

COMMUNITY SERVICE MIXED-USE BUILDING

176 MAPLE AVE
TOWN OF RAMAPO
ROCKLAND COUNTY, NEW YORK

ARCHITECTURAL DRAWING LIST

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PROJECT: COMMUNITY CENTER - MIXED-USE BUILDING			
5 303	USE / OCCUPANCY	M - CONVENIENCE STORE ? SF S2 - PARKING B - OFFICES	12,041 SF 2,848 SF 14,989 SF
T 302.32	SEPARATION BETWEEN OCCUPANCIES	M 4 S2 M 4 B B 4 S2	(1) HR SPRINKLERED (1) HR SPRINKLERED (1) HR SPRINKLERED
T 502.6X	CONSTRUCTION CLASS		5A
T 503	ALLOWABLE HEIGHT / BUILDING AREA	M B S-2	3 / 14,000 SF 3 / 14,000 SF ?
5 504.2	SPRINKLER INCREASE USED		NO
5 104.2	REMOTE DISTANCE (1/3 DIA.)		6' 10'
FIRE RESISTANCE RATING REQUIREMENTS			
		REQUIRED	PROVIDED
T 601	STRUCTURAL FRAME	1 HR	1 HR
	BEARING WALLS - EXTERIOR	1 HR	1 HR
	BEARING WALLS - INTERIOR	1 HR	1 HR
	NON-BEARING WALLS - EXTERIOR	0	0
	NON-BEARING WALLS - INTERIOR	0	0
	FLOOR CONSTRUCTION	1 HR	1 HR
	ROOF CONSTRUCTION	1 HR	1 HR
1602.504	EXTERIOR WALL FIRE RATING	0	0
GH 7	INTERIOR FIRE WALL RATINGS	0	0
5108.1061	CORRIDORS	1 HR	1 HR
5 109.1	STAIR ENCLOSURES	1 HR	1 HR
T 16.3	CORRIDOR DOORS	20 MIN.	20 MIN.
T 16.3	STAIR DOORS	1 HR	1 HR
INTERIOR FINISHES			
T 803.5	VERTICAL EXITS & PASSAGEWAYS	B	C
	CORRIDORS	C	C
	ROOMS & ENCLOSED SPACES	C	C

INTERIOR FINISHES SCHEDULE:
CLASS A: FLAME SPREAD 0-25; SMOKE DEVELOPED 0-450
CLASS B: FLAME SPREAD 26-75; SMOKE DEVELOPED 0-450
CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450

LOCAL DESIGN CRITERIA

FLOOR LIVE LOAD	100 PSF
ROOF LIVE LOAD	60 PSF
ROOF SNOW LOAD	35 PSF
GROUND SNOW LOAD	50 PSF
BASIC WIND SPEED	100 MPH
WIND EXPOSURE CATEGORY	EXPOSURE 'B'
HIGH WIND (0-110 MPH) DESIGN CRITERIA	NOT APPLICABLE
SEISMIC DESIGN CATEGORY (SDC)	'C'
SDC C&D PROVISIONS	
WEATHERING AREA	SEVERE
FROST LINE DEPTH	3'-0"
TERMITE AREA	MODERATE TO HEAVY
DECAY AREA	SLIGHT TO MODERATE
WINTER DESIGN TEMPERATURE	F
ICE SHIELD UNDERLAYMENT REQUIRED	YES
FLOOD HAZARDS	1985

NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS
SEE DRAWINGS PROVIDED BY MECHANICAL ENGINEER FOR COMPLIANCE WITH THE ENERGY CODE OF NEW YORK STATE

BASEMENT (S-2 STORAGE)			
EGRESS REQUIREMENTS			
T 1004.12	SF OF SPACE	REQUIRED	PROVIDED
	# SF PER OCCUPANT	3108 SF	300 SF
T 1015.1	TOTAL # OF OCCUPANTS	II	
T 1015.1	MAXIMUM TRAVEL DISTANCE	250'	135'
1005/5004	NUMBER OF EXITS	2	2
PLUMBING FIXTURE REQUIREMENTS			
T 2402.1	NUMBER OF TOILETS	1	1
	NUMBER OF LAVATORIES	1	1
	NUMBER OF DRINKING FOUNTAINS	1	1
	NUMBER OF SERVICE SINKS	1	1

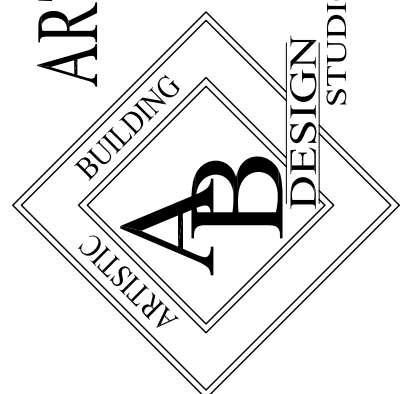
FIRST FLOOR (M-CONVENIENCE STORE)			
EGRESS REQUIREMENTS			
T 1004.12	SF OF SPACE	REQUIRED	PROVIDED
	# SF PER OCCUPANT	2,040 SF	30 SF
T 1015.1	TOTAL # OF OCCUPANTS	68	
T 1015.1	MAXIMUM TRAVEL DISTANCE	250'	67'
1005/5004	NUMBER OF EXITS	2	5
PLUMBING FIXTURE REQUIREMENTS			
T 2402.1	NUMBER OF TOILETS	1	2
	NUMBER OF LAVATORIES	1	2
	NUMBER OF DRINKING FOUNTAINS	1	1
	NUMBER OF SERVICE SINKS	1	1

SECOND FLOOR (B-OFFICES)			
EGRESS REQUIREMENTS			
T 1004.12	SF OF SPACE	REQUIRED	PROVIDED
	# SF PER OCCUPANT	3108 SF	100 SF
T 1015.1	TOTAL # OF OCCUPANTS	32	
T 1015.1	MAXIMUM TRAVEL DISTANCE	250'	115'
1005/5004	NUMBER OF EXITS	2	2
PLUMBING FIXTURE REQUIREMENTS			
T 2402.1	NUMBER OF TOILETS	1	3
	NUMBER OF LAVATORIES	1	3
	NUMBER OF DRINKING FOUNTAINS	1	1
	NUMBER OF SERVICE SINKS	1	1

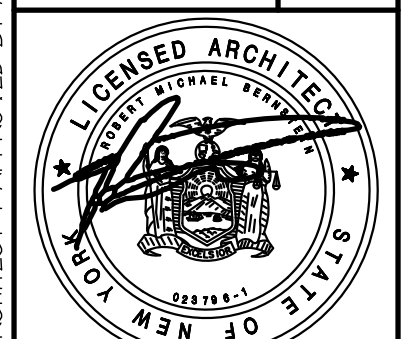
THIRD FLOOR (B-OFFICES)			
EGRESS REQUIREMENTS			
T 1004.12	SF OF SPACE	REQUIRED	PROVIDED
	# SF PER OCCUPANT	3108 SF	100 SF
T 1015.1	TOTAL # OF OCCUPANTS	32	
T 1015.1	MAXIMUM TRAVEL DISTANCE	250'	145'
1005/5004	NUMBER OF EXITS	2	2
PLUMBING FIXTURE REQUIREMENTS			
T 2402.1	NUMBER OF TOILETS	1	2
	NUMBER OF LAVATORIES	1	2
	NUMBER OF DRINKING FOUNTAINS	1	1
	NUMBER OF SERVICE SINKS	1	1

NO.	DATE	DESCRIPTION
2	07/28/16	ISSUED FOR CONSTRUCTION
1	12/05/16	ISSUED FOR BUILDING PERMIT SUBMITTAL

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COMMUNITY SERVICE
PROPOSED MIXED-USE BUILDING
176 MAPLE AVE
TOWN OF RAMAPO, ROCKLAND COUNTY, NY



ROBERT BERNSTEIN NYS LIC# 23796
DWN BY T.F.
SCALE NIS.
DATE 7/13/15
PROJECT # 12098
Drawing #

THESE DRAWINGS ARE FOR THIS SPECIFIC BUILDING SITE ONLY AND MAY BE COPIED AS NEEDED FOR THIS PROJECT. NOT FOR CONSTRUCTION UNLESS SIGNED & SEALED BY ARCHITECT & APPROVED BY ALL AGENCIES HAVING JURISDICTION.

"WHEN DESIGN MATTERS"

GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN IN WHICH THE PROJECT IS LOCATED AND THE BUILDING CODE OF NEW YORK STATE.

2. ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHEN SAME ARE AT VARIANCE.

3. THESE PLANS ARE TO BE USED FOR PERMITS AND CONSTRUCTION GUIDE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT UNLESS OTHERWISE INDICATED BY ARCHITECT.

4. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY, WORKMAN'S COMPENSATION AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS. THE OWNER SHALL EFFECT FIRE, LIGHTNING AND ANY OTHER INSURANCE AS REQUIRED, IN PROPER SUMS TO COVER THE COST OF THE WORK IN PLACE. THE CONTRACTOR AND SUB-CONTRACTORS SHALL ADD OWNER ONTO ALL POLICIES AND FURNISH OWNER WITH ALL CERTIFICATES OF INSURANCE.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

6. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.

7. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION OR CONTRACT ADMINISTRATION SERVICES. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.

8. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITION OPERATIONS AND METHODS.

9. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS, ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES, MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.

10. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.

11. ALL CONSTRUCTION AND MATERIALS SHALL BE NEW, UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.

12. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCIES.

13. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.

14. ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.

15. PRIOR TO COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.

16. SEVEN DAYS PRIOR WRITTEN NOTICE OF INTENT TO EXCAVATE SHALL BE GIVEN TO OWNERS OF ALL ADJOINING LOTS THAT MAY BE AFFECTED BY THE FOUNDATION WORK OR EARTH WORK OPERATIONS.

17. ALL DIMENSIONS ON PLAN ARE NOMINAL. CRITICAL DIMENSIONS ARE NOTED "HOLD". FINISH DIMENSIONS WILL VARY IN ACTUAL CONSTRUCTION.

18. THE A.I.A. GENERAL CONDITIONS DOCUMENT A201 LATEST EDITION IS HEREBY MADE A PART OF THESE DOCUMENTS EXCLUDING ALL MENTION OF ARCHITECTS OBSERVATION AND OWNER REPRESENTATION.

19. ALL LABOR AND MATERIALS SHALL CONFORM WITH THE REQUIREMENTS OF ALL LOCAL BUILDING LAWS AND ALL WORK SHALL BE CONSTRUCTED TO THE APPROVAL AND ACCEPTANCE OF THE BUILDING DEPARTMENT AT AN EXTRA COST, INCLUDING BUT NOT LIMITED TO GENERAL CONSTRUCTIONS, PLUMBING, HVAC, ELECTRICAL, ETC.

20. ANYTHING NOT EXPRESSLY SET FORTH IN THE DRAWINGS AND SPECIFICATIONS, BUT WHICH IS REASONABLY IMPLIED SHALL BE FURNISHED THOUGH NOT SPECIFICALLY INDICATED. FIGURES ARE TO BE TAKEN IN PREFERENCE TO SCALE. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE INSTALLING ANY WORK.

21. CONTRACTOR SHALL INSTALL MATERIALS IN ACCORDANCE WITH STANDARD TRADE PRACTICES AND MANUFACTURER AND TRADE ASSOCIATIONS SPECIFICATIONS.

GRADING

22. GRADE BUILDING AS NOTED ON SITE PLAN AND/OR AS REQUIRED TO PROPERLY DIVERT STORM WATER TO STREET OR STREET STORM DRAINAGE. UNDER NO CIRCUMSTANCES SHALL GROUND WATER BE ALLOWED TO DRAIN TO BUILDING OR SPILL ONTO ADJACENT PROPERTIES.

23. EXISTING GRADES AND SITE DIMENSIONS MAY VARY ON JOB FROM THOSE NOTED DUE TO FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING OF ANY DEVIATIONS OF SAME.

BRACING

24. ALL MASONRY AND FRAME WALLS SHALL BE ADEQUATELY BRACED AND SHORED DURING CONSTRUCTION UNTIL FULLY AND PROPERLY TIED BACK AND CURED. FOLLOW CODE REQUIREMENTS AND GOOD CONSTRUCTION PRACTICES FOR SAME.

STAIRS AND RAILINGS

25. ALL STAIRS SHALL HAVE RAILINGS, CONSTRUCTED AND INSTALLED TO SUSTAIN A CONTINUOUS LATERAL LOAD OF 50 LBS. PER LINEAR FOOT APPLIED TO THE TOP RAIL AND NOT DEFLECT MORE THAN 1/2". ALL STAIRS SHALL BE DESIGNED AND CONSTRUCTED AND INSTALLED TO SUSTAIN A LIVE LOAD OF 100 LBS. PER SQUARE FOOT.

HERMAL AND MOISTURE PROTECTION, FLASHING AND CAULKING

26. ALL WINDOWS AND DOORS SHALL BE WEATHERSTRIPPED AND CAULKED. ALL SEALANT TO BE SILICONE, COLORED TO MATCH SURROUNDING MATERIAL.

27. FLAT ROOFS SHALL BE FLASHED AS INDICATED ON THE PLANS OR PER COMMON CONSTRUCTION PRACTICE.

28. FLASH ALL ROOF TO WALL CONDITIONS AND ALL WINDOW HEADS. ALL FLASHING SHALL BE NON-FERROUS METAL UNLESS OTHERWISE NOTED. PROVIDE EXPANSION JOINTS AS REQUIRED FOR ALL METAL FLASHING.

29. SEALANTS AND CAULKING TO BE A POLYSULFIDE BASED COMPOUND AT THE FRAMES OF ALL OPENINGS IN THE EXTERIOR WALL, EXPANSION JOINTS AND ELSEWHERE. USE STANDARD COMPOUND CAULKING AT INTERIOR CAULKING CONDITIONS EXPOSED TO VIEW. USE PRIMERS AS RECOMMENDED BY MANUFACTURER.

30. FLASH AROUND CHIMNEY, VENT STACKS, ALL ROOF PENETRATIONS AND WHEREVER ELSE REQUIRED WITH ALUMINUM, LAPPING ALL FLASHINGS AT LEAST 6". ALL VALLEYS AND ROOF INTERSECTIONS WITH WALLS SHALL ALSO HAVE ALUMINUM FLASHINGS. PROVIDE FLASHINGS ABOVE DOORS, WINDOWS AND LOUVERS AND ALL OTHER OPENINGS. CAULK ALL EXTERIOR JOINTS. BUILDING SHALL BE GUARANTEED FULLY WATERTIGHT.

31. PROVIDE SEALANT AT ALL DISSIMILAR MATERIAL JOINTS.

32. EXTERIOR WALLS, CEILINGS UNDER UNHEATED SPACES, FLOORS OVER UNHEATED SPACES SHALL BE INSULATED WITH FIBROUS GLASS BATT TYPE MATERIAL, OR RIGID INSULATION, INSTALLATION COMPLETE WITH VAPOR BARRIER AS REQUIRED. MECHANICAL SYSTEMS AND INSULATION SYSTEMS SHALL COMPLY WITH THE ENERGY CODE OF NEW YORK STATE.

33. FOUNDATION SHALL BE WATERPROOFED PER PLAN OR IF NOT INDICATED USE AN APPROVED TYPE VISCOSU, ASPHALT BASE COATING APPLIED PER MANUFACTURER'S RECOMMENDATIONS; 6 MIL POLYETHYLENE SHEET FROM GRADE DOWN TO BOTTOM OF FOOTING; ½" PROTECTION BOARD FROM GRADE DOWN MINIMUM 36".

DOORS AND WINDOWS

34. ALL WINDOWS SHALL COMPLY WITH THE BUILDING CODE OF NEW YORK STATE

35. ALL WINDOWS SHALL BE PER THE PLANS AND WINDOW SCHEDULE.

36. ALL WINDOWS SHALL BE DOUBLE GLAZED, INSULATED.

37. ALL GLASS SHALL BE TEMPERED WITHIN 18" OF FINISHED FLOOR.

38. WINDOW FRAME COLOR SHALL BE DETERMINED BY OWNER OR ARCHITECT.

39. CONTRACTOR SHALL PROVIDE ARCHITECT WITH SHOP DRAWINGS FOR ALL WINDOWS PRIOR TO ORDERING OR CONSTRUCTION.

40. ALL DOORS SHALL COMPLY WITH THE BUILDING CODE OF NEW YORK STATE

41. ALL DOORS SHALL BE PER THE PLANS AND WINDOW SCHEDULE.

42. ALL EXTERIOR DOORS SHALL BE INSULATED.

43. ALL GLASS WITHIN EXTERIOR DOORS SHALL BE DOUBLE GLAZED.

44. ALL ALUMINUM AND GLASS STOREFRONT SHALL BE DOUBLE GLAZED AND COMPLY WITH THE BUILDING CODE OF NEW YORK STATE INCLUDING WIND AND SEISMIC DESIGN AS REQUIRED.

45. STOREFRONT ALUMINUM SHALL BE ANODIZED, AND GLASS TINTED. COLOR AND TINTING TO BE DETERMINED BY OWNER OR ARCHITECT.

46. CONTRACTOR SHALL PROVIDE ARCHITECT WITH SHOP DRAWINGS FOR ALL STOREFRONT DESIGNS PRIOR TO ORDERING OR CONSTRUCTION.

47. ALL DOORS AND WINDOWS SHALL BE WEATHERTIGHT AND FLASHED AS REQUIRED.

48. SAFETY GLASS SHALL BE PROVIDED AT ALL DOORS AND WINDOWS AT LOCATIONS REQUIRED BY CODE.

STRUCTURAL ENGINEERING GENERAL NOTES

A LICENSED PROFESSIONAL ENGINEER SHALL PROVIDE FOUNDATION AND STRUCTURAL STEEL PLANS, SECTIONS DETAILS, NOTES AND SPECIFICATIONS FOR THIS PROJECT. NOTES PROVIDED BY THE PROFESSIONAL ENGINEER SHALL SUPERSEDE THE GENERAL NOTES BELOW IF IN CONFLICT.

CONCRETE AND REINFORCING

1. ALL CONCRETE EXPOSED TO WEATHER TO BE 4000 PSI IN 28 DAYS WITH 6% AIR-ENTRAINMENT AND A MAXIMUM SLUMP OF 4". ALL OTHER CONCRETE SHALL OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS. 3000-PSI PEA GRAVEL CONCRETE MAY BE USED FOR FILLED BLOCK CELLS.

2. ALL CONCRETE SHALL BE REINFORCED AND ERECTED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AS ADOPTED BY ACI 318 AND LOCAL CODES.

3. ALL CONCRETE WORK SHALL CONFORM TO ACI 301 STANDARD SPECIFICATIONS FOR REINFORCED CONCRETE.

4. ALL REINFORCING STEEL SHALL BE DEFORMED HIGH BOND BARS ROLLED FROM NEW BILLET OR INTERMEDIATED GRADE STEEL TO MEET LATEST ASTM SPECIFICATIONS A-615, GRADE 60.

5. BARS SHALL BE LAPPED A MINIMUM OF 36 DIAMETERS AT SPLICES. WELDED WIRE FABRIC SHEETS LAPPED 8" MINIMUM.

6. ALL DETAILS OF REINFORCEMENT AND ACCESSORIES SHALL BE FABRICATED AND PROVIDED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING.

7. WELDED WIRE FABRIC SHALL MEET REQUIREMENTS OF ASTM A-185.

8. SHOP DRAWINGS SHALL MEET REQUIREMENTS OF ASTM A-185. SHOP DRAWINGS ON ALL CONCRETE REINFORCING MUST BE SUBMITTED FOR REVIEW.

9. BEFORE POURING CONCRETE, MECHANICAL AND ELECTRICAL CONTRACTORS TO VERIFY LOCATION AND SIZE OF ALL OPENINGS, PADS, TRENCHES AND SLEEVES FOR THEIR EQUIPMENT, IF ANY.

FOOTINGS AND FOUNDATIONS

1. SOIL TESTS OR BORINGS HAVE NOT BEEN SUPPLIED TO THE ENGINEER. FOOTINGS SHALL BE DESIGNED FOR TWO (2) TONS PER SQUARE FOOT BEARING CAPACITY. SOIL SHALL BE VERIFIED AND/OR OWNER SHALL ASSUME ALL RESPONSIBILITY FOR ANY FAILURE IN THE BUILDING DUE TO SOIL CONDITION.

2. ALL FOOTINGS SHALL BEAR ON SOUND UNDISTURBED EARTH OR ROCK. FOOTINGS SHALL REST A MINIMUM OF FOUR (4) FEET BELOW EXISTING GRADE AND NOT LESS THAN FOUR (4) FEET BELOW PROPOSED OR EXTERIOR GRADE.

3. ALL FILL USED BELOW SLABS UNDER BUILDINGS AND IN PAVED AREAS SHALL BE QUALITY SANDY MATERIAL AND SHALL BE COMPACTED IN 12" LAYERS TO 95% DENSITY TO PREVENT SETTLEMENT AS PER ASTM D1557, METHOD C.

4. FOOTINGS SHALL BE CENTERED ON WALLS AND COLUMNS UNLESS OTHERWISE NOTED ON PLAN. THEY SHALL BE STEPPED AT A RATE NOT TO EXCEED ONE (1) VERTICAL TO TWO (2) HORIZONTAL.

5. ALL CONCRETE FOR FOOTING SHALL BE STONE AGGREGATE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS, AND SHALL CONFORM TO ACI-318-63 CODE, FOR SLABS 4,000 PSI AT 28 DAYS.

6. REINFORCING STEEL TO BE ASTM A-615 DEFORMED PER ASTM A-305 AND WIREMESH AS PER ASTM A-185.

7. WHERE BASEMENT FLOOR IS BELOW GRADE, PROVIDE 4" MINIMUM PVC POROUS PIPE FOUNDATION DRAIN BELOW FLOOR LEVEL IN 12" GRAVEL SURROUND (3/8" AGGREGATE) PIPED TO STORM DRAIN OR SUMP PIT.

8. MASONRY FOUNDATION WALLS BELOW GRADE SHALL BE WATERPROOFED WITH A TRAWLED ON ASPHALTUM AND 1/2" INCH CEMENT PARGING OR PROTECTION BOARD OVER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

9. CONTRACTOR MUST ALSO FOLLOW ALL REQUIREMENTS FOR PREPARATION, CLEARING, PROOF ROLLING, FILL PLACEMENT RECOMMENDED BY A REPORT ON SOIL AND FOUNDATION INVESTIGATION.

10. FOOTINGS ARE TO REST ON FIRM NATURAL SOIL AND/OR NEWLY COMPACTED LOAD BEARING FILL, FREE OF ORGANIC MATERIALS, OR CLEAN FILL PLACED IN LAYERS AND COMPACTED IN STRICT ACCORDANCE WITH REQUIREMENTS.

11. ALL FILL SHALL BE COMPACTED WITH SOIL COMPACTION EQUIPMENT RATHER THAN BY HAND TAMPING (EXCEPT AROUND PIPES, ETC.).

12. THE THICKNESS OF FILL LAYERS PLACED SHALL BE COMPATIBLE WITH THE TYPE OF COMPACTION EQUIPMENT USED.

13. THE ATTAINMENT OF SPECIFIED DENSITIES SHALL BE VERIFIED BY FIELD DENSITY TESTS MADE BY AN INDEPENDENT TESTING LABORATORY ON EACH LAYER OF MATERIAL COMPACTED. ONE TEST PER 5000 SQ. FT. OF SURFACE AREA SHALL BE MADE ON EACH LAYER WITHIN THE BUILDING.

