• 02.13.24 CITY SUBMITTAL

TWH, MLM, NSO

SHEET NAME **COVER SHEET** 

# GOODE AVE TOWNHOMES - Architectural Set



# **PROJECT TEAM**

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### LANDSCAPE ARCHITECT

NSPJ ARCHITECTS, P.A. 3515 W. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208 TEL: (913)-831-1415 FAX: (913)-831-1563 EMAIL: KMARTINOVIC@NSPJARCH.COM CONTACT: KATIE MARTINOVIC

# ARCHITECT:

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### STRUCTURAL ENGINEER:

KEYSTONE KC ENGINEERING, LLC 1530 DUCK ROAD GRANDVIEW, MO TEL: (816) 287-1696 CONTACT: ERIC STRACK

# PROJECT INFORMATION

### **PROJECT ADDRESS:**

STREET ADDRESS: 1401 GOODE AVENUE · CITY: GRANDVIEW COUNTY: JACKSON STATE: MISSOURI

# **ENERGY CODE SUMMARY:**

**TABLE R402.1.2 - INSULATION & FENESTRATION REQUIREMENTS** PLANS SHALL CONFORM TO THE PROVISIONS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AS AMENDED BY THE GOVERNING BODY OF THE CITY OF GRANDVIEW, MO.

BUILDING ELEMENT	MIN VALUE
CEILING	49
WALL - WOOD FRAME	20
FLOOR	19

# **BUILDING DATA:**

# **DOUBLE UNIT TOWHOMES:**

TOTAL LIVING AREA: 1,444 SF

### SINGLE UNIT HOMES:

2ND FLR: 458 SF TOTAL LIVING AREA:

# **PROJECT GENERAL NOTES**

REQUEST CLARIFICATION FROM THE ARCHITECT.

- THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY.
- DO NOT SCALE DRAWINGS. REFER TO WRITTEN DIMENSIONS. IF DIMENSIONS APPEAR TO BE INSUFFICIENT OR CONTRADICTORY, THE CONTRACTOR SHALL
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BY TAKING FIELD MEASUREMENTS. PROPER FIT AND ATTACHMENTS OF ALL SPECIFIED
- THE CONTRACTOR SHALL THOROUGHLY REVIEW THE DRAWINGS AND SPECIFICATIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT HOWEVER, WHERE A CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS OCCURS, WHICHEVER IS OF GREATER VALUE AND/OR QUANTITY WILL TAKE PRECEDENT. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. CONTRACTOR AND EACH SUBCONTRACTOR SHALL INSTALL ALL THEIR MATERIALS IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS TO MEET PRODUCT WARRANTY REQUIREMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- THE CONTRACTOR AND EACH SUBCONTRACTOR AFFIRMATIVELY REPRESENTS THAT THEY ARE SKILLED AND EXPERIENCED IN THE PERFORMANCE OF WORK AS REQUIRED BY THIS PROJECT AND IN THE USE AND INTERPRETATION OF DRAWINGS AND SPECIFICATIONS SUCH AS THOSE INCLUDED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR AGREES THAT IT SHALL BE CONCLUSIVELY PRESUMED THAT THE CONTRACTOR HAS EXERCISED HIS AFOREMENTIONED SKILL AND EXPERIENCE AND HAS FOUND THE DRAWINGS AND SPECIFICATIONS SUFFICIENT AND FREE FROM AMBIGUITIES, ERRORS, DISCREPANCIES, AND OMISSIONS FOR THE PURPOSE OF DETERMINING ITS CONTRACT FOR THE PERFORMANCE OF THE WORK IN CONFORMITY WITH THE DRAWINGS, SPECIFICATIONS, AND ALL OTHER CONTRACT DOCUMENTS.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND ARE RESPONSIBLE FOR ALL WORK PERTAINING TO THEIR TRADE REGARDLESS OF DRAWING OR SECTION OF SPECIFICATIONS IT IS WRITTEN OR DEPICTED IN. ALL COSTS SUBMITTED AND WORK PERFORMED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS WHETHER FULLY DEFINED BY THE DRAWINGS AND SPECIFICATIONS OR NOT. ANY DISCREPANCY AND/OR UNCERTAINTY SHOULD BE VERIFIED WITH THE ARCHITECT.
- IN NO CASE SHALL ANY CONTRACTOR PROCEED WITH WORK IN UNCERTAINTY.
- IF THE CONTRACTOR OR THE OWNER SELECTS OR SUBSTITUTES ANY ASSEMBLY, SYSTEM, PRODUCT, MATERIAL, OR DESIGN FOR THE PROJECT WITHOUT OR AGAINST THE ARCHITECT'S APPROVAL, THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THAT DECISION BY THE CONTRACTOR OR OWNER OR FOR THE PERFORMANCE OF SUCH ITEMS, AND THE ARCHITECT SHALL NOT BE REQUIRED TO ISSUE ANY OPINION OR CERTIFICATE WITH RESPECT TO SUCH
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF WORK BETWEEN ALL TRADES AND WILL IDENTIFY ALL BLOCKING, SURFACE PREPARATION AND SIMILAR ITEMS THAT ARE NECESSARILY PROVIDED BY ONE TRADE TO FACILITATE THE WORK OF ANY OTHER. ALL TRADES WILL BE REQUIRED TO REPORT ANY DEFICIENCIES ON THE PROJECT WHICH WOULD LEAD TO AN INCOMPLETE OR POOR-QUALITY FINISHED PRODUCT.
- EACH TRADE SHALL EXAMINE ALL SUBSURFACES AND WORK OF OTHERS THAT AFFECT THEIR INDIVIDUAL SCOPE OF WORK. REPORT IN WRITING, TO THE GENERAL CONTRACTOR, WITH A COPY TO THE ARCHITECT, ANY CONDITIONS, EXCEPT FOR UNFORESEEN EXISTING CONDITIONS, WHICH MAY PROVE DETRIMENTAL TO THE WORK. FAILURE TO OBSERVE THIS INJUNCTION WILL CONSTITUTE A WAIVER TO ANY SUBSEQUENT CLAIMS TO THE CONTRARY AND MAKE THIS CONTRACTOR RESPONSIBLE FOR ANY CORRECTION ARCHITECT MAY REQUIRE. COMMENCEMENT OF WORK WILL BE CONSTRUED AS ACCEPTANCE OF ALL SUBSURFACES.
- CONTRACT DOCUMENTS DO NOT ILLUSTRATE EVERY CONDITION; WORK NOT EXPRESSLY DETAILED SHALL BE CONSTRUCTED SIMILAR TO PARTS THAT ARE DETAILED. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH WORK. WHENEVER THE CONTRACT DOCUMENTS REASONABLY IMPLY MATERIALS OR INSTALLATION AS NECESSARY TO PRODUCE THE INTENDED RESULTS, BUT DO NOT FULLY DETAIL OR SPECIFY SUCH MATERIALS, THE CONTACTOR SHALL PROVIDE THE MATERIALS AND LABOR REQUIRED FOR INSTALLATION NONETHELESS.
- CONTRACT DOCUMENTS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. PROVIDE PRODUCTS COMPLETE WITH ACCESSORIES, TRIM, FINISH FASTENERS, AND OTHER ITEMS NEEDED FOR A COMPLETE INSTALLATION AND INDICATED USE AND EFFECT.
- DESIGN INTENT INCLUDES CONCEALING ALL PIPES, CONDUITS, DUCT LINES, ETC. ABOVE FINISHED SOFFIT/CEILING OR WITHIN WALLS AND CHASES, U.N.O.
- THESE NOTES ARE NOT INTENDED TO LIMIT THE RESPONSIBILITIES OF THE CONTRACTOR AS DEFINED ELSEWHERE IN THE CONTRACT DOCUMENTS.
- DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
- PROVIDE ALL WORK INDICATED UNLESS SPECIFICALLY NOTED AS "NOT IN CONTRACT" (NIC), "FURNISHED BY OTHERS" (FBO) OR EXISTING.

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SHRUB PLANTING PLAN

SHRUB PLANTING PLAN

SHRUB PLANTING PLAN

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Approved

Approved

Public Works Department City of Grandview

City of Grandview

Owner's Representative

Community Development Director,

# **ABBREVIATIONS**

	DILLAHOHO									
#	POUND OR NUMBER		DTL	DETAIL	D	LEED	LEADERSHIP IN ENVIRONMENTAL DESIGN	L	SF	STOREFRONT
&	AND		DW	DISHWASHER	D	LLH	LONG LEG HORIZONTAL	L	SF	SQUARE FOOT/FEET
1R/1SH	ONE ROD, ONE SHELF		DWG	DRAWING	D	LLV	LONG LEG VERTICAL	L	SH	SINGLE HUNG
2R/2SH	TWO ROD, TWO SHELVES		EA	EACH	Е	LN	LINE	L	SHLVS	SHELVES
±	PLUS OR MINUS		EIFS	EXTERIOR INSUL AND FINISH SYSTEM	Е	LOC	LOCATION	L	SHTG	SHEATHING
@	AT		EJ	EXPANSION JOINT	F	LVL	LEVEL	Ī	SHWR	SHOWER
A/C	AIR CONDITIONER / CONDITIONING	Α	ELECT	ELECTRICAL	F	LVR	LOUVER	Ī	SIM	SIMILAR
ABV	ABOVE	Α	ELEV	ELEVATION	F	LWRD	LOWERED	Ī	SPEC	SPECIFICATIONS
ACT	ACOUSTICAL CEILING TILE	Α	ELEVTR	ELEVATOR	E	MACH	MACHINE	М	SQ	SQUARE
ADA	AMERICANS WITH DISABILITY ACT	Α	ENG	ENGINEER	E	MAINT	MAINTENANCE	M	SS	STAINLESS STEEL
AFF	ABOVE FINISH FLOOR	Α	ENTR	ENTRANCE	_	MATL	MATERIAL	M	ST	STREET
AHJ	AUTHORITY HAVING JURISDICTION	^	EQ	EQUAL		MAX	MAXIMUM	M	STD	STANDARD
AHU	AIR HANDLING UNIT	^	EQUIP	EQUIPMENT		MDF	MEDIUM DENSITY FIBERBOARD	M	STL	STEEL
	AMERICAN INSTITUTE OF ARCHITECTS	A	EXCAV	EXCAVATE/-RD/-ION		ME	MECHANICAL EQUIPMENT	M	STOR	STORAGE
AIA		A	EXH			MECH		M		
ALT	ALTERNATE	A		EXHAUST / EXHAUST HOOD			MECHANICAL	IVI	STRUCT	STRUCTURAL / STRUCTURE SUB FLOOR
ALUM	ALUMINUM	A	EXIST	EXISTING		MEMB	MEGHANICAL FLECTRICAL AND BLUMBING	IVI	SUBFLR	
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE		EXP	EXPOSED	E	MEP	MECHANICAL, ELECTRICAL, AND PLUMBING	M	SUSP	SUSPENDED
ASTM D/	AMERICAN SOCIETY FOR TESTING MATERIALS	_	EXT	EXTERIOR EXTINCUISING	E	MFR	MANUFACTURER MICROWAYE	M	SYS	SYSTEM
B/	BOTTOM OF	В	F.E.	FIRE EXTINGUISHER	F	MICRO	MICROWAVE	M	I T0 C	TOILET
BD	BOARD	В	FD	FLOOR DRAIN	F	MIN	MINIMUM	M	T&G	TONGUE AND GROOVE
BLDG	BUILDING	В	FDB	FAHRENHEIT DRY BULB	F -	MIR	MIRROR	M	T/	TOP OF
BLK	BLOCK	В	FDTN	FOUNDATION	F	MO	MASONRY OPENING	М	T/W	TOP OF WALL
BLKG	BLKG	В	FFE	FINISH FLOOR ELEVATION	F	MTD	MOUNTED	М	TB	TOWEL BAR
BM	BEAM	В	FIN	FINISH / FINISHED	F	MTL	METAL	M	TBD	TO BE DETERMINED
BOT	BOTTOM	В	FIXT	FIXTURE	F	N.A.	NOT APPLICABLE	N	TEMP	TEMPORARY
BRG	BEARING	В	FLASH	FLASHING	F	N.S.F.	NET SQUARE FOOTAGE	Ν	TEMP	TEMPERATURE
BSMT	BASEMENT	В	FLR	FLOOR	F	NC	NON-COMBUSTIBLE	Ν	THRU	THROUGH
BTWN	BETWEEN	В	FLRG	FLOORING	F	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION	N	TOS	TOP OF SLAB
CAB	CABINET	С	FLUOR	FLUORESCENT	F	NO.	NUMBER	Ν	TP	TOILET PAPER DISPENSER
CANT	CANTILEVER	С	FRP	FIBERGLASS REINFORCED PLASTIC PANEL	F	NOM	NOMINAL	Ν	TR	TOWEL RING
CCD	CONSTRUCTION CHANGE DIRECTIVE	С	FRZR	FREEZER	F	NTS	NOT TO SCALE	Ν	TR	TREAD
CF	CUBIC FEET	С	FT	FOOT/FEET	F	OFCI	OWNER FURNISHED CONTRACTOR INSTALLE	0 0	TUB	BATHTUB
CFM	CUBIC FEET PER MINUTE	С	FTG	FOOTING	F	OH	OPPOSITE HAND	0	TV	TELEVISION
CHAM	CHAMFER	С	FURN	FURNITURE	F	OHD	OVERHEAD	0	TYP	TYPICAL
CIP	CAST IN PLACE	С	FUT	FUTURE	F	OPG	OPENING	0	UC	UNDERCOUNTER
CJ	CONTROL JOINT	С	FV	FIELD VERIFY	F	OPP	OPPOSITE	0	UL	UNDERWRITERS LABORATORY
CL	CENTER LINE	С	G.S.F.	GROSS SQUARE FOOTAGE	G	P.T.	POST TENSION	Р	UNO	UNLESS NOTED OTHERWISE
CLG	CEILING	С	GAL	GALLON/GALLONS	G	PER	PERIMETER	Р	UON	UNLESS OTHERWISE NOTED
CLO	CLOSET	С	GALV	GALVANIZED	G	PERF	PERFORATED	Р	VAN	VANITY
CLR	CLEAR	C	GB	GRAB BAR	G	PERP	PERPENDICULAR	Р	VB	VAPOR BARRIER
CM	CARBON MONOXIDE DETECTOR	C	GC	GENERAL CONTRACTOR	G	PL	PLATE LINE	P	VENT	VENTILATION
CMU	CONCRETE MASONRY UNIT	C	GEN	GENERAL	G	PLBG	PLUMBING	Р	VER	VERIFY
CO	CASED OPENING	C	GFI	GROUND FAULT INTERRUPTER	G	PNLG	PANELING	Р	VERT	VERTICAL
COL	COLUMN	С	GL	GLASS / GLAZING	G	PR	PAIR	P	VIF	VERIFY IN FIELD
CONC	CONCRETE	C	GR	GRADE	G	PROP	PROPERTY	Р	VOL	VOLUME
CONST	CONSTRUCTION	С	GWB	GYPSUM WALL BOARD	G	QT	QUARRY TILE	O.	VR	VAPOR RETARDER
CONT	CONTINUE / CONTINUOUS	С	GYP BD	GYPSUM BOARD	G	QTB	QUARRY TILE BASE	Q ()	W	WASHER
CONTR	CONTRACT / CONTRACTOR	C	HDR	HEADER	Н	QTY	QUANITY	Q	W	WIDTH/WIDE
CORD	CORDINATE	C	HDW	HARDWARE	Н	R	RADIUS	R	W/	WITH
CORD	CORRIDOR	C	HDWD	HARD WOOD	Ш	RD	ROUND	R	W/C	WHEELCHAIR
CRPT	CARPET	C	HM	HOLLOW METAL	П	RD RD	ROOF DRAIN		W/O	WITHOUT
CSMT	CASEMENT	C	HORIZ	HORIZONTAL	Н	RE:	REFERENCE	R	WC	WATERCLOSET
		C						R		
CTOP	COUNTERTOP	0	HR	HANDRAIL	Н	REC.	RECESSED	R	WD WH	WOOD
D	DRYER	D	HR	HOUR	П	REF	REFRIGERATOR	R	WH	WATER HEATER
DBL	DOUBLE	D	HT	HEIGHT	H	REINF	REINFORCE/-ED/-ING	R	WI	WROUGHT IRON
DEMO	DEMOLITION	D	HVAC	HEATING, VENTILATION, AIR CONDITIONING	H	REQD	REQUIRE / REQUIRED	R	WIC	WALK-IN CLOSET
DEPT	DEPARTMENT	D	IBC	INTERNATIONAL BUILDING CODE	 	RH	ROBE HOOK	R	WIN	WINDOW
DH	DOUBLE HUNG	D	IN	INCH	 	RM	ROOM	R	WK	WORK
DIA	DIAMETER	D	INSUL	INSULATION	ı	RO	ROUGH OPENING	R	WM	WALL MOUNT
DISP	DISPOSAL	D	INT	INTERIOR	l	RUBR	RUBBER	R	WP	WATERPROOF / WATERPROOFING
DN	DOWN	D	IRC	INTERNATIONAL RESIDENTIAL CODE	l	S.M.	SHEET METAL	S	WT	WEIGHT
DP	DEEP	D	JAN	JANITOR	J	SCHED	SCHEDULE	S		
DD.	DOOD	D	LCD	LICHID COVETAL DICDLAY	1	CD.	CMOKE DETECTOD	0		

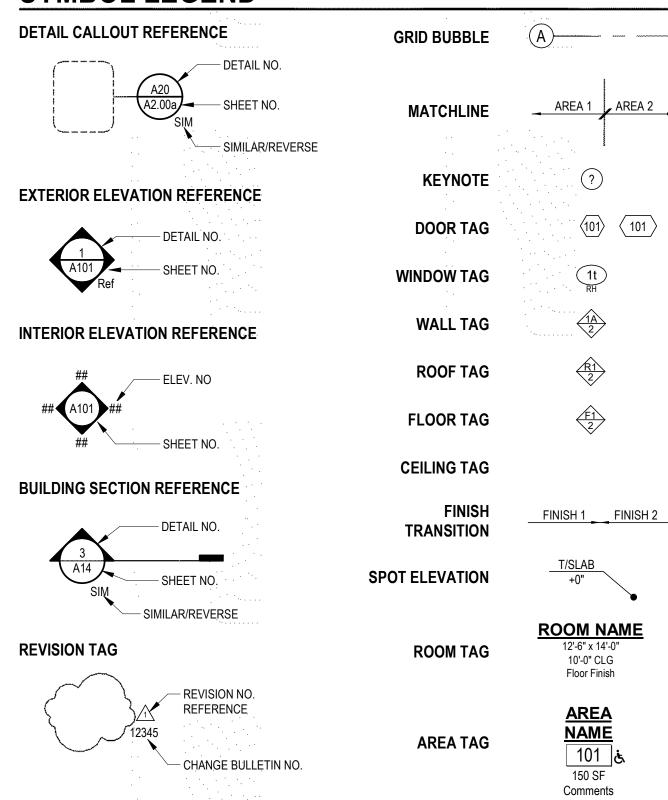
L SD

L SECT SECTION

SMOKE DETECTOR

# SYMBOL LEGEND

DOWNSPOUT



D LCD LIQUID CRYSTAL DISPLAY

LIGHT EMITTING DIODE





# **CONSTRUCTION NOTES**

#### **GENERAL REQUIREMENTS:**

ALL WORK INCLUDED, INCLUDING ALL MATERIALS AND WORKMANSHIP, SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE LAWS, CODES, ORDINANCES, AND STANDARDS OF ALL LOCAL, STATE AND NATIONAL JURISDICTIONS. ALL SUBCONTRACTORS SHALL BE HELD RESPONSIBLE FOR ANY VIOLATIONS OF APPLICABLE REQUIREMENTS, FOR ANY CHANGES TO THE PROJECT DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. ALL WORK SHALL COMPLY WITH THE 2018 IRC AS ADOPTED BY THE CITY OF GRANDVIEW, MO.

ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED. ERECTED. APPLIED. USED. CONDITIONED, ADJUSTED, AND CLEANED IN ACCORDANCE WITH THE CURRENT DIRECTIONS, INSTRUCTIONS, AND RECOMMENDATIONS OF THE MANUFACTURER AND WITH CURRENT PRINTED STANDARD SPECIFICATIONS WHICH ARE ISSUED AND RECOMMENDED BY ORGANIZED ASSOCIATIONS OF MANUFACTURERS, CRAFTS AND TRADES. DO NOT SCALE DRAWINGS. REFER TO WRITTEN DIMENSIONS.

SHOULD THE CONTRACTOR FIND DISCREPANCIES OR AMBIGUITIES IN, OR OMISSIONS FROM THE DRAWINGS, OR

SHOULD HE BE IN DOUBT AS TO THEIR MEANING, HE SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION. COORDINATION OF ALL TRADES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

UNLESS LONGER TERM GUARANTEES ARE AGREED UPON, ANY AND ALL DEFECTS IN MATERIALS AND

WORKMANSHIP WHICH DEVELOP WITHIN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE SHALL BE REMEDIED BY THE GENERAL CONTRACTOR WITHOUT ADDITIONAL COST TO THE OWNER. SECURE ALL GUARANTEES AND/OR WARRANTIES AND ASSIGN TO THE OWNER. RETAIN ONE COPY OF EVERY WARRANTY, INSTALLATION MANUAL, OWNER'S MANUAL, CUT-SHEET AND/OR SALES SHEET FOR EVERY

PROPRIETARY PRODUCT INSTALLED IN/ON THE HOME AND PROVIDE TO OWNER NO WORK SHALL COMMENCE UNTIL THE CONTRACTOR DOING THE WORK PROVIDES A CERTIFICATE OF INSURANCE FOR EACH TYPE OF INSURANCE AND FOR THE AMOUNT REQUIRED BY THE OWNER, TO THE OWNER AND UNTIL THE OWNER ACCEPTS. ADDITIONAL BONDS MAY BE REQUIRED BY THE OWNER AT THE OWNER'S DISCRETION WITHOUT

ADDITIONAL COST TO THE OWNER. THE GENERAL CONTRACTOR SHALL PREPARE/COLLECT AND REVIEW SHOP DRAWING FOR ANY WORK REQUIRED IN THE CONTRACT DOCUMENTS. WORK SHALL NOT PROCEED UNTIL THE SHOP DRAWING IS SUBMITTED AND REVIEWED BY THE ARCHITECT.

CONTRACTOR MUST SECURE A USE AND OCCUPANCY PERMIT FOR THE OWNER PRIOR TO THE SCHEDULED DATE OF COMMENCEMENT FOR FIXTURIZATION. FOR PURPOSES OF INTERPRETATION OF THIS SENTENCE, A FAILURE TO PERFORM ANY DUTY REQUIRED OF THE CONTRACTOR SHALL NOT CONSTITUTE REASONABLE GROUNDS FOR THE CONTRACTOR'S FAILURE TO OBTAIN A USE AND OCCUPANCY PERMIT FOR THE OWNER.

THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDINGS, AMERICAN INSTITUTE OF ARCHITECTS, STANDARD FORM NO. A201-, LATEST EDITION, IS HEREBY MADE PART OF THIS SPECIFICATION AND SHALL GOVERN ALL DIVISION AND SECTIONS OF THIS SPECIFICATION. COPIES MAY BE EXAMINED IN THE OFFICE OF

THE CONTRACTOR SHALL HIRE A GEOTECHNICAL ENGINEER DURING EXCAVATION OF THE SITE TO OBSERVE SUB-GRADE CONDITIONS AND TO PROVIDE ANY RECOMMENDATIONS FOR ALL SUB-GRADE PREPARATIONS. ANY RECOMMENDED ALTERATIONS FROM THE PROPOSED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT, STRUCTURAL ENGINEER, AND THE CITY PRIOR TO IMPLEMENTATION.

FILL NOT SPECIFIED BY GEOTECH RECOMMENDATIONS OR BY STRUCTURAL ENGINEER BELOW DRIVES AND EXTERIOR AND INTERIOR SLABS SHALL BE SUITABLE MATERIAL PLACED IN 8" LAYERS AND COMPACTED TO 95% MAXIMUM DENSITY. ALL SUBGRADE PREPARATIONS BELOW SLAB AREAS SHALL CONFORM WITH NOTES ON PLANS. SOIL SHALL BE TERMITE TREATED PRIOR TO SLAB PLACEMENT.

FOOTINGS SHALL EXTEND BELOW A FROST LINE. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION. REMOVE ALL VEGETATION AND STOCK PILE ALL BLACK DIRT FOR SPREADING OF FINAL GRADE. STOCK PILE DIRT FOR FILLS AND BACKFILL AT GENERAL CONTRACTOR SPECIFIED OFF-SITE LOCATION. DO NOT USE TOPSOIL FOR BACKFILL. BACKFILL WITH EXCAVATED MATERIAL THAT IS FREE OF ROCK, ORGANIC MATERIAL AND CONSTRUCTION MATERIAL. SETTLE BACKFILL WITH WATER PRIOR TO FINAL GRADING. BACKFILL AROUND BASEMENT WALLS SHALL NOT BE PLACED UNTIL THE FLOOR FRAMING AND SUBFLOOR HAVE BEEN INSTALLED.

FINAL GRADING SHALL BE TO LINES AND GRADES INDICATED AND REQUIRED TO SLOPE AWAY FROM FOUNDATIONS. USE TOPSOIL FOR FINAL GRADING OF PLANTED OR SODDED AREAS. USE EXCAVATED SOIL MATERIAL FOR FINAL GRADING BELOW WALKS, PATIOS, AND DRIVES. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND DISPOSING OF ANY EXCESS EXCAVATION MATERIALS

AND FOR OBTAINING AND SUPPLYING ADDITIONAL FILL MATERIAL, IF REQUIRED SOD SHALL CONTAIN A GOOD COVER OF LIVING GRASS TYPICAL OF THE NATIVE GRASSES OF THE DEVELOPMENT

PROVIDE EXPANSION AND TOOLED CONTROL JOINTS AS REQUIRED. FOR SIDEWALKS, LOCATE CONTROL JOINTS AT DISTANCES THAT EQUAL THE WIDTH OF THE WALK. CONTROL JOINTS SHOULD ALSO BE IN LOCATIONS WHERE CONFIGURATION OF WALKS, DRIVES, ETC. CHANGE. EXPANSION JOINTS SHOULD BE IN LOCATIONS WHERE

CONCRETE SLABS ARE RESTRAINED BY CURBS, WALLS, ETC. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY PROPOSED EXCESSIVE CUTTING OR FILLING THAT FALLS WITHIN THE VERTICAL PROJECTION OF ANY TREE'S CROWN SO THAT HE MAY INSTIGATE AND SUPERVISE

NECESSARY PROTECTIVE MEASURES TO BE PERFORMED UNDER A SEPARATE CONTRACT.

