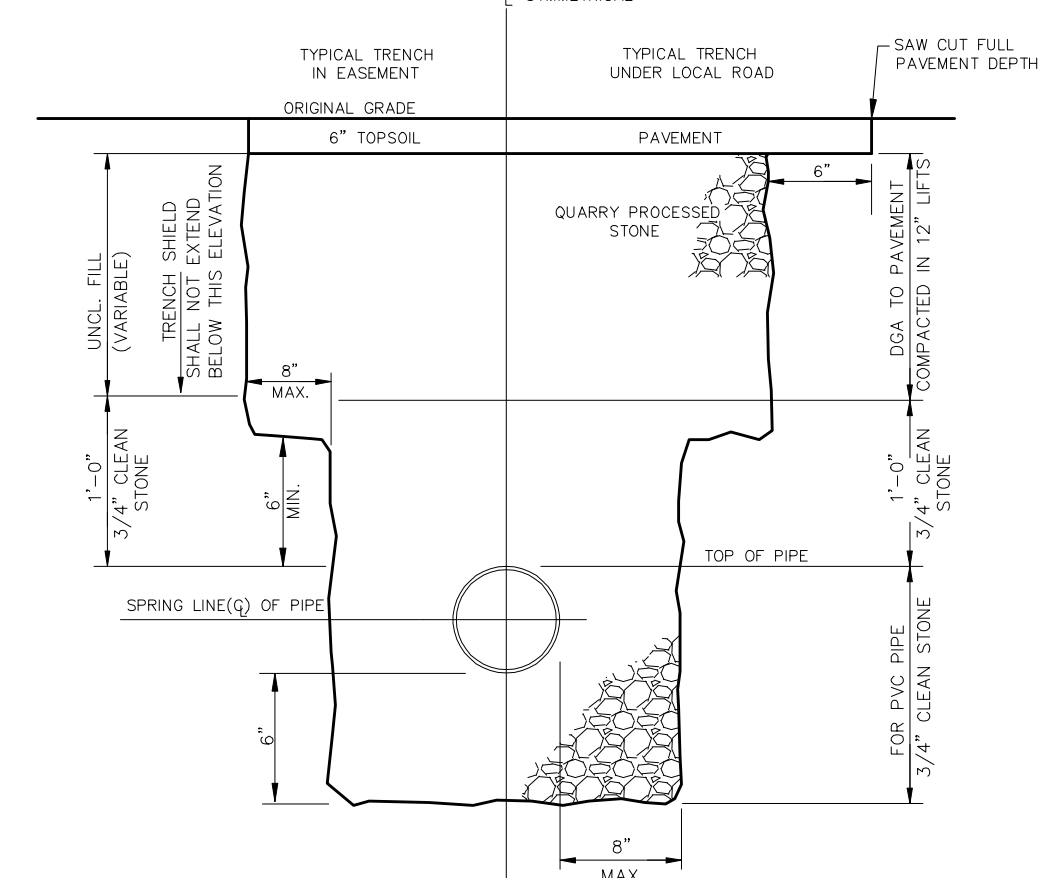


STORM CLEAN OUT CAST IRON MONUMENT BOX

CAMPBELL FOUNDRY CO. PATTERN NUMBER 4152 OR APPROVED EQUAL

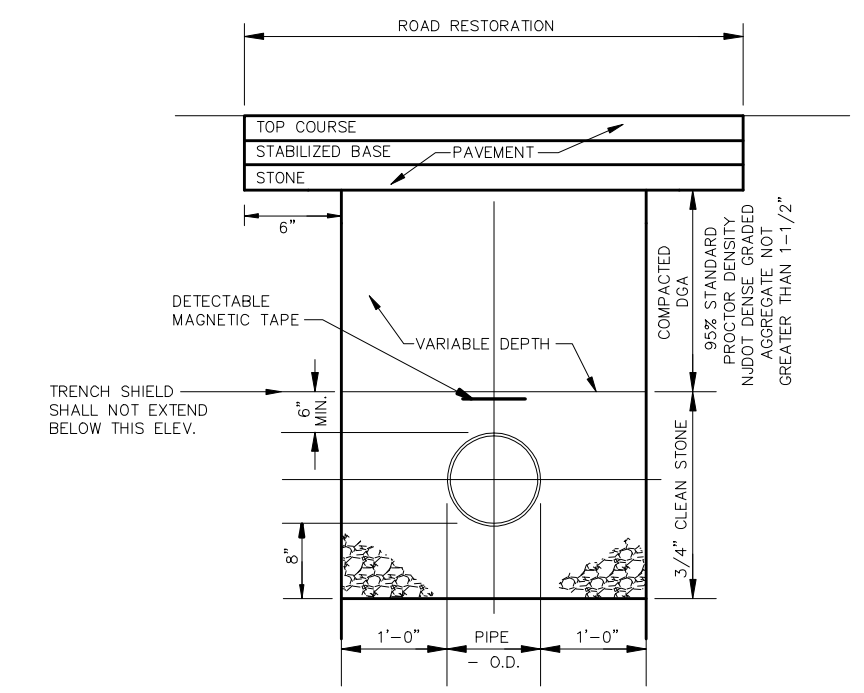


WATER, STORM & UTILITY TRENCH DETAIL (GRASSED AREAS)

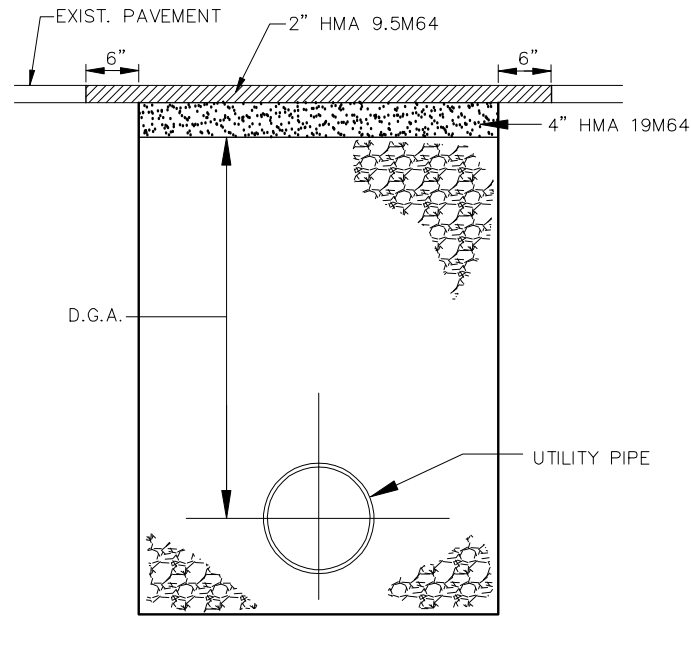