MASONRY BLOCKS

1. BLOCK MASONRY SHALL BE HOLLOW BLOCK AS PER ASTM C-90, 8" THICK, f'm=4000 PSI, F_y=80 KSI

2. MORTAR SHALL BE TYPE "M" ASTM C-270.

3. SEAL EXTERIOR SURFACES THAT MAY BE EXPOSED TO FREEZING/THAWING OR WIND-DRIVEN RAIN.

4. GROUT SOLID EVERY CELL WHERE STEEL REINFORCEMENT IS SPACED.

5. GROUT SOLID CELL NEXT TO STEEL COLUMNS OR OPENINGS.

6. CONCRETE BLOCK SHALL BE ASTM C-90-64T CONCRETE BLOCK, THICKNESS AS INDICATED ON DRAWINGS. TOP COURSE OF BLOCKS SHALL BE FILLED SOLID WITH MORTAR OR A 4" THICK SOLID BLOCK SHALL BE USED.

METAL DECK

1. 1-1/2" STEEL DECK IS TO BE ATTACHED AT 12" O.C. TO ALL SUPPORTS. SIDE JOINTS SHALL BE FASTENED TOGETHER BY SELF-DRILLING SCREWS AT MID-SPAN BETWEEN SUPPORTS. WHERE SPANS EXCEED 5'-7", INSTALL SCREWS AT 18" O.C.

2. STEEL DECK CONTRACTOR SHALL PROVIDE OPENINGS IN DECK AS REQUIRED.

3. SHOP DRAWINGS ON ALL METAL DECKS MUST BE SUBMITTED FOR APPROVAL.

4. ALL STEEL DECKS SHALL BE MANUFACTURED AND INSTALLED TO MEET FACTORY MUTUAL CRITERIA.

5. STEEL DECK IS TO BE 22 GAGE, 1-1/2" V-GRIP, AS MANUFACTURED BY BOWMAN METAL DECK, EDISON, NJ, OR APPROVED EQUAL.

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL, EXCEPT RECTANGULAR AND SQUARE COLUMNS AND JOISTS TO BE ASTM A572 GRADE 50. RECTANGULAR AND SQUARE STEEL COLUMNS TO BE UNDER ASTM A500 GR.B. ALL STEEL TO BE FABRICATED, DETAILED AND ERECTED IN ACCORDANCE WITH LATEST A.I.S.C. STANDARDS.

2. ALL NUTS, BOLTS AND WASHERS TO BE HIGH STRENGTH ASTM DESIGNATION A-325. INSTALLED BY TURN-OF-NUT METHOD OR ACALIBRATED TORQUE WRENCH. ALL BOLTS TO BE 3/4" DIA., UNLESS NOTED.

3. WELDS SHALL BE MADE BY WELDERS WHO HAVE BEEN PREVIOUSLY QUALIFIED BY TESTS AS PRESCRIBED IN THE A.W.S. STANDARD CODE FOR WELDING IN BUILDING CONSTRUCTION.

4. SHOP AND ERECTION DRAWINGS MUST SHOW ALL SHOP AND FIELD WELDS.

5. WELDING ELECTRODES SHALL CONFORM TO E70 SERIES A-233. ALL WELDING AND WELDING SYMBOLS ON DRAWINGS SHALL CONFORM TO A.B.M. STANDARD CODE FOR WELDING BUILDING CONSTRUCTION.

6. BOLT HOLES WILL NOT BE PERMITTED TO BEAM FLANGES UNLESS NOTED.

7. ALL STEEL OTHER THAN JOISTS AND STANDARD BRIDGING TO BE PROVIDE BY THE STEEL FABRICATOR.

8. SHOP DRAWINGS ON ALL STRUCTURAL STEEL MUST BE SUBMITTED FOR REVIEW.

9. FIELD CUTTING OR BURNING OF STRUCTURAL STEEL IS PROHIBITED WITHOUT EXPESSED APPROVAL OF STRUTURAL ENGINEER.

10. PROVIDE MASONRY ANCHOR PLATES SET IN CONCRETE AND WELDED TO ALL BEAMS AND COLUMNS ABUTTING OR EMBEDDED IN MASONRY.

11. WHEN STEEL BEARS ON MASONRY WALLS, A MINIMUM OF ONE (1) COURSE OF SOLID BLOCK OR THREE (3) COURSES OF BRICK SHALL BE PROVIDED UNDER BEARINGS. PROVIDE SUITABLE BEARING PLATES AT BEAM BEARING LOCATIONS, PROPERLY ANCHORED TO WALLS.

STEEL JOISTS

1. STEEL JOISTS, INCLUDING BRIDGING, SHALL BE FABRICATED, DETAILED AND ERECTED IN ACCORDANCE WITH THE STANDARDS OF THE STEEL JOIST INSTITUTE AND MANUFACTURED BY A MEMBER OF S.J.I. ALL CHORD SECTIONS SHALL BE BASED ON YIELD STRENGTH OF 50,000 PSI. WELDS SHALL BE EITHER 50,000 OR 36,000 PSI ACCORDING TO STANDARD S.J.I. MANUFACTURER.

2. ALL JOISTS EXTENSIONS SHALL BE PROVIDED AS PART OF THE MANUFACTURING PROCESS, UNLESS OTHERWISE NOTED.

3. JOIST BEARING SEAT MUST EXTEND 1" BEYOND THE CENTERLINE OF THE BEAM, UNLESS THERE IS A JOIST BEARING WITH EACH SIDE (NOT NECESSARILY DIRECTLY OPPOSITE). PROVIDE AT LEAST 2" OF 1/4" FILLET WELD EACH SIDE OF BEARING PLATE.

4. WHERE JOISTS SLOPES EXCEED 1/4"/FT, USE SPECIAL JOIST SEATS TO SIT FLAT ON SUPPORTING STEEL.

5. ONE STEEL JOIST PER BAY MUST HAVE THE STANDARD S.J.I. DESIGNATION FOR THE JOIST ATTACHED (TAGGED) BY THE MANUFACTURER.

6. SHOP DRAWINGS ON ALL STEEL BAR JOISTS MUST BE SUBMITTED FOR REVIEW.

MECHANICAL ENGINEERING GENERAL NOTES

A LICENSED PROFESSIONAL ENGINEER SHALL PROVIDE HVAC, PLUMBING, ELECTRICAL, SPRINKLER AND FIRE ALARM PLANS, SECTIONS, DETAILS, NOTES AND SPECIFICATIONS FOR THIS PROJECT. NOTES PROVIDED BY THE PROFESSIONAL ENGINEER SHALL SUPERSEDE THE GENERAL NOTES BELOW IF IN CONFLICT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM ALL AGENCIES AND JURISDICTIONS HAVING AUTHORITY OVER THIS PROJECT. CONTRACTOR AND ALL TRADES ARE RESPONSIBLE FOR COMPLYING WITH ALL BUILDING CODES IN COMPLETENESS PERTAINING TO THIS PROJECT.

1. IF ANY EXISTING SERVICES NEED TO BE SHUT DOWN IN CONNECTION WITH THIS PROJECT, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NOTIFICATIONS, APPROVALS AND PERMISSION AND PROVIDE TEMPORARY SERVICES AS REQUIRED.

2. THE CONTRACTOR SHALL FURNISH AND INSTALL AN HVAC SYSTEM COMPLETE WITH ALL EQUIPMENT, PIPING, INSULATION, CONTROLS, ACCESSORIES AND ASSOCIATED WORK IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE AND NATIONAL ELECTRICAL CODE AND WITH ALL AUTHORITIES HAVING JURISDICTION, AND THESE SPECIFICATIONS.

3. THE WORK SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, HOISTING AND RIGGING, SCAFFOLDING, AND SERVICES TO COMPLETE THE SYSTEM AND PROVIDE THE OWNER WITH A FULLY OPERATIONAL SYSTEM, WHETHER SHOWN ON THESE PLANS OR OTHERWISE.

4. ALL WORK SHALL BE PROPERLY COORDINATED WITH OTHER TRADES AND EXISTING CONDITIONS TO AVOID CONFLICT, REFER TO AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS FOR REQUIRED CEILING ELEVATIONS AND EXACT LOCATION OF ALL AIR DISTRIBUTION DEVICES.

5. ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THIS WORK. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF VARIOUS MANUFACTURERS' SUPPLYING THE EQUIPMENT FOR THE PROPER STARTUP AND OPERATION OF THE AIR CONDITIONING SYSTEMS. INSTRUCT THE OWNER'S PERSONNEL IN THE PROPER OPERATION AND SERVICING OF THE SYSTEM.

6. THE ENTIRE INSTALLATION SHALL COMPLY WITH BUILDING CODE OF NEW YORK STATE.

7. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND BE RESPONSIBLE FOR PROPER FIT OF EQUIPMENT PRIOR TO FABRICATION OF EQUIPMENT AND DUCTWORK. SUBMIT (3) PRINTS OF THE SHEET METAL SHOP DRAWINGS TO ARCHITECT AND MECHANICAL ENGINEER FOR REVIEW.

8. THE HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL HVAC THERMOSTATS, CONTROLS AND CONTROL WIRING, AND DUCT FIRE/SMOKE DAMPERS REQUIRED. POWER WIRING SHALL BE BY ELECTRICAL CONTRACTOR.

9. WHERE PIPE OR DUCT PENETRATE RATED WALL, THE SPACE BETWEEN THE INSULATION AND THE WALL SHALL BE CAULKED WITH NON-COMBUSTIBLE MATERIAL IN AN APPROVED MANNER. ALL PIPING AND DUCT TO BE INSTALLED ABOVE HUNG CEILING UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL DWGS FOR ALL ELEVATIONS.

FIRE ALARM SYSTEM INSTALLATION AND GENERAL NOTES

1. THE FIRE ALARM SYSTEM SHALL BE INDIVIDUALLY CODED INTERIOR FIRE ALARM SYSTEM. THE SYSTEM SHALL BE MICROPROCESSOR BASED, PROGRAMMABLE TYPE, WITH EMERGENCY BATTERY BACKUP.

2. THE ENTIRE INSTALLATION SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, FEDERAL AND STATE CODES.

3. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL INSPECTIONS, TESTS AND APPROVALS REQUIRED BY GOVERNING AGENCIES HAVING JURISDICTION.

4. PROVIDE SPACE FOR ADDITION OF 4 ZONE MODULES FOR FUTURE USE.

5. FOR EXACT QUANTITIES OF FIRE ALARM EQUIPMENTS SEE PLANS.

6. FIRE ALARM SPEAKERS SHALL BE AUDIBLE THROUGHOUT THE PREMISES.

7. SEE SPRINKLER PLANS FOR LOCATION OF TAMPER SWITCHES AND FLOW SWITCHES.

8. SEE HVAC PLANS FOR LOCATION OF ROOFTOP UNIT AND AIR HANDLING UNIT SMOKE DETECTORS.

9. CEILING MOUNTED SMOKE DETECTORS MUST BE MOUNTED AT LEAST 3 FEET FROM SUPPLY AIR REGISTERS.

10. ALL FIRE ALARM PANELS, JUNCTION BOX COVERS, ETC. SHALL BE PAINTED "FIRE DEPARTMENT RED".

11. DEVICE LOCATIONS MUST BE READILY ACCESSIBLE TO ALLOW FOR MAINTENANCE AND REPAIR.

12. DUCT MOUNTED SMOKE DETECTORS SHALL BE MOUNTED AND LOCATED ON THE DUCTWORK IN STRICT ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. ANY DUCT SMOKE DETECTORS MOUNTED ABOVE FINISHED CEILINGS OR IN REMOTE LOCATIONS SHALL BE FURNISHED WITH A REMOTE LAMP.

13. MANUAL STATIONS SHALL BE MOUNTED 48 INCH ABOVE THE FINISHED FLOOR TO THE CENTER OF THE HANDLE.

14. MANUAL PULL STATIONS SHALL BE PAINTED "FIRE DEPARTMENT RED". ALL MANUAL PULL STATIONS SHALL BE INSTALLED SO THAT THEY ARE KEPT UNOBSTRUCTED AT ALL TIMES.

15. STROBE LIGHTS SHALL MEET CURRENT AMERICAN DISABILITY ACT (ADA) AND LOCAL REQUIREMENTS, HIGH-EVUE IS MORE STRINGENT. STROBE LIGHTS SHALL HAVE A 1-3 HZ. FLASH RATE.

16. STROBES SHALL BE INSTALLED IN ACCORDANCE WITH UL, NFPA AND ADA REQUIREMENTS (80 AFF). ADA REQUIRES THAT INDICATING DEVICES SHALL BE PLACES AT 80 INCHES ABOVE HIGHEST FLOOR LEVEL OR 6 INCHES BELOW THE CEILING, WHICHEVER IS LOWER, ALL STROBES SHALL BE WALL MOUNTED.

17. DO NOT RUN FIRE ALARM CABLE IN THE SAME RACEWAY WITH NON FIRE ALARM CABLE.

18. ALL WIRING TO BE CHECKED TO INSURE THAT THEY ARE FREE OF ANY OPENS, SHORTS OR GROUNDS.

19. ALL FIRE ALARM PANELS, CABINETS AND DATA GATHERING PANELS SHALL BE CLEARLY LABELED USING A LAMINATE TYPE ENGRAVED LABEL.

20. LOCATIONS OF ALL FIRE ALARM EQUIPMENT SHALL BE SUBJECT TO BUILDING AND FIRE DEPARTMENT APPROVAL. NO CHANGE OR MODIFICATION TO THE SYSTEM OR PLANS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER OF RECORD. IF ANY SUBSTANTIAL CHANGES ARE MADE TO THE DRAWING PRIOR OR DURING INSTALLATION, AS BUILT PLANS SHALL BE PREPARED BY THE INSTALLER AND FILED WITH APPROPRIATE AGENCIES FOR FINAL ACCEPTANCE.

FIRE PROTECTION SYSTEM AND AUTOMATIC SPRINKLER SPECIFICATIONS

1. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL A SYSTEM OF HARDWIRED SMOKE DETECTORS AND HEAT DETECTORS INTERCONNECTED WITH BATTERY BACKUP IN ACCORDANCE WITH PROVISIONS OF THE BUILDING CODE AND FIRE CODE OF NEW YORK STATE.

2. ELEVATOR RECALL SYSTEM: CONTRACTOR SHALL PROVIDE SMOKE DETECTORS LOCATED IN ALL ELEVATOR LOBBIES AND AT TOP OF ELEVATOR SHAFT AS REQUIRED BY CODE FOR EMERGENCY ELEVATOR RECALL.

3. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES FOR COMPLETE INSTALLATION, TESTING AND PROPER OPERATION OF THE SYSTEMS AND WORK SPECIFIED, AS SHOWN ON DRAWINGS OR REASONABLY IMPLIED. C. THE AUTOMATIC SPRINKLER WORK FOR THIS PROJECT SHALL BE DONE IN STRICT ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE, N.F.P.A. AND CHAPTER 13 AND THE PERTINENT INSURANCE RATING ORGANIZATION.

4. WORK INCLUDING:

- A. SPRINKLER HEADS, PIPING AND FITTINGS.
- B. CONNECTION TO EXISTING PIPING.
- C. HANGERS AND SUPPORTS.
- D. TESTING AND ADJUSTMENT.
- E. SLEEVES.
- F. REMOVALS.
- G. CAPPING ALL UNUSED SPRINKLER PIPING.
- H. HYDRAULIC CALCULATIONS.

5. REFERENCES TO ANY ARTICLE, DEVICE, PRODUCT, MATERIAL, FIXTURE, FORM OR TYPE OF CONSTRUCTION BY NAME, MAKE OR CATALOG NUMBER SHALL BE INTERPRETED AS ESTABLISHING A STANDARD OF QUALITY AND DESIGN. THE ARCHITECT SHALL HAVE THE RIGHT TO INTERPRET "SIMILAR OR EQUAL TO" AND REVIEW ANY SUBSTITUTION.

4. SUBMIT SHOP DRAWINGS COVERING THE FOLLOWING ITEMS:

- A. SPRINKLER HEADS.
- B. PIPE AND FITTINGS.
- C. HANGERS AND SUPPORTS.
- D. 1/8" SCALE AND DIMENSIONED LAYOUT DRAWINGS, COORDINATED WITH ALL TRADES.
- E. HYDRAULIC CALCULATIONS.

ELECTRICAL SYSTEM GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND ARRANGE FOR ALL INSPECTION AND APPROVALS REQUIRED.

2. ALL TEMPORARY WIRING SHALL CONFORM TO NEC ART NO. 305 AND NEC SECTION B30.6E1. ELECTRICAL CONTRACTOR TO PROVIDE STAND-BY ELECTRICIAN DURING TEMPORARY WIRING CONSTRUCTION.

3. BIDDERS, BEFORE SUBMITTING A PROPOSAL, SHALL VISIT AND EXAMINE CAREFULLY THE AREAS AFFECTED BY THIS WORK TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND WITH THE DIFFICULTIES THAT WILL ATTEND THE EXECUTION OF THIS WORK. SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE: AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE.

4. ALL OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANCE RATED CONSTRUCTION SHALL BE FIRE-STOPPED USING APPROVED METHODS.

5. WHERE USED IN THIS DRAWING, "THE (THIS) CONTRACTOR", "ELECTRICAL CONTRACTOR" SHALL BE INTERPRETED AS THE PARTY OR PARTIES WHO HAVE BEEN DULY AWARDED THE CONTRACT FOR AND ARE THEREBY MADE RESPONSIBLE FOR ALL ELECTRICAL WORK. THE CONTRACTOR SHALL SUPPLY ALL NECESSARY LABOR, EQUIPMENT, AND MATERIALS REQUIRED TO PROVIDE A COMPLETE INSTALLATION (AS CONTEMPLATED IN THESE PLANS, WHETHER SPECIALLY SHOWN OR NOT), AND IN COMPLIANCE WITH ALL GOVERNING BUILDING AND ELECTRIC CODES.

6. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE INSTALLATION, AND ANY PORTIONS OF THE WORK WHICH DEVELOP DEFECTS DURING THAT TIME SHALL BE REPLACED OR REPAIRED.

7. ELECTRICAL CONTRACTOR SHALL PREPARE AND FURNISH COPY OF "AS BUILT" PLANS FOR ALL WORK INSTALLED TO THE OWNER. INCLUDE CATALOG CUTS, OPERATION AND MAINTENANCE MANUAL OF ALL EQUIPMENT INSTALLED.

8. 120 VOLT CIRCUITS RUN OF MORE THAN 90'-0" LONG SHALL BE INCREASED BY ONE SIZE.

9. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION, QUANTITY, AND MODEL NUMBERS OF LIGHTING FIXTURES.

10. CONTRACTOR SHALL REFER TO PLUMBING AND MECHANICAL DRAWINGS FOR LOCATION AND RATING OF EQUIPMENT REQUIRING ELECTRIC POWER. SIZE AND LOAD REQUIREMENTS SHALL BE COORDINATED WITH EQUIPMENT PROVIDED IN FIELD.

LIGHTING FIXTURES

1. THIS CLAUSE OF THE SPECIFICATION COVERS THE FURNISHING OF LABOR, MATERIALS, EQUIPMENT AND THE INSTALLATION OF ALL LIGHTING FIXTURES, LIGHTING EQUIPMENT AND THE INSTALLATION OF LAMPS, FOR ALL ELECTRICAL OUTLETS IN THE BUILDING, INCLUDING THE CONNECTION OF FIXTURES AND EQUIPMENT TO THE ELECTRIC WIRING SYSTEM AS SHOWN ON PLANS.

2. CONNECTIONS OF WIRES TO TERMINALS OF LAMP HOLDERS AND OTHER ACCESSORIES SHALL BE MADE IN A NEAT AND WORKMANLIKE MANNER AND SHALL BE ELECTRICALLY AND MECHANICALLY SECURE WITH NO LOOSE STRANDS PROTRUDING. THE NUMBER OF WIRES EXTENDING TO OR FROM THE TERMINALS OF A LAMP HOLDER SHALL NOT EXCEED THAT WHICH THE ACCESSORY IS DESIGNED TO ACCOMMODATE.

PLUMBING GENERAL NOTES

1. THE CONTRACTOR SHALL FURNISH AND INSTALL A PLUMBING SYSTEM COMPLETE WITH ALL EQUIPMENT, PIPING, VALVES, INSULATION, CONTROLS, ACCESSORIES AND ASSOCIATED WORK IN ACCORDANCE WITH THE BUILDING CODE ALL AUTHORITIES HAVING JURISDICTION, AND THIS SPECIFICATION.

2. PLUMBING CONTRACTOR SHALL VERIFY ADA REQUIREMENTS AND COMPLY WITH ALL APPLICABLE BUILDING CODES.

3. THE WORK SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, HOISTING AND RIGGING, SCAFFOLDING, AND SERVICES TO COMPLETE THE SYSTEM AND PROVIDE THE OWNER WITH FULLY OPERATIONAL SYSTEM.

4. ALL WORK SHALL BE PROPERLY COORDINATED WITH THE OTHER TRADES TO AVOID CONFLICTS. REFER TO THE ARCHITECTURAL DRAWINGS FOR PROVIDE THE OWNER WITH A FULLY OPERATIONAL SYSTEM.

5. ALL NECESSARY CUTTING AND PATCHING IN FLOOR SLABS, ROOF SLABS, WALLS AND CEILINGS FOR THE PLUMBING WORK SHALL BE PERFORMED BY THIS CONTRACTOR. RESTORE TO MATCH EXISTING CONDITIONS.

6. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THIS WORK. ENGAGE THE SERVICES OF VARIOUS MANUFACTURERS' SUPPLYING THE EQUIPMENT FOR THE PROPER START-UP AND OPERATION OF THE PLUMBING SYSTEMS. INSTRUCT THE OWNER'S PERSONNEL IN THE PROPER OPERATION AND SERVICING OF THE SYSTEM.

7. THIS CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AND APPROVALS AND TRANSMIT SAME TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES.

8. SUBMIT A SEPA AND TWO PRINTS OF THE PLUMBING LAYOUT SHOP DRAWING, CERTIFIED BY ALL TRADES THAT COORDINATION HAS BEEN ESTABLISHED. SUBMIT PLUMBING FIXTURE CUTS WITH TRIM, INSULATION, VALVES AND FITTINGS, PIPE MATERIALS AND CERTIFIED EQUIPMENT CUTS WITH CONSTRUCTION WIRING DIAGRAM. SUBMIT FOUR (4) BOOKBOUND OPERATING AND SERVICE MANUALS, WHICH SHALL INCLUDE COPIES OF ALL SHOP DRAWINGS.

9. PROVIDE ACCESS DOORS IN GENERAL CONSTRUCTION WHICH WILL BE REQUIRED FOR THE PROPER OPERATION AND MAINTENANCE OF ALL CONCEALED EQUIPMENT, VALVES, AND OTHER SIMILAR DEVICES. PREPARE A LIST AND SUBMIT TO THE GENERAL CONTRACTOR FOR HIS INSTALLATION. ACCESS DOORS SHALL BE A MINIMUM SIZE OF 12"x12", PIANO HINGE TYPE AND FIRE RATED FOR RATED WALLS.

10. ALL EXISTING SYSTEMS SHALL BE LEFT IN PERFECT WORKING ORDER UPON COMPLETION OF ALL NEW WORK.

11. EXACT SIZES AND LOCATIONS OF ALL EXISTING PIPING SHALL BE VERIFIED ON THE SITE.

12. NO REMOVED EXISTING PIPING SHALL BE REUSED UNLESS OTHERWISE INDICATED.

13. THIS CONTRACTOR SHALL NOT INTERRUPT ANY OF THE SERVICES OF ANY EXISTING BUILDING NOR INTERFERE WITH THE SERVICES IN ANY WAY WITHOUT THE EXPRESSED PERMISSION OF THE OWNER. SUCH INTERRUPTIONS AND INTERFERENCES SHALL BE MADE AS BRIEF AS POSSIBLE AND ONLY AT THE SUITED BY THE OWNER.

14. UNDER NO CIRCUMSTANCES WILL THIS CONTRACTOR OR HIS WORKMEN BE PERMITTED TO USE ANY PART OF THE BUILDING AS A SHOP, EXCEPT PART DESIGNATED BY THE OWNER FOR SUCH PURPOSES.