CONCRETE SLABS WHICH DO NOT DRAIN PROPERLY SHALL BE REMOVED AND REPLACED BY THE SUBCONTRACTOR

COLD JOINTS BETWEEN POURS SHALL BE DOWELED TOGETHER AND WATER-PROOFED WHERE REQUIRED. DRILL, CLEAN HOLES AND EPOXY (HY150MAX OR EQUAL) FOR AL DOWELS PROVIDE EXPANSION JOINTS AS BOND BREAKER BETWEEN WALLS AND OTHER RESTRAINING CONSTRUCTION.

REMOVE TOP 1/2". BLOW/BRUSH CLEAN, AND CAULK. WOOD SILL PLATES SHALL BE PRESSURE TREATED LUMBER WITH SILL SEALER. REFER TO STRUCTURAL DRAWINGS FOR ANCHORAGE INFORMATION.

SEE FOUNDATION PLAN AND STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.

ALL STEEL SHALL RECEIVE ONE COAT OF GOOD RUST INHIBITIVE PRIMER IN THE SHOP AND SHALL BE TOUCHED UP SEE FOUNDATION PLAN AND STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.

# **CARPENTRY:**

A. PROVIDE FRAMING LUMBER AND MATERIAL AS SPECIFIED AND NOTED ON THE PLANS: DIMENSIONAL LUMBER SHALL BE #2 D.F. @ 16" O.C.

PROVIDE ROOF SHEATHING WITH SPACER 'H' CLIPS & INSTALL PERPENDICULAR TO RAFTERS. EXTERIOR WALL SHEATHING SHALL BE CONTINUOUS. DO NOT SCABSHEATHING. EXTERIOR WOOD TRIM SHALL BE HARDIE TRIM, AS INDICATED IN THE DRAWINGS.

MUDSILLS SHALL 2x ACQ PINE, DOUBLED IN GARAGE, SET ON SILL SEALER. BRIDGING FOR 2x JOISTS SHALL BE 1x4's OR EQUAL WITH SPACING NOT TOEXCEED 8'-0" ON CENTER. PROVIDE SOLID BLOCKING (STUD WALL THICKNESS X WIDTH OF BEAM OR HEADER) UNDER ALL STRUCTURAL

BEAMS CONTINUOUS TO FOUNDATION OR STRUCTURE BELOW. PROVIDE APPROVED FIRESTOPS IN WALLS & CONCEALED SPACES AT 10' O.C. AND AS REQ'D BY CODE. STAIRWAYS SHALL HAVE MAX. 7-3/4" RISE AND A MINIMUM 10" RUN (2018 IRC R311.5). HEAD CLEARANCE AT

STAIRWELLS SHALL BE 6'-8" MIN. AND MINIMUM WIDTH OF STAIRCASE SHALL BE 36". PROVIDE NEW ATTIC ACCESS AS REQUIRED BY CODE. THE OPENING SHALL NOT BE LESS THAN 42 INCHES BY 30 INCHES WITH A MINIMUM CLEAR HEAD ROOM OF 36 INCHES PROVIDED ABOVE THE ACCESS OPENING.

REFER TO STRUCTURAL DRAWINGS FOR JOIST SUPPORT INFORMATION. COMPOSITE TRIM SHALL BE INSTALLED OVER BUILDING WRAP WITH ALL APPROPRIATE FLASHINGS. INSTALL TRIM WITH A CLEARANCE OF FOUR INCHES TO FINISHED GRADE AND TWO INCHES TO HARDSCAPE. LOCATE SPLICES OVER STUDS OR SOLID BLOCKING. AT FIELD SPLICES AND WHERE SIDING ABUTS VERTICAL TRIM, PROVIDE AN 1/8 INCH GAP AND FILL WITH PERMANENTLY FLEXIBLE SEALANT. THE USE OF A PNEUMATIC NAIL GUN REQUIRES A FLUSH-MOUNT ATTACHMENT. NAILS SHALL BE DOUBLE HOT-DIPPED GALVANIZED TO MEET THE REQUIREMENTS OF ASTM #A153, OR STAINLESS STEEL. COMPOSITE TRIM SHALL BE FACTORY PRIMED WITH ALL FIELD CUT EDGES BEING

# THERMAL AND MOISTURE PROTECTION:

THE DWELLINGS INDICATED ON THESE PLANS MUST MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY THE CITY OF GRANDVIEW, MISSOURI. THE THERMAL ENVELOPE OF THE BUILDING SHALL BE SEALED TO LIMIT AIR INFILTRATION AS REQUIRED BY THE THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY THE CITY OF GRANDVIEW, MISSOURI.

INSULATION FOR ALL SURFACES EXPOSED TO COLD SPACES SHALL BE PER THE TABLE ON THIS SHEET OR AS FOLLOWS:

R-49, BLOWN INSULATION ABOVE ALL FLAT CEILINGS WITH ATTIC SPACE ABOVE, IN FLOORS ABOVE GARAGES a. AND FLOORS THAT EXTEND OVER FOUNDATION WALLS. VAULTED CEILINGS SHALL RECEIVE FOAM RAFTER BAFFLES IN EACH BAY, FURR BOTTOM OF RAFTERS DOWN

TO ALLOW R-30 KRAFT FACED BATT INSULATION BELOW BAFFLES. INTERIOR WALLS AROUND ALL BATHROOMS SHALL BE INSULATED WITH 5-1/2", R-19 OR 3-1/2", R-13, NOISE BARRIER FIBERGLASS BATTS.

CANTILEVERED AREAS SHALL RECEIVE CONTINUOUS 1.5", POLY-ISO, RIGID INSULATION AND COVERED WITH SOFFIT BOARD. FILL CAVITY ABOVE WITH FIBERGLASS PROVIDE 2" FOAM SOUND INSULATION WRAP AROUND ALL SOIL LINES ABOVE SLAB.

INSTALL FOAM SILL SEALER AT ALL LEDGER TO CONCRETE AND MUDSILL TO CONCRETE CONNECTIONS, THE FULL WIDTH OF THE WOOD MEMBER. RUN A CONTINUOUS BEAD OF CONSTRUCTION ADHESIVE AT ALL SILL PLATE TO SUBFLOOR CONNECTIONS.

PROVIDE PRE-FINISHED FLASHINGS AND COUNTER-FLASHINGS AT VERTICAL SURFACES ABUTTING ROOFS, AS WELL AS ALL ROOF PENETRATIONS. PROVIDE CONTINUOUS METAL FLASHING AT ALL EXTERIOR, HORIZONTAL TRANSITIONS COMPLETE WITH END-DAMS. GUTTERS SHALL BE 5" K-STYLE IN PRE-FINISHED METAL.

VALLEY FLASHINGS SHALL BE PRE-FINISHED SHEET METAL WITH CENTER CRIMP TO MATCH ROOF COLOR. DIS-SIMILAR METAL SHALL BE INSULATED AND SEPARATED FROM EACH OTHER TO PREVENT ELECTROLYSIS. ROOF & EAVE VENTS SHALL BE LOCATED IN THE LEAST VISIBLE AREAS POSSIBLE (TYPICALLY NOT ON THE STREET SIDE). VENTS SHALL BE A PRE-FINISHED COLOR TO MATCH ROOF COLOR. FOAM ROOF ASSEMBLIES WHERE

ALL BATHROOMS EXHAUST FANS SHALL BE VENTED DIRECTLY TO THE EXTERIOR WITH THE VENTILATION RATE OF 50 CFM FOR INTERMITTENT VENTILATION AND 20 CFM FOR CONTINUOUS VENTILATION. FANS SHALL ACHIEVE AN INDUSTRY ACCEPTED LOW SONE RATING.

THERMAL & MOISTURE PROTECTION (CONT.) WEATHERSTRIP DOORS, USE LOW-EXPANDING FOAM AROUND DOORS AND WINDOWS AND FLASH ALL MEP

PENETRATIONS IN THE W.R.B.. EXTERIOR WALLS TO RECEIVE DUPONT TYVEK BUILDING WRAP WEATHERIZATION SYSTEM COMPLETE WITH SEAM TAPE, FLASHING AND FASTENERS FOR A COMPLETE INSTALLATION. USE TYVEK STUCCO WRAP BEHIND PAPER-FACED METAL LATH FOR STUCCO APPLICATIONS. FLEX-WRAP ALL SUBSILLS. A TYVEK REPRESENTATIVE SHALL BE RETAINED FOR A PRE-CONFERENCE MEETING AND TO REVIEW THE INSTALLATION PRIOR TO THE CONTRACTOR COVERING IT UP.

FIBER-CEMENT LAP SIDING WILL BE INSTALLED WITH A 6 INCH EXPOSURE OVER BUILDING WRAP WITH ALL APPROPRIATE FLASHINGS. INSTALL SIDING WITH A CLEARANCE OF FOUR INCHES TO FINISHED GRADE AND TWO INCHES TO HARDSCAPE. LOCATE SPLICES OVER STUDS OR SOLID BLOCKING. AT FIELD SPLICES AND WHERE SIDING ABUTS VERTICAL TRIM, PROVIDE A 1/8 GAP AND FILL WITH PERMANENTLY FLEXIBLE SEALANT. THE USE OF A PNEUMATIC NAIL GUN REQUIRES A FLUSH-MOUNT ATTACHMENT. NAILS SHALL BE DOUBLE HOT-DIPPED GALVANIZED TO MEET THE REQUIREMENTS OF ASTM #A153, OR STAINLESS STEEL. SIDING SHALL BE FACTORY PRIMED WITH ALL FIELD CUT EDGES BEING FIELD PRIMED.

STUCCO TO BE A (3)-COAT SYSTEM WHERE FIRST COAT SHALL FULLY COVER METAL LATH. TOP COAT SHALL BE POLYMER MODIFIED WITH INTEGRAL COLOR. OVERLAP METAL LATH TO AVOID TELEGRAPHING SEAMS THROUGH THE STUCCO. USE 'J'-STYLE SCREEDS AND HOLD 1/2" AWAY FROM ADJOINING CONSTRUCTION, THEN CAULK GAP WITH COLOR-MATCHED POLYURETHANE. USE 'J'-STYLE WEEP SCREED OVER METAL 'Z' FLASHING AT ALL HORIZONTAL TRANSITIONS AND DO NOT CAULK GAP. PROVIDE CONTROL JOINTS HORZ. & VERT AT NO MORE THAN 12'-0" O.C. AND DEFER TO ARCHITECTURAL ELEVATIONS FOR LOCATION INTENT.

THIN STONE VENEER TO BE TREATED SIMILAR TO STUCCO (SEE STUCCO NOTES). FULLY BACK-BUTTER EACH PIECE AND SET ON THE BROWN COAT SO NO AIR POCKETS ARE CREATED. FULLY GROUT THE INSTALLATION. FOLLOW MANUFACTURER INSTALLATION REQUIREMENTS. IF MANUFACTURER DOES NOT PRODUCE INSTALLATION MANUALS, CONTACT THE MASONRY VENEER MANUFACTURER ASSOCIATION FOR DIRECTION ON COMPLIANCE WITH ASTM

AIR DUCTS PASSING THROUGH FIRE RESISTIVE CONSTRUCTION MUST BE 26 GAUGE SHEET METAL OR INCORPORATE A FIRE/SMOKE DAMPER.

FOAM AROUND ELECTRICAL BOXES AND MASTIC DUCTWORK SEAMS.

INSTALL ICE & WATER SHIELD AT ALL EAVES EXTENDING 3-0" BEYOND THE INTERIOR WALL, AS WELL AS AT ALL VALLEY'S. INSTALL COLOR-MATCHED, CONTINUOUS PRE-FINSIHED MTL DRIP EDGE & VALLEY FLASHING.

INSTALL 30YR ARCHITECTURAL COMPOSITE ASPHALT SHINGLE ROOFING OVER 30# FELT. SHINGLES (TILES) SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTION. ROOF SHINGLES SHALL CARRY A WIND WARRANTY OF 110 MPH SUSTAINED WIND FROM THE MANUFACTURER.

#### **DOORS AND WINDOWS:**

WINDOW SIZES ARE SHOWN ON PLANS AND REPRESENT THE NOMINAL FRAME SIZE. WINDOW MANUFACTURER SHALL BE SELECTED BY THE OWNER(SEE ITEM D). ALL WINDOWS SHALL ACHIEVE A U-FACTOR & SOLAR HEAT GAIN COEFFICIENT OF 0.32 OR BETTER. PROVIDE ONE WINDOW FROM EACH BEDROOM THAT HAS A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. WITH MIN. OPENABLE HEIGHT OF 24" AND WIDTH OF 20" (2018 IRC, R310.1) THE CLEAR OPENING OF EGRESS WINDOWS SHALL NOT EXCEED 44 INCHES ABOVE THE ADJOINING FLOOR OR PERMANENT STEP (2018

WINDOWS WHICH ARE 72" ABOVE GRADE SHALL BE SUPPLIED WITH DEVICES TO RESTRICT OPENINGS TO LESS THAN

GLAZING IN HAZARDOUS LOCATIONS AS FOLLOWS SHALL BE OF APPROVED SAFETY GLAZING MATERIALS: GLASS IN STORM DOORS, INDIVIDUAL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS WITHIN 60" OF THE SURFACE OF THE FLOOR, WALLS ENCLOSING STAIRWAYS AND LANDINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OF BOTTOM OF THE STAIR, ENCLOSURES FOR SPAS, TUBS, SHOWERS AND WHIRLPOOLS, AND GLAZING IN FIXED OR OPERABLE PANELS EXCEEDING 9 SQ. FT. AND WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR OR WALKING SURFACE WITHIN 36" OR AS SPECIFIED IN 2018 IRC R308.4. ALL EXTERIOR WINDOWS AND GLASS DOORS SHALL BE IN ACCORDANCE WITH 2018 IRC, SECTION R613.

WINDOWS AND PATIO DOORS TO BE PELLA IMPERVIA LINE FIBERGLASS. ALL WINDOW SIZES ARE NOMINAL. VERIFY ACTUAL ROUGH OPENING DIMENSIONS WITH WINDOW MANUFACTURER. COORDINATE INTERIOR AND EXTERIOR FINISHES, GLAZING TYPE, & GRIDS WITH OWNER. SEE ELEVATIONS FOR MUNTIN LAYOUTS.

ALL EXTERIOR DOORS, SHALL INCORPORATE THE PHYSICAL SECURITY PROVISIONS REQUIRED BY THE CITY OF GRANDVIEW, MISSOURI.

PROVIDE 5/8" GYPSUM BOARD ON ALL INTERIOR FACES OF EXTERIOR WALLS. BOTH FACES OF INTERIOR WALLS. AND ALL CEILINGS. PROVIDE 1/2" MOLD-RESISTANT GYPSUM BOARD ON WALLS AND CEILINGS OF WET ROOMS (I.E. BATHS, DRESSING, ETC.). PROVIDE 5/8", TYPE-X, GYPSUM BOARD ON GARAGE SIDE OF WALLS AND CEILINGS SEPARATING THE GARAGE FROM ALL LIVING SPACES. COVER ALL BEAMS AND COLUMNS IN GARAGE WITH GYPSUM

ALL CEILINGS SHALL BE FINISHED SMOOTH FOR PAINTING, NOT SPRAY TEXTURING. THE CONTRACTOR SHALL FURNISH THE OWNER WITH SAMPLES OF ALL FINISH MATERIAL AND COLORS AS MAY BE

REQUIRED FOR OWNER APPROVAL DECORATIVE COLUMN SURROUND BY TURNCRAFT OR EQUAL

CONTRACTOR TO PROVIDE / INSTALL APPLIANCES, AND PROVIDE ACCOUTREMENTS AS NECESSARY, FOR A COMPLETE INSTALLATION.

PER HUD MAP GUIDE, 9.6.3.5., NEWLY CONSTRUCTEDBUILDINGS IN ALL RADON ZONES ARE REQUIRED TO INCORPORATE RADON-RESISTANT CONSTRUCTION FEATURES AND FOLLOW ALL REQUIREMENTS REFERENCED IN ANSI-AARST CC-1000-2018, SOIL GAS CONTROL SYSTEMS IN NEW CONSTRUCTION OF BUILDINGS. DURING CONSTRUCTION, ALL RADON RESISTANT CONSTRUCTION MUST BE COMPLETED UNDER THE DIRECT SUPERVISION OF A RADON PROFESSIONAL. FOLLOWING COMPLETION OF CONSTRUCTION, RADON TESTING IS REQUIRED IN ACCORDANCE WITH ANSI/AARST MAMF (PROTOCOL FOR CONDUCTING RADON DECAY PRODUCT MEASUREMENT IN MULTIFAMILY BUILDINGS). IF POST-CONSTRUCTION TESTRESULTS ARE ABOVE THE THRESHOLD (≥4.0 PCI/L), RETROFIT OF MITIGATION SYSTEMS OR CONVERSION FROM PASSIVE TO FAN-POWERED MITIGATION SYSTEMS IS REQUIRED FOLLOWED BY POST-MITIGATION TESTING (TO CONFIRM THE SYSTEMS ARE FUNCTIONING CORRECTLY AND RADON CONCENTRATIONS HAVE BEEN REDUCED TO BELOW THE EPA ACTION LEVEL). ALL TESTING AND MITIGATION REQUIRED AS A RESULT OF THIS TESTING MUST BE PERFORMED BY, OR UNDER THE DIRECT SUPERVISION OF A RADON PROFESSIONAL. CONTRACTOR TO PROVIDE PRICING OF SYSTEM TO OWNER AND DISCUSS IMPLICATIONS.

PROVIDE ALL PLUMBING WORK AS FOLLOWS:

FURNISH AND INSTALL CLEANOUTS AS REQUIRED TO FACILITATE CLEANING OF LINES, BUT LOCATE IN

CLOSETS OR OTHER DISCREET LOCATIONS. FURNISH AND INSTALL SHUT-OFF VALVES AT ALL PLUMBING FIXTURES.

FURNISH AND INSTALL NEW WASHING MACHINE SUPPLY AND DRAINS IN WALL WITH SPACE-SAVER, SAF-T-DRIP

FURNISH AND INSTALL NEW FROSTPROOF SILLCOCKS. ALL PLUMBING SUPPLY LINES IN OUTSIDE WALLS AND/OR CRAWLSPACES SHALL RUN ON WARM SIDE OF INSULATION AND SHALL BE WRAPPED WITH PIPE

FURNISH AND INSTALL NEW FLOOR DRAINS AS INDICATED OR REQUIRED. INTERIOR FLOOR DRAINS SHALL BE HOOKED TO THE SEWER LINE.

RUN PLUMBING VENTS THROUGH ROOF PER CODE. VERIFY LOCATION WITH ARCHITECT TO CONCEAL FROM VIEW (TYPICALLY NOT STREET SIDE). ALL PLUMBING VENTS SHALL BE CONSOLIDATED AS MUCH AS POSSIBLE IN ORDER TO REDUCE PENETRATIONS THROUGH THE ROOF.

HEATING, VENTILATION AND AIR CONDITIONING SYSTEM SHALL BE AS FOLLOWS ALLSUPPLY DUCTS IN THE ATTIC SHALL BE INSULATED WITH 1" THREE LB. DENSITY DUCT LINER.

ALL NEW HVAC SHAFTS PENETRATING THROUGH FLOOR AND CEILING FRAMING SHALL BE DRAFTSTOPPED ADJUSTMENTS SHALL INCLUDE TESTING AND BALANCING THE HVAC SYSTEM. EQUIPMENT SHALL BE

LEVELED AND ALL RATTLES, VIBRATIONS, AND POPS SHALL BE REMOVED FROM ALL DUCTS, HOUSINGS, DAMPER CONTROLS AND EQUIPMENT.

NEW CONDENSER PADS SHALL BE 4" CONCRETE SLABS, REINFORCED WITH 10/10, 6x6, WWF OVER 4" CRUSHED ROCK. CARE SHALL BE TAKEN IN INSTALLATION TO KEEP PADS LEVEL.

ALL MATERIALS AND WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE SHEET METAL CONTRACTOR'S NATIONAL ASSOCIATION, INC. AS SET FORTH IN THE CURRENT EDITION OF STANDARD PRACTICES IN SHEET METAL WORK MANUALS #1 AND #2.

LIGHT FIXTURES INSTALLED IN HIGH-MOISTURE AREAS SHALL BE LABELED FOR USE IN WET LOCATIONS. ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE FOR CONSTRUCTION SITE AND LOAD CALCULATIONS FOR LOCAL UTILITY CO.

ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL WORK AND FIXTURES AS FOLLOWS: ELECTRICAL CONTRACTOR SHALL VERIFY LOCATION OF EXISTING ELECTRICAL SERVICE & METER AT HOUSE. IF REQUIRED, ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY AND BE

PROVIDE GROUNDING ROD IN THE FOUNDATION. BREAKER UNITS SHALL HAVE VISUAL INDICATION OF POSITION AND SHALL HAVE A CARD HOLDER WITH TYPEWRITTEN DESIGNATION OF USE. ALL PANELS SHALL HAVE 20% SPARE CIRCUITS TO BE CLEARLY

RESPONSIBLE FOR ANY COMPENSATION TO THE LOCAL UTILITY FOR THEIR SERVICES.

GFCI CIRCUITS SHALL BE FURNISHED FOR KITCHEN, LAUNDRY, BATHROOMS, GARAGE, AND EXTERIOR

RECEPTACLES.

HOOK UP ALL ITEMS PROVIDED BY HVAC CONTRACTOR.

SMOKE & CARBON MONOXIDE DETECTORS SMOKE DETECTORS MUST BE LOCATED WITHIN EACH SLEEPING AND WITHIN THE IMMEDIATE VICINITY

OUTSIDE THE BEDROOMS. SMOKE DETECTORS SHALL BE HARD-WIRED AND INTERCONNECTED WITH BATTERY BACK-UP UNLESS AMENDED OTHERWISE BY THE JURISDICTION HAVING AUTHORITY.