SANITARY TRENCH DETAIL

ALL SANITARY SEWER MAINS SHALL BE FLUSHED, VIDEOED AND PASS A MANDREL AND AIR TEST AS REQUIRED BY THE SEWER UTILITY. ALL TESTING SHALL BE COMPLETE AFTER BASE PAVEMENT IS INSTALLED.

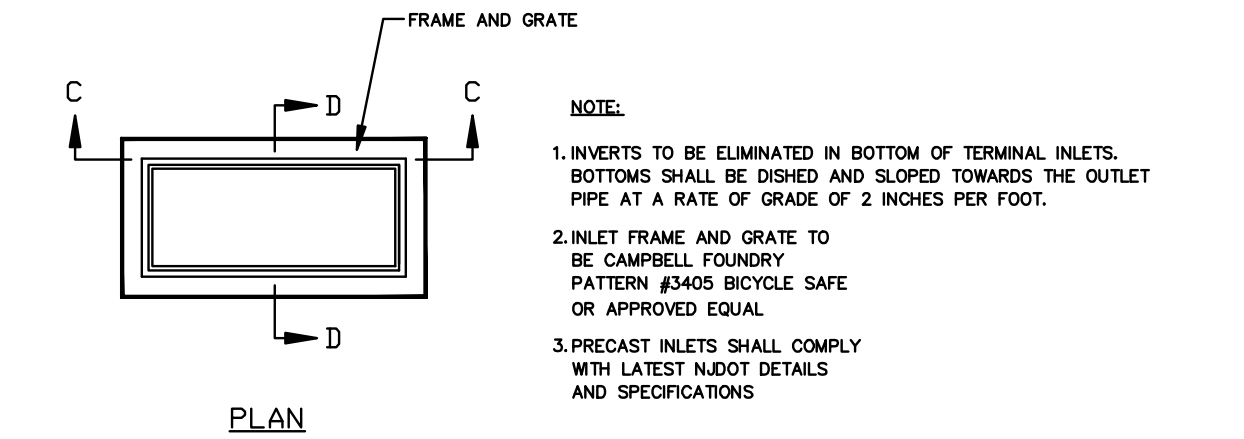


TYPICAL TRENCH DETAIL (UNDER PAVEMENT)

