

# GOODE AVE TOWNHOMES - Architectural Set



## PROJECT TEAM

**OWNER:**  
 BRED, INC.  
 7300 W 110TH STREET, 7TH FLOOR  
 OVERLAND PARK, KS 66210  
 TEL: (816) 984-2723  
 EMAIL: BPETERS@BRADSPED.COM  
 CONTACT: BRAD PETERS

**ARCHITECT:**  
 NSPJ ARCHITECTS, P.A.  
 3515 W. 75TH ST., SUITE 201  
 PRAIRIE VILLAGE, KS 66208  
 TEL: (913)-831-1415  
 FAX: (913)-831-1563  
 EMAIL: THOMBURG@NSPJARCH.COM  
 CONTACT: TIM HOMBURG, AIA

**LANDSCAPE ARCHITECT:**  
 NSPJ ARCHITECTS, P.A.  
 3515 W. 75TH ST., SUITE 201  
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 EMAIL: KMARTINOVIC@NSPJARCH.COM  
 CONTACT: KATIE MARTINOVIC

**STRUCTURAL ENGINEER:**  
 KEYSTONE KC ENGINEERING, LLC  
 1530 DUCK ROAD  
 GRANDVIEW, MO  
 TEL: (816) 287-1696  
 EMAIL:  
 CONTACT: ERIC STRACK

## PROJECT INFORMATION

**PROJECT ADDRESS:**  
 STREET ADDRESS: 1401 GOODE AVENUE  
 CITY: GRANDVIEW  
 COUNTY: JACKSON  
 STATE: MISSOURI

## ENERGY CODE SUMMARY:

**TABLE R402.1.2 - INSULATION & FENESTRATION REQUIREMENTS**  
 PLANS SHALL CONFORM TO THE PROVISIONS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AS AMENDED BY THE GOVERNING BODY OF THE CITY OF GRANDVIEW, MO.

BUILDING ELEMENT	MIN VALUE
CEILING	49
WALL - WOOD FRAME	20
FLOOR	19

## BUILDING DATA:

**DOUBLE UNIT TOWNHOMES:**  
 1ST FLR: 652 SF  
 2ND FLR: 792 SF  
 TOTAL LIVING AREA: 1,444 SF  
 GARAGE: 284 SF

**SINGLE UNIT HOMES:**  
 1ST FLR: 506 SF  
 2ND FLR: 458 SF  
 3RD FLR: 320 SF  
 TOTAL LIVING AREA: 1,284 SF

## PROJECT GENERAL NOTES

- A. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, CODES AND AMENDMENTS. NOTHING IN THE DRAWINGS OR SPECIFICATIONS SHALL BE CONSTRUED AS REQUIRING OR PERMITTING WORK CONTRARY TO THESE RULES, REGULATIONS, AND CODES.
- B. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL.
- C. DO NOT SCALE DRAWINGS. REFER TO WRITTEN DIMENSIONS. IF DIMENSIONS APPEAR TO BE INSUFFICIENT OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT.
- D. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BY TAKING FIELD MEASUREMENTS. PROPER FIT AND ATTACHMENTS OF ALL SPECIFIED ITEMS AND WORK IS REQUIRED.
- E. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE DRAWINGS AND SPECIFICATIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. HOWEVER, WHERE A CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS OCCURS, WHICHEVER IS OF GREATER VALUE AND/OR QUANTITY WILL TAKE PRECEDENT. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.
- F. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. CONTRACTOR AND EACH SUBCONTRACTOR SHALL INSTALL ALL THEIR MATERIALS IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS TO MEET PRODUCT WARRANTY REQUIREMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- G. THE CONTRACTOR AND EACH SUBCONTRACTOR AFFIRMATIVELY REPRESENTS THAT THEY ARE SKILLED AND EXPERIENCED IN THE PERFORMANCE OF WORK AS REQUIRED BY THIS PROJECT AND IN THE USE AND INTERPRETATION OF DRAWINGS AND SPECIFICATIONS SUCH AS THOSE INCLUDED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR AGREES THAT IT SHALL BE CONCLUSIVELY PRESUMED THAT THE CONTRACTOR HAS EXERCISED HIS AFOREMENTIONED SKILL AND EXPERIENCE AND HAS FOUND THE DRAWINGS AND SPECIFICATIONS SUFFICIENT AND FREE FROM AMBIGUITIES, ERRORS, DISCREPANCIES, AND OMISSIONS FOR THE PURPOSE OF DETERMINING ITS CONTRACT FOR THE PERFORMANCE OF THE WORK IN CONFORMITY WITH THE DRAWINGS, SPECIFICATIONS, AND ALL OTHER CONTRACT DOCUMENTS.
- H. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND ARE RESPONSIBLE FOR ALL WORK PERTAINING TO THEIR TRADE REGARDLESS OF DRAWING OR SECTION OF SPECIFICATIONS IT IS WRITTEN OR DEPICTED IN. ALL COSTS SUBMITTED AND WORK PERFORMED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS WHETHER FULLY DEFINED BY THE DRAWINGS AND SPECIFICATIONS OR NOT. ANY DISCREPANCY AND/OR UNCERTAINTY SHOULD BE VERIFIED WITH THE ARCHITECT.
- I. IN NO CASE SHALL ANY CONTRACTOR PROCEED WITH WORK IN UNCERTAINTY.
- J. IF THE CONTRACTOR OR THE OWNER SELECTS OR SUBSTITUTES ANY ASSEMBLY, SYSTEM, PRODUCT, MATERIAL, OR DESIGN FOR THE PROJECT WITHOUT OR AGAINST THE ARCHITECT'S APPROVAL, THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THAT DECISION BY THE CONTRACTOR OR OWNER OR FOR THE PERFORMANCE OF SUCH ITEMS, AND THE ARCHITECT SHALL NOT BE REQUIRED TO ISSUE ANY OPINION OR CERTIFICATE WITH RESPECT TO SUCH ITEMS.
- K. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF WORK BETWEEN ALL TRADES AND WILL IDENTIFY ALL BLOCKING, SURFACE PREPARATION AND SIMILAR ITEMS THAT ARE NECESSARILY PROVIDED BY ONE TRADE TO FACILITATE THE WORK OF ANY OTHER. ALL TRADES WILL BE REQUIRED TO REPORT ANY DEFICIENCIES ON THE PROJECT WHICH WOULD LEAD TO AN INCOMPLETE OR POOR-QUALITY FINISHED PRODUCT.
- L. EACH TRADE SHALL EXAMINE ALL SUBSURFACES AND WORK OF OTHERS THAT AFFECT THEIR INDIVIDUAL SCOPE OF WORK. REPORT IN WRITING, TO THE GENERAL CONTRACTOR, WITH A COPY TO THE ARCHITECT, ANY CONDITIONS, EXCEPT FOR UNFORESEEN EXISTING CONDITIONS, WHICH MAY PROVE DETRIMENTAL TO THE WORK. FAILURE TO OBSERVE THIS INJUNCTION WILL CONSTITUTE A WAIVER TO ANY SUBSEQUENT CLAIMS TO THE CONTRARY AND MAKE THIS CONTRACTOR RESPONSIBLE FOR ANY CORRECTION ARCHITECT MAY REQUIRE. COMMENCEMENT OF WORK WILL BE CONSTRUED AS ACCEPTANCE OF ALL SUBSURFACES.
- M. CONTRACT DOCUMENTS DO NOT ILLUSTRATE EVERY CONDITION; WORK NOT EXPRESSLY DETAILED SHALL BE CONSTRUCTED SIMILAR TO PARTS THAT ARE DETAILED. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH WORK. WHENEVER THE CONTRACT DOCUMENTS REASONABLY IMPLY MATERIALS OR INSTALLATION AS NECESSARY TO PRODUCE THE INTENDED RESULTS, BUT DO NOT FULLY DETAIL OR SPECIFY SUCH MATERIALS, THE CONTRACTOR SHALL PROVIDE THE MATERIALS AND LABOR REQUIRED FOR INSTALLATION NONETHELESS.
- N. CONTRACT DOCUMENTS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. PROVIDE PRODUCTS COMPLETE WITH ACCESSORIES, TRIM, FINISH FASTENERS, AND OTHER ITEMS NEEDED FOR A COMPLETE INSTALLATION AND INDICATED USE AND EFFECT.
- O. DESIGN INTENT INCLUDES CONCEALING ALL PIPES, CONDUITS, DUCT LINES, ETC. ABOVE FINISHED SOFFIT/CEILING OR WITHIN WALLS AND CHASES, U.N.O.
- P. THESE NOTES ARE NOT INTENDED TO LIMIT THE RESPONSIBILITIES OF THE CONTRACTOR AS DEFINED ELSEWHERE IN THE CONTRACT DOCUMENTS.
- Q. DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
- R. PROVIDE ALL WORK INDICATED UNLESS SPECIFICALLY NOTED AS "NOT IN CONTRACT" (NIC), "FURNISHED BY OTHERS" (FBO) OR EXISTING.

Approved \_\_\_\_\_  
 Owner's Representative

Approved \_\_\_\_\_  
 Community Development Director,  
 City of Grandview

Approved \_\_\_\_\_  
 Public Works Department,  
 City of Grandview

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ARCHITECTURE  
 LANDSCAPE  
 ARCHITECTURE  
 ENERGY SERVICES  
 P. 913-831-1415  
 F. 913-831-1563  
 NSPJARCH.COM  
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NSPJ  
 ARCHITECTS™  
 3515 W. 75TH ST., SUITE 201  
 PRAIRIE VILLAGE, KS 66208



A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
 1401 GOODE AVE. GRANDVIEW, MISSOURI

DRAWING RELEASE LOG  
 06.08.23 - STRUCTURAL KICKOFF  
 02.13.24 CITY SUBMITTAL

REVISIONS  
 1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. DATE  
**736623 06.06.2024**  
 DRAWN BY  
**TWH, MLM, NSO**

SHEET NAME  
**COVER SHEET**

SHEET NO.

**A0.00**

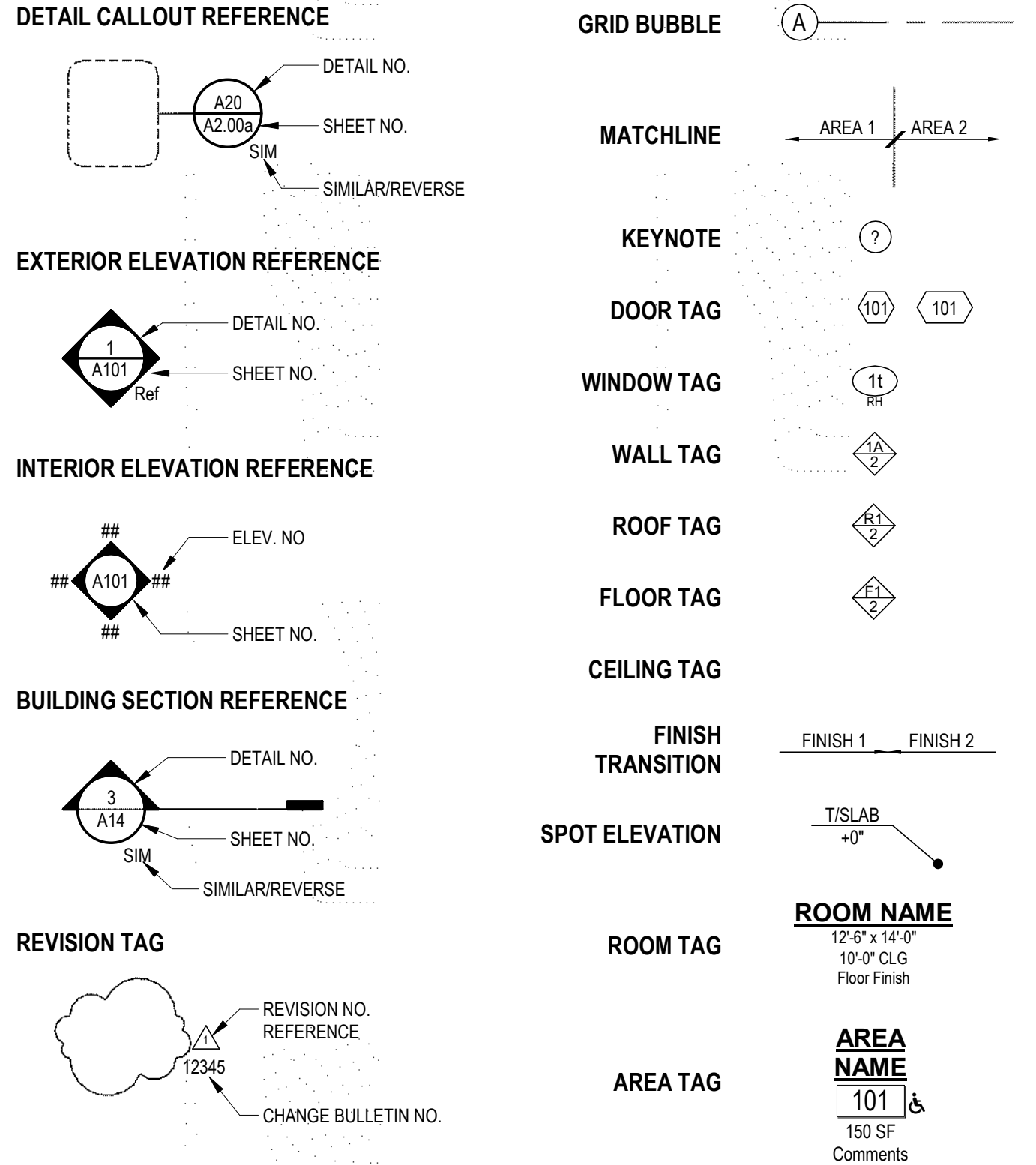
ABBREVIATIONS

Table of abbreviations for architectural and construction terms, including # POUND OR NUMBER, & AND, 1R1SH ONE ROD, ONE SHELF, etc.

CONSTRUCTION NOTES

- GENERAL REQUIREMENTS: ALL WORK INCLUDED, INCLUDING ALL MATERIALS AND WORKMANSHIP, SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE LAWS, CODES, ORDINANCES, AND STANDARDS OF ALL LOCAL, STATE AND NATIONAL JURISDICTIONS... THERMAL & MOISTURE PROTECTION (CONT.): WEATHERSTRIP DOORS, USE LOW-EXPANDING FOAM AROUND DOORS AND WINDOWS AND FLASH ALL MEP PENETRATIONS IN THE W.R.B....

SYMBOL LEGEND



ARCHITECTURE LANDSCAPE ARCHITECTURE ENERGY SERVICES ARCHITECTS INC. 3515 W. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208



A NEW DEVELOPMENT: GOODE AVE. TOWNHOMES 1401 GOODE AVE. GRANDVIEW, MISSOURI

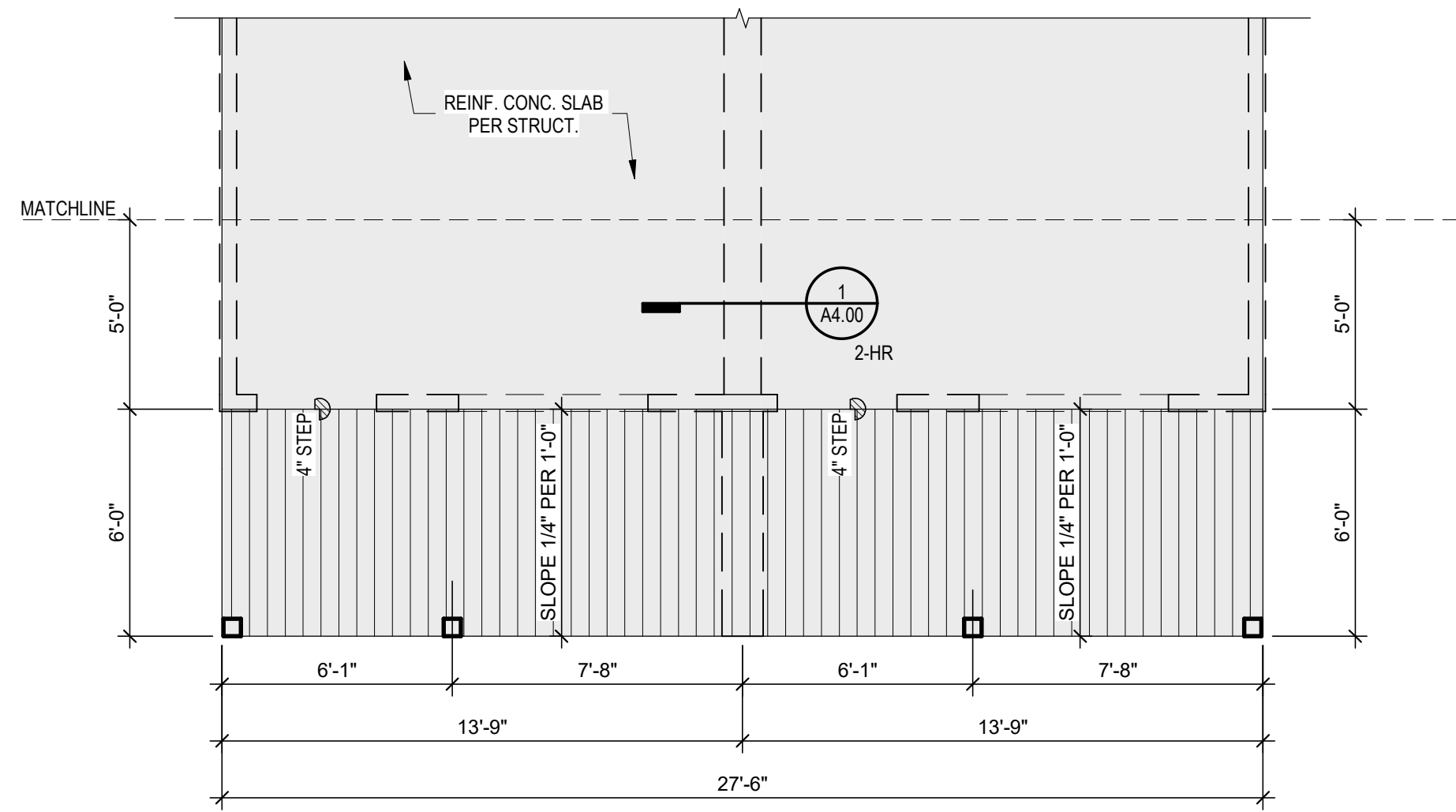
DRAWING RELEASE LOG 06.08.23 - STRUCTURAL KICKOFF 02.13.24 CITY SUBMITTAL

REVISIONS 1 01.22 CITY SUBMITTAL RESPONSE 1

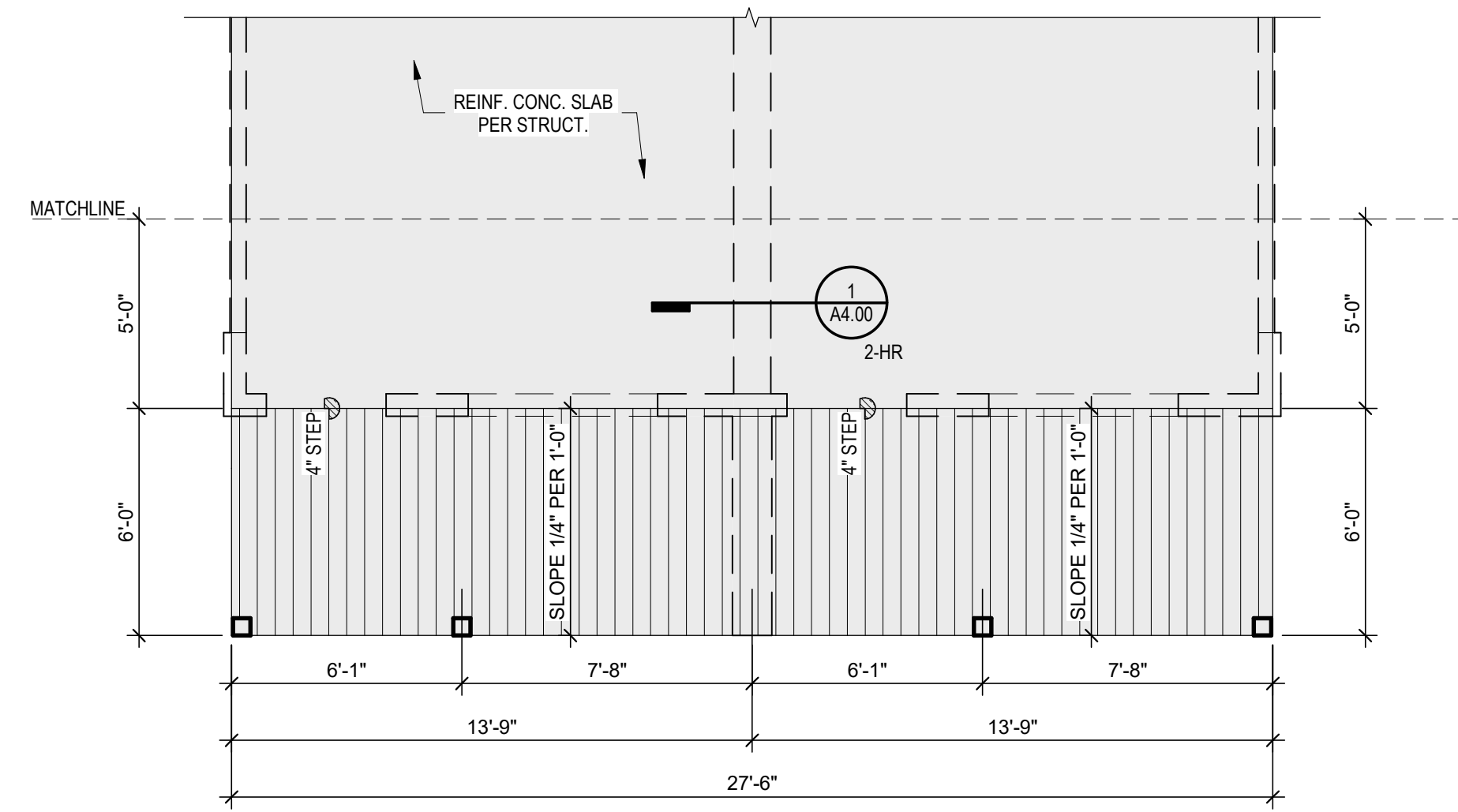
JOB NO. 736623 DATE 06.06.2024 DRAWN BY TWH, MLM, NSO

SHEET NAME PROJECT STANDARDS

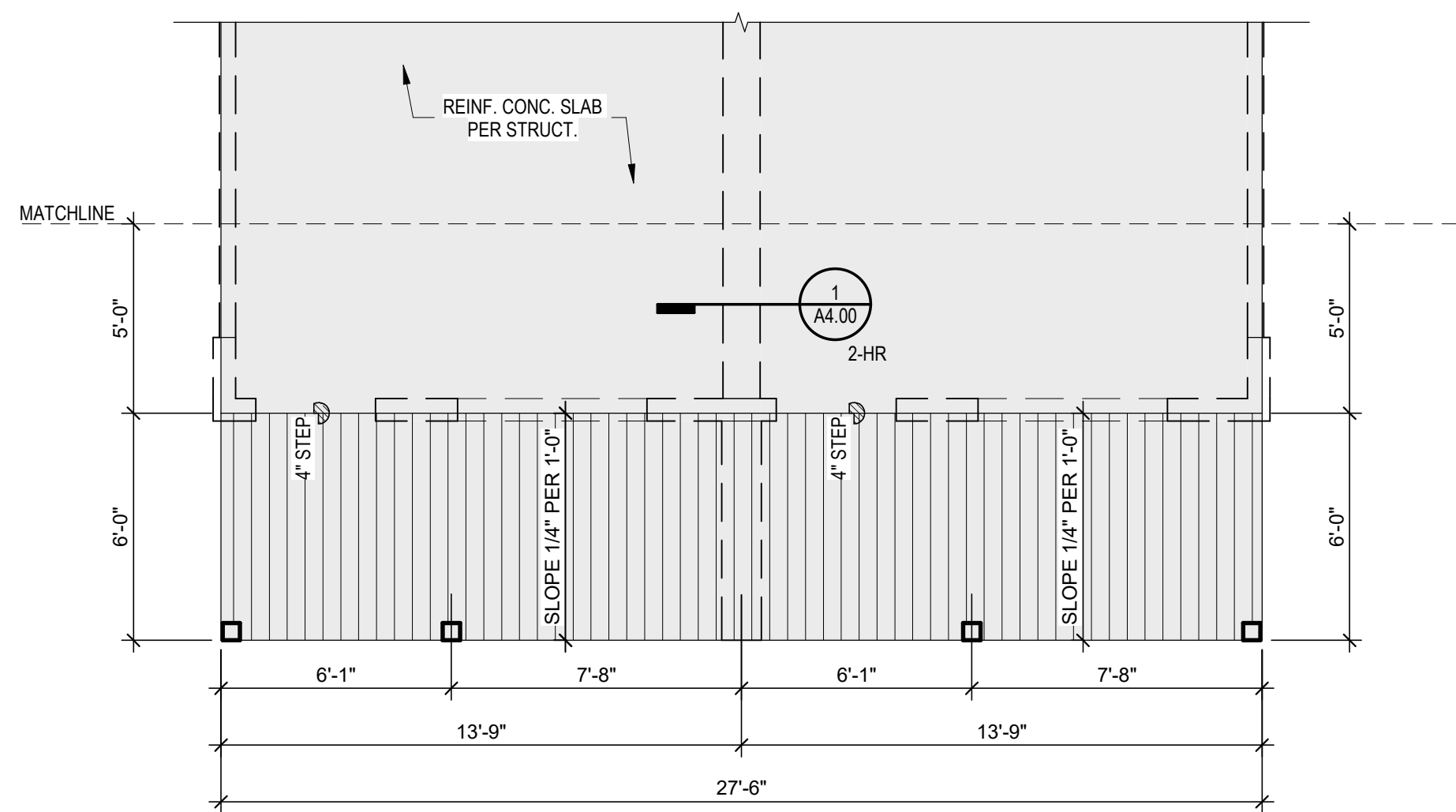
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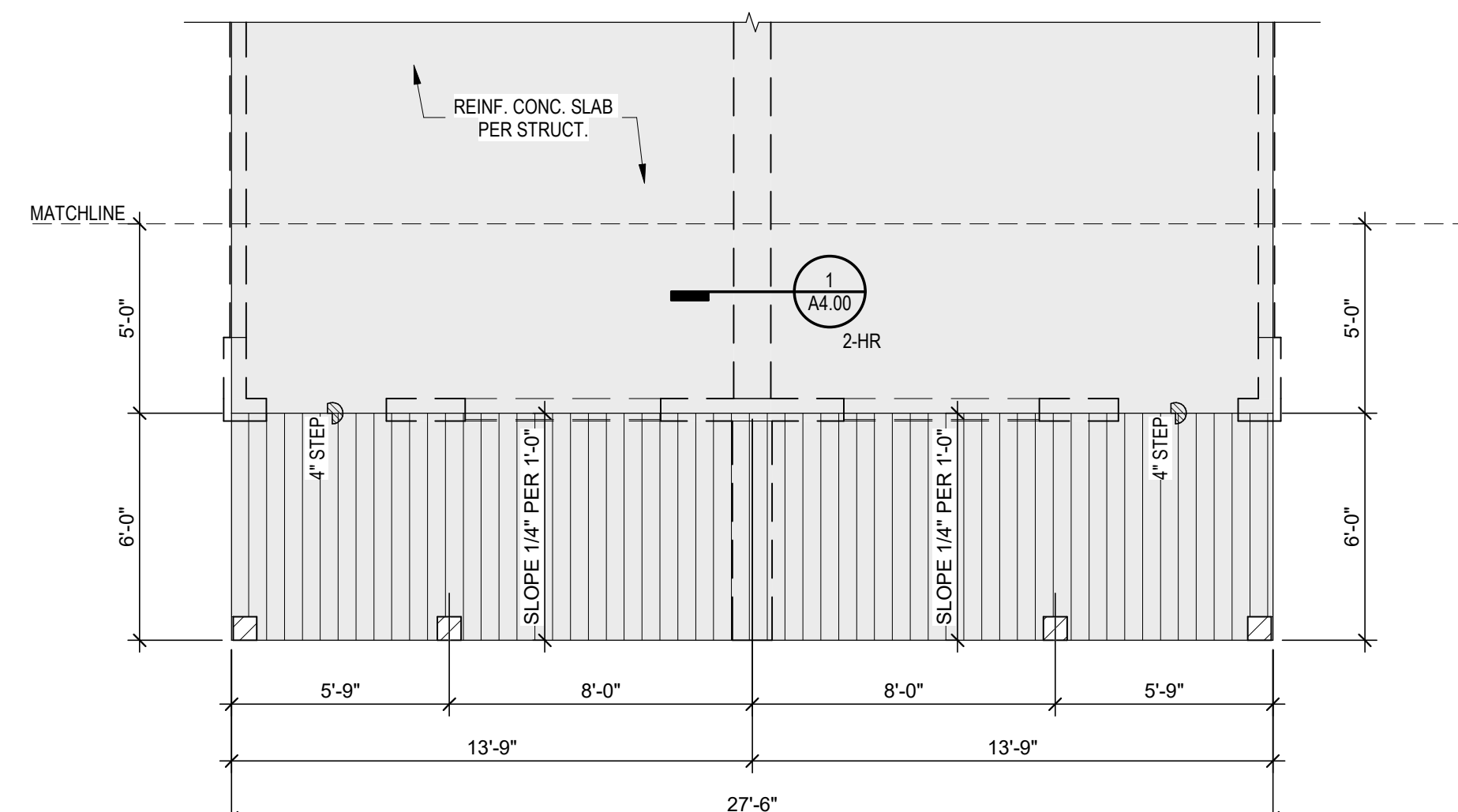
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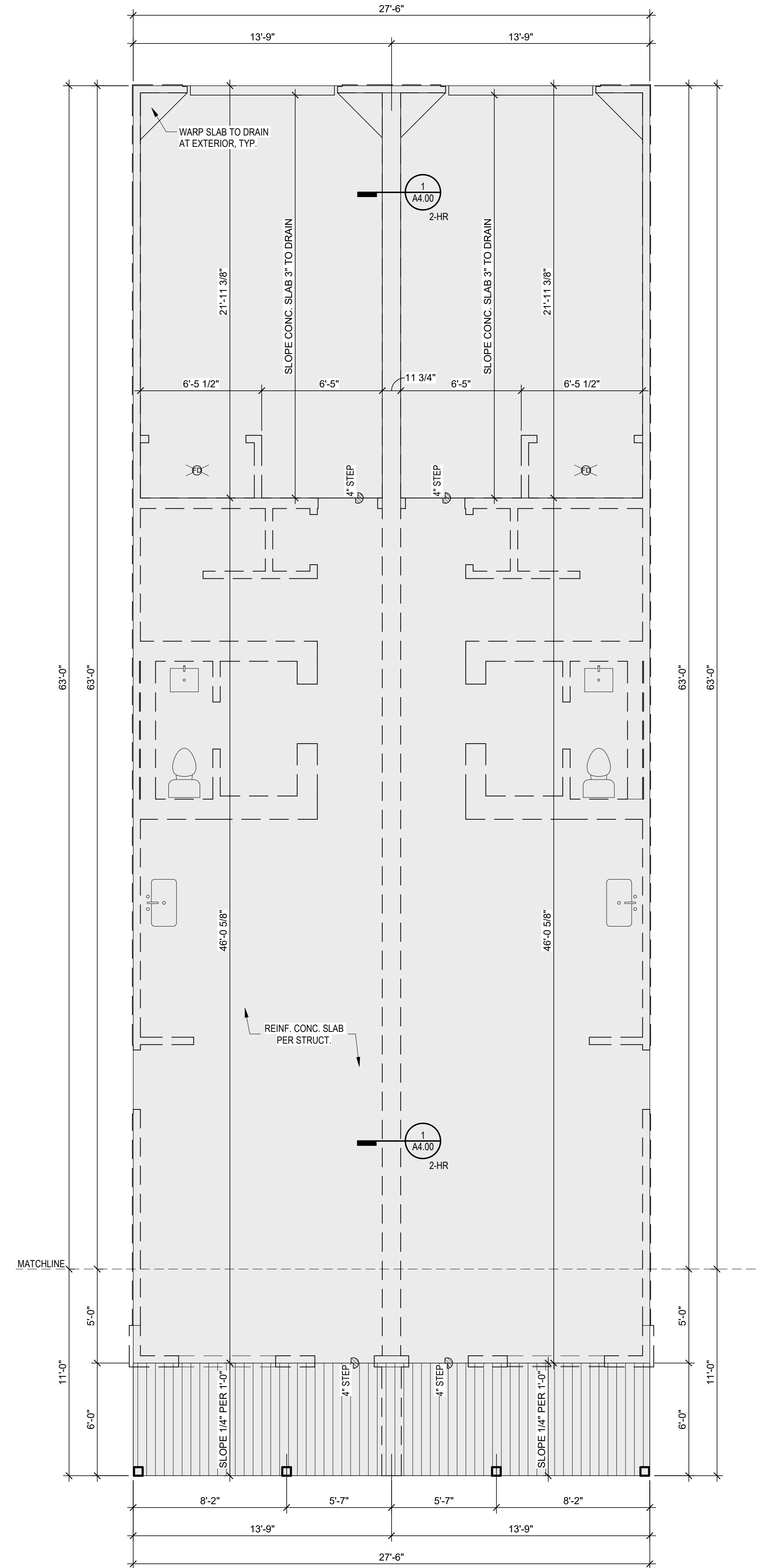
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1/4" = 1'-0"



3 DOUBLE UNIT - OPTION 3  
1/4" = 1'-0"



2 DOUBLE UNIT - OPTION 2  
1/4" = 1'-0"



1 DOUBLE UNIT - OPTION 1  
1/4" = 1'-0"



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JOB NO. 736623 DATE 06.06.2024  
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SHEET NAME DOUBLE UNIT - SLAB PLANS  
SHEET NO.

**A1.00**



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**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

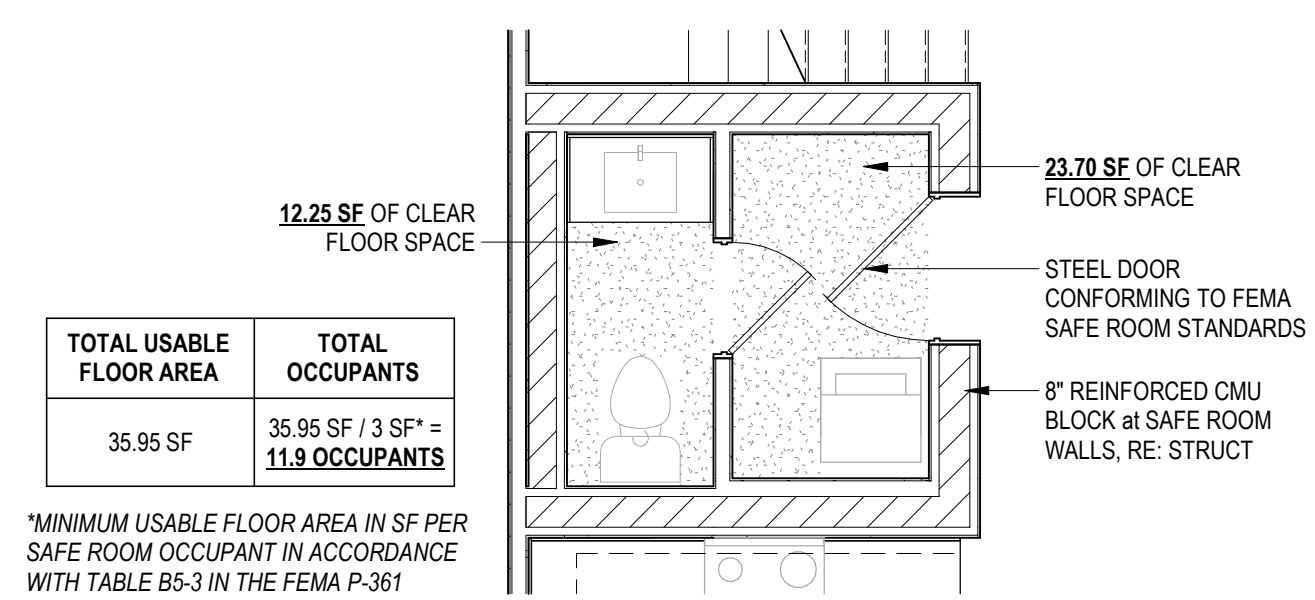
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REVISIONS  
1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. 736623 DATE 06.06.2024  
DRAWN BY TWH, MLM, NSO

SHEET NAME  
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SHEET NO.

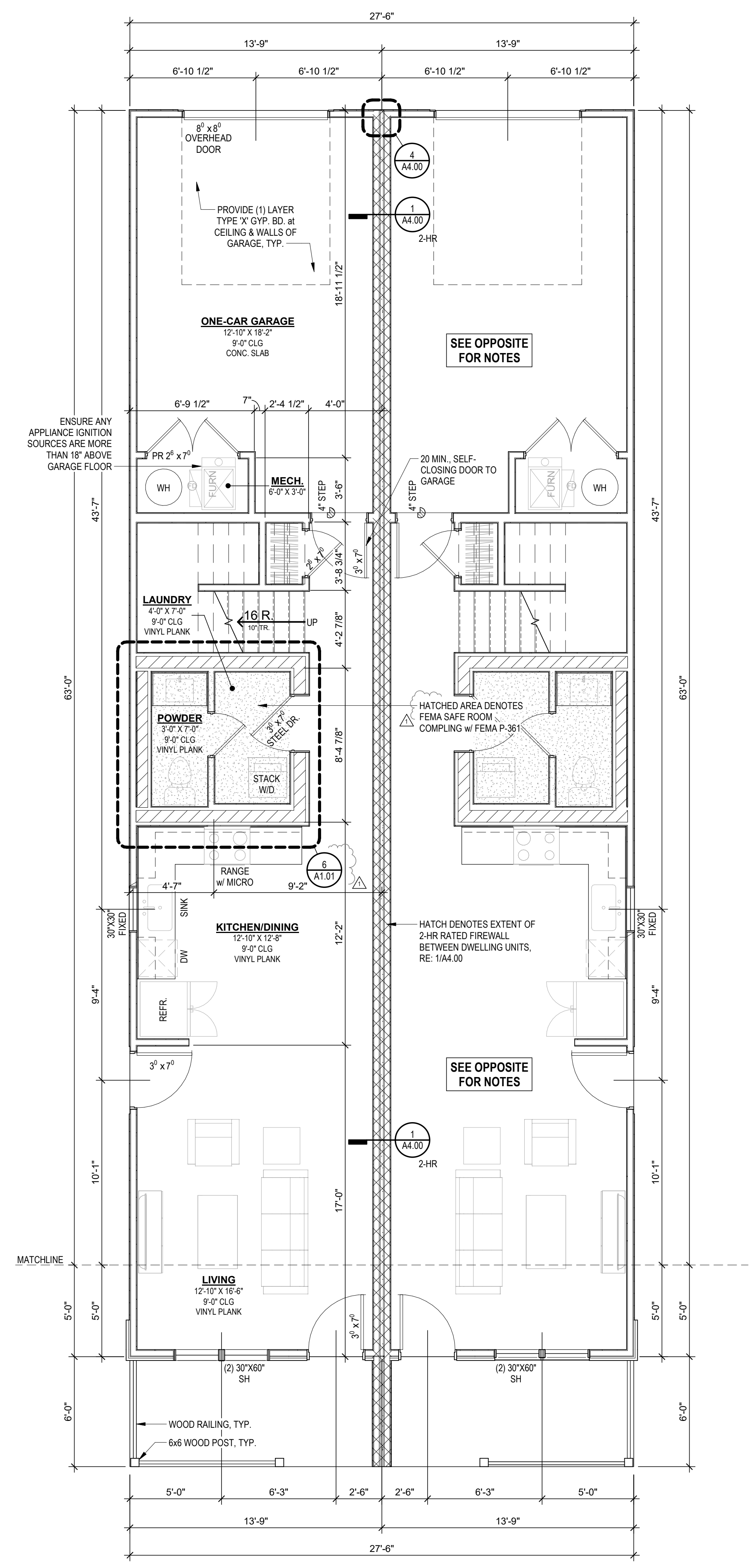
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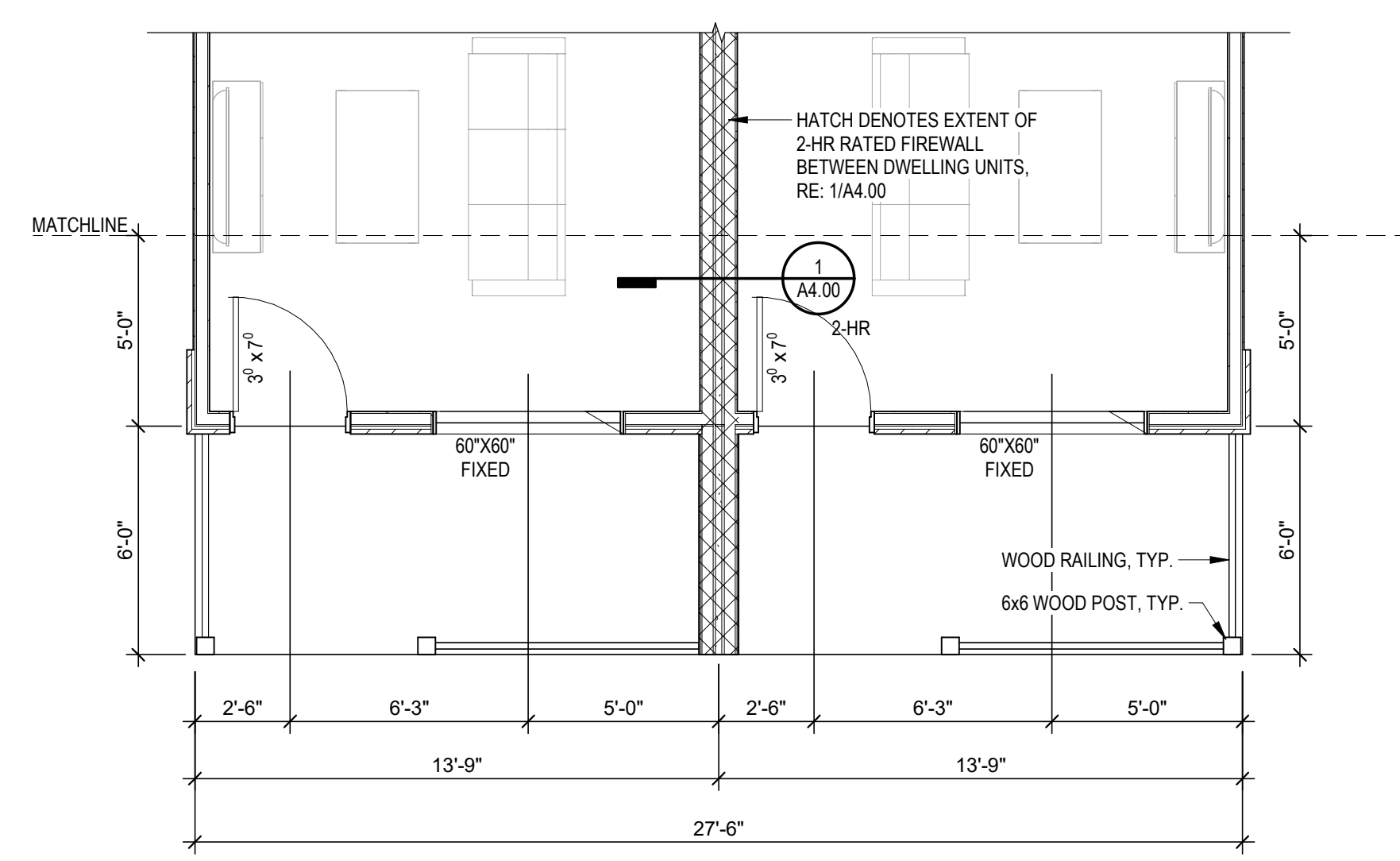
TOTAL USABLE FLOOR AREA	TOTAL OCCUPANTS
35.95 SF	35.95 SF / 3 SF* = 11.9 OCCUPANTS

\*MINIMUM USABLE FLOOR AREA IN SF PER SAFE ROOM OCCUPANT IN ACCORDANCE WITH TABLE B5-3 IN THE FEMA P-361

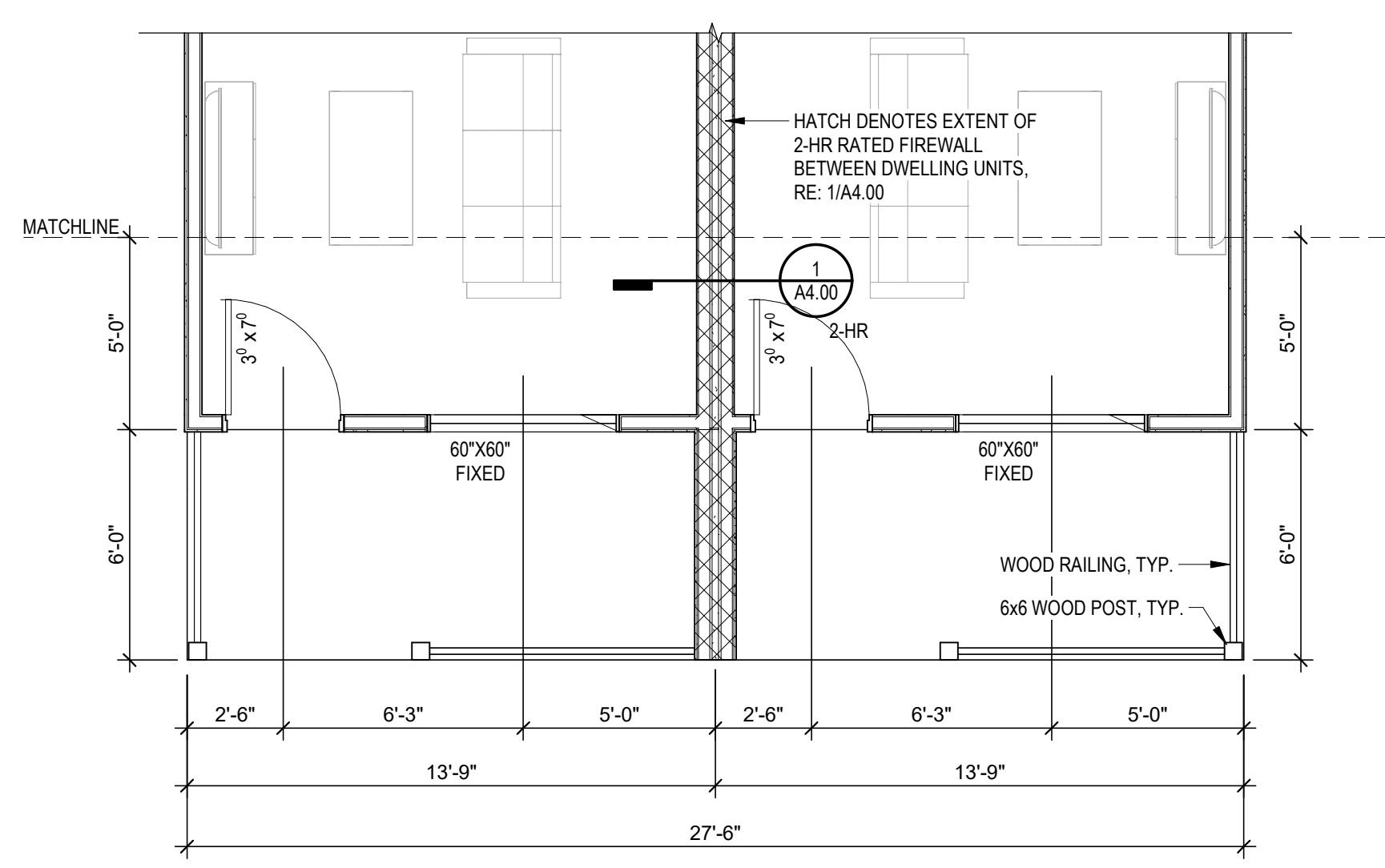
**6 FEMA SAFE ROOM PLAN**  
1/4" = 1'-0"



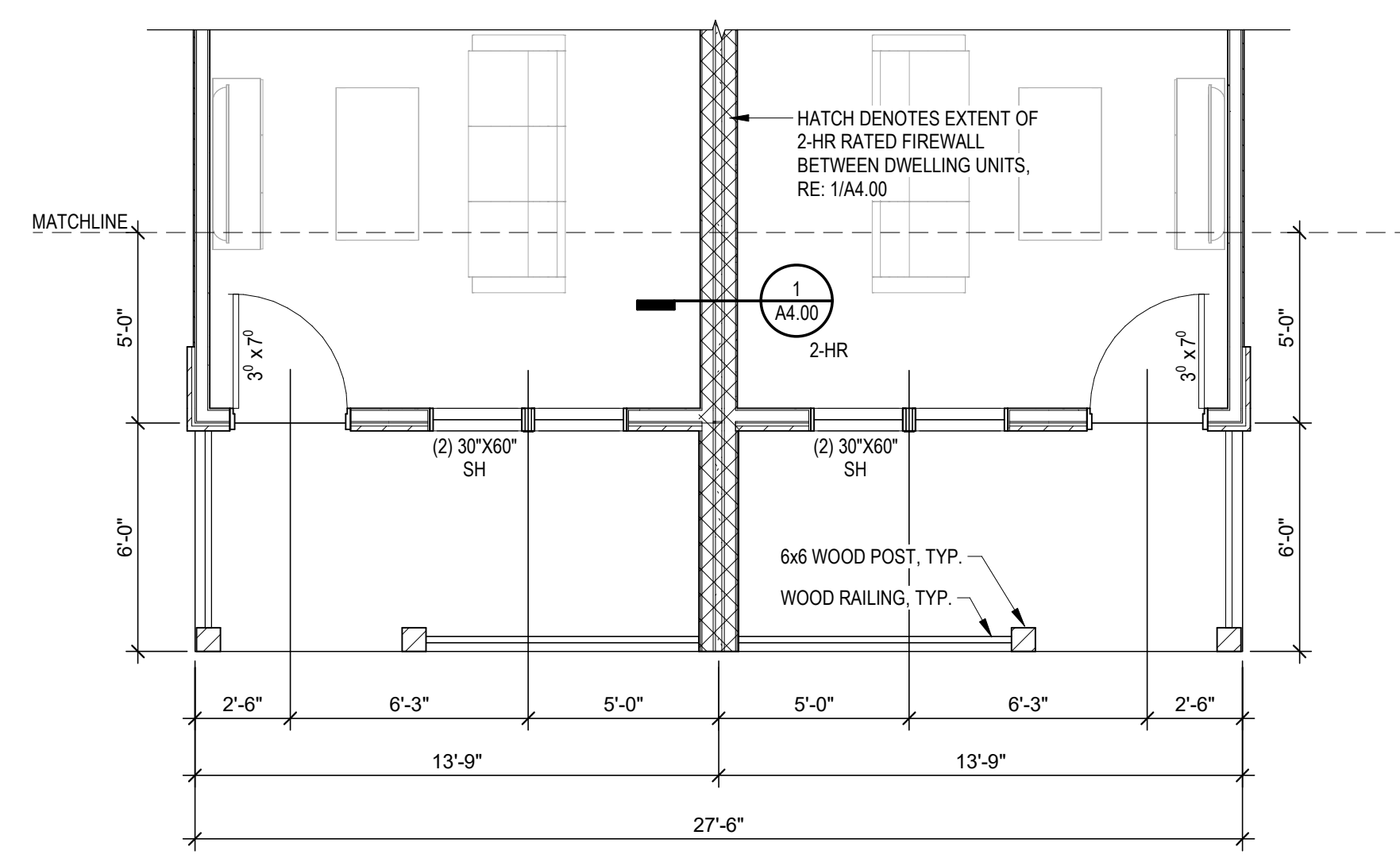
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1/4" = 1'-0"