15. UNNECESSARY NOISE SHALL BE AVOIDED AT ALL TIMES AND NECESSARY NOISE SHALL BE REDUCED TO A MINIMUM.

16. WHERE THE WORK MAKES TEMPORARY SHUT DOWN OF SERVICES UNAVOIDABLE, THEY SHALL BE MADE AT NIGHT OR AT TIMES AS THIS WILL CAUSE THE LEAST INTERFERENCE WITH THE ESTABLISHED OPERATING ROUTINE OF THE BUILDING.

17. THE CONTRACTOR SHALL ARRANGE THE WORK CONTINUOUSLY, INCLUDING APPROVED BY THE ARCHITECT OVERTIME IF REQUIRED, TO ASSURE THAT SERVICES WILL BE SHUT DOWN AND CUT-INS ONLY DURING THE TIME ACTUALLY REQUIRED TO MAKE THE NECESSARY CONNECTION TO EXISTING WORK.

18. THIS CONTRACTOR SHALL GIVE AMPLE WRITTEN NOTICE IN ADVANCE TO THE OWNER OF ANY REQUIRED SHUT DOWNS.

19. ANY AND ALL REQUIRED DEMOLITION WORK TO BE PERFORMED ABOVE EXISTING SUSPENDED CEILINGS AND FURRED OUT WALLS SHALL BE DONE AT THE TIME WHEN THE EXISTING CEILINGS AND FURRED OUT WALLS ARE REMOVED BY THE GENERAL CONTRACTOR.

20. TO ENSURE CONTINUOUS OPERATION, MAKE ALL NECESSARY TEMPORARY CONNECTIONS BETWEEN NEW AND EXISTING WORK. ALL COST RESULTING FROM TEMPORARY SHUTDOWNS SHALL BE BORNE BY THIS CONTRACTOR.

21. PROVIDE DRAIN BIB AT THE BASE OF EACH HOT AND COLD WATER RISER. ALL GAS, VENT, HOT WATER CIRCULATION, HOT AND COLD WATER PIPING ARE AT CEILING OR IN HUNG CEILING; EXCEPT IN PIPE SPACES OR OTHERWISE NOTED.

22. NO GAS VALVE SHALL BE LOCATED IN HUNG CEILING CODES.

SLEEVES AND ESCUTCHEONS FOR PIPING

1. PROVIDE SLEEVES FOR PIPES PASSING THROUGH WALL PARTITIONS AND FLOORS.

2. CAULK SPACE BETWEEN PIPE AND PIPE INSULATION WITH NON-COMBUSTIBLE MINERAL WOOL TO WITHIN 1/2" OF WALL FLANGES AND FILLED WITH CAULKING COMPOUND TO WALL SPACES.

3. PROVIDE ESCUTCHEONS ON EXPOSED PIPING THROUGH WALLS OR FLOORS WITH SET SCREWS OR INTERNAL SPRING TENSION.

ISSUED FOR BUILDING PERMIT SUBMITTAL	DATE	DESCRIPTION
1	12/05/16	

ARTISTIC BUILDING DESIGN STUDIO
55 UNION ROAD, SUITE 101, SPRING VALLEY, NY 10977
p 845-352-7526 f 845-371-7587
email ABDESIGN@OPTONLINE.NET
web ABDESIGN-AIA.COM

"WHEN DESIGN MATTERS"

COMMUNITY SERVICE
PROPOSED MIXED-USE BUILDING
176 MAPLE AVE
TOWN OF RAMAPO, ROCKLAND COUNTY, NY

GENERAL NOTES

ROBERT BERNSTEIN NYS LIC# 23796

DWN BY	T.F.
SCALE	NIS.
DATE	7/13/15
PROJECT #	12098
Drawing #	

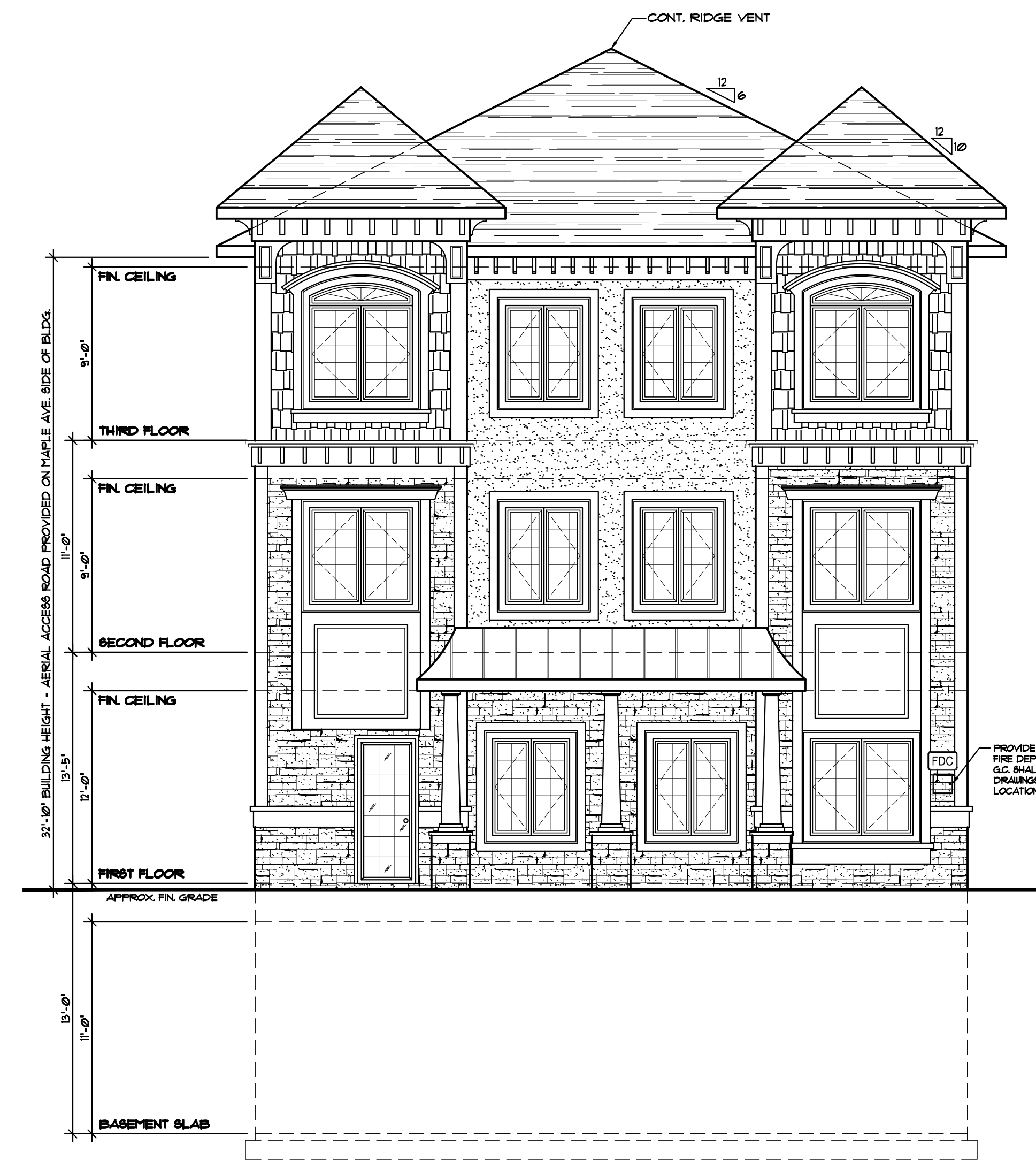
A-2 OF 16

THESE DRAWINGS ARE FOR THIS SPECIFIC BUILDING SITE ONLY AND MAY BE COPIED AS NEEDED FOR THIS PROJECT. NOT FOR CONSTRUCTION UNLESS SIGNED & SEALED BY ARCHITECT & APPROVED BY ALL AGENCIES HAVING JURISDICTION.



RIGHT SIDE ELEVATION
SCALE: 3/16"=1'-0"

1



FRONT ELEVATION
SCALE: 3/16"=1'-0"

2

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COMMUNITY SERVICE
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176 MAPLE AVE
TOWN OF RAMAPO, ROCKLAND COUNTY, NY
EXTERIOR ELEVATIONS

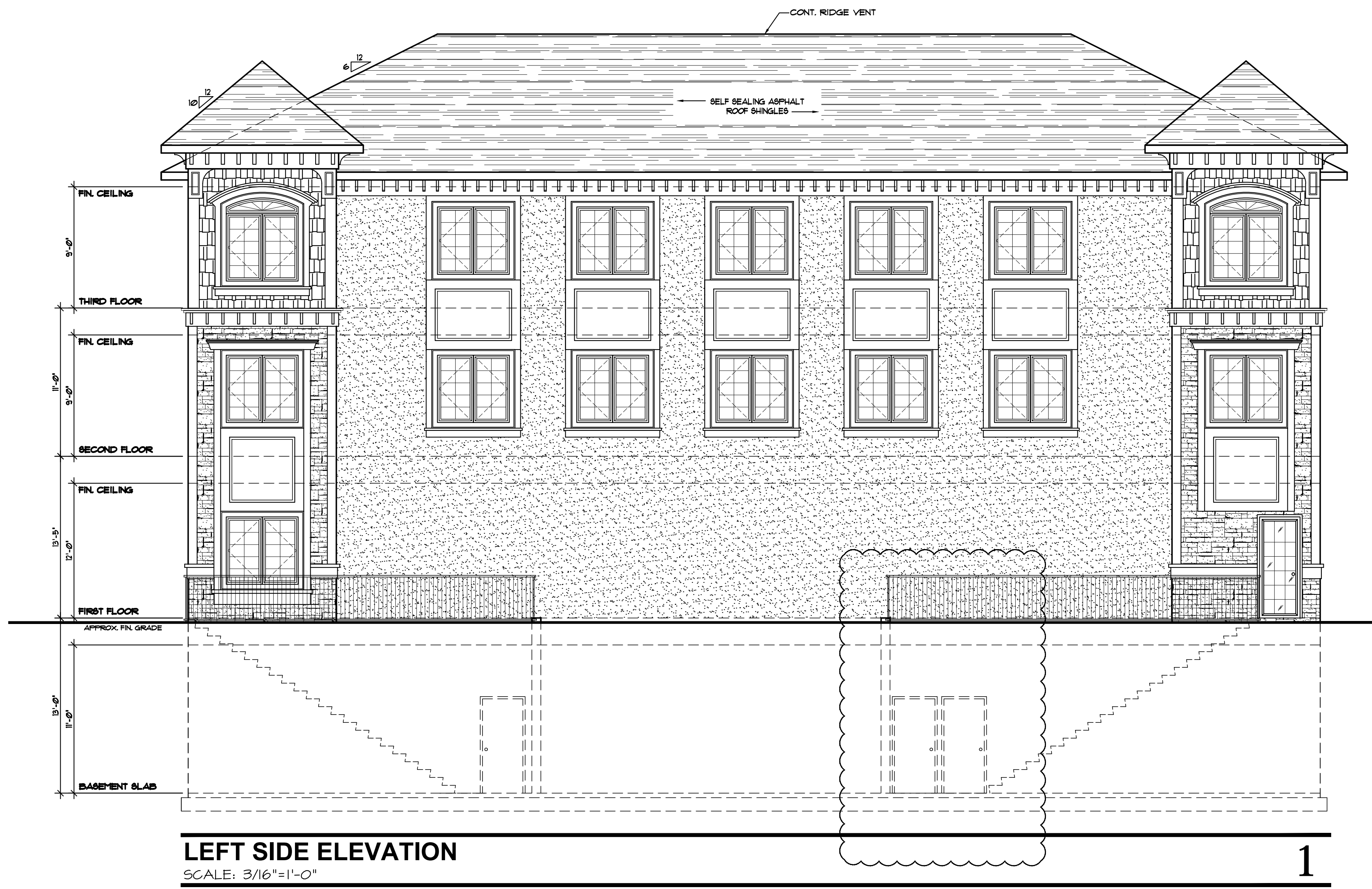


DWN BY T.F.
SCALE 3/16"=1'-0"
DATE 7/13/15
PROJECT # 12098
Drawing #

A-3 OF 16

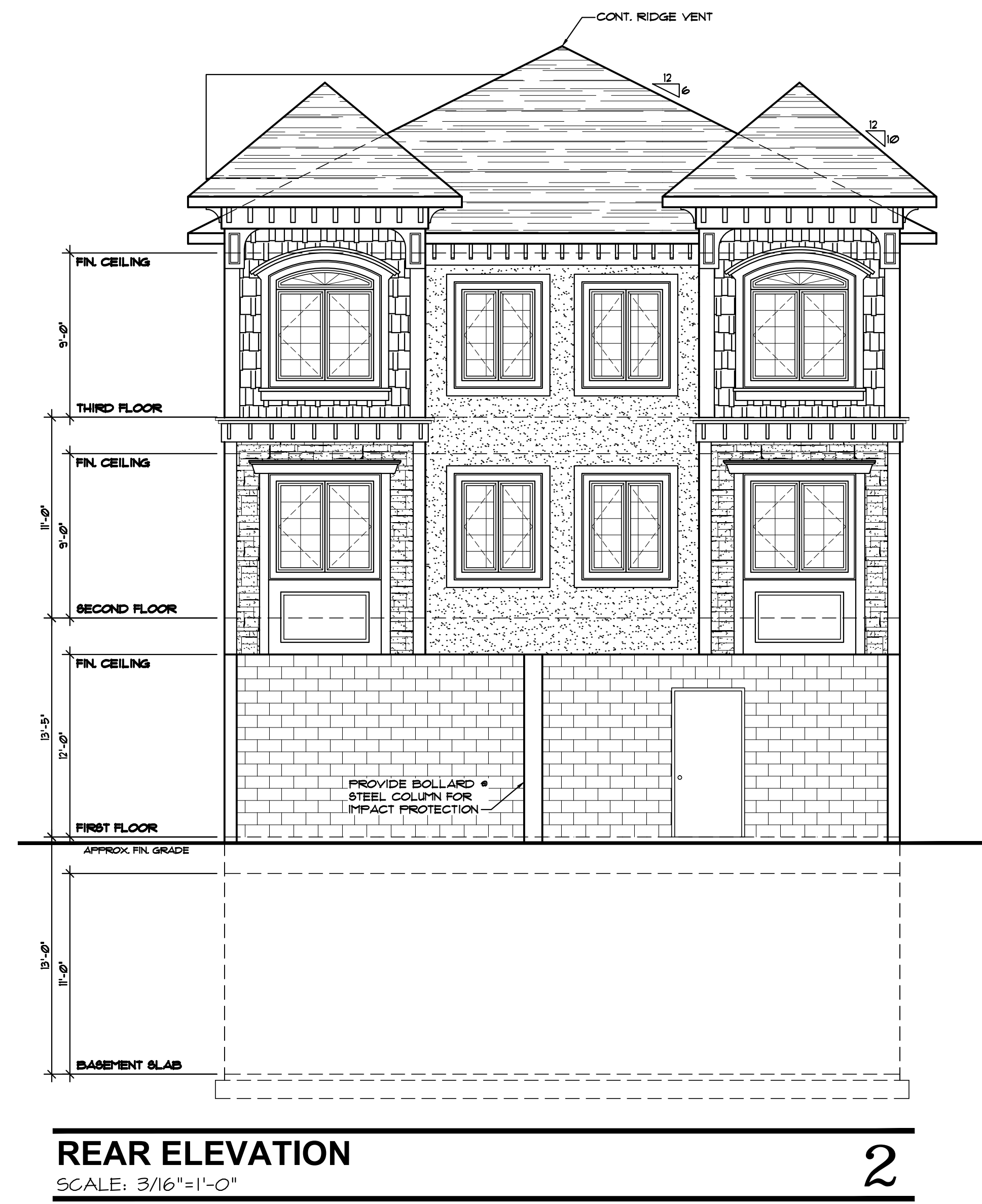
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Nu	DATE	DESCRIPTION
4	01/05/17	REVISED PER CLIENT MEETING
3	07/28/16	ISSUED FOR CONSTRUCTION
2	07/13/16	PER FIRE INSPECTOR'S COMMENTS
1	02/08/16	ISSUED FOR BUILDING PERMIT SUBMITTAL



LEFT SIDE ELEVATION
SCALE: 3/16"=1'-0"

1



REAR ELEVATION
SCALE: 3/16"=1'-0"

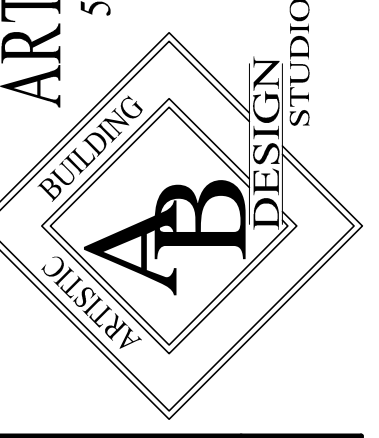
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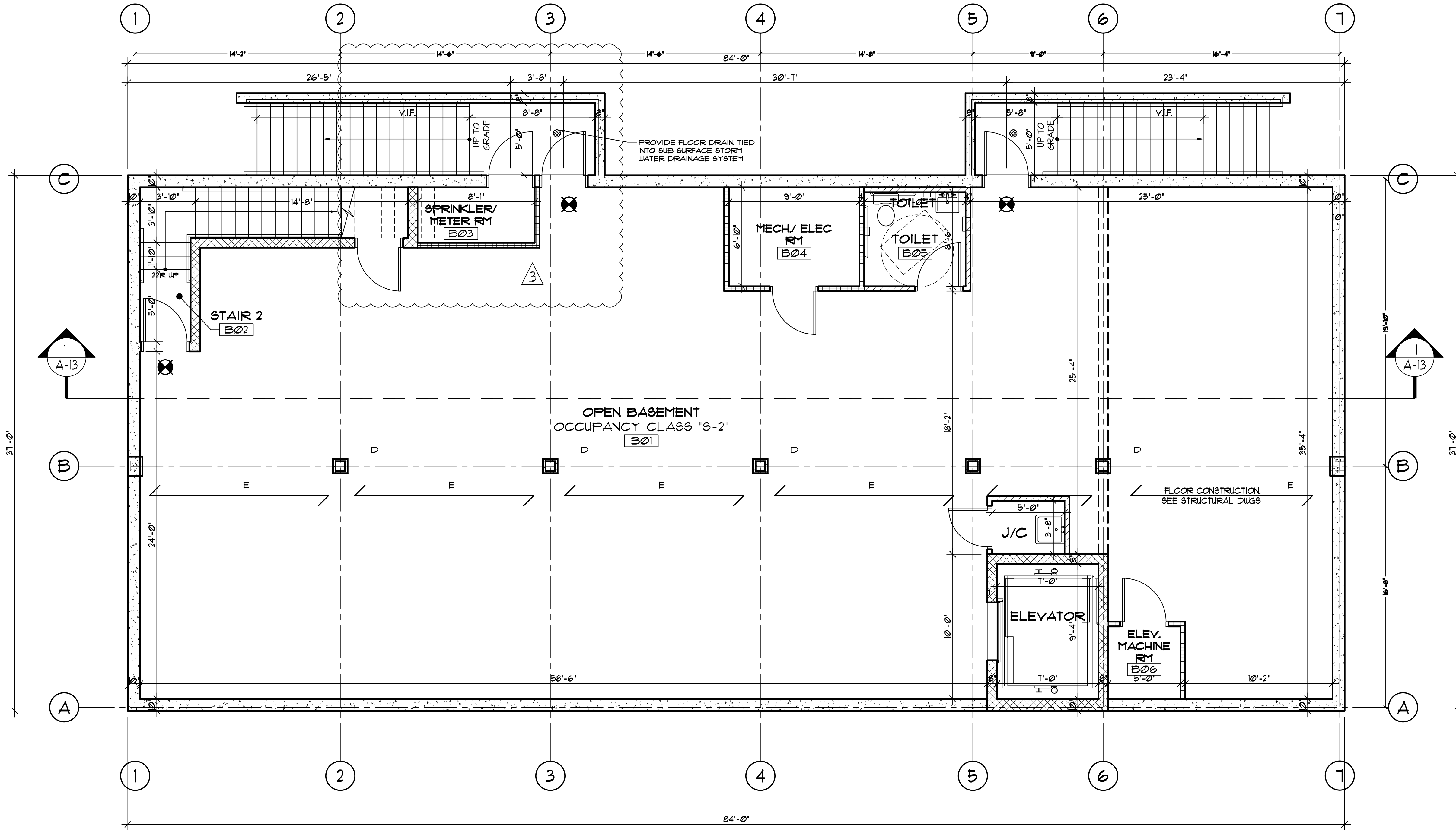
ROBERT BERNSTEIN NYS LIC# 23796
 DWN BY T.F.
 SCALE 3/16"=1'-0"
 DATE 7/13/15
 PROJECT # 12098
 Drawing #

COMMUNITY SERVICE
 PROPOSED MIXED-USE BUILDING
 176 MAPLE AVE
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EXTERIOR ELEVATIONS



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4	01/05/17	REVISED PER CLIENT MEETING



GENERAL NOTES

- ENTIRE FLOOR SHALL BE COMPLETELY PROTECTED WITH A SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13 AND NEW YORK STATE BUILDING CODE. G.C. SHALL PROVIDE PLANS FOR FOR A COMPLETE FIRE SPRINKLER SYSTEM.
- SEE STRUCTURAL DRAWINGS BY CITYSCAPE ENGINEERING FOR FOUNDATION AND STRUCTURAL DESIGN. TRUSS ENGINEERING PLANS SUPERSEDE ARCHITECT'S PLANS FOR ALL DIMENSIONS, SIZES, ETC.
- COMBINATION HEATING AND AIR CONDITIONING UNITS TO BE PROVIDED THROUGHOUT BUILDING. G.C. SHALL VERIFY ALL HVAC DUCTWORK, PIPING, FRESH AIR INTAKE AND MECHANICAL EXHAUST PRIOR TO CONSTRUCTION.
- CONTRACTOR TO SUBMIT FIRE EQUIPMENT INSTALLATION PLAN INDICATING ALL EXIT SIGNS, EMERGENCY LIGHTING, HORNS, STROBES AND PULLS TO ARCHITECT PRIOR TO CONSTRUCTION.
- SMOKE DETECTORS, HEAT DETECTORS, AND ALL FIRE ALARM EQUIPMENT SHALL COMPLY W/ THE BUILDING CODE AND FIRE CODE OF NYS AND SHALL BE APPROVED BY THE LOCAL JURISDICTION PRIOR TO INSTALLATION. FIRE ALARM INSTALLATION CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT TO BE INSTALLED TO ARCHITECT AND BUILDING DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- SMOKE DETECTORS, HEAT DETECTORS, SPRINKLER SYSTEM AND FIRE ALARM PULLS SHALL BE INTERCONNECTED AND TIED TO 44 CONTROL (CENTRAL STATION) SO THAT WHEN ANY ONE IS SET OFF, 44 CONTROL (CENTRAL STATION) IS AUTOMATICALLY NOTIFIED. G.C. SHALL COORDINATE W/ LOCAL PHONE SERVICE COMPANY TO INSURE THAT 22 GAUGE COPPER WIRE IS USED FOR FIRE ALARM SYSTEM PHONE LINE. FIBER OPTIC CABLE IS NOT PERMITTED.

ELEVATOR NOTES

- G.C. SHALL PROVIDE ELEVATOR SHOP DRAWINGS FOR REVIEW AND APPROVAL TO ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
- G.C. SHALL VERIFY ACTUAL ELEVATOR PIT SIZE WITH ELEVATOR MANUFACTURER PRIOR TO POURING ANY FOOTINGS OR FOUNDATION WALLS FOR ELEVATOR PIT AND SHAFT.
- G.C. SHALL VERIFY SIZE AND LOCATION OF SUMP PIT WITH ELEVATOR MANUFACTURER PRIOR TO CONSTRUCTION.
- SEE STRUCTURAL DRAWINGS BY BROOKER ENGINEERING FOR ALL INFORMATION REGARDING CONSTRUCTION OF ELEVATOR SHAFT.