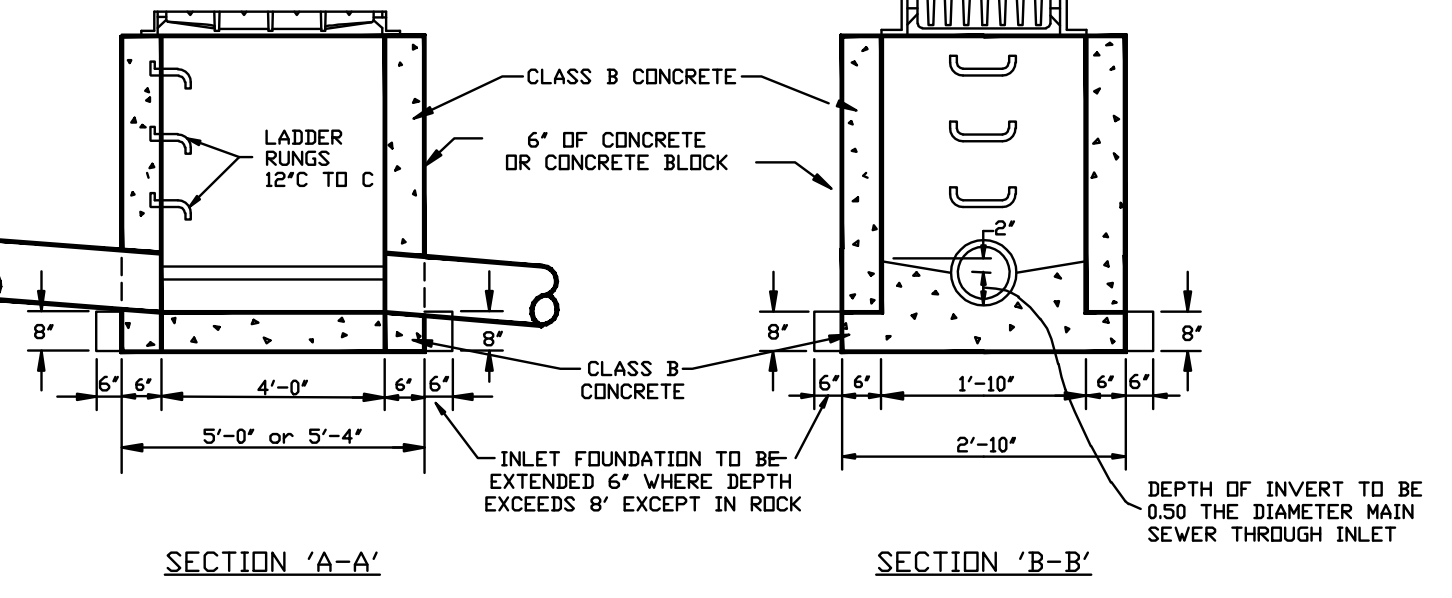


STREET OPENING/ DRIVEWAY RESTORATION

ALL SAW CUT SEAMS SHALL BE SEALED WITH TAR



INLET TYPE 'A'



INLET TYPE 'A'

DEPTH OF INVERT TO BE 0.50 THE DIAMETER MAIN SEWER THROUGH INLET

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| DATE | REVISION | BY |
|----------|---|-----|
| 5/29/25 | REVISED PER BOROUGH & COMPLIANCE COMMENTS | SMT |
| 10/28/22 | REVISED PER BOROUGH COMMENTS | SMT |

DAS
DAVID A. STIRES ASSOCIATES, LLC
ENGINEERS - SURVEYORS - PLANNERS - ENVIRONMENTALISTS

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www.dastires.com

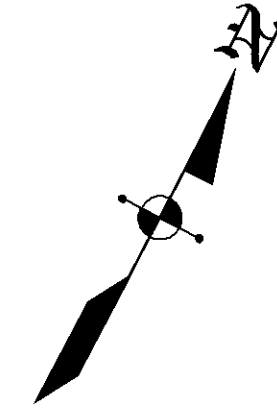
GEORGE H. FOLK
PROFESSIONAL ENGINEER
N.J. LICENSE No. 35258
DATE 10/7/20