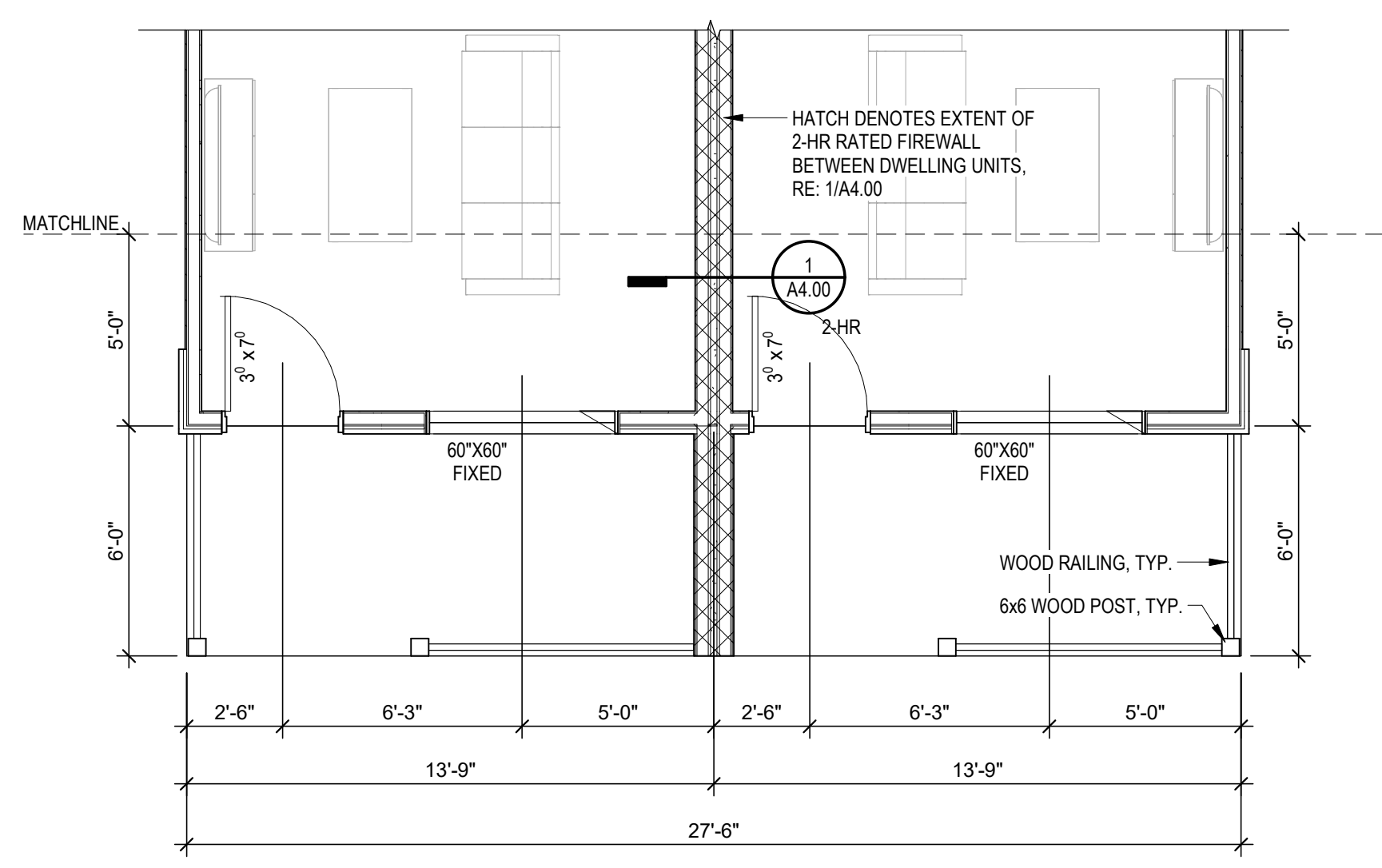
**4 DOUBLE UNIT - OPTION 4**  
1/4" = 1'-0"



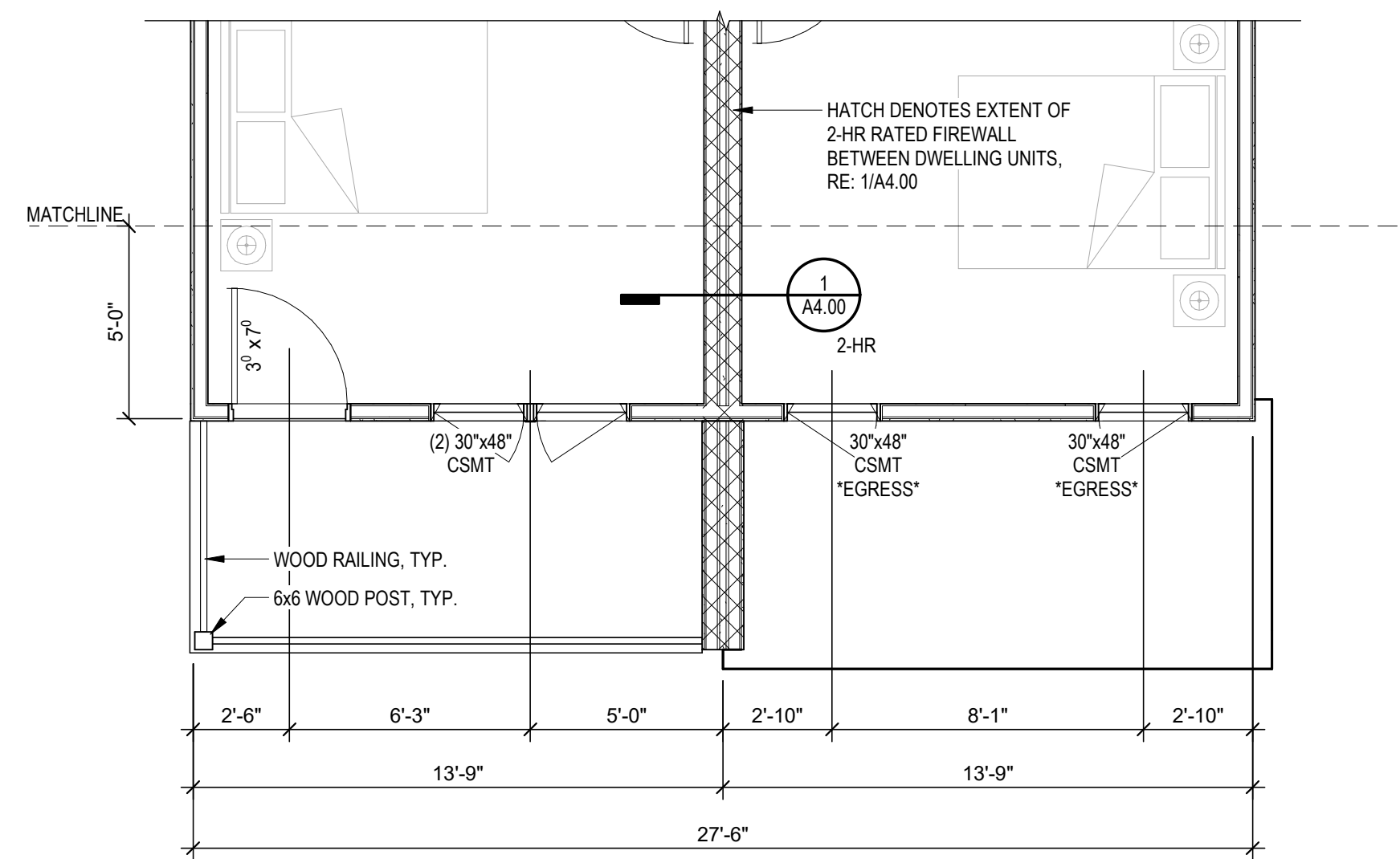
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1/4" = 1'-0"



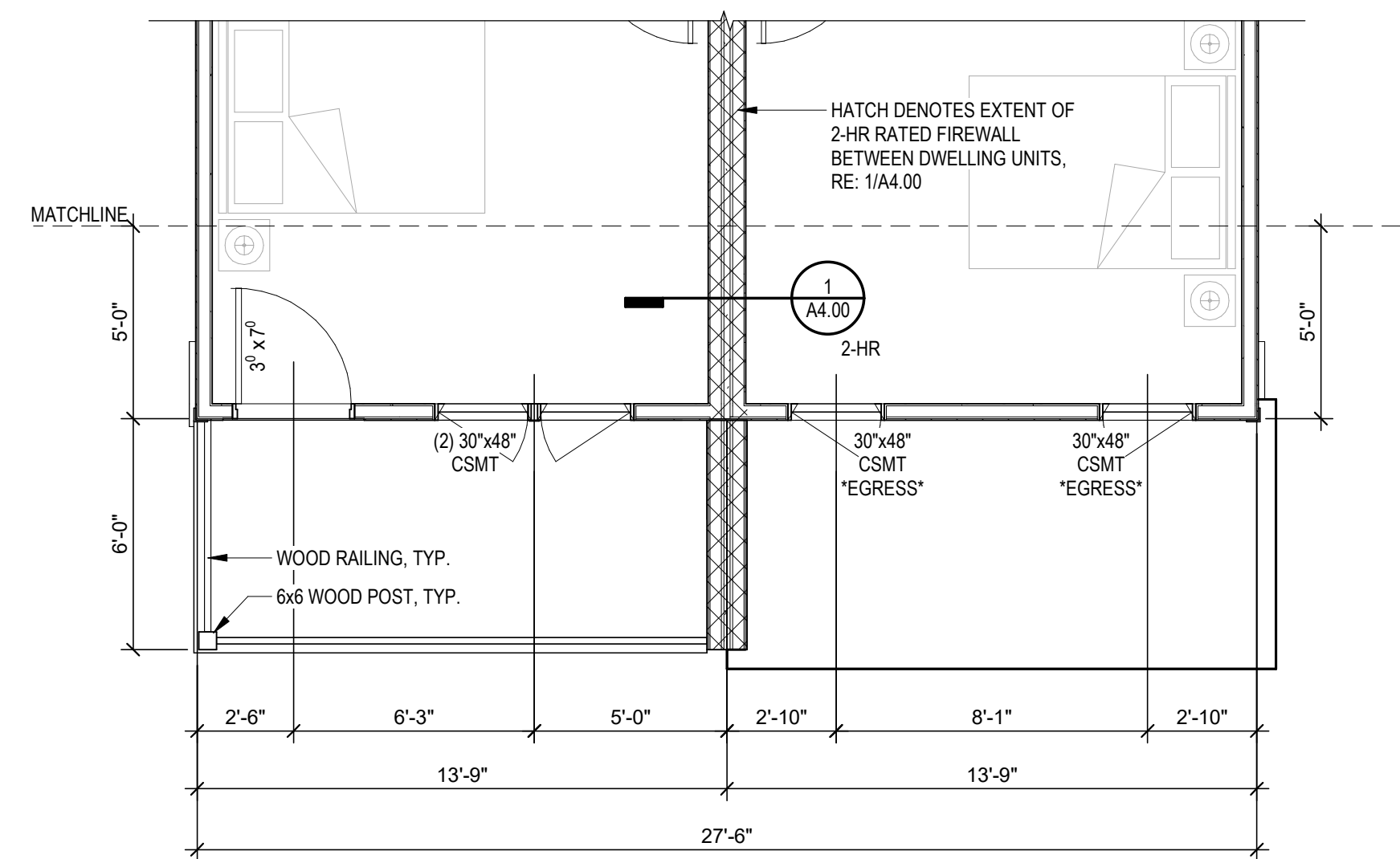
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1/4" = 1'-0"



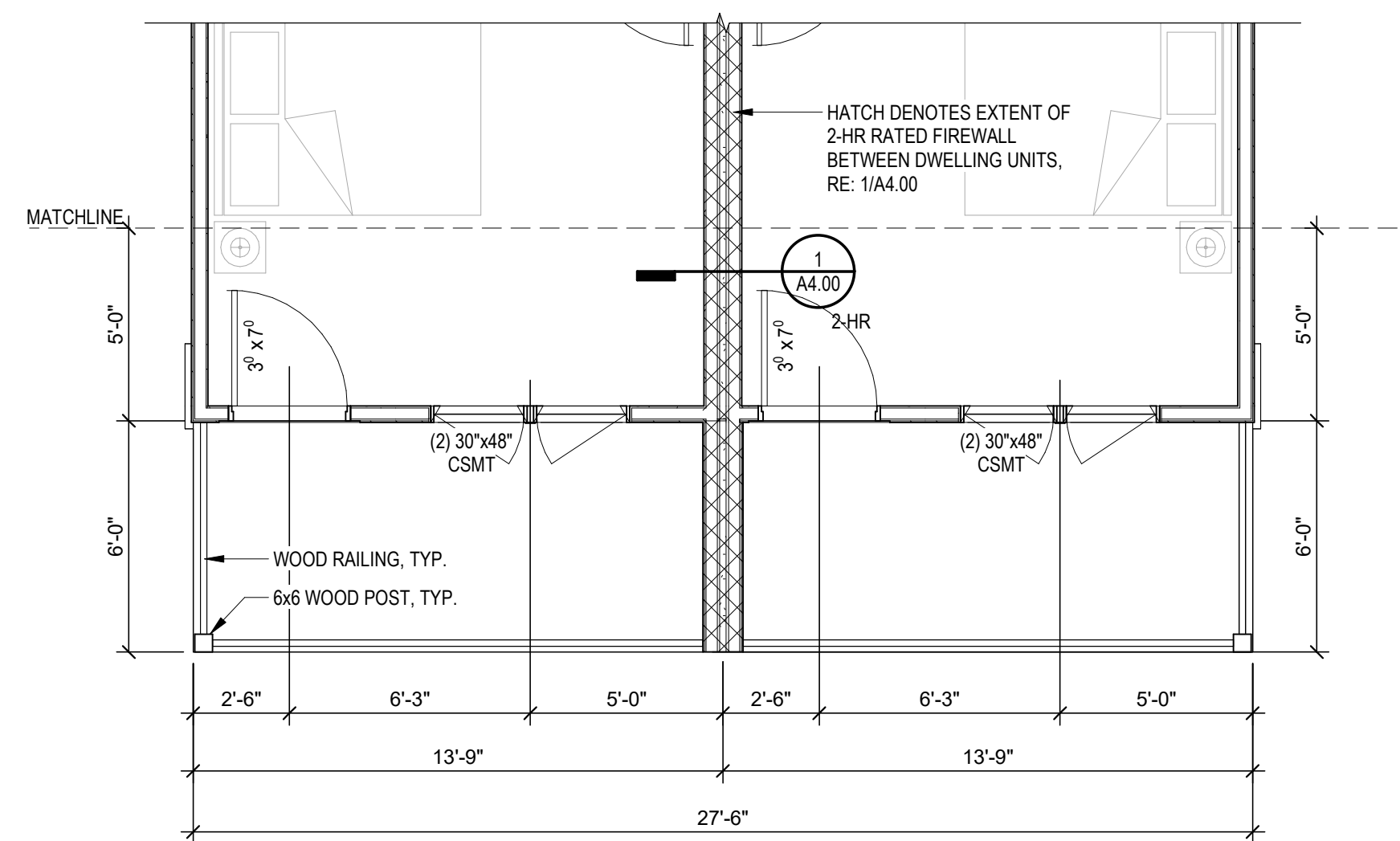
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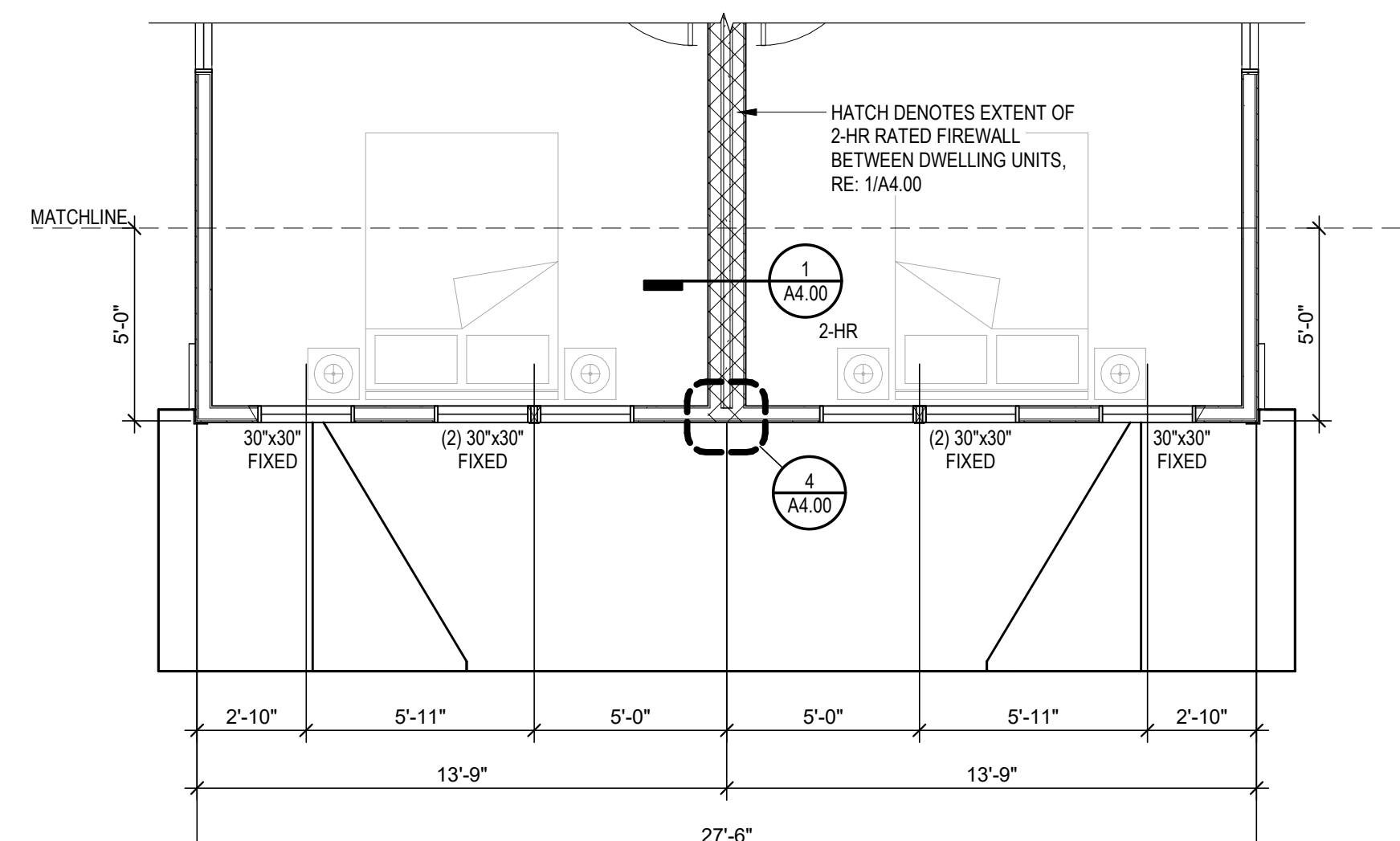
5 DOUBLE UNIT - OPTION 5  
1/4" = 1'-0"



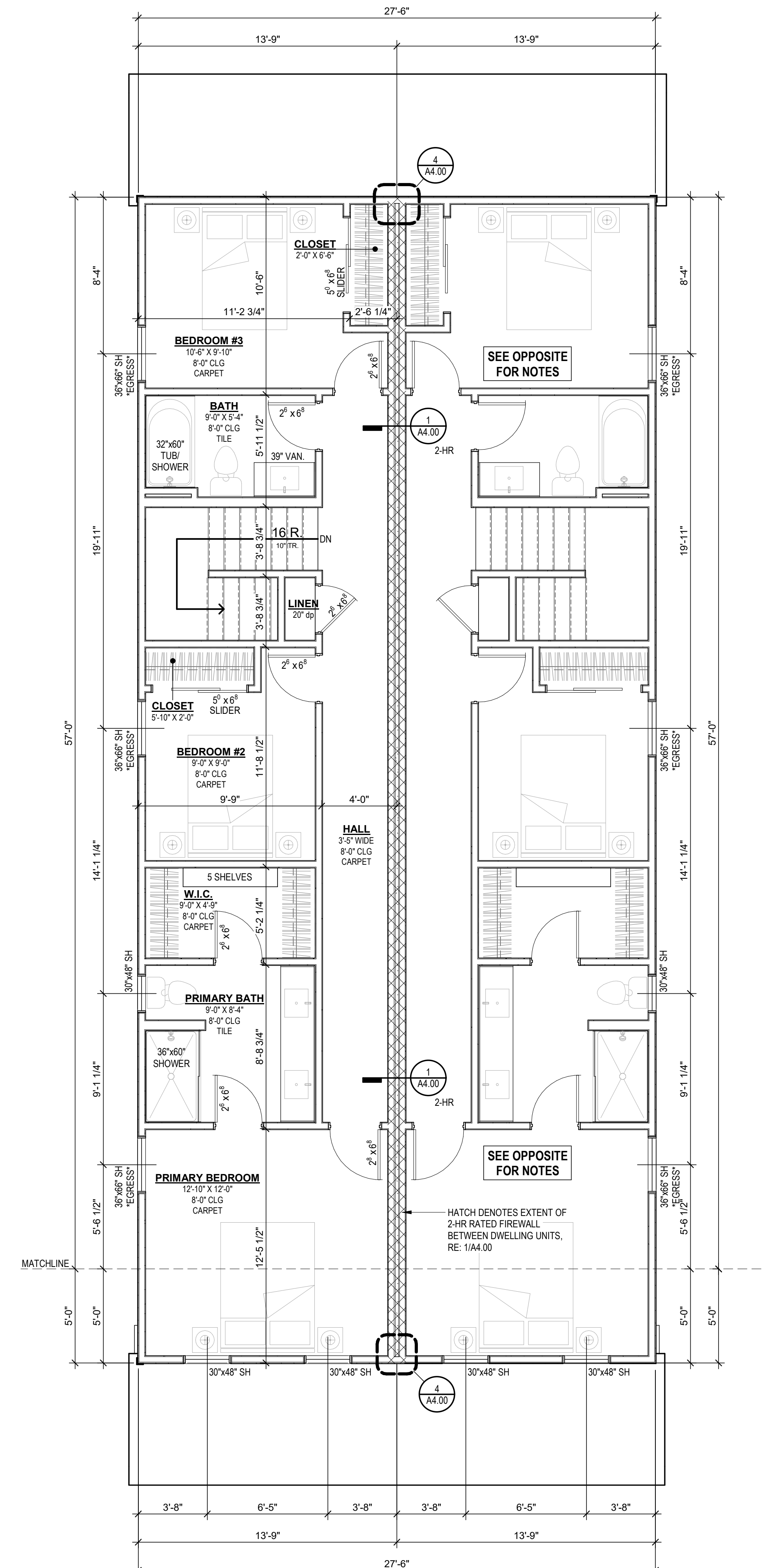
4 DOUBLE UNIT - OPTION 4  
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1401 GOODE AVE. GRANDVIEW, MISSOURI

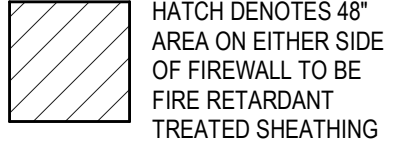
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• 06.08.23 - STRUCTURAL KICKOFF  
• 02.13.24 CITY SUBMITTAL

REVISIONS


JOB NO. 736623 DATE 06.06.2024  
DRAWN BY TWH, MLM, NSO

SHEET NAME DOUBLE UNIT - 2ND FLR PLANS SHEET NO.

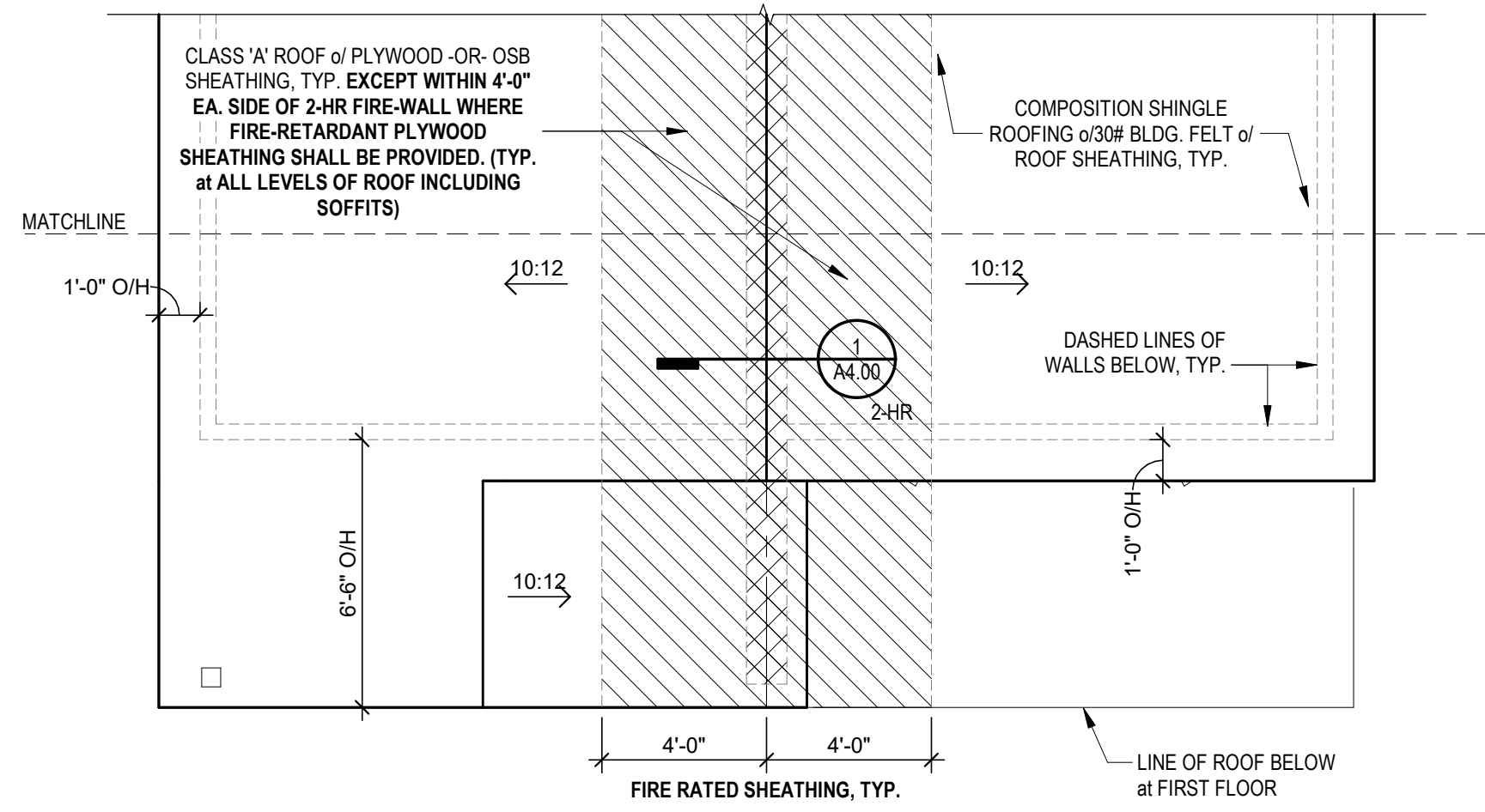
**A1.02**

- ROOF PLAN GENERAL NOTES:**
- A. ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS.
  - B. PROVIDE KICK-OUT FLASHING AT ALL ROOF TO SIDE-WALL CONDITIONS.
  - C. COORDINATE ALL ROOFING DETAILS WITH MANUFACTURER'S WARRANTED SYSTEM.
  - D. ROOF VENTS & OTHER PENETRATIONS SHALL NOT BE LOCATED WITHIN THE 4'-0" WIDE FIRE-RATED SHEATHING PANELS ON EITHER SIDE OF THE CENTERLINE BETWEEN UNITS.
  - E. ROOF PENETRATIONS TO BE GENERALLY LOCATED ON REAR ELEVATION SO AS TO NOT BE VISIBLE FROM THE STREET.
- 

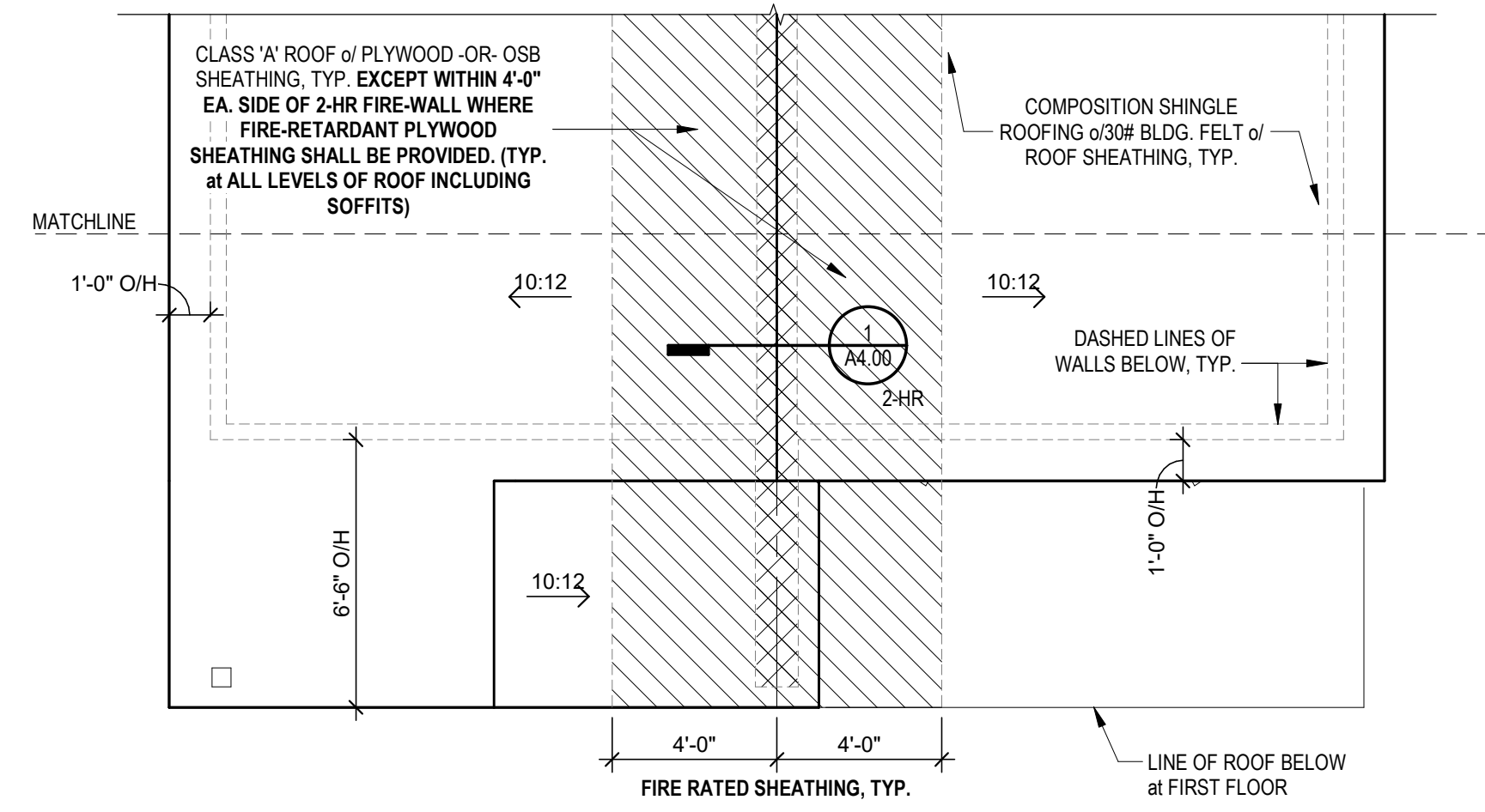
HATCH DENOTES 48" AREA ON EITHER SIDE OF FIREWALL TO BE FIRE RETARDANT TREATED SHEATHING



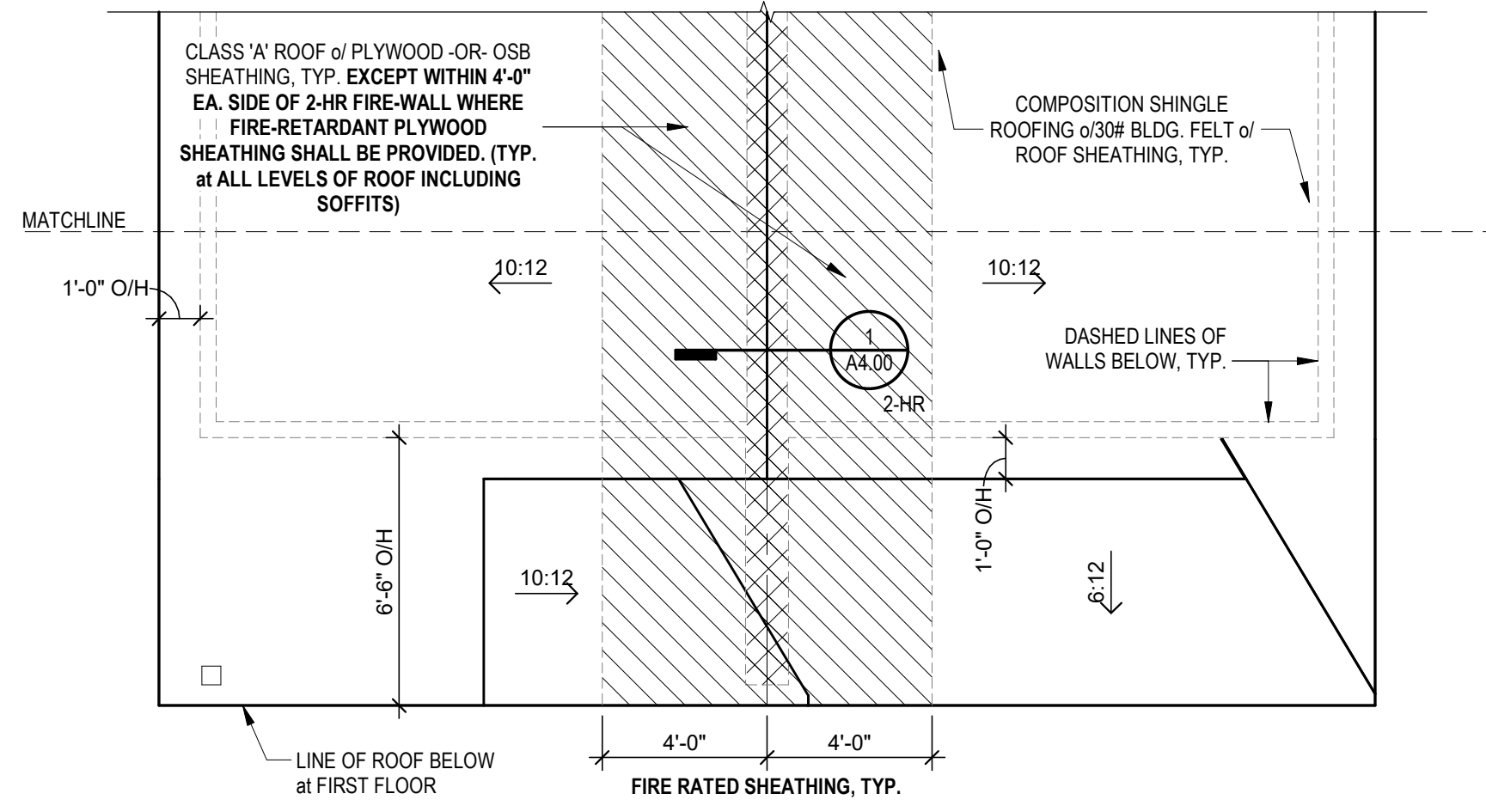
HATCH DENOTES FIREWALL TO EXTEND TO UNDERSIDE OF ROOF SHEATHING



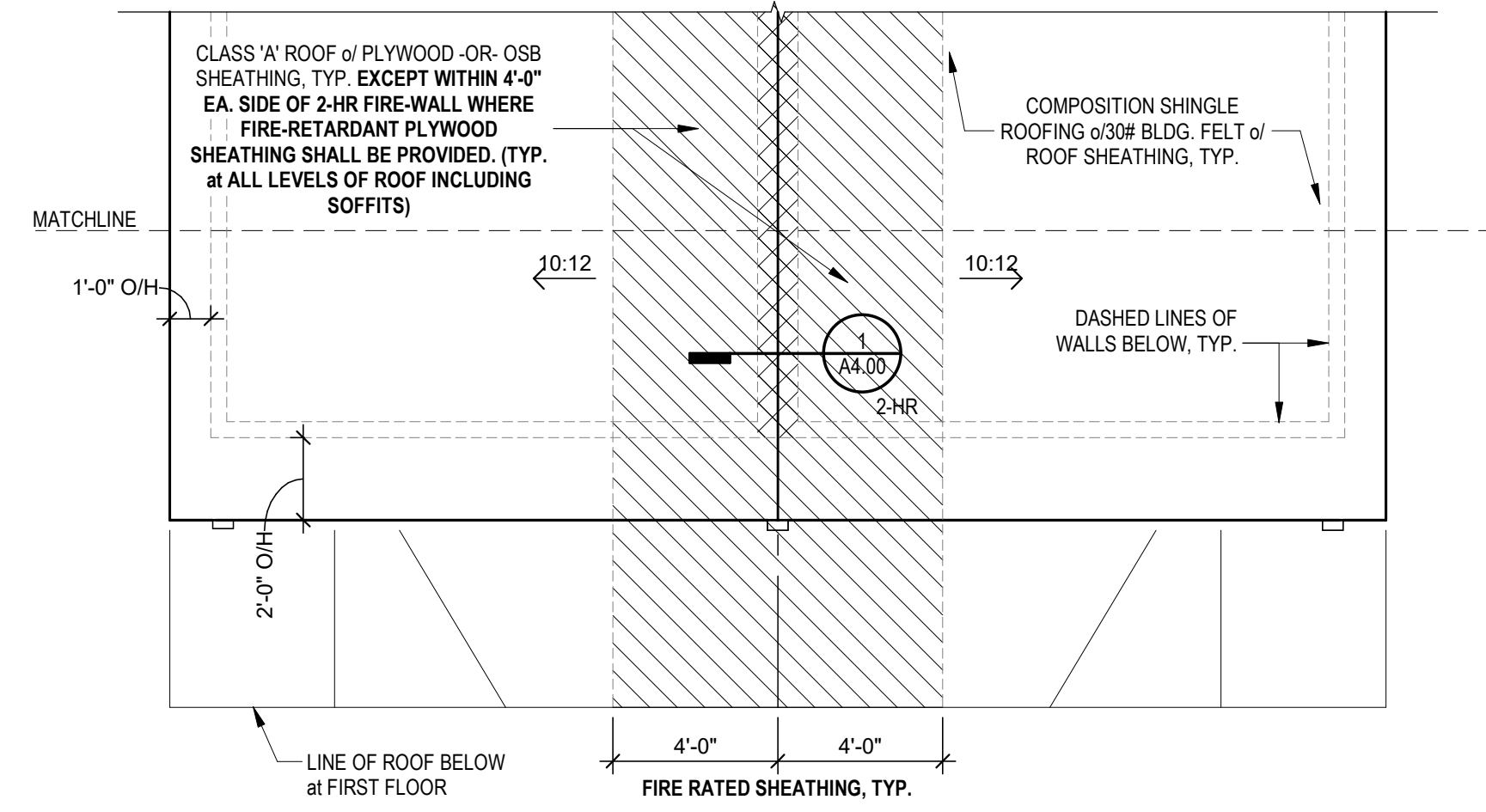
**5** DOUBLE UNIT - OPTION 5  
1/4" = 1'-0"



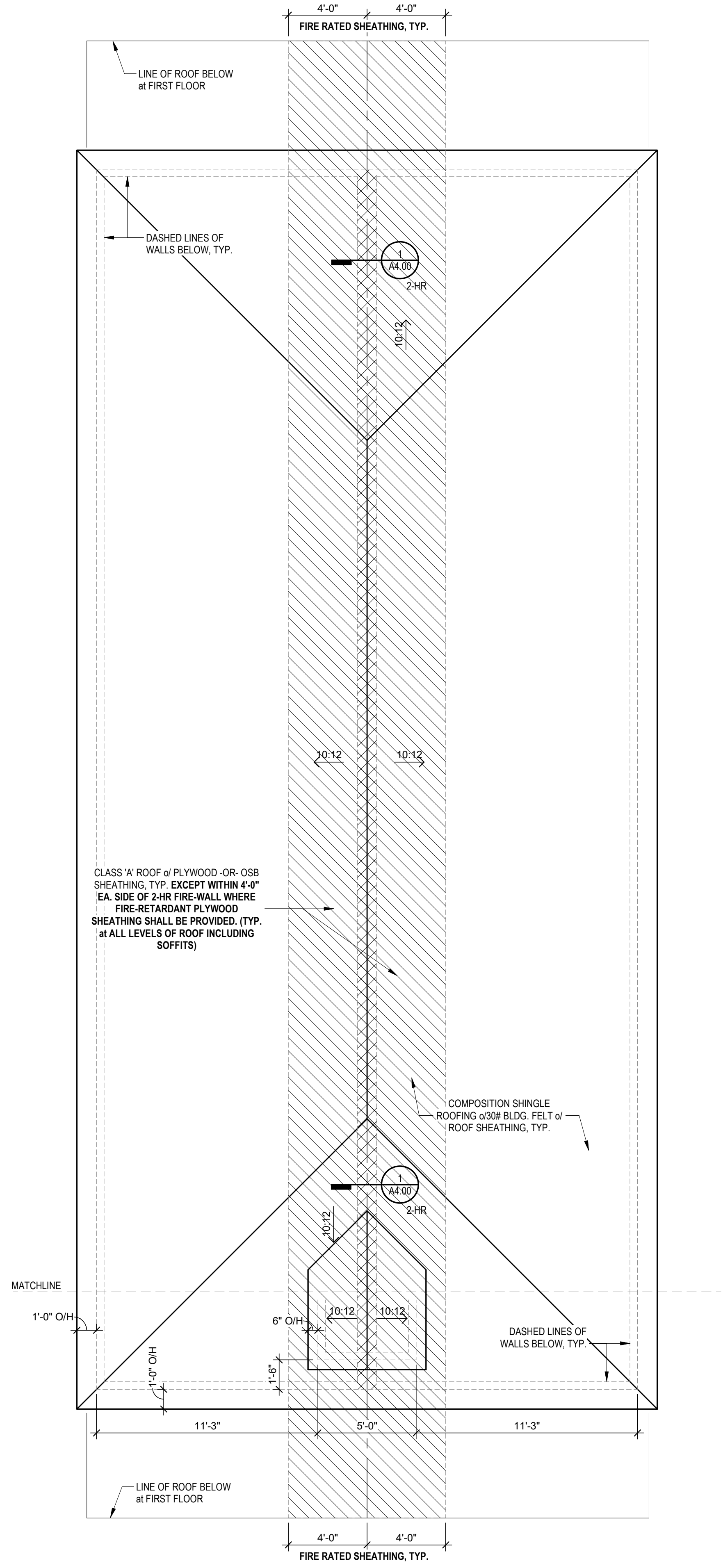
**4** DOUBLE UNIT - OPTION 4  
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**3** DOUBLE UNIT - OPTION 3  
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**1** DOUBLE UNIT - OPTION 1  
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A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

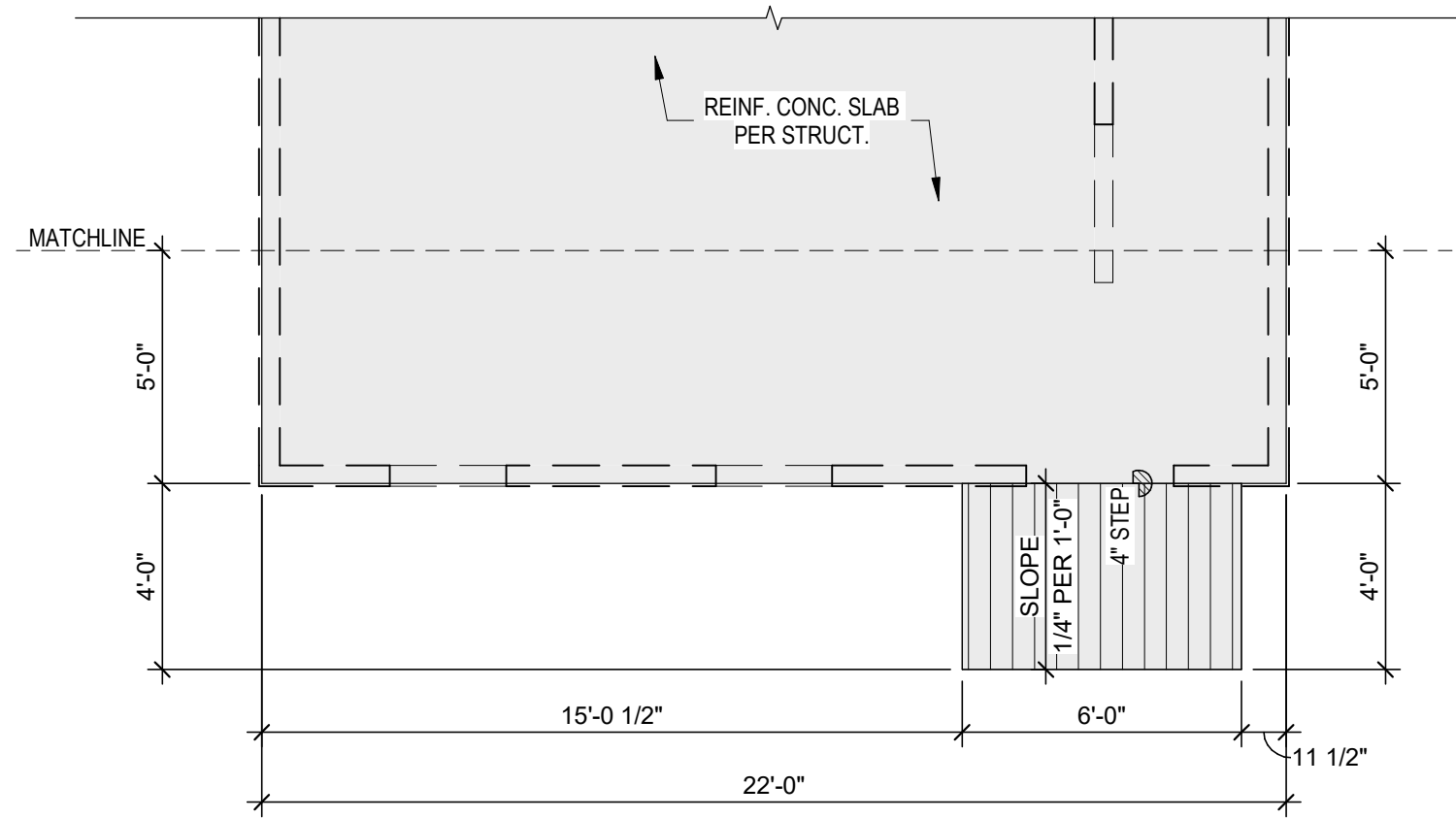
**DRAWING RELEASE LOG**  
• 06.08.23 - STRUCTURAL KICKOFF  
• 02.13.24 CITY SUBMITTAL

**REVISIONS**  
1 01.01.22 CITY SUBMITTAL RESPONSE 1

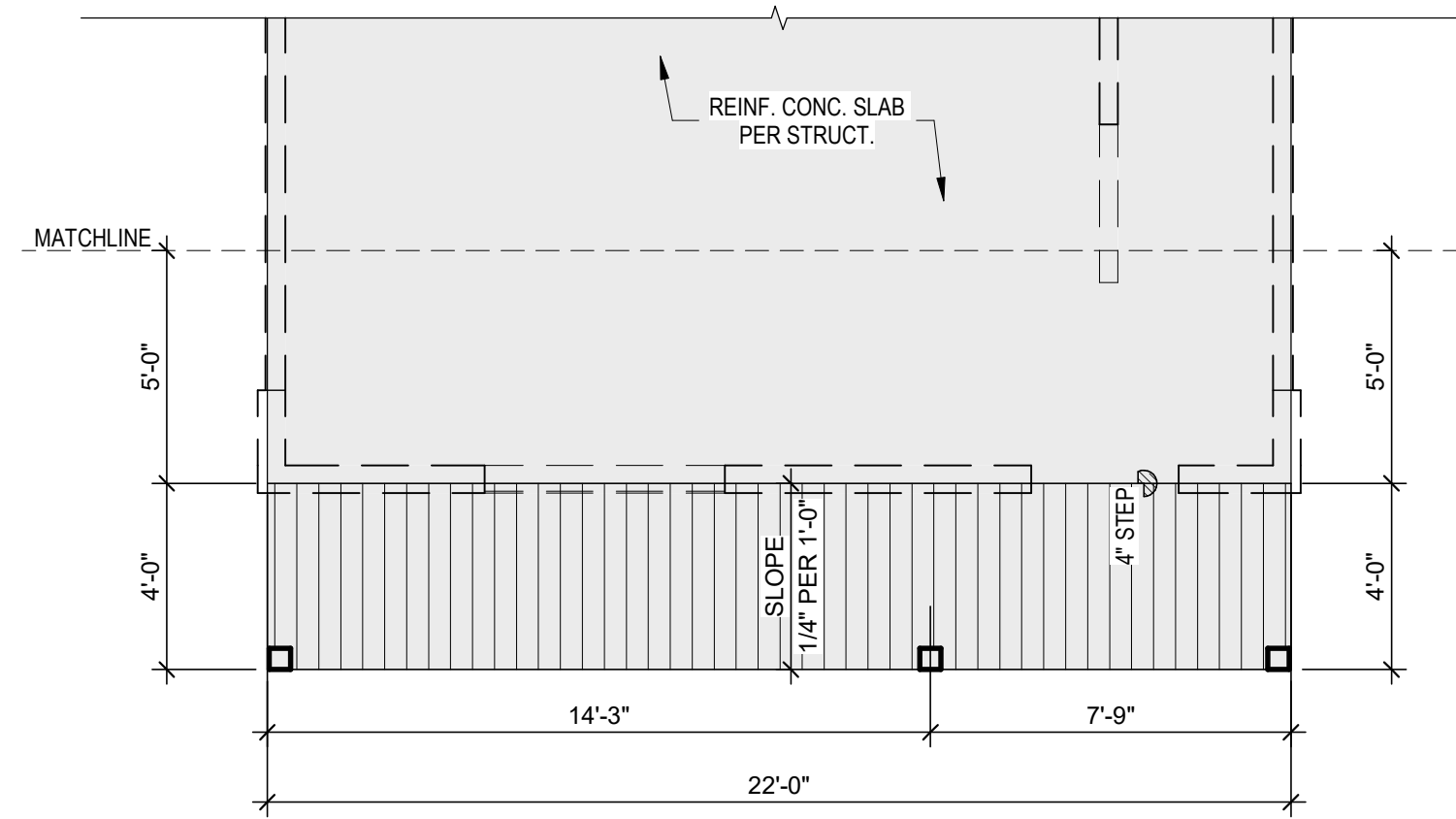
JOB NO. **736623** DATE **06.06.2024**  
DRAWN BY **TWH, MLM, NSO**

SHEET NAME  
**DOUBLE UNIT - ROOF PLANS**  
SHEET NO.