SMOKE DETECTORS SHALL BE INSTALLED PER NFPA 72, OR AS ADOPTED BY CITY ORDINANCE. PROVIDE HARDWIRED DOOR CHIME FOR EACH UNIT. LOCATION RE: ELECTRICAL PLANS

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DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF • 02.13.24 CITY SUBMITTAL

1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. 736623 06.06.2024 **DRAWN BY** TWH, MLM, NSO

SHEET NAME **PROJECT STANDARDS** 

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

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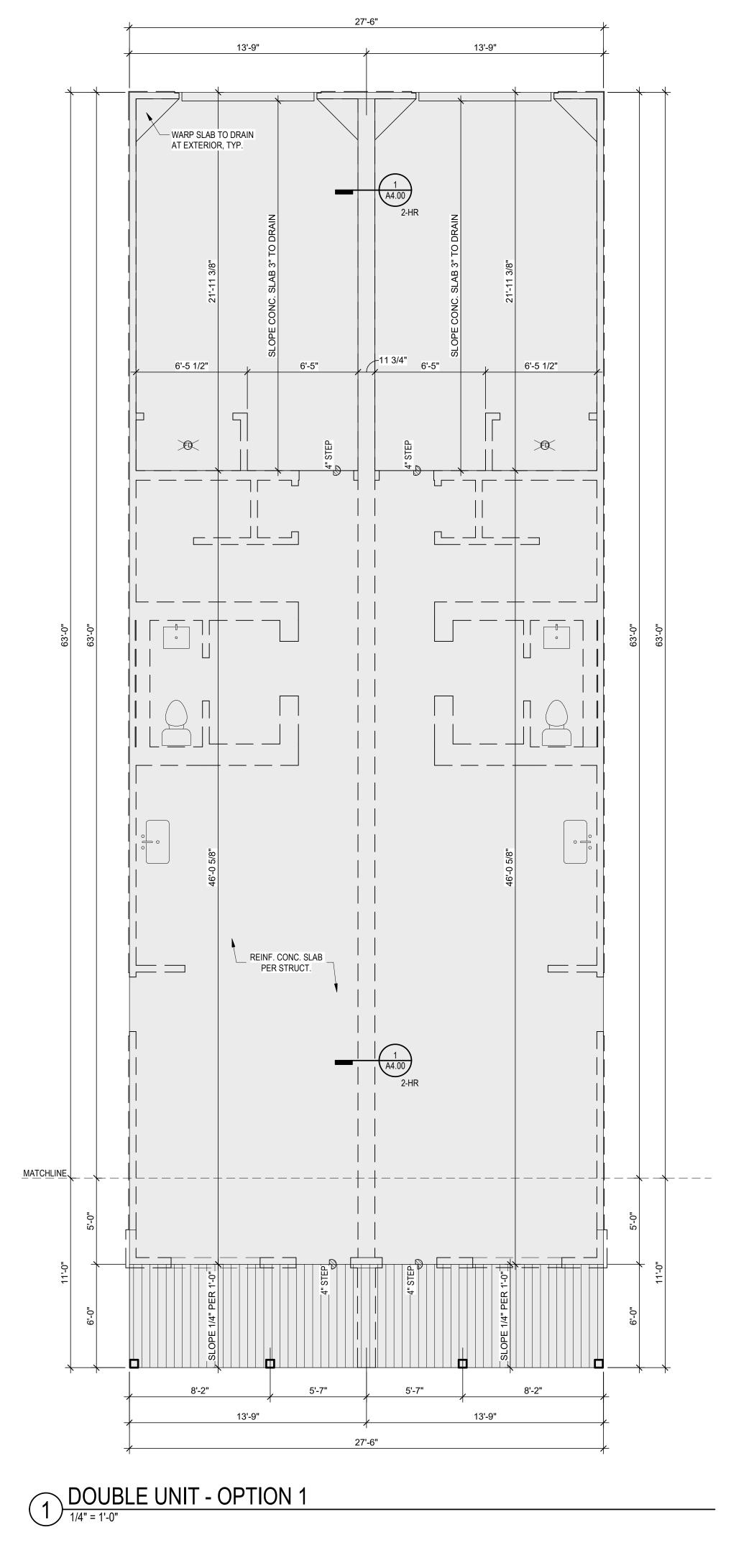
JOB NO. **736623** DATE **06.06.2024 DRAWN BY** TWH, MLM, NSO

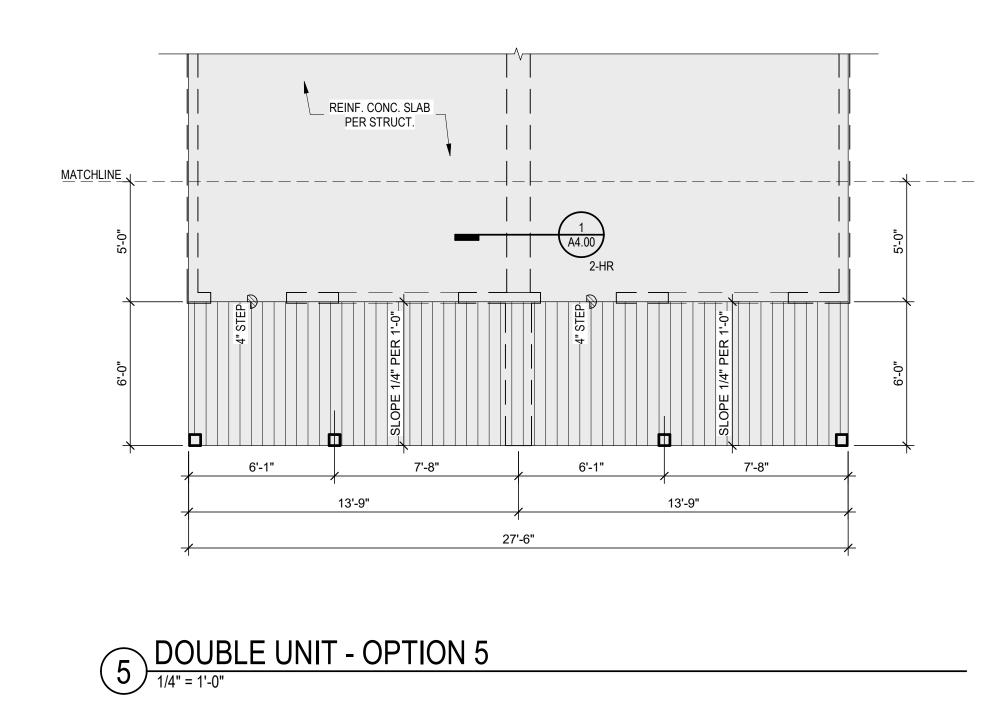
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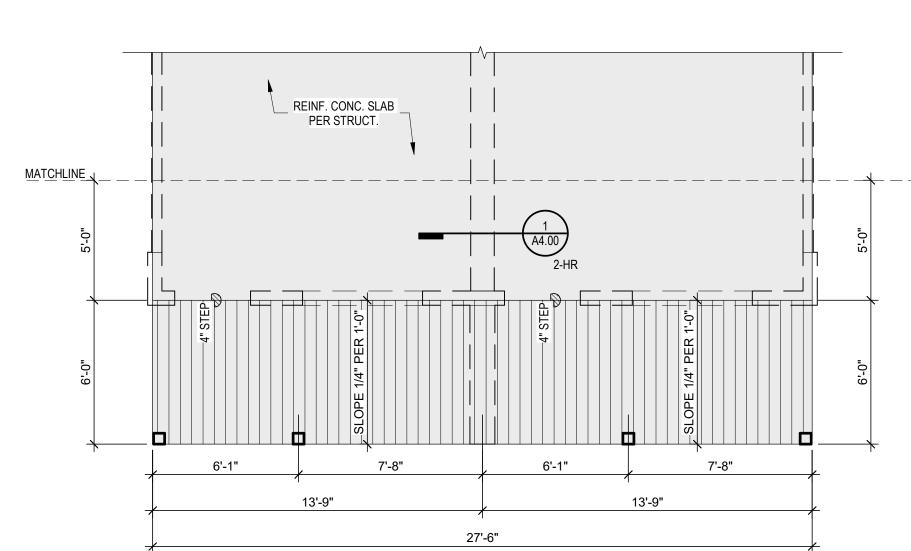
DOUBLE UNIT - SLAB

PLANS

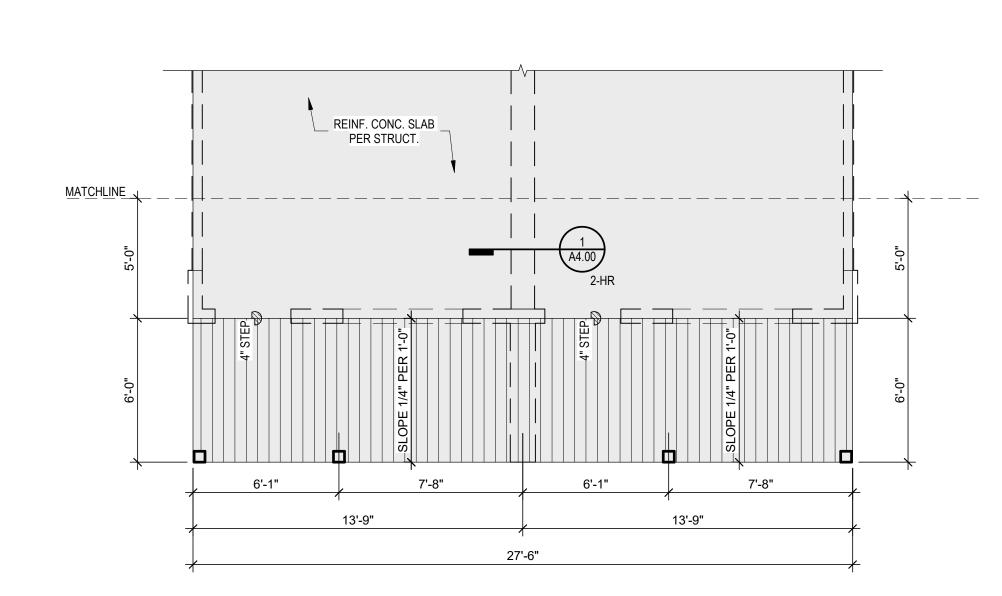
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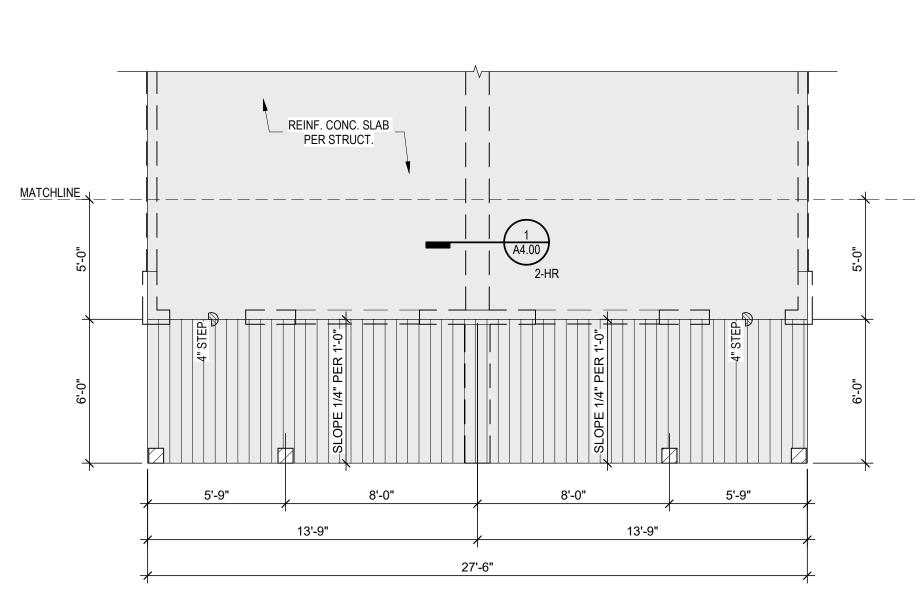






DOUBLE UNIT - OPTION 4





2 DOUBLE UNIT - OPTION 2

3 DOUBLE UNIT - OPTION 3

27'-6"

13'-9"

SEE OPPOSITE

**FOR NOTES** 

/-- 20 MIN., SELF-CLOSING DOOR TO

HATCHED AREA DENOTES 🤇 FEMA SAFE ROOM 💥

COMPLING w/ FEMA P-361

- HATCH DENOTES EXTENT OF 2-HR RATED FIREWALL BETWEEN DWELLING UNITS,

> SEE OPPOSITE FOR NOTES

RE: 1/A4.00

, 2'-6"

2'-6"

27'-6"

6'-3"

13'-9"

5'-0"

L GARAGE

6'-10 1/2"

WH

6'-10 1/2"

13'-9"

- PROVIDE (1) LAYER TYPE 'X' GYP. BD. at **CEILING & WALLS OF** GARAGE, TYP. —

**ONE-CAR GARAGE** 

9'-0" CLG CONC. SLAB

**ENSURE ANY** 

APPLIANCE IGNITION SOURCES ARE MORE THAN 18" ABOVE

GARAGE FLOOR -

LAUNDRY
4'-0" X 7'-0"
9'-0" CLG
VINYL PLANK

POWDER 3'-0" X 7'-0"

9'-0" CLG VINYL PLANK

 $3^{0} \times 7^{0}$ 

<u>MATCHLINE</u>

6'-9 1/2" 7" 2'-4 1/2" 4'-0"

STACK

w/ MICRO

**LIVING** 12'-10" X 16'-6" 9'-0" CLG VINYL PLANK

■ WOOD RAILING, TYP.

5'-0"

1 DOUBLE UNIT - OPTION 1

— 6x6 WOOD POST, TYP.

(2) 30"X60"

6'-3"

13'-9"

KITCHEN/DINING
12'-10" X 12'-8"
9'-0" CLG
VINYL PLANK

9'-2" (6) A1.01)

6'-10 1/2"

6'-10 1/2"

8<sup>0</sup> x 8<sup>0</sup> OVERHEAD DOOR

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

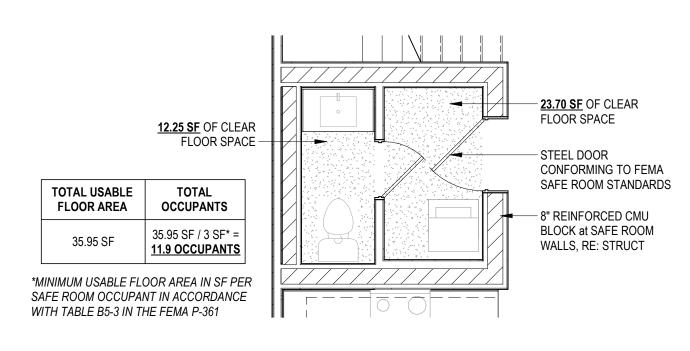
• 02.13.24 CITY SUBMITTAL

1 01.01.22 CITY SUBMITTAL RESPONSE 1

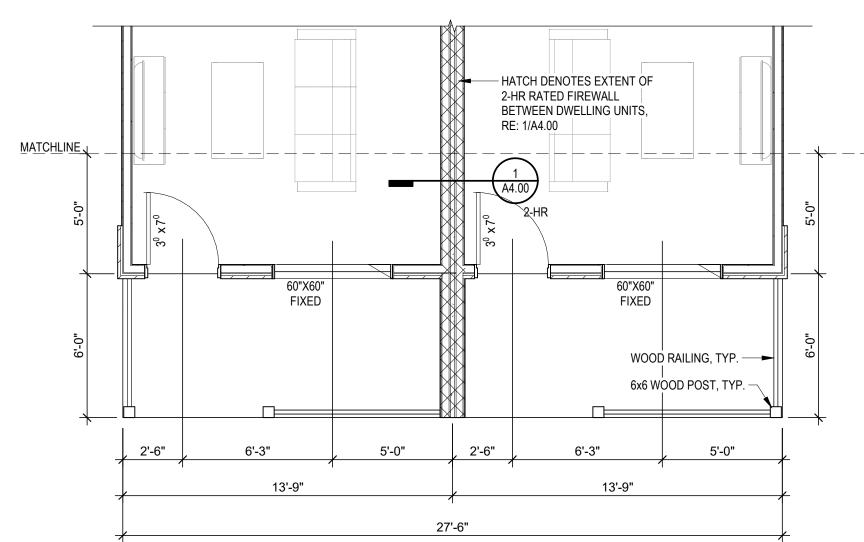
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SHEET NAME DOUBLE UNIT - 1ST FLR **PLANS** 

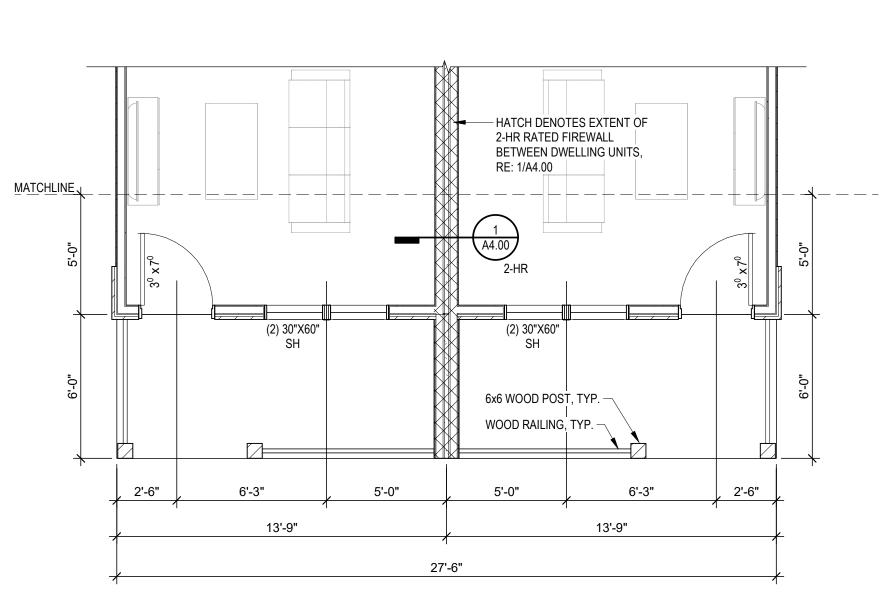
SHEET NO.



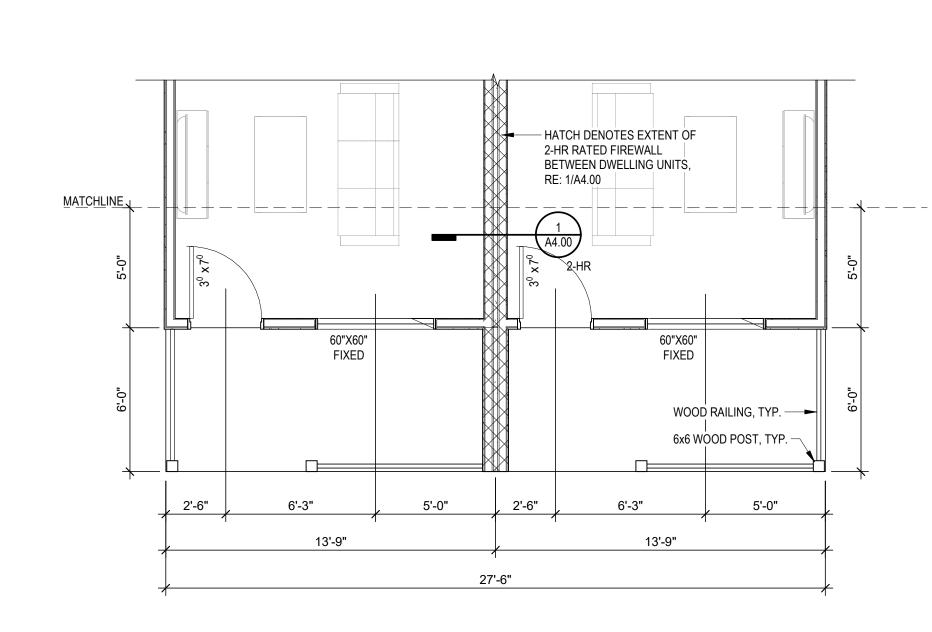
# FEMA SAFE ROOM PLAN 1/4" = 1'-0"



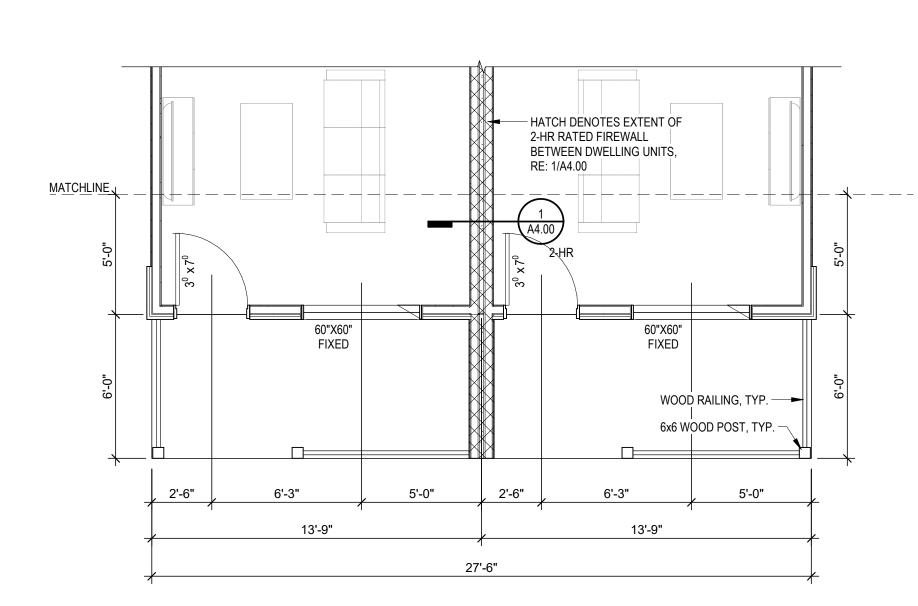
# DOUBLE UNIT - OPTION 4



DOUBLE UNIT - OPTION 2



5 DOUBLE UNIT - OPTION 5



3 DOUBLE UNIT - OPTION 3

27'-6"

13'-9"

SEE OPPOSITE

**FOR NOTES** 

SEE OPPOSITE FOR NOTES

6'-5"

13'-9"

30"x48" SH

3'-8"

HATCH DENOTES EXTENT OF 2-HR RATED FIREWALL BETWEEN DWELLING UNITS,

RE: 1/A4.00

4A4.00

3'-8"

3'-8"

27'-6"

13'-9"

11'-2 3/4"

BEDROOM #3 10'-6" X 9'-10"

8'-0" CLG CARPET

SHOWER

CLOSET 5'-10" X 2'-0"

9'-0" X 9'-0" 8'-0" CLG

CARPET 9'-9"-

5 SHELVES

9'-0" X 8'-4" 8'-0" CLG

PRIMARY BEDROOM

12'-10" X 12'-0"

8'-0" CLG

CARPET

30"x48" SH

3'-8"

DOUBLE UNIT - OPTION 1

1/4" = 1'-0"

6'-5"

13'-9"

W.I.C. 9'-0" X 4'-9" 8'-0" CLG

36"x60" SHOWER

MATCHLINE

2'-10"

4'-0"

HALL 3'-5" WIDE 8'-0" CLG CARPET





DVIEW, MISSOURI **VHNHOMES** 

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

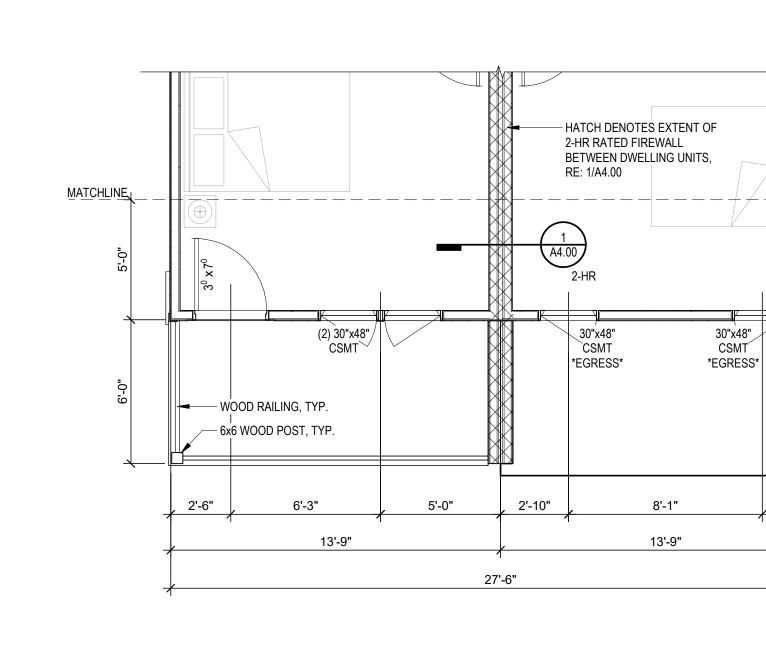
• 02.13.24 CITY SUBMITTAL

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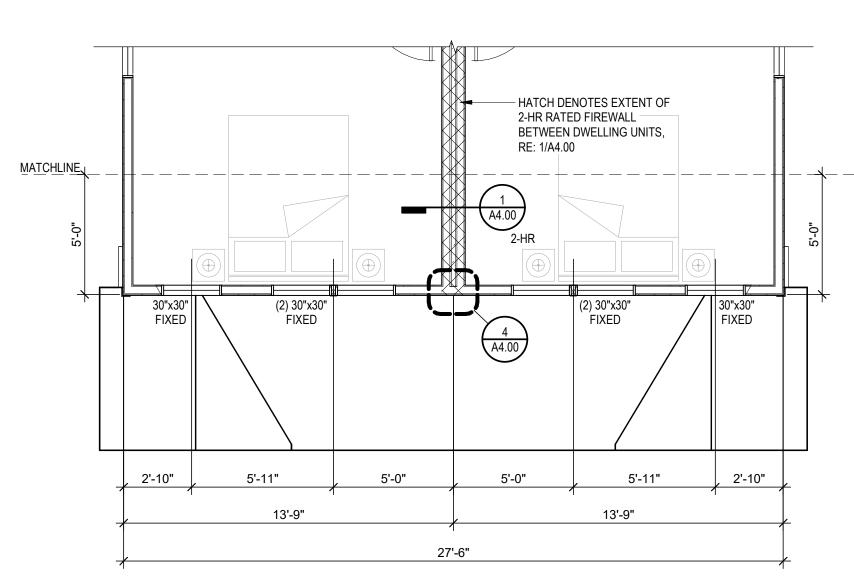
JOB NO. **736623** 06.06.2024 **DRAWN BY** TWH, MLM, NSO

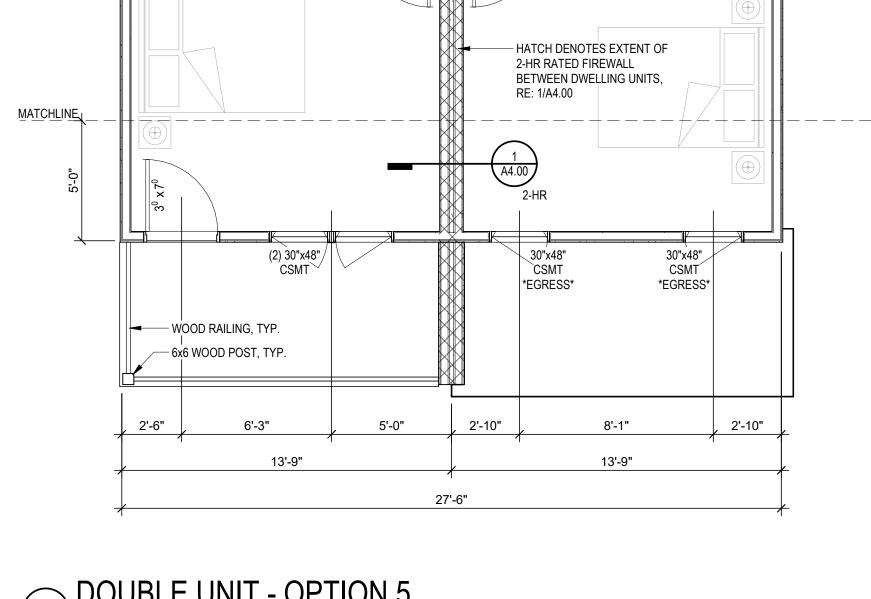
SHEET NAME DOUBLE UNIT - 2ND FLR PLANS

SHEET NO.

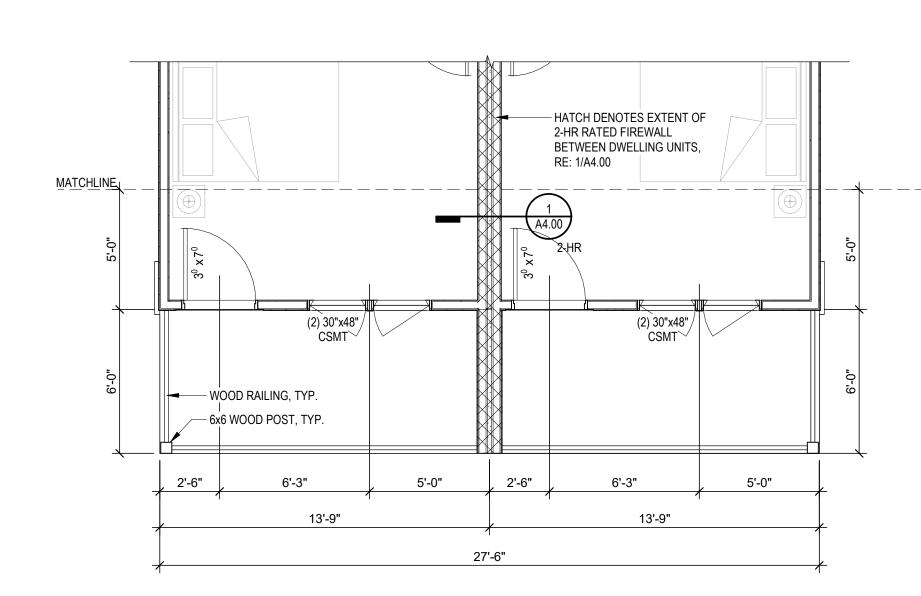


# 4 DOUBLE UNIT - OPTION 4





5 DOUBLE UNIT - OPTION 5



3 DOUBLE UNIT - OPTION 3

DOUBLE UNIT - OPTION 2

FIRE RATED SHEATHING, TYP.