DESIGNED BY: GHF
DRAWN BY: SMT
CHECKED BY: GHF
SCALE: NONE

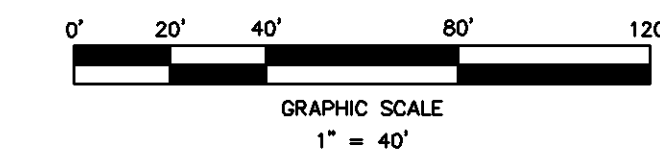
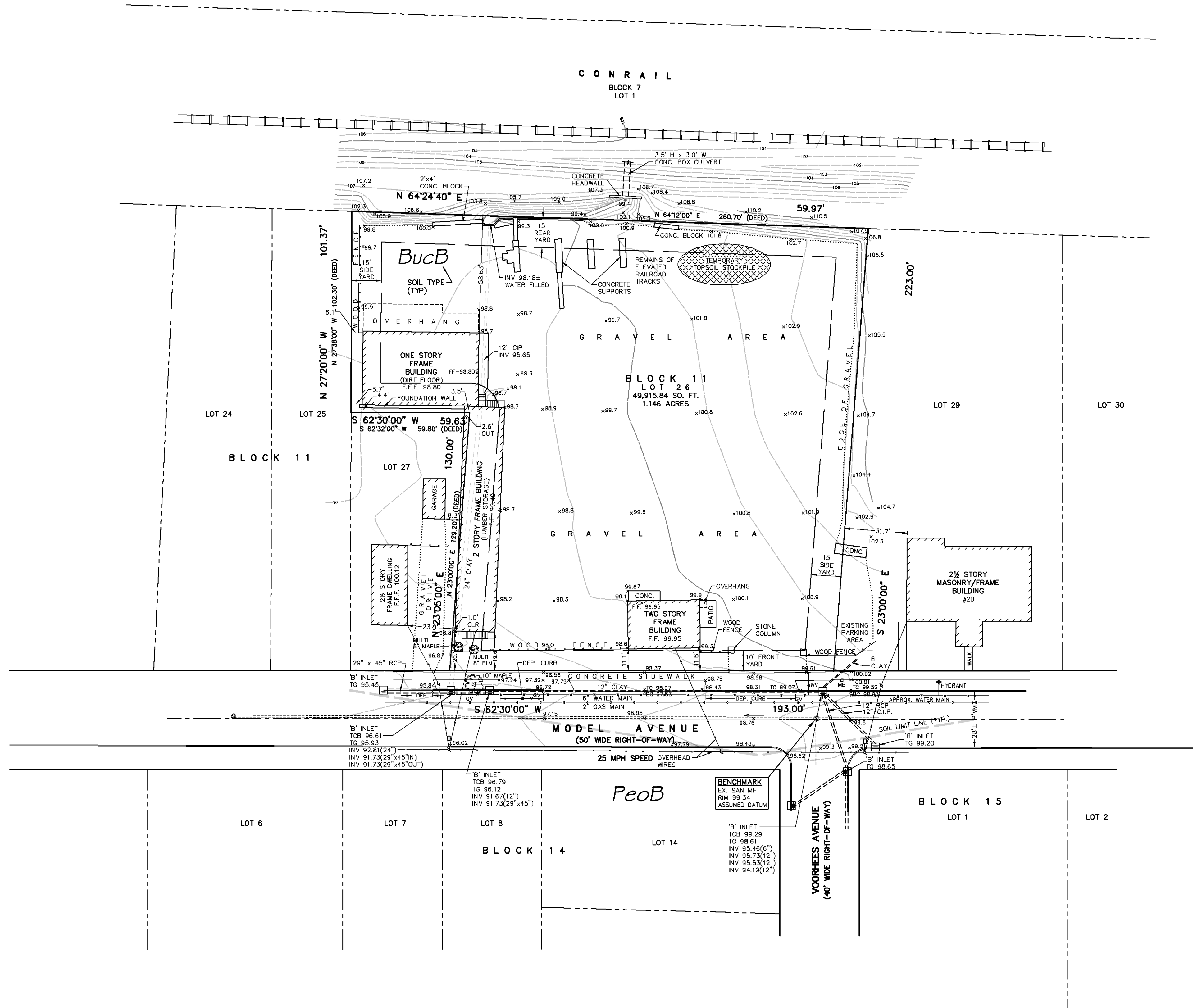
CONSTRUCTION DETAILS
THE YARD
TAX BLOCK 11 LOT 26
BOROUGH OF HOPEWELL MERCER COUNTY NEW JERSEY

PROJECT No. 06057
SHEET NUMBER 10 OF 10

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- INDEX OF SHEETS**
1. EXISTING FEATURES PLAN
 2. SITE PLAN
 3. GRADING PLAN
 4. STORMWATER MANAGEMENT DETAILS