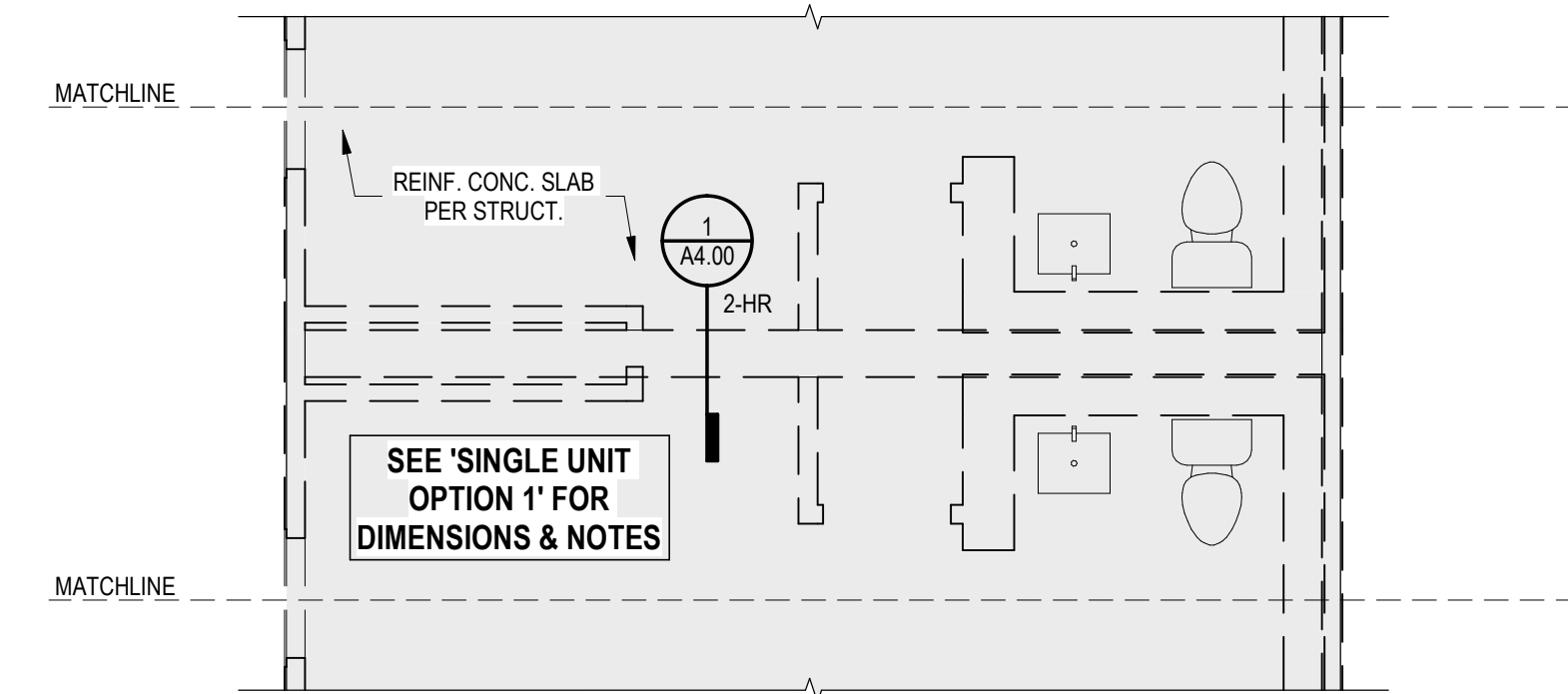
**A1.03**



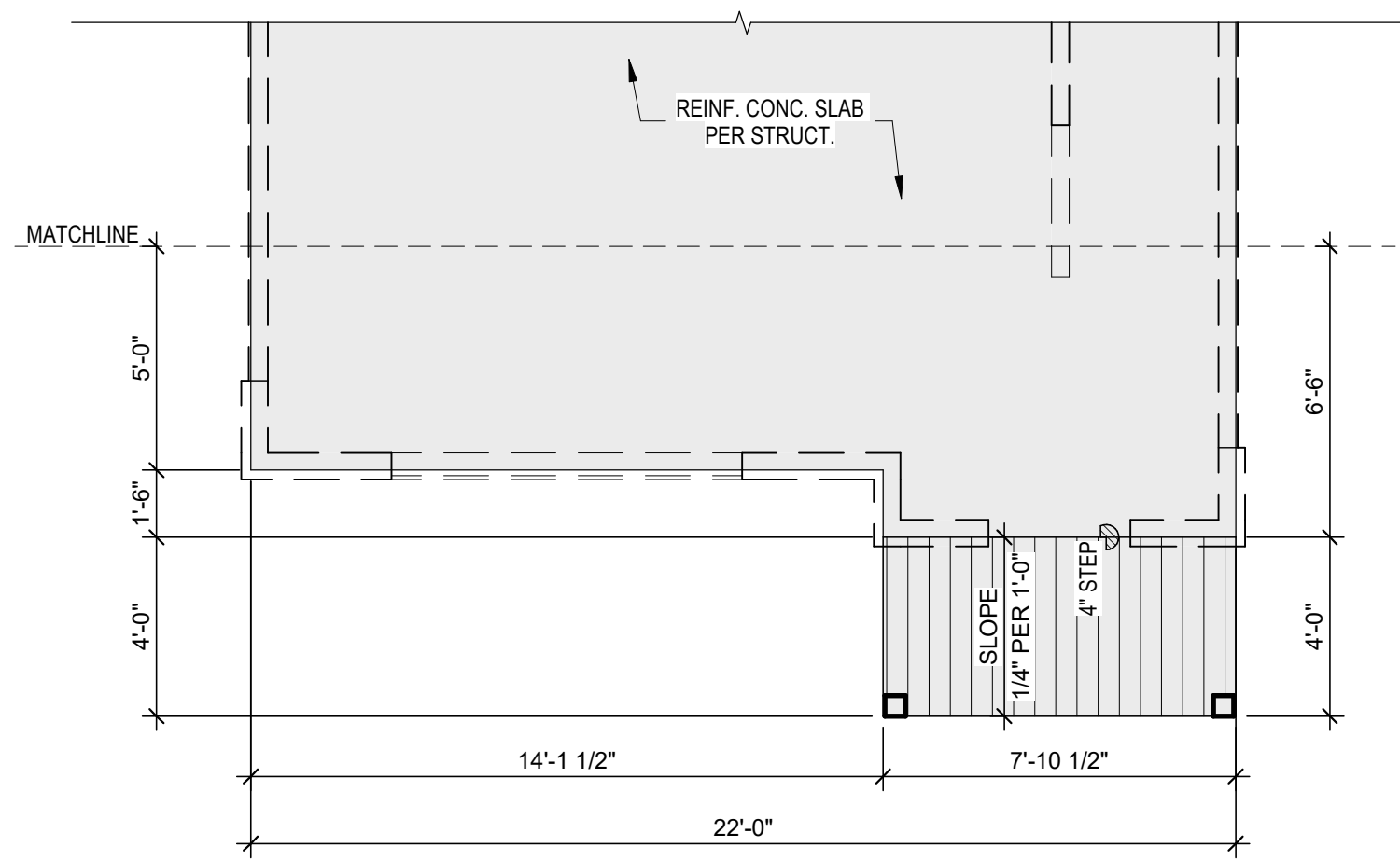
**5** SINGLE UNIT - OPTION 5  
1/4" = 1'-0"



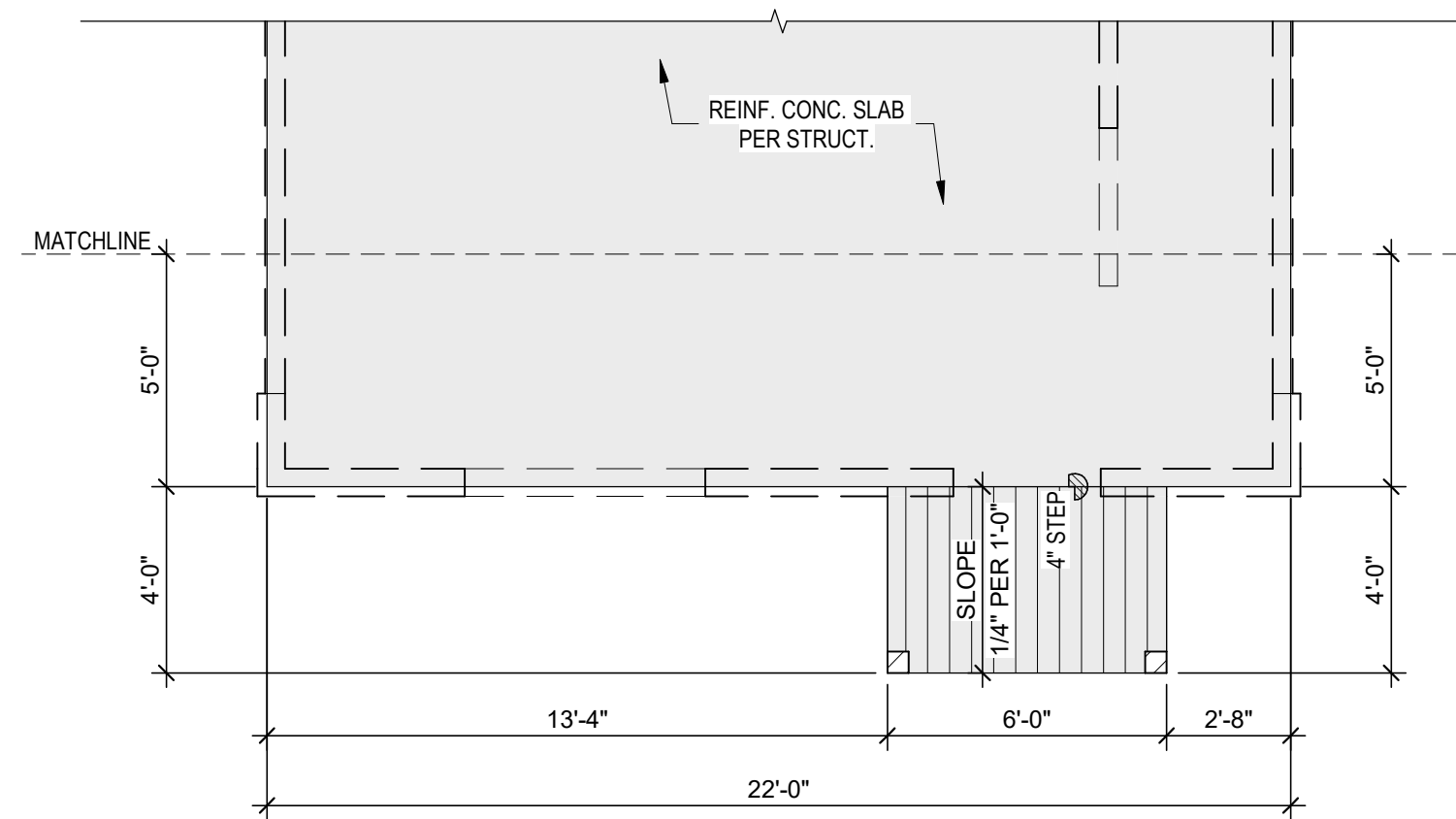
**4** SINGLE UNIT - OPTION 4  
1/4" = 1'-0"



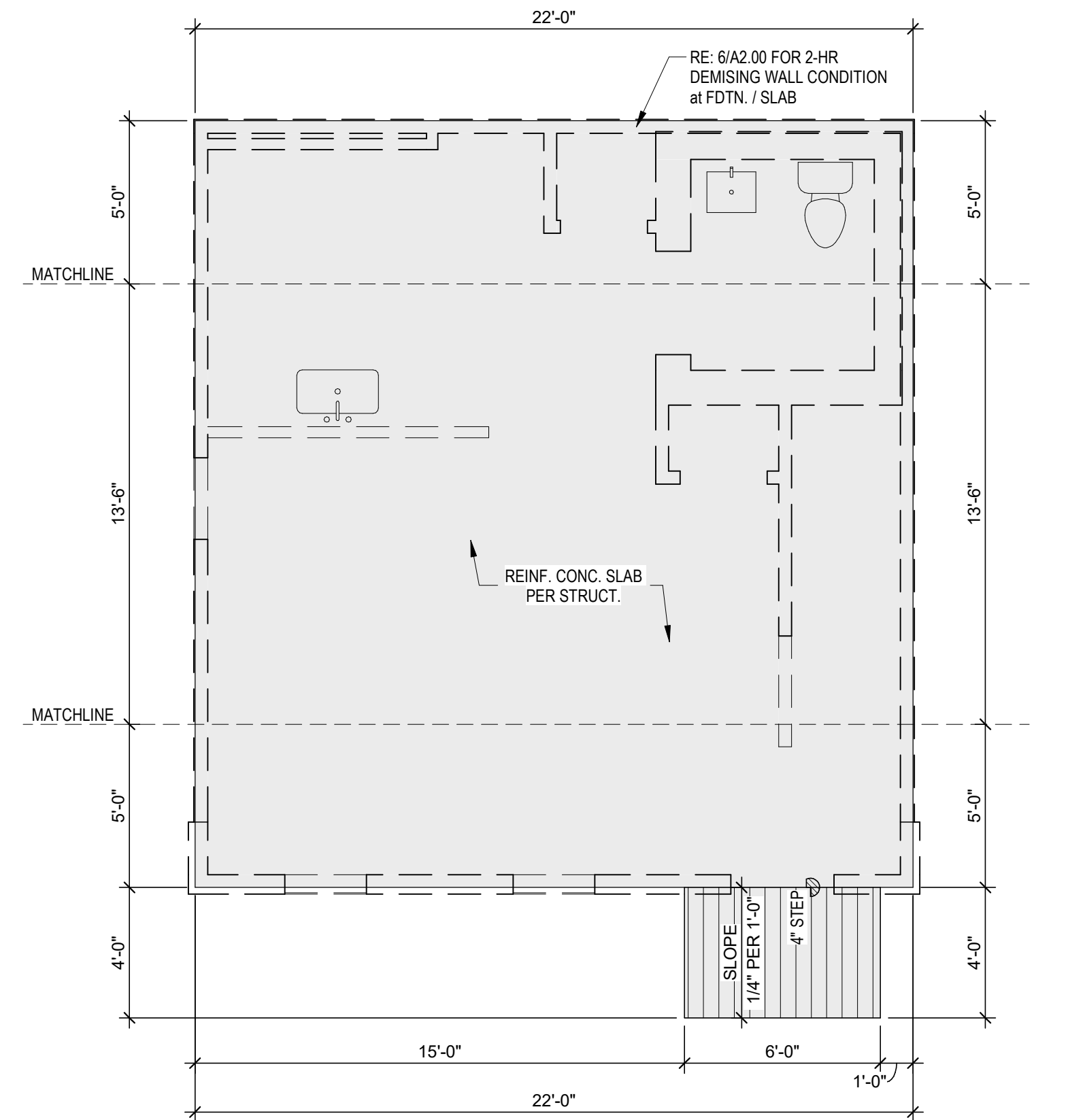
**6** SINGLE UNIT CONDITION at DEMISING WALL  
1/4" = 1'-0"



**3** SINGLE UNIT - OPTION 3  
1/4" = 1'-0"

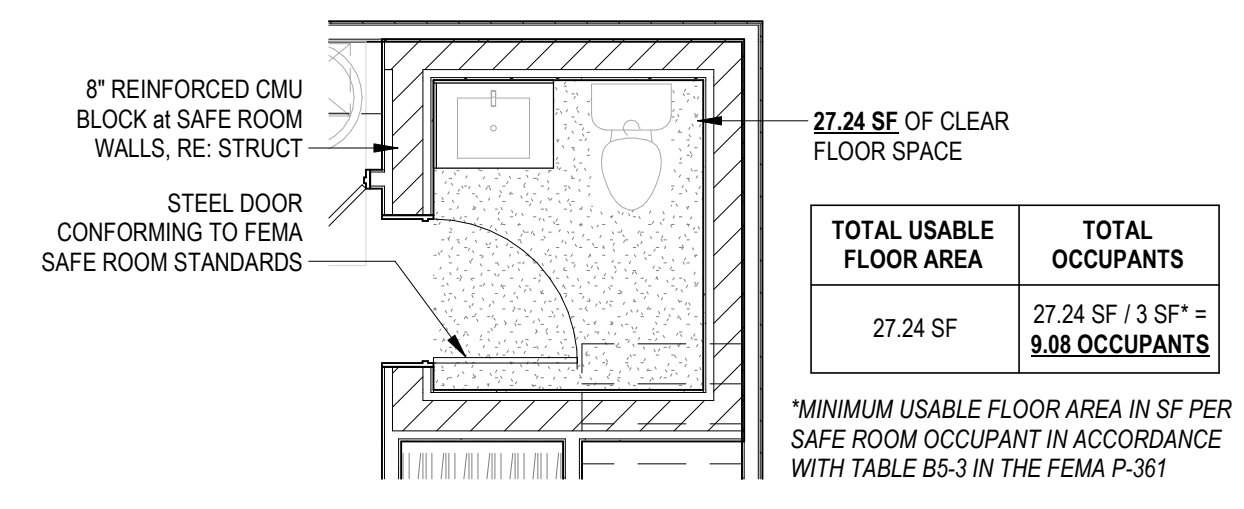


**2** SINGLE UNIT - OPTION 2  
1/4" = 1'-0"

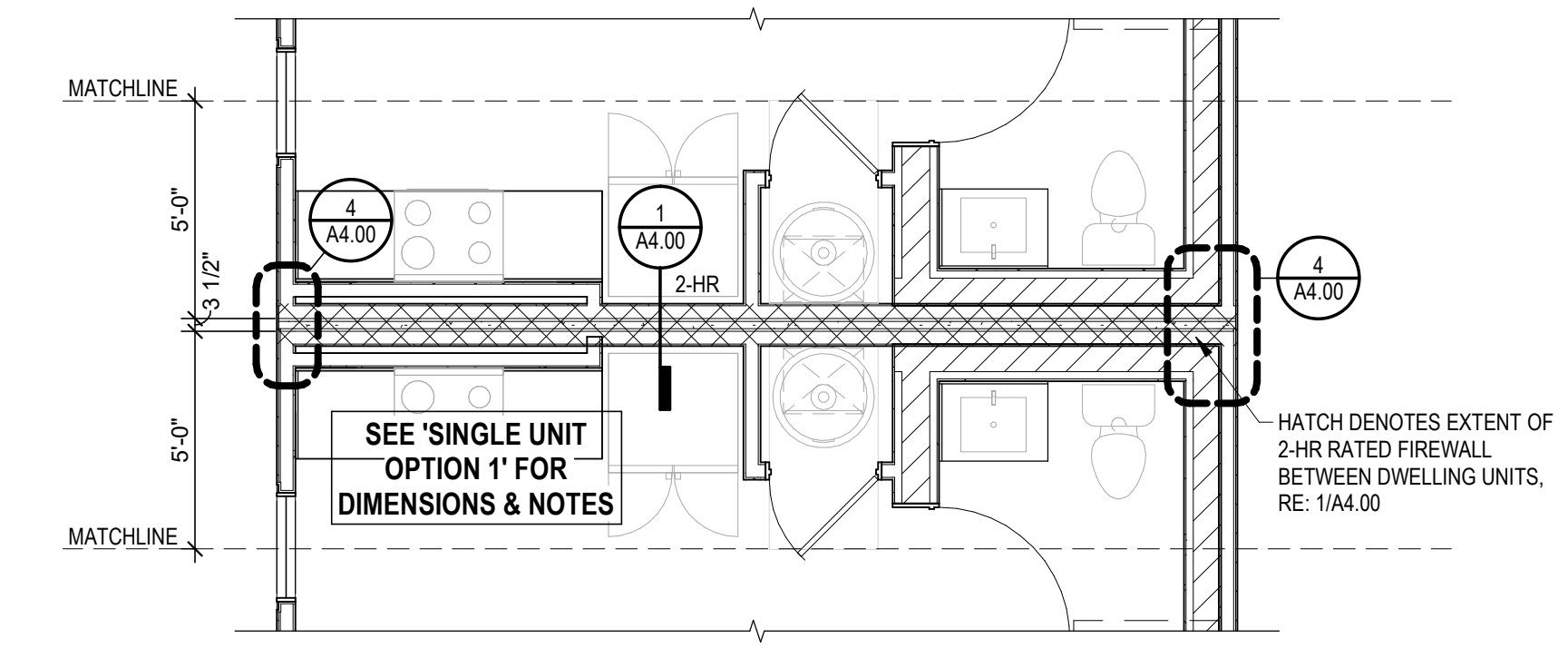


**1** SINGLE UNIT - OPTION 1  
1/4" = 1'-0"

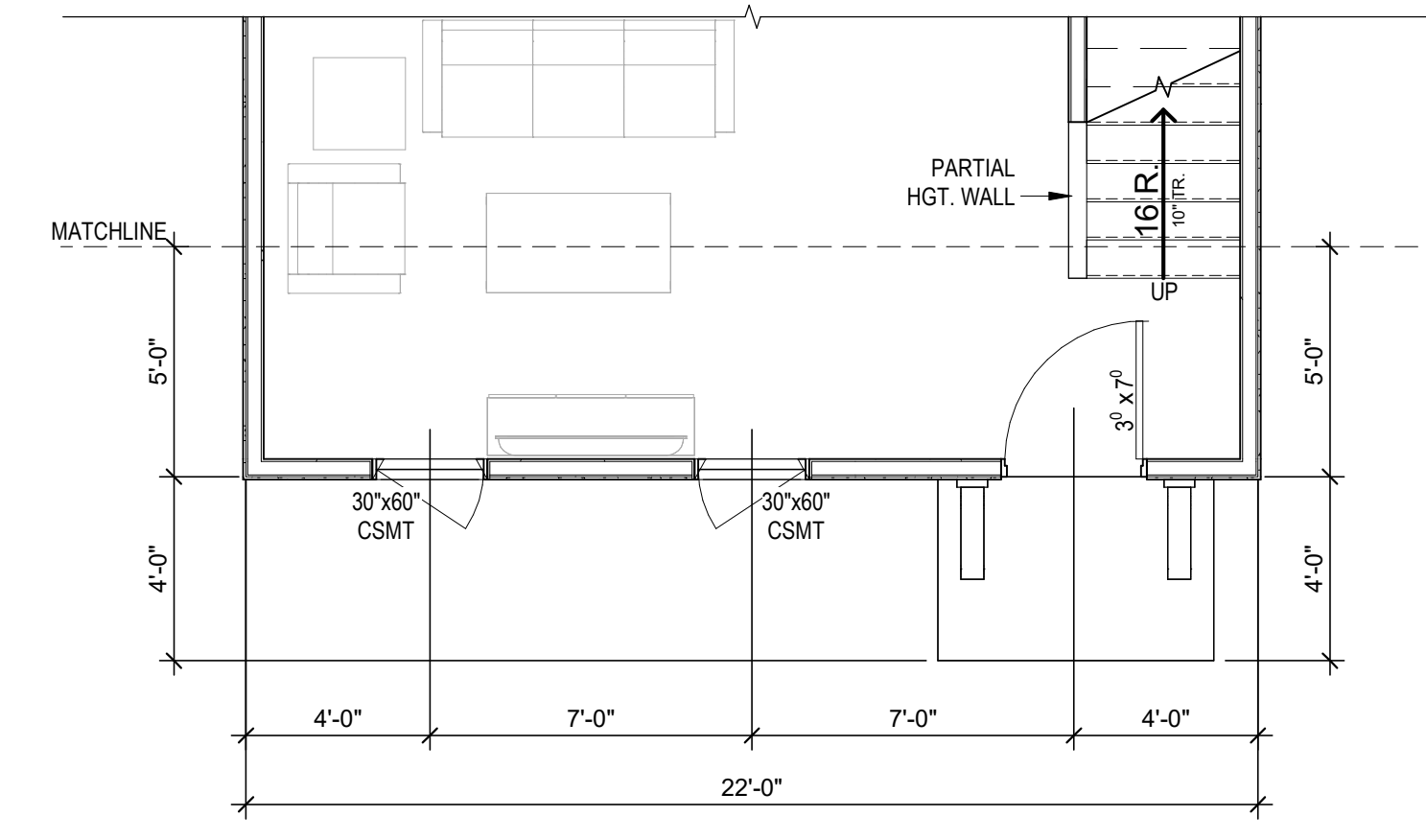




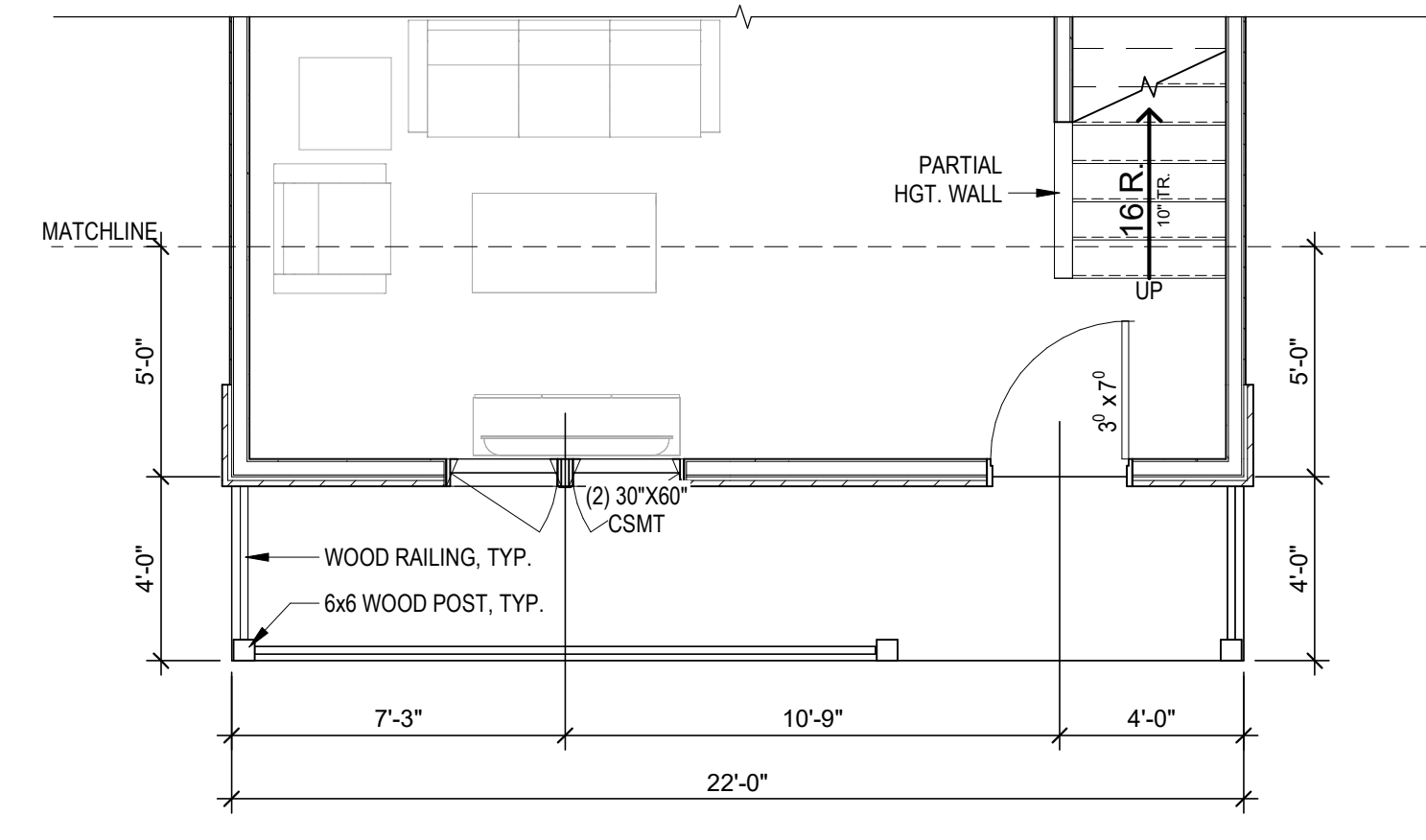
**7 FEMA SAFE ROOM PLAN**  
1/4" = 1'-0"



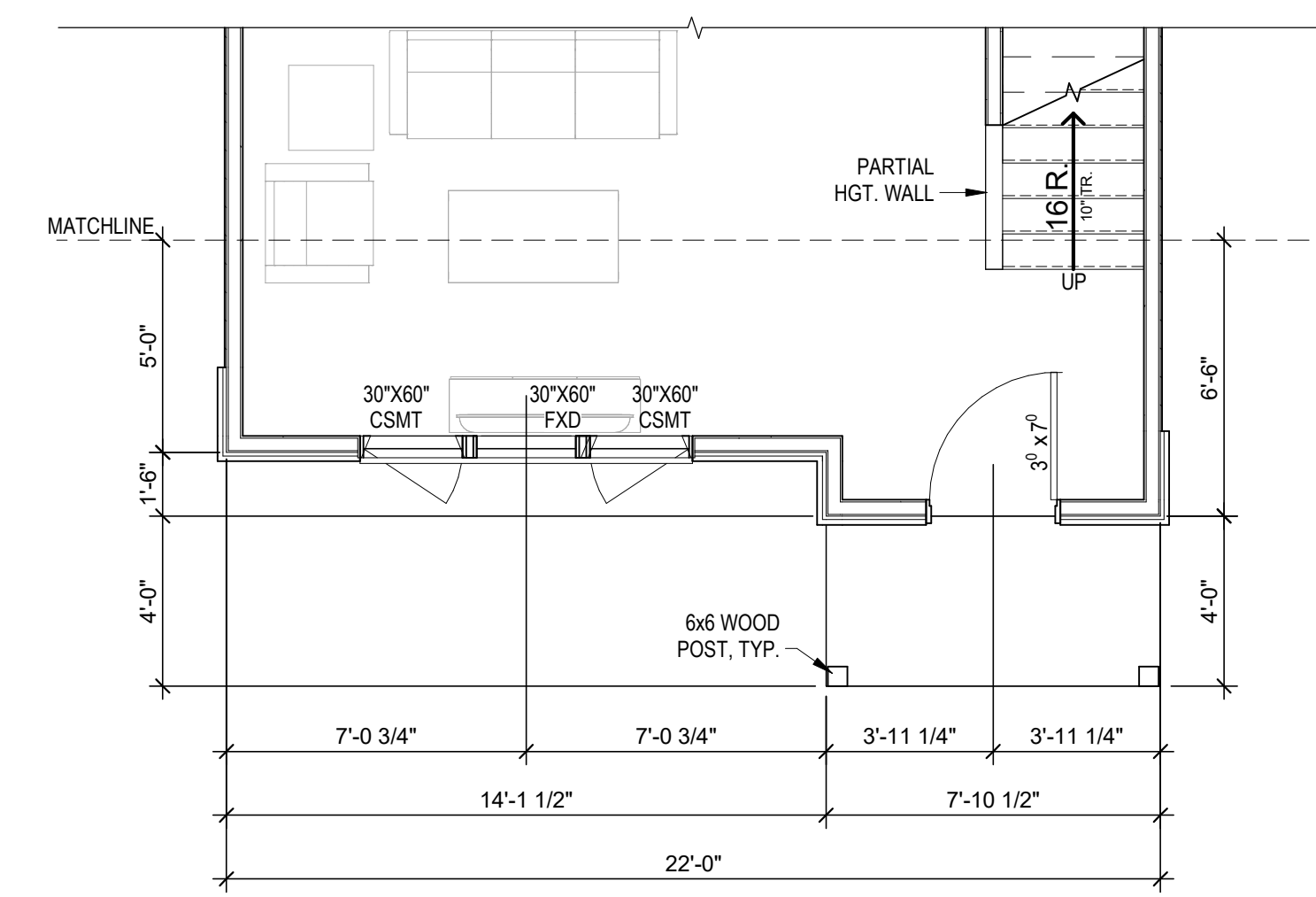
**6 SINGLE UNIT CONDITION at DEMISING WALL**  
1/4" = 1'-0"



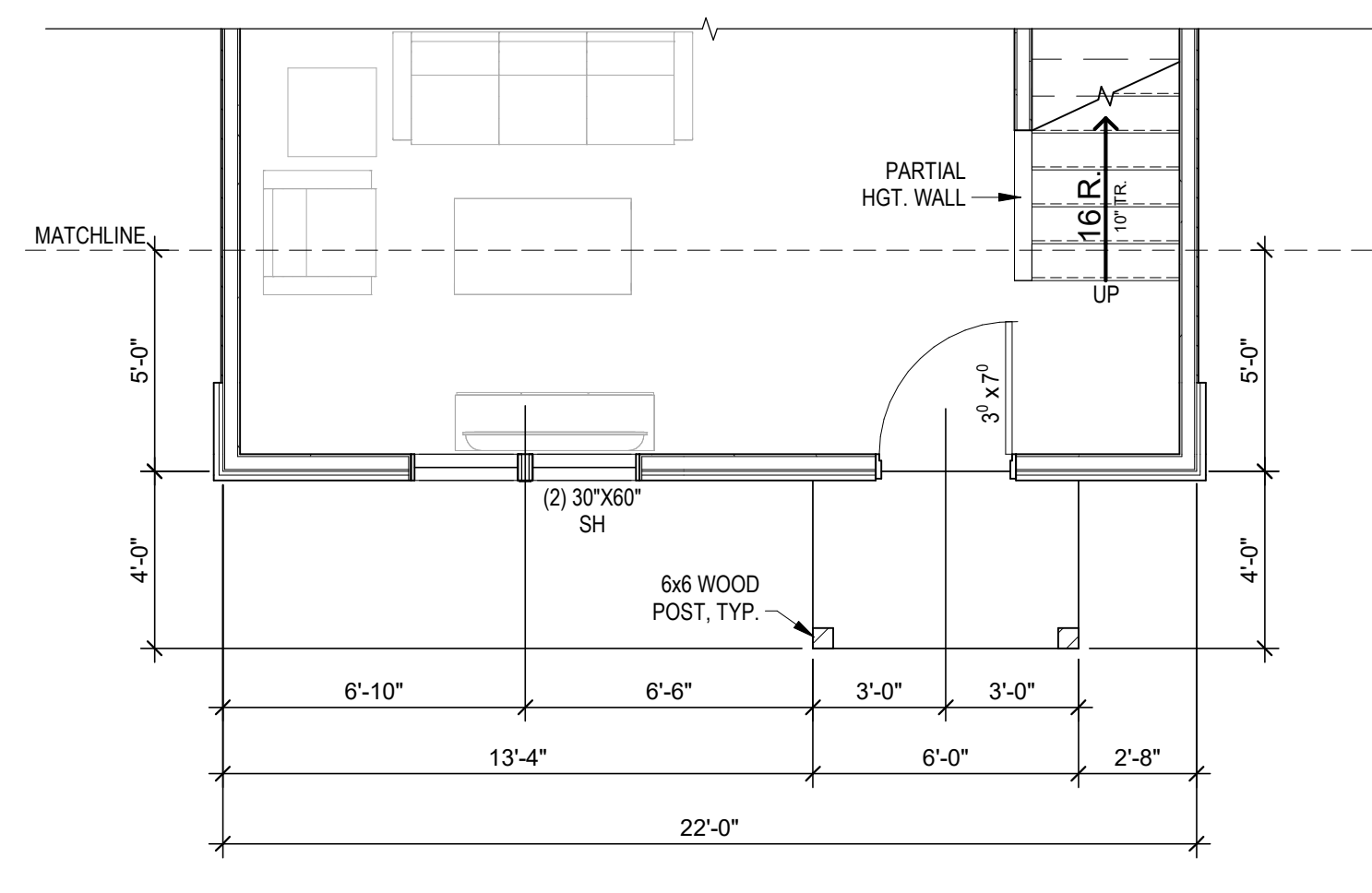
**5 SINGLE UNIT - OPTION 5**  
1/4" = 1'-0"



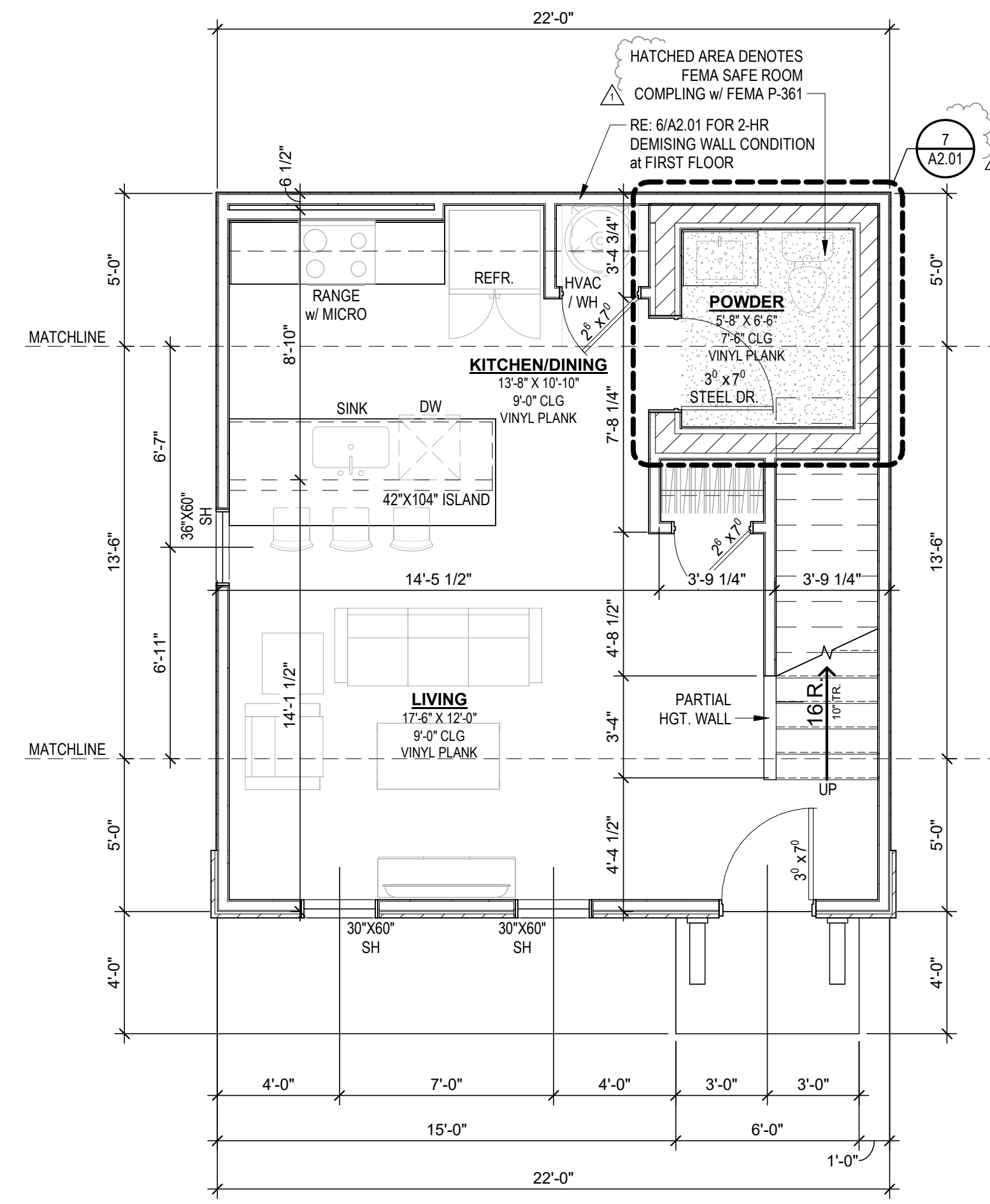
**4 SINGLE UNIT - OPTION 4**  
1/4" = 1'-0"



**3 SINGLE UNIT - OPTION 3**  
1/4" = 1'-0"

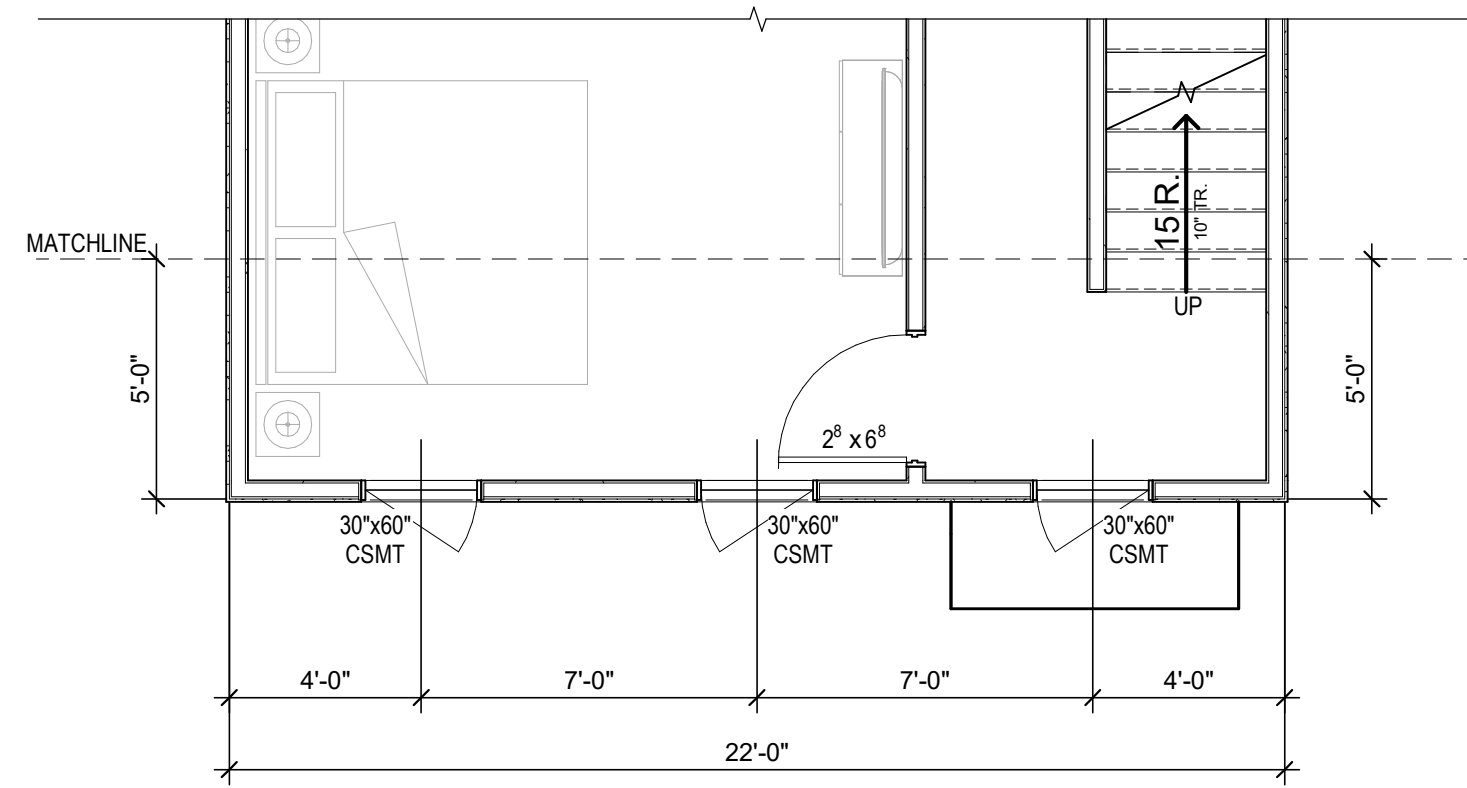


**2 SINGLE UNIT - OPTION 2**  
1/4" = 1'-0"

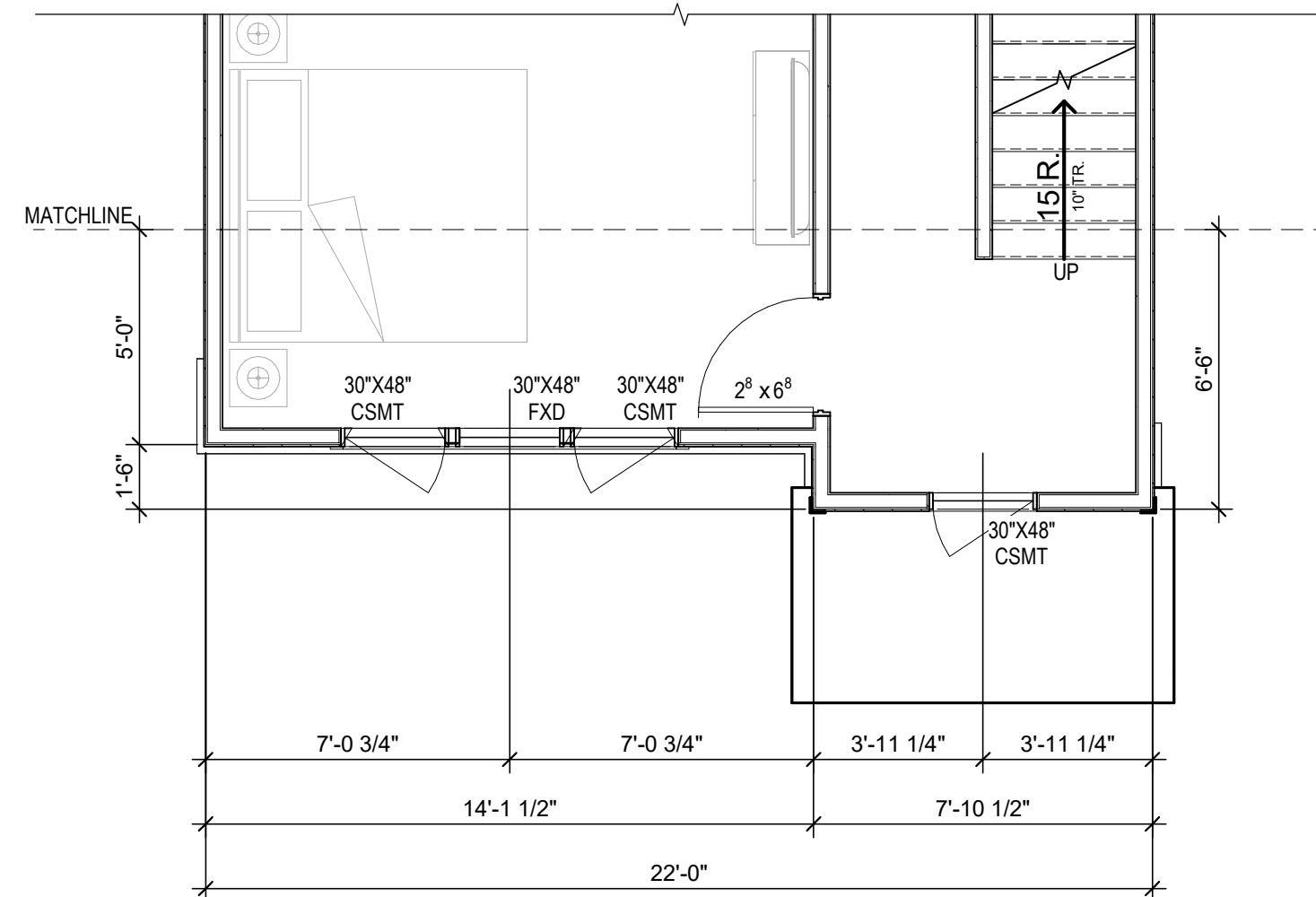


**1 SINGLE UNIT - OPTION 1**  
1/4" = 1'-0"

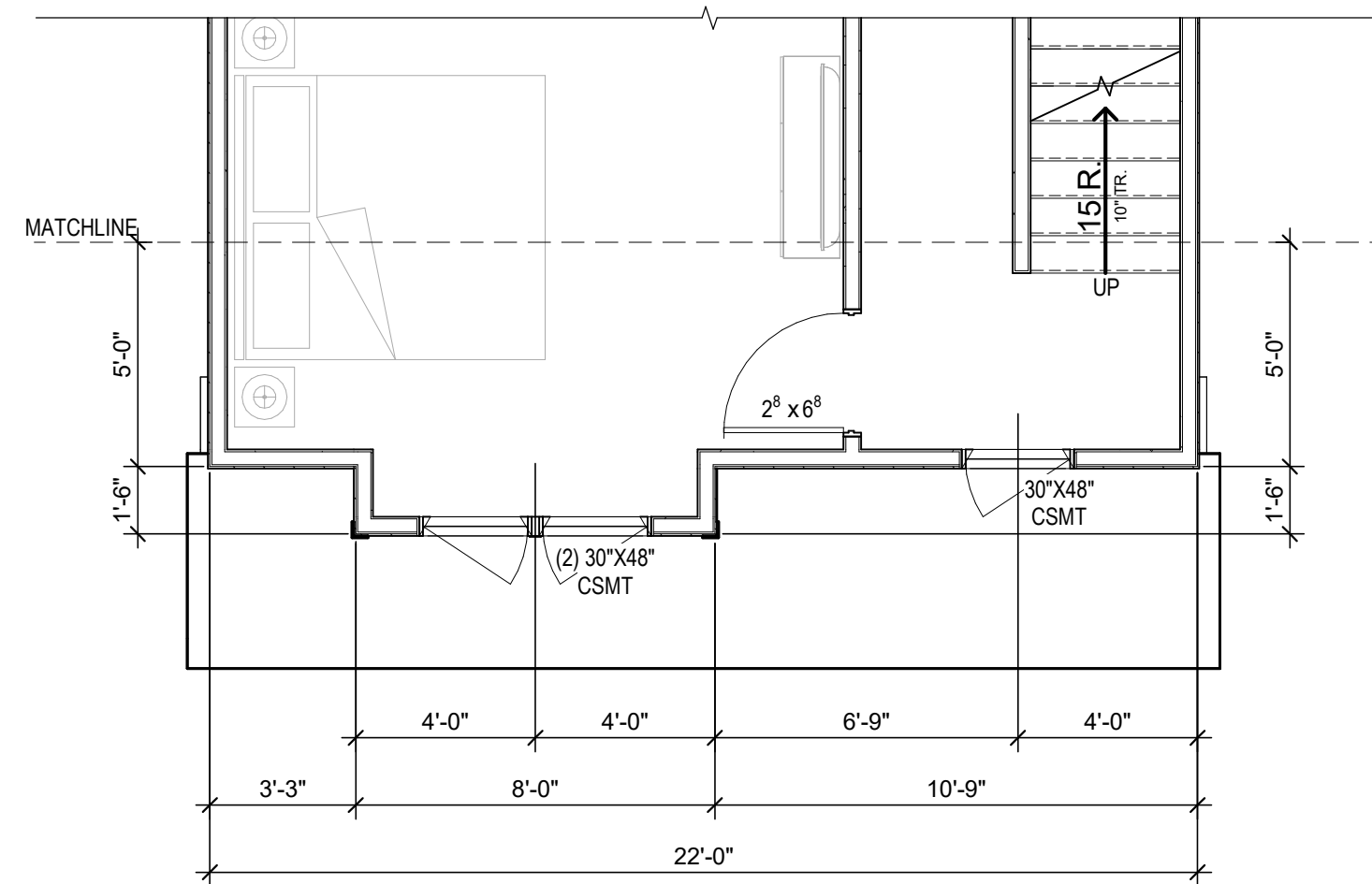




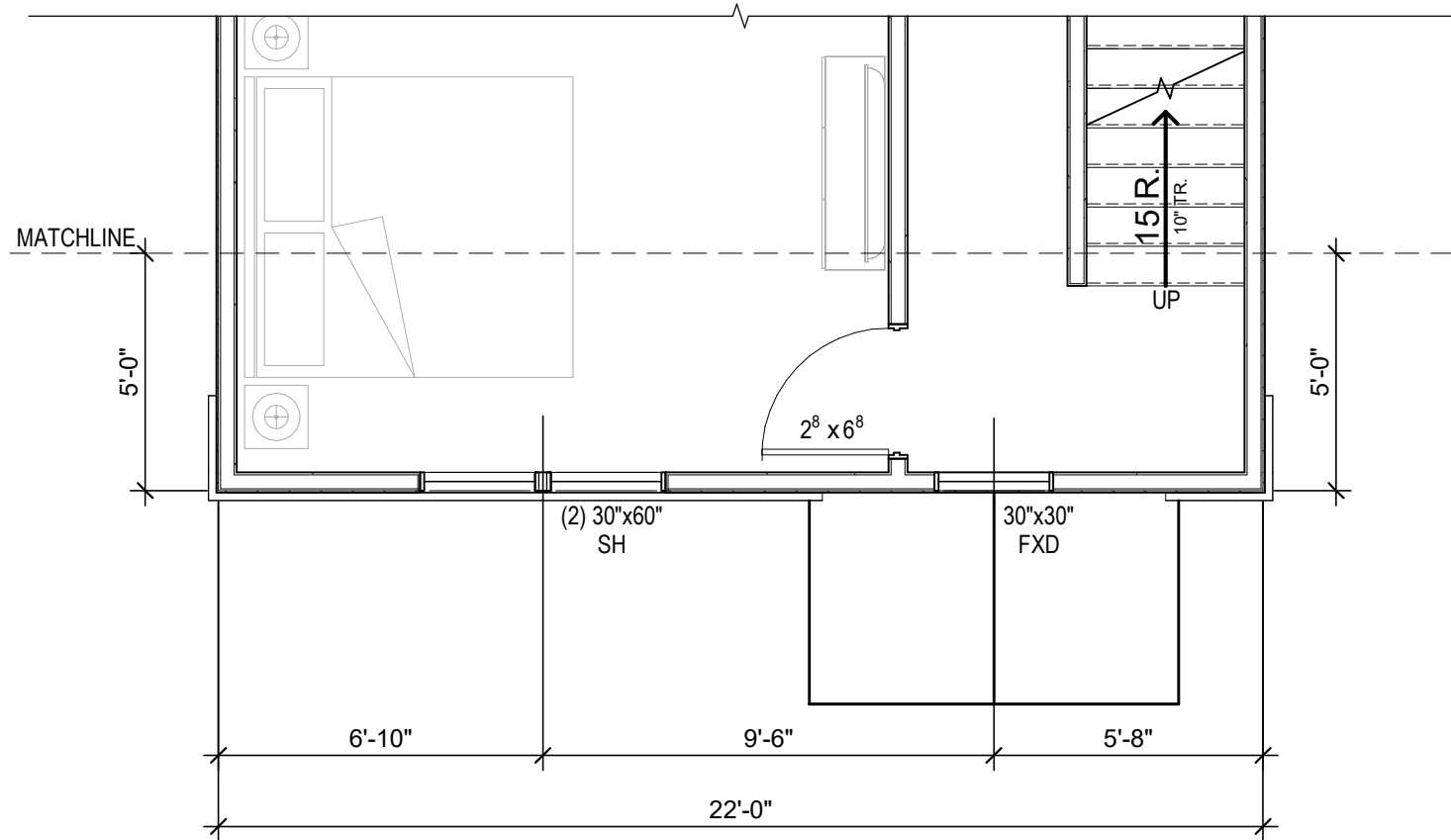
5 SINGLE UNIT - OPTION 5  
1/4" = 1'-0"