LINE OF ROOF BELOW at FIRST FLOOR

— DASHED LINES OF

CLASS 'A' ROOF o/ PLYWOOD -OR- OSB SHEATHING, TYP. EXCEPT WITHIN 4'-0"
[EA. SIDE OF 2-HR FIRE-WALL WHERE] FIRE-RETARDANT PLYWOOD

SHEATHING SHALL BE PROVIDED. (TYP. at ALL LEVELS OF ROOF INCLUDING

SOFFITS)

11'-3"

4'-0"

FIRE RATED SHEATHING, TYP.

4'-0"

/-- LINE OF ROOF BELOW at FIRST FLOOR

DOUBLE UNIT - OPTION 1

<u>MATCHLINE</u>

1'-0" O/H-

WALLS BELOW, TYP.



HNHOMES

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. 736623 06.06.2024 **DRAWN BY** TWH, MLM, NSO

SHEET NAME DOUBLE UNIT - ROOF **PLANS** 

SHEET NO.

1 **ROOF PLAN GENERAL NOTES:** 

ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT

- PROVIDE KICK-OUT FLASHING AT ALL ROOF TO SIDE-WALL CONDITIONS.
- COORDINATE ALL ROOFING DETAILS WITH MANUFACTURER'S WARRANTED SYSTEM.
- ROOF VENTS & OTHER PENETRATIONS SHALL NOT BE LOCATED WITHIN THE 4'-0" WIDE FIRE-RATED SHEATHING PANELS ON EITHER SIDE OF THE CENTERLINE BETWEEN UNITS.
- ROOF PENETRATIONS TO BE GENERALLY LOCATED ON REAR ELEVATION SO AS TO NOT BE VISIBLE FROM THE STREET.

HATCH DENOTES 48" AREA ON EITHER SIDE OF FIREWALL TO BE FIRE RETARDANT TREATED SHEATHING

HATCH DENOTES FIREWALL TO EXTEND TO UNDERSIDE OF ROOF SHEATHING

COMPOSITION SHINGLE ROOFING o/30# BLDG. FELT o/ — ROOF SHEATHING, TYP. DASHED LINES OF WALLS BELOW, TYP. — - LINE OF ROOF BELOW

at FIRST FLOOR

5 DOUBLE UNIT - OPTION 5

3 DOUBLE UNIT - OPTION 3

CLASS 'A' ROOF o/ PLYWOOD -OR- OSB

SHEATHING, TYP. EXCEPT WITHIN 4'-0"

EA. SIDE OF 2-HR FIRE-WALL WHERE

FIRE-RETARDANT PLYWOOD

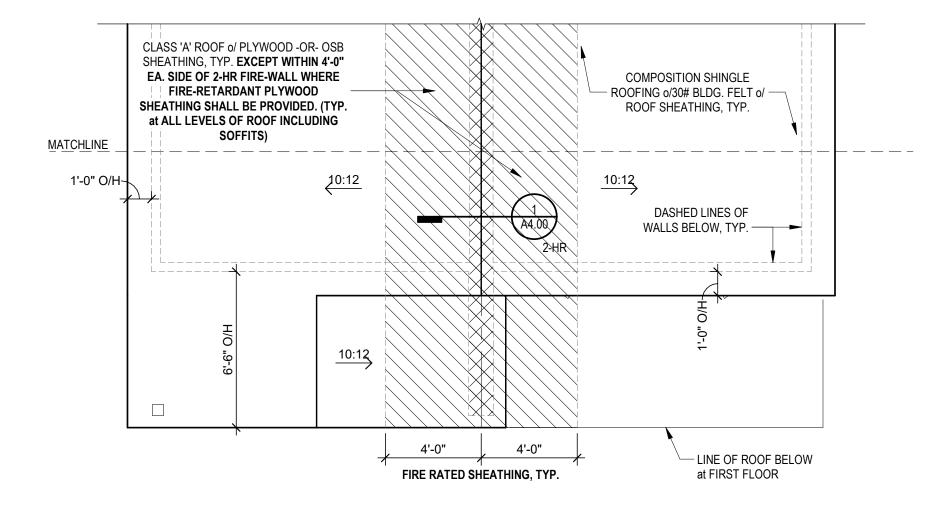
SHEATHING SHALL BE PROVIDED. (TYP.

at ALL LEVELS OF ROOF INCLUDING

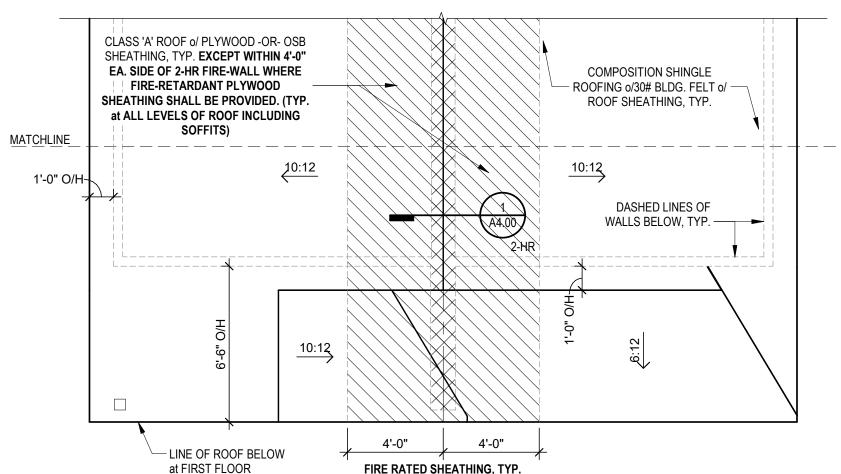
SOFFITS)

<u>MATCHLINE</u>

1'-0" O/H



4 DOUBLE UNIT - OPTION 4



CLASS 'A' ROOF o/ PLYWOOD -OR- OSB SHEATHING, TYP. EXCEPT WITHIN 4'-0" EA. SIDE OF 2-HR FIRE-WALL WHERE COMPOSITION SHINGLE FIRE-RETARDANT PLYWOOD ROOFING o/30# BLDG. FELT o/ — SHEATHING SHALL BE PROVIDED. (TYP. ROOF SHEATHING, TYP. at ALL LEVELS OF ROOF INCLUDING <u>MATCHLINE</u> 1'-0" O/H-DASHED LINES OF WALLS BELOW, TYP. - LINE OF ROOF BELOW at FIRST FLOOR FIRE RATED SHEATHING, TYP.

DOUBLE UNIT - OPTION 2

FIRE RATED SHEATHING, TYP. at FIRST FLOOR

FIRE RATED SHEATHING, TYP.

COMPOSITION SHINGLE ROOFING o/30# BLDG. FELT o/ — ROOF SHEATHING, TYP.

DASHED LINES OF

11'-3"

WALLS BELOW, TYP.



# DVIEW, MISSOURI **VHNHOMES**

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

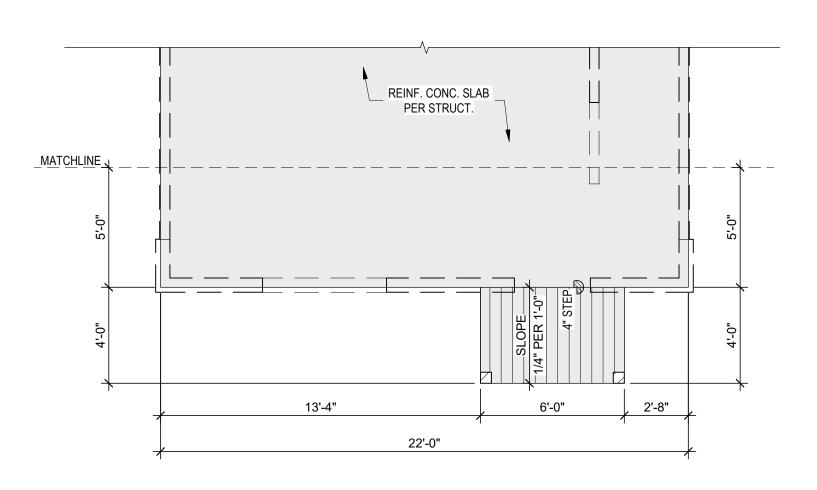
 $\triangle$ REVISIONS 1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. **736623** DATE **06.06.2024 DRAWN BY** TWH, MLM, NSO

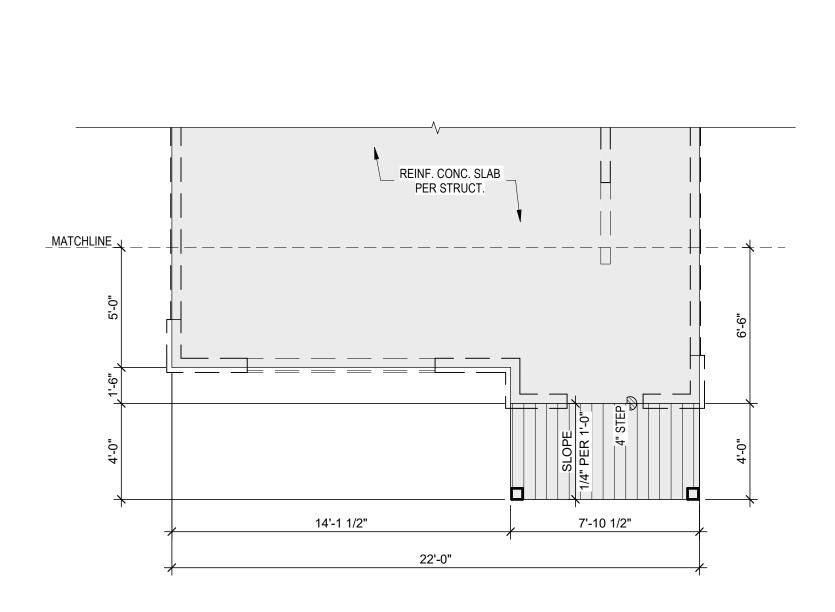
SHEET NAME SINGLE UNIT - SLAB PLANS

\_\_ REINF. CONC. SLAB \_ PER STRUCT. 14'-3" 7'-9" 22'-0"

SINGLE UNIT - OPTION 4



SINGLE UNIT - OPTION 2



REINF. CONC. SLAB PER STRUCT.

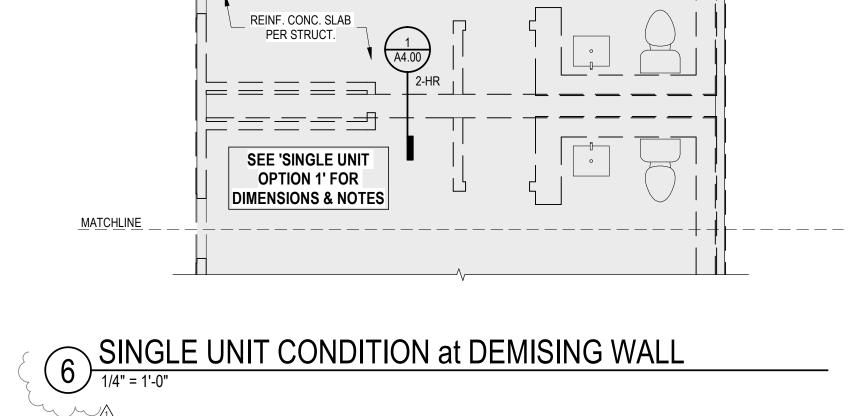
22'-0"

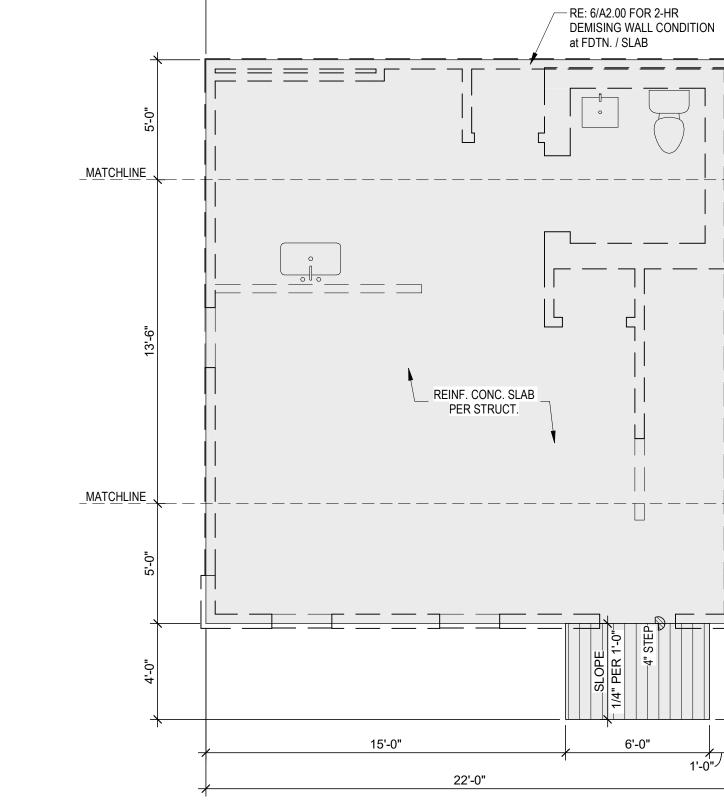
6'-0"

15'-0 1/2"

3 SINGLE UNIT - OPTION 3

5 SINGLE UNIT - OPTION 5





SINGLE UNIT - OPTION 1

DVIEW, MISSOURI

HATCH DENOTES EXTENT OF 2-HR RATED FIREWALL BETWEEN DWELLING UNITS,

RE: 1/A4.00

7 A2.01

\_\_\_\_\_

**VHNHOMES** 

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

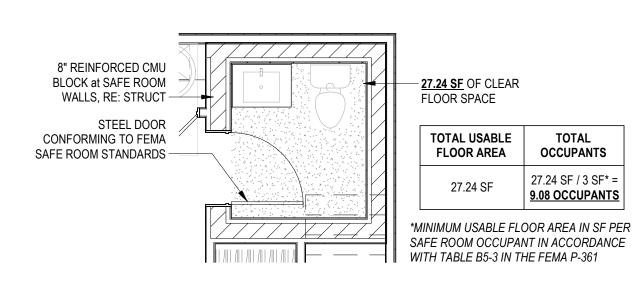
 $\triangle$ REVISIONS 1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. **736623** 06.06.2024 **DRAWN BY** 

SHEET NAME SINGLE UNIT - 1ST FLR PLANS

TWH, MLM, NSO

SHEET NO.



MATCHLINE \

MATCHLINE \_

<u>MATCHLINE</u>

MATCHLINE

1 A4.00

SINGLE UNIT CONDITION at DEMISING WALL

KITCHEN/DINING

13'-8" X 10'-10"
9'-0" CLG
VINYL PLANK

HATCHED AREA DENOTES FEMA SAFE ROOM COMPLING w/ FEMA P-361 —

RE: 6/A2.01 FOR 2-HR
DEMISING WALL CONDITION
at FIRST FLOOR

POWDER
5'-8" X 6'-6"
7'-6" CLG
VINYL PLANK
30' X 70
STEEL DR

PARTIAL HGT. WALL

3'-0"

4'-0"

22'-0"

3'-0"

1'-0"

6'-0"

SEE 'SINGLE UNIT OPTION 1' FOR

DIMENSIONS & NOTES

RANGE w/ MICRO

4'-0"

SINGLE UNIT - OPTION 1

1/4" = 1'-0"

SINK DW

42"X104" ISLAND

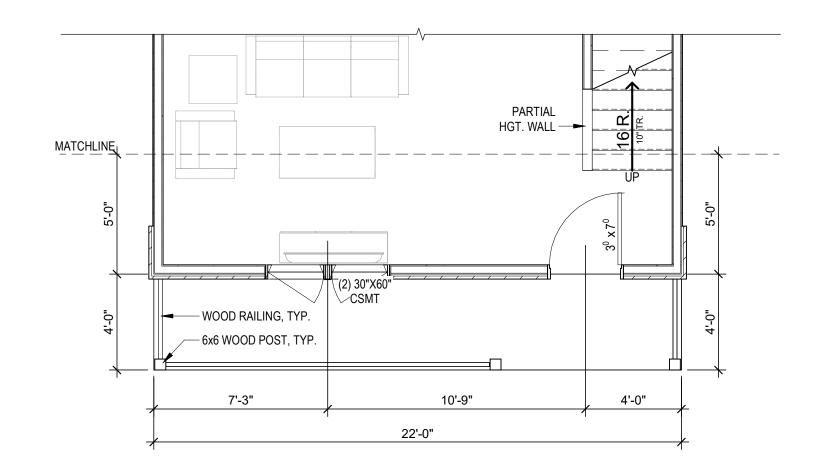
14'-5 1/2"

LIVING 17'-6" X 12'-0" 9'-0" CLG VINYL PLANK

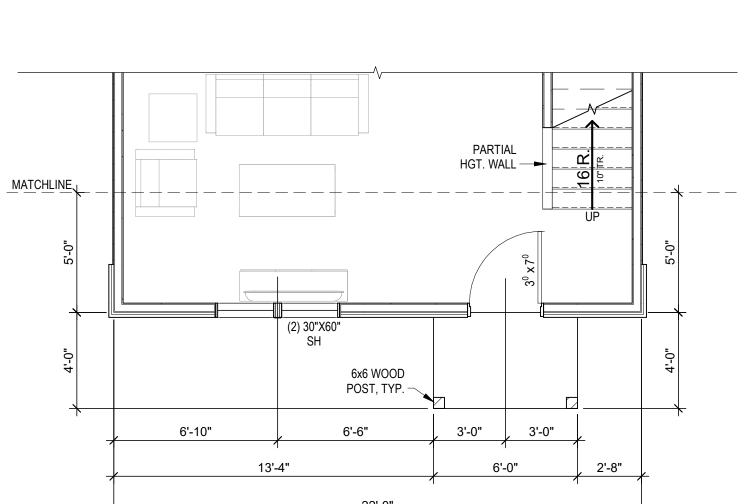
7'-0"

15'-0"

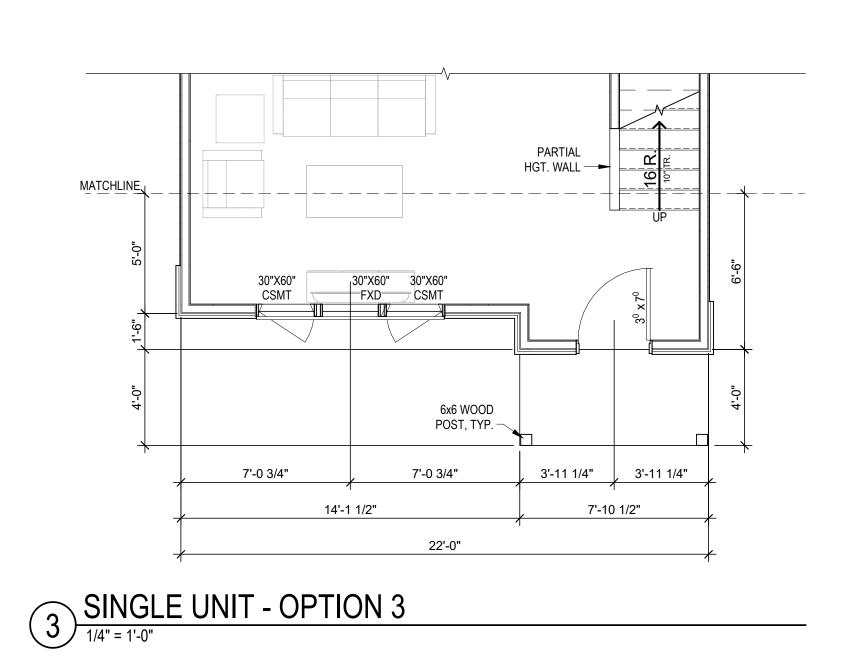




SINGLE UNIT - OPTION 4



2 SINGLE UNIT - OPTION 2



PARTIAL

7'-0"

30"x60" CSMT

22'-0"

7'-0"

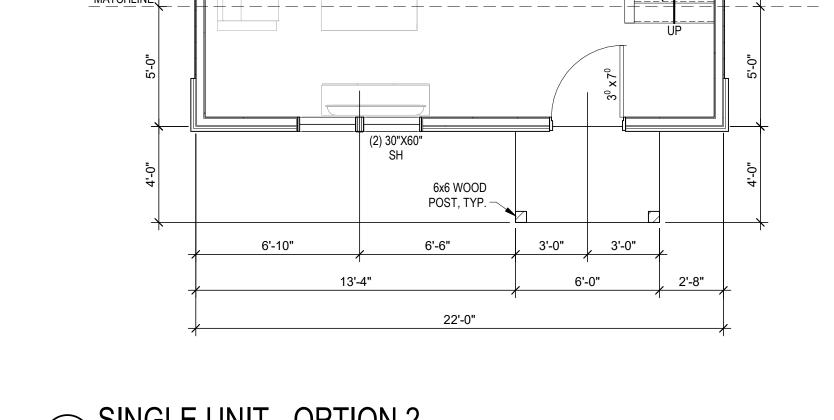
MATCHLINE

30"x60" CSMT

5 SINGLE UNIT - OPTION 5

HGT. WALL -

4'-0"



DVIEW, MISSOURI

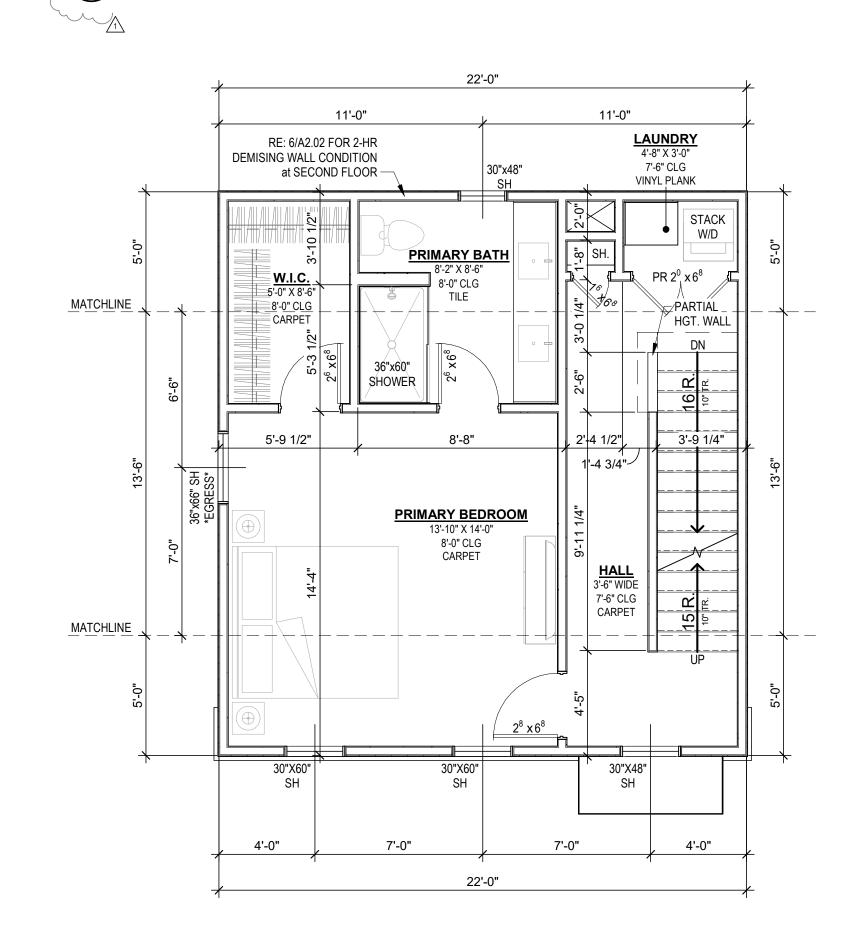
TOWHNHOMES

HATCH DENOTES EXTENT OF 2-HR RATED FIREWALL BETWEEN DWELLING UNITS, RE: 1/A4.00

SINGLE UNIT CONDITION at DEMISING WALL

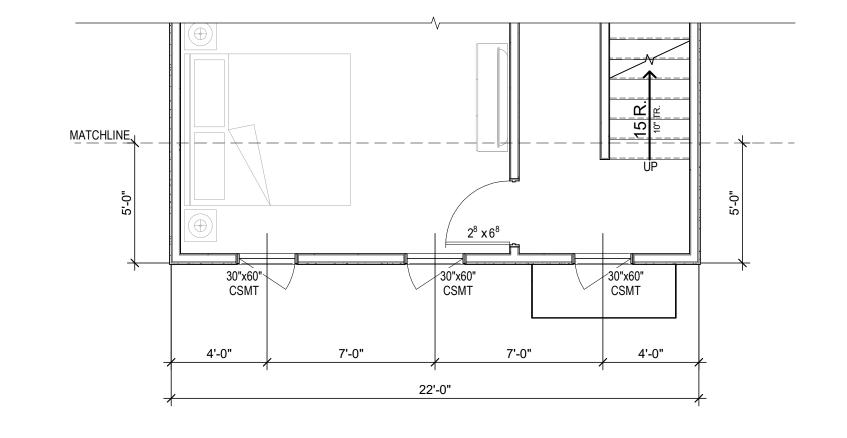
SEE 'SINGLE UNIT OPTION 1' FOR

DIMENSIONS & NOTES

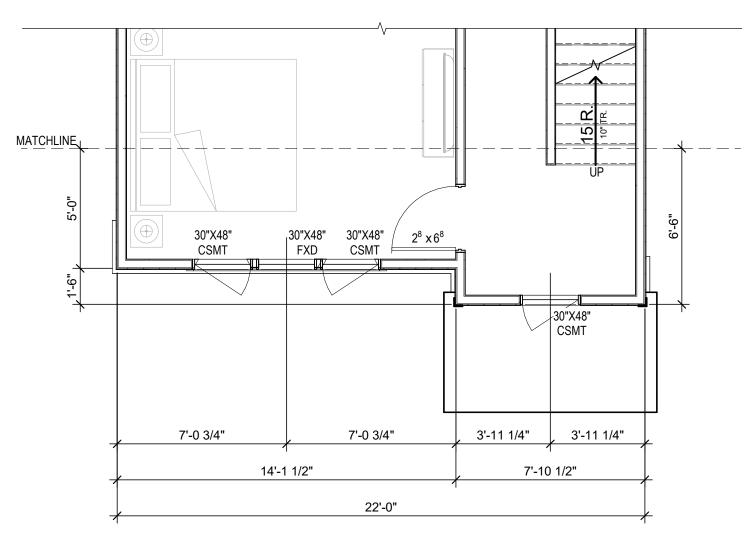


SINGLE UNIT - OPTION 1

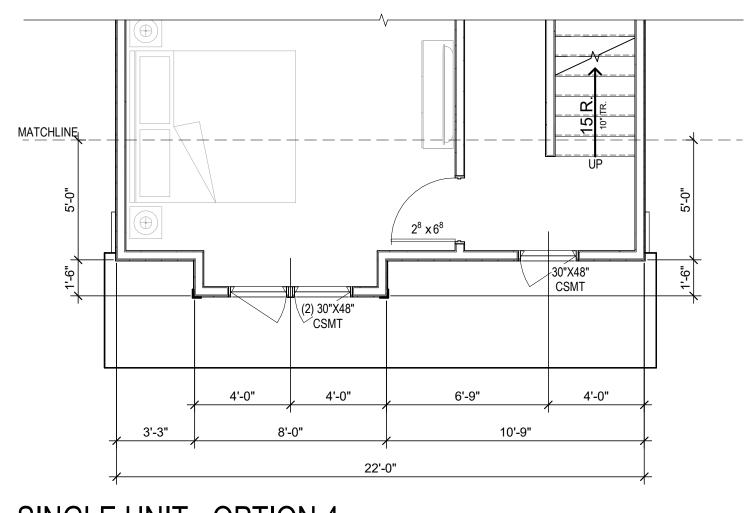
1/4" = 1'-0"