WALL TYPE LEGEND

TYPE	DESCRIPTION
A	UL DESIGN * U305 - 8" CONCRETE BLOCK WALL W/ DURO WALL JOINT REINFORCING EVERY OTHER COURSE
B	UL DESIGN * U305 - 8" CONCRETE BLOCK WALL W/ DURO WALL JOINT REINFORCING EVERY OTHER COURSE - 1 1/8" FURRING W/ 5/8" GIB OVER BLOCK
C	UL DESIGN * U305 - (1)HR RATED - (1) LAYER 5/8" TYPE 'X' GYP BD. - WOOD STUDS W/ SOLID BLOCKING @ MID HEIGHT OF WALL AND W/ UNFACED BATT INSULATION FOR SOUND ABSORPTION.
C	UL DESIGN * U305 - (1)HR RATED - (1) LAYER 5/8" TYPE 'X' GYP BD. (PROVIDE (1) LAYER 5/8" CEMENT BOARD WHEREVER EXPOSED TO MOISTURE)
D	UL DESIGN * M526 - (1) HR RATED COLUMN ENCLOSURE - 2 1/2" LGM STUDS - (1) LAYER 5/8" TYPE 'X' GYP BD.
E	UL DESIGN * L958 - (1) HR RATED WOOD TRUSS FLOOR SYSTEM WITH FIRESTOPPING.
F	UL DESIGN * F931 - (1) HR RATED WOOD TRUSS ROOF

TYPE	DESCRIPTION
⊗	ILLUMINATED EXIT SIGN CONNECT TO MINIMUM 90 MINUTE EMERGENCY BACKUP POWER SOURCE
Ⓜ	FIRE ALARM PULL BOX
Ⓜ	FIRE ALARM HORN STROBE
Ⓜ	FIRE ALARM W/ STROBE LIGHT
Ⓜ	EMERGENCY LIGHTING WITH BATTERY BACKUP ON SEPARATE CIRCUITS. ALL EMERGENCY EQUIPMENT TO COMPLY W/ NYC BLDG. CODE AND TIED TO EXISTING BLDG. FIRE PROTECTION SYSTEM.

BASEMENT CONSTRUCTION PLAN

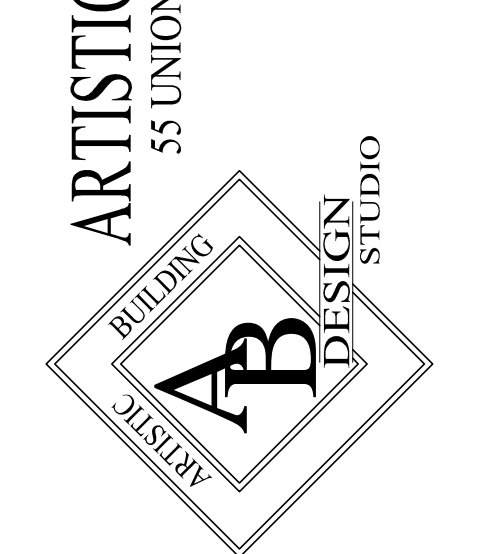
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1

No.	DATE	DESCRIPTION
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2	07/28/16	ISSUED FOR CONSTRUCTION
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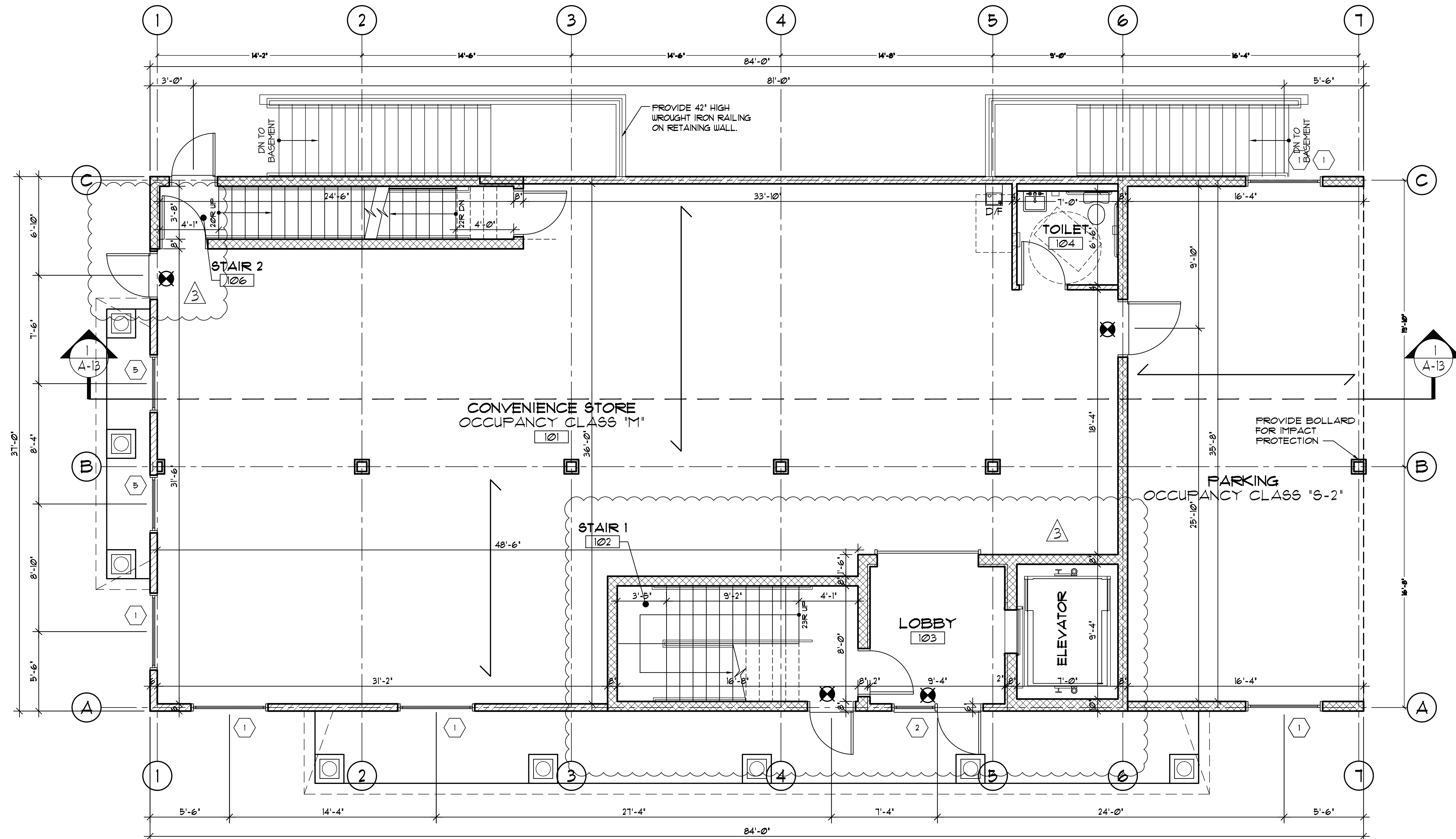
COMMUNITY SERVICE
 PROPOSED MIXED-USE BUILDING
 176 MAPLE AVE
 TOWN OF RAMAPO, ROCKLAND COUNTY, NY

BASEMENT CONSTRUCTION PLAN



ROBERT BERNSTEIN NYS LIC# 23796
 DWN BY T.F.
 SCALE 1/4"=1'-0"
 DATE 7/13/15
 PROJECT # 12098
 Drawing #

THESE DRAWINGS ARE FOR THIS SPECIFIC BUILDING SITE ONLY AND MAY BE COPIED AS NEEDED FOR THIS PROJECT. NOT FOR CONSTRUCTION UNLESS SIGNED & SEALED BY ARCHITECT & APPROVED BY ALL AGENCIES HAVING JURISDICTION.



FIRST FLOOR CONSTRUCTION PLAN

SCALE: 1/4"=1'-0"

1

GENERAL NOTES

- ENTIRE FLOOR SHALL BE COMPLETELY PROTECTED WITH A SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13 AND NEW YORK STATE BUILDING CODE. G.C. SHALL PROVIDE PLANS FOR A COMPLETE FIRE SPRINKLER SYSTEM.
- SEE STRUCTURAL DRAWINGS BY CITYSCAPE ENGINEERING FOR FOUNDATION AND STRUCTURAL DESIGN. TRUSS ENGINEERING PLANS SUPERSEDE ARCHITECT'S PLANS FOR ALL DIMENSIONS, SIZES, ETC.
- COMBINATION HEATING AND AIR CONDITIONING UNITS TO BE PROVIDED THROUGHOUT BUILDING. G.C. SHALL VERIFY ALL HVAC DUCTWORK, PIPING, FRESH AIR INTAKE AND MECHANICAL EXHAUST PRIOR TO CONSTRUCTION.
- CONTRACTOR TO SUBMIT FIRE EQUIPMENT INSTALLATION PLAN INDICATING ALL EXIT SIGNS, EMERGENCY LIGHTING, HORNS, STROBES AND PULLS TO ARCHITECT PRIOR TO CONSTRUCTION.
- SMOKE DETECTORS, HEAT DETECTORS, AND ALL FIRE ALARM EQUIPMENT SHALL COMPLY W/ THE BUILDING CODE AND FIRE CODE OF NYS AND SHALL BE APPROVED BY THE LOCAL JURISDICTION PRIOR TO INSTALLATION. FIRE ALARM INSTALLATION CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT TO BE INSTALLED TO ARCHITECT AND BUILDING DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- SMOKE DETECTORS, HEAT DETECTORS, SPRINKLER SYSTEM AND FIRE ALARM PULLS SHALL BE INTERCONNECTED AND TIED TO 44 CONTROL (CENTRAL STATION) SO THAT WHEN ANY ONE IS SET OFF, 44 CONTROL (CENTRAL STATION) IS AUTOMATICALLY NOTIFIED. G.C. SHALL COORDINATE W/ LOCAL PHONE SERVICE COMPANY TO INSURE THAT 22 GAUGE COPPER WIRE IS USED FOR FIRE ALARM SYSTEM PHONE LINE. FIBER OPTIC CABLE IS NOT PERMITTED.

ELEVATOR NOTES

- G.C. SHALL PROVIDE ELEVATOR SHOP DRAWINGS FOR REVIEW AND APPROVAL TO ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
- G.C. SHALL VERIFY ACTUAL ELEVATOR PIT SIZE WITH ELEVATOR MANUFACTURER PRIOR TO POURING ANY FOOTINGS OR FOUNDATION WALLS FOR ELEVATOR PIT AND SHAFT.
- G.C. SHALL VERIFY SIZE AND LOCATION OF SUMP PIT WITH ELEVATOR MANUFACTURER PRIOR TO CONSTRUCTION.
- SEE STRUCTURAL DRAWINGS BY BROOKER ENGINEERING FOR ALL INFORMATION REGARDING CONSTRUCTION OF ELEVATOR SHAFT.

WALL TYPE LEGEND

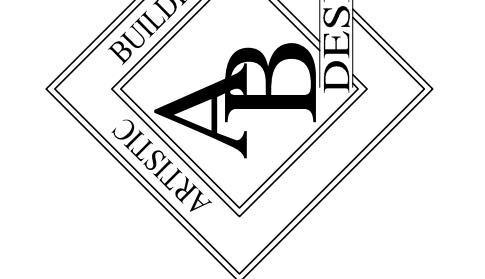
TYPE	DESCRIPTION
A	UL DESIGN * U305 - 8" CONCRETE BLOCK WALL W/ DURO WALL JOINT REINFORCING EVERY OTHER COURSE
B	UL DESIGN * U305 - 8" CONCRETE BLOCK WALL W/ DURO WALL JOINT REINFORCING EVERY OTHER COURSE - 1 1/8" FURRING W/ 5/8" GIB OVER BLOCK
C	UL DESIGN * U305 - (1)HR RATED - (1) LAYER 5/8" TYPE 'X' GYP BD. - WOOD STUDS W/ SOLID BLOCKING @ MID HEIGHT OF WALL AND W/ UNFACED BATT INSULATION FOR SOUND ABSORPTION.
C	UL DESIGN * U305 - (1)HR RATED - (1) LAYER 5/8" TYPE 'X' GYP BD. (PROVIDE (1) LAYER 5/8" CEMENT BOARD WHEREVER EXPOSED TO MOISTURE)
D	UL DESIGN * M526 - (1) HR RATED COLUMN ENCLOSURE - 2 1/2" LGM STUDS - (1) LAYER 5/8" TYPE 'X' GYP BD.
E	UL DESIGN * L958 - (1) HR RATED WOOD TRUSS FLOOR SYSTEM WITH FIRESTOPPING.
F	UL DESIGN * F931 - (1) HR RATED WOOD TRUSS ROOF

TYPE	DESCRIPTION
⊗	ILLUMINATED EXIT SIGN CONNECT TO MINIMUM 90 MINUTE EMERGENCY BACKUP POWER SOURCE
⊞	FIRE ALARM PULL BOX
⊞	FIRE ALARM HORN STROBE
⊞	FIRE ALARM W/ STROBE LIGHT
↔	EMERGENCY LIGHTING WITH BATTERY BACKUP ON SEPARATE CIRCUITS. ALL EMERGENCY EQUIPMENT TO COMPLY W/ NYC BLDG. CODE AND TIED TO EXISTING BLDG. FIRE PROTECTION SYSTEM.

NO.	DATE	DESCRIPTION
1	02/08/16	ISSUED FOR BUILDING PERMIT SUBMITTAL
2	07/13/16	PER FIRE INSPECTOR'S COMMENTS
3	07/28/16	ISSUED FOR CONSTRUCTION
4	01/05/17	REVISED PER CLIENT MEETING

ARTISTIC BUILDING DESIGN STUDIO
 55 UNION ROAD, SUITE 101, SPRING VALLEY, NY 10977
 p 845-352-7526 f 845-371-7587
 email ABDESIGN@OPTONLINE.NET
 web ABDESIGN-AIA.COM

"WHEN DESIGN MATTERS"



COMMUNITY SERVICE
 PROPOSED MIXED-USE BUILDING
 176 MAPLE AVE
 TOWN OF RAMAPO, ROCKLAND COUNTY, NY

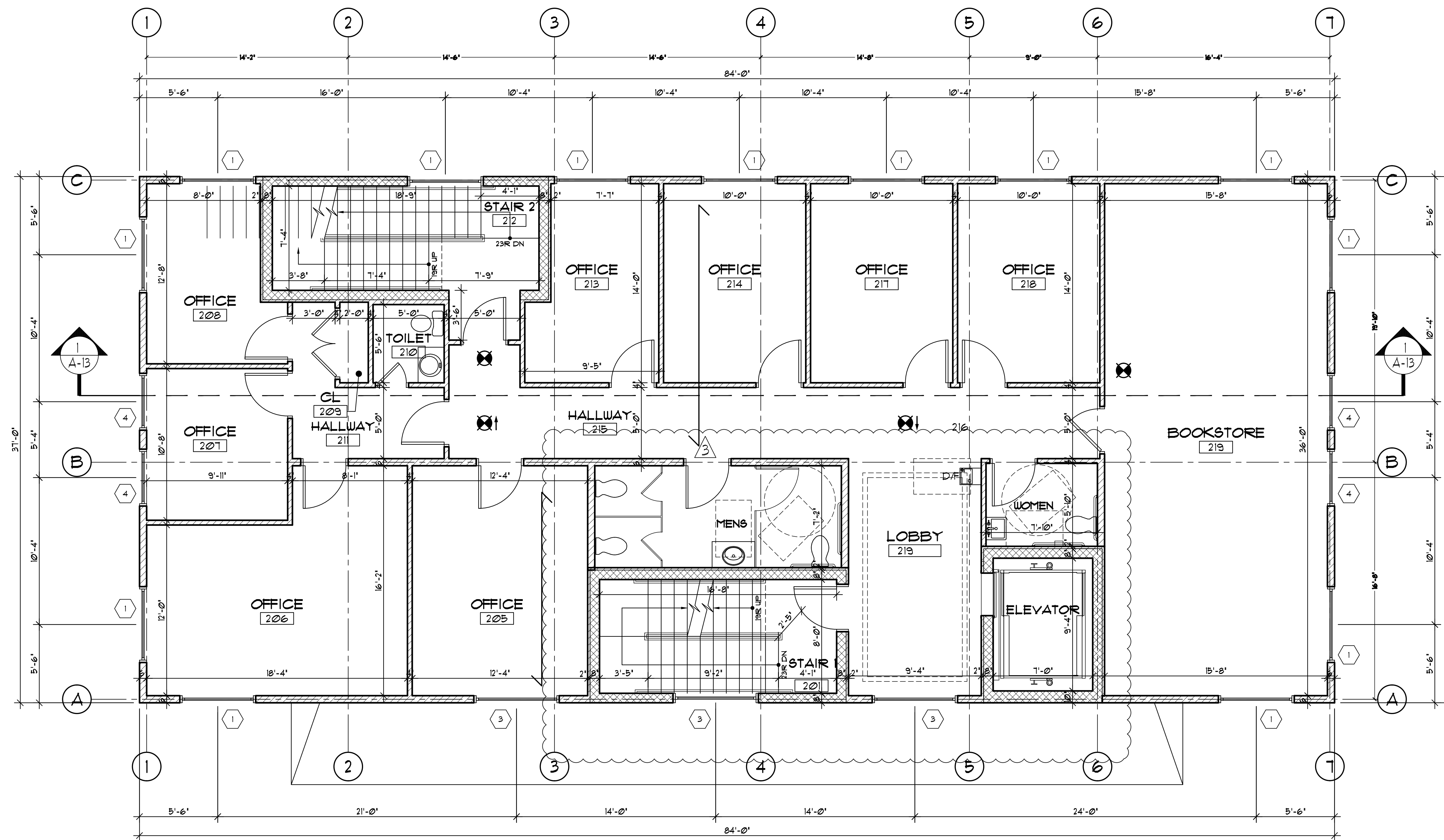
FIRST FLOOR CONSTRUCTION PLAN



ROBERT BERNSTEIN NYS LIC# 23796
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 SCALE 1/4"=1'-0"
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A-6 OF 16

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SECOND FLOOR CONSTRUCTION PLAN

SCALE: 1/4"=1'-0"

1

GENERAL NOTES

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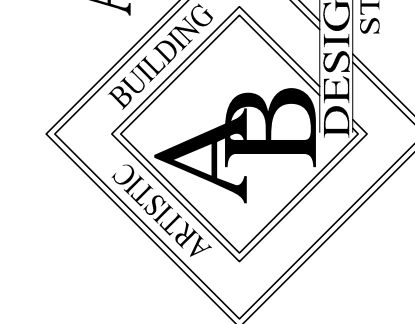
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B	UL DESIGN # U305 - 8" CONCRETE BLOCK WALL W/ DURO WALL JOINT REINFORCING EVERY OTHER COURSE - 1 1/8" FURRING W/ 5/8" GIB OVER BLOCK
C	5 1/2" STUD
C	UL DESIGN # U305 - (1)HR RATED - (1) LAYER 5/8" TYPE 'X' GYP BD. - WOOD STUDS W/ SOLID BLOCKING @ MID HEIGHT OF WALL AND W/ UNFACED BATT INSULATION FOR SOUND ABSORPTION. - (1) LAYER 5/8" TYPE 'X' GYP BD. (PROVIDE (1) LAYER 5/8" CEMENT BOARD WHEREVER EXPOSED TO MOISTURE)
D	UL DESIGN # M526 - (1) HR RATED COLUMN ENCLOSURE - 2 1/2" LGM STUDS - (1) LAYER 5/8" TYPE 'X' GYP BD.
E	UL DESIGN # L958 - (1) HR RATED WOOD TRUSS FLOOR SYSTEM WITH FIRESTOPPING.
F	UL DESIGN # F931 - (1) HR RATED WOOD TRUSS ROOF

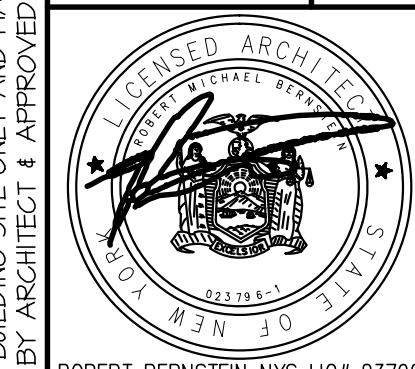
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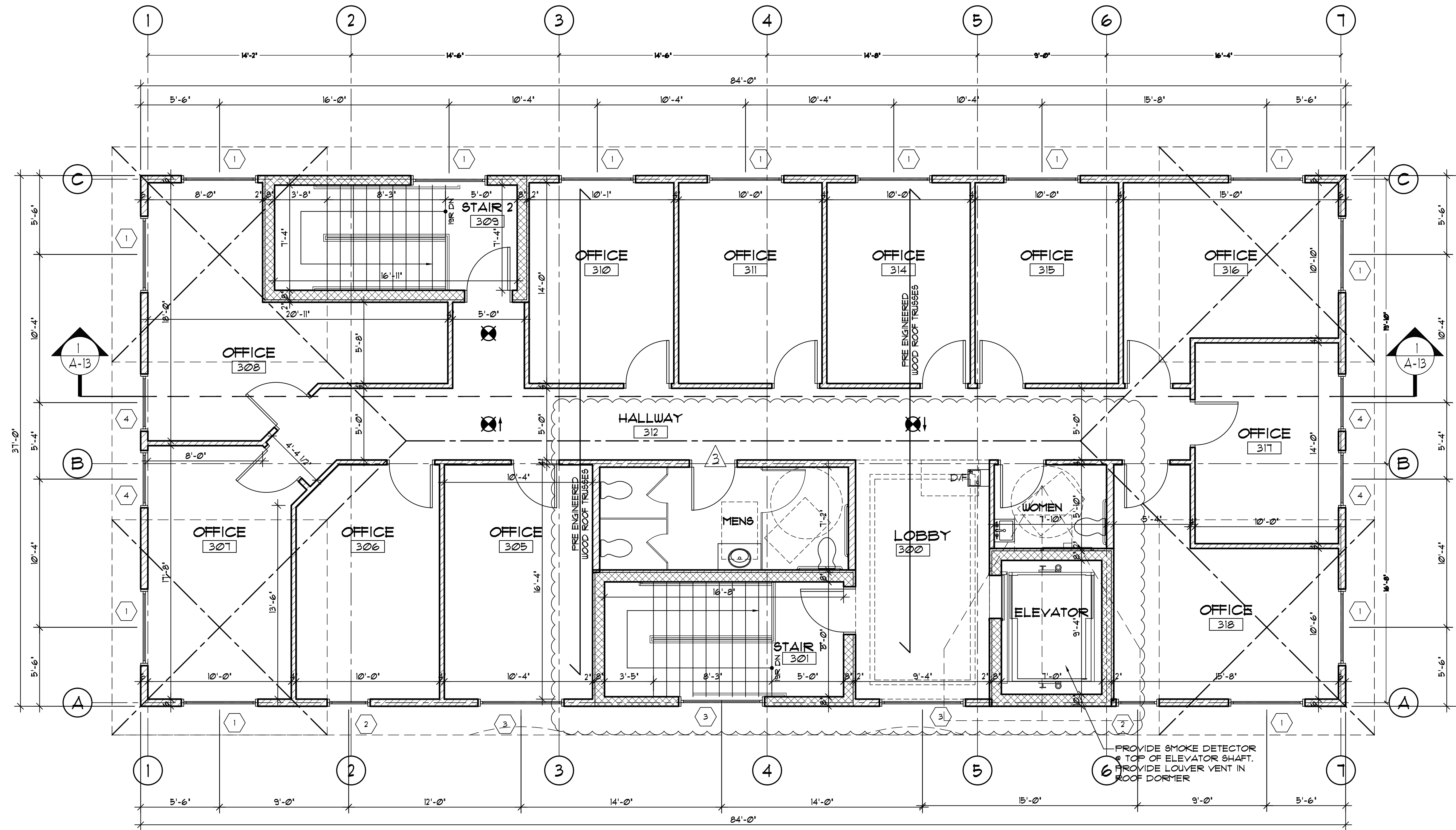