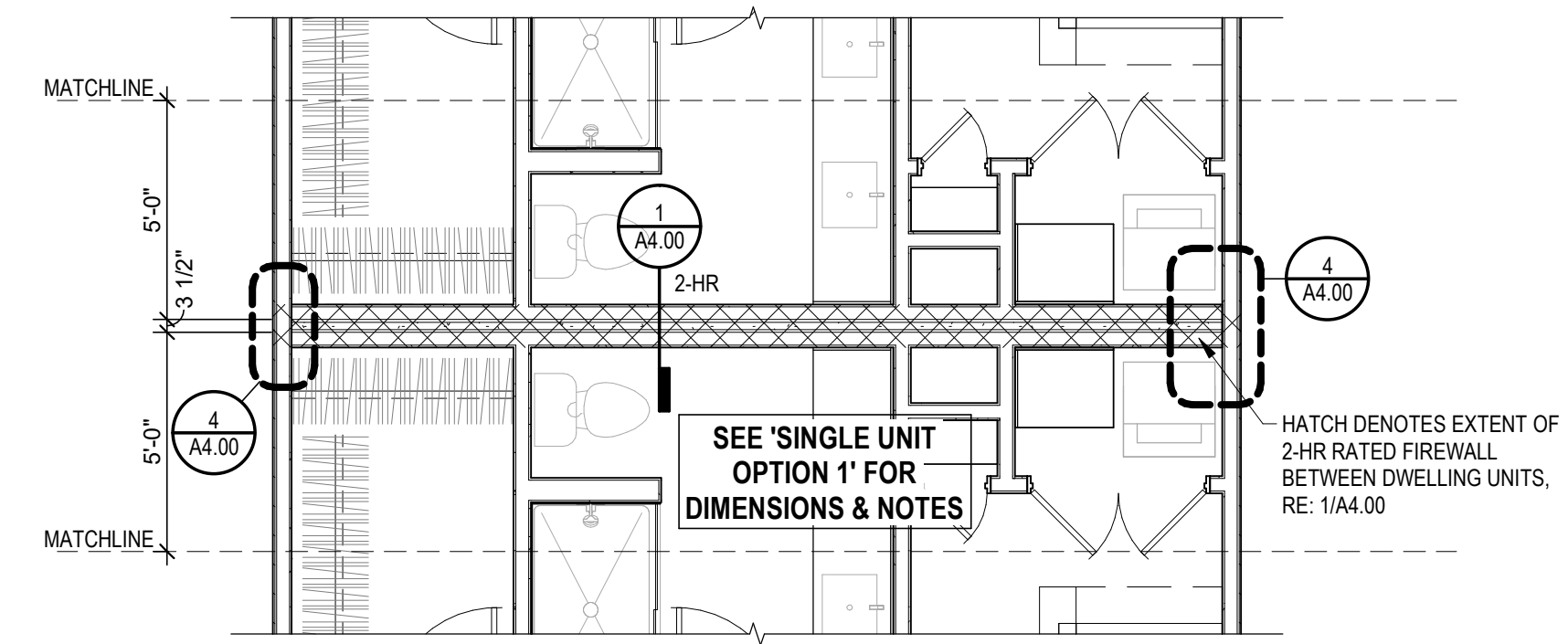
3 SINGLE UNIT - OPTION 3  
1/4" = 1'-0"



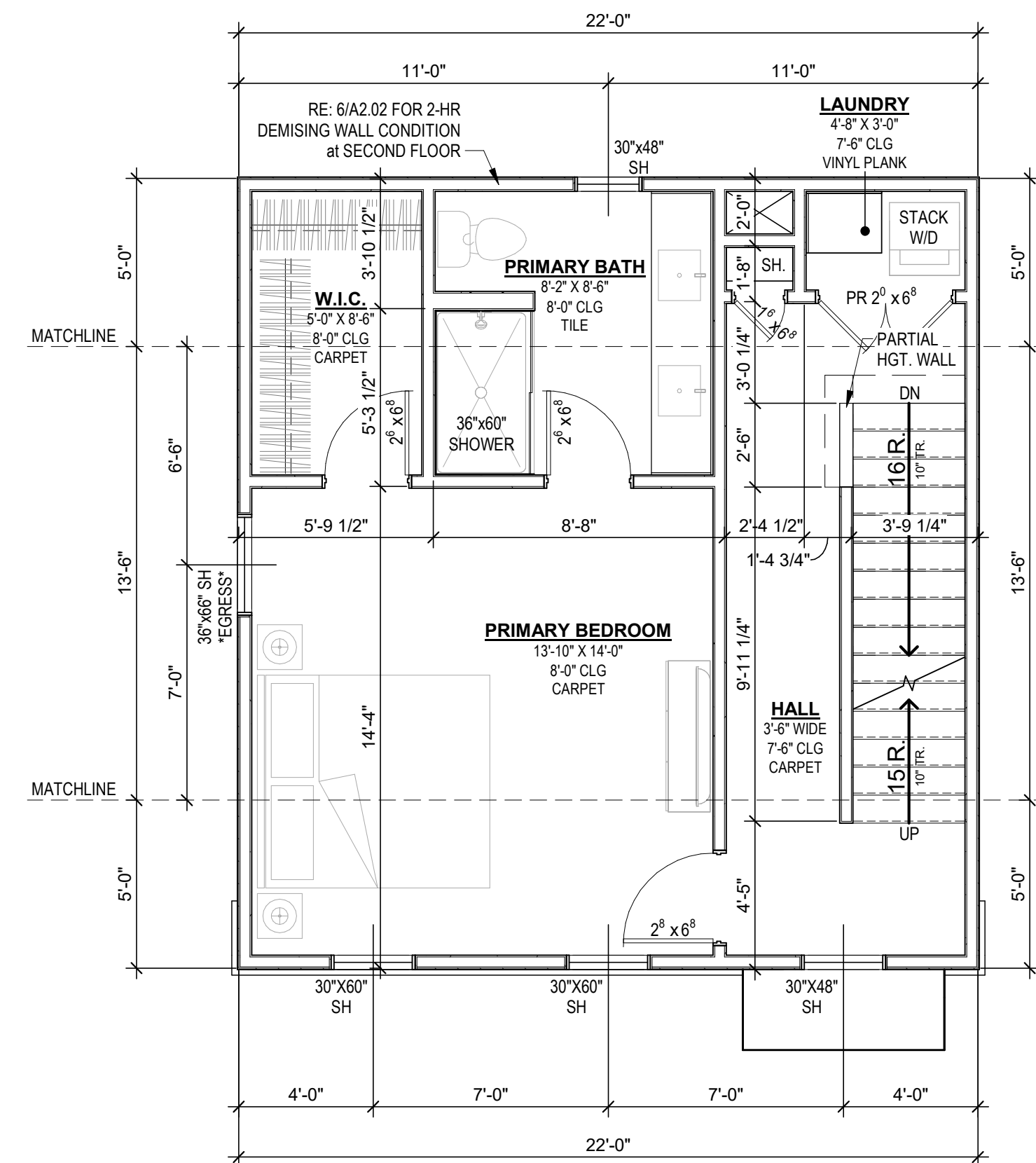
4 SINGLE UNIT - OPTION 4  
1/4" = 1'-0"



2 SINGLE UNIT - OPTION 2  
1/4" = 1'-0"

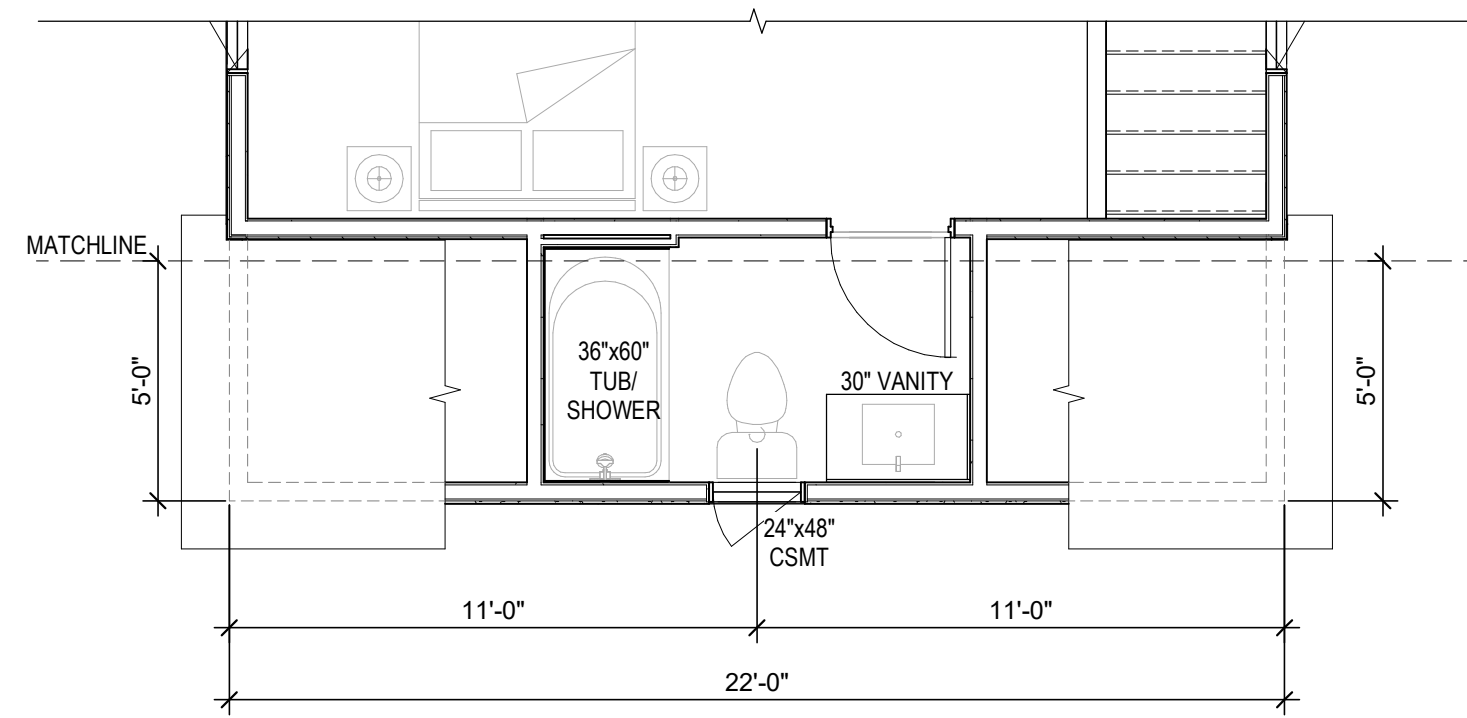


6 SINGLE UNIT CONDITION at DEMISING WALL  
1/4" = 1'-0"

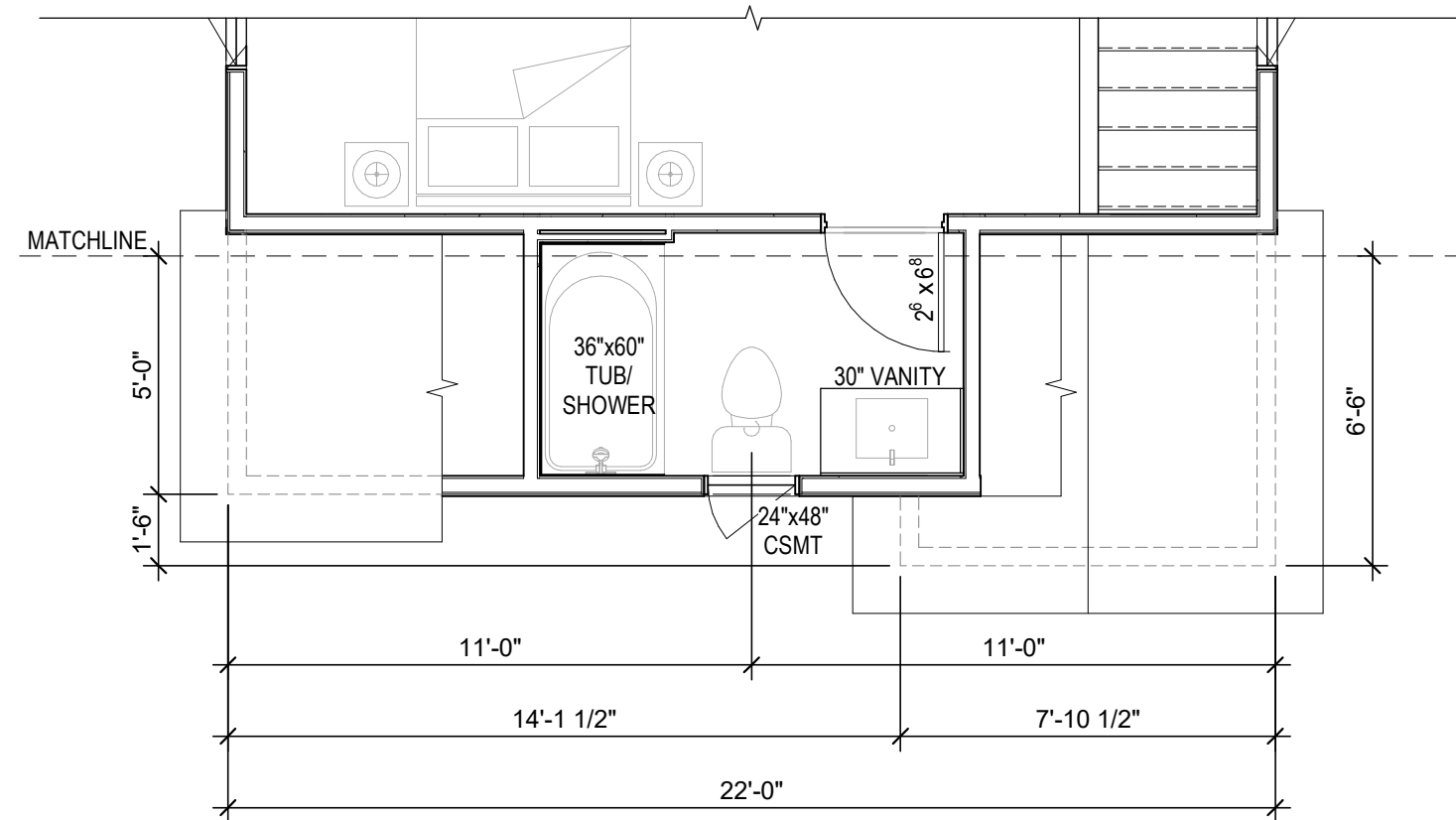


1 SINGLE UNIT - OPTION 1  
1/4" = 1'-0"

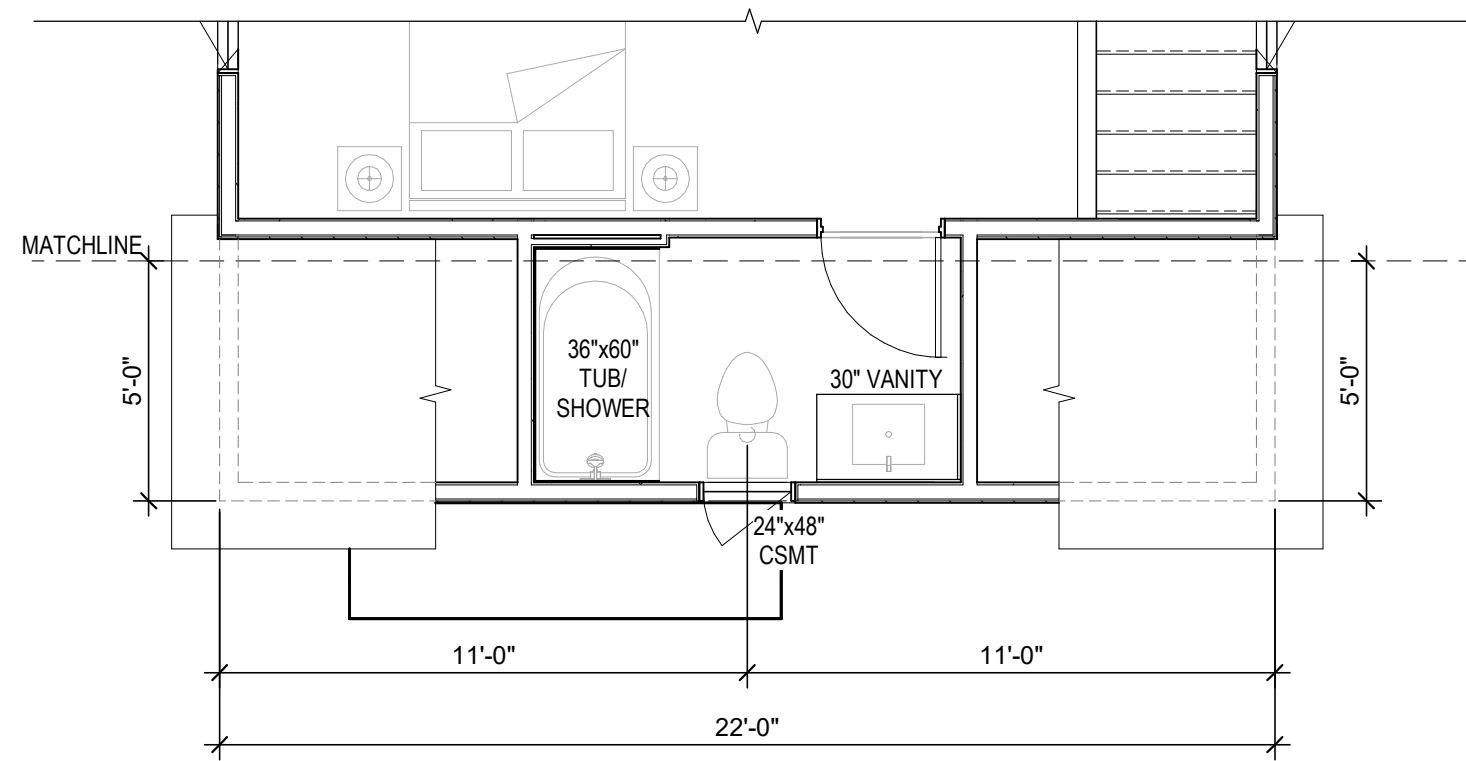




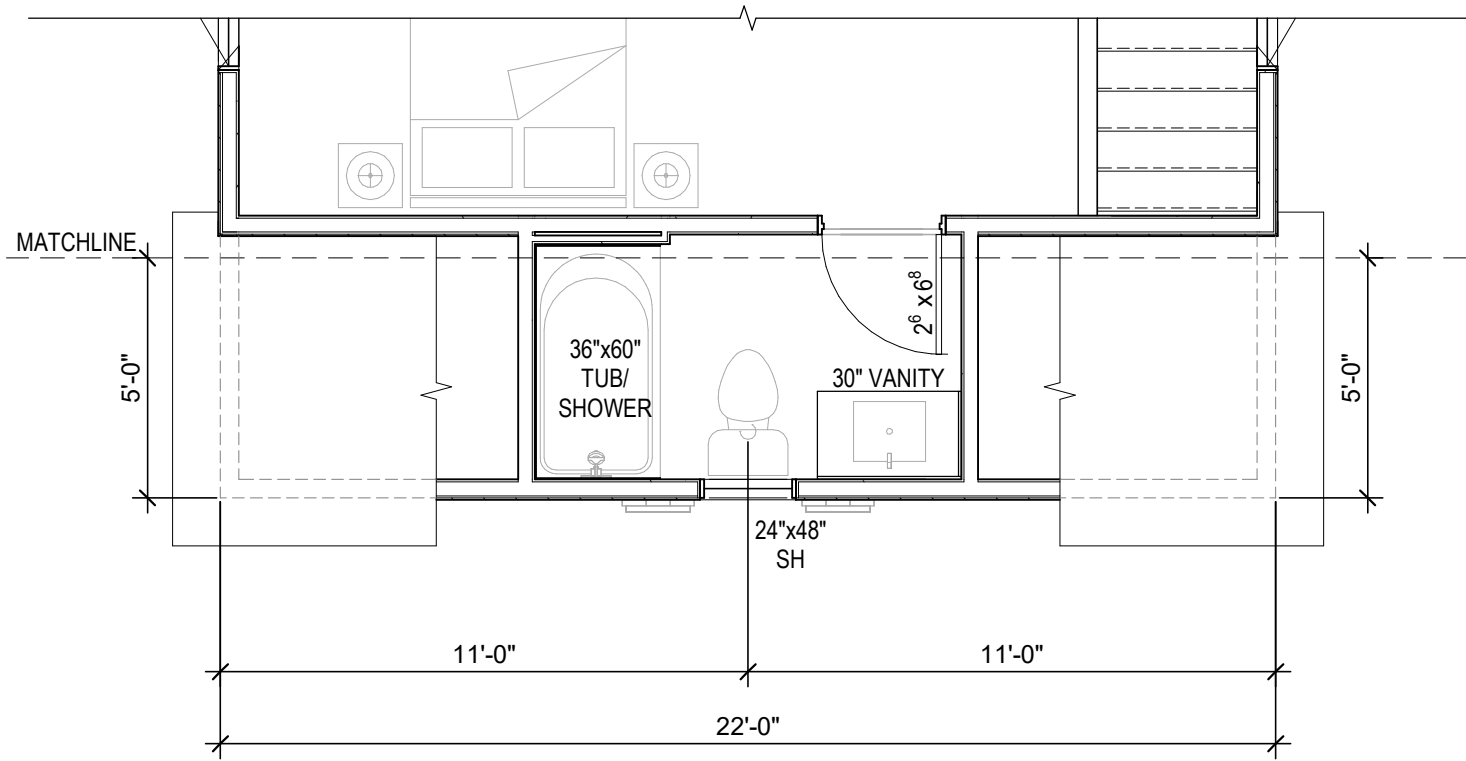
5 SINGLE UNIT - OPTION 5  
1/4" = 1'-0"



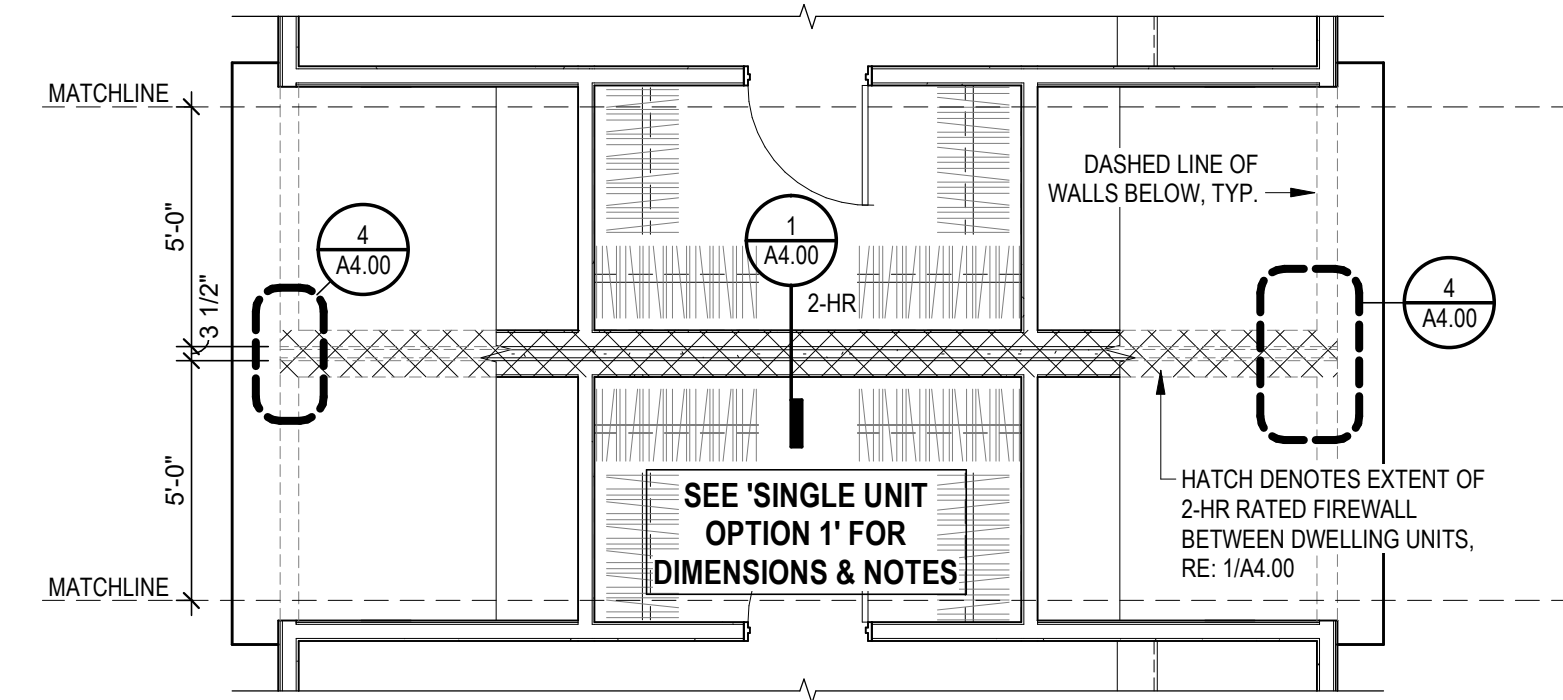
3 SINGLE UNIT - OPTION 3  
1/4" = 1'-0"



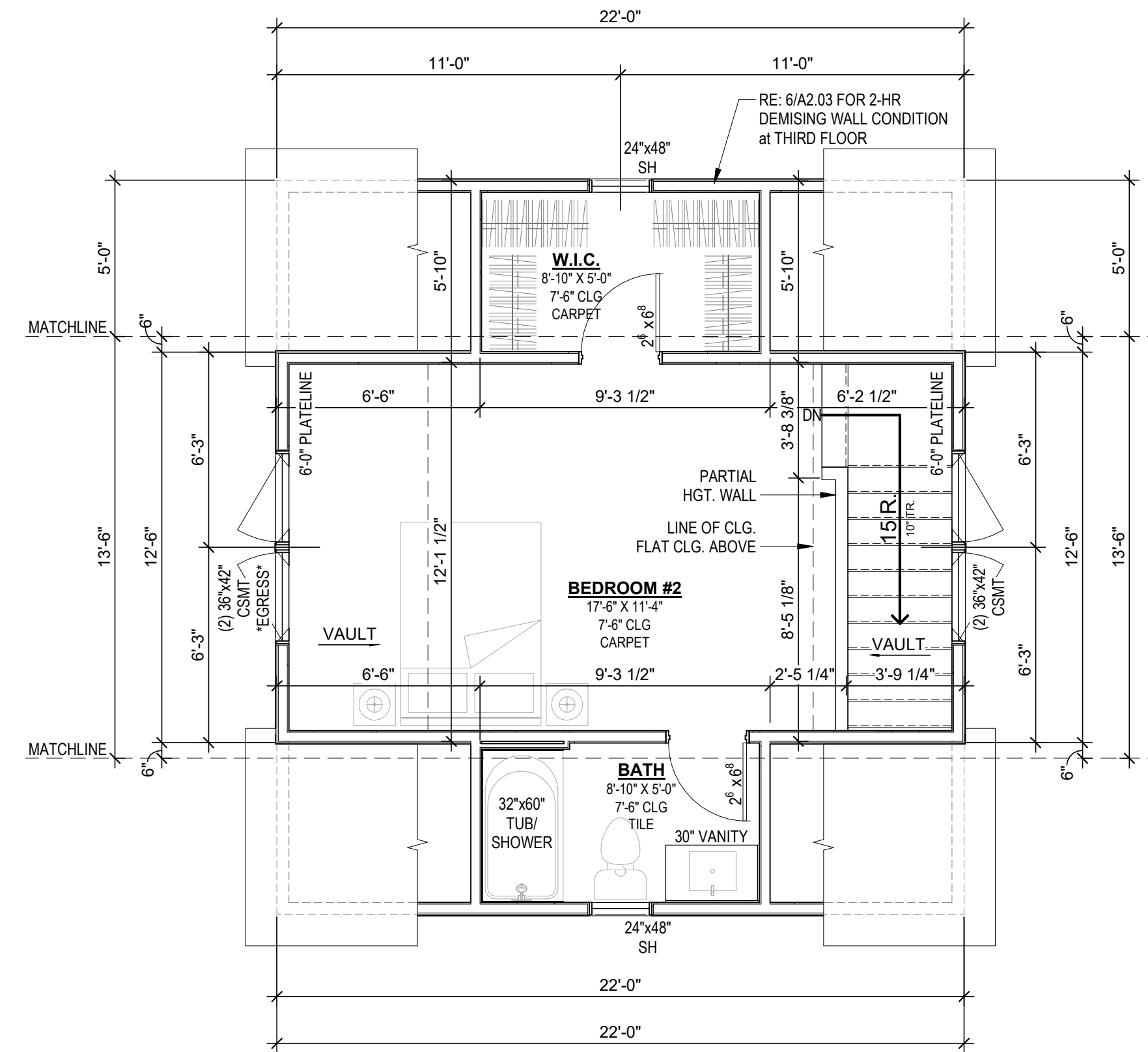
4 SINGLE UNIT - OPTION 4  
1/4" = 1'-0"



2 SINGLE UNIT - OPTION 2  
1/4" = 1'-0"



6 SINGLE UNIT CONDITION at DEMISING WALL  
1/4" = 1'-0"

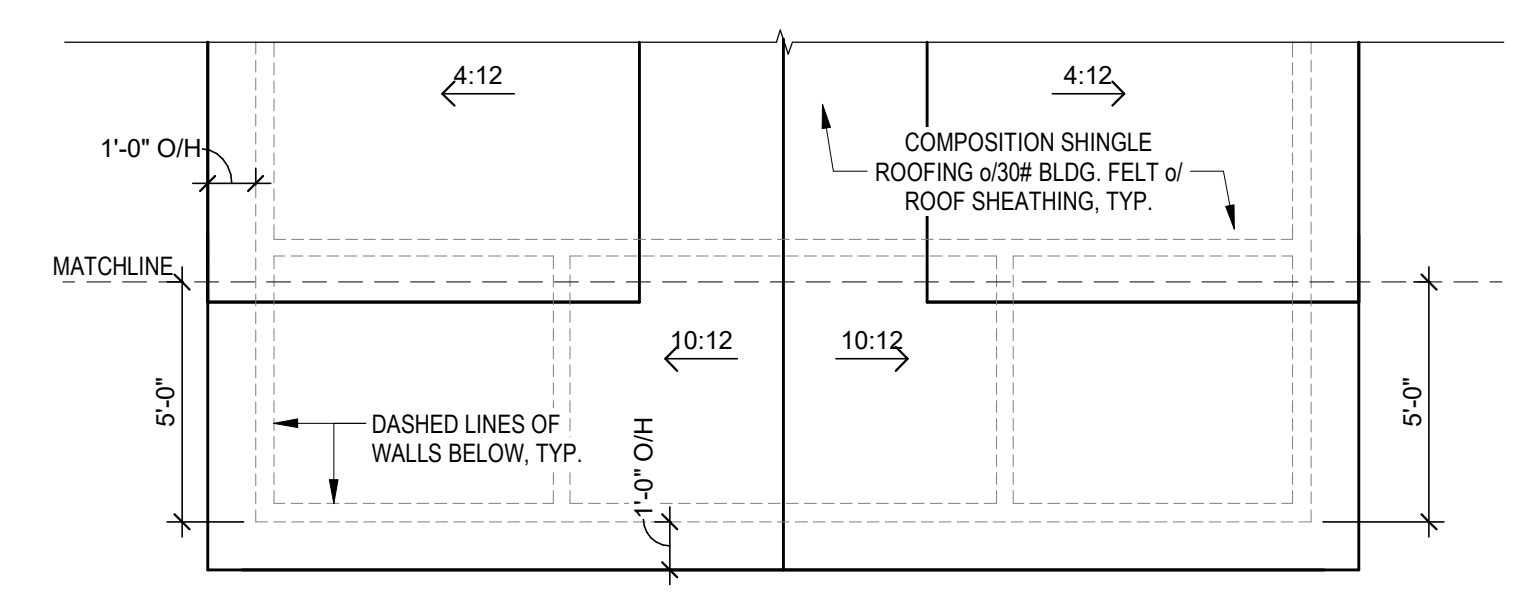
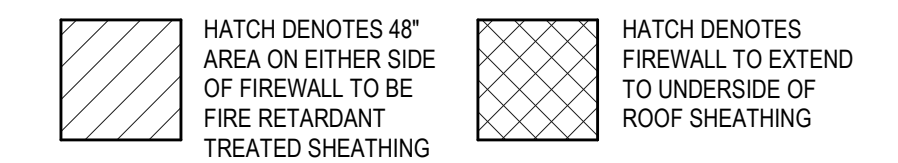


1 SINGLE UNIT - OPTION 1  
1/4" = 1'-0"

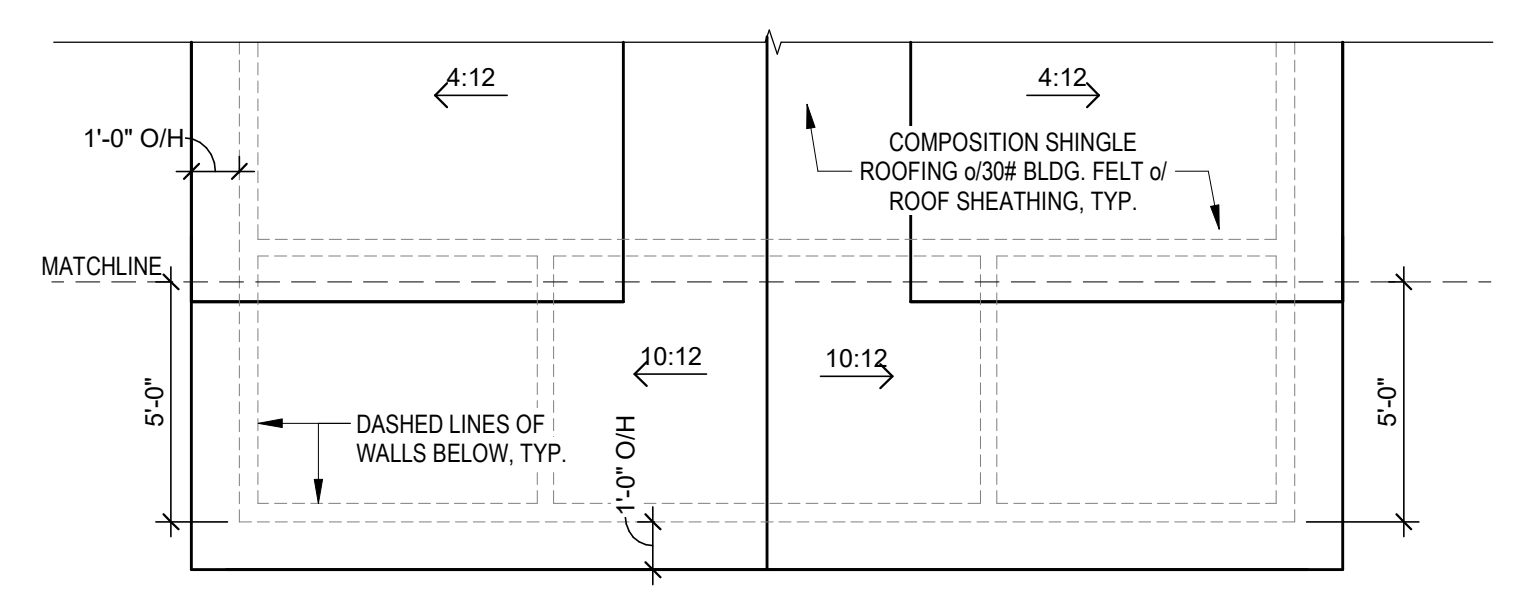


ROOF PLAN GENERAL NOTES:

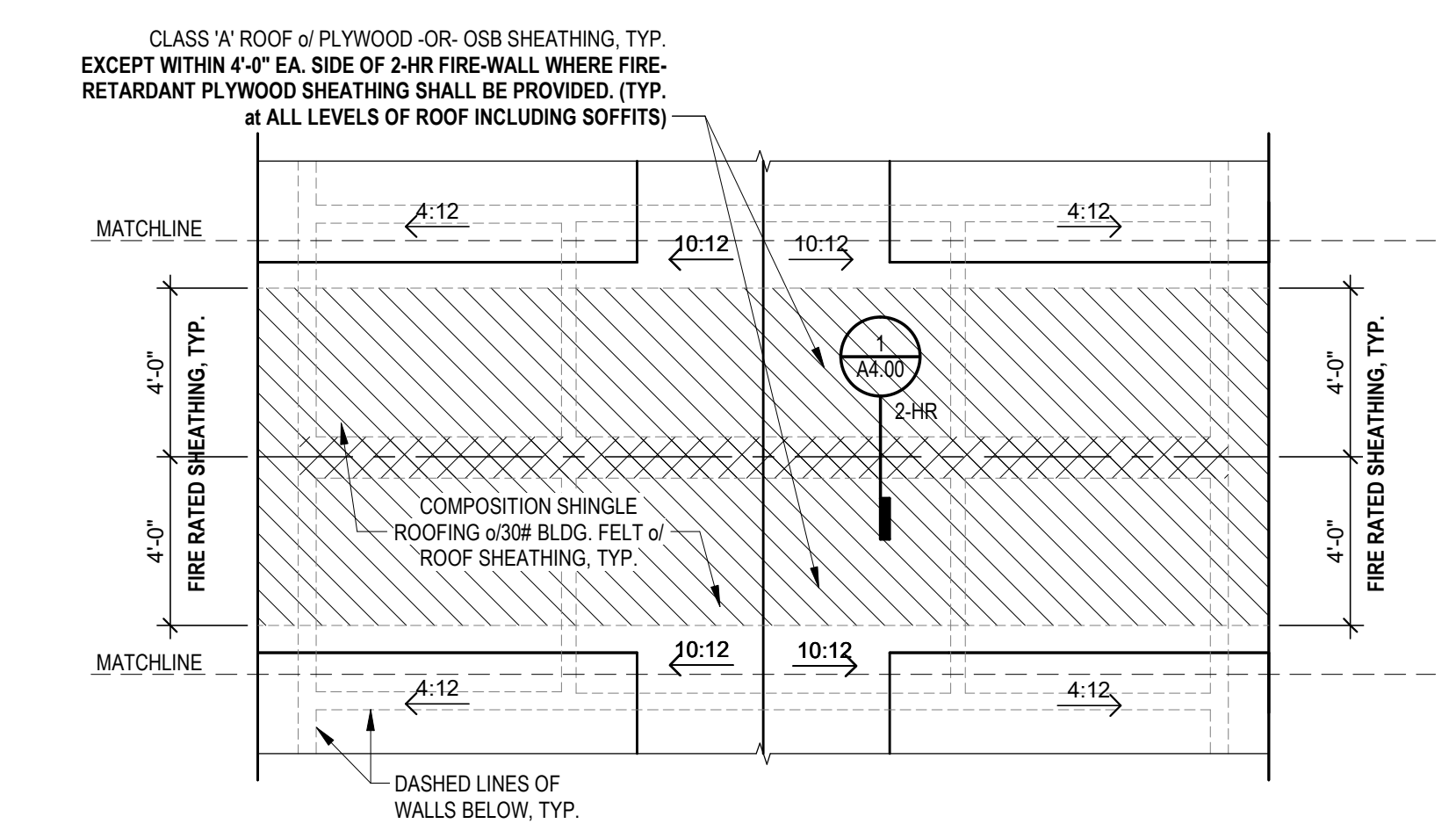
- A. ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS.
- B. PROVIDE KICK-OUT FLASHING AT ALL ROOF TO SIDE-WALL CONDITIONS.
- C. COORDINATE ALL ROOFING DETAILS WITH MANUFACTURER'S WARRANTED SYSTEM.
- D. ROOF VENTS & OTHER PENETRATIONS SHALL NOT BE LOCATED WITHIN THE 4'-0" WIDE FIRE-RATED SHEATHING PANELS ON EITHER SIDE OF THE CENTERLINE BETWEEN UNITS.
- E. ROOF PENETRATIONS TO BE GENERALLY LOCATED ON REAR ELEVATION SO AS TO NOT BE VISIBLE FROM THE STREET.



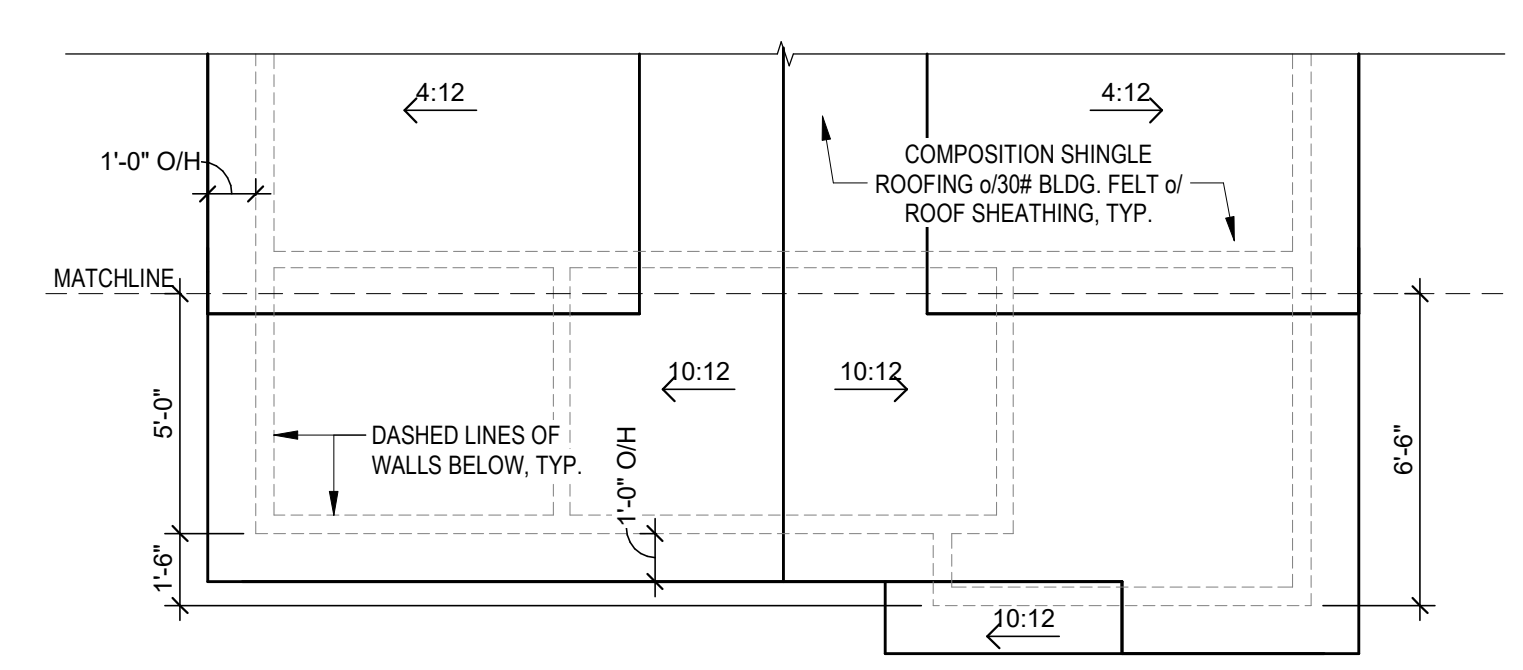
5 SINGLE UNIT - OPTION 5  
1/4" = 1'-0"



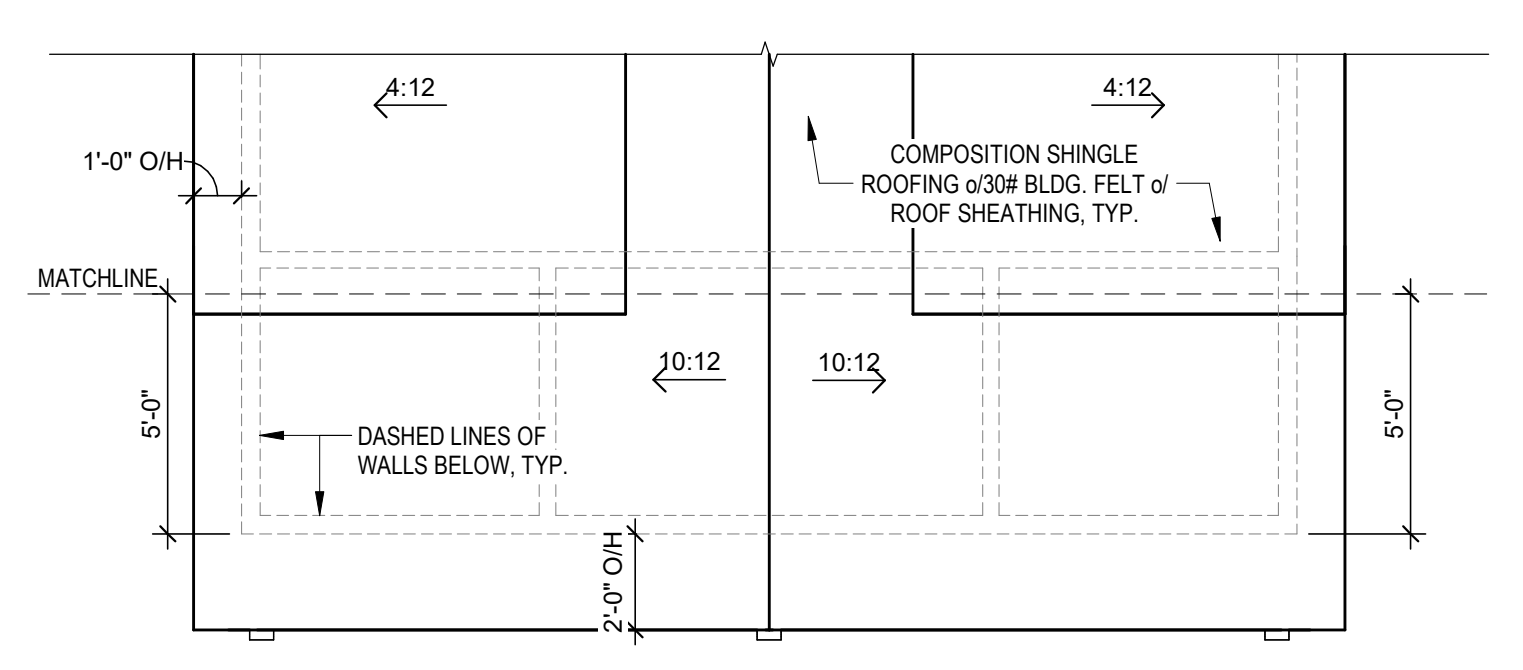
4 SINGLE UNIT - OPTION 4  
1/4" = 1'-0"