- LEGEND -

- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING UTILITY LINE
- EXISTING BUILDING
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR LINE
- EXISTING MANHOLE
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING UTILITY POLE
- EXISTING HANDICAPPED SPACE
- EXISTING PARKING SPACES PER ROW
- U.S.D.A. SOILS LIMIT LINE
- U.S.D.A. SOILS CLASSIFICATION

STORMWATER MANAGEMENT PLANS ONLY

Existing Features Plan
 Prepared For
Lot 26 in Block 11
24 Model Avenue
 Situated In
 Borough of Hopewell
 Mercer County New Jersey

| | | | |
|-------------------|-----------------|------|------|
| REVISIONS | DATE | DATE | DATE |
| COMPLIANCE REVIEW | D.J.S. 05/29/25 | | |
| | | | |
| | | | |

D.S. ENGINEERING, P.C.
 ENGINEERS AND DESIGN PROFESSIONALS
 P.O. Box 792
 Rocky Hill, New Jersey, 08553
 (908)-369-0989 Fax (908)-369-4118

BY: *David J. Schmidt* Professional Engineer N.J. Lic. No. 39409

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WATER QUALITY SWALE NOTES

1) MEDIA SOIL CONTENT

THE BIoretention MEDIA SHALL BE COMPRISED OF SAND, ORGANIC TOPSOIL, COIR PEAT AND AGED HARDWOOD MULCH. THE PLANTING SOIL SHALL BE PERMEABLE TO ALLOW INFILTRATION OF RUNOFF AND PROVIDE ADSORPTION OF ORGANIC NITROGEN AND PHOSPHORUS. THE MATERIALS SHALL BE BLENDED IN THE APPROPRIATE QUANTITIES TO MEET THE FOLLOWING PARAMETERS:

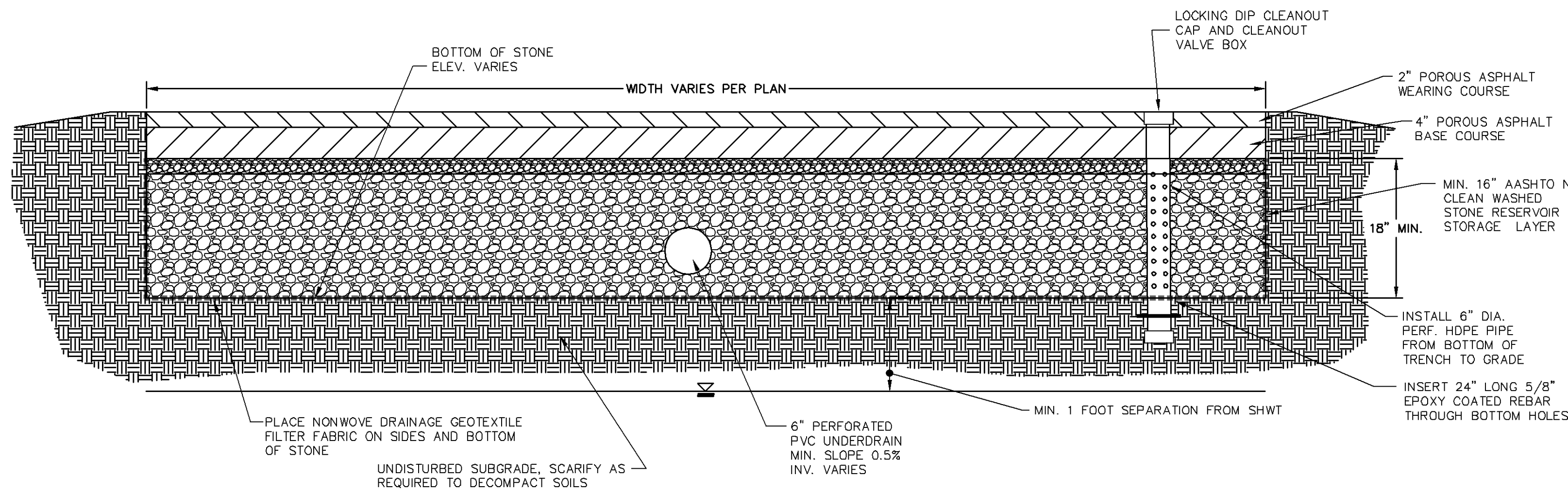
| PARAMETER | MINIMUM VALUE | MAXIMUM VALUE |
|--------------------------|---------------|---------------|
| PERCENT SAND (W/W)* | 80% | 95% |
| PERCENT FINE SAND (W/W)* | 2% | 15% |
| PERCENT SILT (W/W)* | 3% | 10% |
| PERCENT CLAY (W/W)* | 1% | 5% |
| ORGANIC MATTER (W/W)** | 3% | 5% |
| ACIDITY/ALKALINITY (PH) | 5.8 | 7.1 |

*BASED ON PERCENTAGE BY WEIGHT IN EACH TEXTURE CLASS

**BASED ON LOSS ON IGNITION, NOT ACID EXTRACTION PROCESS. NOTE THAT ORGANIC MATTER IS INCLUDED IN THE TEXTURAL CATEGORIES.