COMMUNITY SERVICE
 PROPOSED MIXED-USE BUILDING
 176 MAPLE AVE
 TOWN OF RAMAPO, ROCKLAND COUNTY, NY
SECOND FLOOR CONSTRUCTION PLAN



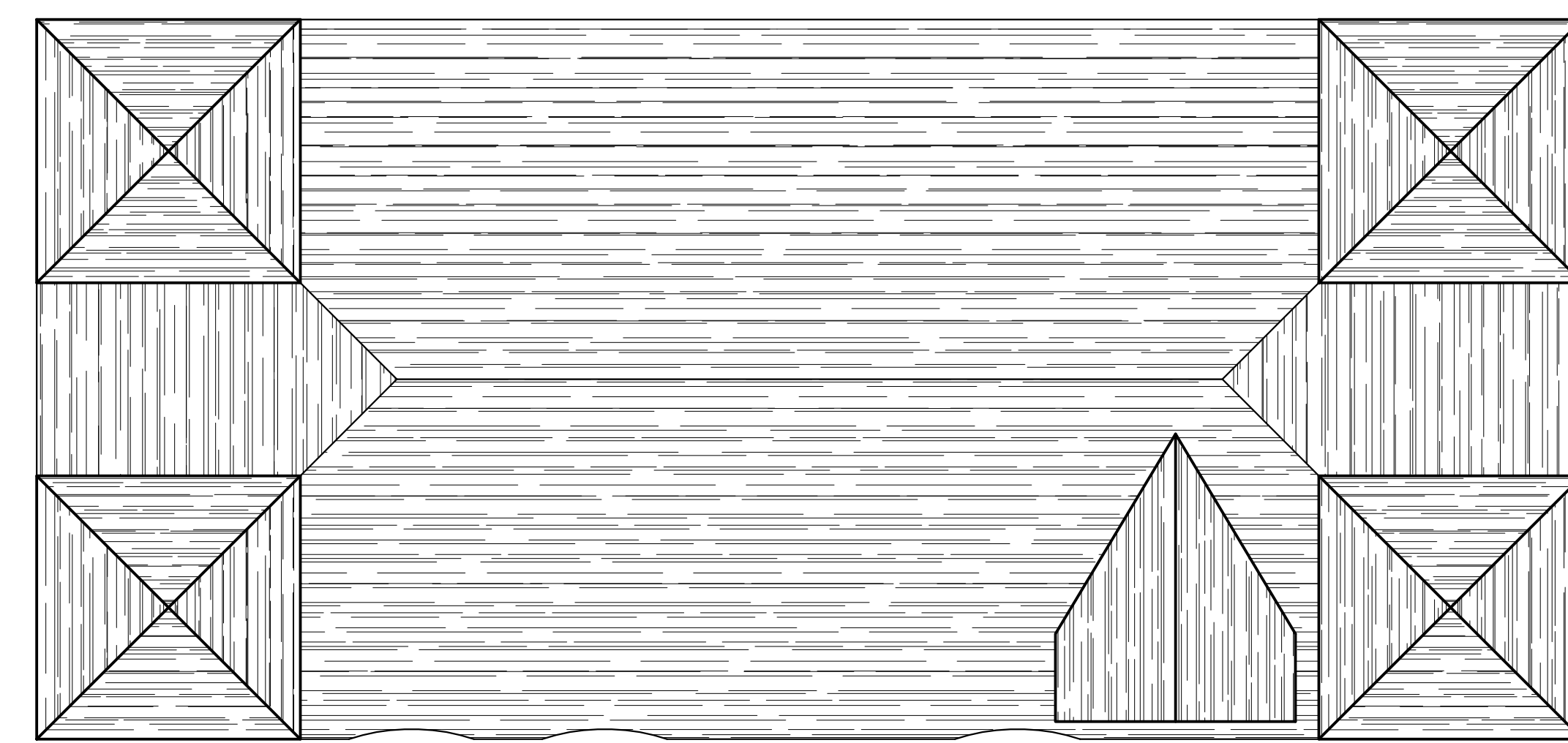
ROBERT BERNSTEIN NYS LIC# 23796
 DWN BY T.F.
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THIRD FLOOR CONSTRUCTION PLAN
SCALE: 1/4"=1'-0"

1



ROOF PLAN
SCALE: 1/8"=1'-0"

2

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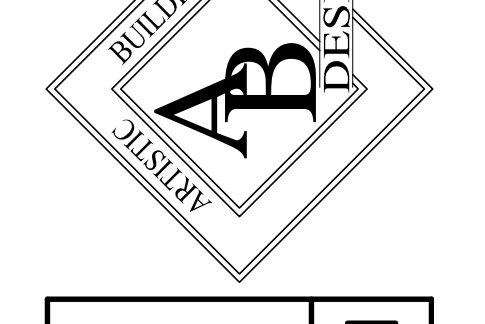
TYPE	DESCRIPTION
A	UL DESIGN # U905 - 8" CONCRETE BLOCK WALL W/ DURO WALL JOINT REINFORCING EVERY OTHER COURSE
B	UL DESIGN # U905 - 8" CONCRETE BLOCK WALL W/ DURO WALL JOINT REINFORCING EVERY OTHER COURSE - 1 1/8" FURRING W/ 5/8" GUEB COVER BLOCK
C	UL DESIGN # U905 - (1)HR RATED - (1) LAYER 5/8" TYPE 'X' GYP BD. - WOOD STUDS W/ SOLID BLOCKING @ MID HEIGHT OF WALL AND W/ UNFACED BATT INSULATION FOR SOUND ABSORPTION. - (1) LAYER 5/8" TYPE 'X' GYP BD. (PROVIDE (1) LAYER 5/8" CEMENT BOARD (WHEREVER EXPOSED TO MOISTURE)
D	UL DESIGN # M526 - (1) HR RATED COLUMN ENCLOSURE - 2 1/2" LGM STUDS - (1) LAYER 5/8" TYPE 'X' GYP BD.
E	UL DESIGN # L556 - (1) HR RATED WOOD TRUSS FLOOR SYSTEM WITH FIRESTOPPING.
F	UL DESIGN # P931 - (1) HR RATED WOOD TRUSS ROOF

TYPE	DESCRIPTION
⊗	ILLUMINATED EXIT SIGN CONNECT TO MINIMUM 90 MINUTE EMERGENCY BACKUP POWER SOURCE
☐	FIRE ALARM PULL BOX
⊞	FIRE ALARM HORN STROBE
⊞	FIRE ALARM W/ STROBE LIGHT
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ARTISTIC BUILDING DESIGN STUDIO
55 UNION ROAD, SUITE 101, SPRING VALLEY, NY 10977
p 845-352-7526 f 845-371-7587
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"WHEN DESIGN MATTERS"



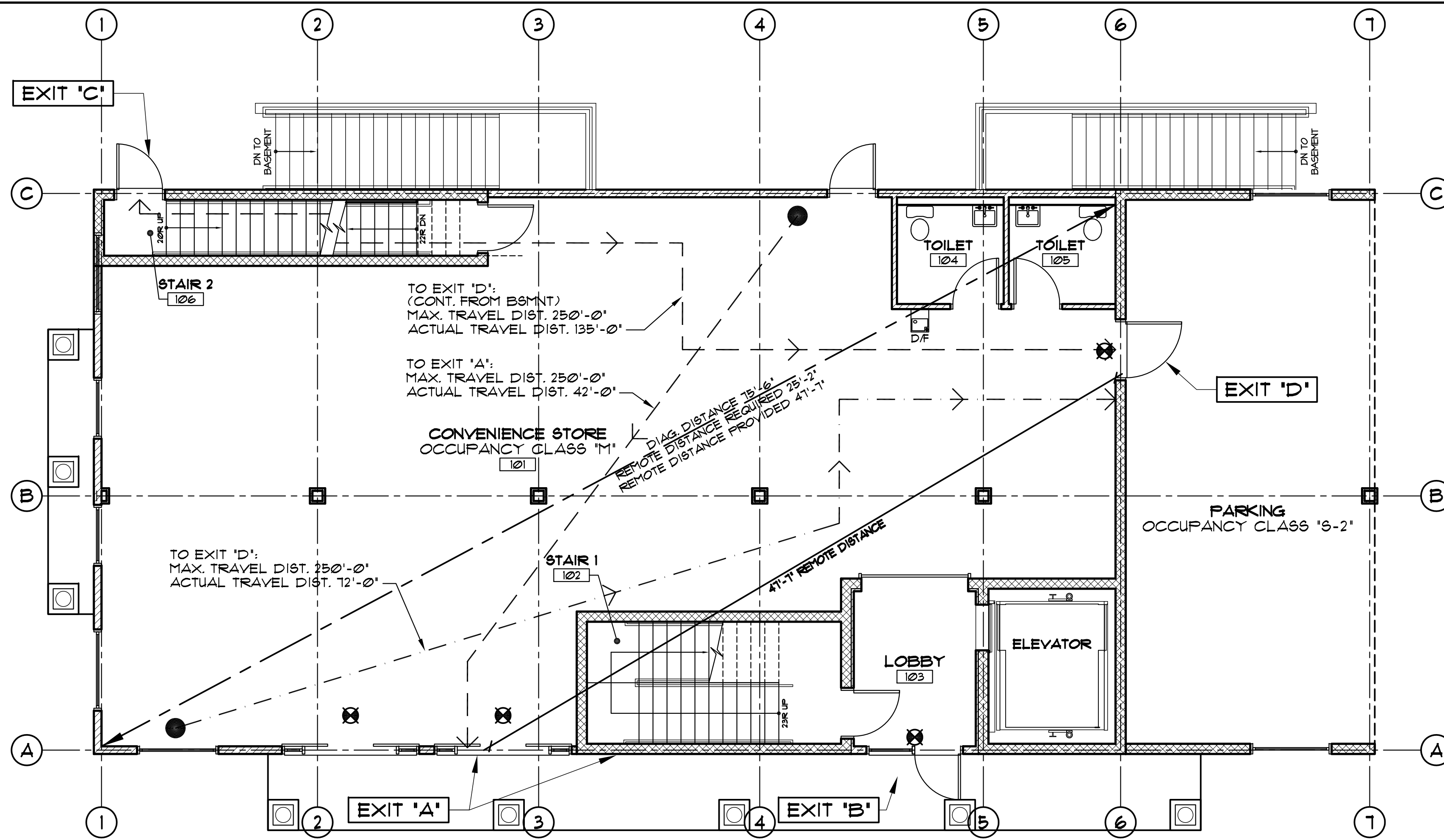
COMMUNITY SERVICE
PROPOSED MIXED-USE BUILDING
176 MAPLE AVE
TOWN OF RAMAPO, ROCKLAND COUNTY, NY

THIRD FLOOR CONSTRUCTION PLAN



ROBERT BERNSTEIN NYS LIC# 23796
DWN BY T.F.
SCALE AS NOTED
DATE 7/13/15
PROJECT # 12098
Drawing #

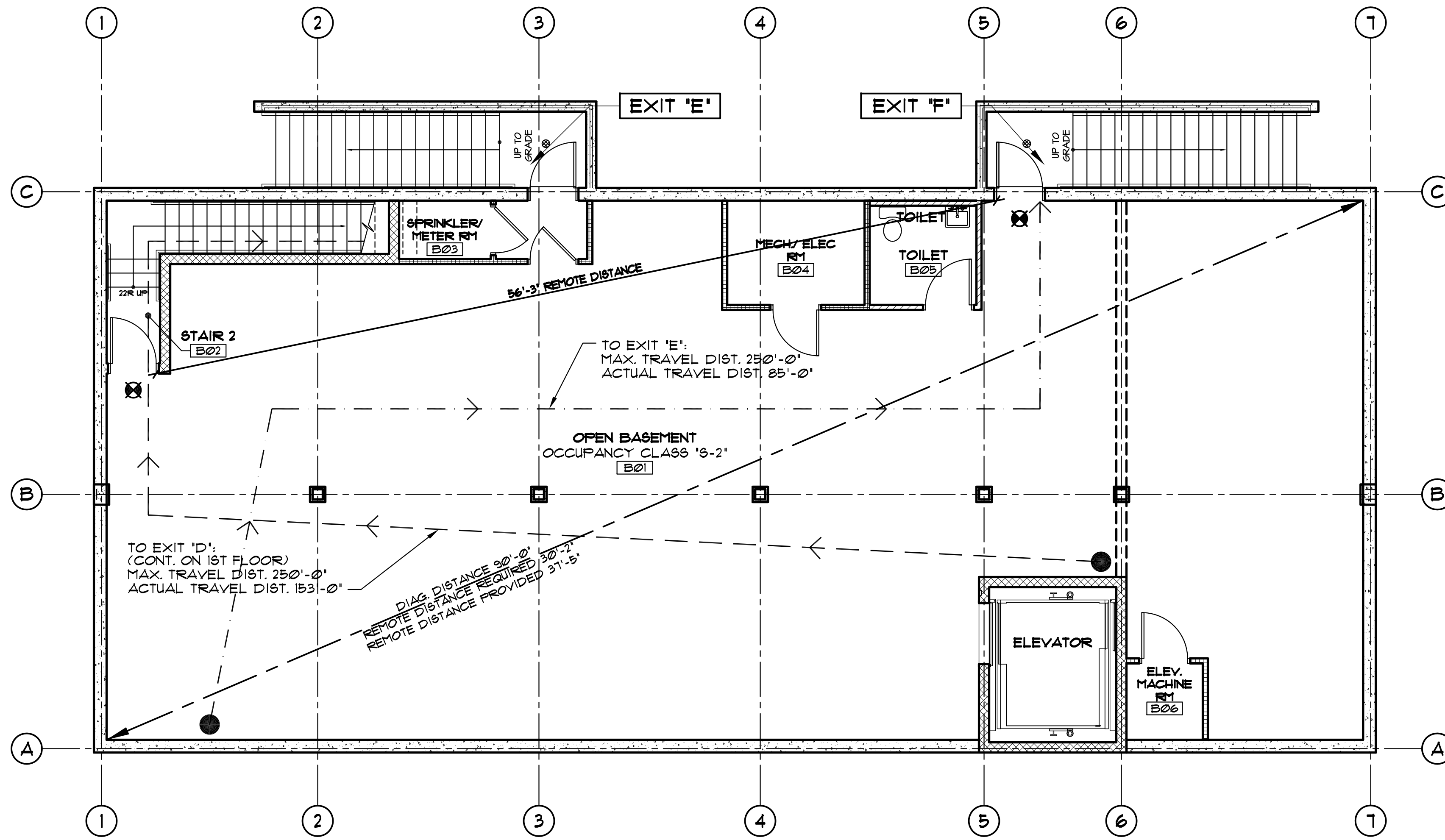
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FIRST FLOOR EGRESS PLAN

SCALE: 3/16"=1'-0"

1



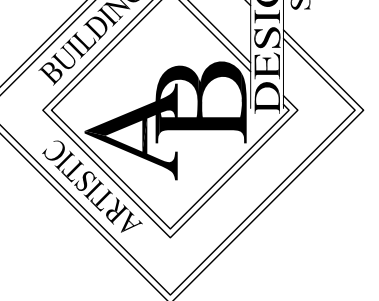
BASEMENT EGRESS PLAN

SCALE: 3/16"=1'-0"

2

No.	DATE	DESCRIPTION
3	07/28/16	ISSUED FOR CONSTRUCTION
2	07/13/16	PER FIRE INSPECTOR'S COMMENTS
1	02/08/16	ISSUED FOR BUILDING PERMIT SUBMITTAL

ARTISTIC BUILDING DESIGN STUDIO
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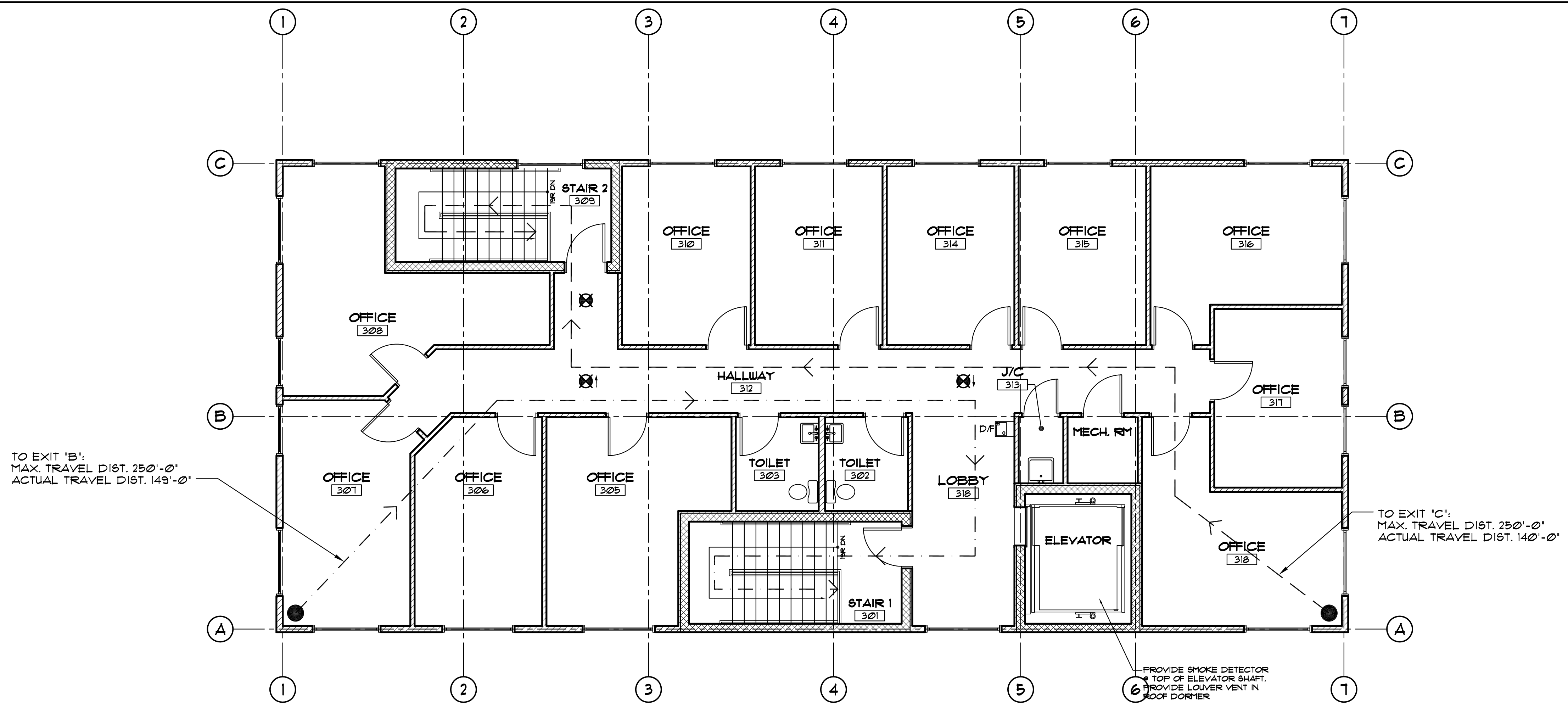


COMMUNITY SERVICE
 PROPOSED MIXED-USE BUILDING
 176 MAPLE AVE
 TOWN OF RAMAPO, ROCKLAND COUNTY, NY
BSMNT & FIRST FLR EGRESS PLANS

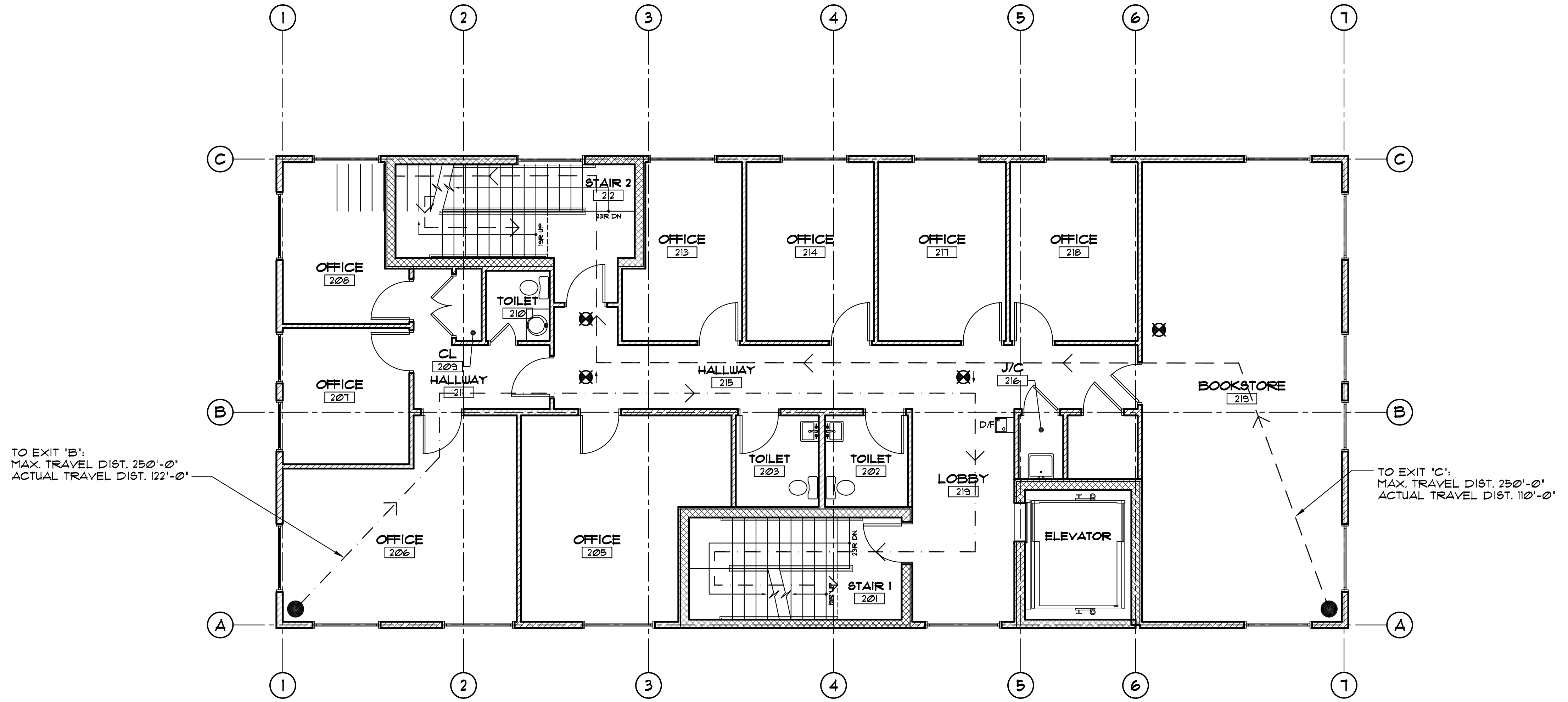


DWN BY T.F.
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THIRD FLOOR EGRESS PLAN
SCALE: 3/16"=1'-0" **1**

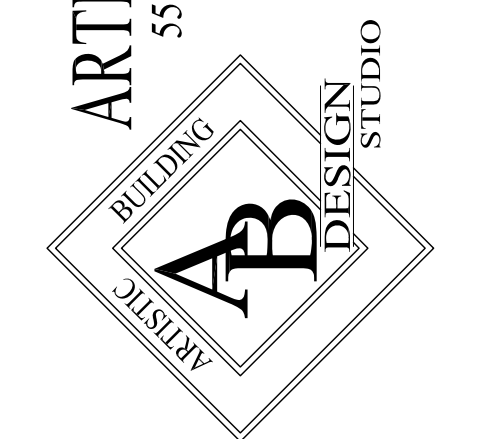


SECOND FLOOR EGRESS PLAN
SCALE: 3/16"=1'-0" **2**

No.	DATE	DESCRIPTION
1	02/08/16	ISSUED FOR BUILDING PERMIT SUBMITTAL
2	07/28/16	ISSUED FOR CONSTRUCTION

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"WHEN DESIGN MATTERS"