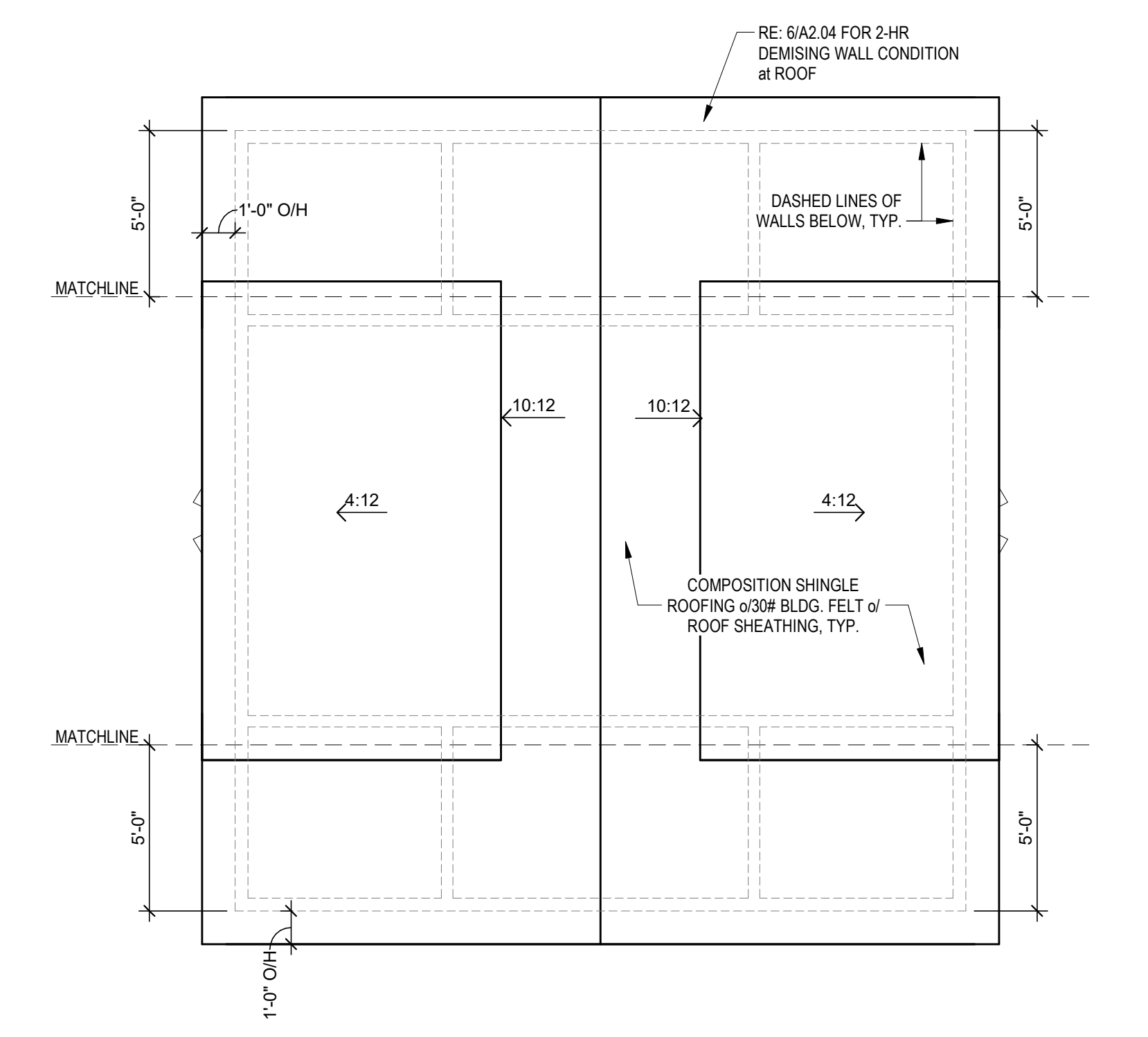
6 SINGLE UNIT CONDITION at DEMISING WALL  
1/4" = 1'-0"



3 SINGLE UNIT - OPTION 3  
1/4" = 1'-0"



2 SINGLE UNIT - OPTION 2  
1/4" = 1'-0"



1 SINGLE UNIT - OPTION 1  
1/4" = 1'-0"

A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

DRAWING RELEASE LOG  
06.08.23 - STRUCTURAL KICKOFF  
02.13.24 CITY SUBMITTAL

REVISIONS  
1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. 736623 DATE 06.06.2024  
DRAWN BY TWH, MLM, NSO

SHEET NAME SINGLE UNIT - ROOF PLANS

SHEET NO. A2.04

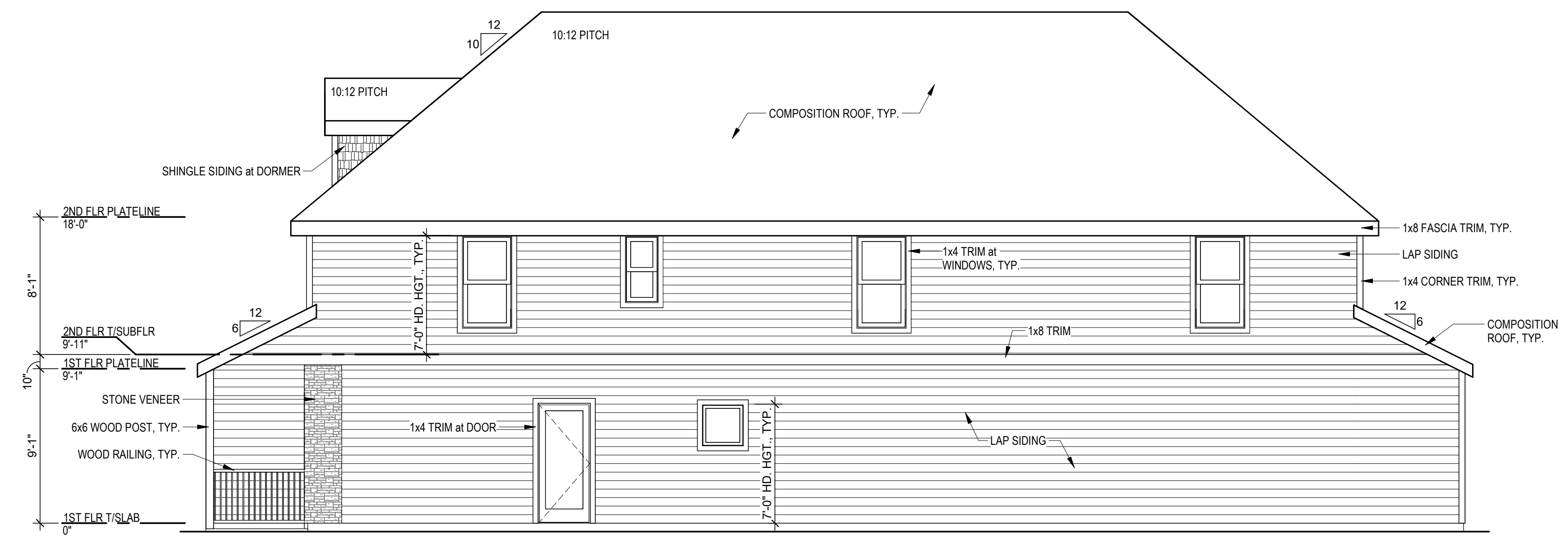
- ELEVATIONS GENERAL NOTES:**
- A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.
  - B. ALL TRIM TO BE FIBER CEMENT U.N.O.
  - C. REFER TO SHEET **A3.00** FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

**BUILDING HEIGHTS**

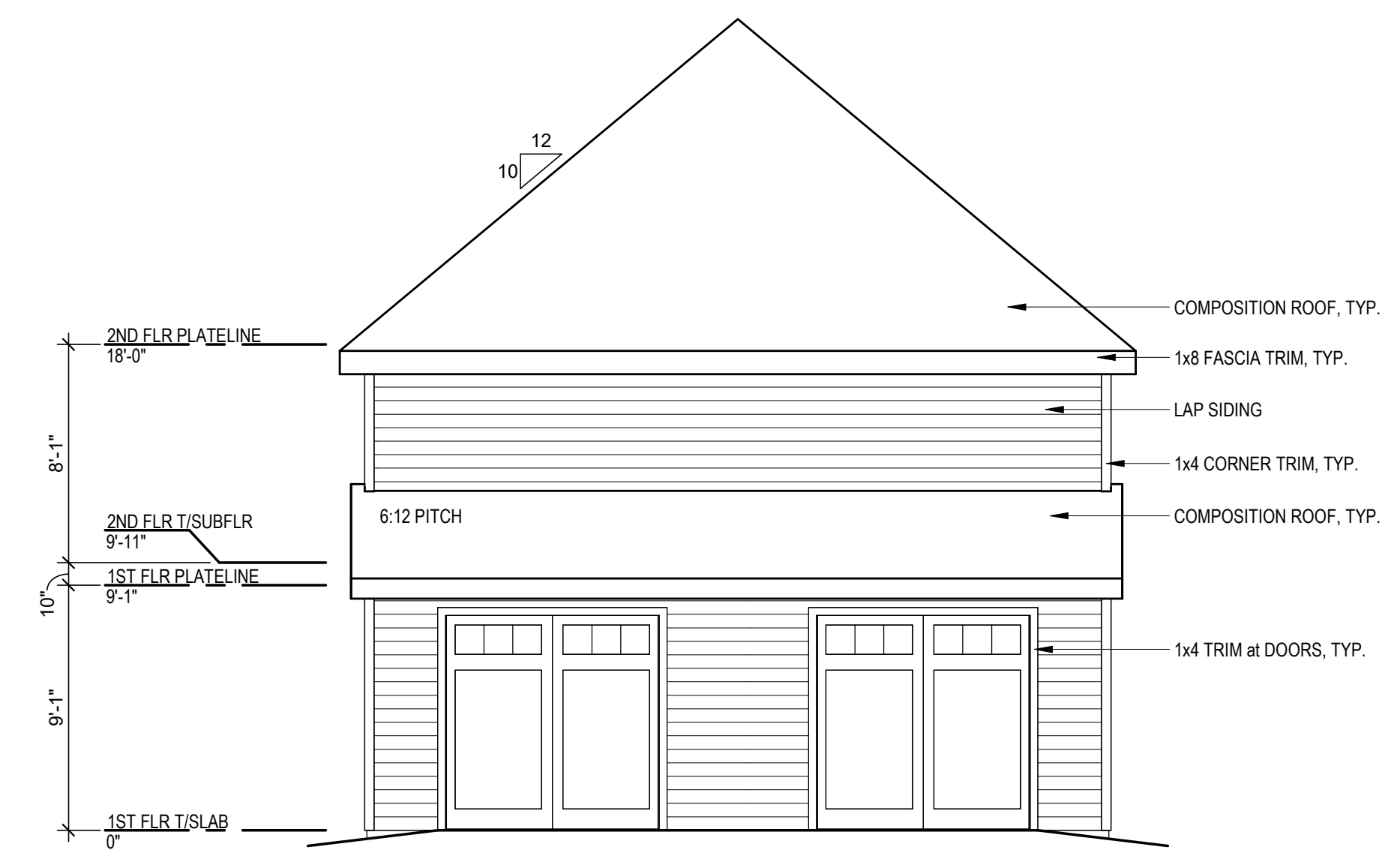
UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

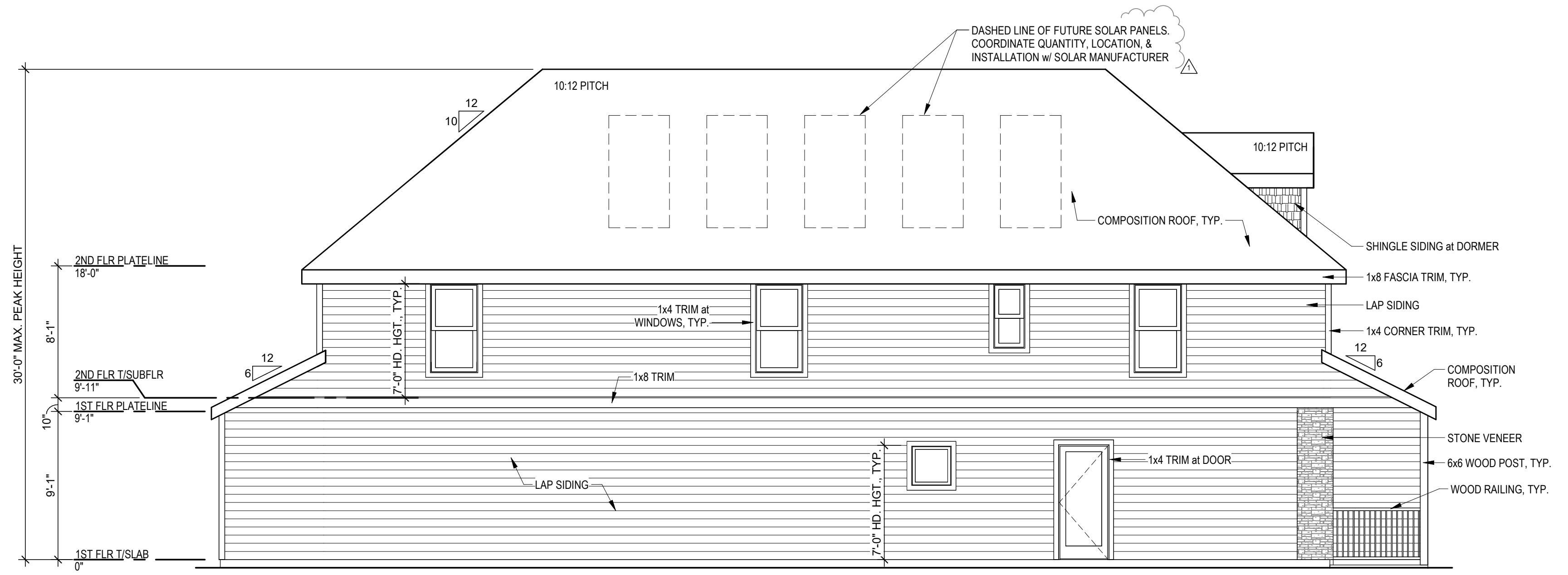
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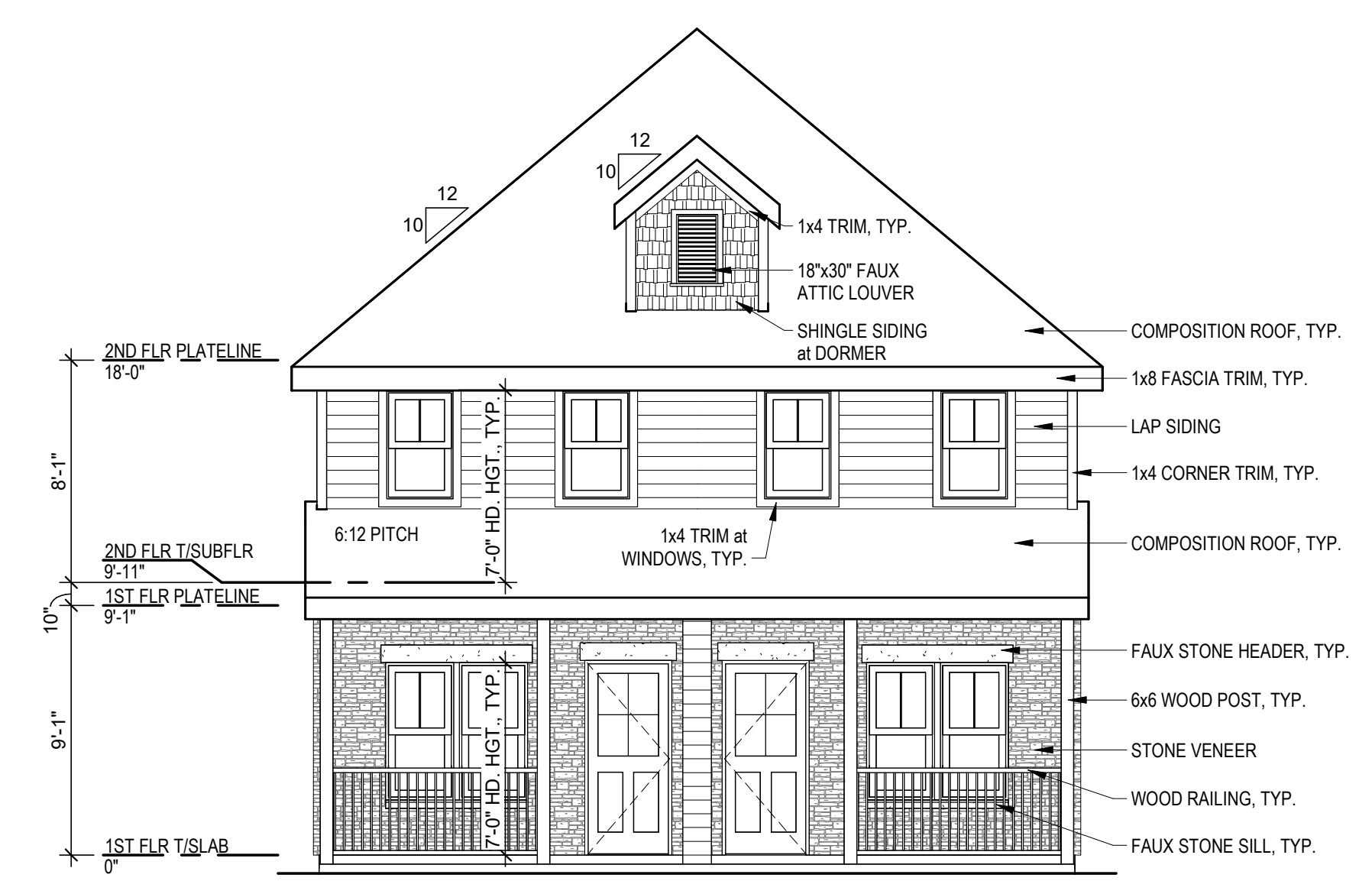
**4** DOUBLE UNIT - OPTION 1 - RIGHT ELEVATION  
3/16" = 1'-0"



**3** DOUBLE UNIT - OPTION 1 - REAR ELEVATION  
3/16" = 1'-0"



**2** DOUBLE UNIT - OPTION 1 - LEFT ELEVATION  
3/16" = 1'-0"



**1** DOUBLE UNIT OPTION 1 - FRONT ELEVATION  
3/16" = 1'-0"

A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

**DRAWING RELEASE LOG**

- 06.08.23 - STRUCTURAL KICKOFF
- 02.13.24 - CITY SUBMITTAL

**REVISIONS**

1	01.01.22	CITY SUBMITTAL RESPONSE T
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JOB NO. **736623** DATE **06.06.2024**  
DRAWN BY **TWH, MLM, NSO**

SHEET NAME  
DOUBLE UNIT OPTION 1 -  
ELEVATIONS  
SHEET NO.

**A3.00**

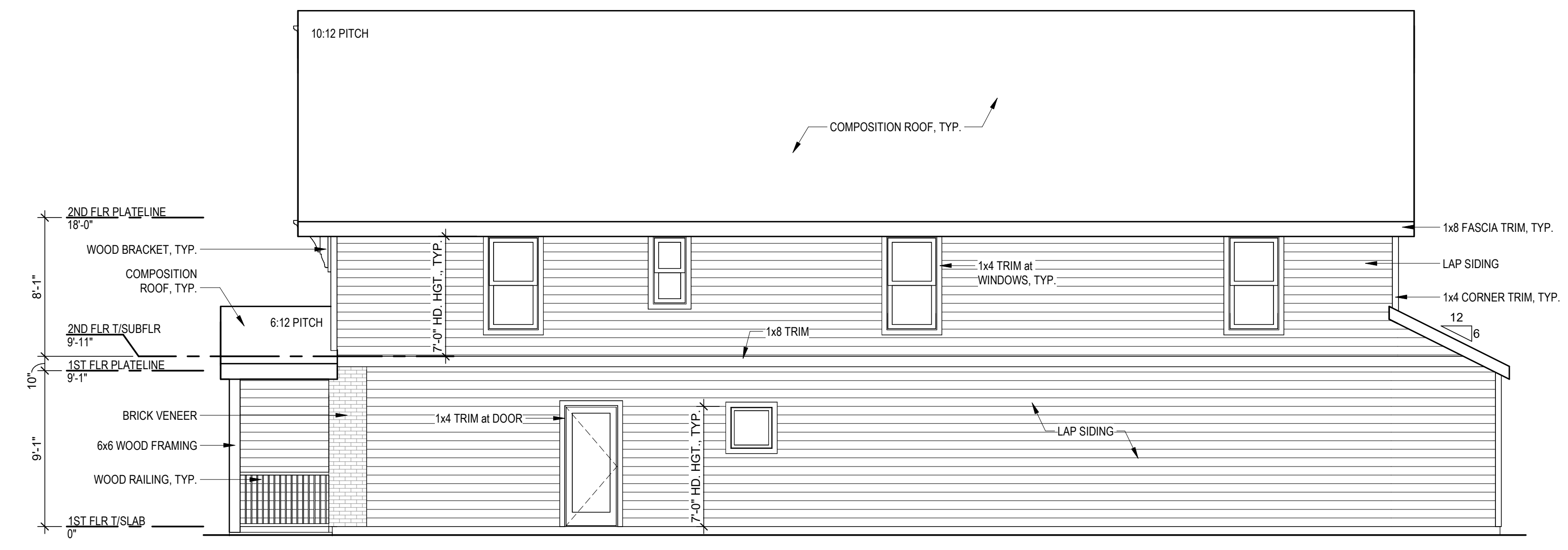
- ELEVATIONS GENERAL NOTES:**
- A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.
  - B. ALL TRIM TO BE FIBER CEMENT U.N.O.
  - C. REFER TO SHEET **A3.00** FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

**BUILDING HEIGHTS**

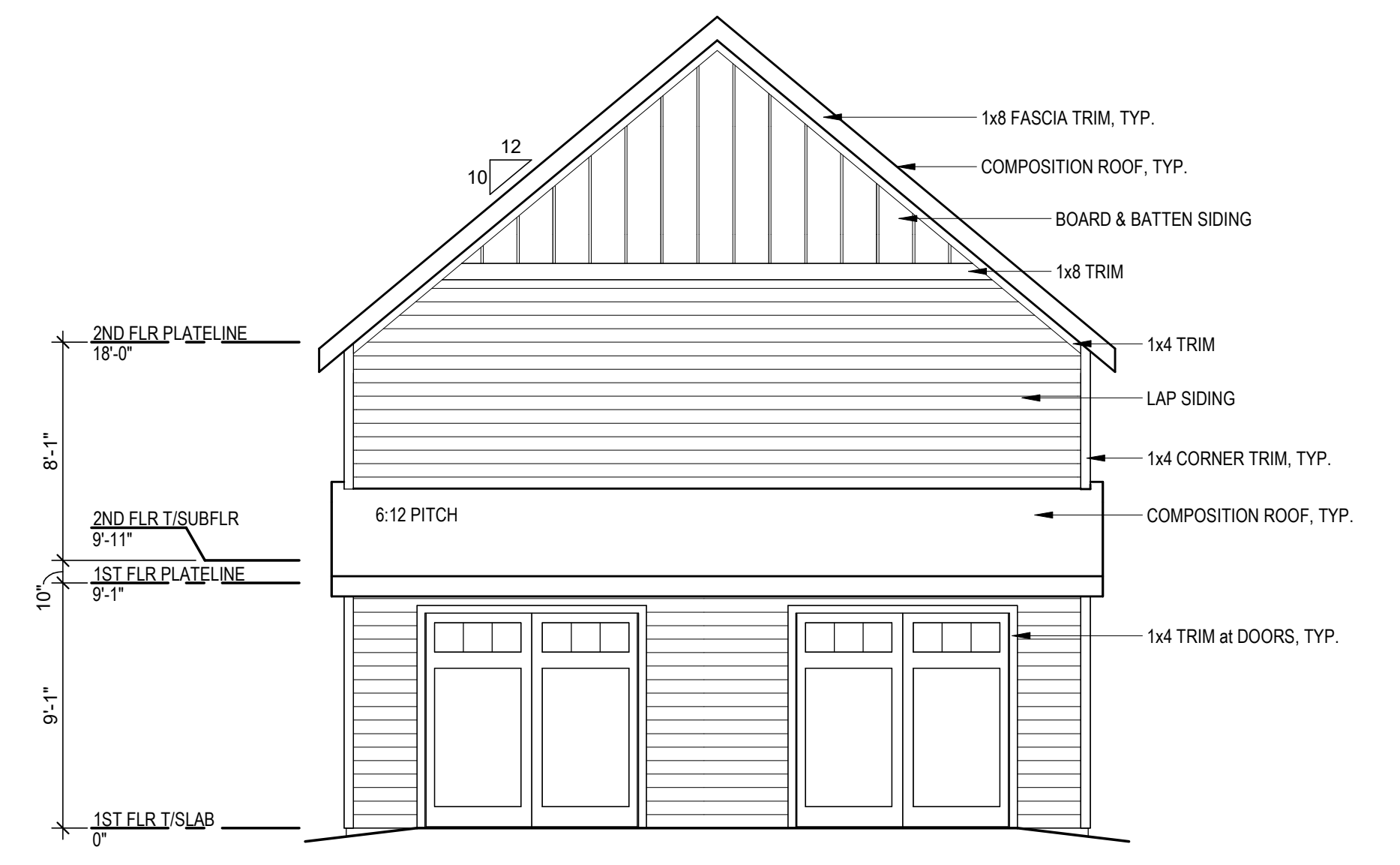
UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

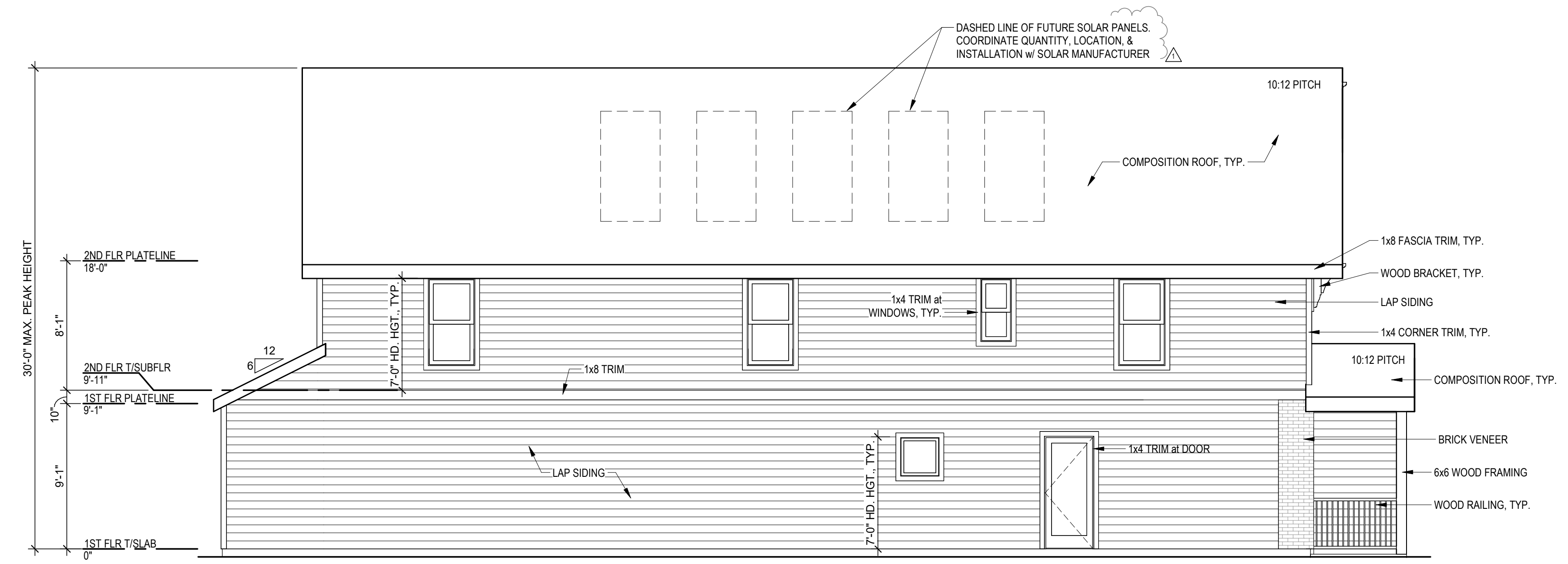
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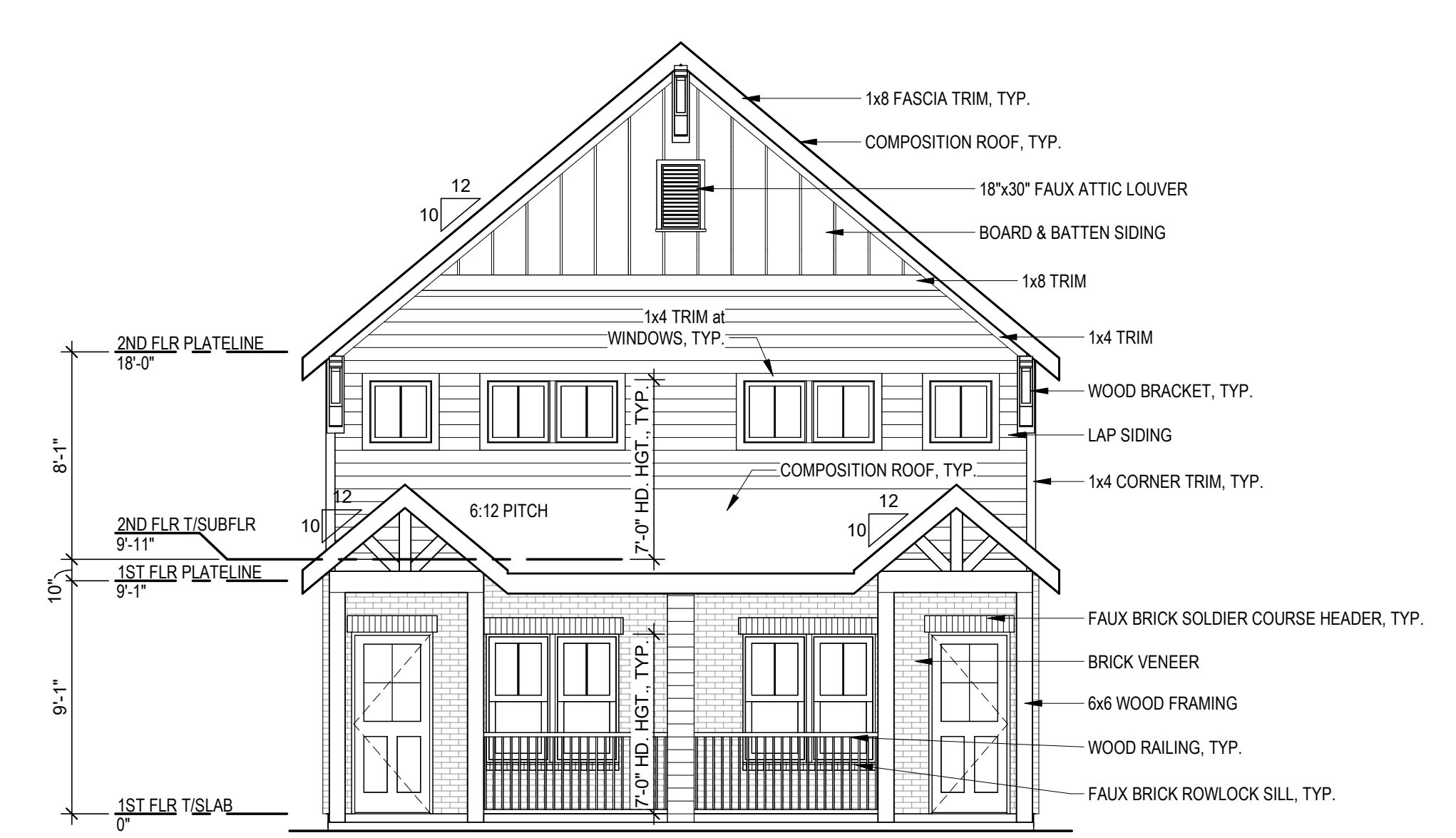
**4** DOUBLE UNIT - OPTION 2 - RIGHT ELEVATION  
3/16" = 1'-0"



**3** DOUBLE UNIT - OPTION 2 - REAR ELEVATION  
3/16" = 1'-0"



**2** DOUBLE UNIT - OPTION 2 - LEFT ELEVATION  
3/16" = 1'-0"



**1** DOUBLE UNIT OPTION 2 - FRONT ELEVATION  
3/16" = 1'-0"

A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

**DRAWING RELEASE LOG**

- 06.08.23 - STRUCTURAL KICKOFF
- 02.13.24 - CITY SUBMITTAL

**REVISIONS**

1	01.01.22	CITY SUBMITTAL RESPONSE T
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JOB NO. **736623** DATE **06.06.2024**  
DRAWN BY **TWH, MLM, NSO**

SHEET NAME  
DOUBLE UNIT OPTION 2 - ELEVATIONS  
SHEET NO.

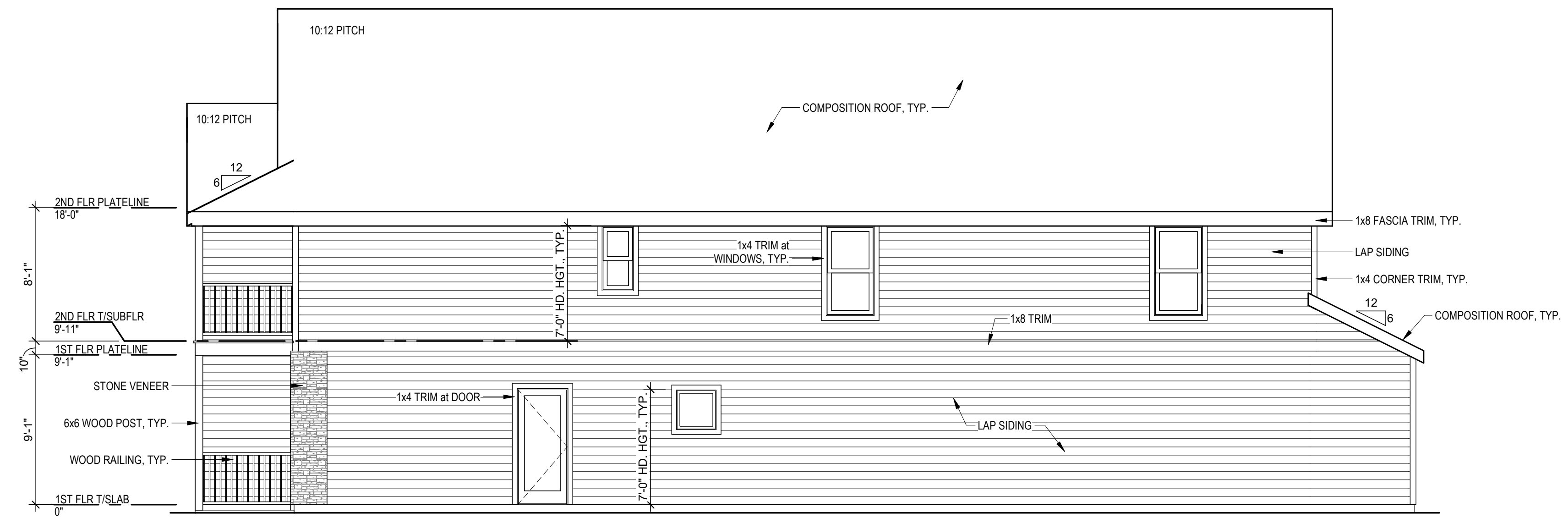
**A3.01**

ELEVATIONS GENERAL NOTES:

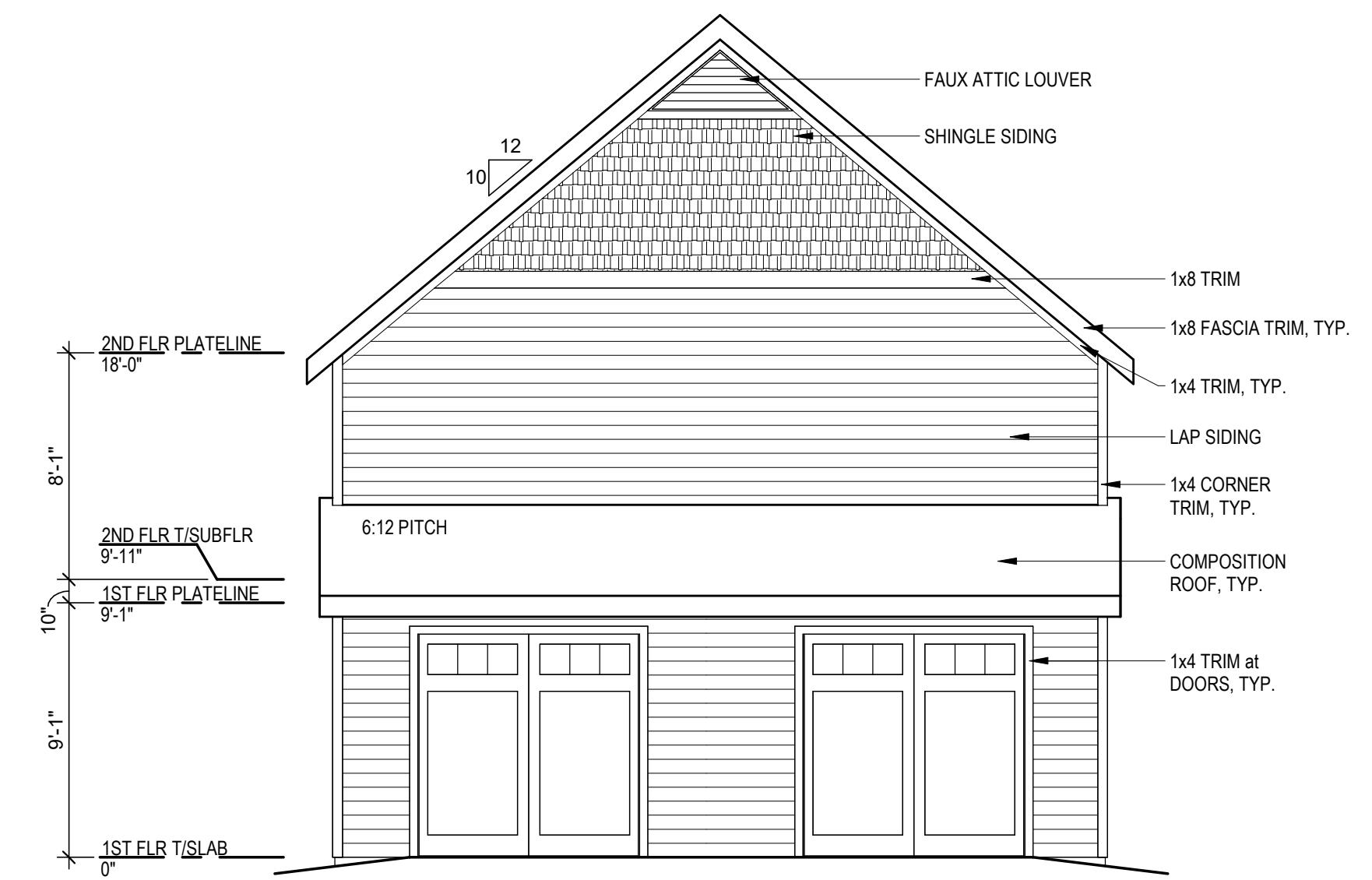
- A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.
- B. ALL TRIM TO BE FIBER CEMENT U.N.O.
- C. REFER TO SHEET **A3.00** FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

BUILDING HEIGHTS

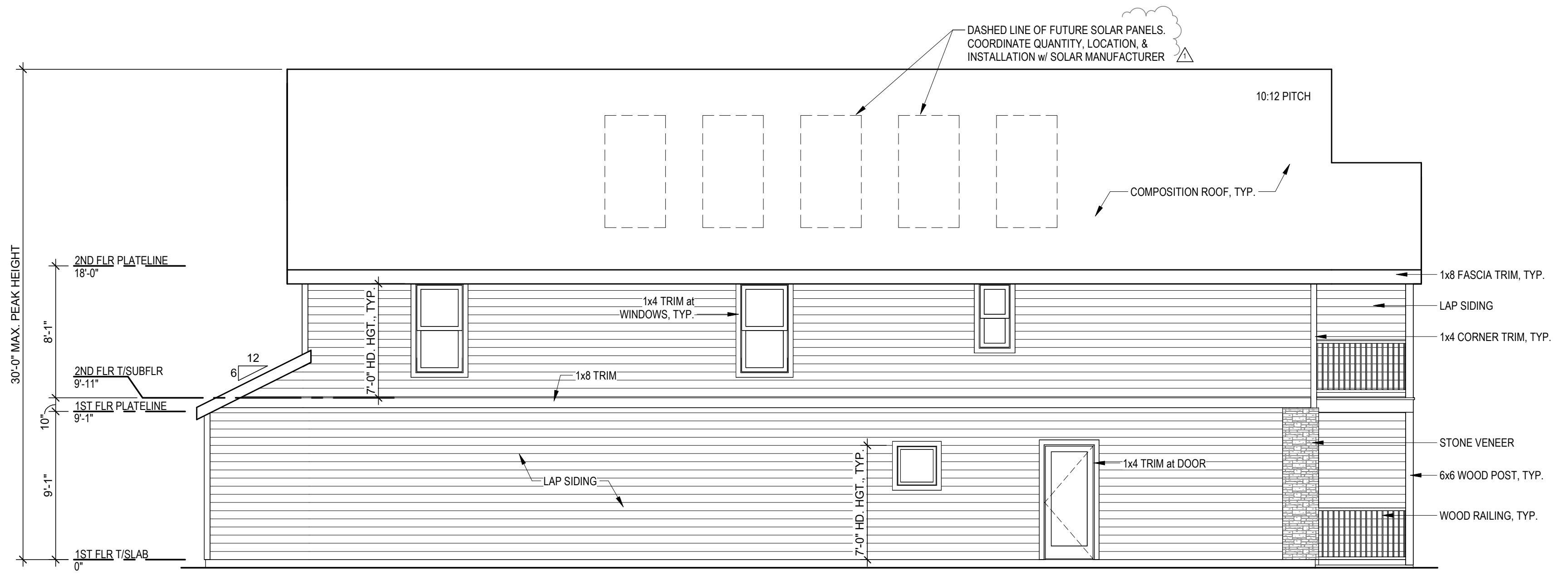
UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"



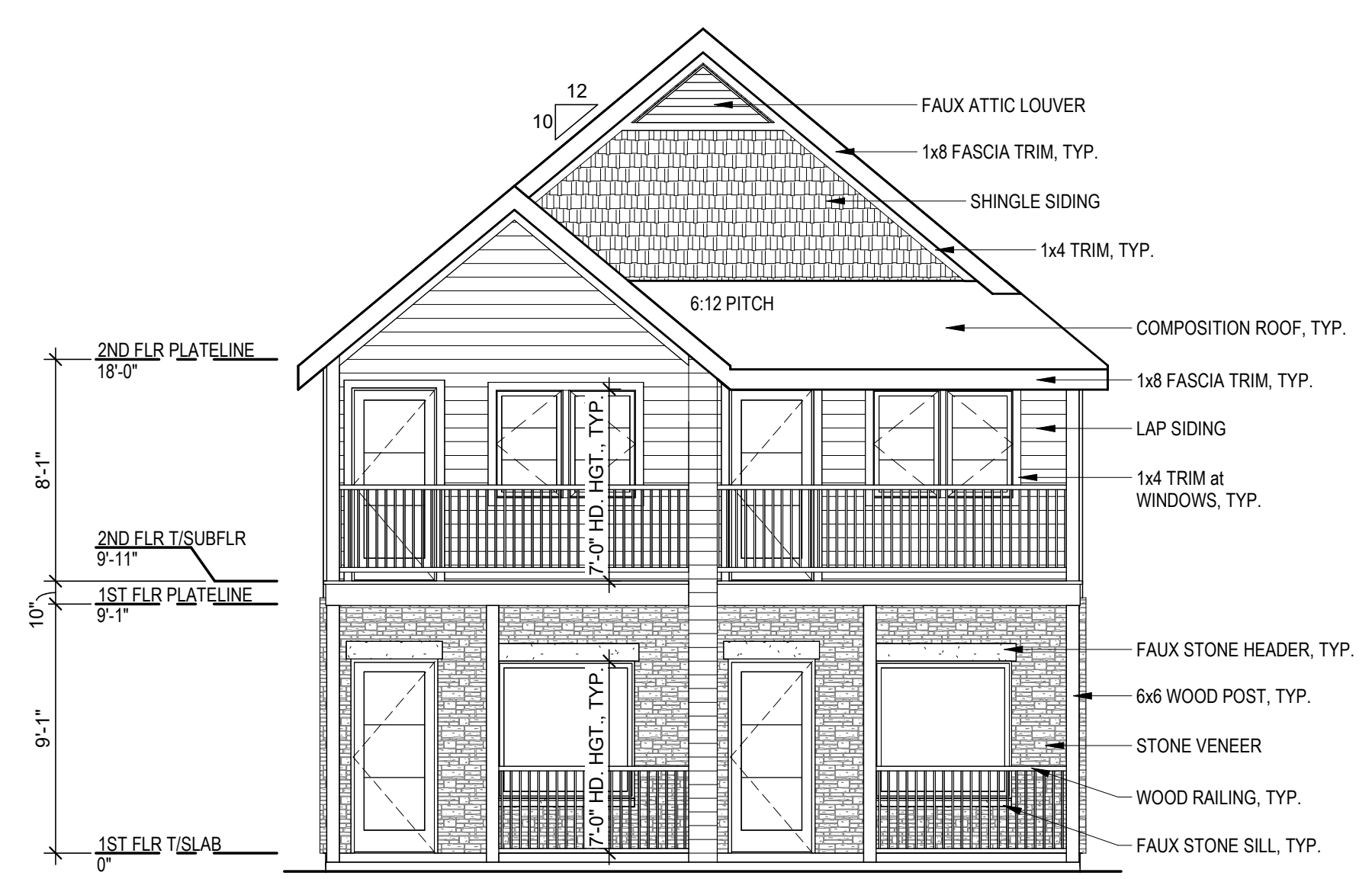
**4** DOUBLE UNIT - OPTION 3 - RIGHT ELEVATION  
3/16" = 1'-0"



**3** DOUBLE UNIT - OPTION 3 - REAR ELEVATION  
3/16" = 1'-0"



**2** DOUBLE UNIT - OPTION 3 - LEFT ELEVATION  
3/16" = 1'-0"



**1** DOUBLE UNIT - OPTION 3 - FRONT ELEVATION  
3/16" = 1'-0"

A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

DRAWING RELEASE LOG  
06.08.23 - STRUCTURAL KICKOFF  
02.13.24 CITY SUBMITTAL

REVISIONS  
1. 01.01.22 CITY SUBMITTAL RESPONSE T

JOB NO. **736623** DATE **06.06.2024**  
DRAWN BY **TWH, MLM, NSO**

SHEET NAME  
DOUBLE UNIT OPTION 3 - ELEVATIONS  
SHEET NO.