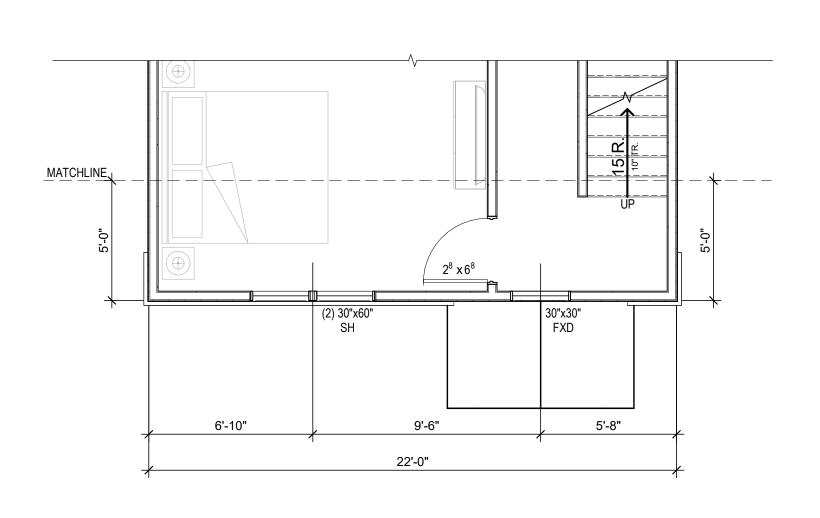
5 SINGLE UNIT - OPTION 5



3 SINGLE UNIT - OPTION 3



SINGLE UNIT - OPTION 4



2 SINGLE UNIT - OPTION 2

JOB NO. **736623** 06.06.2024 **DRAWN BY** TWH, MLM, NSO SHEET NAME
SINGLE UNIT - 2ND FLR

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

 $\triangle$ REVISIONS

1 01.01.22 CITY SUBMITTAL RESPONSE 1

PLANS

DASHED LINE OF WALLS BELOW, TYP.

11'-0"

RE: 6/A2.03 FOR 2-HR
DEMISING WALL CONDITION
at THIRD FLOOR

ω | 6'-2 1/2"

HATCH DENOTES EXTENT OF 2-HR RATED FIREWALL BETWEEN DWELLING UNITS, RE: 1/A4.00

SEE 'SINGLE UNIT
OPTION 1' FOR
DIMENSIONS & NOTES

22'-0"

W.I.C. 8'-10" X 5'-0" 7'-6" CLG CARPET

9'-3 1/2"

7'-6" CLG CARPET

9'-3 1/2"

BATH 8'-10" X 5'-0" 7'-6" CLG

24"x48" SH

22'-0"

22'-0"

32"x60" TUB/ SHOWER

PARTIAL HGT. WALL –

LINE OF CLG. FLAT CLG. ABOVE —

SINGLE UNIT CONDITION at DEMISING WALL

11'-0"

6'-6"

DVIEW, MISSOURI

**VHNHOMES** 

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

 $\triangle$ REVISIONS 1 01.01.22 CITY SUBMITTAL RESPONSE 1

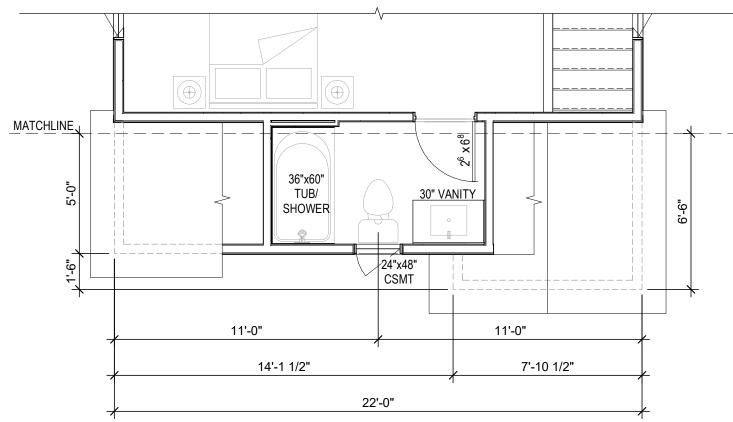
JOB NO. **736623** DATE **06.06.2024 DRAWN BY** 

SHEET NAME
SINGLE UNIT - 3RD FLR
PLANS

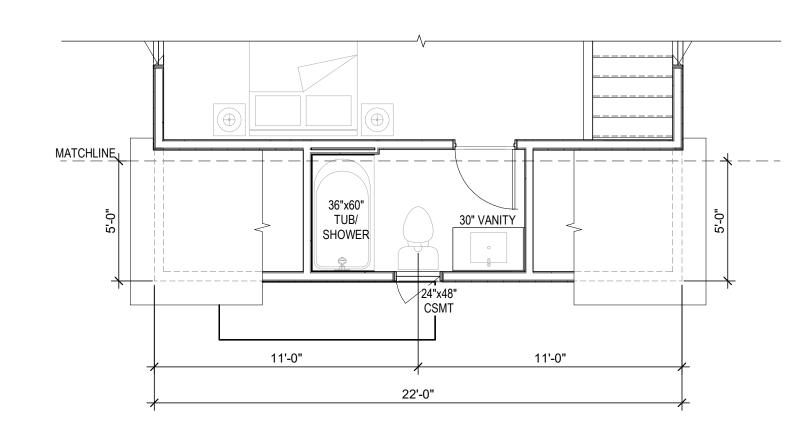
TWH, MLM, NSO

36"x60" TUB/ SHOWER 11'-0" 11'-0" 22'-0"

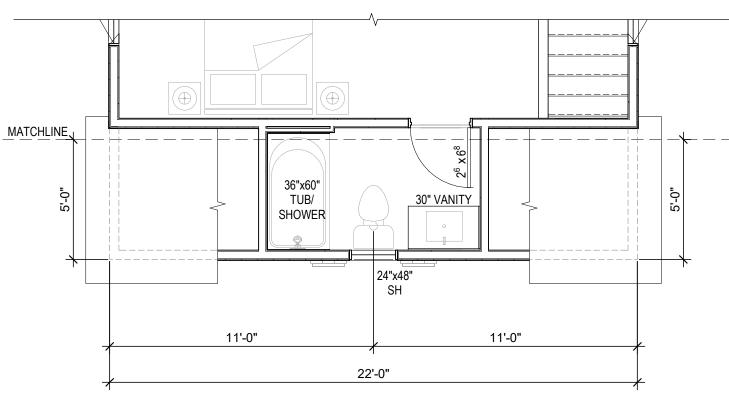
5 SINGLE UNIT - OPTION 5



3 SINGLE UNIT - OPTION 3



SINGLE UNIT - OPTION 4

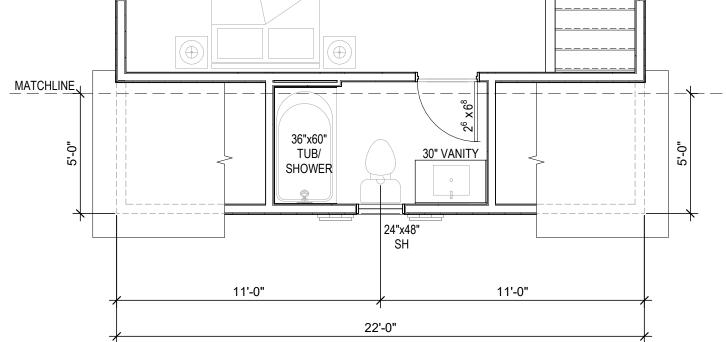




MATCHLINE .

MATCHLINE \_

MATCHLINE



2 SINGLE UNIT - OPTION 2

ALL OBJECTS INDICATED ON THE ROOF ARE GENERAL AND MUST BE COORDINATED WITH MEP AND STRUCTURAL ELEMENTS. REFER TO MEP DRAWINGS FOR ACTUAL MECHANICAL EQUIPMENT LOCATIONS.

PROVIDE KICK-OUT FLASHING AT ALL ROOF TO SIDE-WALL CONDITIONS.

COORDINATE ALL ROOFING DETAILS WITH MANUFACTURER'S WARRANTED SYSTEM.

ROOF VENTS & OTHER PENETRATIONS SHALL NOT BE LOCATED WITHIN THE 4'-0" WIDE FIRE-RATED SHEATHING PANELS ON EITHER SIDE OF THE CENTERLINE BETWEEN UNITS.

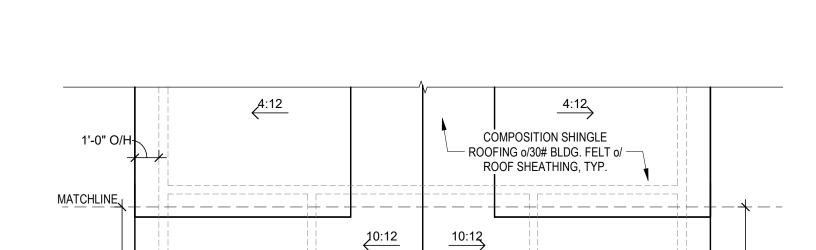
ROOF PENETRATIONS TO BE GENERALLY LOCATED ON REAR ELEVATION SO AS TO NOT BE VISIBLE FROM THE STREET.

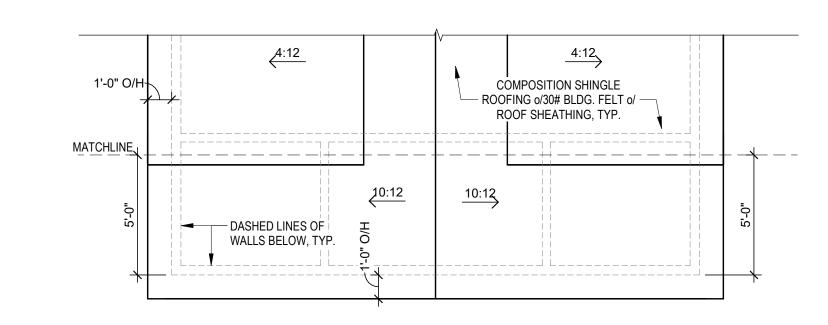


HATCH DENOTES 48" FIRE RETARDANT

HATCH DENOTES FIREWALL TO EXTEND TO UNDERSIDE OF ROOF SHEATHING

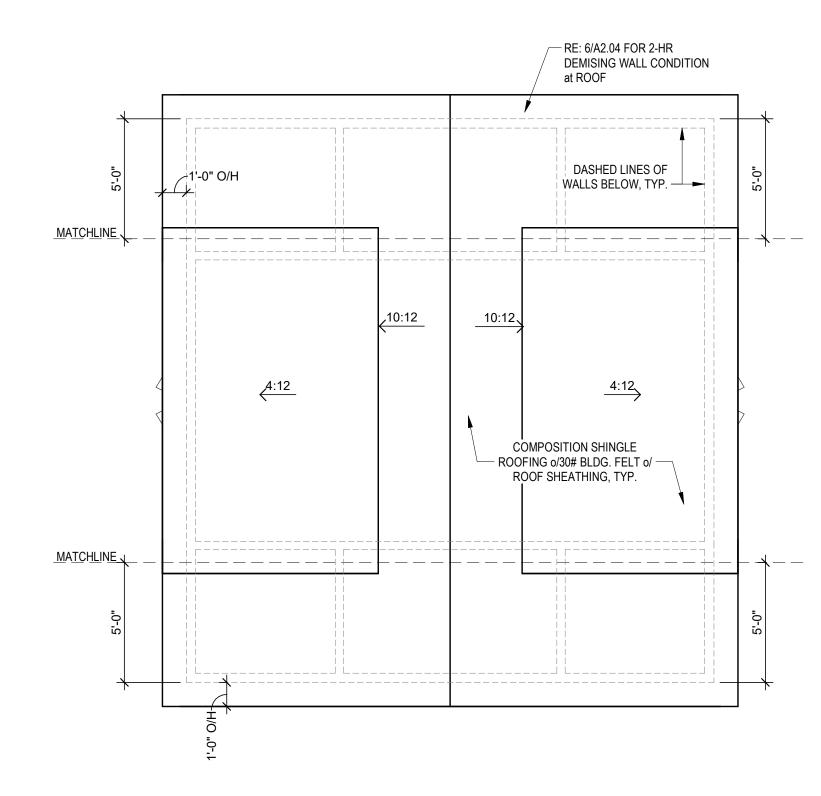
AREA ON EITHER SIDE OF FIREWALL TO BE TREATED SHEATHING





CLASS 'A' ROOF o/ PLYWOOD -OR- OSB SHEATHING, TYP. EXCEPT WITHIN 4'-0" EA. SIDE OF 2-HR FIRE-WALL WHERE FIRE-RETARDANT PLYWOOD SHEATHING SHALL BE PROVIDED. (TYP. at ALL LEVELS OF ROOF INCLUDING SOFFITS) -MATCHLINE `COMPOSITION SHINGLE > ROOFING o/30# BLDG. FELT o/ ROOF SHEATHING, TYP. MATCHLINE \_ \_ \_ \_ \_ LINES OF WALLS BELOW, TYP.

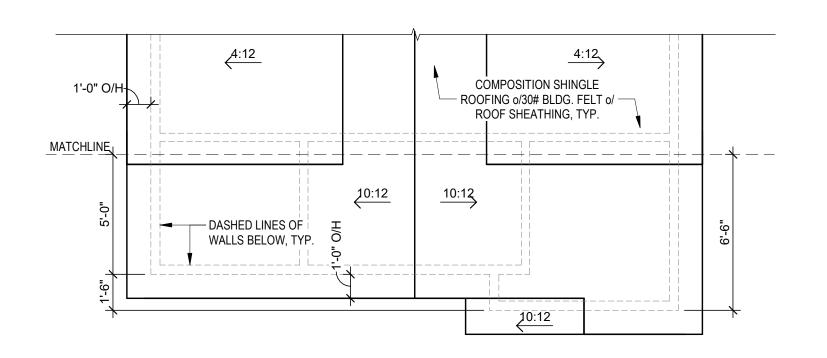
SINGLE UNIT CONDITION at DEMISING WALL

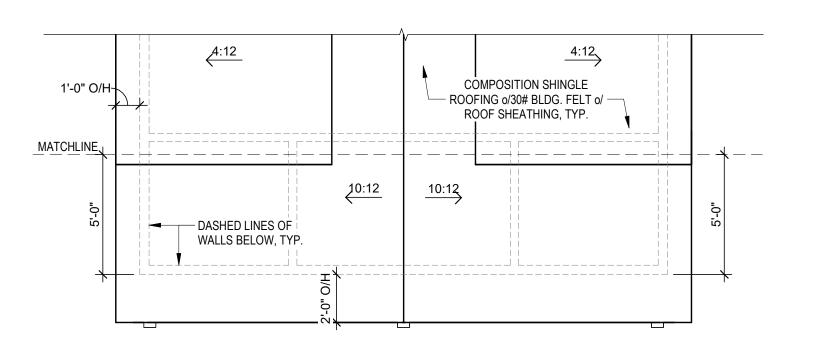


5 SINGLE UNIT - OPTION 5

■ DASHED LINES OF

WALLS BELOW, TYP.





3 SINGLE UNIT - OPTION 3

2 SINGLE UNIT - OPTION 2

SINGLE UNIT - OPTION 4

1/4" = 1'-0"

SINGLE UNIT - OPTION 1

SHEET NAME SINGLE UNIT - ROOF PLANS

06.06.2024

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. 736623

**DRAWN BY** 

TWH, MLM, NSO

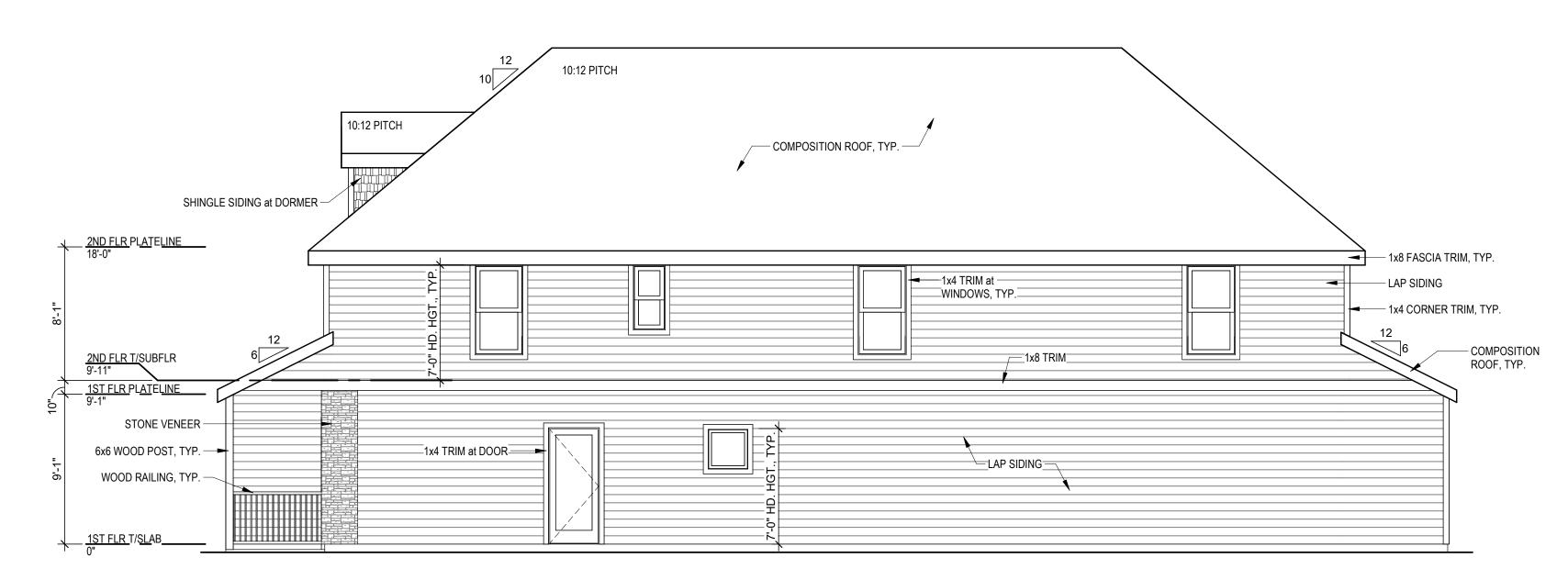
DVIEW, MISSOURI

**VHNHOMES** 

- A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.
- B. ALL TRIM TO BE FIBER CEMENT U.N.O.
- C. REFER TO SHEET <u>A5.00</u> FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

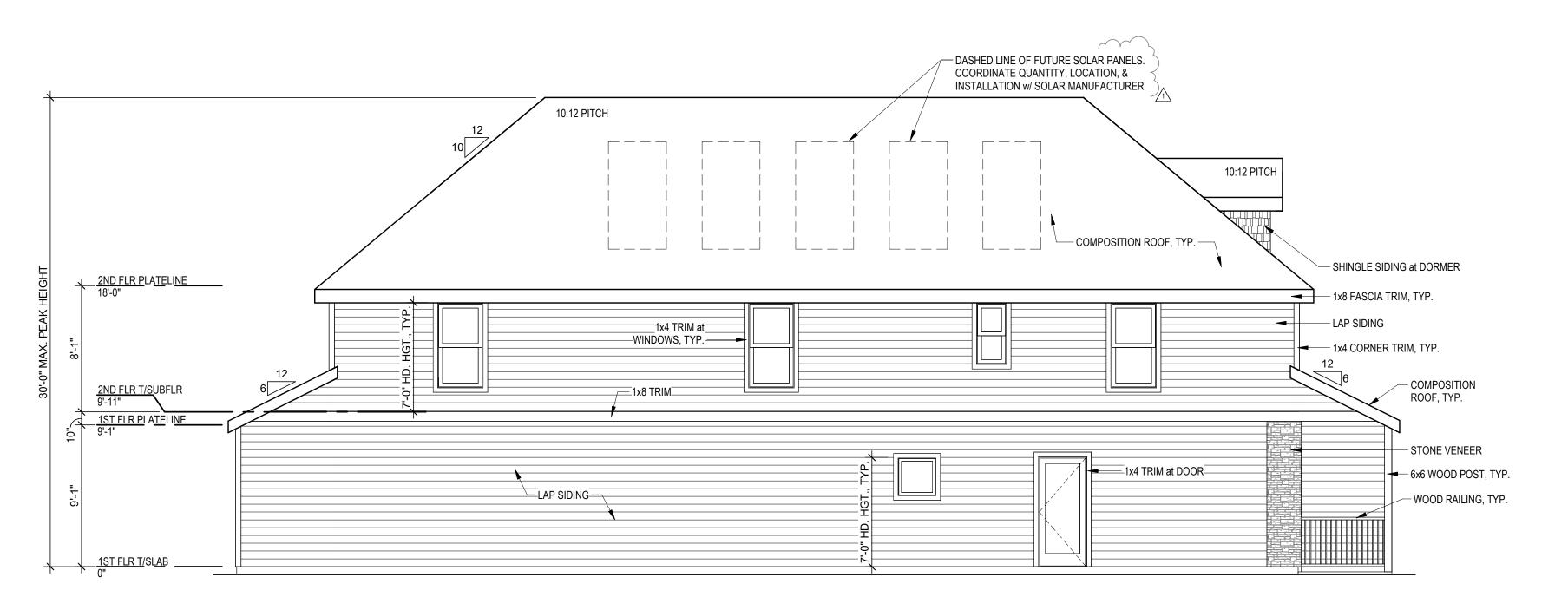
### **BUILDING HEIGHTS**

UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"



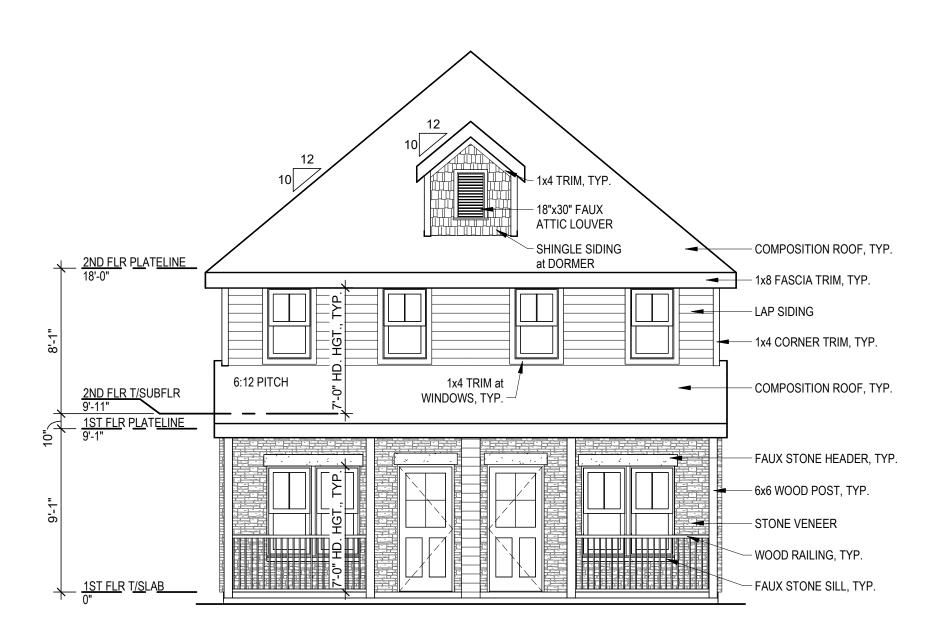
DOUBLE UNIT - OPTION 1 - RIGHT ELEVATION

3/16" = 1'-0"



2 DOUBLE UNIT - OPTION 1 - LEFT ELEVATION
3/16" = 1'-0"

3 DOUBLE UNIT - OPTION 1 - REAR ELEVATION



DOUBLE UNIT OPTION 1 - FRONT ELEVATION

3/16" = 1'-0"