COMMUNITY SERVICE
PROPOSED MIXED-USE BUILDING
176 MAPLE AVE
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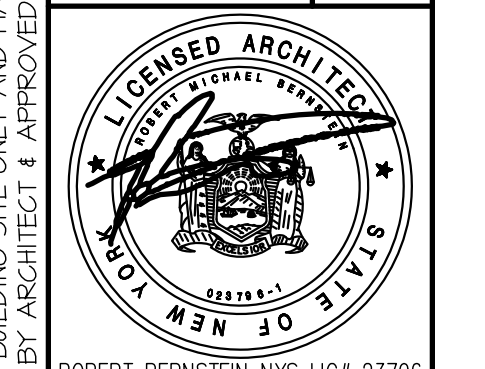
SECOND & THIRD FLRS EGRESS PLANS

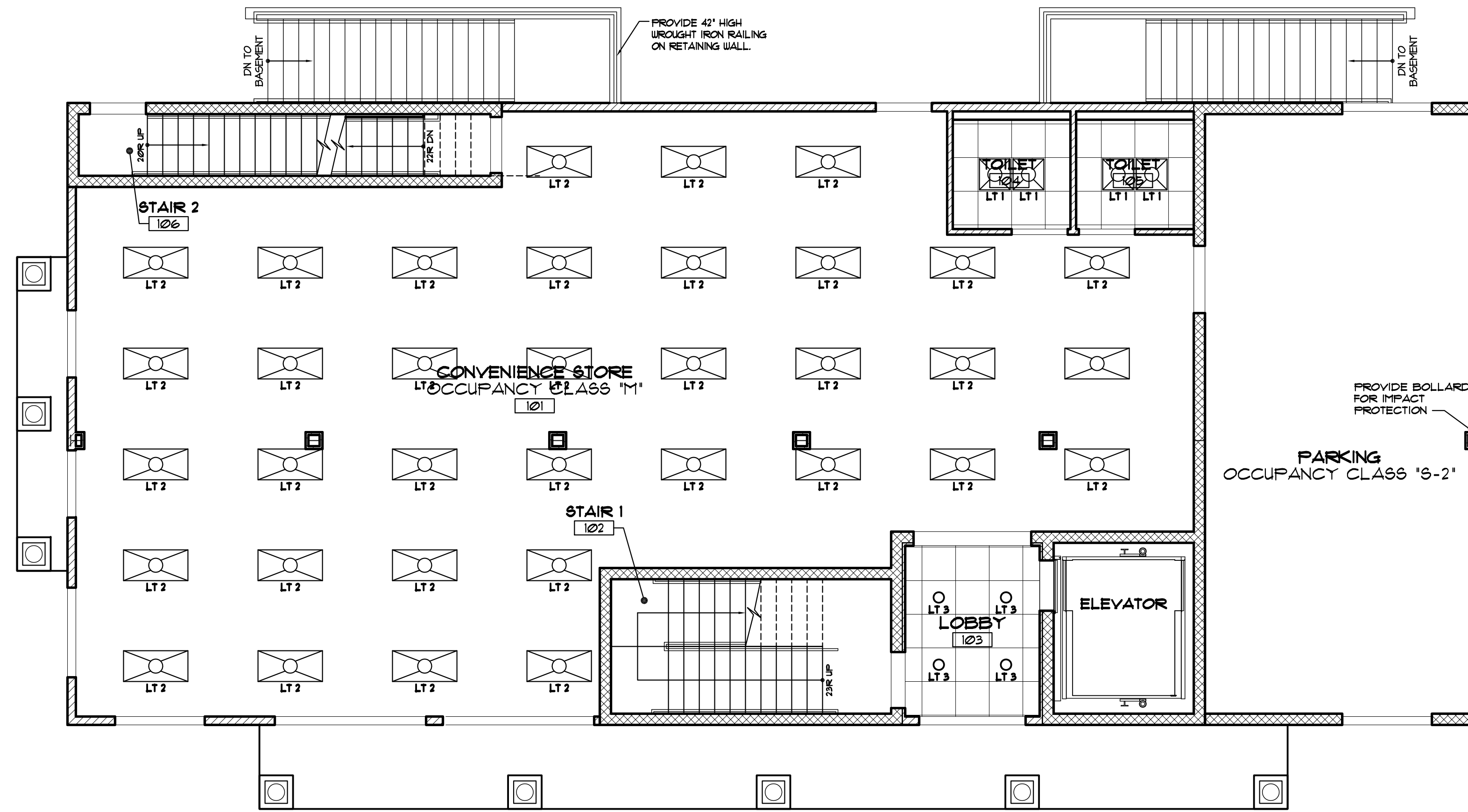
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A-10 OF 16

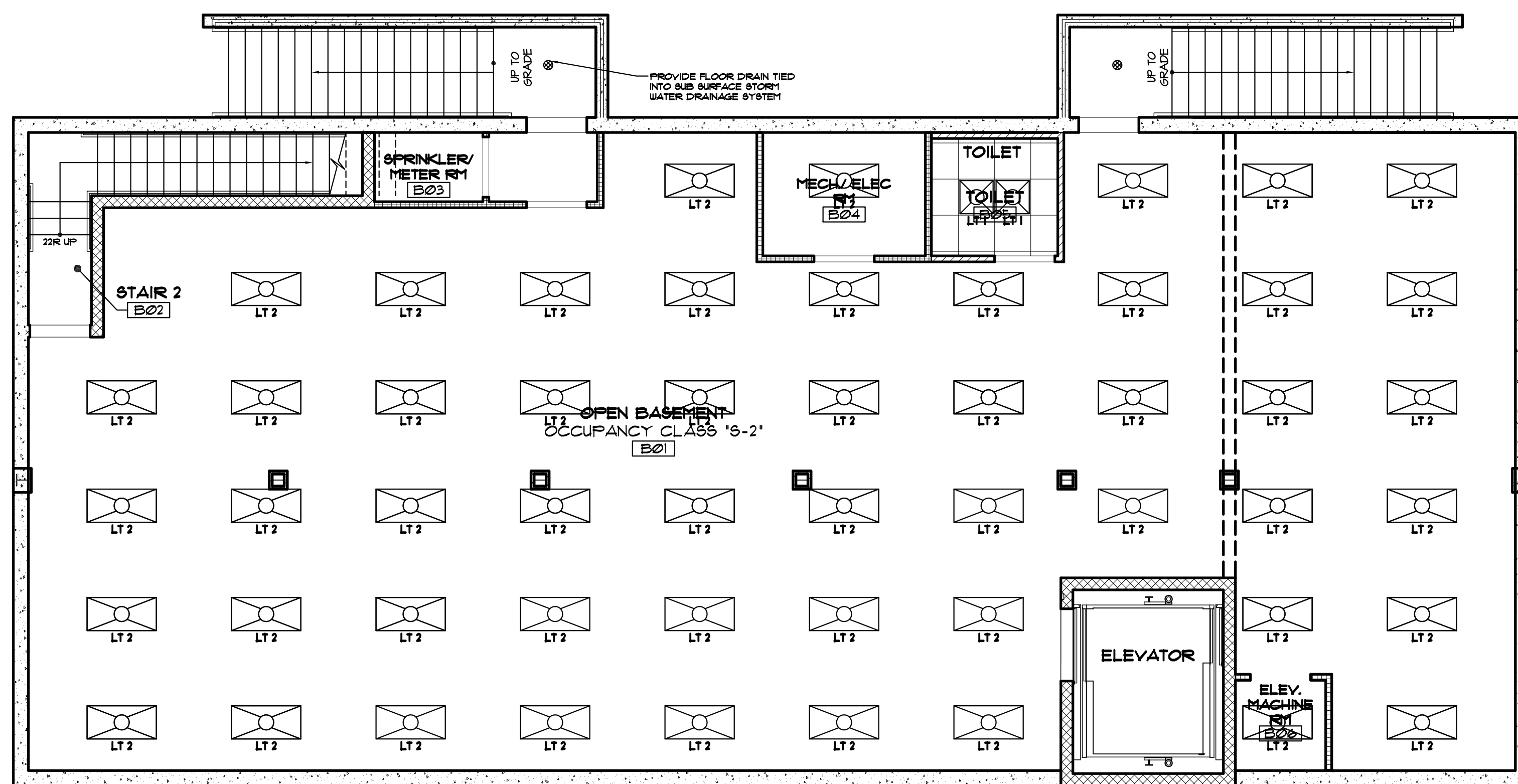




FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 3/16"=1'-0"

1



BASEMENT REFLECTED CEILING PLAN

SCALE: 3/16"=1'-0"

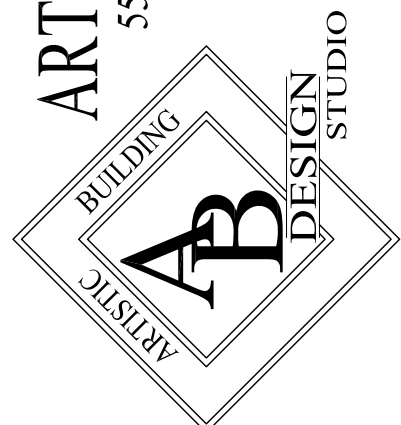
2

TYPE	DESCRIPTION
LT 1	24"x24" FLUORESCENT FIXTURE
LT 2	24"x48" FLUORESCENT FIXTURE
LT 3	6" LED RECESSED LIGHT FIXTURE

NO.	DATE	DESCRIPTION
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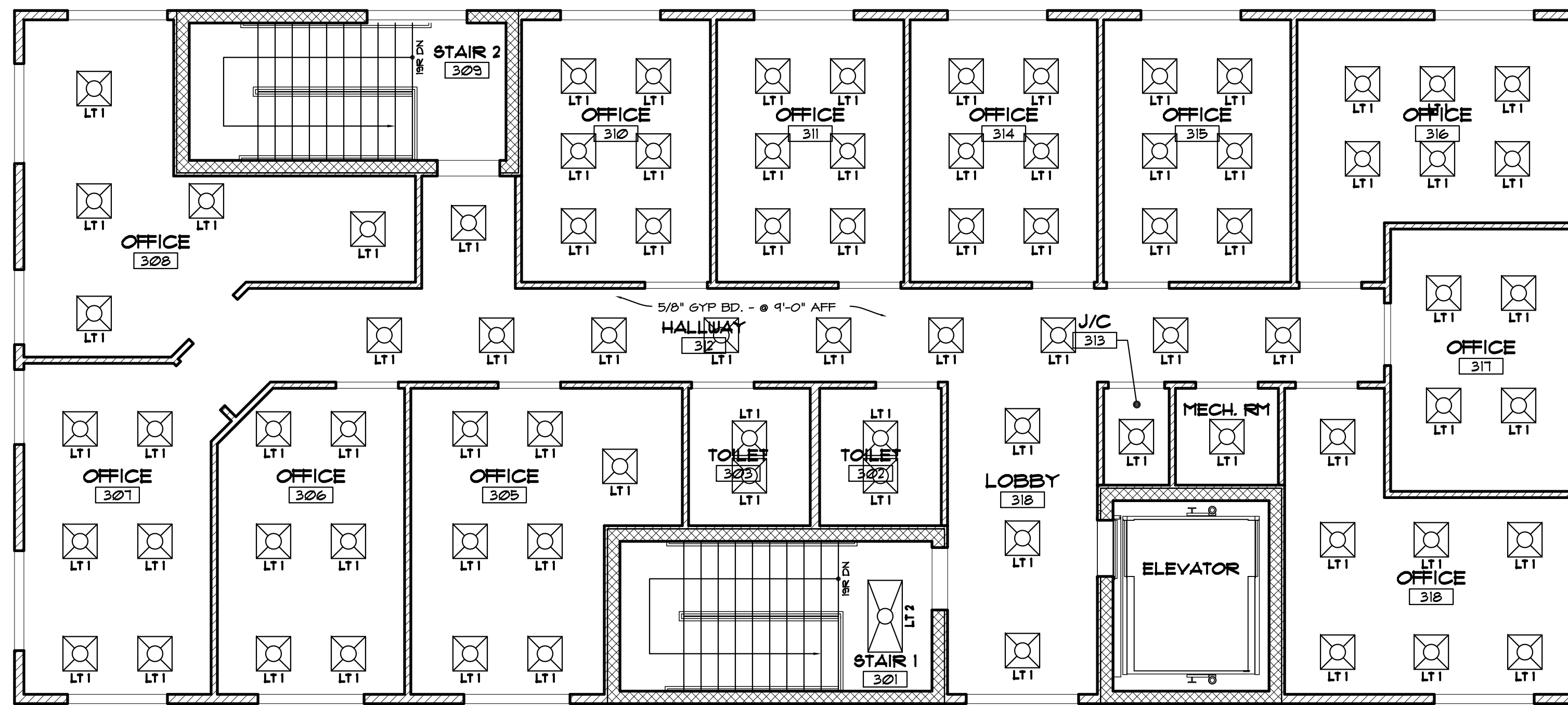
COMMUNITY SERVICE
 PROPOSED MIXED-USE BUILDING
 176 MAPLE AVE
 TOWN OF RAMAPO, ROCKLAND COUNTY, NY

BSMT & FIRST FLR REFLECTED CLG PLANS



OWN BY: T.F.
 SCALE: 3/16"=1'-0"
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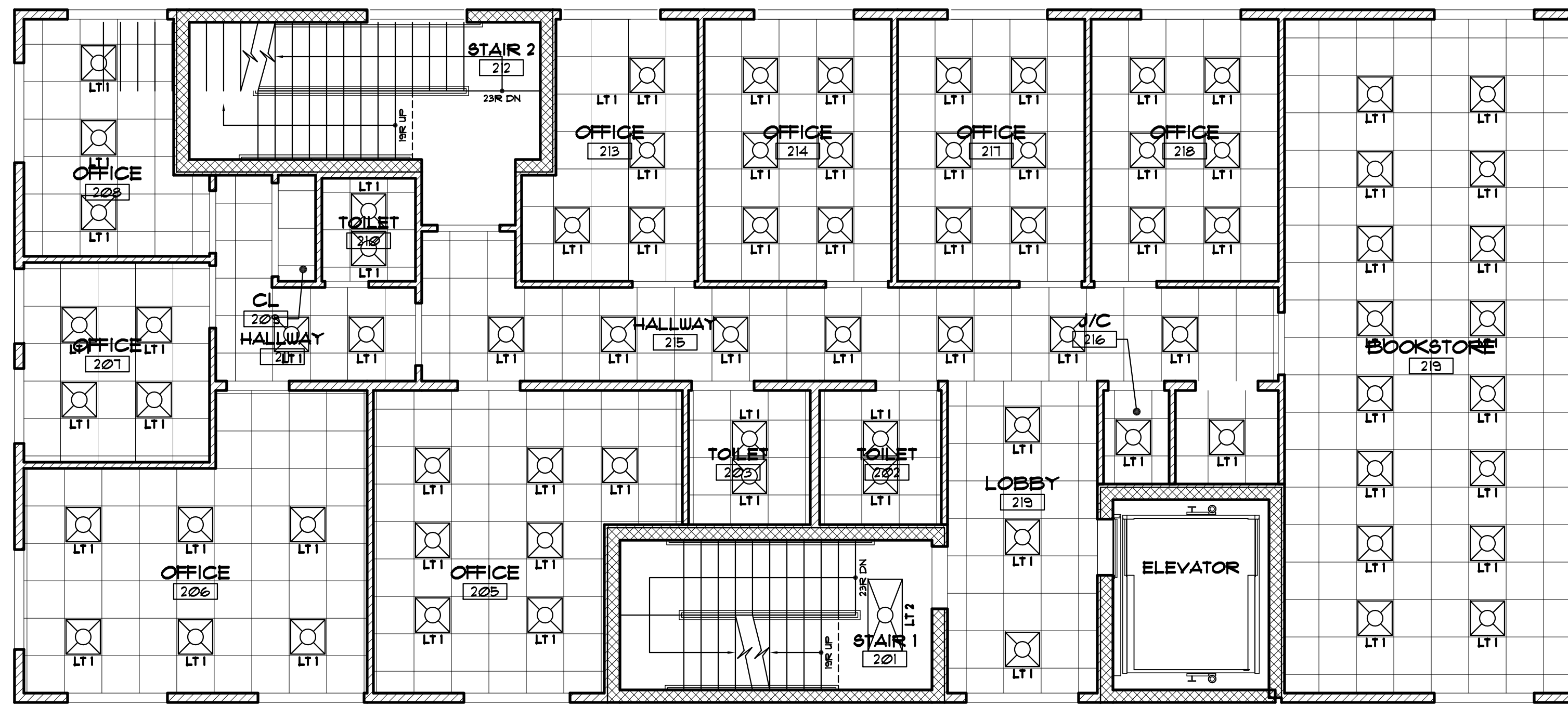
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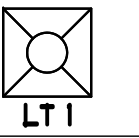
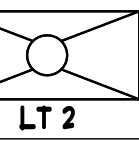
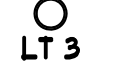
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SECOND FLOOR REFLECTED CEILING PLAN

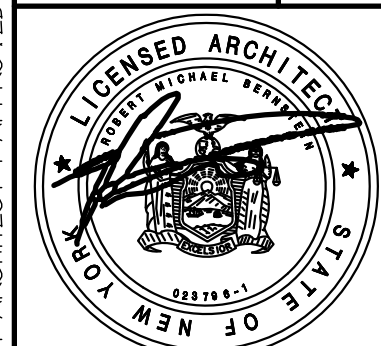
SCALE: 3/16"=1'-0"

2

TYPE	DESCRIPTION
 LT1	24"x24" FLUORESCENT FIXTURE
 LT2	24"x48" FLUORESCENT FIXTURE
 LT3	6' LED RECEESSED LIGHT FIXTURE

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COMMUNITY SERVICE
 PROPOSED MIXED-USE BUILDING
 176 MAPLE AVE
 TOWN OF RAMAPO, ROCKLAND COUNTY, NY
SECOND & THIRD FLRS REFLECTED CLG PLANS

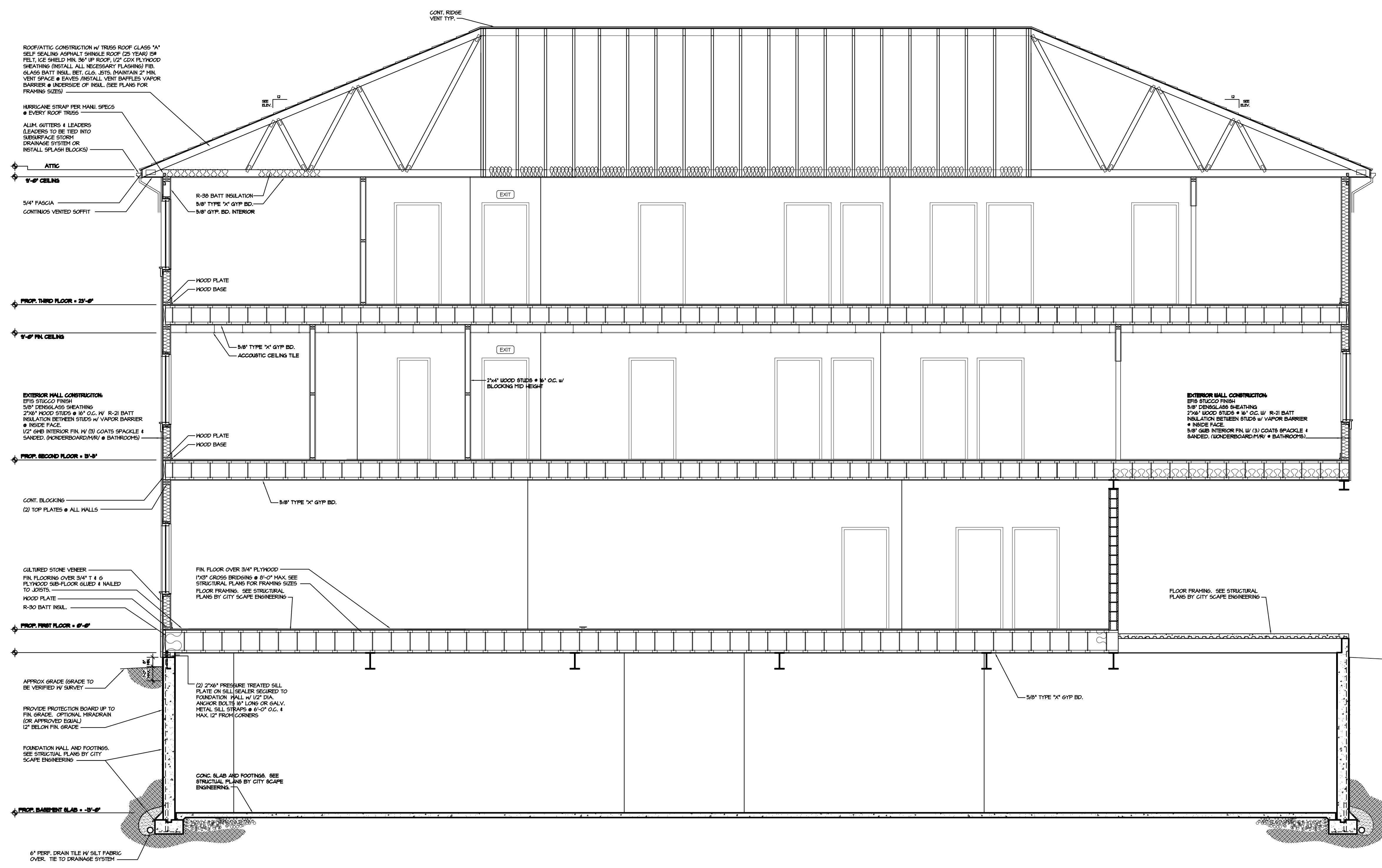


ROBERT BERNSTEIN NYS LIC# 23796
 DWN BY T.F.
 SCALE 3/16"=1'-0"
 DATE 7/13/15
 PROJECT # 12098
 Drawing #

A-12 OF 16

ARTISTIC BUILDING DESIGN STUDIO
 55 UNION ROAD, SUITE 101, SPRING VALLEY, NY 10977
 p 845-352-7526 f 845-371-7587
 email ABDESIGN@OPTONLINE.NET
 web ABDESIGN-AIA.COM
 "WHEN DESIGN MATTERS"

Num	DATE	DESCRIPTION
2	07/28/16	ISSUED FOR CONSTRUCTION
1	02/08/16	ISSUED FOR BUILDING PERMIT SUBMITTAL

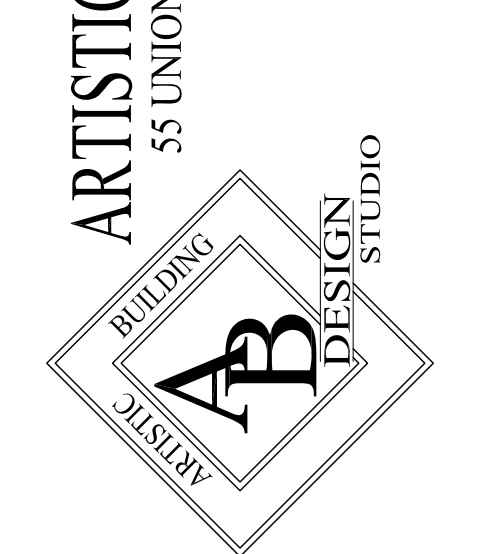


BUILDING SECTION
 SCALE: 1/4"=1'-0" **1**

No.	DATE	DESCRIPTION
1	02/08/16	ISSUED FOR BUILDING PERMIT SUBMITTAL
2	07/28/16	ISSUED FOR CONSTRUCTION

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COMMUNITY SERVICE
 PROPOSED MIXED-USE BUILDING
 176 MAPLE AVE
 TOWN OF RAMAPO, ROCKLAND COUNTY, NY