NOTE THAT THESE VALUES FALL WITHIN THE RANGES RECOMMENDED IN THE NJDEP BMP MANUAL. THE FINAL BLENDED MEDIA SHALL BE TESTED TO DETERMINE THE VALUES OF THE ABOVE REFERENCED PARAMETERS. IF THE BLENDED MEDIA DOES NOT CONFORM TO THESE SPECIFICATIONS AS TO GRADATION AND PH, IT SHALL BE AMENDED WITH THE APPROPRIATE MATERIALS TO FALL WITHIN THE ABOVE SPECIFICATIONS. THE PLACED BIoretention MEDIA SHALL HAVE A MINIMUM INFILTRATION RATE OF 8 INCHES/HOUR.

- THE MEDIA SHALL BE MIXED WITH A SCREENING PLANT OR SIMILAR LARGE SCALE MIXING EQUIPMENT. THE ONSITE "DIG AND DROP" METHOD SHALL NOT BE PERMITTED.
- THE ENGINEER SHALL APPROVE OF THE MIXTURE RATIO AND METHOD BEFORE PERMITTING THE BIoretention MEDIA TO BE PLACED.
- EXISTING FILL DIRT AND TOPSOIL MUST BE COMPLETELY REMOVED BEFORE INSTALLING BIoretention MEDIA.
- ALL BIoretention MEDIA SHALL BE PLACED FROM THE SIDES OF THE SWALE, AND IN NO EVENT SHALL ANY TRACKED OR WHEELED EQUIPMENT BE PERMITTED TO CROSS THE BIoretention MEDIA. THE OWNER'S REPRESENTATIVE SHALL BE PRESENT TO WITNESS THE PLACEMENT OF BIoretention MEDIA.
- TO ALLOW FOR SETTLEMENT, THE BIoretention MEDIA SHALL BE LOOSELY PLACED AT A DEPTH ABOVE FINAL GRADE EQUAL TO 115% OF THE SPECIFIED DEPTH. IT SHALL BE LEVELED BY HAND AND MOISTENED OR TAMPED TO ACCELERATE SETTLEMENT PRIOR TO FINAL GRADING AND INSTALLATION OF PLANT MATERIAL.
- DURING CONSTRUCTION, NO HEAVY EQUIPMENT SHALL BE LOCATED IN THE SWALE FOOTPRINT TO AVOID COMPACTION OF IN-SITU SOILS.



POROUS PAVEMENT SYSTEM TYPICAL SECTION
NOT TO SCALE

PERMEABLE PAVEMENT CONSTRUCTION NOTES: PAVEMENT CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL PLACE GEOTEXTILE FABRIC IN CONFORMANCE WITH MANUFACTURER'S STANDARDS. ALL ADJACENT FABRIC SHALL BE OVERLAPPED BY AT LEAST 16 INCHES. THE FABRIC SHALL BE SECURED AT LEAST FOUR FEET OUTSIDE OF THE EXCAVATED BASE. FABRIC SHALL NOT BE PLACED ON THE EXCAVATED BASE EXCEPT ON EDGES UNLESS AN UNDERDRAIN IS PRESENT.
- CHOKER SHALL BE INSTALLED EVENLY OVER STORAGE BED COURSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR APPROVAL. CHOKER BASE SHALL BE AT LEAST TWO INCHES THICK. CHOKER AND STONE BASE AGGREGATE SHALL BE INSTALLED TO A MAXIMUM OF 95% STANDARD PROCTOR COMPACTION.
- THE CONTRACTOR SHALL PERFORM ALL ROLLING AND SHAPING FROM THE LOW SIDE TO THE HIGH SIDE UNTIL EACH LAYER CONFORMS TO GRADES AS INDICATED AND LAYERS ARE SMOOTH.
- AFTER SUBBASE AGGREGATE INSTALLATION THE GEOTEXTILE FABRIC SHALL BE FOLDED BACK ALONG ALL BED EDGES. THE FABRIC SHALL REMAIN SECURE UNTIL ADJACENT SOILS ESTABLISH VEGETATION. ANY NECESSARY MEASURES SHALL BE TAKEN TO PREVENT SEDIMENT FROM WASHING INTO BEDS.
- THE ASPHALT AND CONCRETE MIXING PLANT, HAULING AND PLACING EQUIPMENT, AND INSTALLATION SHALL BE IN CONFORMANCE WITH NAPA IS 131 AND THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019 OR LATEST VERSION.
- THE CONSTRUCTION SHALL BE PERFORMED IN CONFORMANCE WITH THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019 OR LATEST VERSION.
- FINISHED PAVEMENTS SHALL SHOW NO MARKS FROM ROLLERS AND BE FREE FROM LOW LYING SPOTS SUBJECT TO PUDDLE FORMATION. ENTIRE SURFACE SHALL DRAIN PROPERLY. ALL ELEVATIONS MUST BE WITHIN 0.1 FT.
- ALL MATERIALS, INSTALLATION AND TESTING OF PERVIOUS PAVEMENT SYSTEM SHALL BE IN ACCORDANCE WITH THE NEW JERSEY STORMWATER BEST MANAGEMENT PRACTICES MANUAL, LATEST VERSION.