MISOSOFIA W. MINUSA MISOSOFIA MISOSOFIA MISOSOFIA MINUSA M

WHNHOMES

DVIEW, MISSOURI

A NEW DEVELOPMENT:
GOODE AVE. TOWHNHO

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

△REVISIONS

REVISIONS

1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. DATE **736623 06.06.2024**DRAWN BY **TWH, MLM, NSO** 

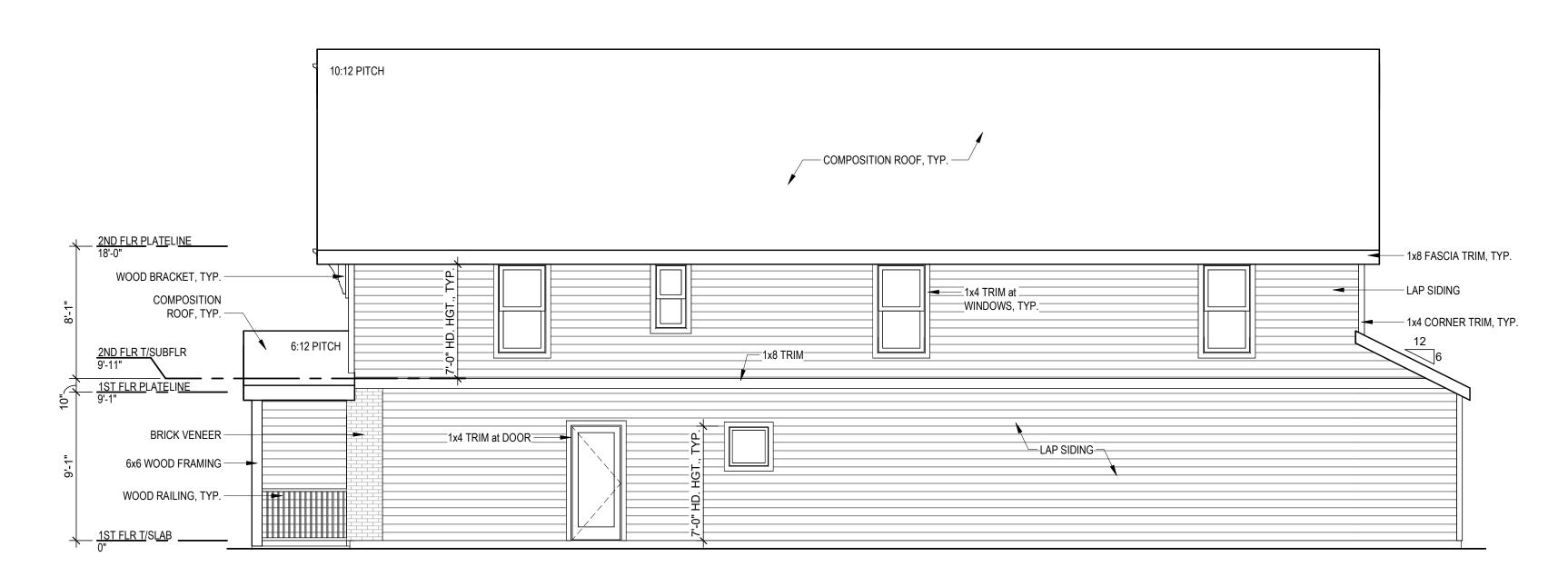
SHEET NAME

DOUBLE UNIT OPTION 1 
ELEVATIONS

- ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.
- B. ALL TRIM TO BE FIBER CEMENT U.N.O.
- C. REFER TO SHEET <u>A5.00</u> FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

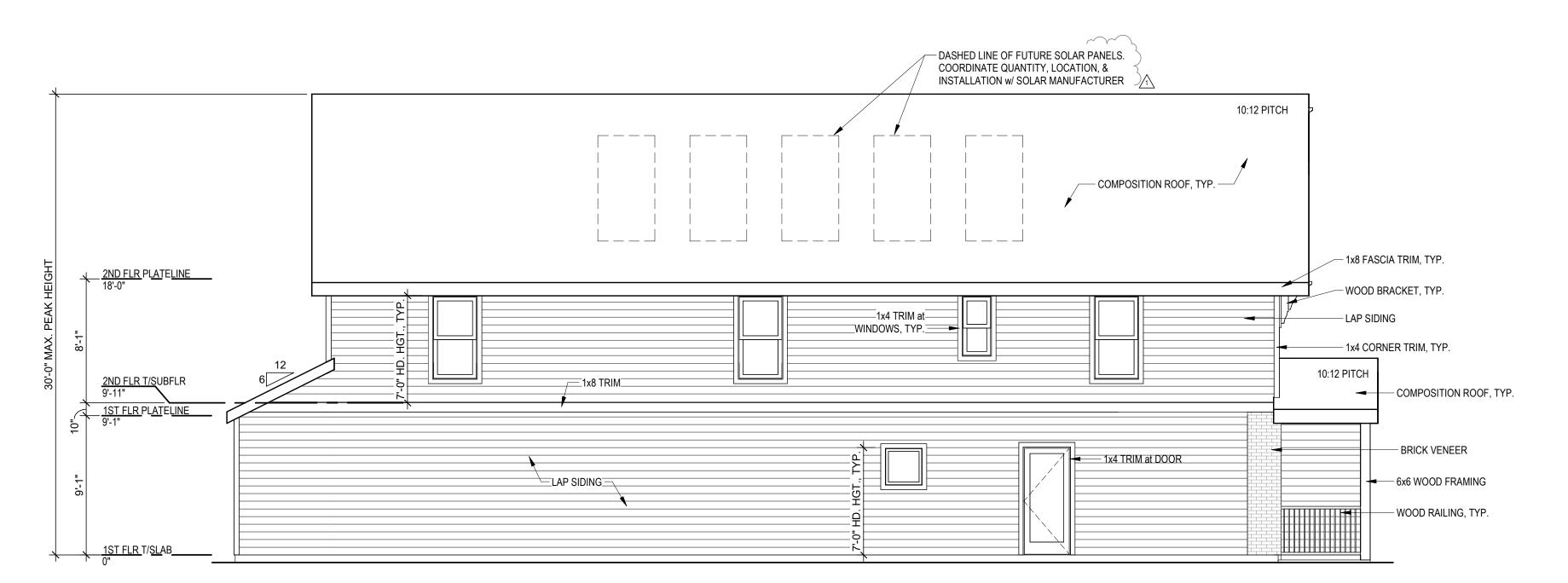
### **BUILDING HEIGHTS**

UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"



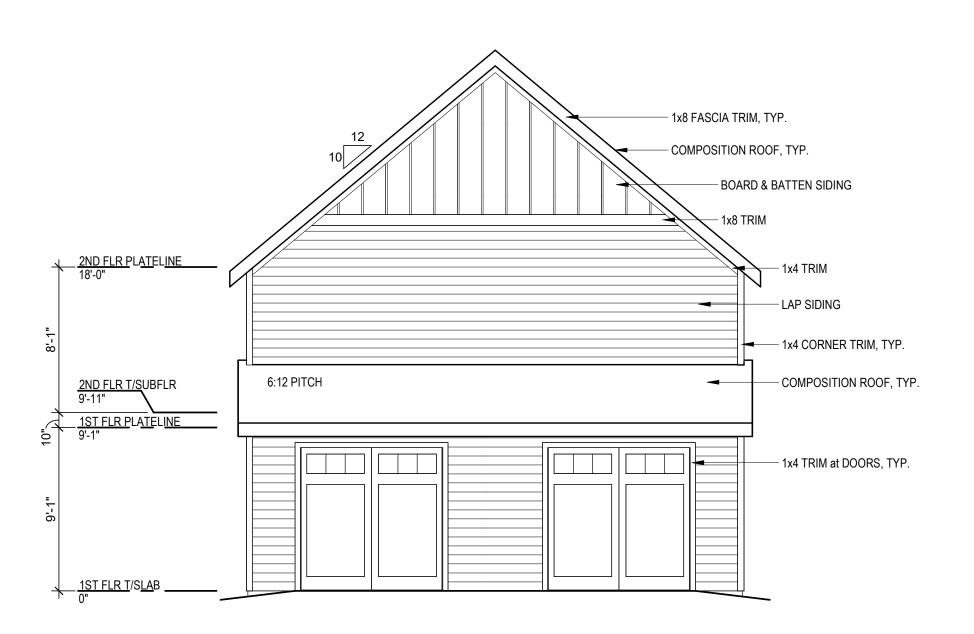
DOUBLE UNIT - OPTION 2 - RIGHT ELEVATION

3/16" = 1'-0"



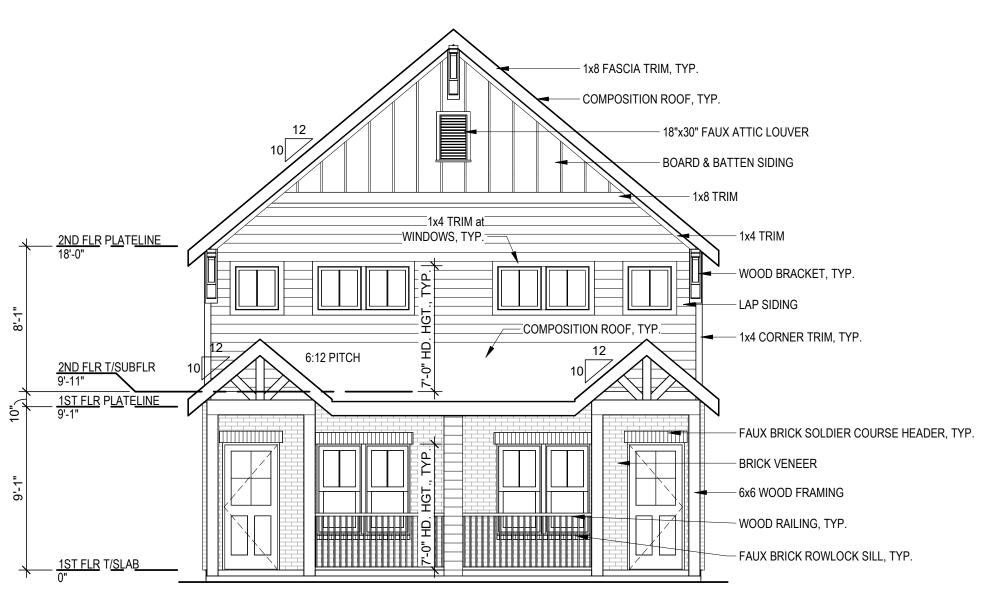
DOUBLE UNIT - OPTION 2 - LEFT ELEVATION

3/16" = 1'-0"



OOUBLE UNIT - OPTION 2 - REAR ELEVATION

3/16" = 1'-0"



DOUBLE UNIT OPTION 2 - FRONT ELEVATION

3/16" = 1'-0"

**VHNHOMES** DVIEW, NEW DEVELOPMENT:

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. 06.06.2024 736623 **DRAWN BY** TWH, MLM, NSO

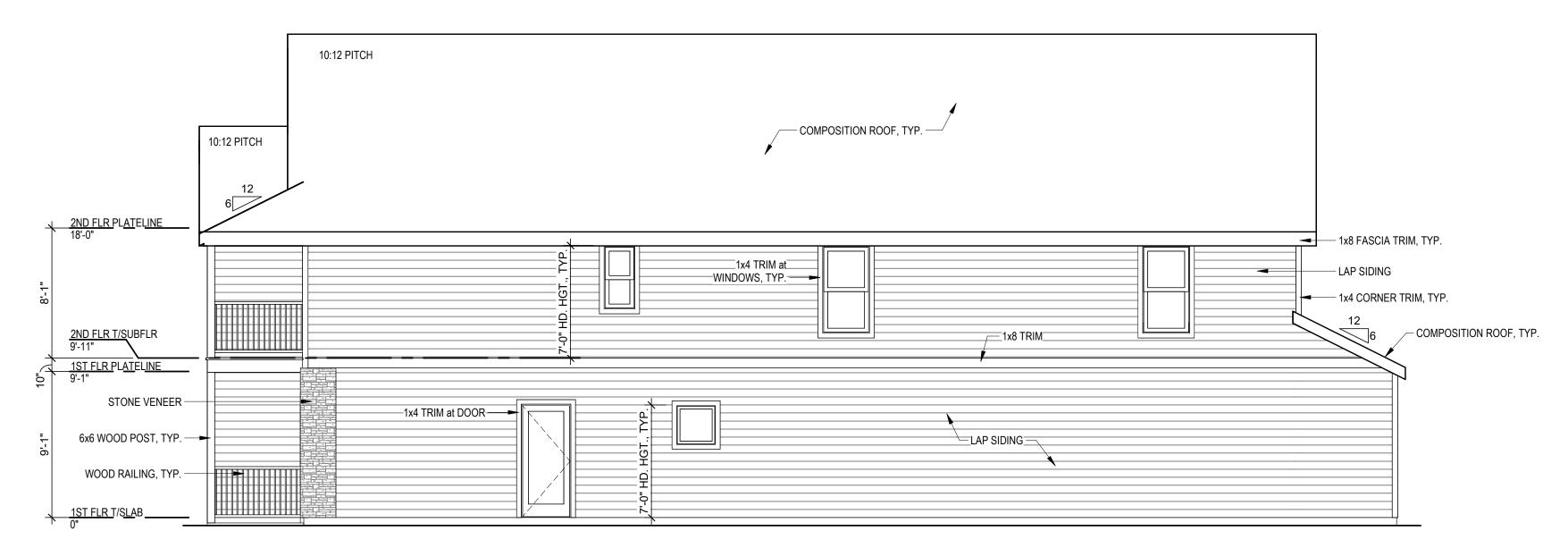
SHEET NAME **DOUBLE UNIT OPTION 2 -ELEVATIONS** SHEET NO.

B. ALL TRIM TO BE FIBER CEMENT U.N.O.

C. REFER TO SHEET <u>A5.00</u> FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

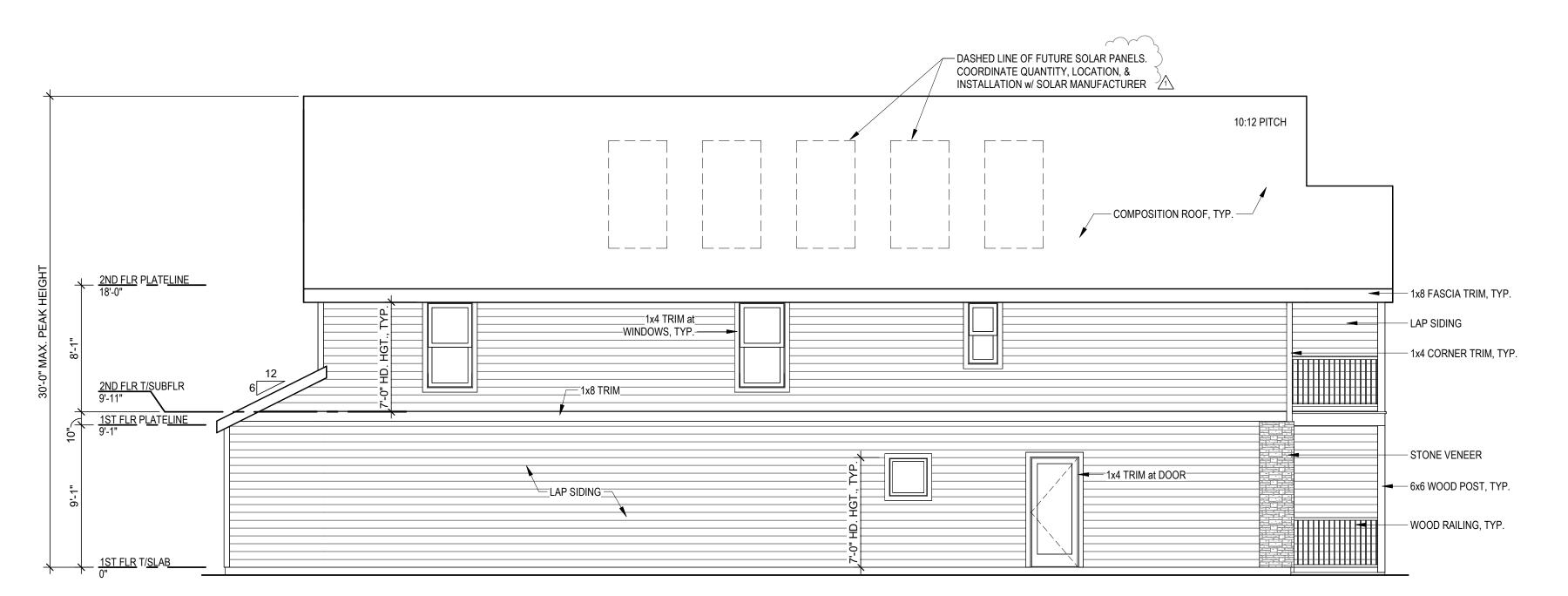
### **BUILDING HEIGHTS**

UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"



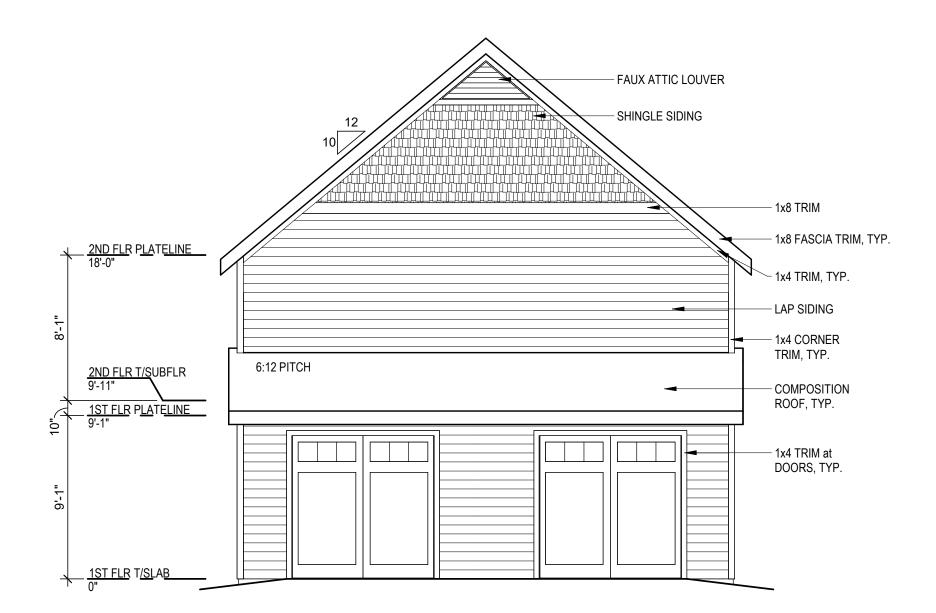
DOUBLE UNIT - OPTION 3 - RIGHT ELEVATION

3/16" = 1'-0"

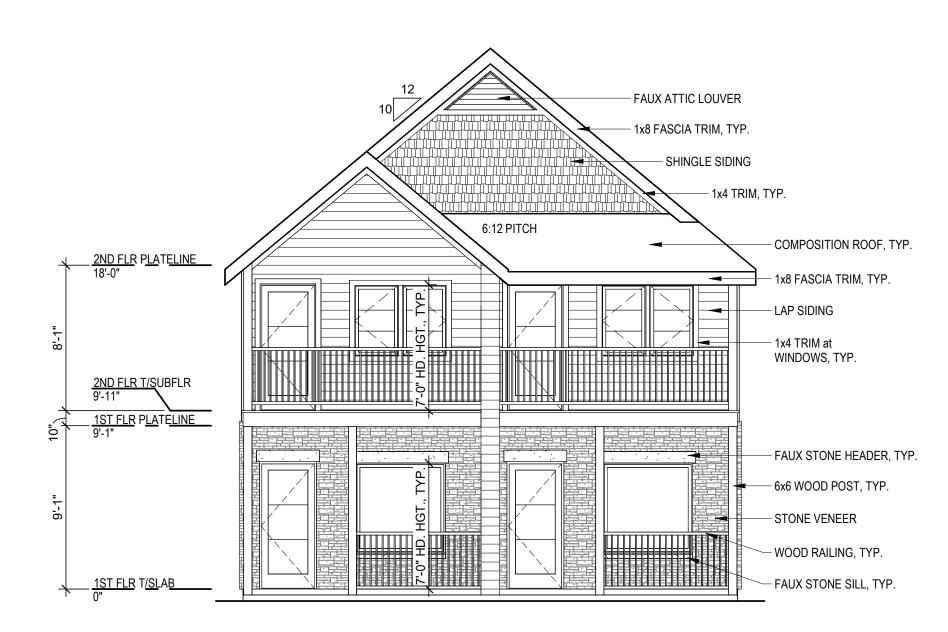


DOUBLE UNIT - OPTION 3 - LEFT ELEVATION

3/16" = 1'-0"



3 DOUBLE UNIT - OPTION 3 - REAR ELEVATION



DOUBLE UNIT - OPTION 3 - FRONT ELEVATION

3/16" = 1'-0"

JMES HOWIESER HOWIESER ACTIVE TO THE PARTY OF THE PARTY O

A NEW DEVELOPMENT:

GOODE AVE. TOWHNHOMES

1401 GOODE AVE. GRANDVIEW, MISSOURI

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

AREVISIONS

1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. DATE **736623 06.06.2024** DRAWN BY

SHEET NAME

DOUBLE UNIT OPTION 3 
ELEVATIONS

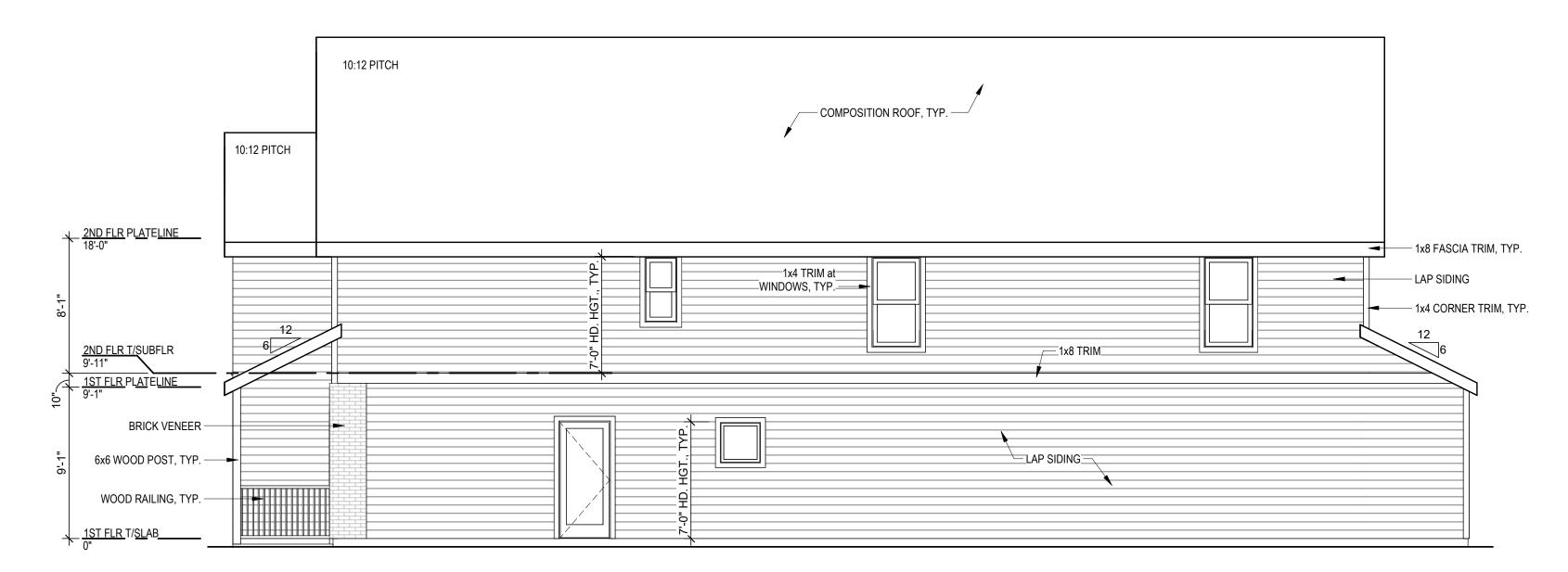
SHEET NO.