**A3.02**

ELEVATIONS GENERAL NOTES:

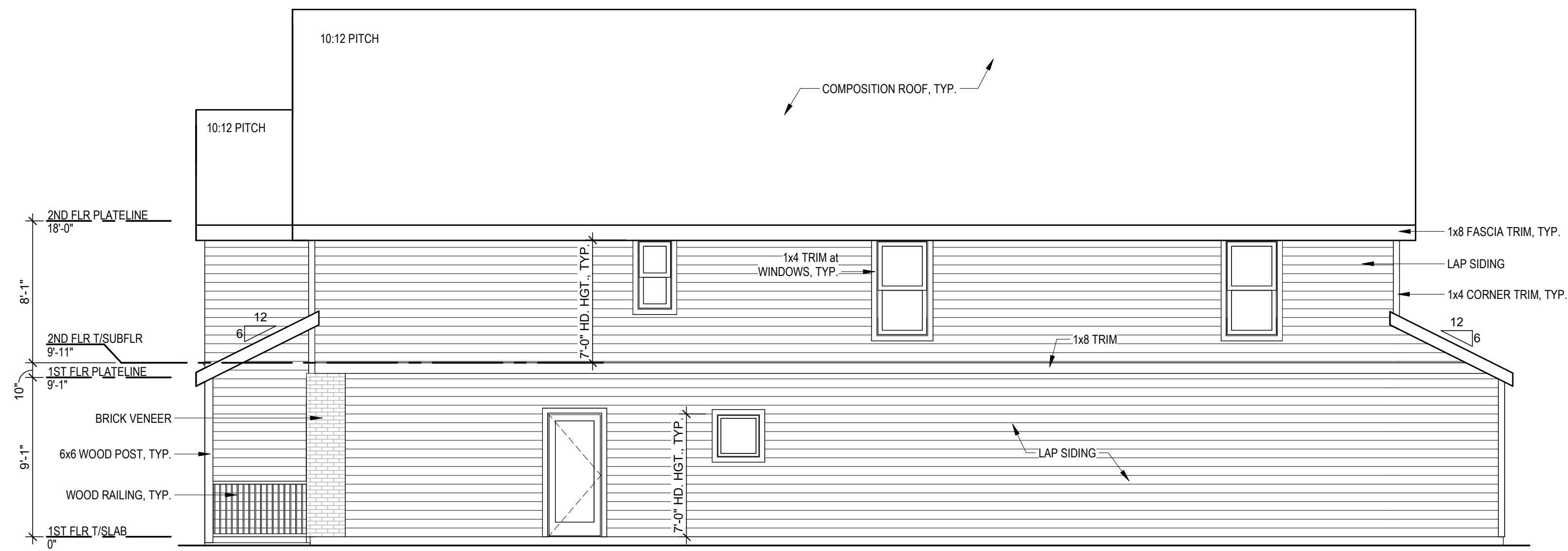
- A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.
- B. ALL TRIM TO BE FIBER CEMENT U.N.O.
- C. REFER TO SHEET A3.00 FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

BUILDING HEIGHTS

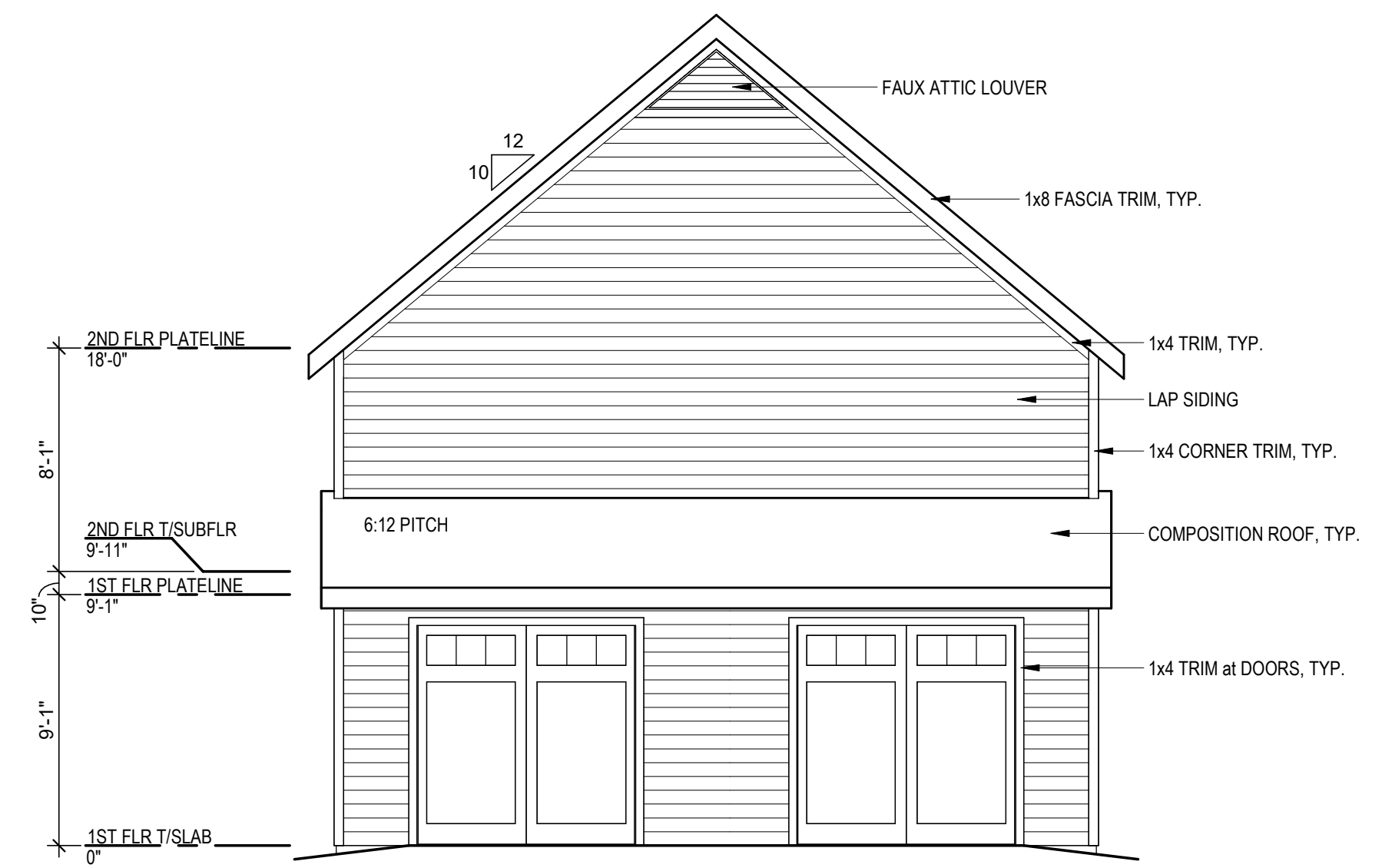
UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

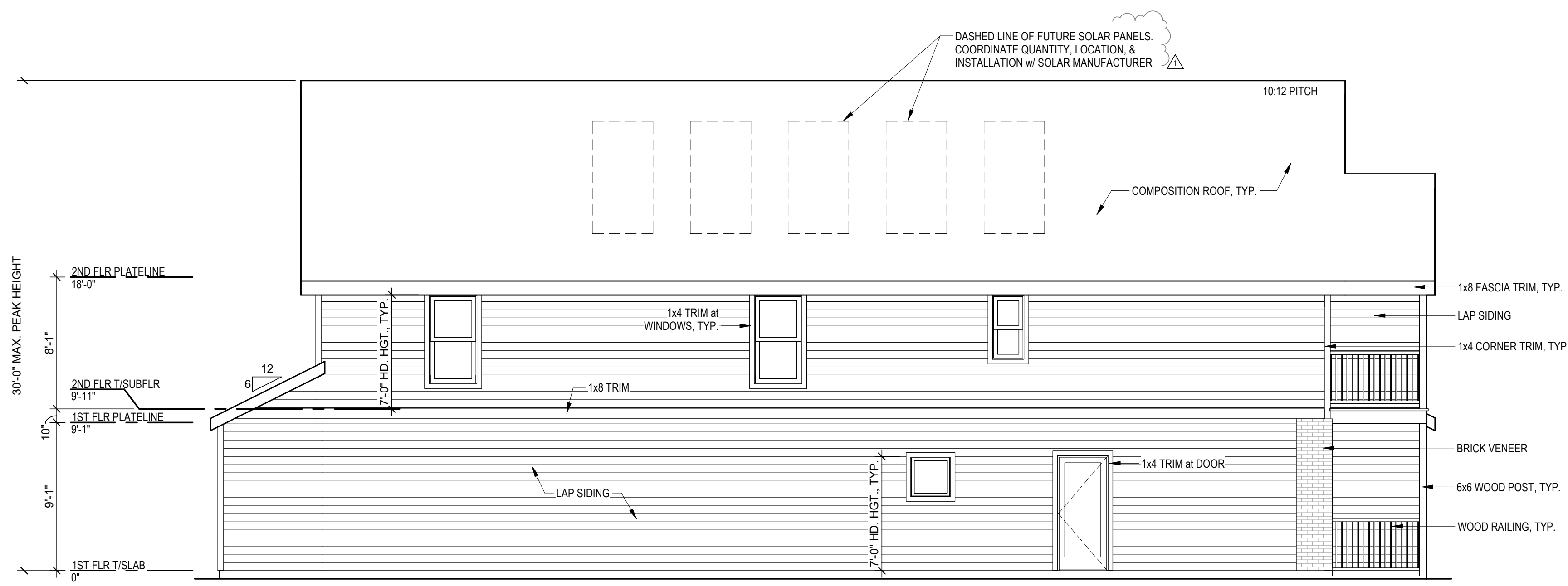
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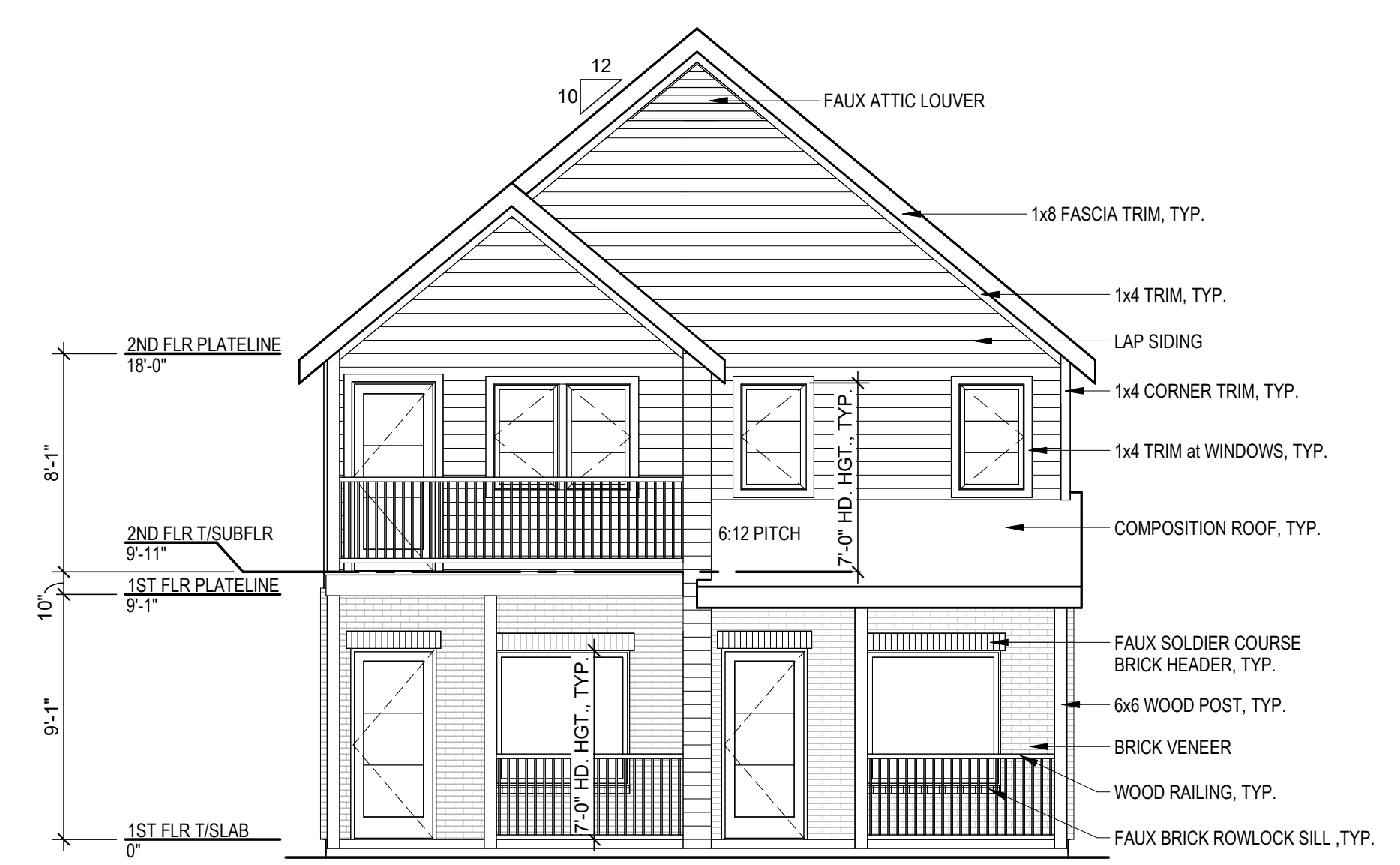
4 DOUBLE UNIT - OPTION 4 - RIGHT ELEVATION  
3/16" = 1'-0"



3 DOUBLE UNIT - OPTION 4 - REAR ELEVATION  
3/16" = 1'-0"



2 DOUBLE UNIT - OPTION 4 - LEFT ELEVATION  
3/16" = 1'-0"



1 DOUBLE UNIT - OPTION 4 - FRONT ELEVATION  
3/16" = 1'-0"

A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

DRAWING RELEASE LOG  
06.08.23 - STRUCTURAL KICKOFF  
02.13.24 CITY SUBMITTAL

REVISIONS  
1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. 736623 DATE 06.06.2024  
DRAWN BY TWH, MLM, NSO

SHEET NAME  
DOUBLE UNIT OPTION 4 - ELEVATIONS  
SHEET NO.

**A3.03**

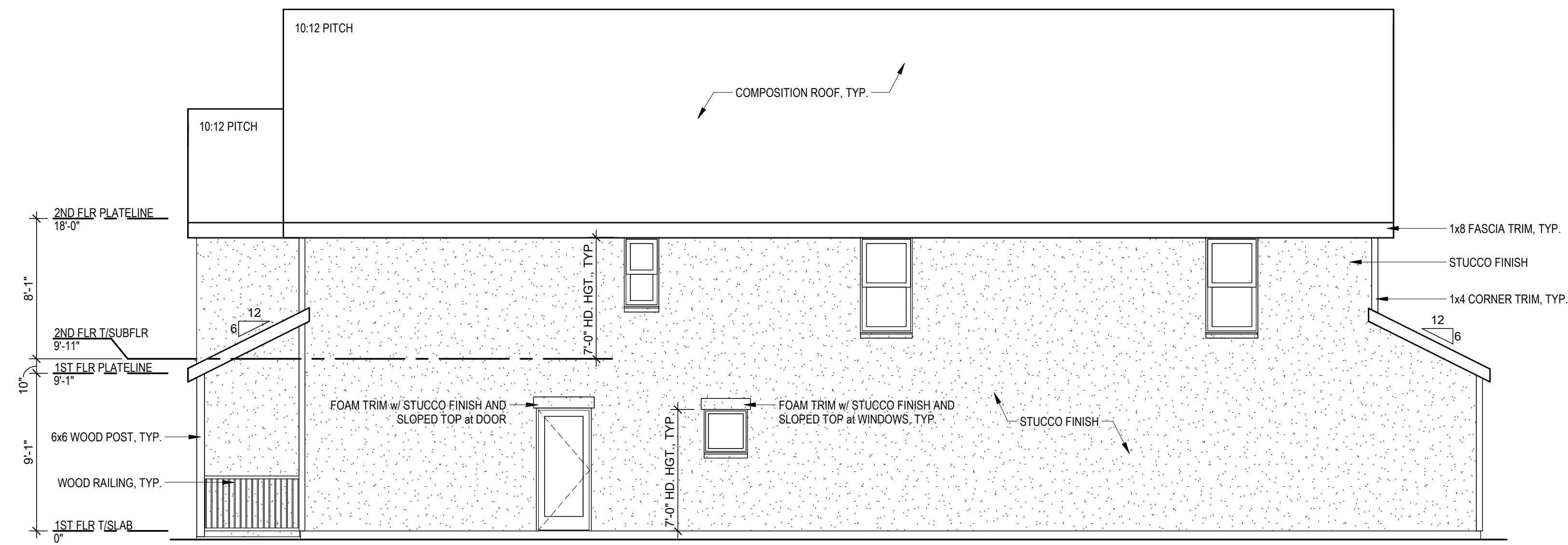
- ELEVATIONS GENERAL NOTES:**
- A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF. MIN.
  - B. ALL TRIM TO BE FIBER CEMENT U.N.O.
  - C. REFER TO SHEET **A3.00** FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

**BUILDING HEIGHTS**

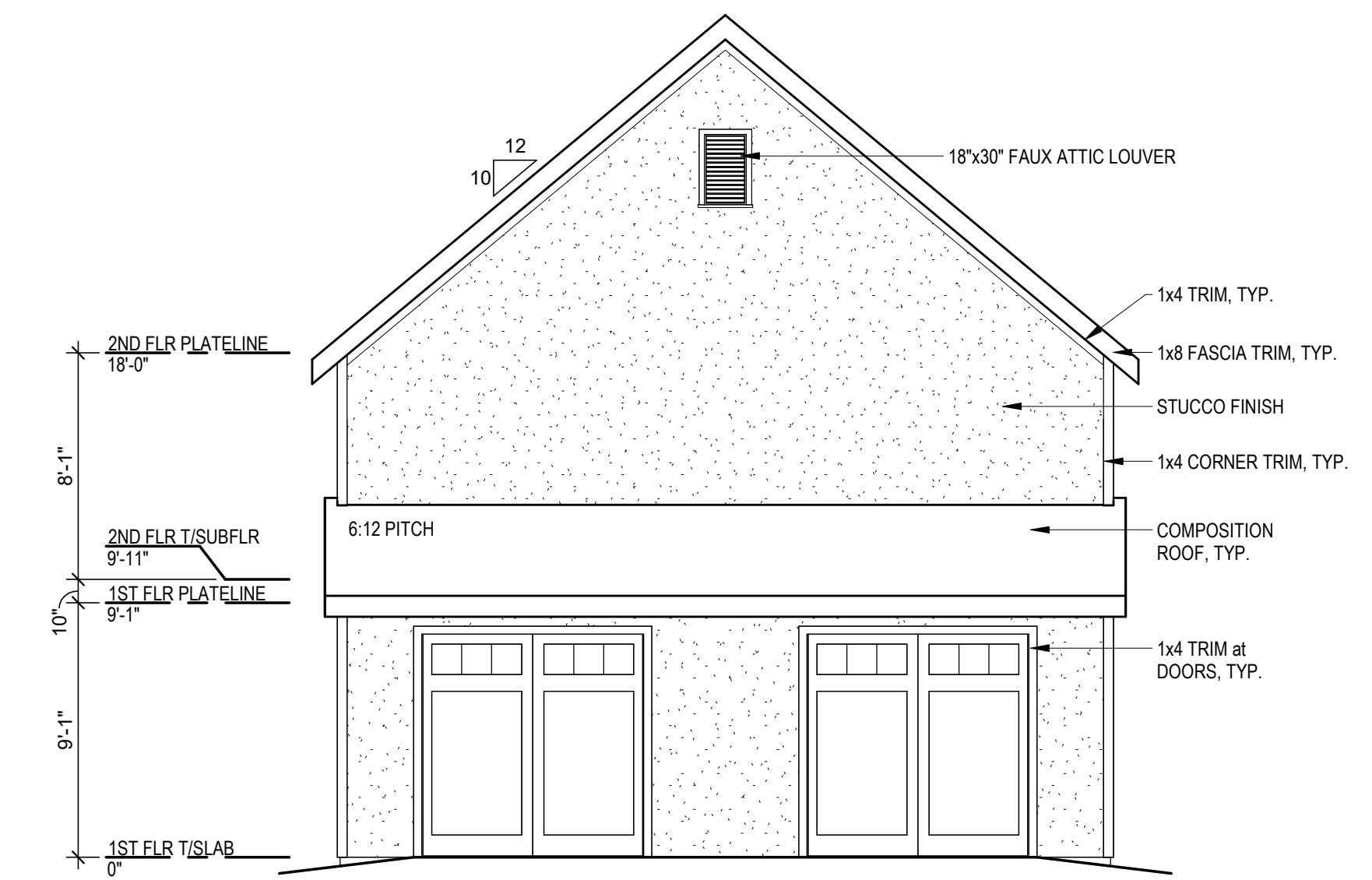
UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

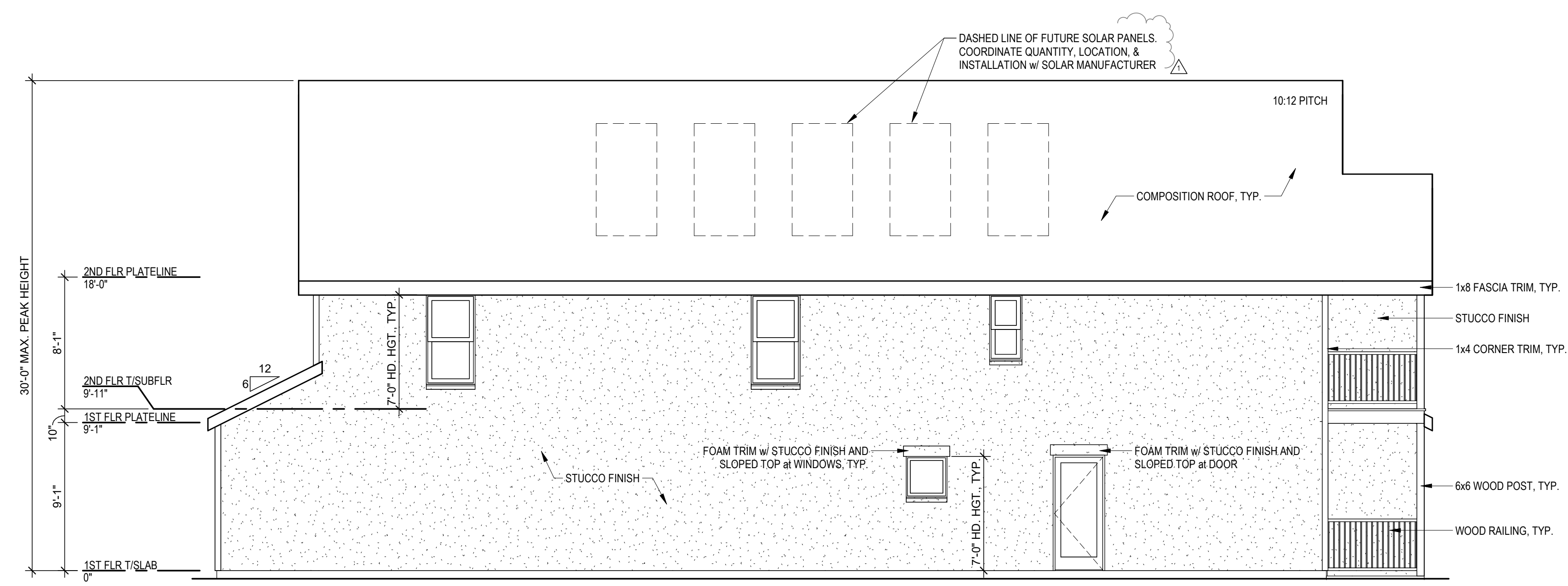
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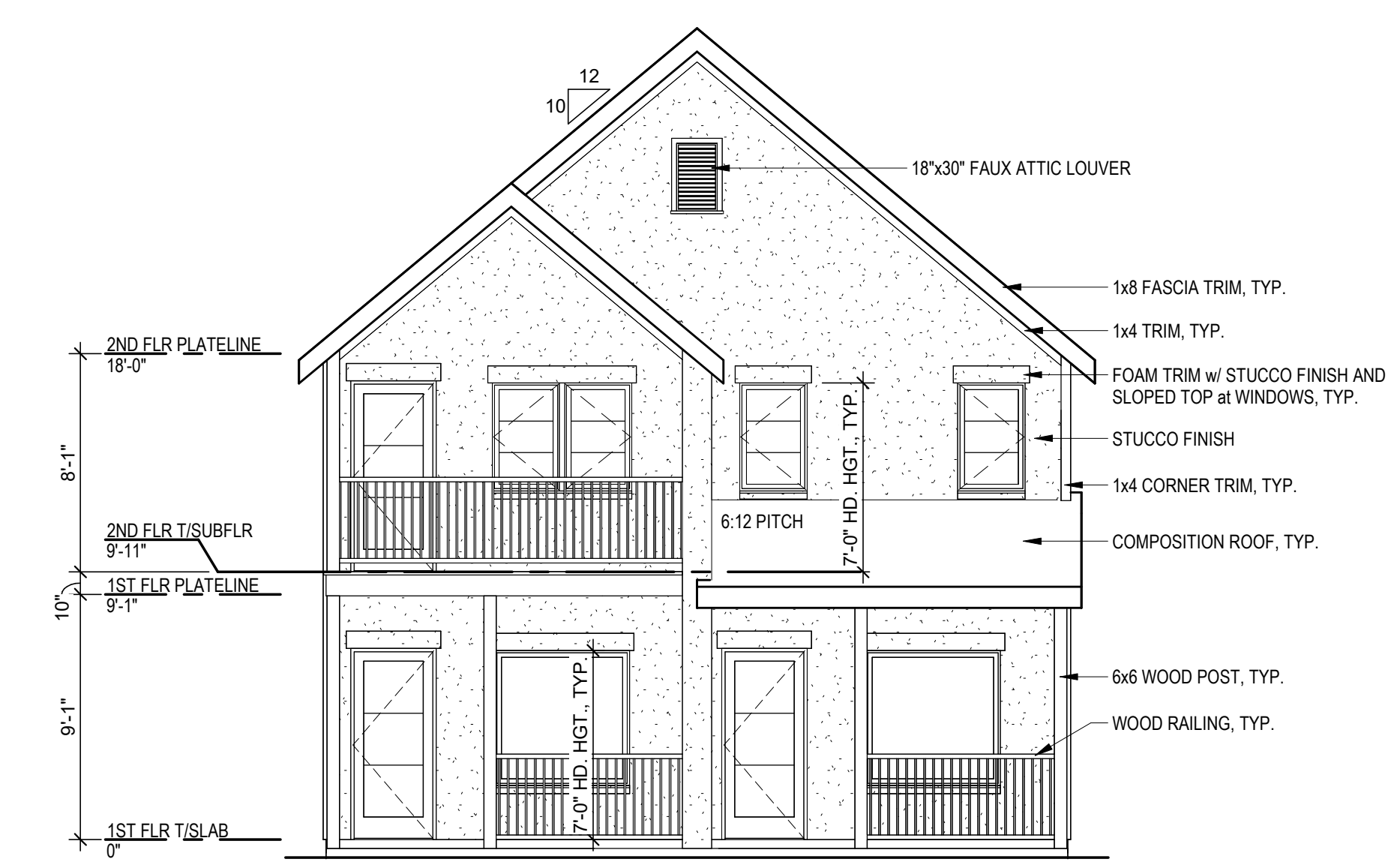
**4** DOUBLE UNIT - OPTION 5 - RIGHT ELEVATION  
3/16" = 1'-0"



**3** DOUBLE UNIT - OPTION 5 - REAR ELEVATION  
3/16" = 1'-0"



**2** DOUBLE UNIT - OPTION 5 - LEFT ELEVATION  
3/16" = 1'-0"



**1** DOUBLE UNIT - OPTION 5 - FRONT ELEVATION  
3/16" = 1'-0"

A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

**DRAWING RELEASE LOG**

- 06.08.23 - STRUCTURAL KICKOFF
- 02.13.24 CITY SUBMITTAL

**REVISIONS**

- 1 01.01.22 CITY SUBMITTAL RESPONSE T

JOB NO. **736623** DATE **06.06.2024**  
DRAWN BY **TWH, MLM, NSO**

SHEET NAME  
**DOUBLE UNIT OPTION 5 - ELEVATIONS**  
SHEET NO.

**A3.04**

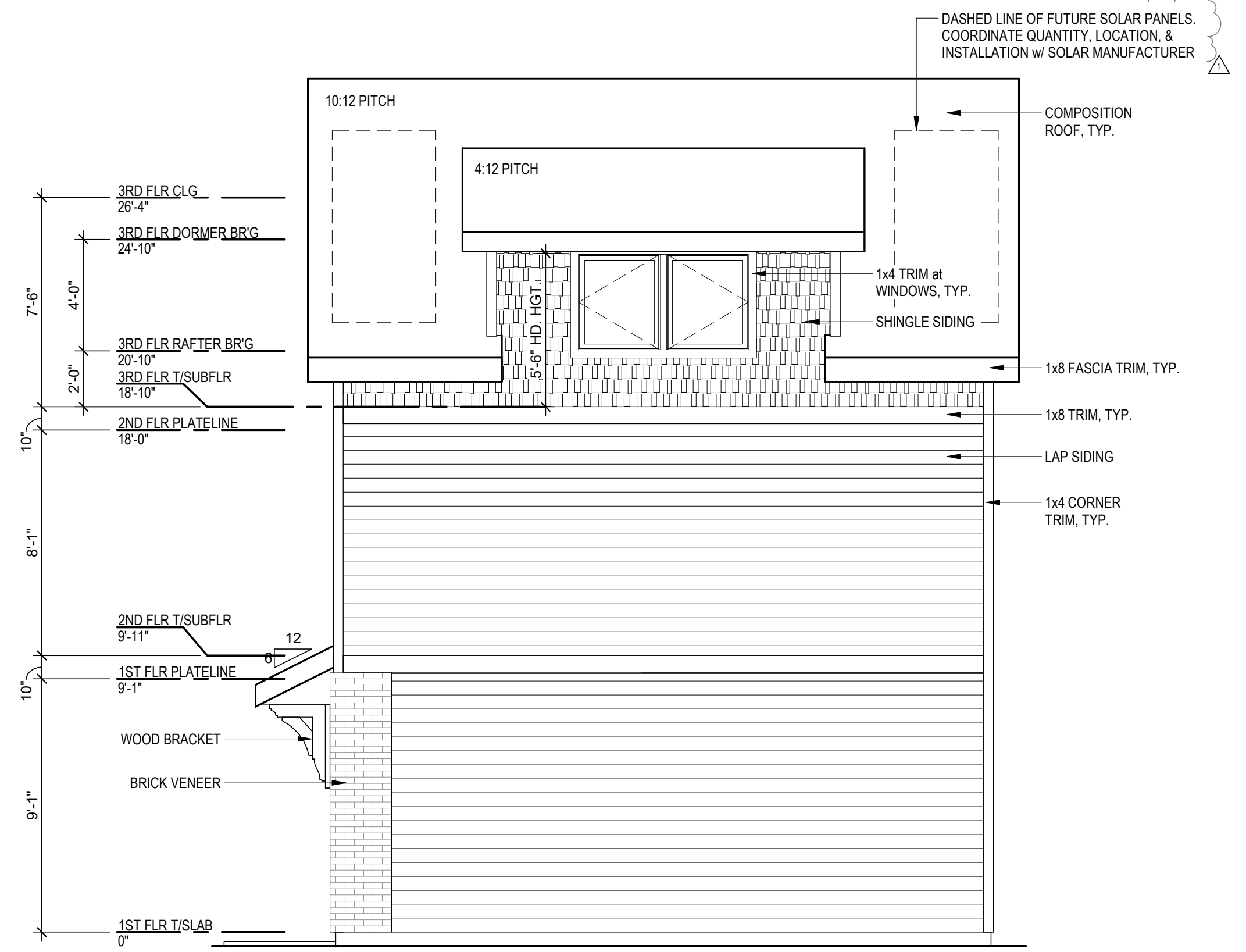


**ELEVATIONS GENERAL NOTES:**

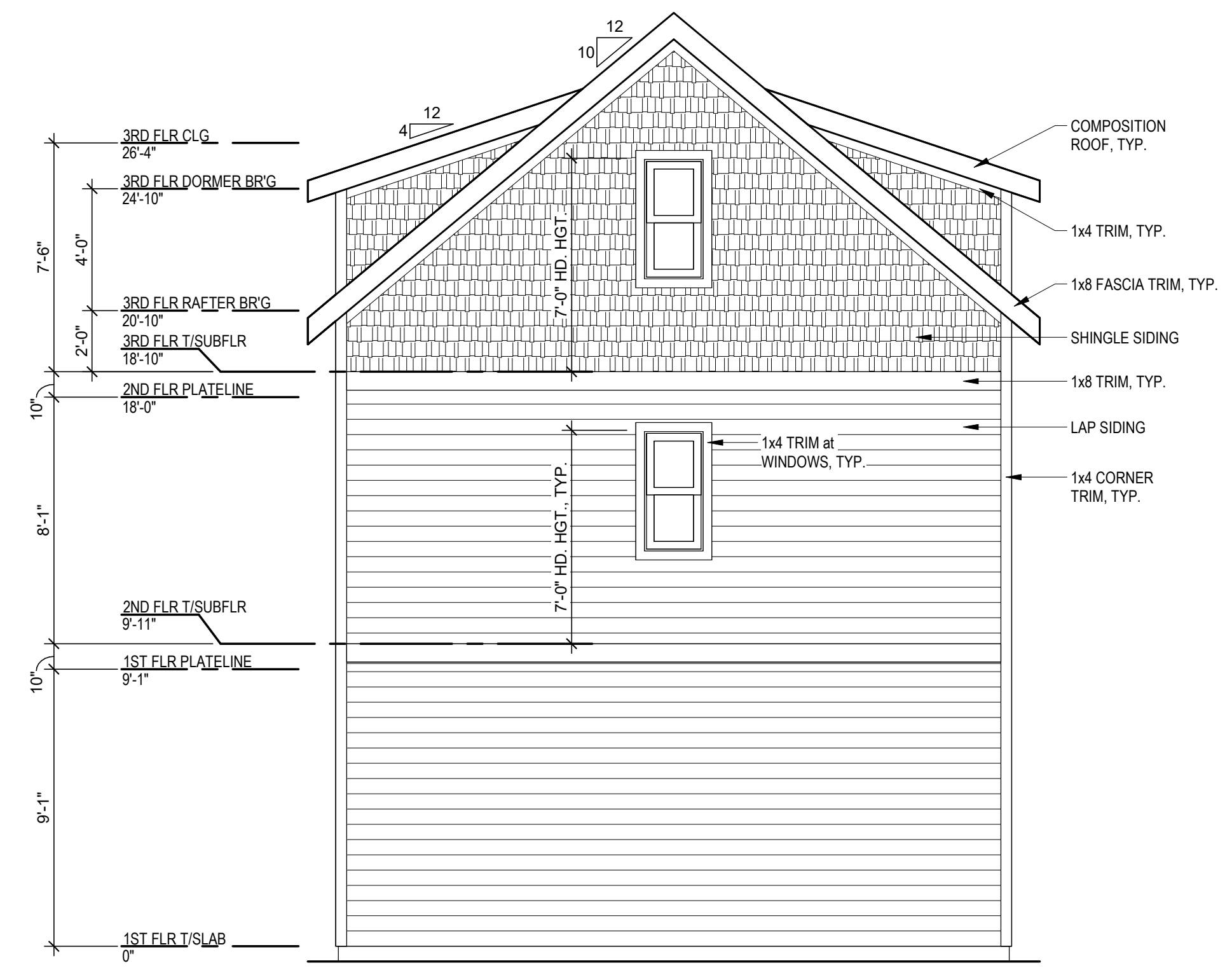
- A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.
- B. ALL TRIM TO BE FIBER CEMENT U.N.O.
- C. REFER TO SHEET **A3.00** FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

**BUILDING HEIGHTS**

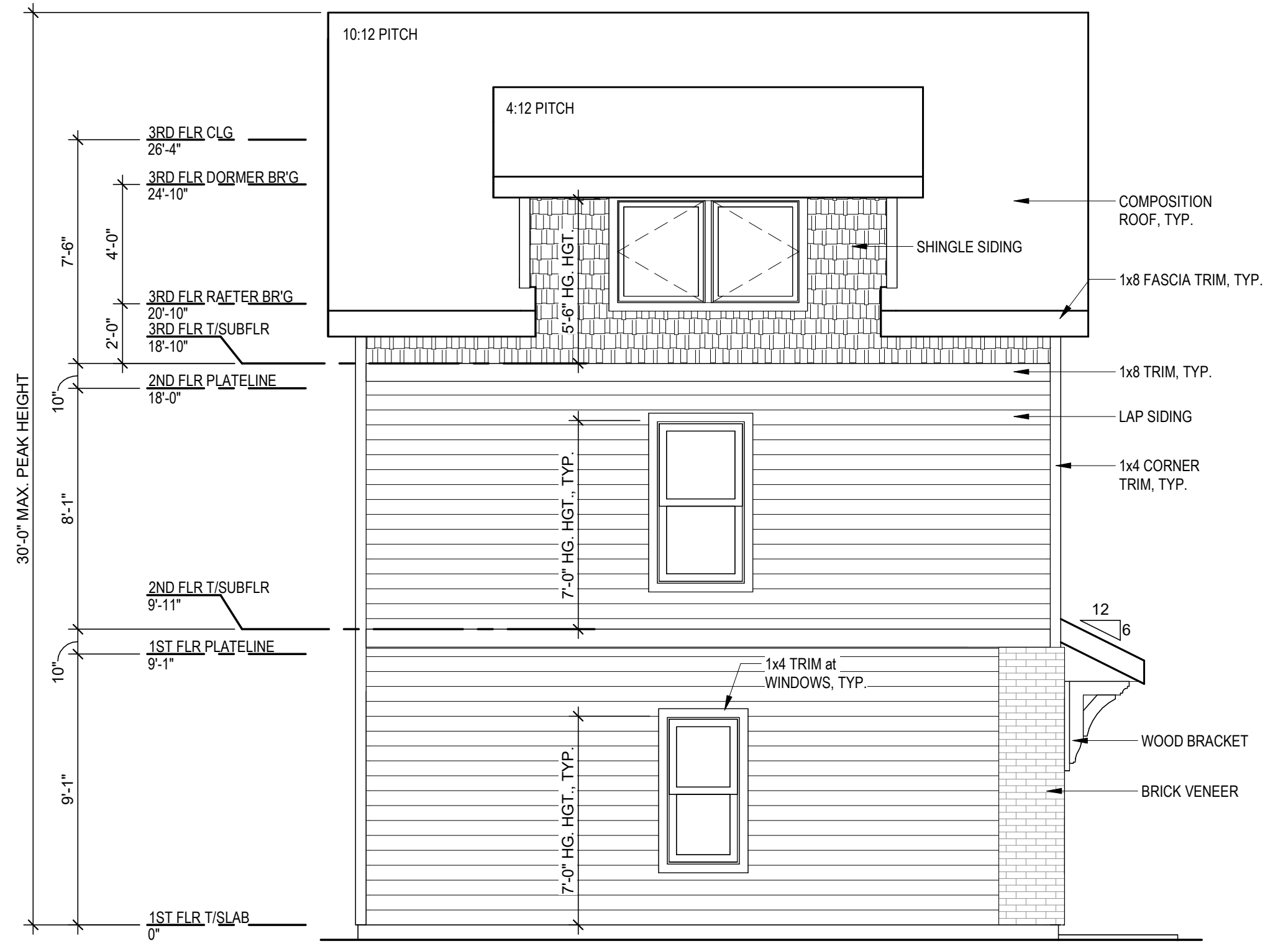
UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"



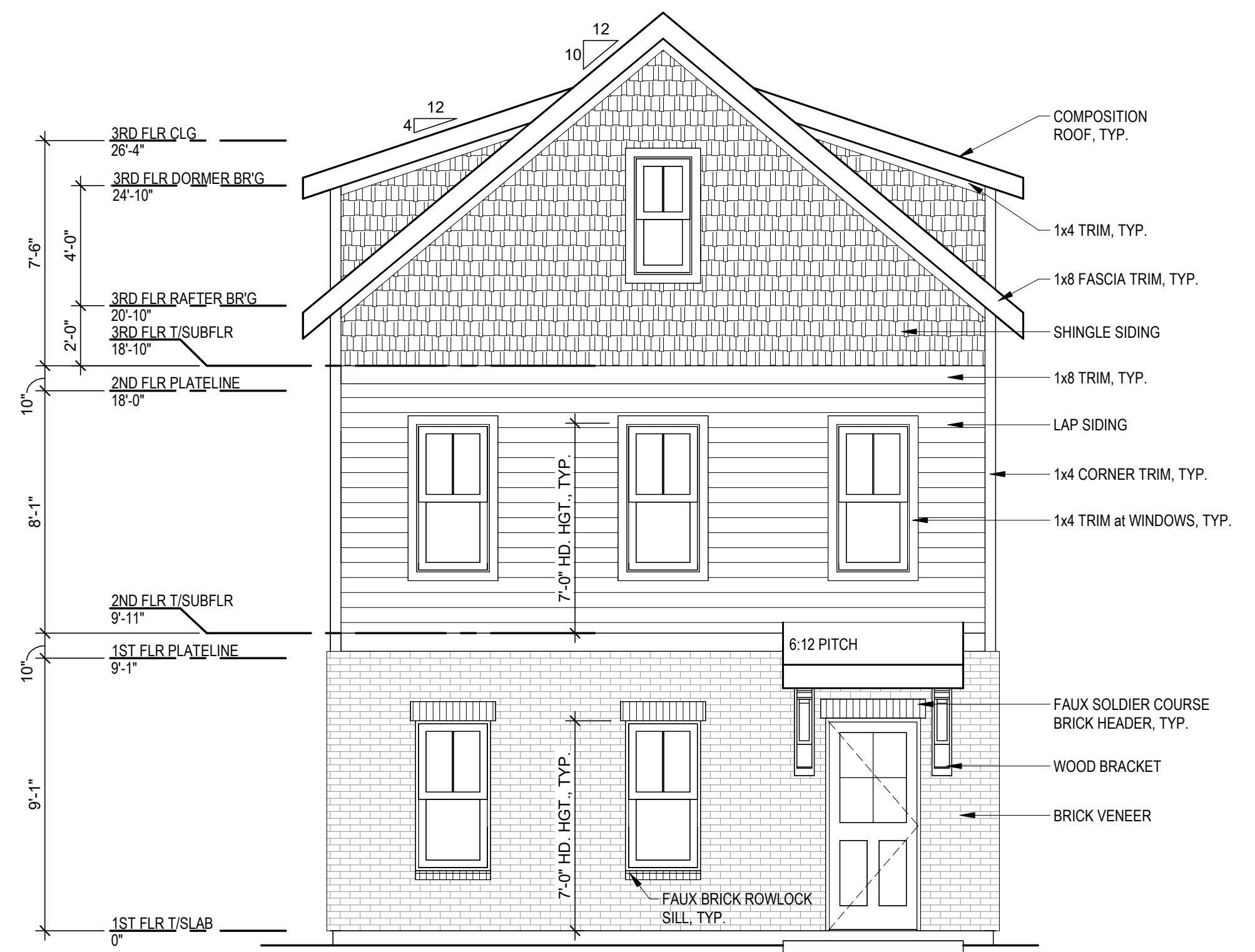
**4 SINGLE UNIT OPTION 1 - RIGHT ELEVATION**  
1/4" = 1'-0"



**3 SINGLE UNIT OPTION 1 - REAR ELEVATION**  
1/4" = 1'-0"



**2 SINGLE UNIT OPTION 1 - LEFT ELEVATION**  
1/4" = 1'-0"



**1 SINGLE UNIT OPTION 1 - FRONT ELEVATION**  
1/4" = 1'-0"



A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

**DRAWING RELEASE LOG**  
• 06.08.23 - STRUCTURAL KICKOFF  
• 02.13.24 CITY SUBMITTAL

**REVISIONS**  
1 01.01.22 CITY SUBMITTAL RESPONSE T

JOB NO. **736623** DATE **06.06.2024**  
DRAWN BY **TWH, MLM, NSO**

SHEET NAME  
**SINGLE UNIT OPTION 1 - ELEVATIONS**  
SHEET NO.

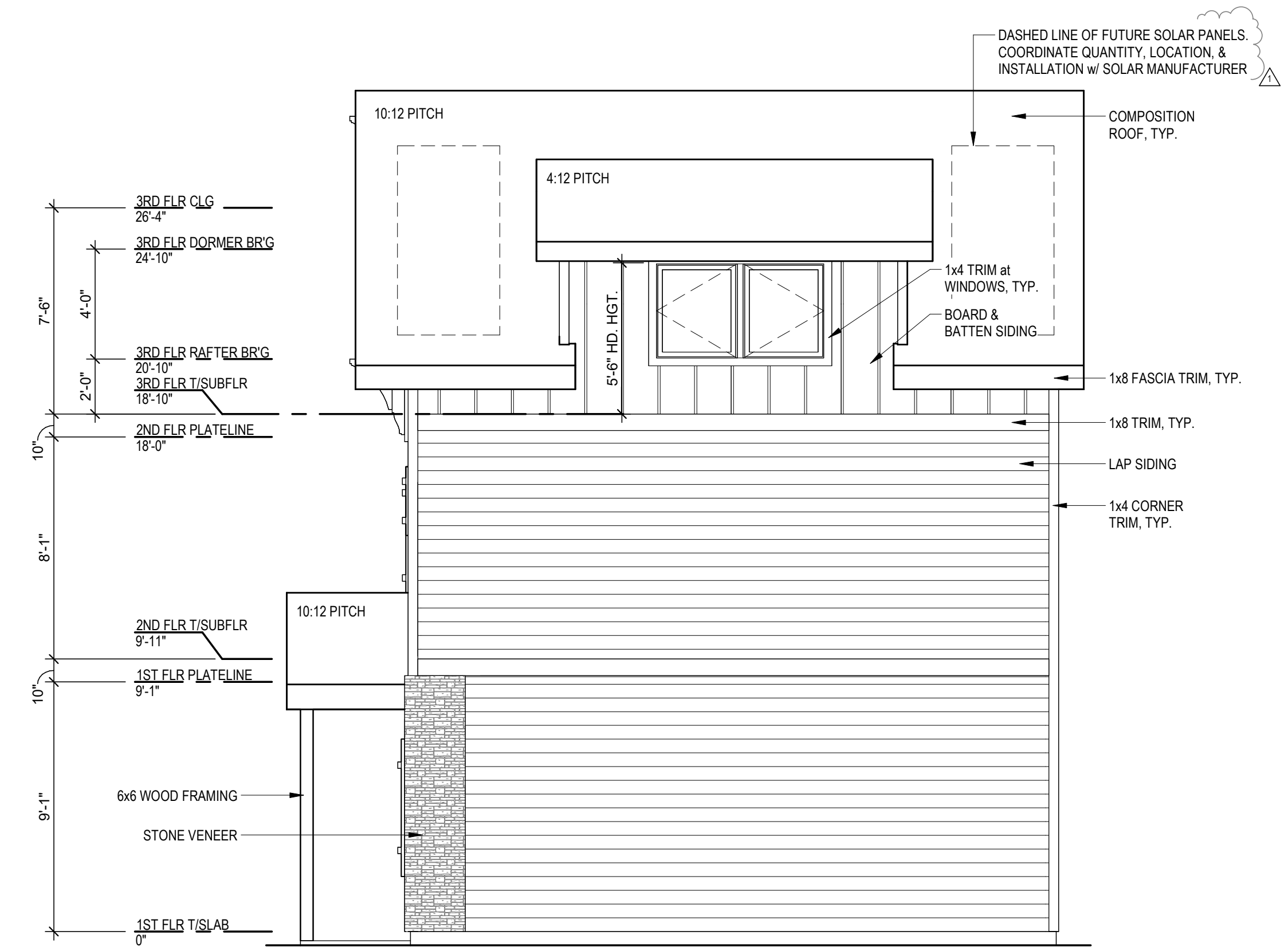
**A3.05**

**ELEVATIONS GENERAL NOTES:**

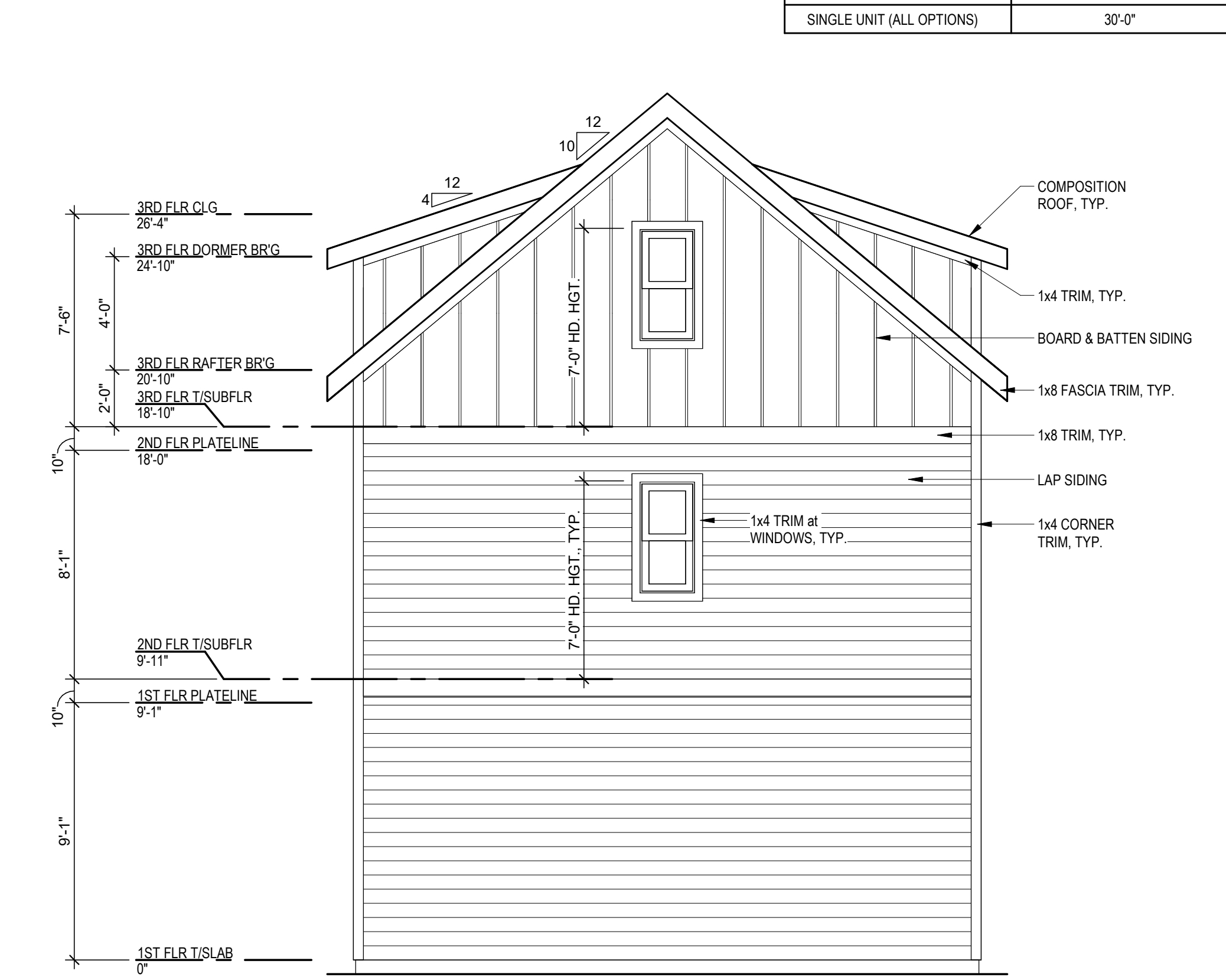
- A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.
- B. ALL TRIM TO BE FIBER CEMENT U.N.O.
- C. REFER TO SHEET **A3.06** FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

**BUILDING HEIGHTS**

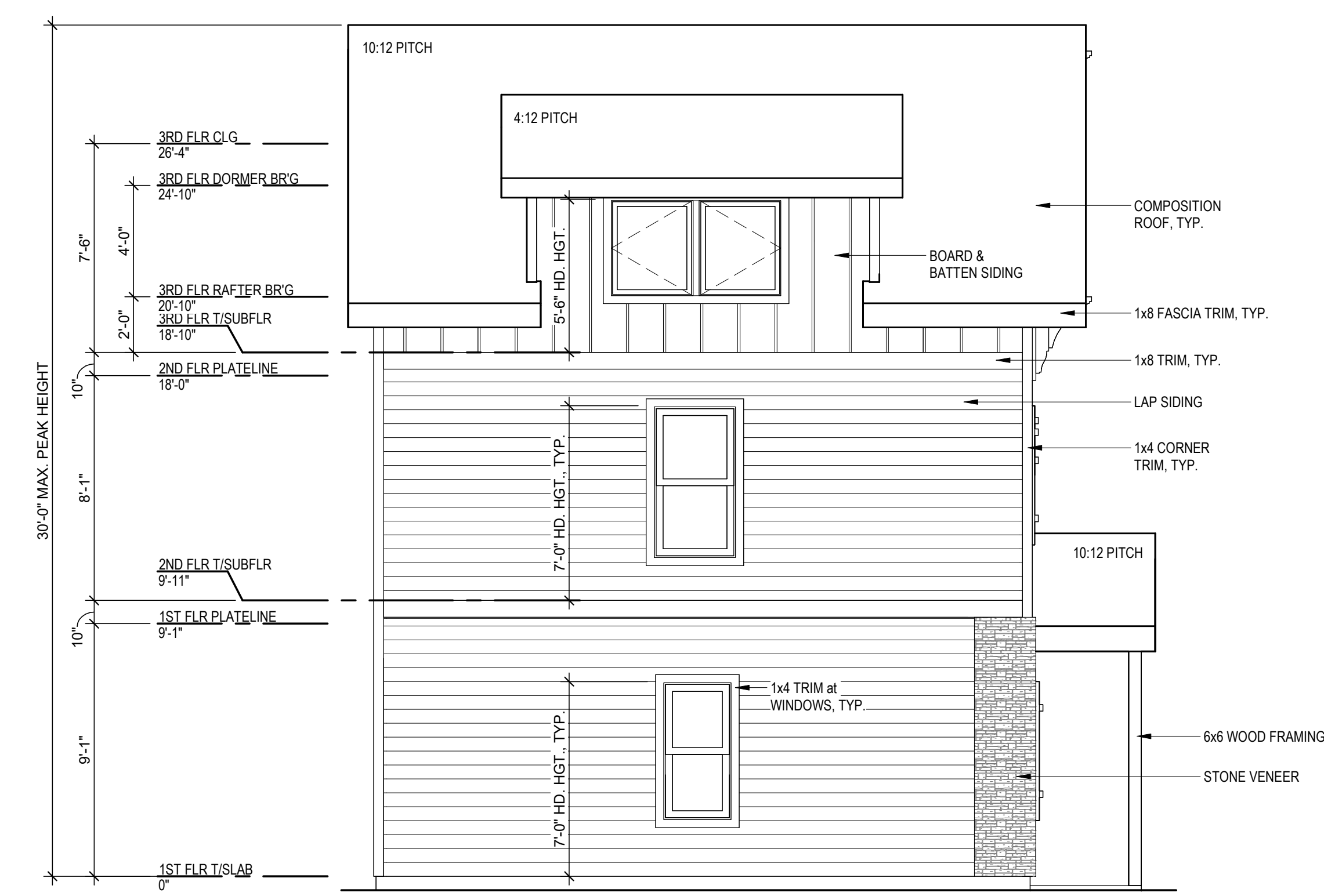
UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"



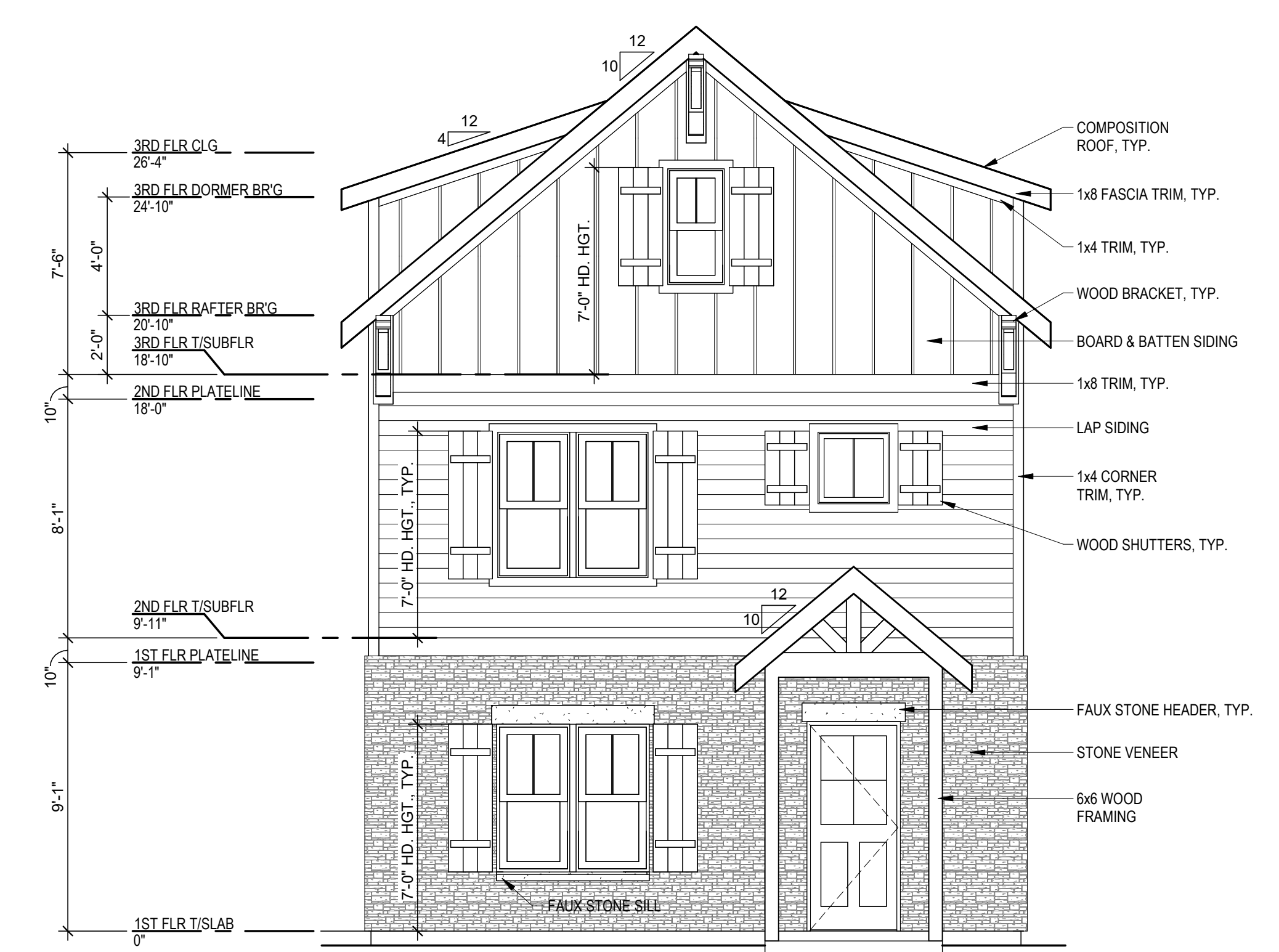
**4 SINGLE UNIT OPTION 2 - RIGHT ELEVATION**  
1/4" = 1'-0"



**3 SINGLE UNIT OPTION 2 - REAR ELEVATION**  
1/4" = 1'-0"



**2 SINGLE UNIT OPTION 2 - LEFT ELEVATION**  
1/4" = 1'-0"



**1 SINGLE UNIT OPTION 2 - FRONT ELEVATION**  
1/4" = 1'-0"



**DRAWING RELEASE LOG**

- 06.08.23 - STRUCTURAL KICKOFF
- 02.13.24 CITY SUBMITTAL

**REVISIONS**

- 1. 01.01.22 CITY SUBMITTAL RESPONSE T

JOB NO. **736623** DATE **06.06.2024**  
DRAWN BY **TWH, MLM, NSO**

SHEET NAME  
**SINGLE UNIT OPTION 2 - ELEVATIONS**  
SHEET NO.