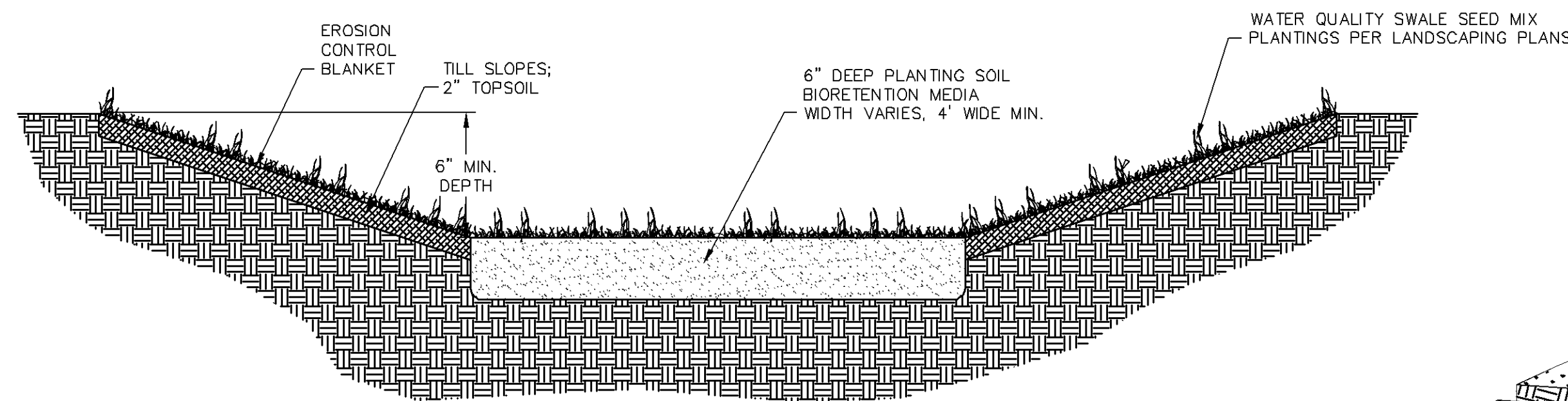
ERNMX-183 OR EQUAL

| % | BOTANICAL NAME | COMMON NAME |
|-----|----------------------|------------------------------|
| 25% | Panicum clandestinum | Deertongue |
| 25% | Carex vulpinoidea | Fox Sedge |
| 20% | Elymus virginicus | Virginia Wildrye |
| 20% | Panicum virgatum | Switchgrass |
| 5% | Agrostis perennans | Autumn Bentgrass |
| 2% | Agrostis scabra | Ticklegrass, Rough Bentgrass |
| 1% | Juncus effusus | Soft Rush |
| 1% | Juncus tenuis | Path Rush |
| 1% | Scirpus atrovirens | Green Bulrush |