TWH, MLM, NSO

C. REFER TO SHEET <u>A5.00</u> FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

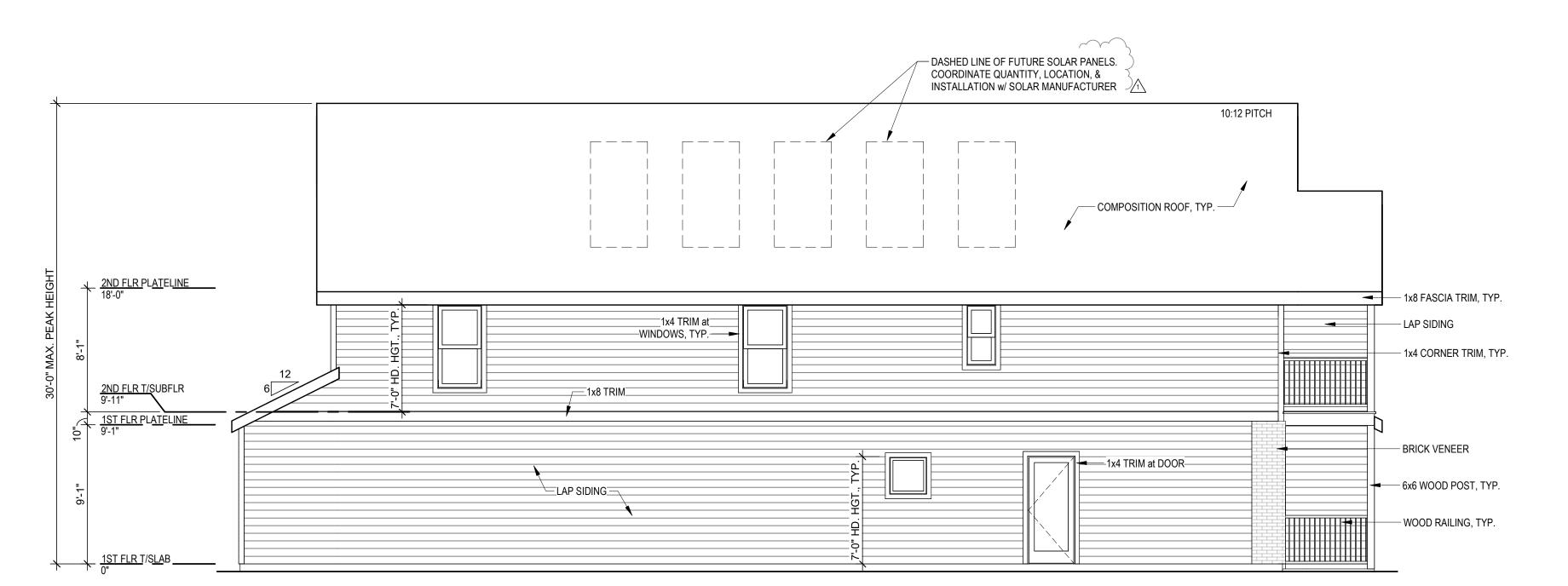
### **BUILDING HEIGHTS**

UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"



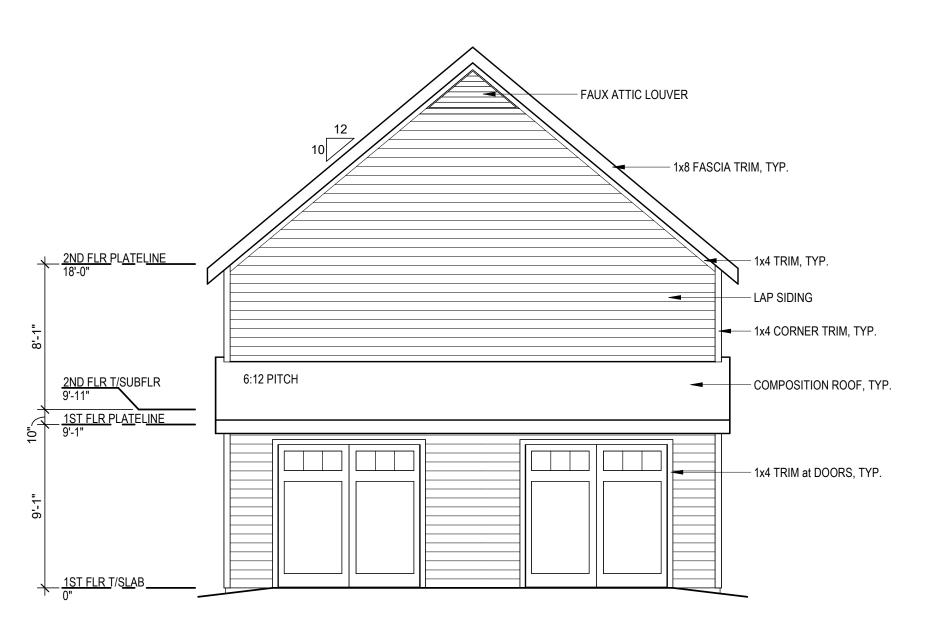
DOUBLE UNIT - OPTION 4 - RIGHT ELEVATION

3/16" = 1'-0"



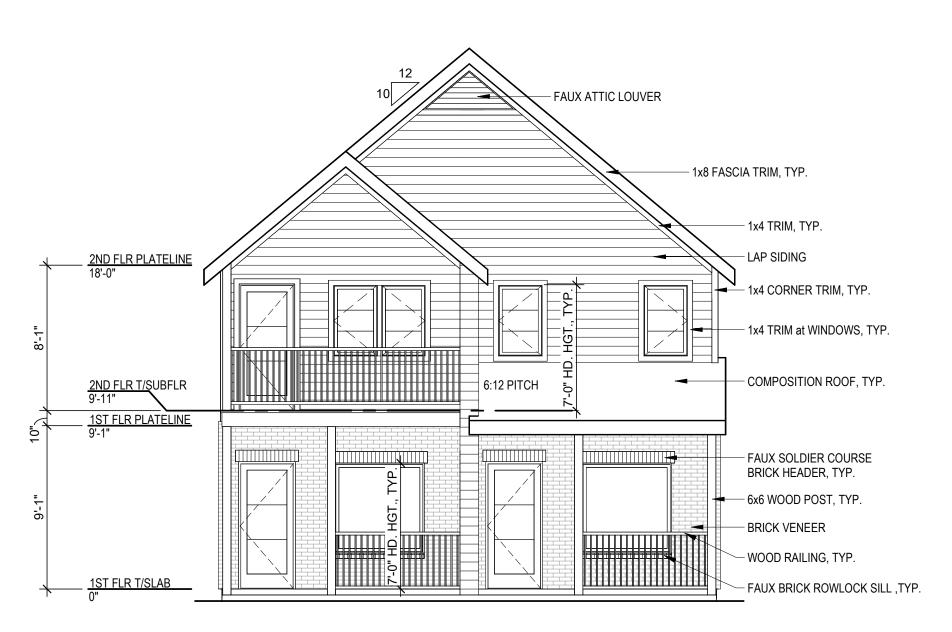
DOUBLE UNIT - OPTION 4 - LEFT ELEVATION

3/16" = 1'-0"



OOUBLE UNIT - OPTION 4 - REAR ELEVATION

3/16" = 1'-0"



DOUBLE UNIT - OPTION 4 - FRONT ELEVATION

3/16" = 1'-0"

**VHNHOMES** NEW DEVELOPMENT:

DVIEW, MISSOURI

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

 $\triangle$ REVISIONS 1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. **736623** 06.06.2024 **DRAWN BY** 

TWH, MLM, NSO

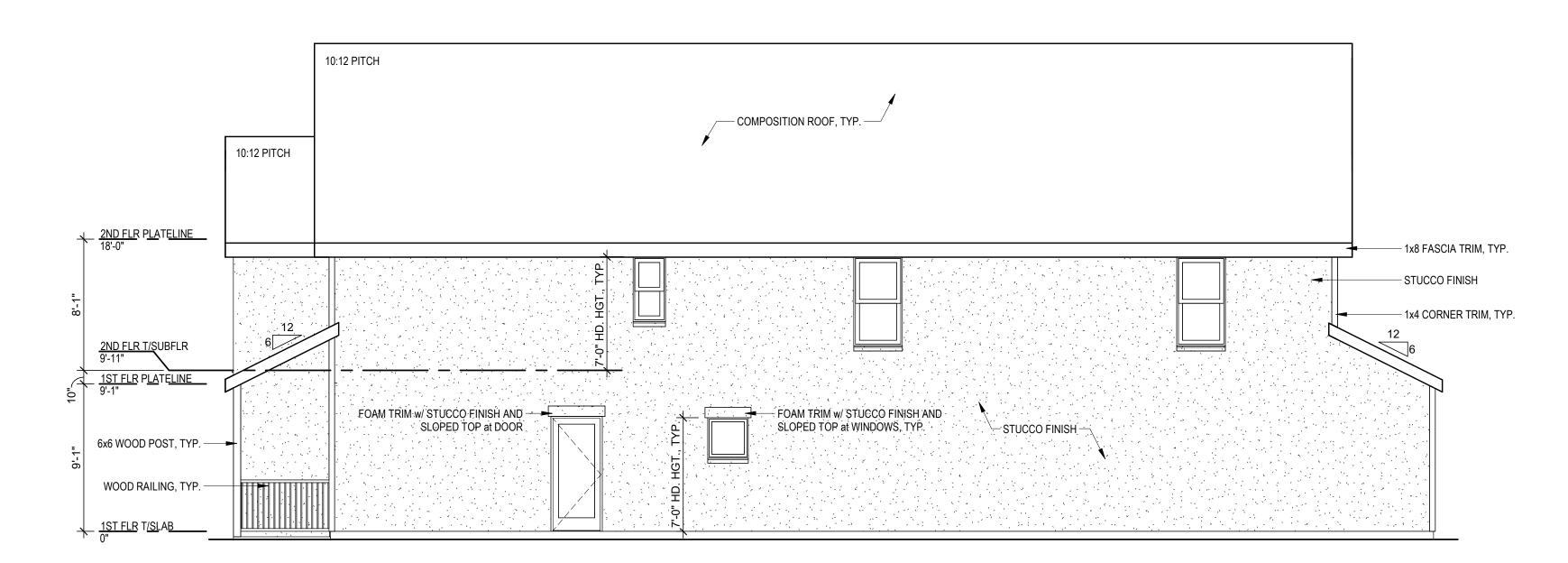
SHEET NAME DOUBLE UNIT OPTION 4 - ELEVATIONS

SHEET NO.

C. REFER TO SHEET <u>A5.00</u> FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

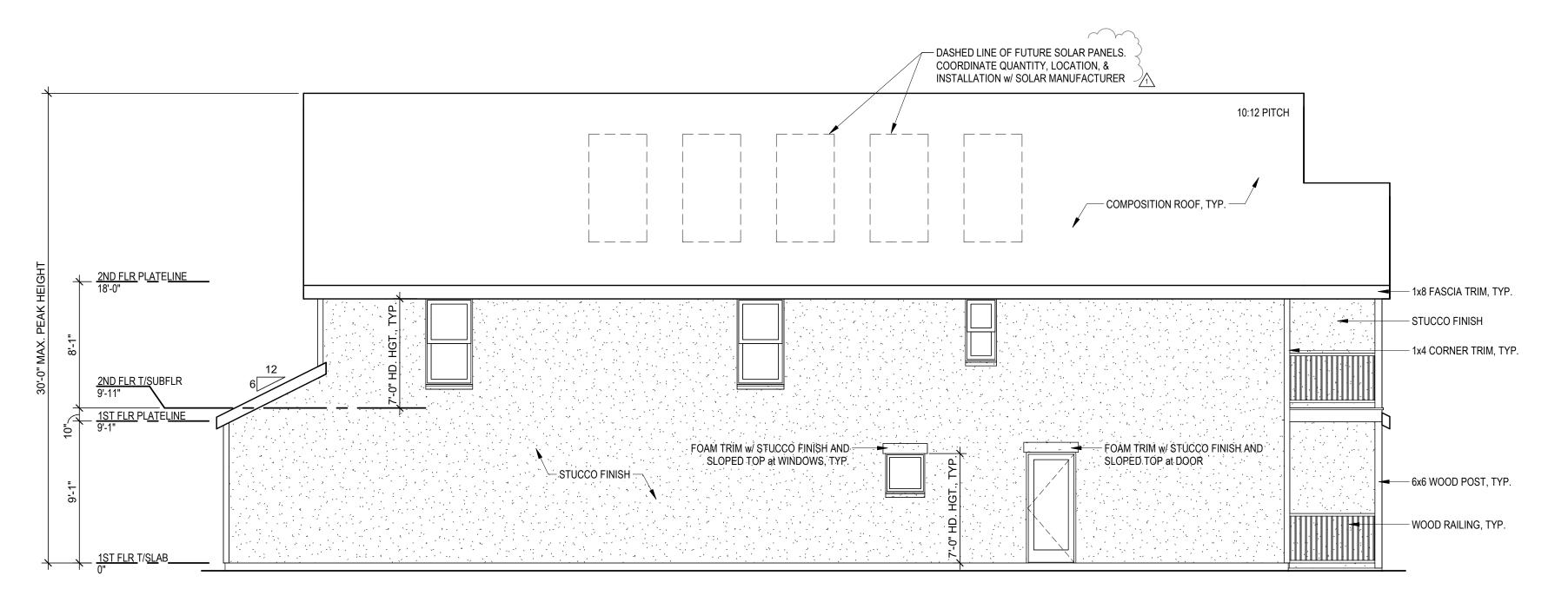
### **BUILDING HEIGHTS**

UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"



DOUBLE UNIT - OPTION 5 - RIGHT ELEVATION

3/16" = 1'-0"



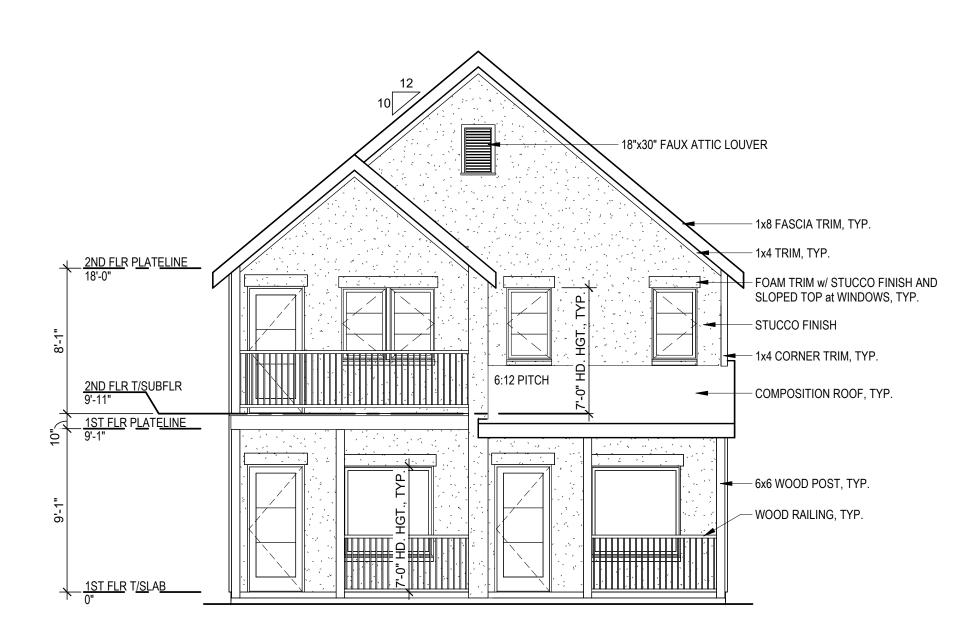
DOUBLE UNIT - OPTION 5 - LEFT ELEVATION

3/16" = 1'-0"

2ND FLR PLATELINE
18'.0"
1x4 TRIM, TYP.
1x8 FASCIA TRIM, TYP.
STUCCO FINISH
1x4 CORNER TRIM, TYP.
2ND FLR TISUBFLR
9'.11"
1ST FLR PLATELINE
9'.1"
1x4 TRIM at DOORS, TYP.

DOUBLE UNIT - OPTION 5 - REAR ELEVATION

3/16" = 1'-0"



DOUBLE UNIT - OPTION 5 - FRONT ELEVATION

3/16" = 1'-0"

HOMBURER NUMBER A 2024.06.10

ODE AVE. TOWHNHOMES
GOODE AVE. GRANDVIEW, MISSOURI

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

AREVISIONS

1 01.01.22 CITY SUBMITTAL RESPONSE 1

OB NO. DA

JOB NO. DATE 736623 06.06.2024 DRAWN BY TWH, MLM, NSO

SHEET NAME

DOUBLE UNIT OPTION 5 
ELEVATIONS

SHEET NO.

A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.

B. ALL TRIM TO BE FIBER CEMENT U.N.O.

C. REFER TO SHEET <u>A5.00</u> FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

### **BUILDING HEIGHTS**

UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"

ROOF, TYP.

— 1x4 TRIM, TYP.

- 1x8 FASCIA TRIM, TYP.

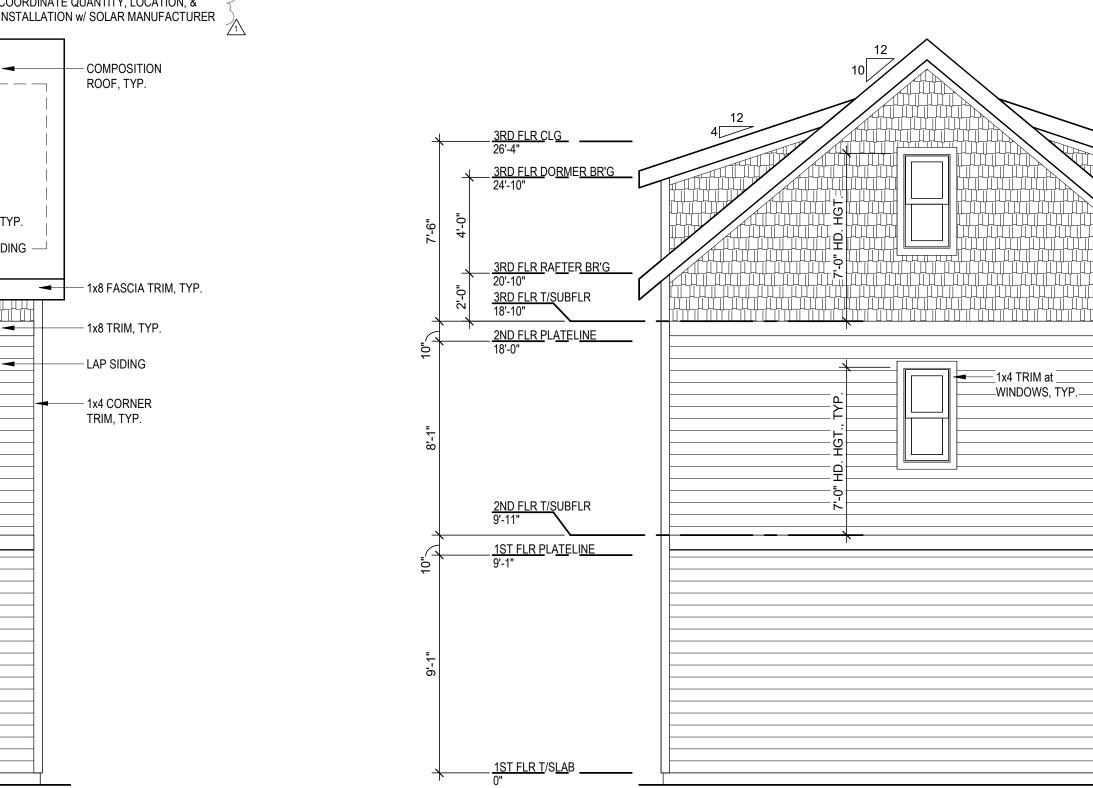
— SHINGLE SIDING

— 1x8 TRIM, TYP.

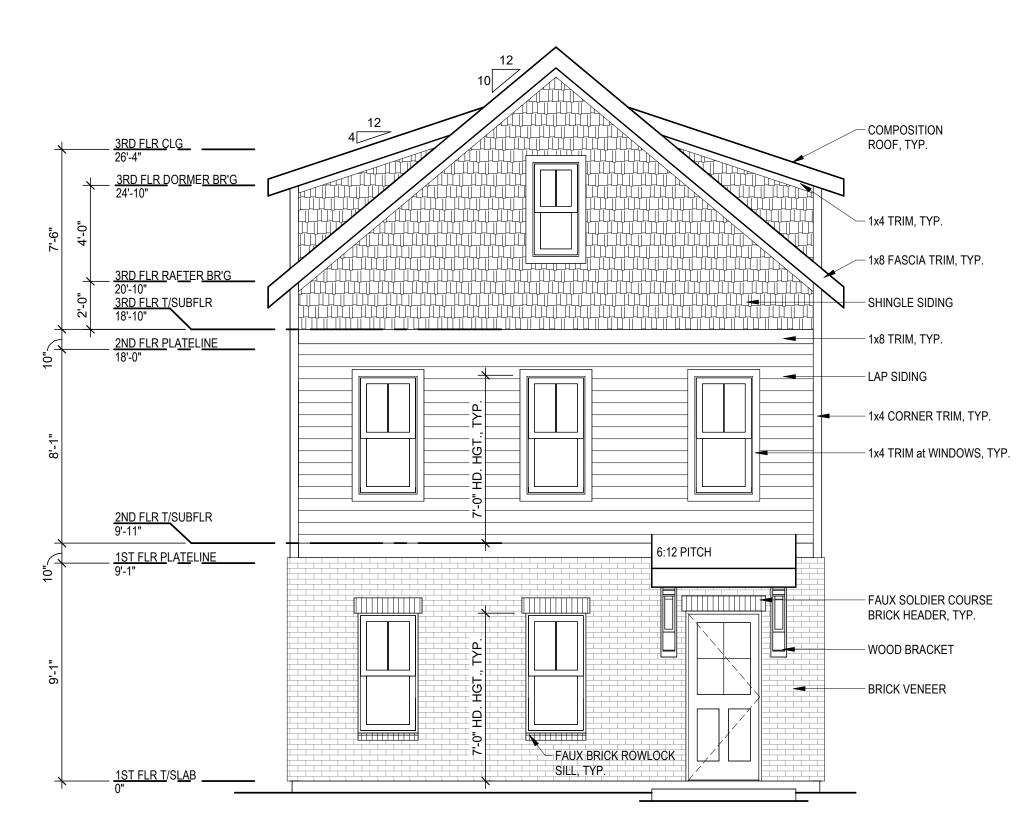
— LAP SIDING

— 1x4 CORNER

TRIM, TYP.

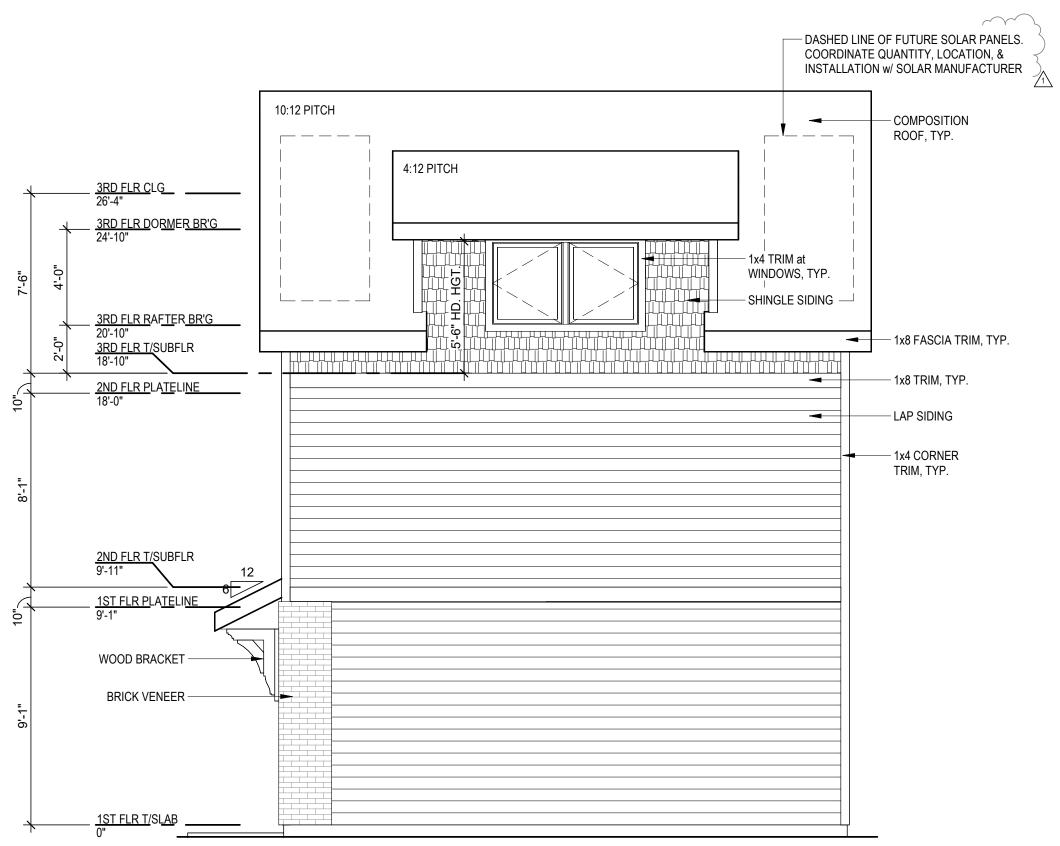


SINGLE UNIT OPTION 1 - REAR ELEVATION

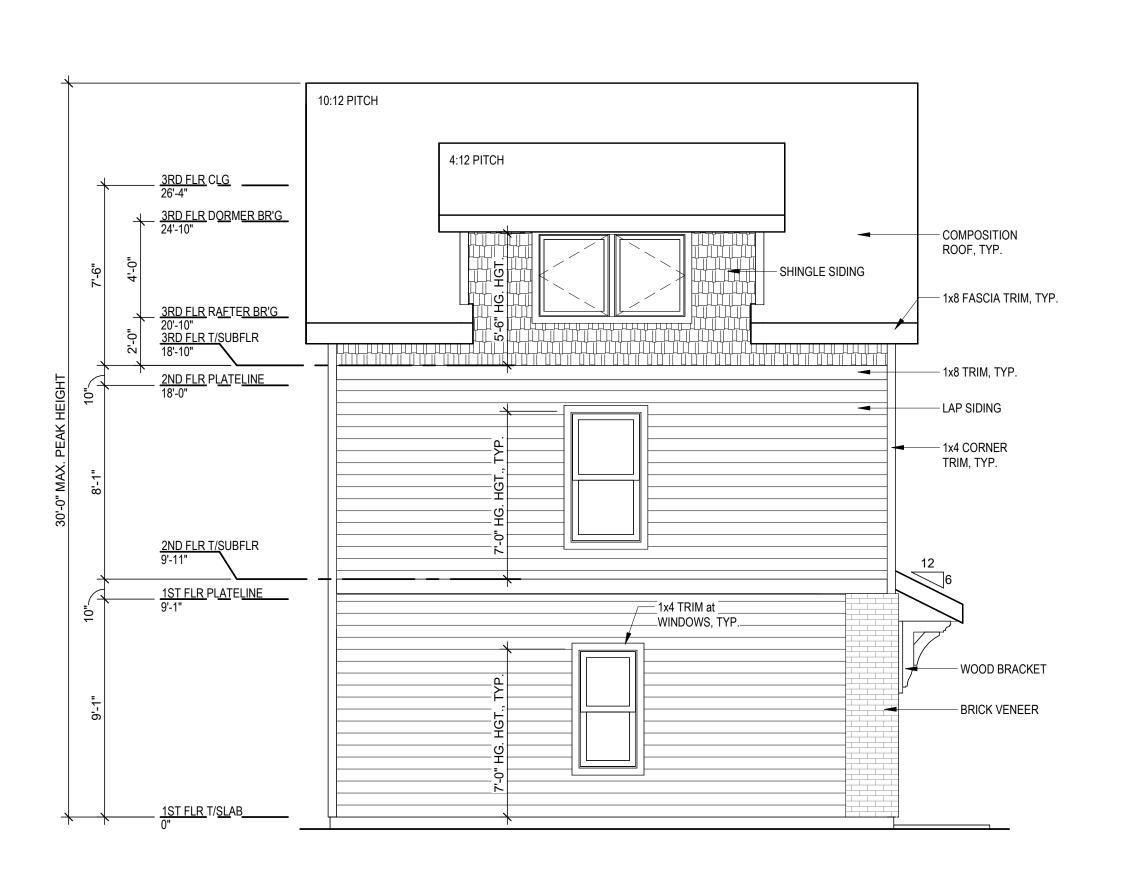


SINGLE UNIT OPTION 1 - FRONT ELEVATION

1/4" = 1'-0"