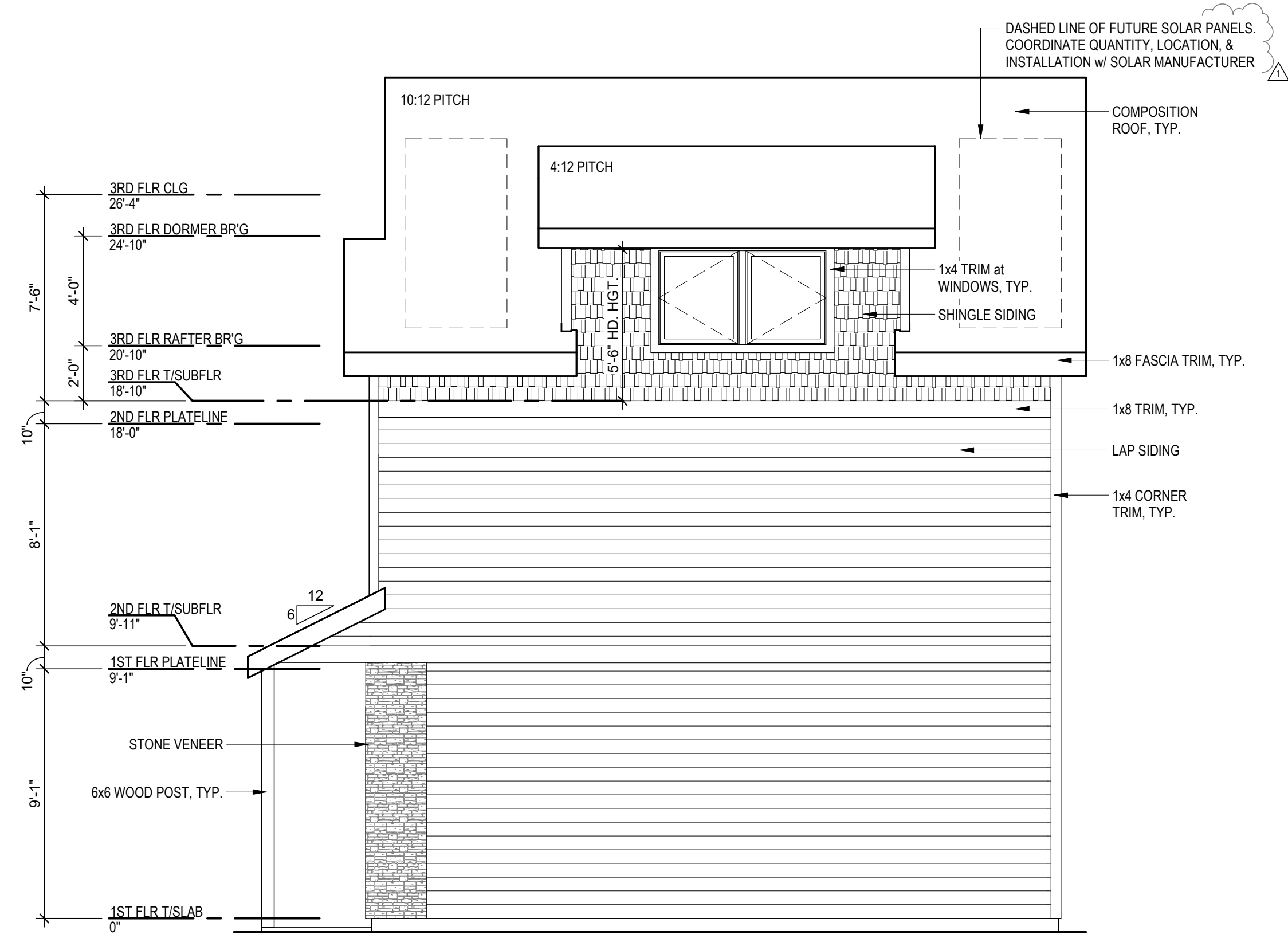
- ELEVATIONS GENERAL NOTES:**
- A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF. MIN.
  - B. ALL TRIM TO BE FIBER CEMENT U.N.O.
  - C. REFER TO SHEET **A3.06** FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

**BUILDING HEIGHTS**

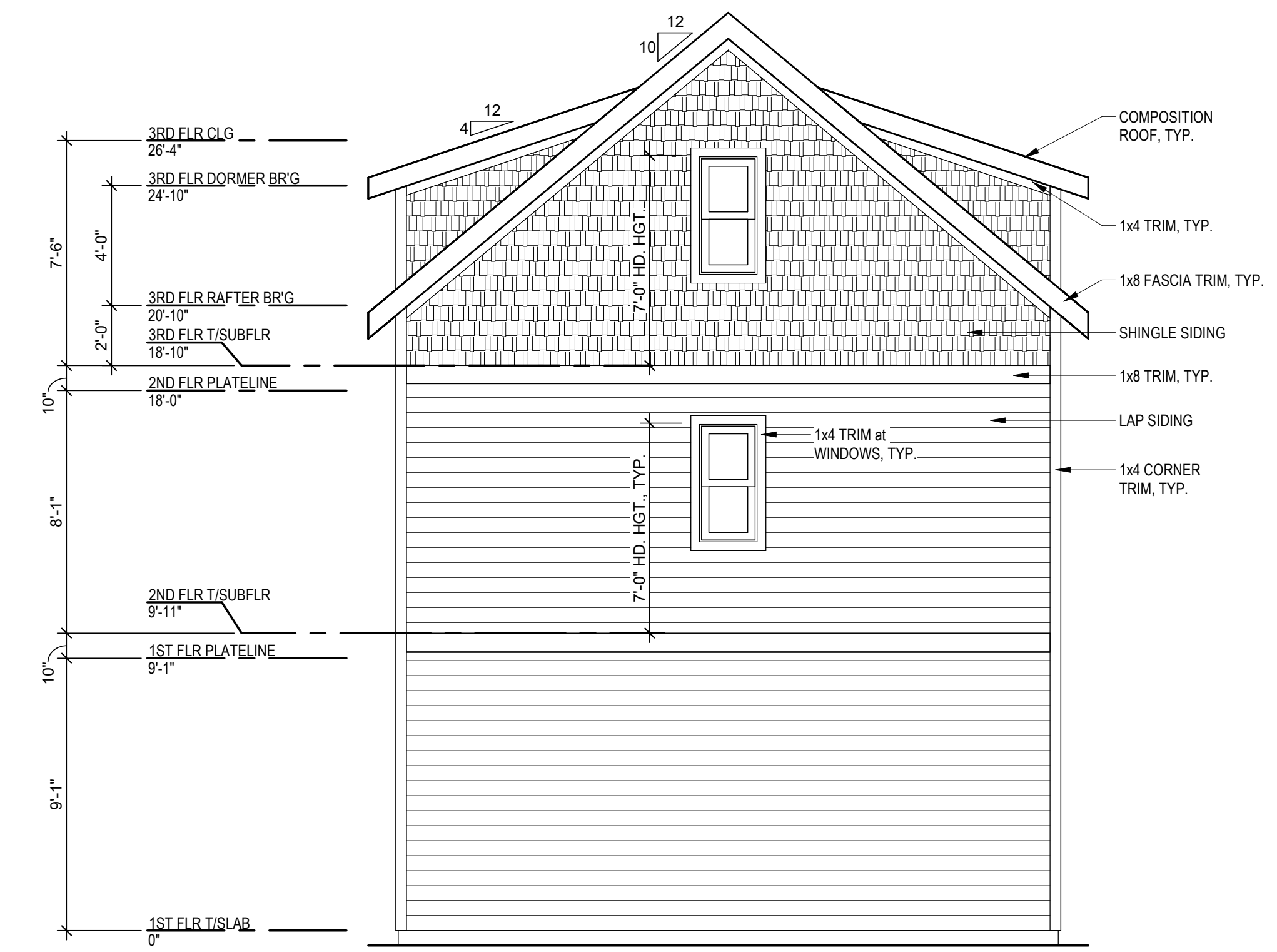
UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

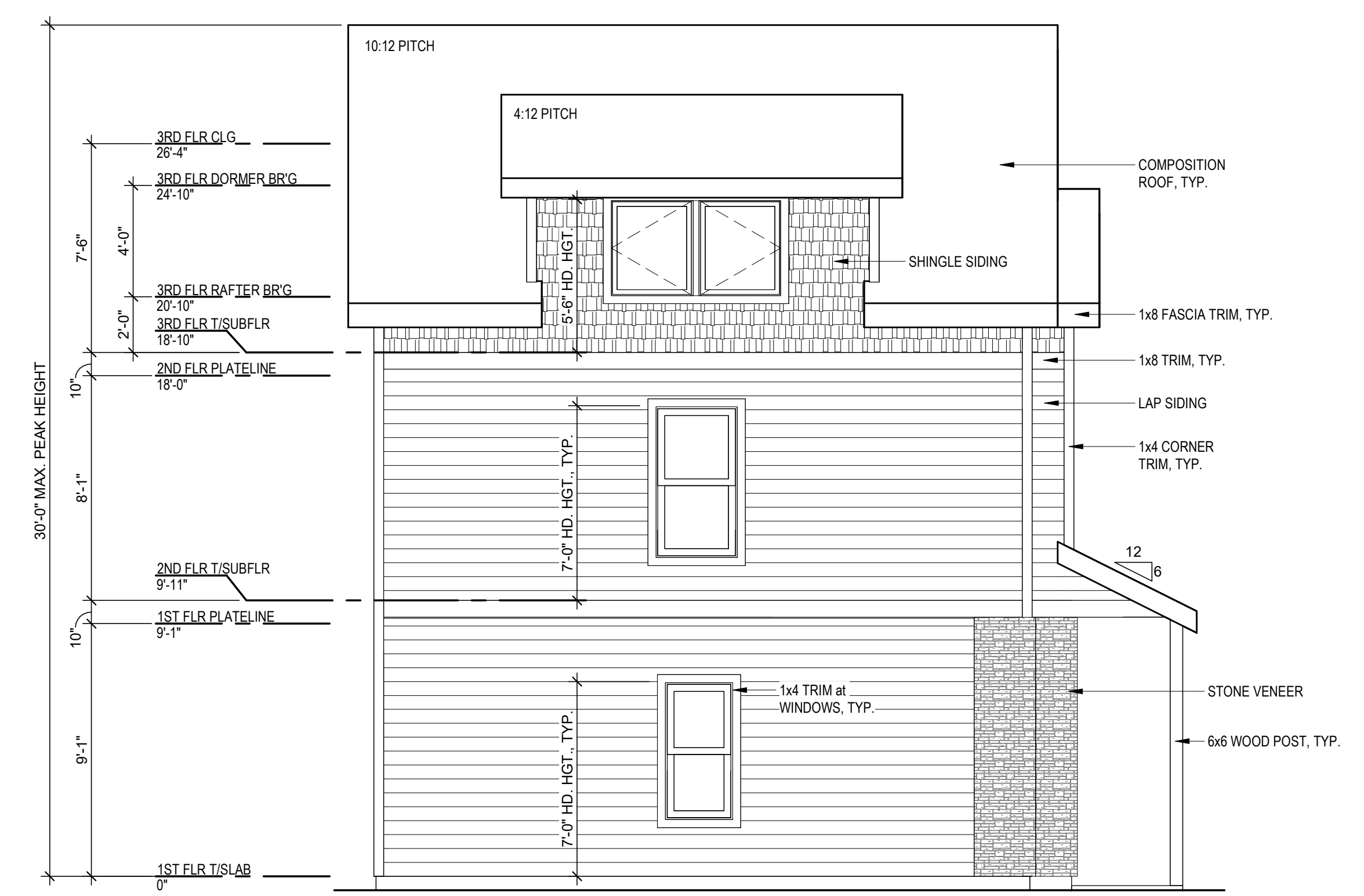
**NSPJ ARCHITECTS**  
P. 913.831.1415  
F. 913.831.1563  
NSPIARCH.COM  
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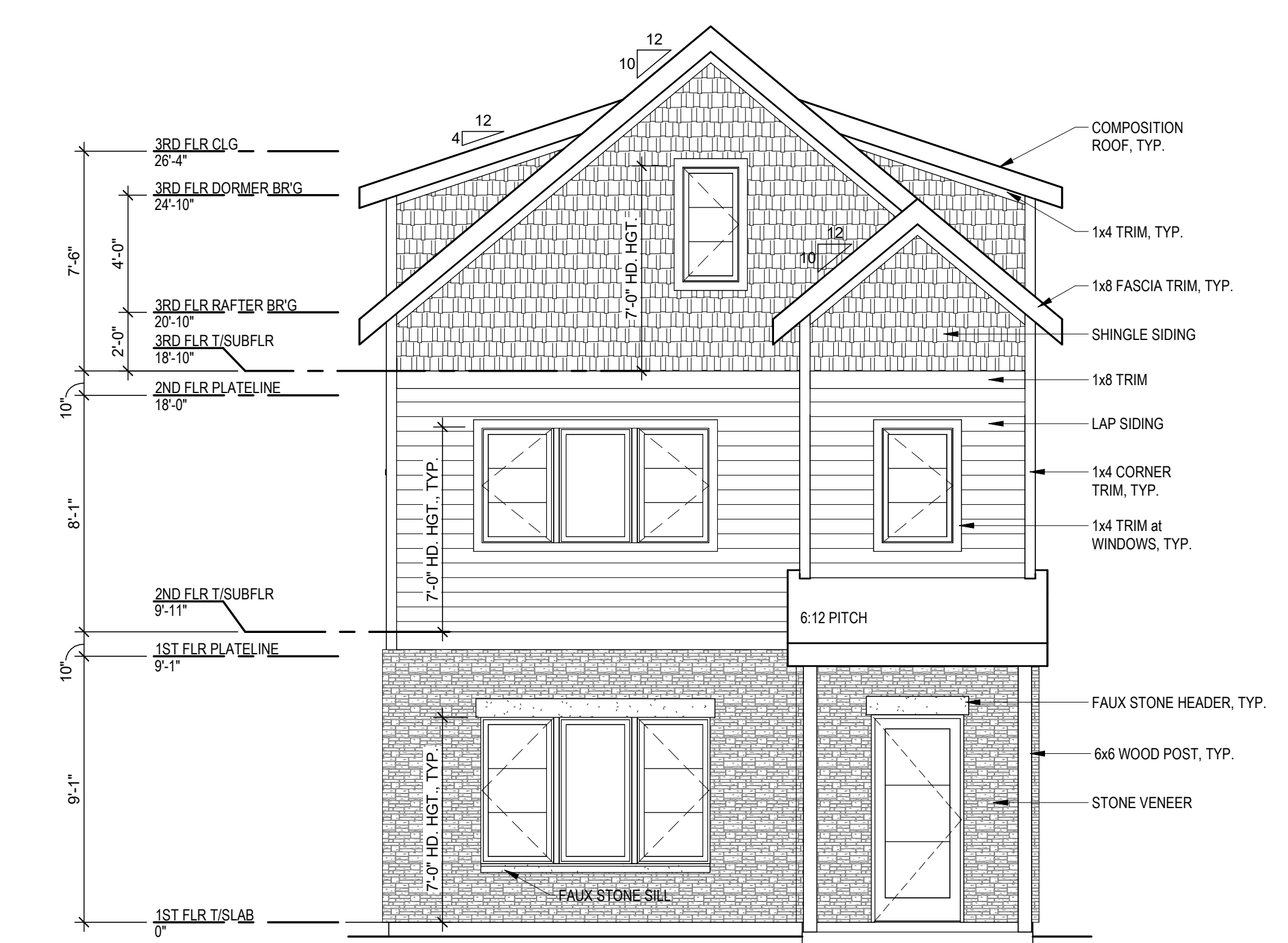
**4 SINGLE UNIT OPTION 3 - RIGHT ELEVATION**  
1/4" = 1'-0"



**3 SINGLE UNIT OPTION 3 - REAR ELEVATION**  
1/4" = 1'-0"



**2 SINGLE UNIT OPTION 3 - LEFT ELEVATION**  
1/4" = 1'-0"



**1 SINGLE UNIT OPTION 3 - FRONT ELEVATION**  
1/4" = 1'-0"

A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

**DRAWING RELEASE LOG**  
06.08.23 - STRUCTURAL KICKOFF  
02.13.24 - CITY SUBMITTAL

**REVISIONS**  
1 - 01.01.22 - CITY SUBMITTAL RESPONSE T

JOB NO. **736623** DATE **06.06.2024**  
DRAWN BY **TWH, MLM, NSO**

SHEET NAME  
**SINGLE UNIT OPTION 3 - ELEVATIONS**  
SHEET NO.

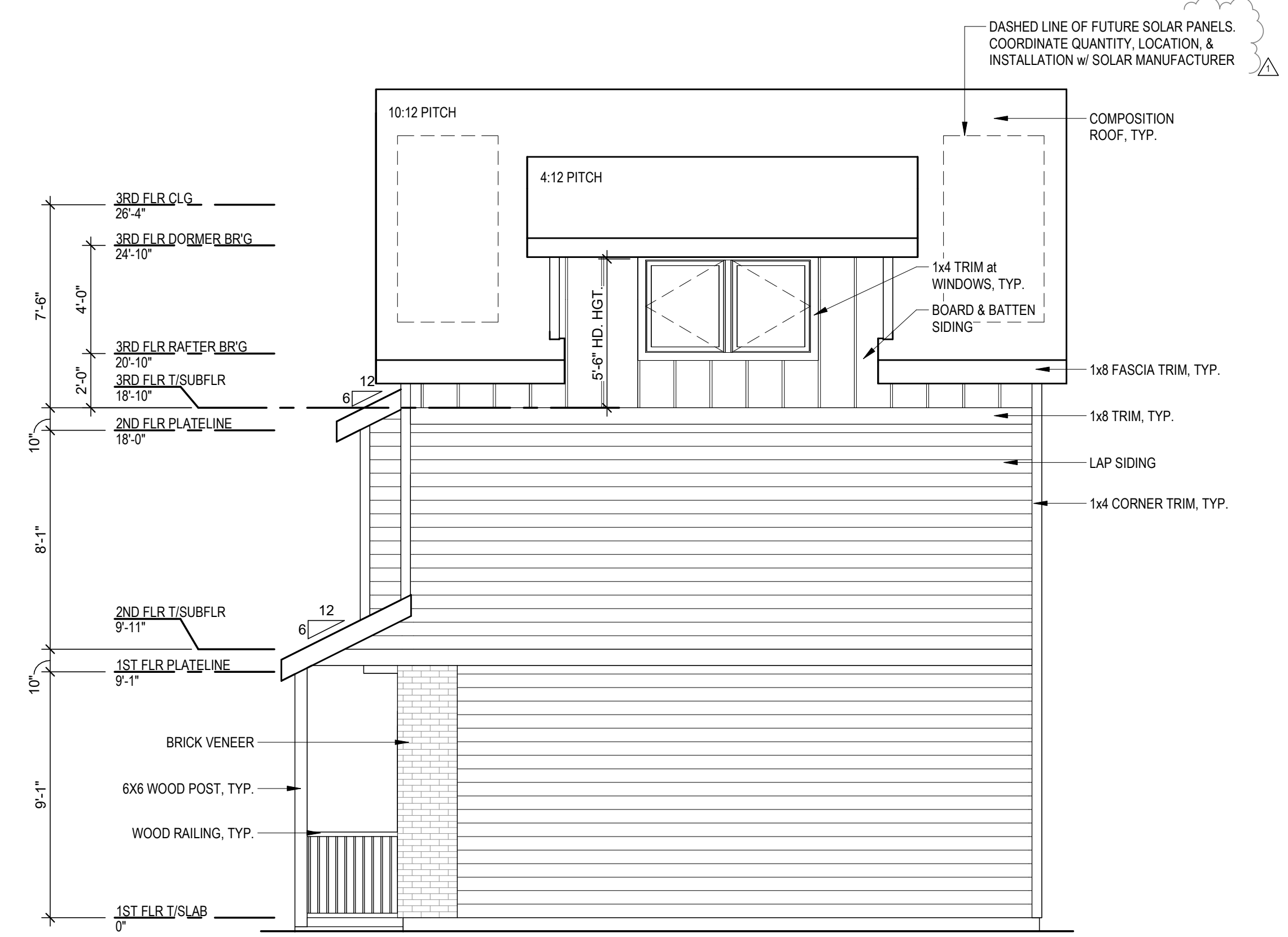
**A3.07**

**ELEVATIONS GENERAL NOTES:**

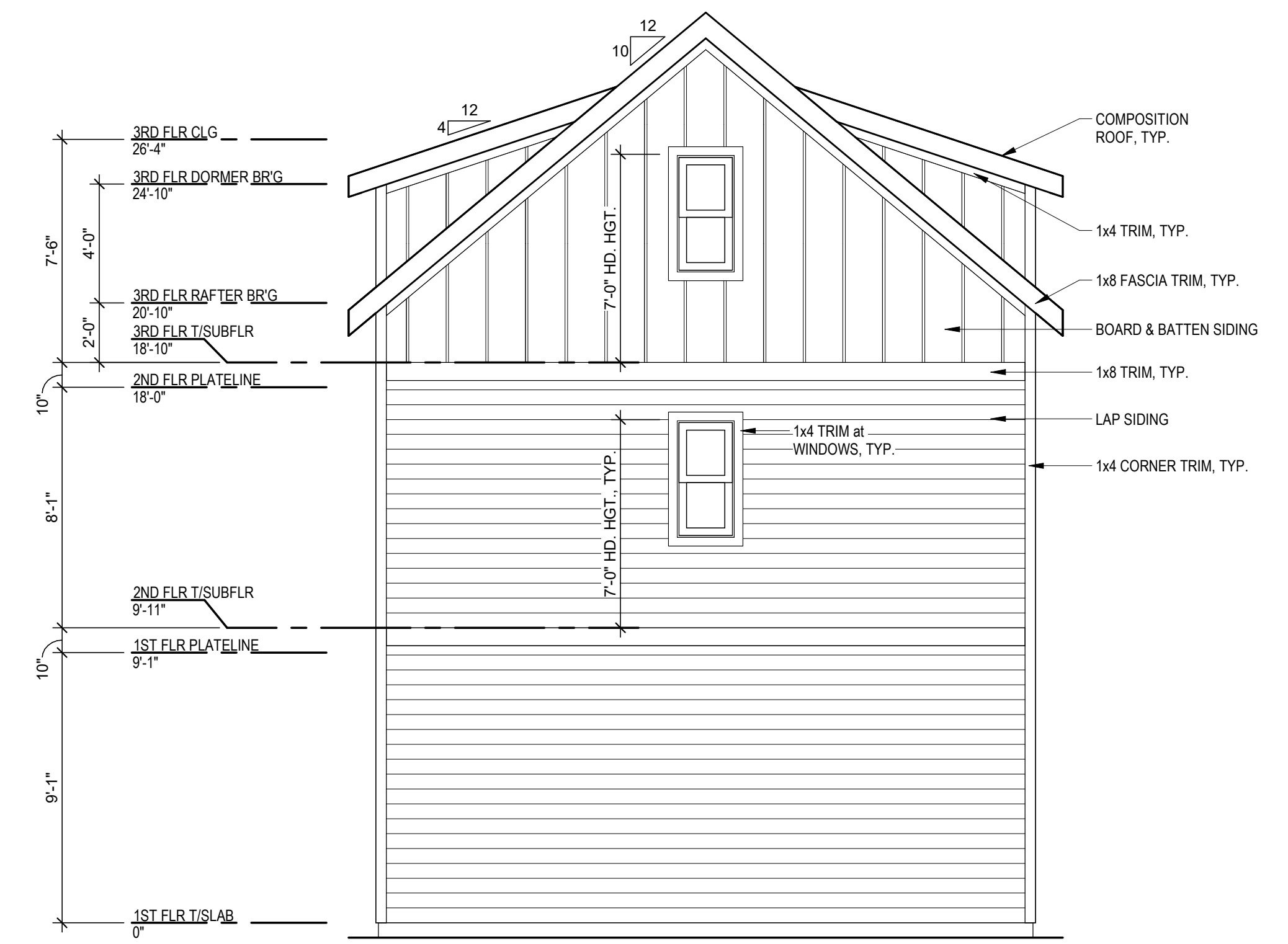
- A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.
- B. ALL TRIM TO BE FIBER CEMENT U.N.O.
- C. REFER TO SHEET **A3.08** FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

**BUILDING HEIGHTS**

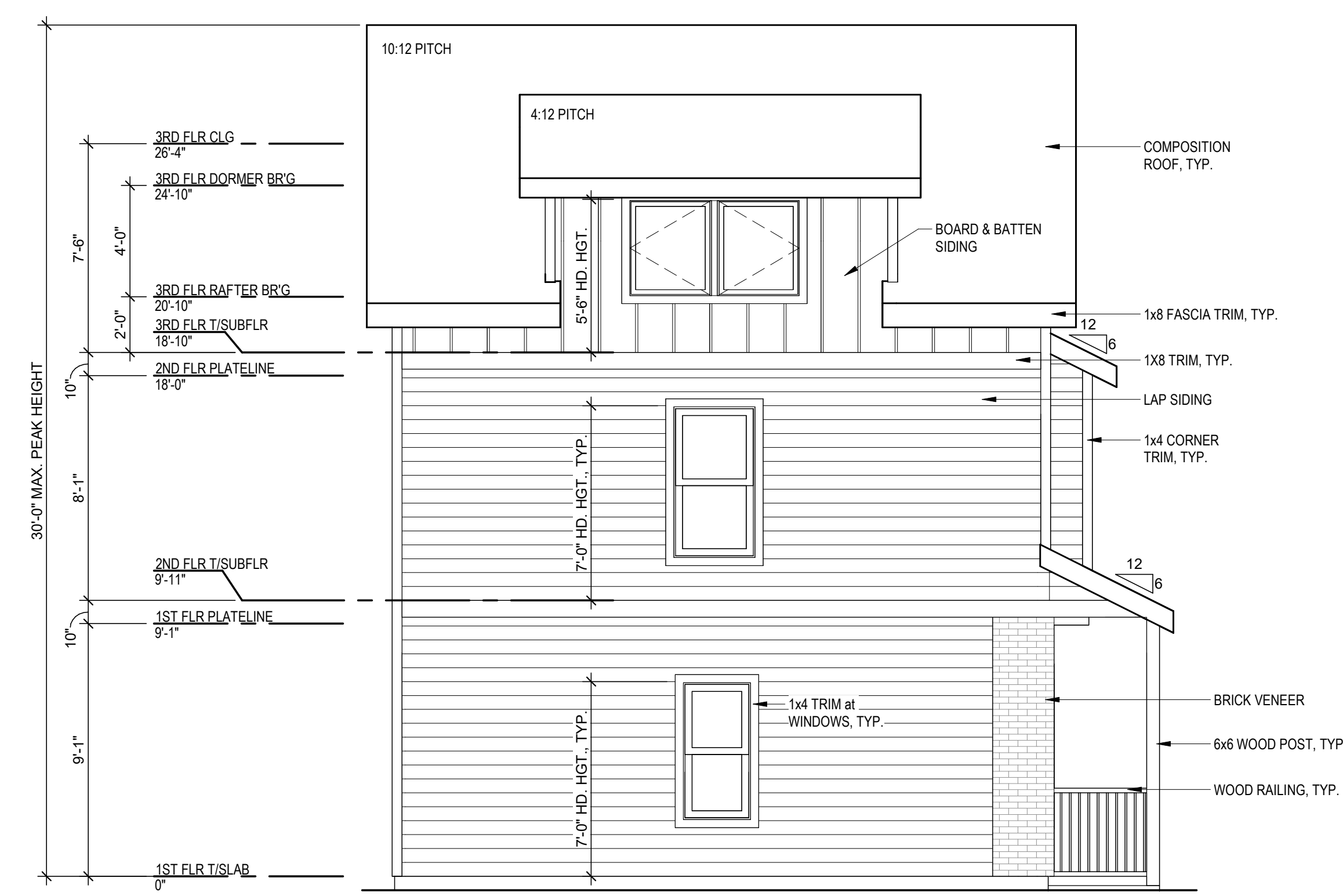
UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"



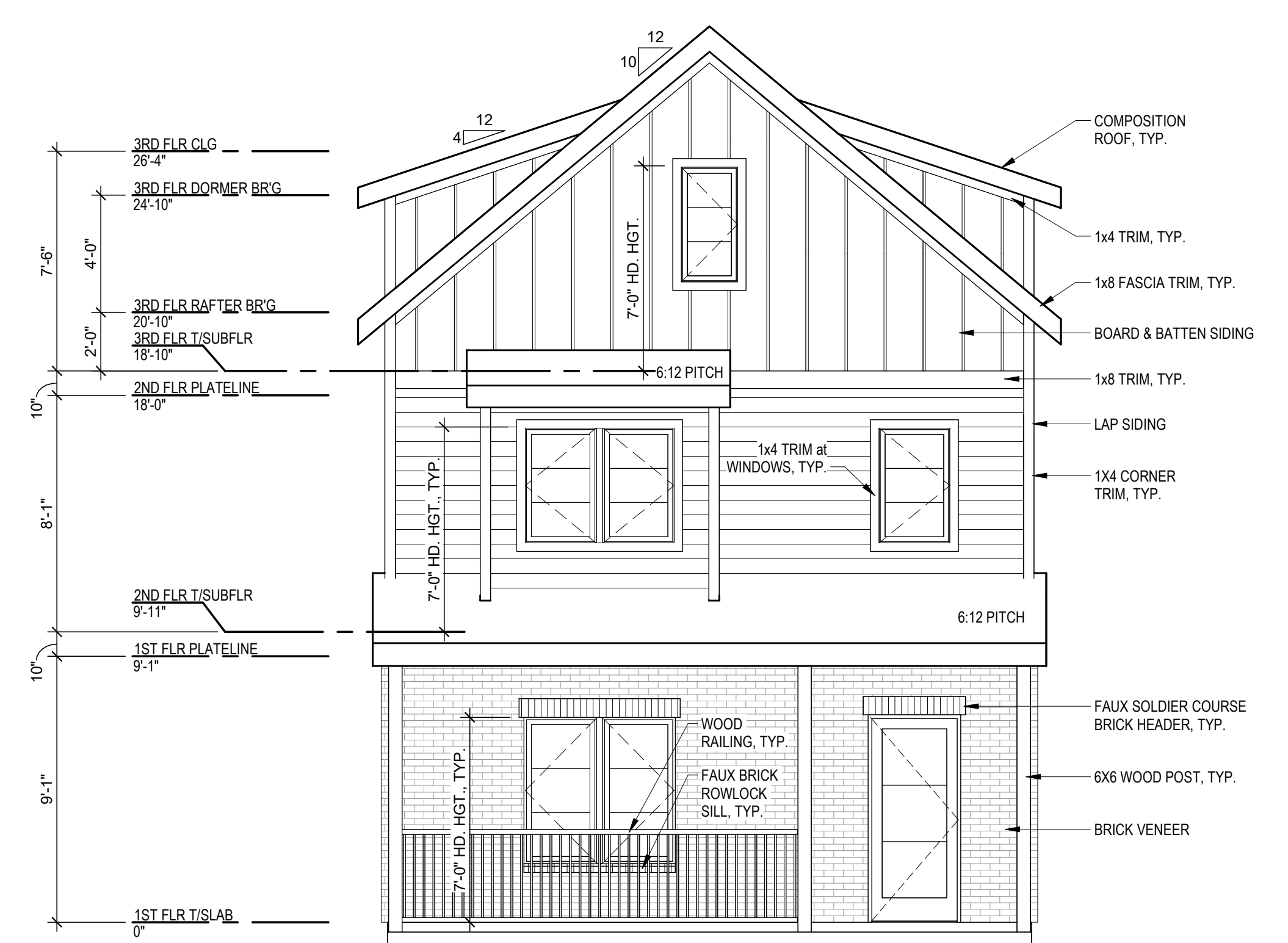
**4 SINGLE UNIT OPTION 4 - RIGHT ELEVATION**  
1/4" = 1'-0"



**3 SINGLE UNIT OPTION 4 - REAR ELEVATION**  
1/4" = 1'-0"



**2 SINGLE UNIT OPTION 4 - LEFT ELEVATION**  
1/4" = 1'-0"



**1 SINGLE UNIT OPTION 4 - FRONT ELEVATION**  
1/4" = 1'-0"



A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

**DRAWING RELEASE LOG**  
• 06.08.23 - STRUCTURAL KICKOFF  
• 02.13.24 CITY SUBMITTAL

**REVISIONS**  
1 01.01.22 CITY SUBMITTAL RESPONSE T

JOB NO. **736623** DATE **06.06.2024**  
DRAWN BY **TWH, MLM, NSO**

SHEET NAME  
**SINGLE UNIT OPTION 4 - ELEVATIONS**  
SHEET NO.

**A3.08**

- ELEVATIONS GENERAL NOTES:**
- A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF. MIN.
  - B. ALL TRIM TO BE FIBER CEMENT U.N.O.
  - C. REFER TO SHEET **A3.09** FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

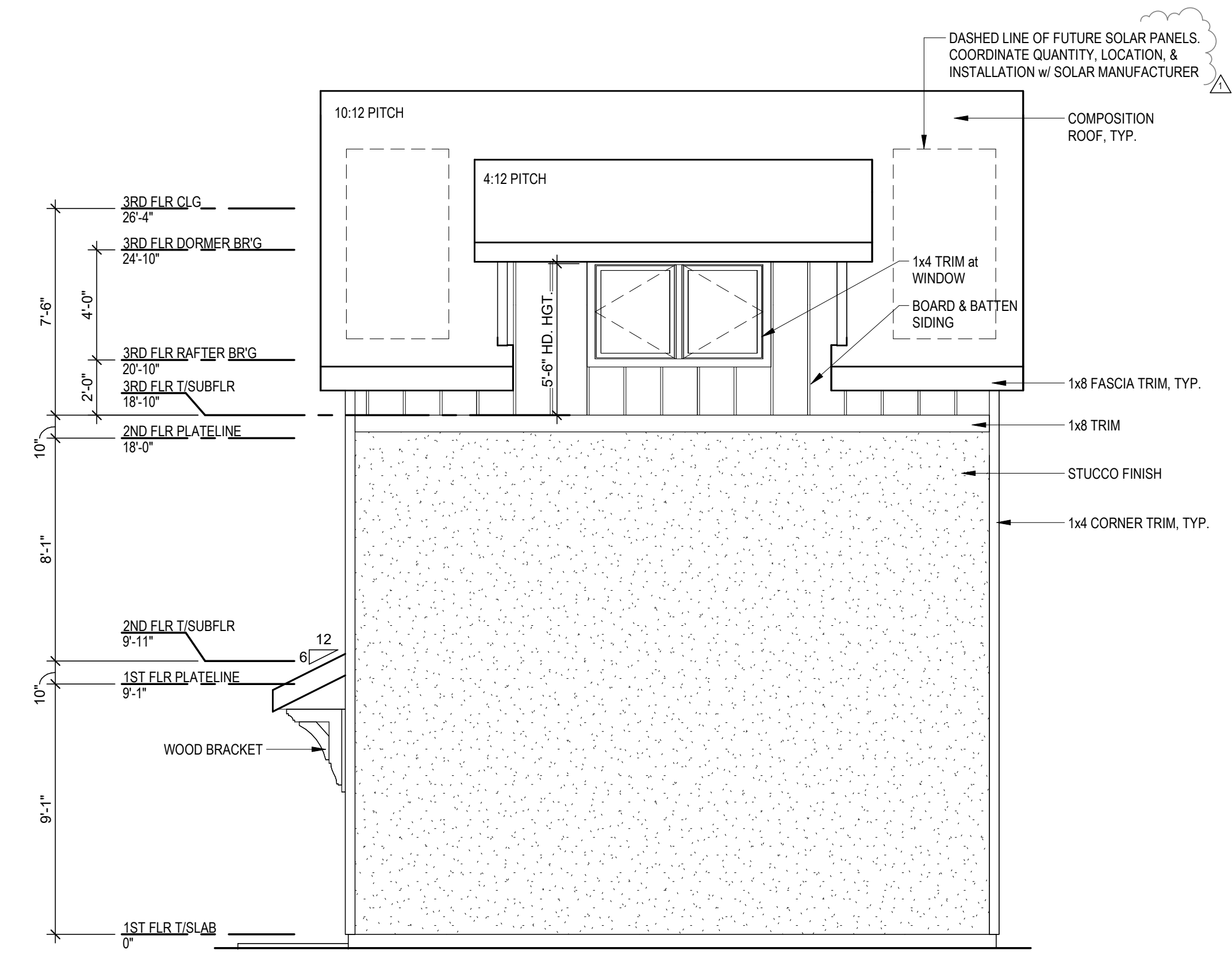
**BUILDING HEIGHTS**

UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"

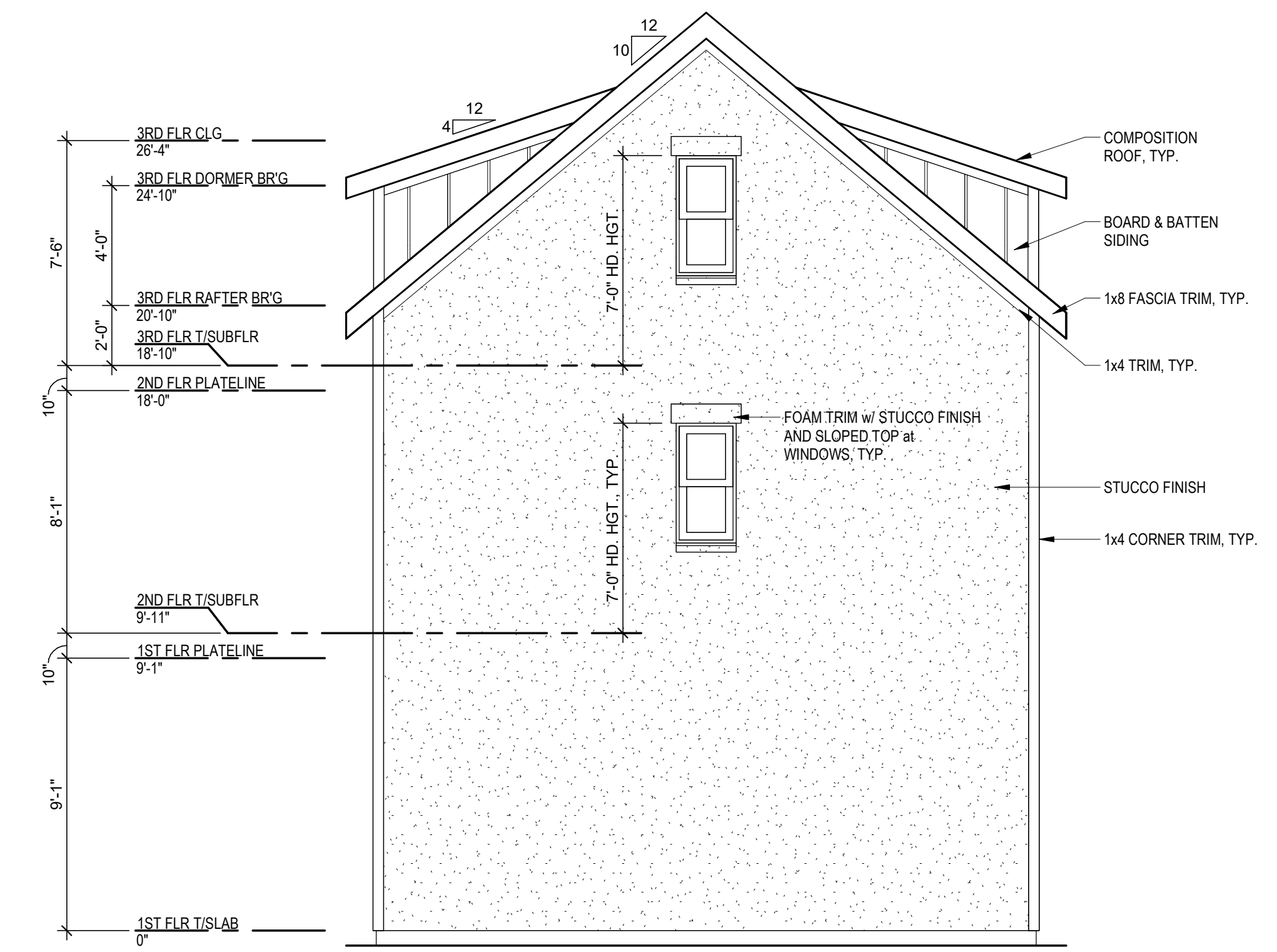
ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
ENERGY SERVICES

**NSPJ ARCHITECTS**<sup>SM</sup>  
3515 W. 75TH ST., SUITE 201  
PRAIRIE VILLAGE, KS 66208

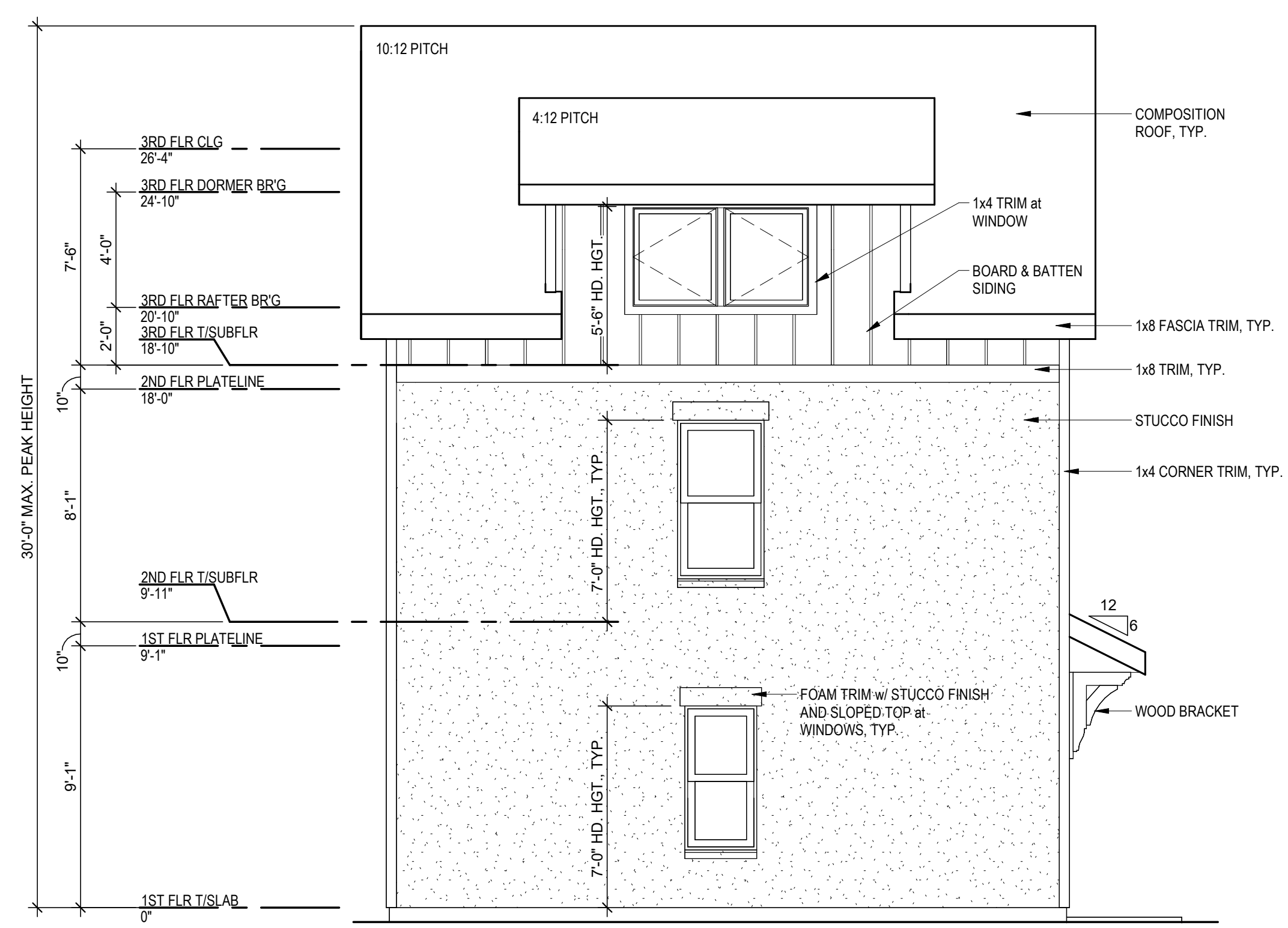
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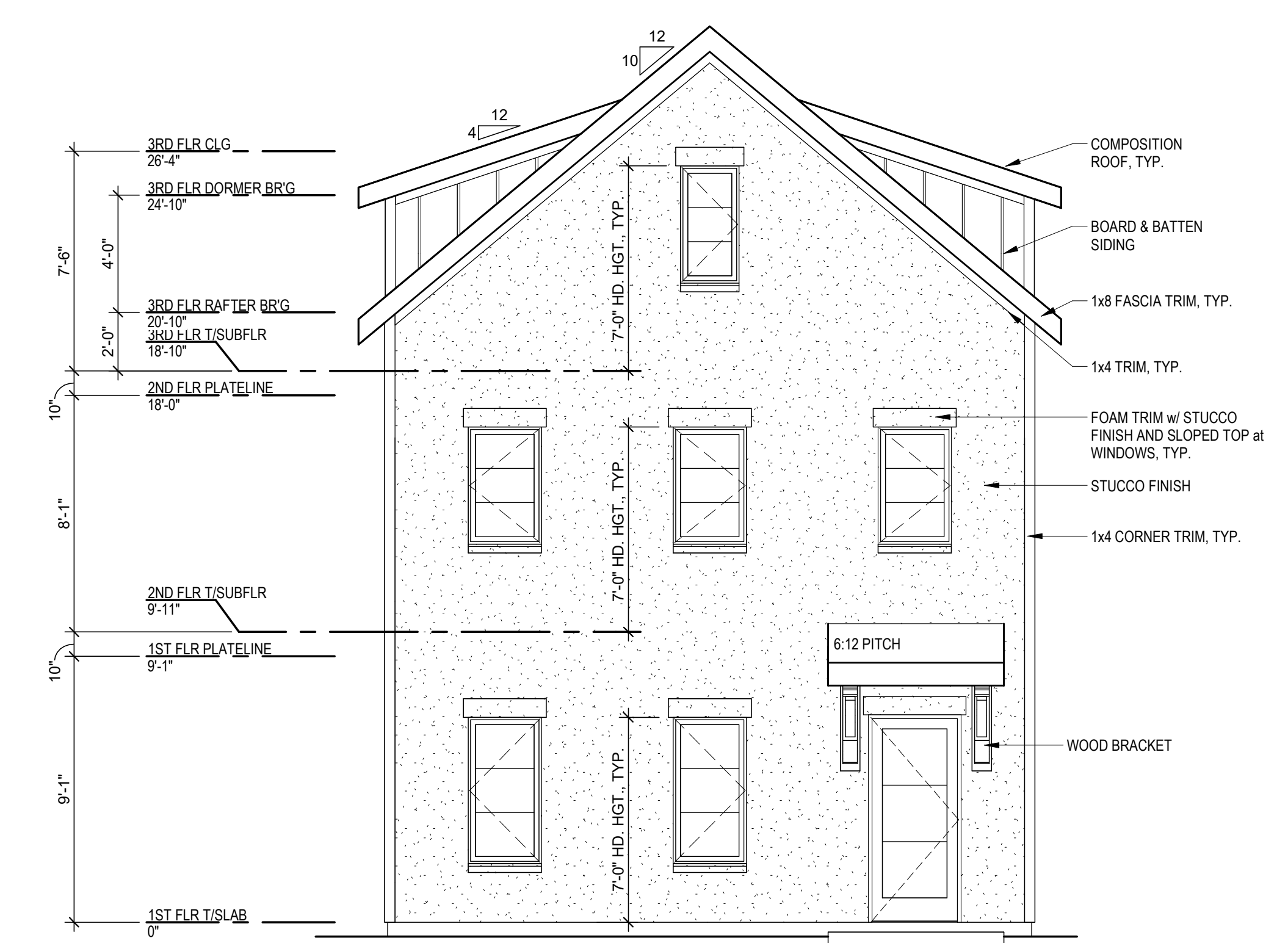
**4 SINGLE UNIT OPTION 5 - RIGHT ELEVATION**  
1/4" = 1'-0"



**3 SINGLE UNIT OPTION 5 - REAR ELEVATION**  
1/4" = 1'-0"



**2 SINGLE UNIT OPTION 5 - LEFT ELEVATION**  
1/4" = 1'-0"



**1 SINGLE UNIT OPTION 5 - FRONT ELEVATION**  
1/4" = 1'-0"

A NEW DEVELOPMENT:

**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

**DRAWING RELEASE LOG**

- 06.08.23 - STRUCTURAL KICKOFF
- 02.13.24 - CITY SUBMITTAL

**REVISIONS**

- 1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. **736623** DATE **06.06.2024**  
DRAWN BY **TWH, MLM, NSO**

SHEET NAME  
**SINGLE UNIT OPTION 5 - ELEVATIONS**  
SHEET NO.