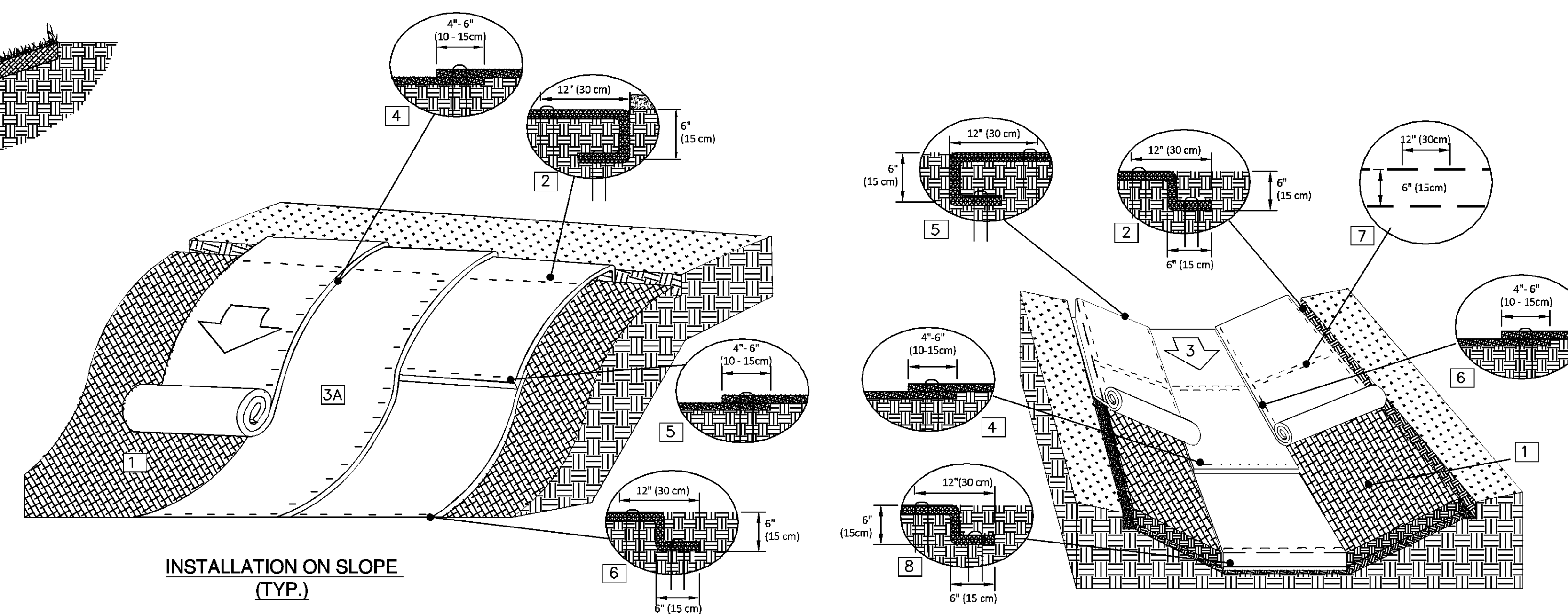
PLANTING NOTES:

- WITHIN THE SWALE, THE SEED MIX IS TO BE APPLIED TO BOTTOM AND SIDE SLOPES TO AN ELEVATION OF 1 FOOT ABOVE THE BOTTOM.
- SEEDING SHALL BE ERNMX-183, ERNST SEEDS, OR EQUAL.
- ALL SEEDED AREAS ON SLOPES SHALL BE STABILIZED WITH A BIODEGRADABLE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150, OR EQUIVALENT MATERIAL, UNLESS OTHERWISE DIRECTED BY THE ENGINEER).
- SEED AT 20LB./ACRE OR PER MANUFACTURER SPECIFICATIONS.
- PROVIDE COVER CROP OF GRAIN RYE AT A RATE OF 30 LBS./ACRE.

WATER QUALITY SWALE SEED MIX
(ERNMX-183 OR EQUAL)
NOT TO SCALE



WATER QUALITY SWALE TYP. SECTION
NOT TO SCALE



INSTALLATION ON SLOPE
(TYP.)

INSTALLATION ON CHANNEL
(TYP.)

EROSION CONTROL BLANKET DETAILS (TYP.)
NOT TO SCALE

NOTES:

- INSTALL, ANCHOR AND STAPLE EROSION CONTROL BLANKETS AS PER MANUFACTURER'S RECOMMENDATIONS.
- USE NORTH AMERICAN GREEN S150 OR EQUIVALENT PRODUCT ON BASIN SIDE SLOPES, BASIN SPILLWAYS AND GRASSED SWALES.

Stormwater Management Details
 Prepared For
Lot 26 in Block 11
24 Model Avenue
 Situated In
 Borough of Hopewell
 Mercer County, New Jersey

| REVISIONS | DATE | DATE | DATE |
|-------------------|----------|------|------|
| COMPLIANCE REVIEW | 05/29/25 | | |

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 BY: *David J. Schmidt* Professional Engineer N.J. Lic. No. 39409

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