BUILDING SECTION



OWN BY: T.F.
 SCALE: 1/4"=1'-0"
 DATE: 7/13/15
 PROJECT #: 12098
 Drawing #

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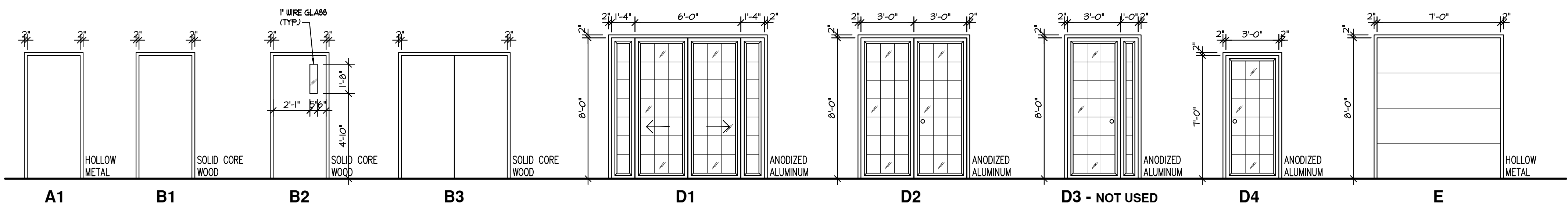
Door Schedule

DOOR NO.	LOCATION	DOOR						FRAME		FIRE RATING (MIN.)	NOTES
		TYPE	WIDTH	HGT	MATL	THK	FINISH	MATL	FINISH		
B01A	OPEN BASEMENT B01	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	-	INSULATED HOLLOW METAL DOOR. PROVIDE PANIC HARDWARE
B01B	OPEN BASEMENT B01	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	45 MIN.	
B01C	OPEN BASEMENT B01	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	-	INSULATED HOLLOW METAL DOOR. PROVIDE PANIC HARDWARE
B02	STAIR 1 B02	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	60 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
B03	SPRINKLER/WATER METER RM	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	45 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
B04	MECHANICAL/ELECTRICAL RM	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	45 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
B05	TOILET	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	-	
B06	ELEVATOR MACHINE ROOM	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	45 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
101A	CONVENIENCE STORE 101	DI	(2)3'-0"	8'-0"	ALUM.	-	ANOD.	ALUM.	ANOD.	-	PREFAB STORE-FRONT GLASS W/ ANODIZED ALUMINUM FRAME. PROVIDE PANIC HARDWARE
101B	CONVENIENCE STORE 101	DI	(2)3'-0"	8'-0"	ALUM.	-	ANOD.	ALUM.	ANOD.	-	PREFAB STORE-FRONT GLASS W/ ANODIZED ALUMINUM FRAME. PROVIDE PANIC HARDWARE
101E	CONVENIENCE STORE 101	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	-	INSULATED HOLLOW METAL DOOR. PROVIDE PANIC HARDWARE
101F	CONVENIENCE STORE 101	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	-	INSULATED HOLLOW METAL DOOR. PROVIDE PANIC HARDWARE
101G	CONVENIENCE STORE 101	E	7'-0"	8'-0"	HM	1 3/4"	PAINT	HM	PAINT	-	OVERHEAD GARAGE DOOR
102A	STAIR 1 102	B2	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	60 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
102B	STAIR 1 102	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	60 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
103	LOBBY 103	D2	3'-0"	8'-0"	ALUM.	-	ANOD.	ALUM.	ANOD.	-	PREFAB STORE-FRONT GLASS W/ ANODIZED ALUMINUM FRAME. PROVIDE PANIC HARDWARE
104	TOILET 104	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	-	
105	TOILET 105	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	-	
106A	STAIR 2 106	AI	3'-0"	7'-0"	HM	1 3/4"	PAINT	HM	PAINT	60 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
106B	STAIR 2 106	D4	3'-0"	7'-0"	ALUM.	-	ANOD.	ALUM.	ANOD.	-	PREFAB STORE-FRONT GLASS W/ ANODIZED ALUMINUM FRAME. PROVIDE PANIC HARDWARE
201	STAIR 1 201	B2	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	60 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
202	TOILET 202	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	PROVIDE KICKPLATE
203	TOILET 203	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	PROVIDE KICKPLATE
204	OFFICE 204	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
205	OFFICE 205	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
206	OFFICE 206	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
207	OFFICE 207	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
208	OFFICE 208	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
209	CLOSET 209	B3	(2)2'-4"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	-	
210	TOILET 210	B1	2'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	-	PROVIDE KICKPLATE
211	HALLWAY 211	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
212	STAIR 1 212	B2	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	60 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
213	OFFICE 213	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
214	OFFICE 214	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
216	JANITOR'S CLOSET 216	B1	2'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	PROVIDE LOUVER VENT AND KICKPLATE
217	OFFICE 217	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
218	OFFICE 218	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
219	OFFICE 219	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
301	STAIR 1 301	B2	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	60 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
302	TOILET 302	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	PROVIDE KICKPLATE
303	TOILET 303	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	PROVIDE KICKPLATE
304	OFFICE 304	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
305	OFFICE 305	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
306	OFFICE 306	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
307	OFFICE 307	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
308	MECHANICAL ROOM 308	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	45 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
309	STAIR 1 309	B2	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	60 MIN.	FIRE PROOF SELF CLOSING. PROVIDE PANIC HARDWARE
310	OFFICE 310	B1	2'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
311	OFFICE 311	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
313	JANITOR'S CLOSET 313	B1	2'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	PROVIDE LOUVER VENT AND KICKPLATE
314	OFFICE 314	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
315	OFFICE 315	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
316	OFFICE 316	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
317	OFFICE 317	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	
318	OFFICE 318	B1	3'-0"	7'-0"	SCUD	1 3/4"	STAIN	HM	PAINT	20 MIN.	

ALL DOORS TO RECEIVE LEVER ACTING DOOR HANDLES.

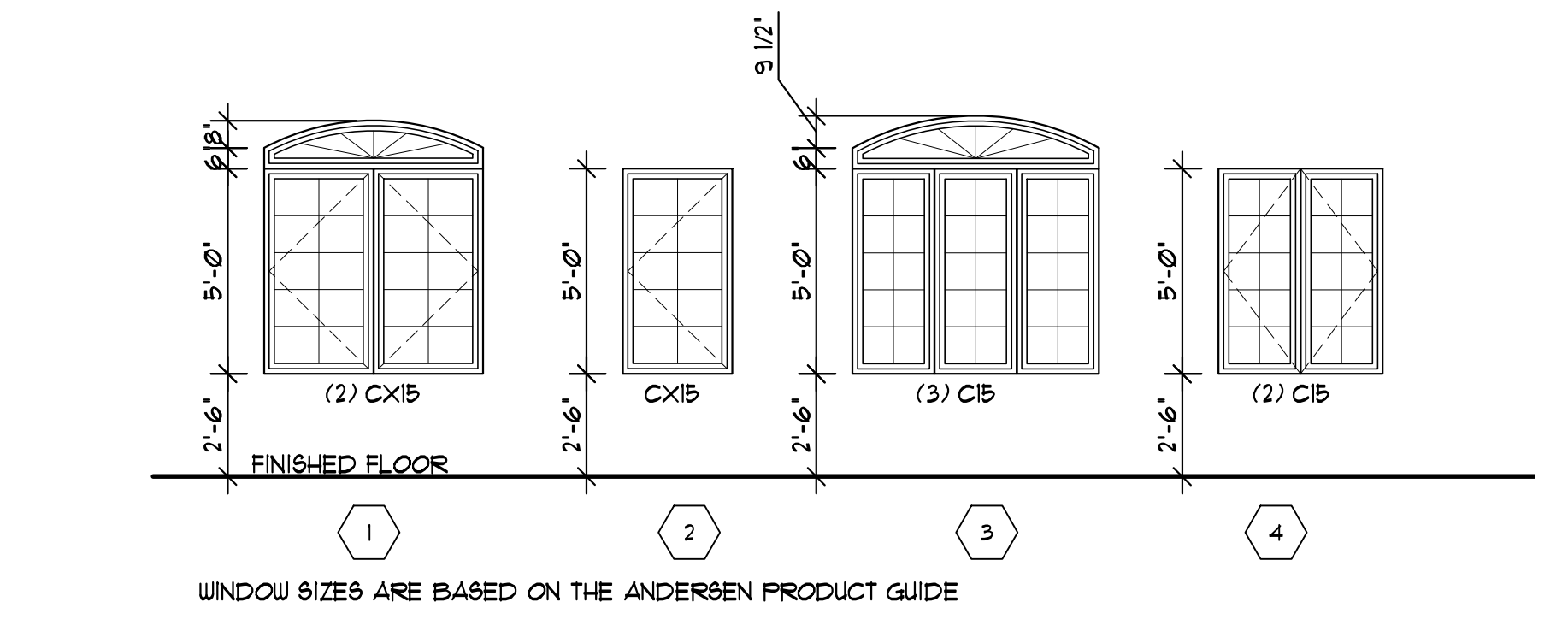
LEGEND

SCUD	SOLID CORE WOOD
HM	HOLLOW METAL
ALUM.	ALUMINUM



DOOR SCHEDULE

SCALE: 1/4"=1'-0"



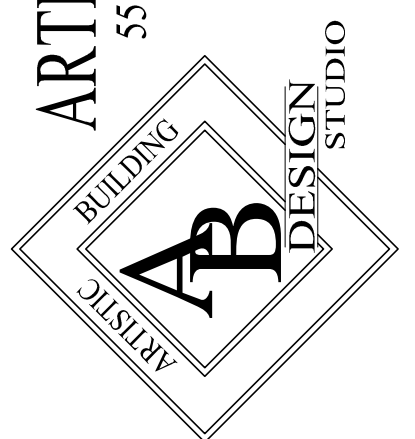
WINDOW SCHEDULE

SCALE: 1/4"=1'-0"

1

No.	DATE	DESCRIPTION
2	07/25/16	ISSUED FOR CONSTRUCTION
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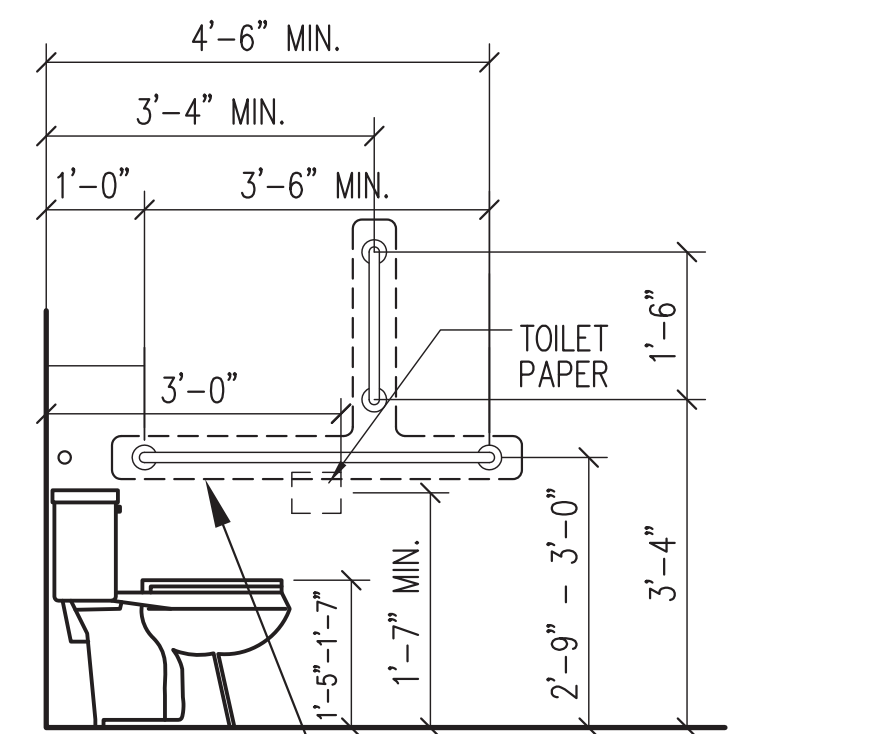
COMMUNITY SERVICE
 PROPOSED MIXED-USE BUILDING
 176 MAPLE AVE
 TOWN OF RAMAPO, ROCKLAND COUNTY, NY
DOOR SCHEDULE



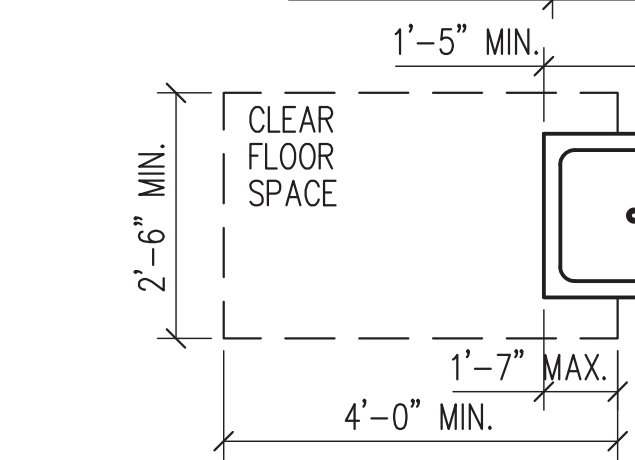
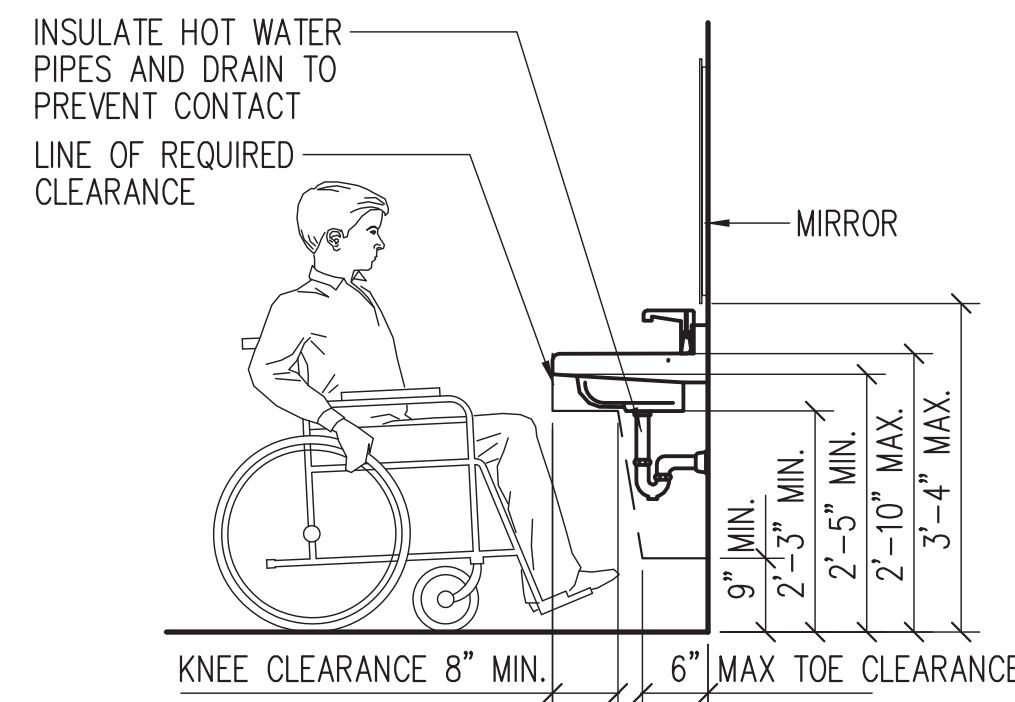
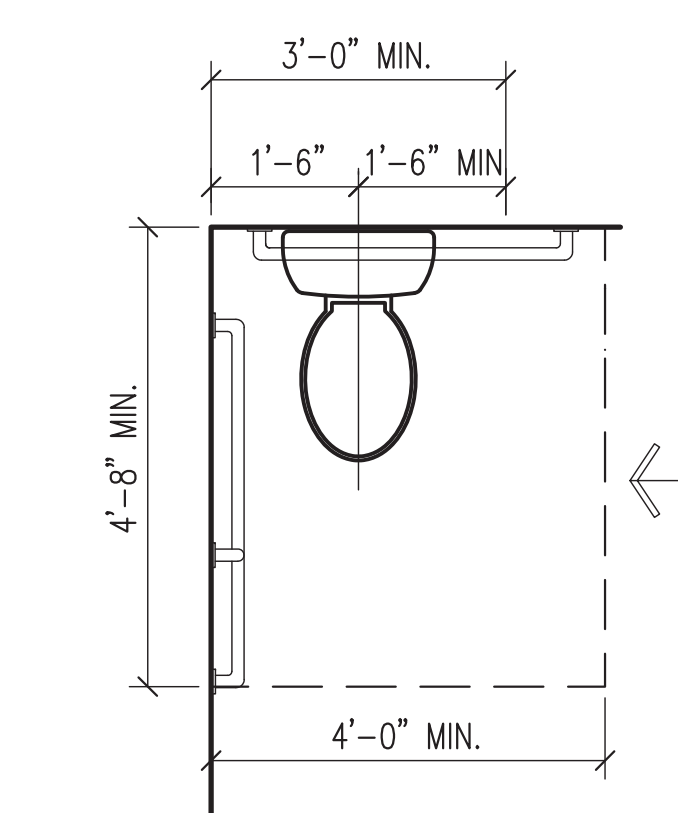
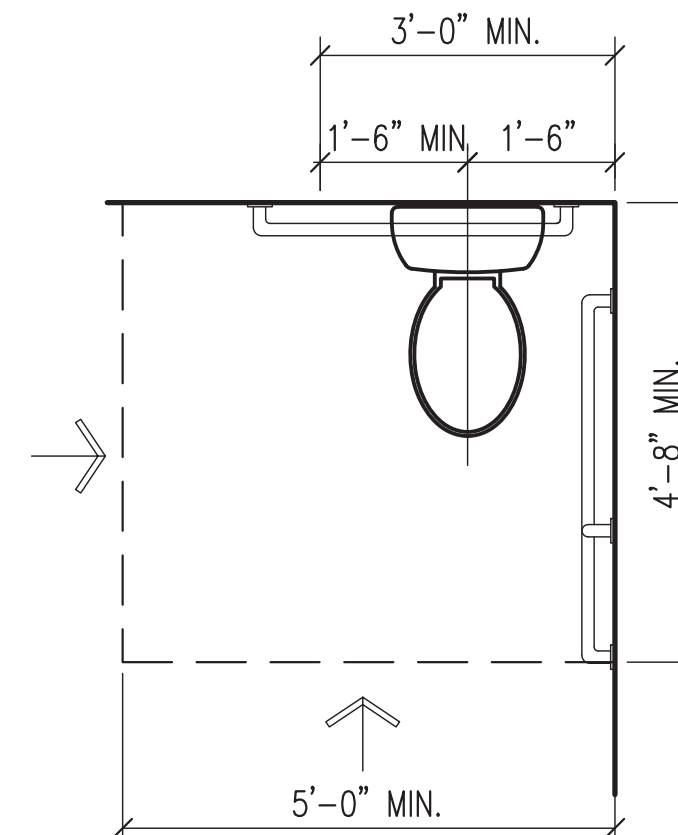
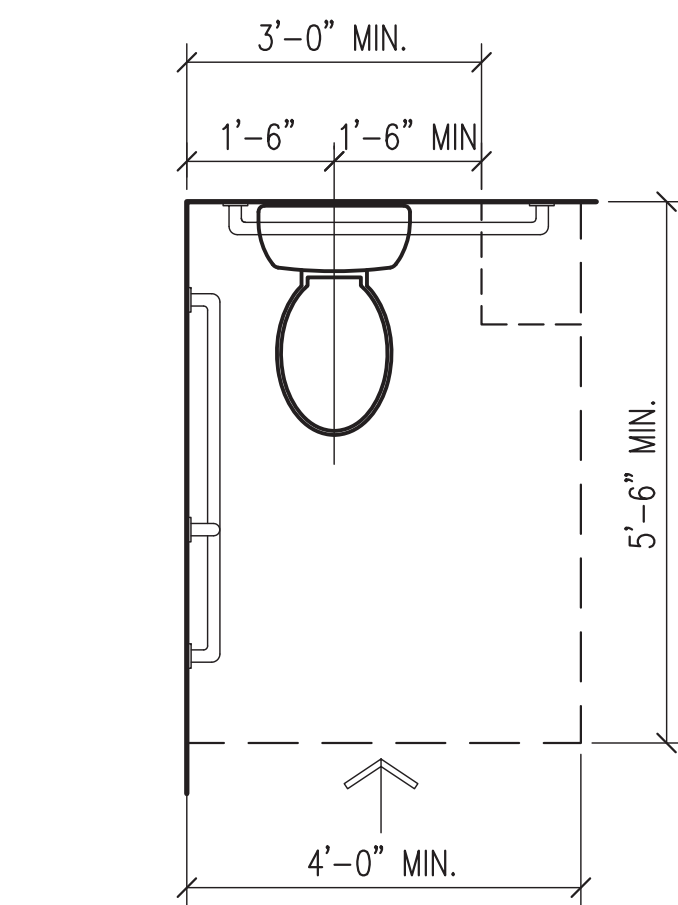
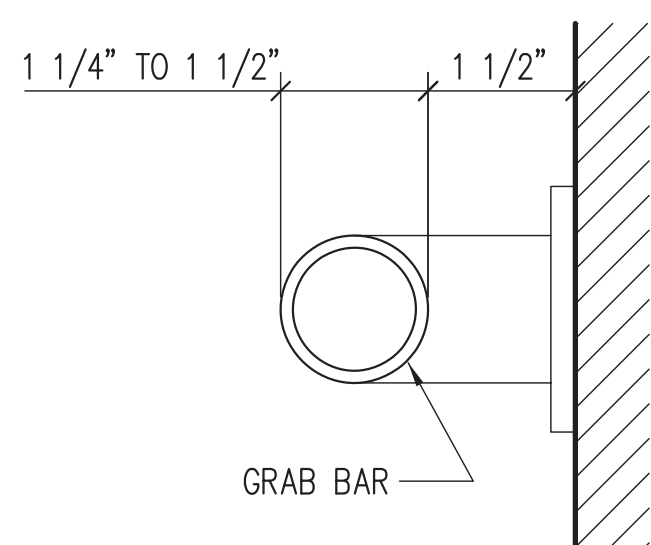
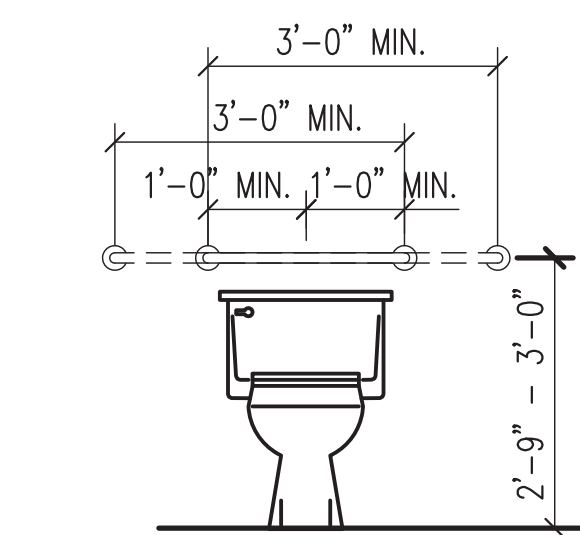
DWN BY T.F.
 SCALE 1/4"=1'-0"
 DATE 7/13/15
 PROJECT # 12098
 Drawing #

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ACCESSIBILITY DETAILS



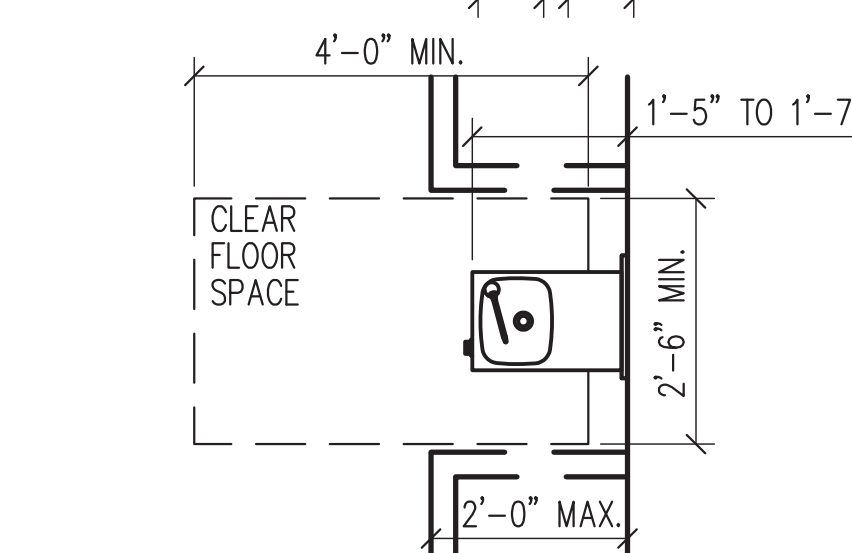
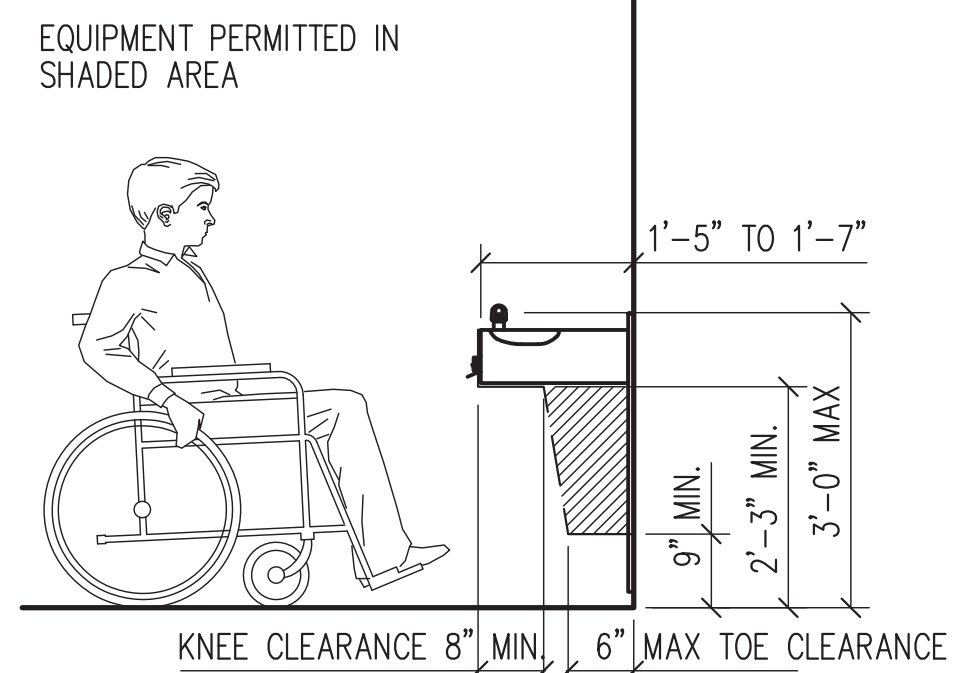
PROVIDE 3/4" THICK PLYWOOD BLOCKING BEHIND WALL FOR ANCHORAGE OF GRAB BAR.