**A3.09**



A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

DRAWING RELEASE LOG  
06.08.23 - STRUCTURAL KICKOFF  
02.13.24 CITY SUBMITTAL

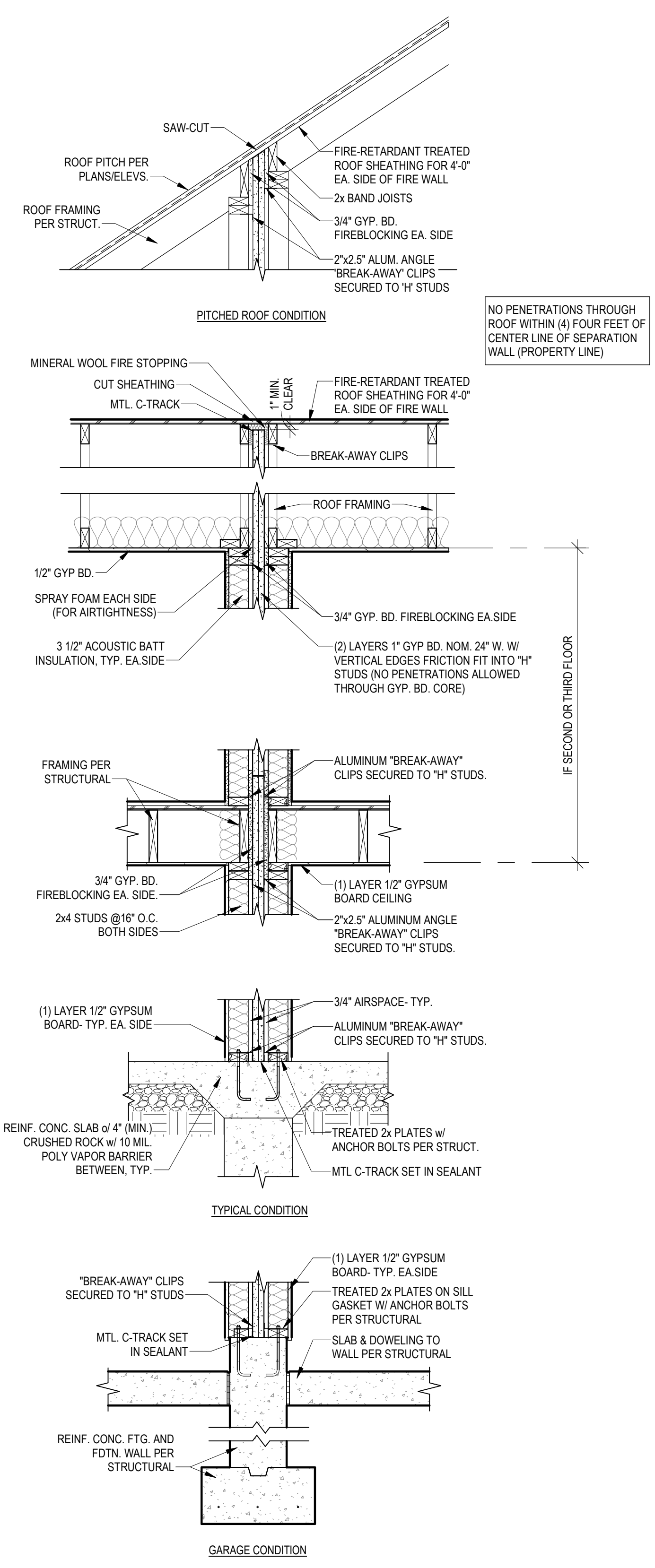
REVISIONS

JOB NO. **736623** DATE **06.06.2024**  
DRAWN BY **TWH, MLM, NSO**

SHEET NAME  
SECTIONS / DETAILS

SHEET NO.

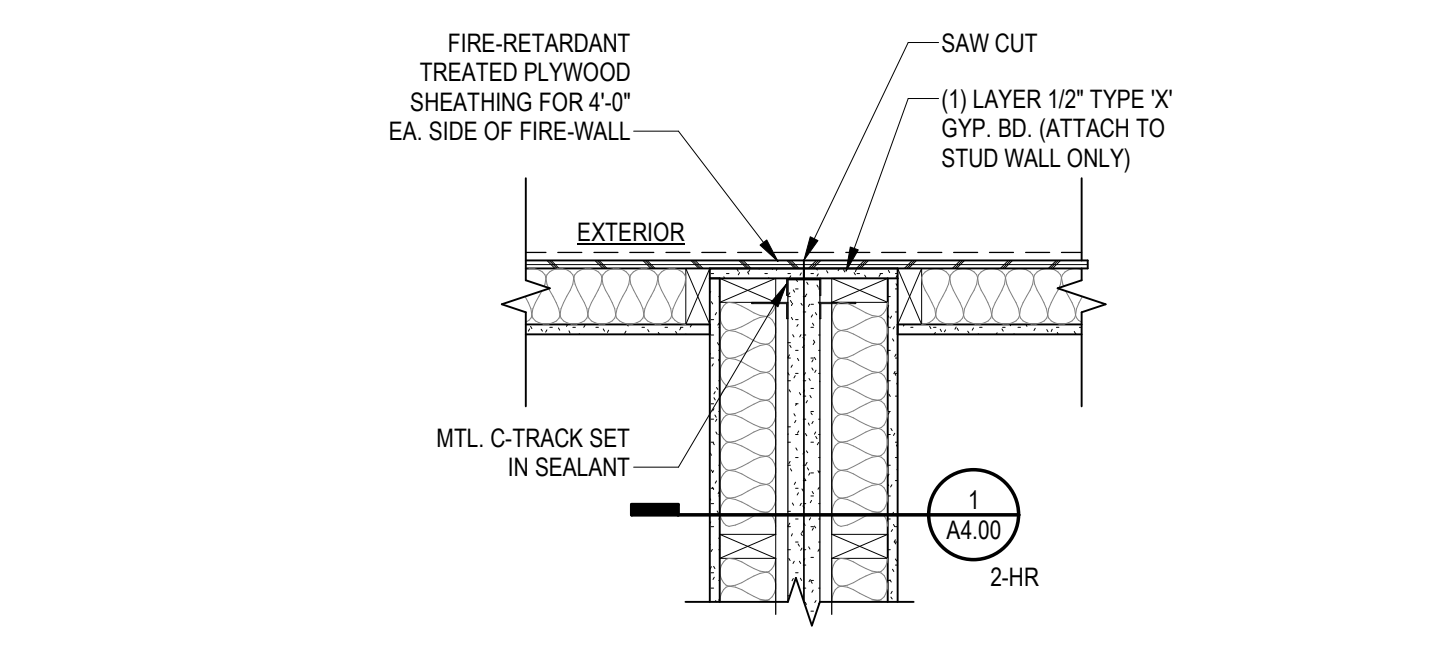
**A4.00**



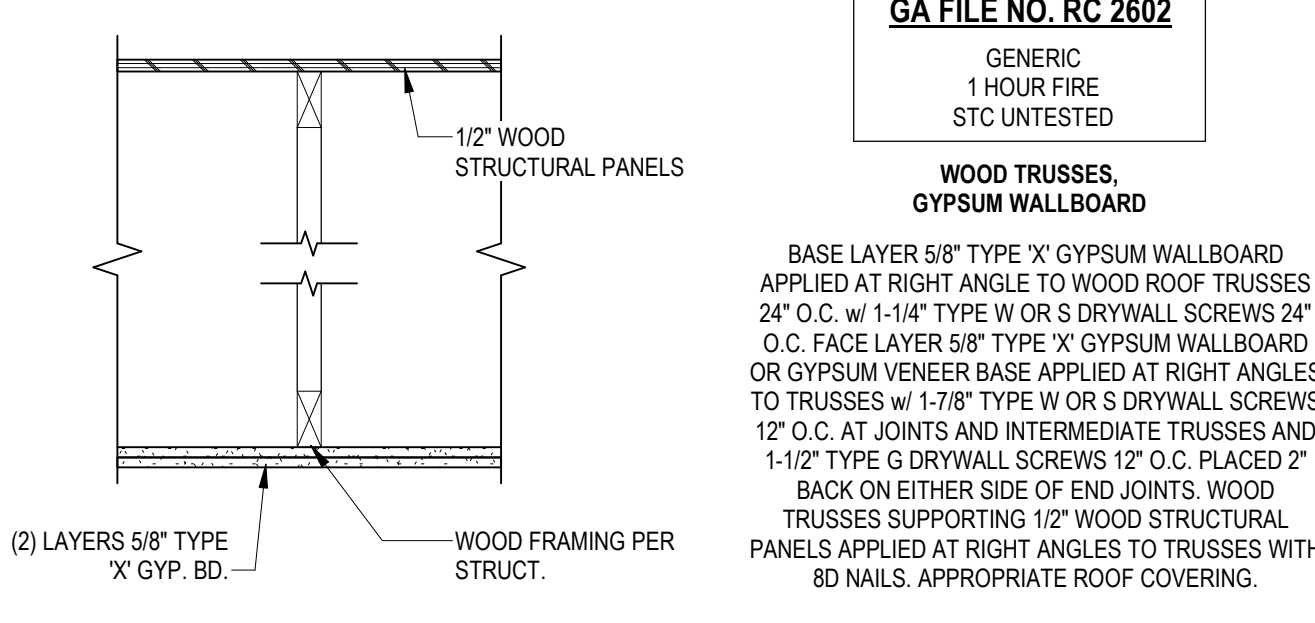
NO PENETRATIONS THROUGH ROOF WITHIN (4) FEET OF CENTER LINE OF SEPARATION WALL (PROPERTY LINE)

IF SECOND OR THIRD FLOOR

**1** 2-HR SEPARATION WALL - TYP. WALL SECTION  
3/4" = 1'-0"



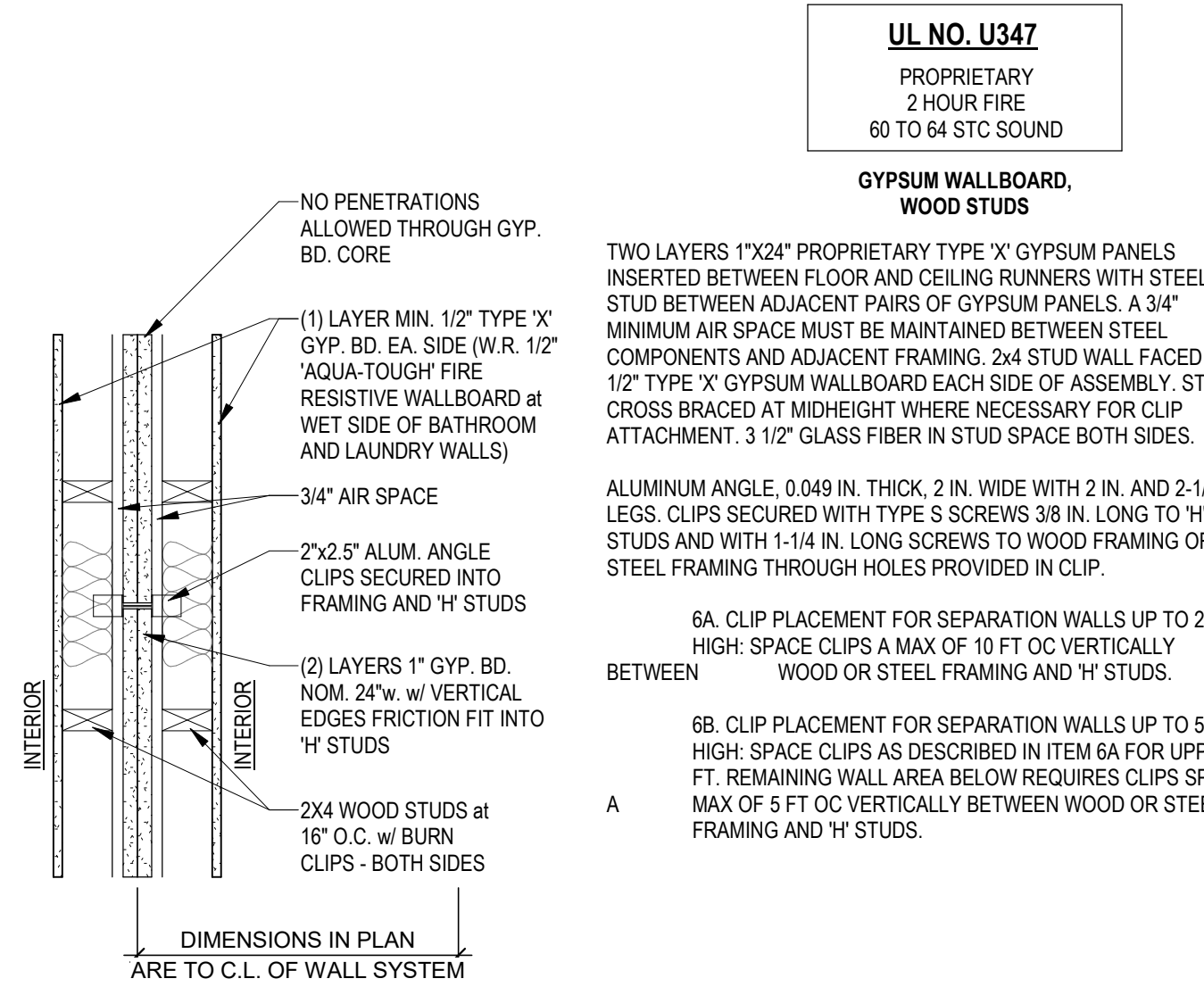
**4** 2-HR FIREWALL - PLAN DETAIL  
1" = 1'-0"



**GA FILE NO. RC 2602**  
GENERIC  
1 HOUR FIRE  
STC UNTESTED

**WOOD TRUSSES, GYPSUM WALLBOARD**  
BASE LAYER 5/8" TYPE 'X' GYPSUM WALLBOARD APPLIED AT RIGHT ANGLE TO WOOD ROOF TRUSSES 24" O.C. w/ 1-1/4" TYPE W OR S DRYWALL SCREWS 24" O.C. FACE LAYER 5/8" TYPE 'X' GYPSUM WALLBOARD OR GYPSUM VENER BASE APPLIED AT RIGHT ANGLES TO TRUSSES w/ 1-7/8" TYPE W OR S DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE TRUSSES AND 1-1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOINTS. WOOD TRUSSES SUPPORTING 1/2" WOOD STRUCTURAL PANELS APPLIED AT RIGHT ANGLES TO TRUSSES WITH 8D NAILS. APPROPRIATE ROOF COVERING.

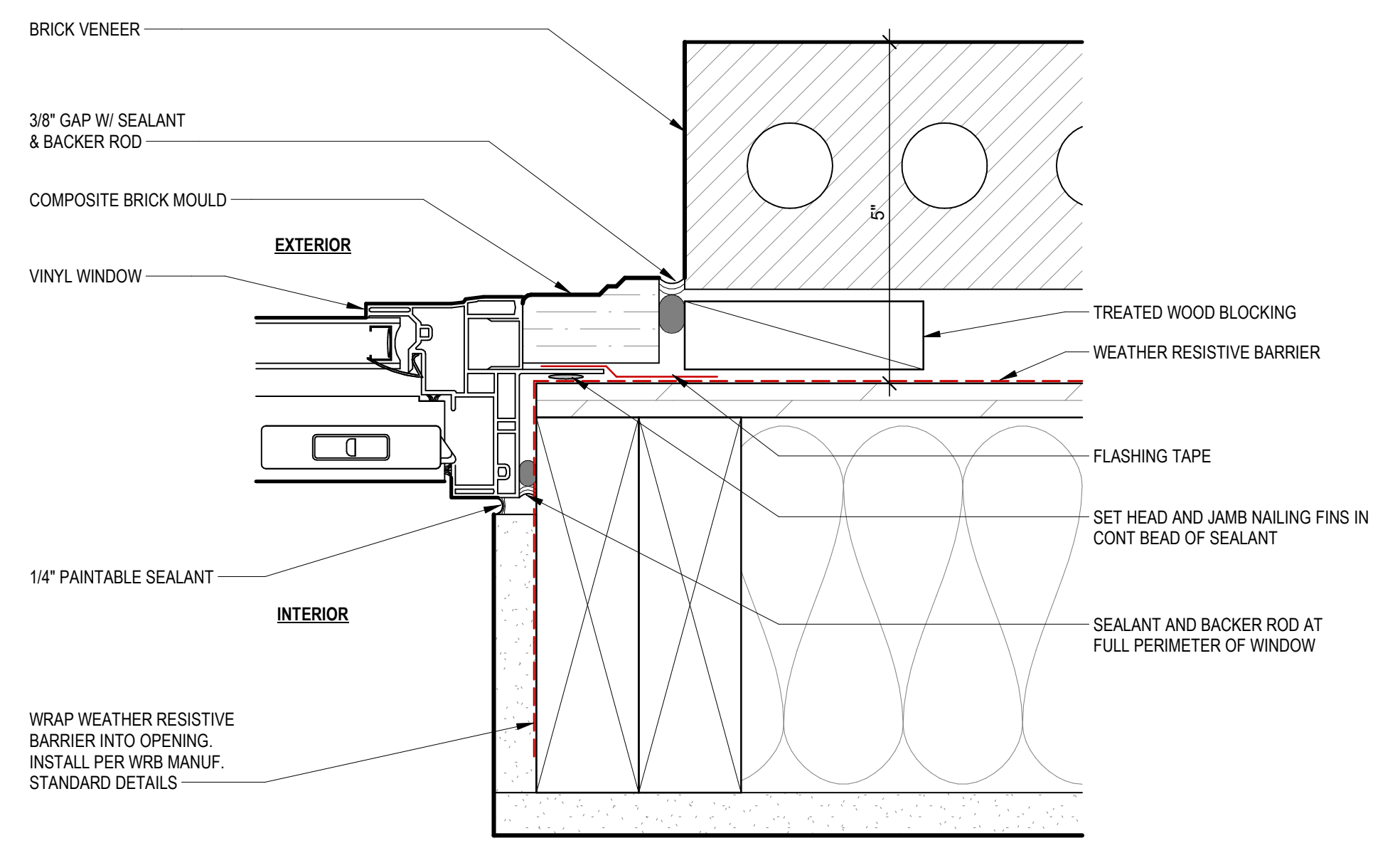
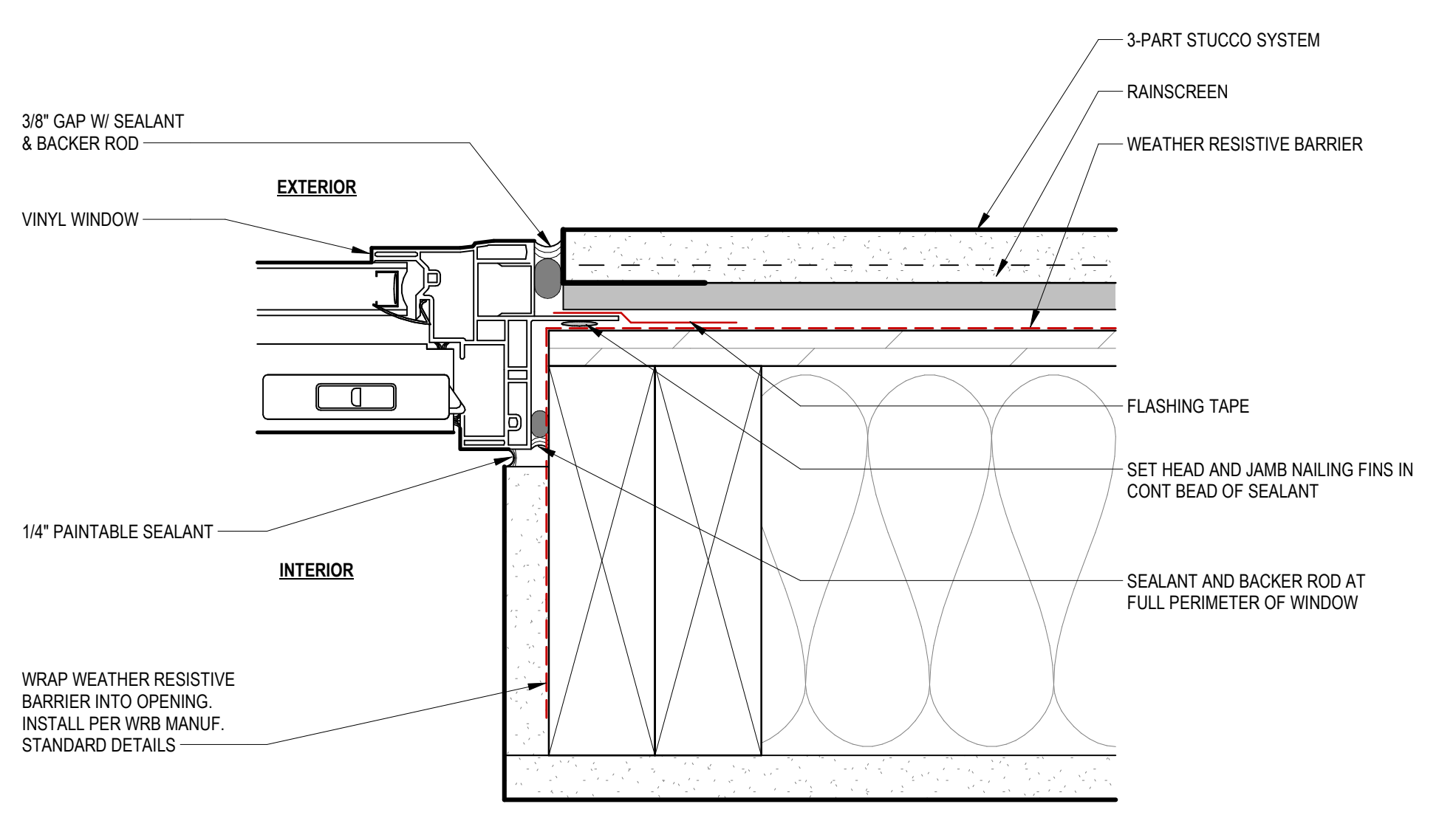
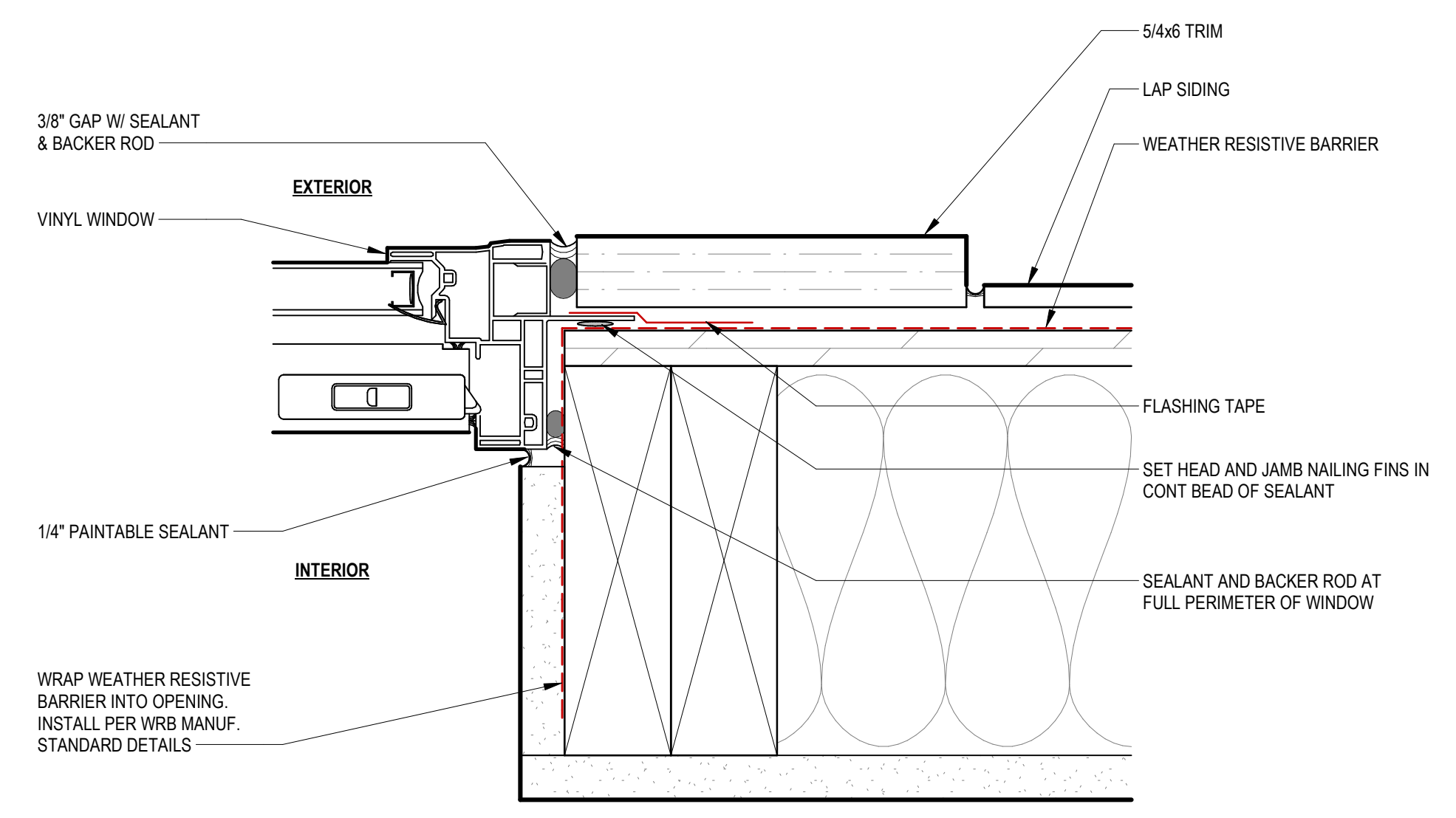
**3** 1-HR RATED ROOF/CEILING  
1" = 1'-0"



**UL NO. U347**  
PROPRIETARY  
2 HOUR FIRE  
60 TO 64 STC SOUND

**GYPSUM WALLBOARD, WOOD STUDS**  
TWO LAYERS 1"x24" PROPRIETARY TYPE 'X' GYPSUM PANELS INSERTED BETWEEN FLOOR AND CEILING RUNNERS WITH STEEL H STUD BETWEEN ADJACENT PAIRS OF GYPSUM PANELS. A 3/4" MINIMUM AIR SPACE MUST BE MAINTAINED BETWEEN STEEL COMPONENTS AND ADJACENT FRAMING. 2x4 STUD WALL FACED WITH 1/2" TYPE 'X' GYPSUM WALLBOARD EACH SIDE OF ASSEMBLY. STUDS CROSS BRACED AT MIDHEIGHT WHERE NECESSARY FOR CLIP ATTACHMENT. 3 1/2" GLASS FIBER IN STUD SPACE BOTH SIDES.  
ALUMINUM ANGLE, 0.049 IN. THICK, 2 IN. WIDE WITH 2 IN. AND 2-1/2 IN. LEGS. CLIPS SECURED WITH TYPE S SCREWS 3/8 IN. LONG TO 'H' STUDS AND WITH 1-1/4 IN. LONG SCREWS TO WOOD FRAMING OR STEEL FRAMING THROUGH HOLES PROVIDED IN CLIP.  
6A. CLIP PLACEMENT FOR SEPARATION WALLS UP TO 23 FT HIGH: SPACE CLIPS A MAX OF 10 FT OC VERTICALLY BETWEEN WOOD OR STEEL FRAMING AND 'H' STUDS.  
6B. CLIP PLACEMENT FOR SEPARATION WALLS UP TO 54 FT HIGH: SPACE CLIPS AS DESCRIBED IN ITEM 6A FOR UPPER 24 FT. REMAINING WALL AREA BELOW REQUIRES CLIPS SPACED MAX OF 5 FT OC VERTICALLY BETWEEN WOOD OR STEEL FRAMING AND 'H' STUDS.

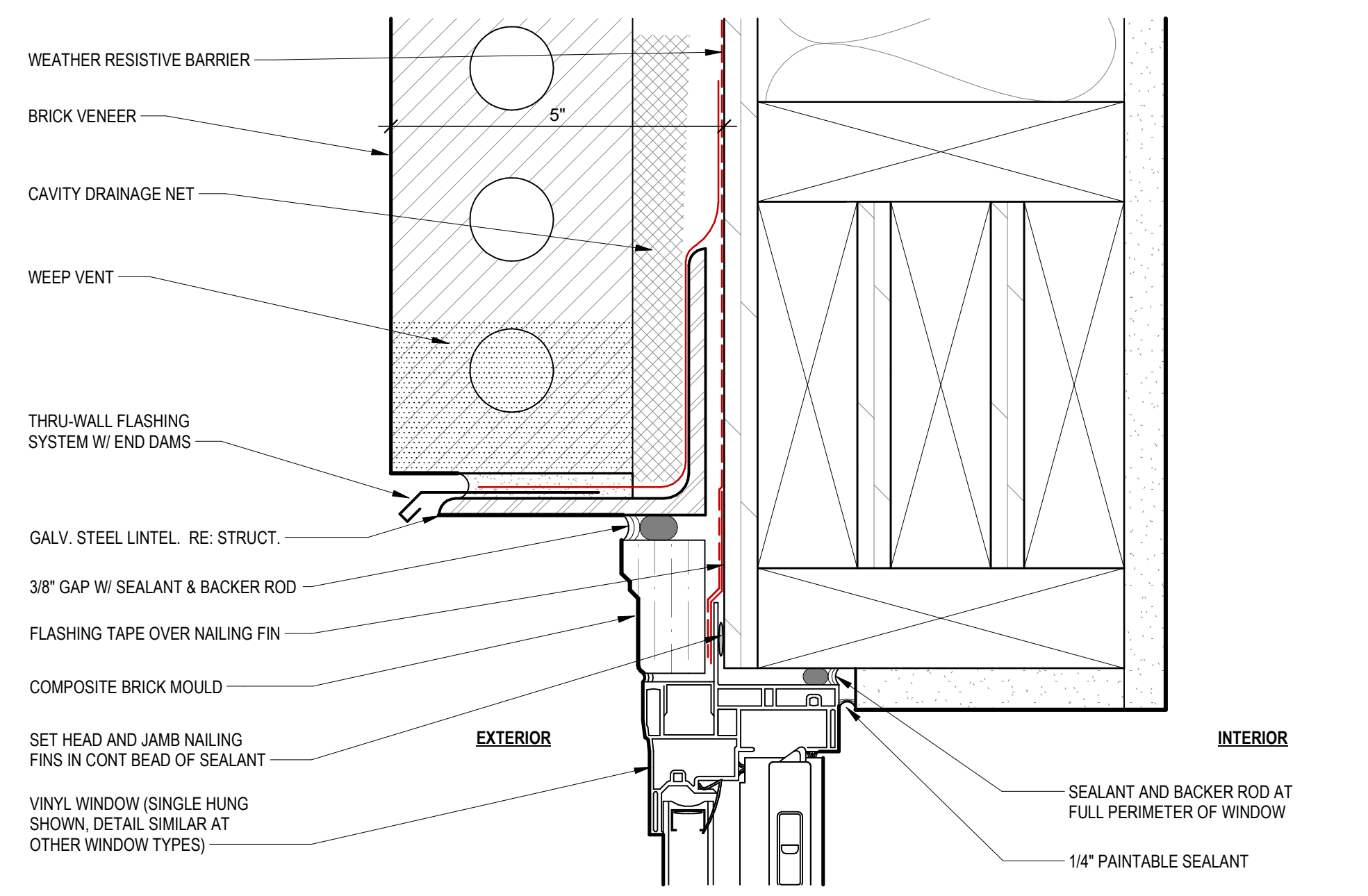
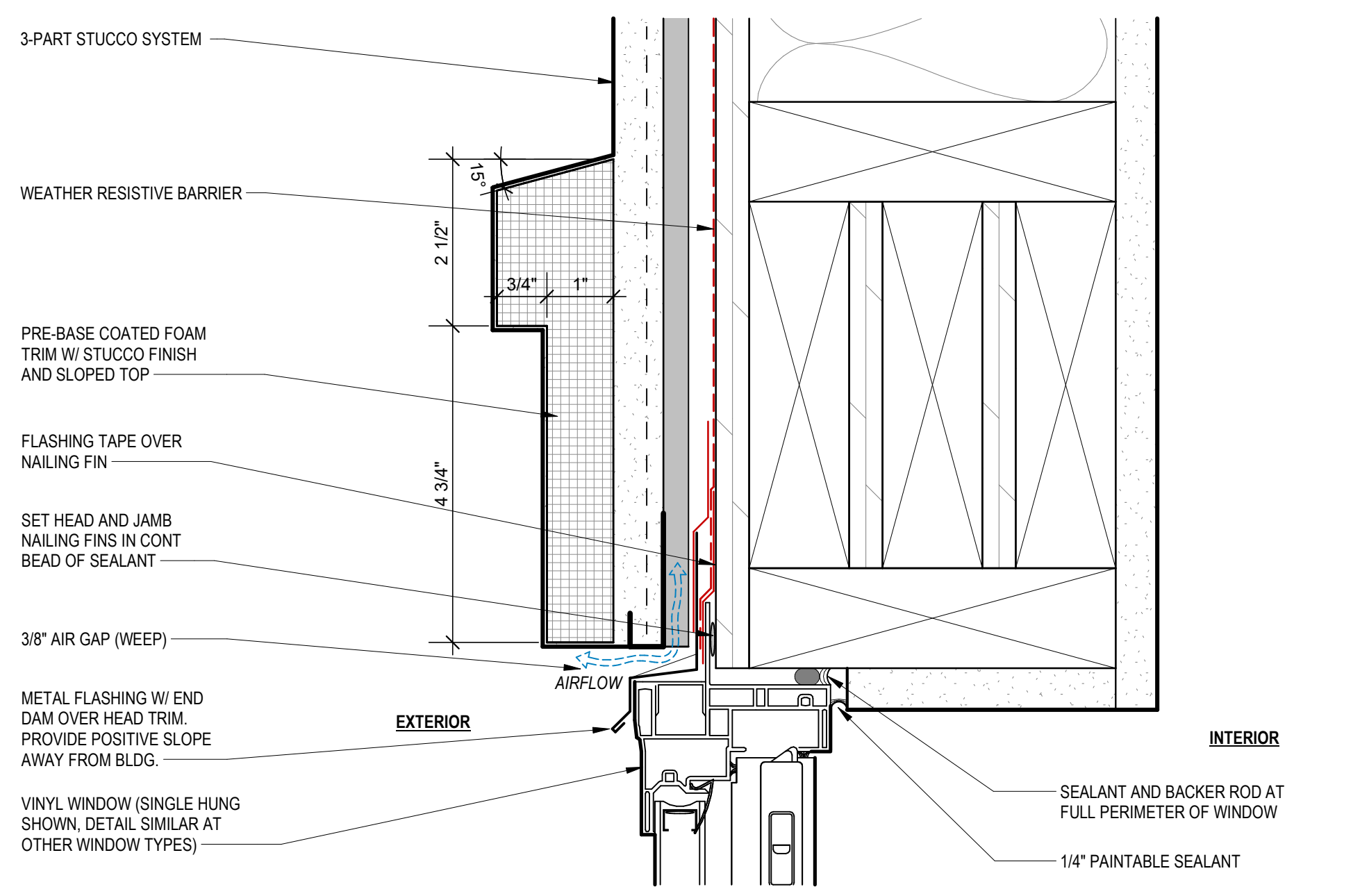
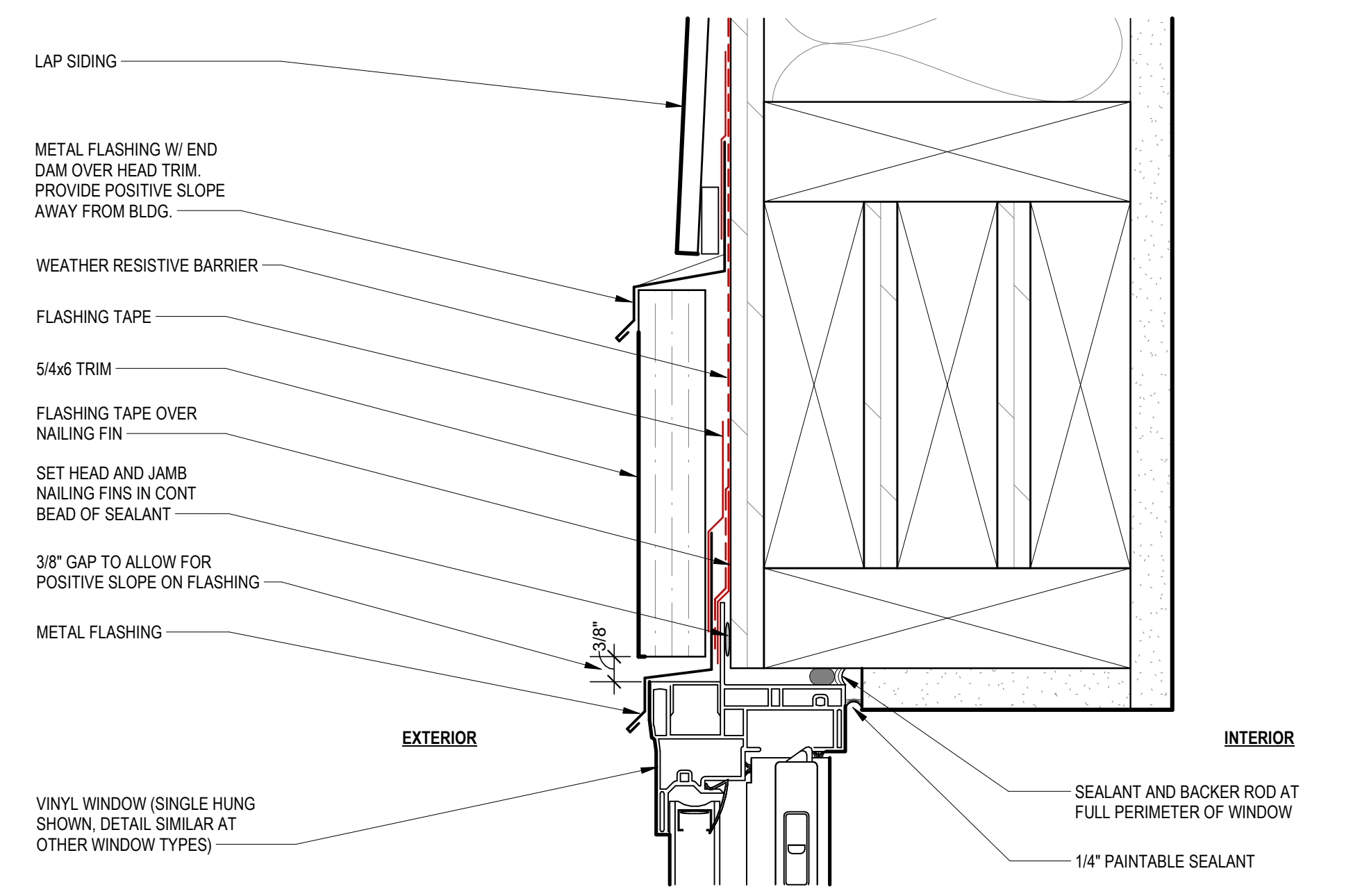
**2** 2-HR RATED WALL  
1" = 1'-0"



9 WINDOW JAMB AT LAP SIDING  
6" = 1'-0"

6 WINDOW JAMB AT STUCCO  
6" = 1'-0"

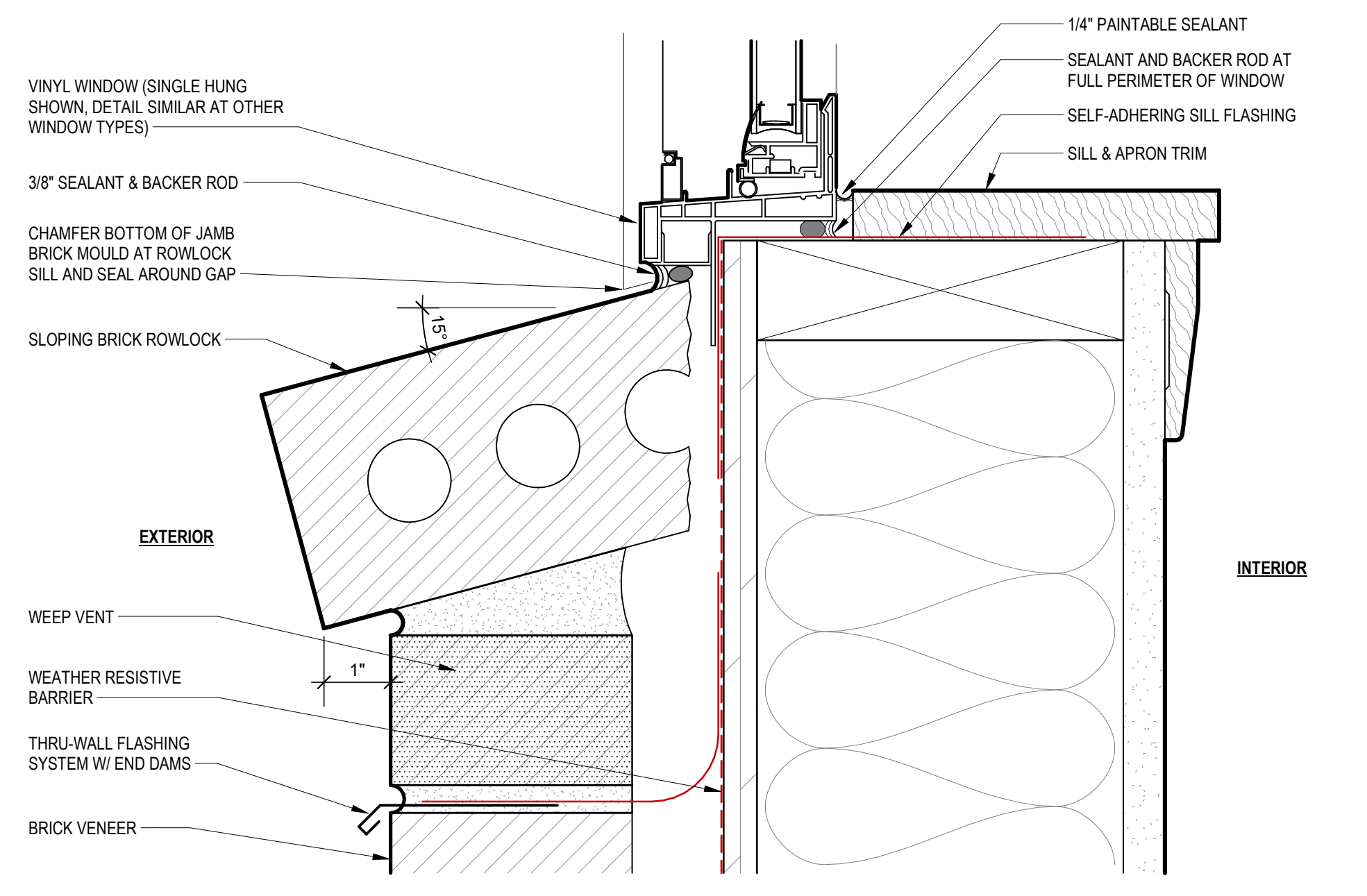
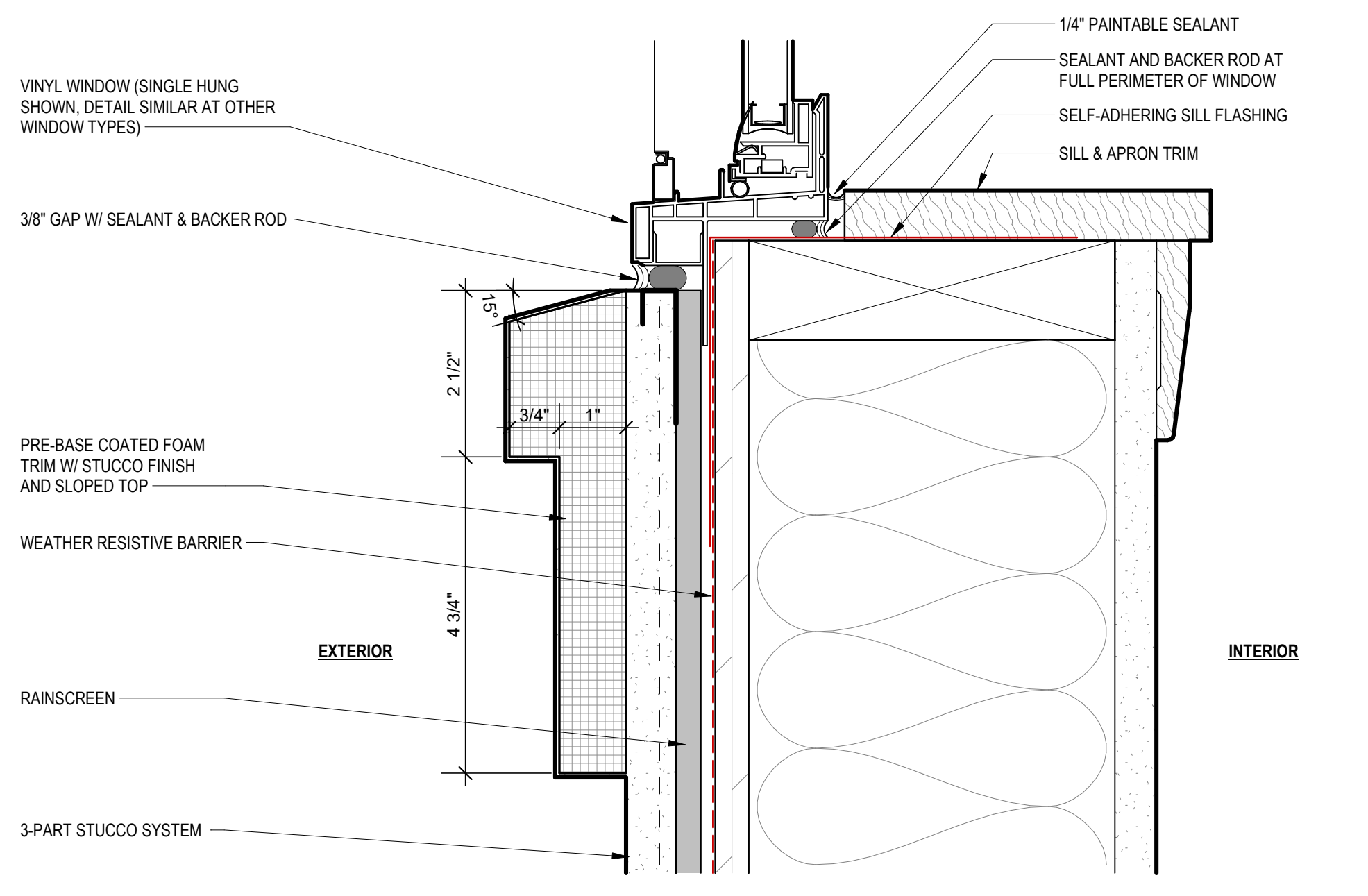
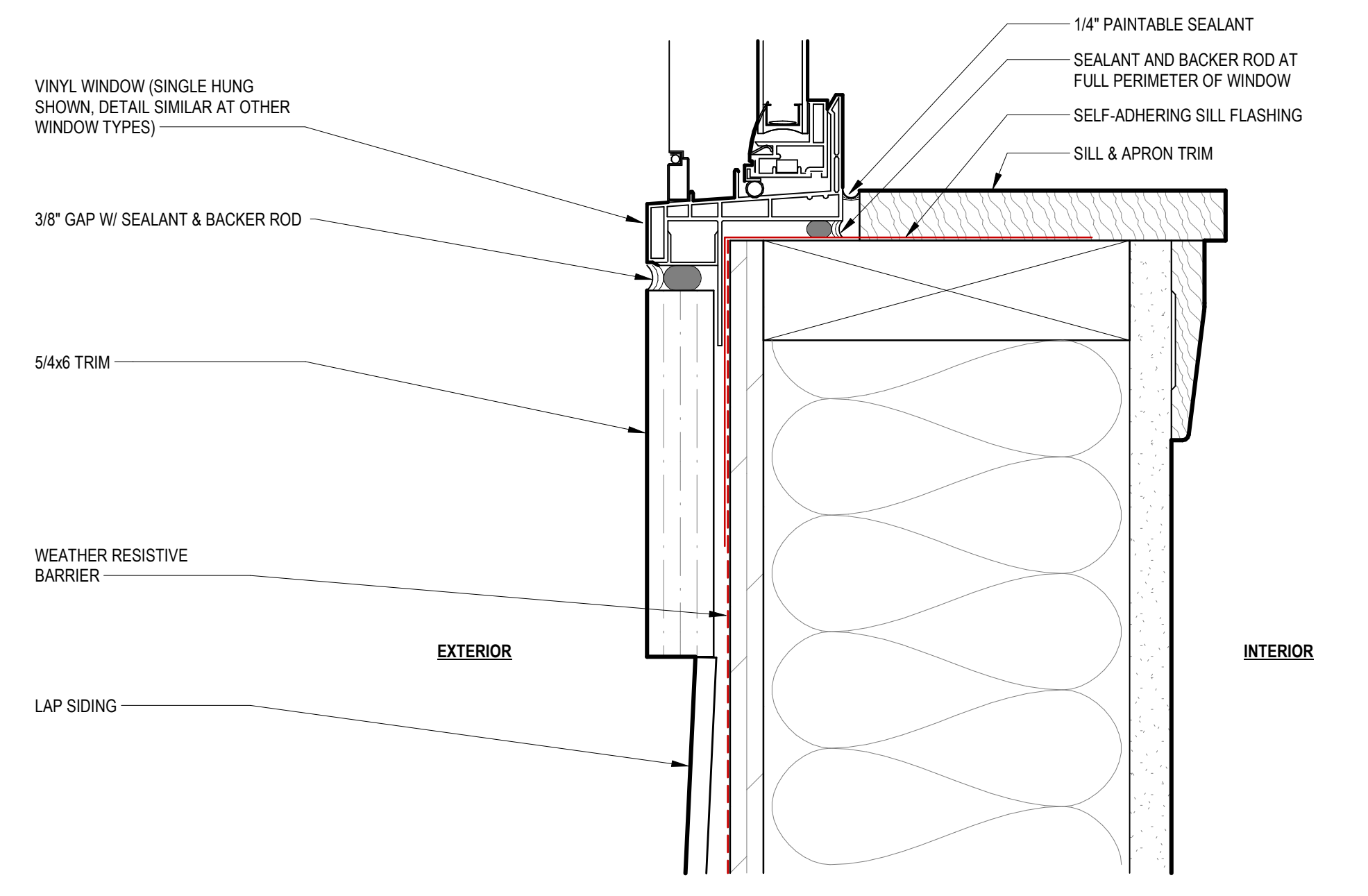
3 WINDOW JAMB AT BRICK VENEER  
6" = 1'-0"



8 WINDOW HEAD AT LAP SIDING  
6" = 1'-0"

5 WINDOW HEAD AT STUCCO  
6" = 1'-0"

2 WINDOW HEAD AT BRICK VENEER  
6" = 1'-0"



7 WINDOW SILL AT LAP SIDING  
6" = 1'-0"

4 WINDOW SILL AT STUCCO  
6" = 1'-0"

1 WINDOW SILL AT BRICK VENEER  
6" = 1'-0"



A NEW DEVELOPMENT:  
**GOODE AVE. TOWNHOMES**  
1401 GOODE AVE. GRANDVIEW, MISSOURI

DRAWING RELEASE LOG  
06.08.23 - STRUCTURAL KICKOFF  
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REVISIONS  
1 01.01.22 CITY SUBMITTAL RESPONSE T

JOB NO. 736623 DATE 06.06.2024  
DRAWN BY TWH, MLM, NSO

SHEET NAME WINDOW H/J/S DETAILS

SHEET NO. **A5.00**