SINK OR VANITY

SCALE: 1/4"=1'-0"

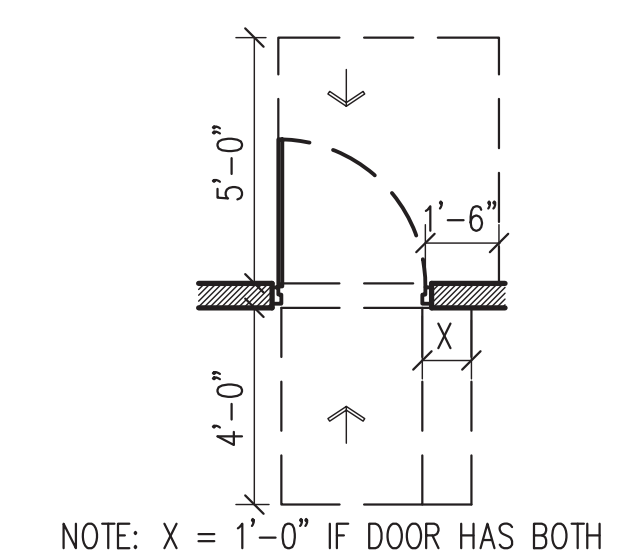
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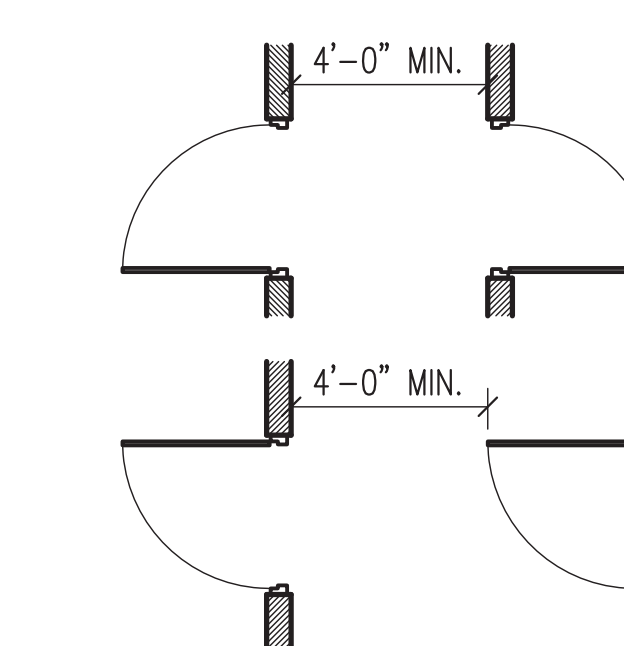
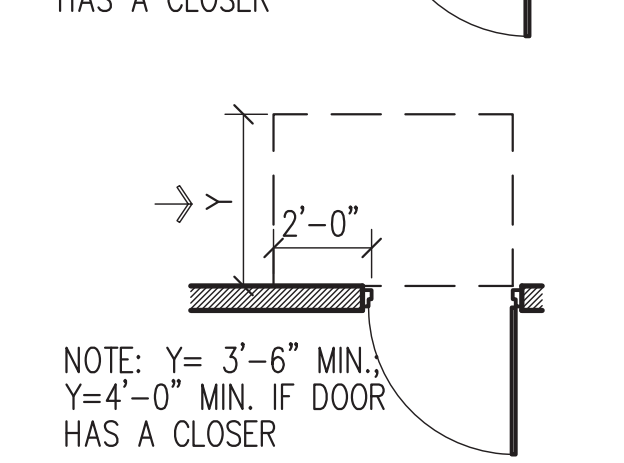
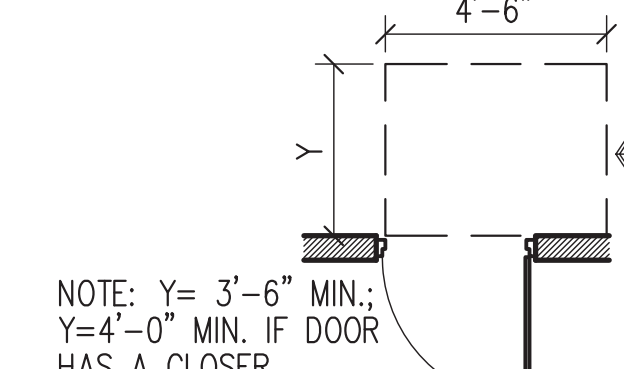
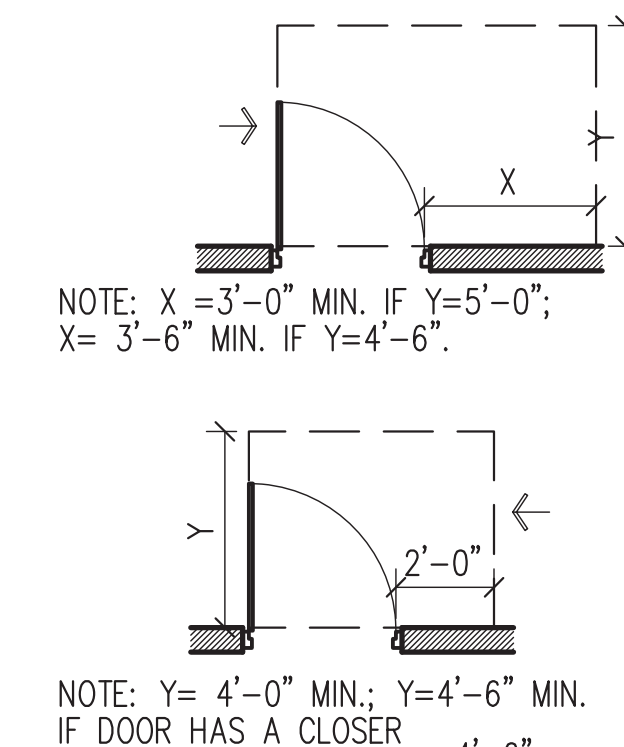
DRINKING FOUNTAIN

SCALE: 1/2"=1'-0"

4



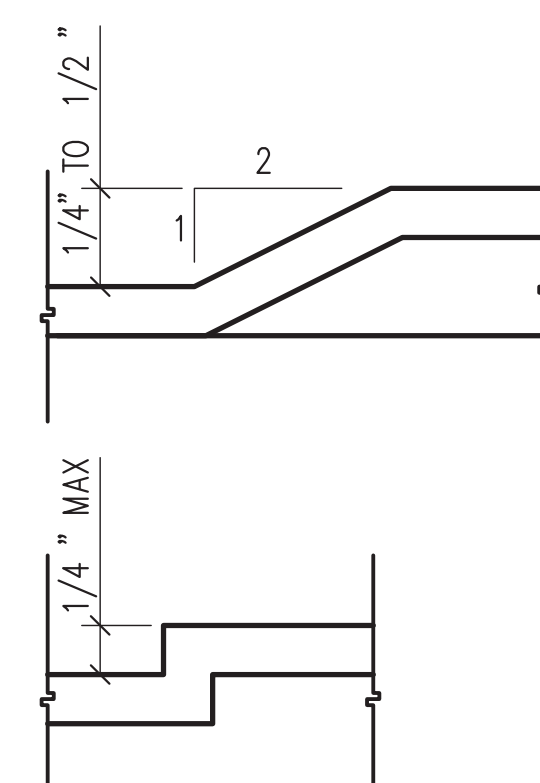
NOTE: X = 1'-0" IF DOOR HAS BOTH A CLOSER AND A LATCH



CLEARANCES

SCALE: 1/4"=1'-0"

6



THRESHHOLDS

SCALE: FULL

5

PROTRUDING OBJECTS

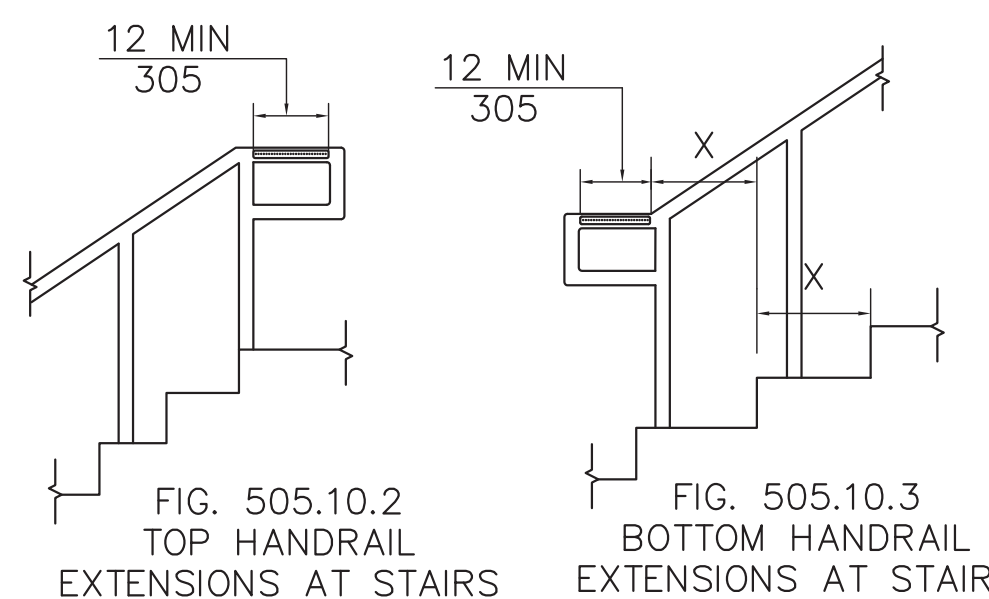
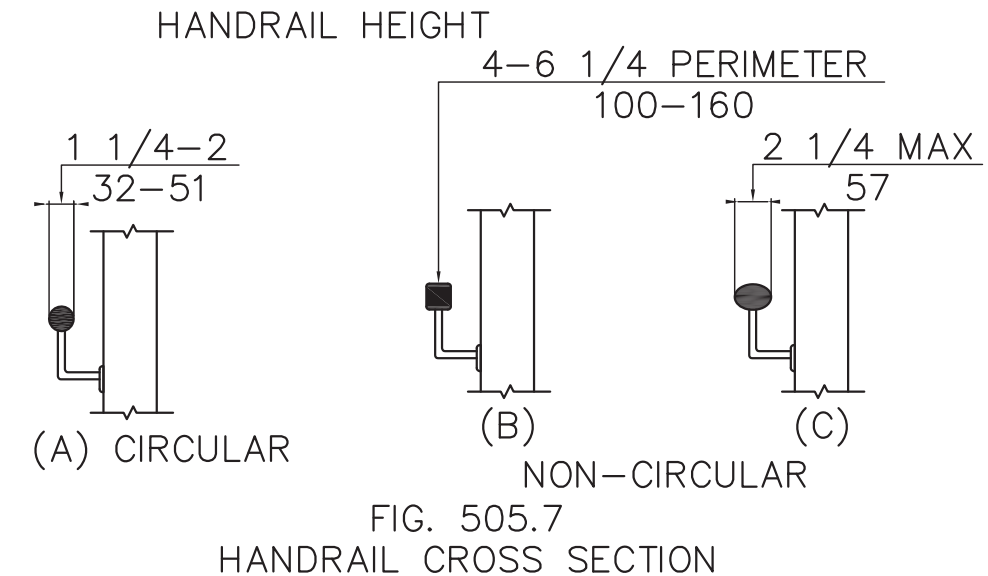
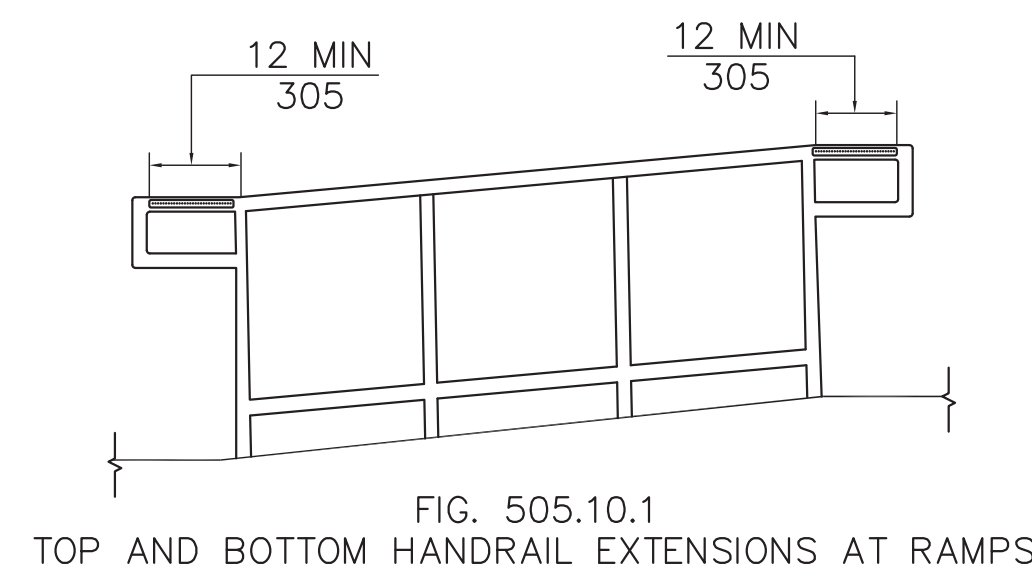
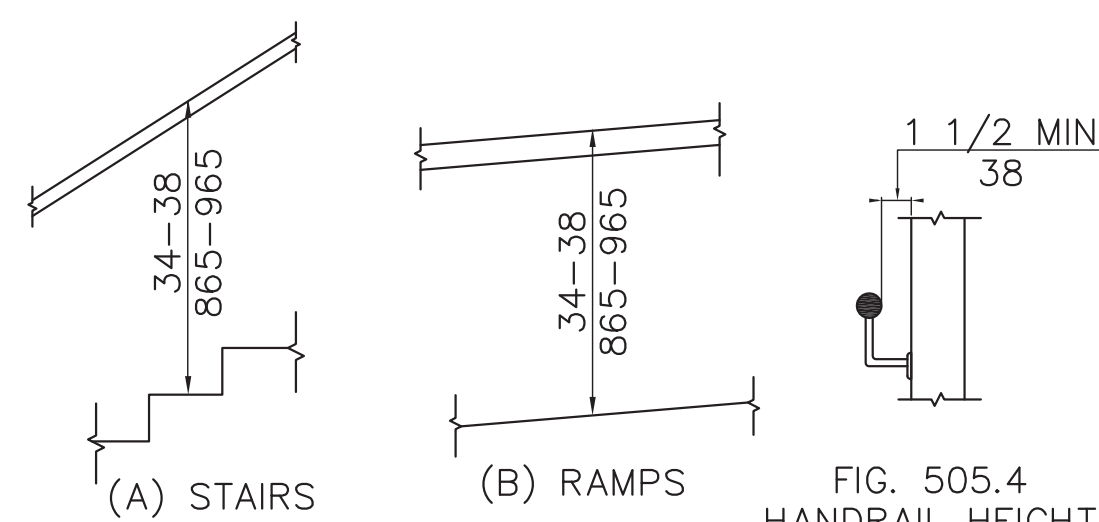
SCALE: 1/4"=1'-0"

7

SINGLE USER TOILET

SCALE: 1/2"=1'-0"

1



HANDRAIL DETAILS

NOT TO SCALE

2

ACCESSIBILITY NOTES

- IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS OR SPECIAL ACCESS LIFTS.
- FLOOR SURFACES SHALL BE SLIP-RESISTANT.
- EVERY CORRIDOR AND AISLE SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NOT LESS THAN 44" IN WIDTH.
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" IN HEIGHT. LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. BEVEL OTHERS WITH A SLOPE NO GREATER THAN 1:2.
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. MOUNT DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE FLOOR FINISH.
- CENTER HAND ACTIVATED DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE THE FLOOR.
- MAXIMUM PULL OR PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS. CORRESPONDING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. MAXIMUM EFFORT TO OPERATE REQUIRED FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.
- THE BOTTOM 10" OF ALL DOORS (EXCEPT SLIDING AND AUTOMATIC) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. PROVIDE A 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF NARROW FRAME DOORS.
- EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE NOT LESS THAN 3' IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32".
- WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- IDENTIFY ACCESSIBLE ENTRANCES WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.
- THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 44" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION.
- FLOORS OR LANDINGS SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- TO ALERT THE VISUALLY IMPAIRED, MARK THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR WITH A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" WIDE, PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- CENTER ELECTRICAL RECEPTACLE OUTLETS NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM.
- SANITARY FACILITIES LOCATED ON AN ACCESSIBLE FLOOR OF A BUILDING SHALL BE ACCESSIBLE TO THE PHYSICALLY HANDICAPPED.
- ENTRY TO SANITARY FACILITIES:
 - 44" CLEAR AISLES OR CORRIDORS WHERE OCCUPANT LOAD IS 10 OR MORE
 - DOORWAYS TO HAVE A 32" CLEAR OPENING
 - ON APPROACH SIDE, PROVIDE A 60" CLEAR LEVEL SPACE WHEN DOOR SWINGS TOWARD APPROACH AND 44" SPACE WHEN DOOR SWINGS AWAY FROM APPROACH.
- TOILET ROOM ACCESSORIES
 - MOUNT BOTTOM EDGE OF MIRRORS NO HIGHER THAN 40" FROM THE FLOOR.
 - MOUNT TOILET TISSUE DISPENSERS WITHIN 12" FROM THE FRONT EDGE OF THE TOILET SEAT.
 - MOUNT DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY NAPKINS, WASTE, COIN SLOTS, ETC.) WITH OPERATING PARTS NO HIGHER THAN 40" FROM THE FLOOR.
- SINGLE ACCOMMODATION TOILET FACILITY
 - WATER CLOSET TO HAVE A 28" CLEARANCE FROM A FIXTURE AND 32" FROM A WALL.
 - MINIMUM CLEAR SPACE IN FRONT OF WATER CLOSET TO BE 48".
 - A SPACE 36" X 48" IS PERMITTED IN FRONT OF EXISTING WATER CLOSET ACCESSIBLE TO THE HANDICAPPED.
- THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) SHALL BE BETWEEN 17" AND 19".
- MOUNT FLUSH VALVE CONTROL NO MORE THAN 44" ABOVE THE FLOOR, ON THE SIDE OF THE TOILET WITH THE GREATEST SEPARATION FROM ADJACENT WALL OR OTHER SURFACE.
- PROVIDE GRAB BARS ON EACH SIDE, OR ONE SIDE AND BACK OF WATER CLOSET.
 - GRAB BARS TO BE 33" ABOVE AND PARALLEL TO THE FLOOR.
 - SIDE BARS TO BE 42" LONG AND PROJECT 24" IN FRONT OF WATER CLOSET STOOL. GRAB BAR AT BACK TO BE 36" LONG.
 - DIAMETER OF GRAB BARS TO BE 1-1/4" TO 1-1/2".
 - PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL.
 - GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250 POUND LOAD.
 - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
 - GRAB BARS AND ANY ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.
 - EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".
- PROVIDE A CLEAR FLOOR SPACE 30" X 48" IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH.
- MOUNT LAVATORIES WITH A MINIMUM CLEARANCE OF 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON. PROVIDE KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30" IN WIDTH WITH 8" MINIMUM WIDTH, AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR A MINIMUM OF 17" DEEP FROM THE FRONT OF THE LAVATORY.
- FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF CLOSING ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
- INSULATE OR OTHERWISE COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES.
- THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

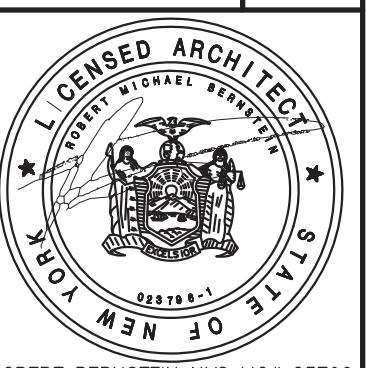
THESE DRAWINGS ARE FOR THIS SPECIFIC BUILDING SITE ONLY AND MAY BE COPIED AS REFERRED FOR THIS PROJECT. NOT FOR CONSTRUCTION UNLESS SIGNED & SEALED BY ARCHITECT & APPROVED BY ALL AGENCIES HAVING JURISDICTION.

NO.	DATE	DESCRIPTION
1	02/08/16	ISSUED FOR BUILDING PERMIT SUBMITTAL

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COMMUNITY SERVICE
PROPOSED MIXED-USE BUILDING
176 MAPLE AVE
TOWN OF RAMAPO, ROCKLAND COUNTY, NY



DWN BY T.F.
SCALE AS NOTED
DATE 7/13/15
PROJECT # 12098
Drawing #

"WHEN DESIGN MATTERS"