SINGLE UNIT OPTION 1 - RIGHT ELEVATION



SINGLE UNIT OPTION 1 - LEFT ELEVATION

P. 913.831
F. 913.831
NSPJARCH

**VHNHOMES** 

1401 DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

> $\triangle$ REVISIONS 1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. **736623** 06.06.2024

SHEET NAME
SINGLE UNIT OPTION 1 ELEVATIONS

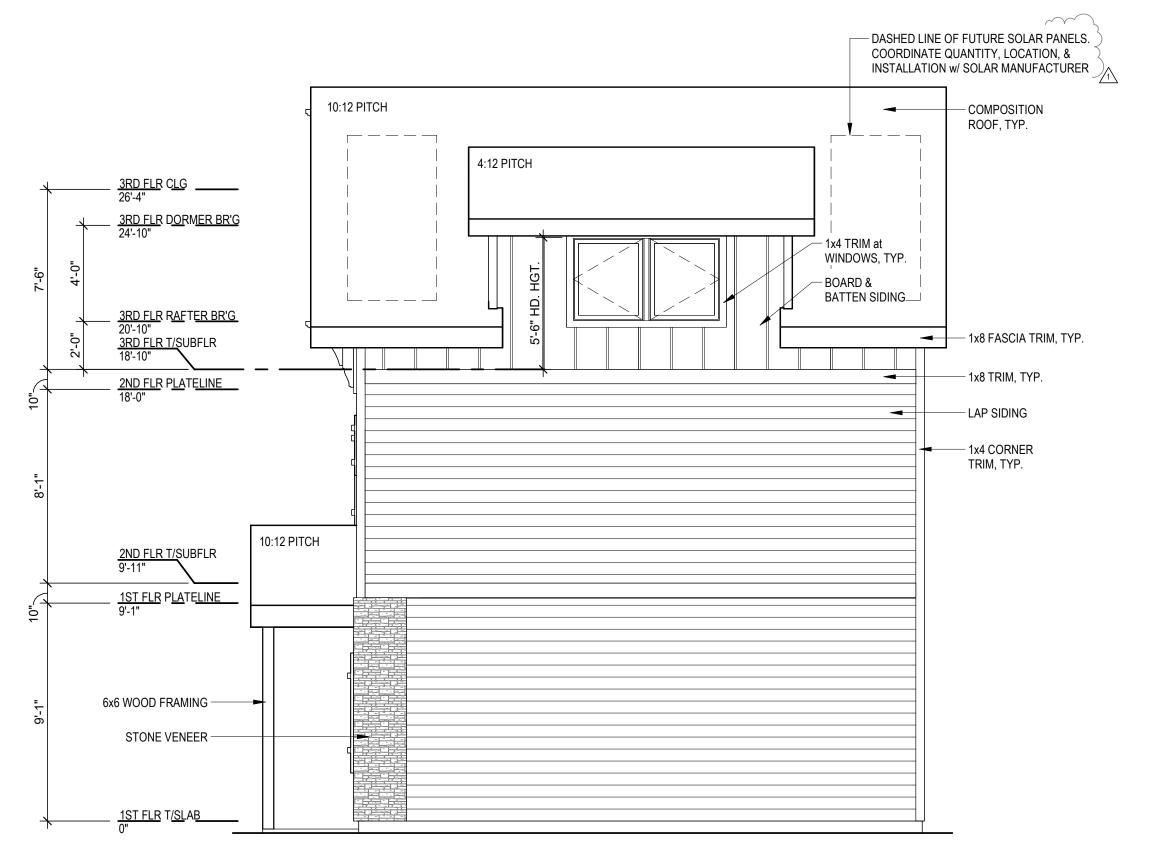
TWH, MLM, NSO

**DRAWN BY** 

C. REFER TO SHEET <u>A5.00</u> FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

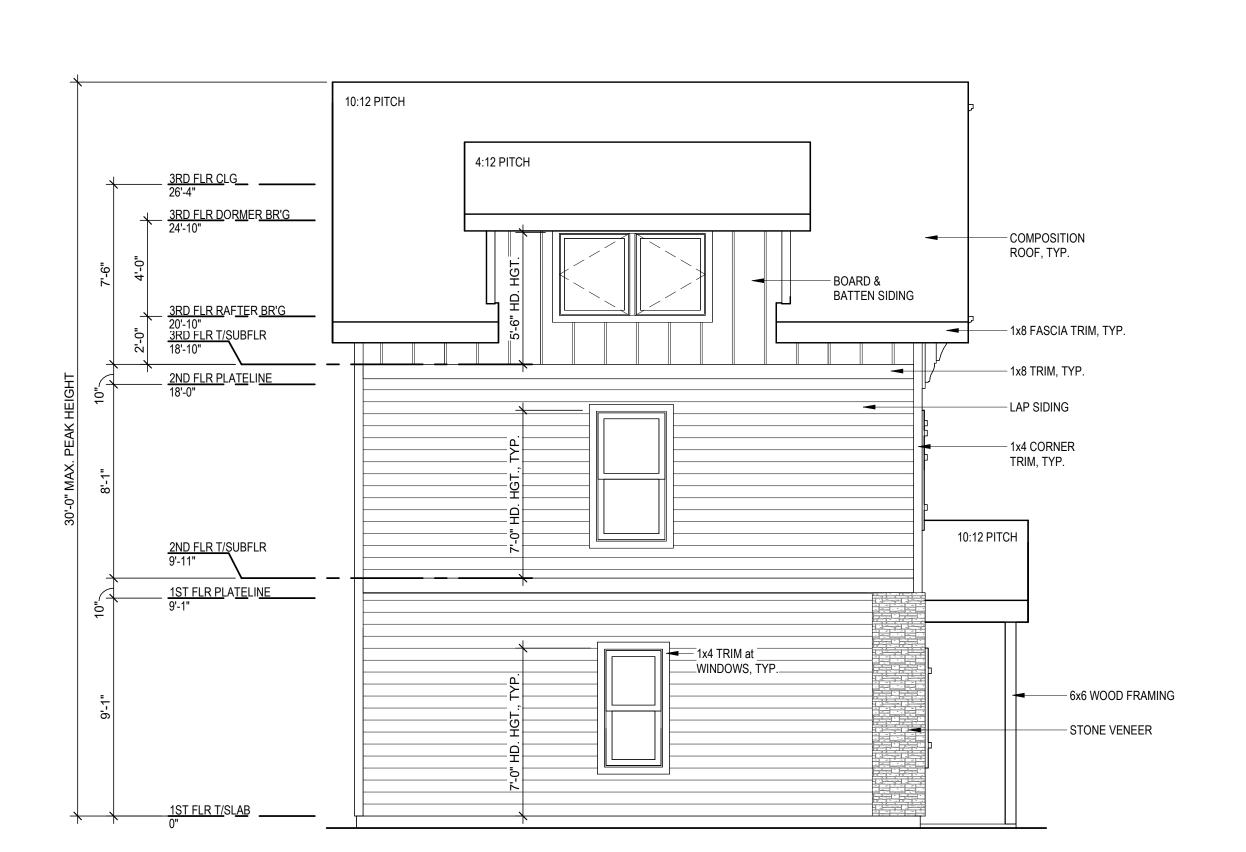
### **BUILDING HEIGHTS**

UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"

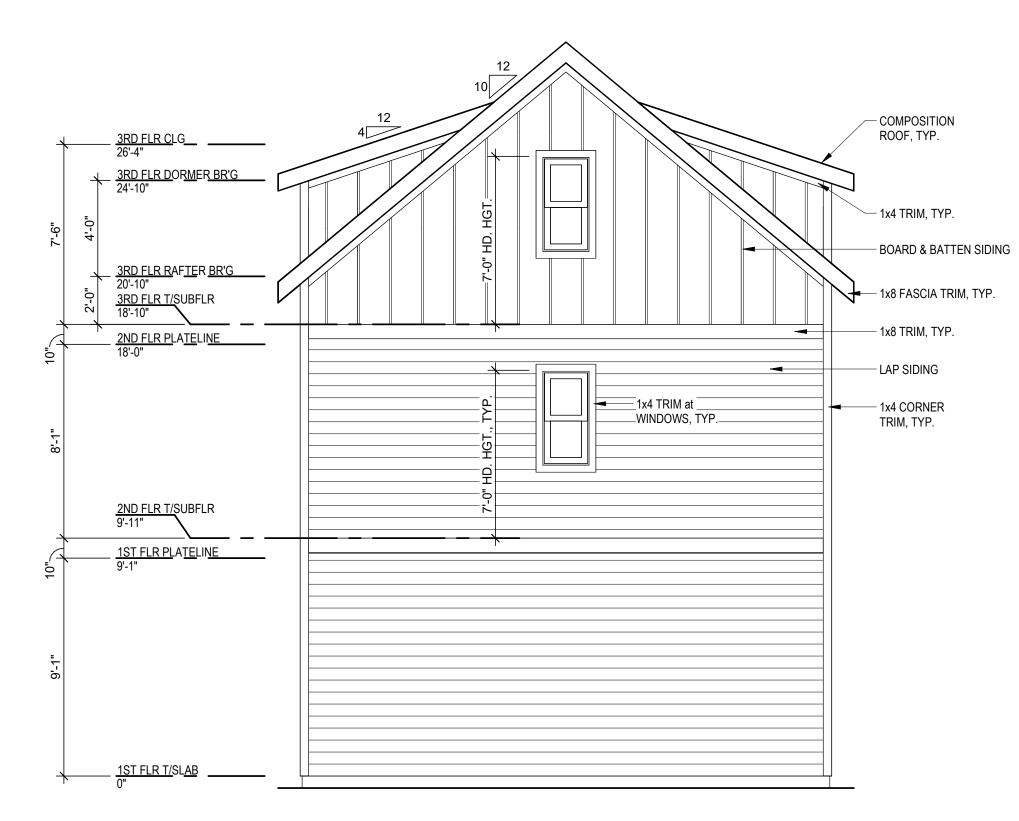


SINGLE UNIT OPTION 2 - RIGHT ELEVATION

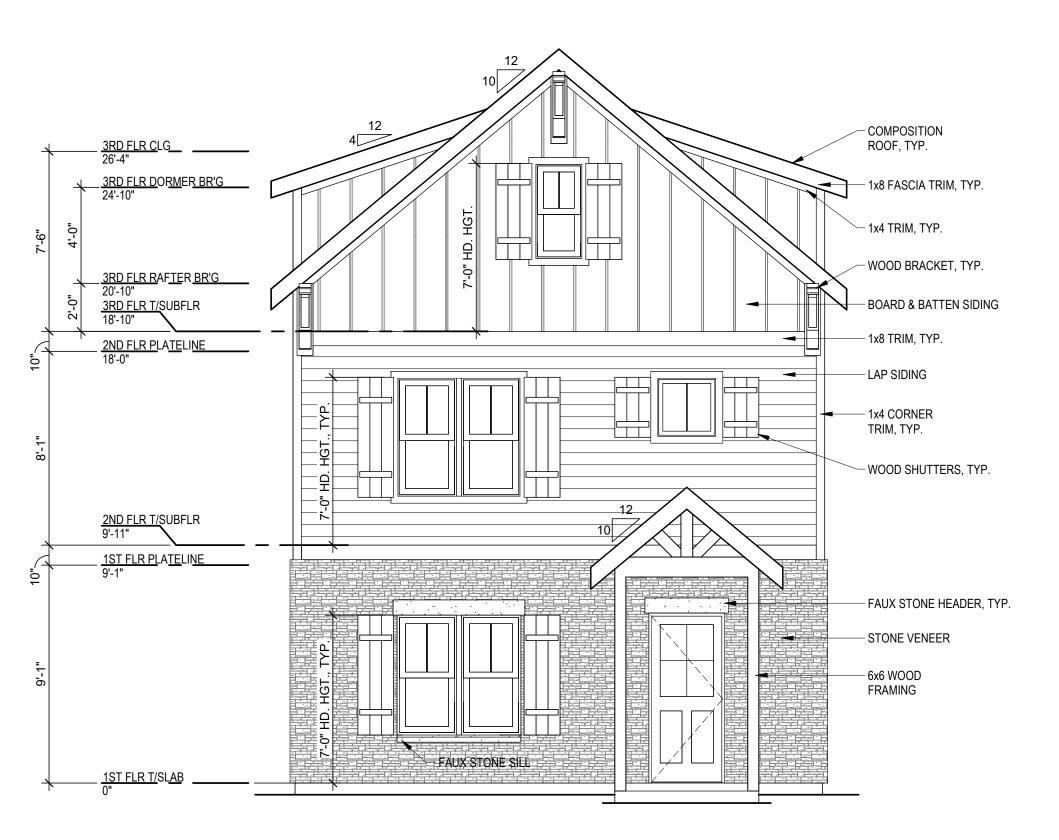
1/4" = 1'-0"



SINGLE UNIT OPTION 2 - LEFT ELEVATION



3 SINGLE UNIT OPTION 2 - REAR ELEVATION



SINGLE UNIT OPTION 2 - FRONT ELEVATION

1/4" = 1'-0"

ARCHITECT
ARCHITECT
3515 W 75TH ST SIII

HOMBURE NUMBER NUMBER A 200 10004237 A CHITECT 2024.06.10

DDE AVE. TOWHNHOMES

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

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1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. DATE 736623 06.06.2024 DRAWN BY TWH, MLM, NSO

SHEET NAME
SINGLE UNIT OPTION 2 ELEVATIONS
SHEET NO.

SHEET NO. **A3.06** 

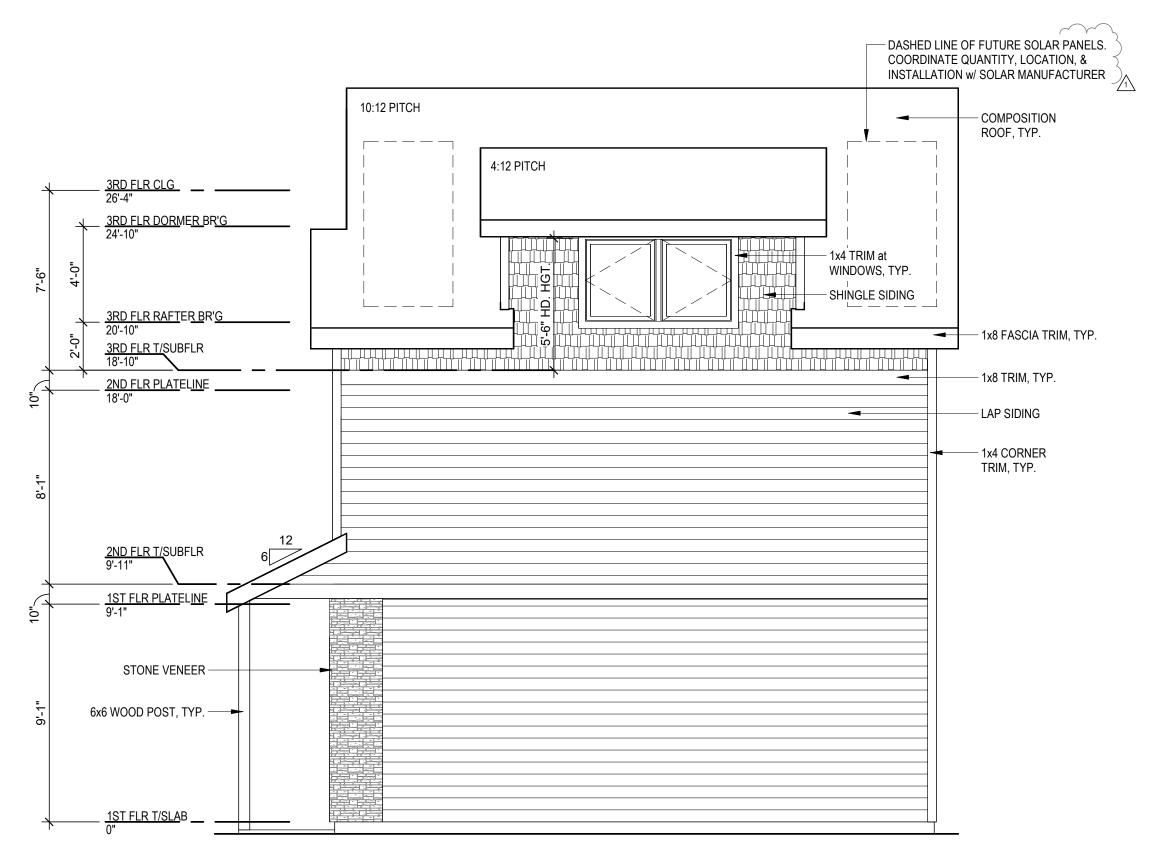
A. ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.

B. ALL TRIM TO BE FIBER CEMENT U.N.O.

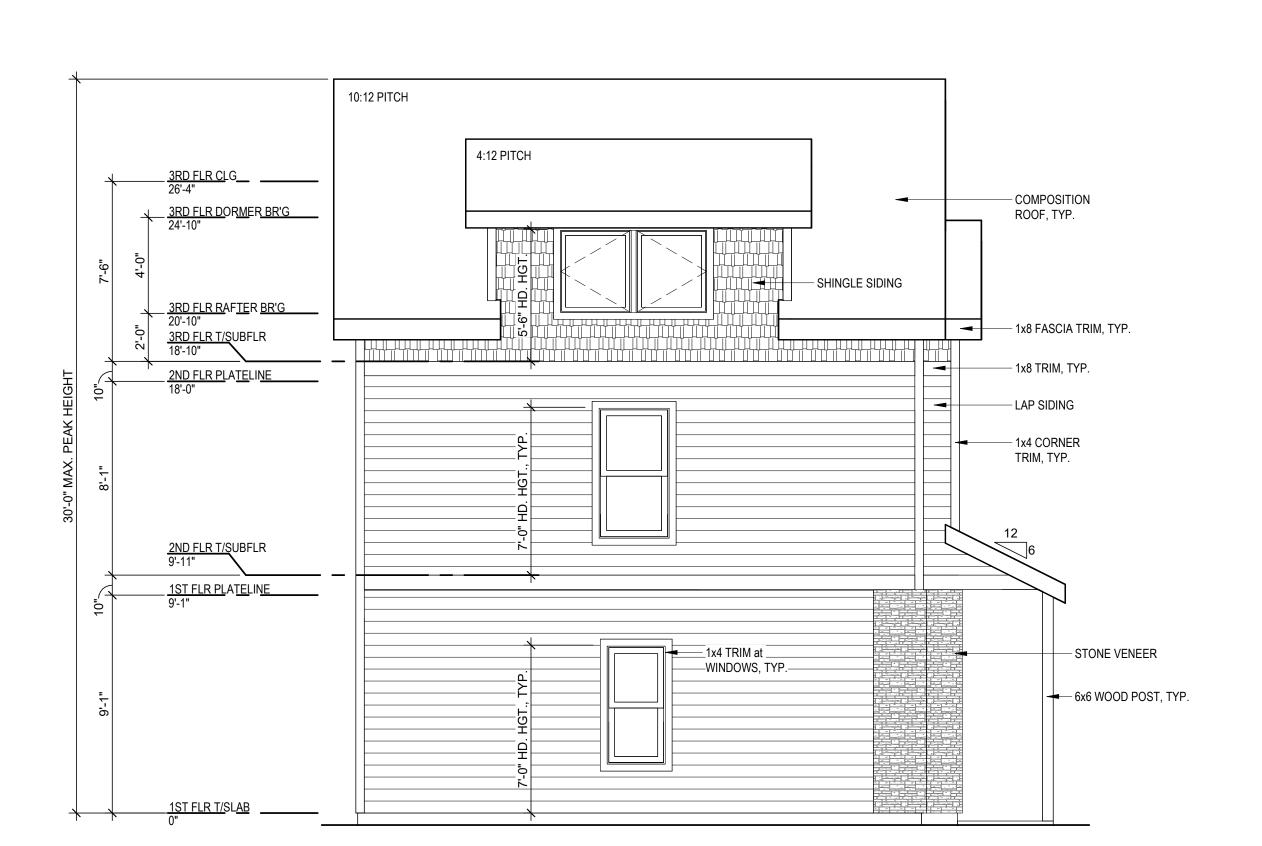
C. REFER TO SHEET <u>A5.00</u> FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

### **BUILDING HEIGHTS**

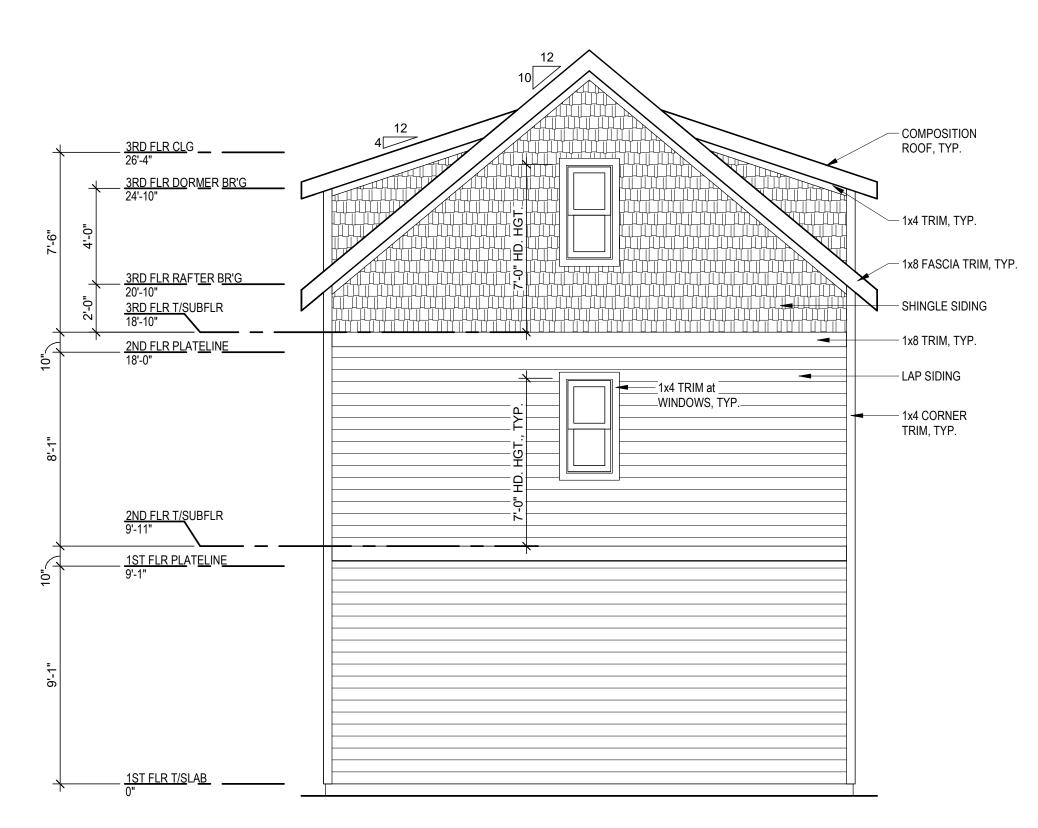
UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"



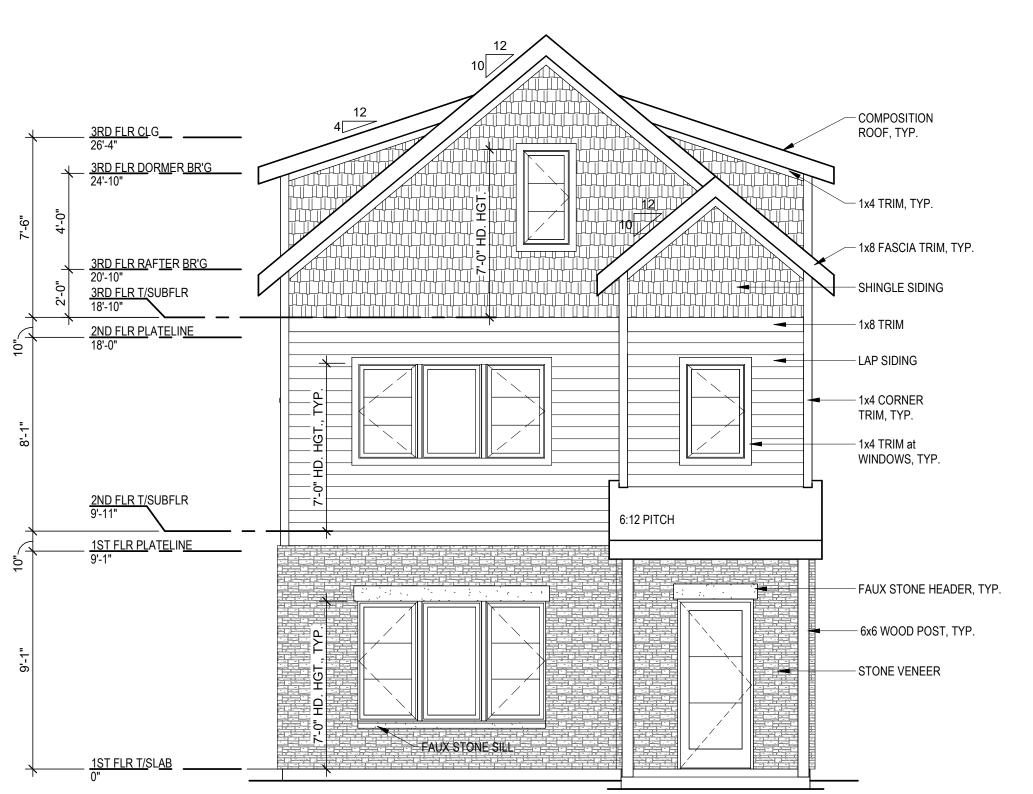
SINGLE UNIT OPTION 3 - RIGHT ELEVATION



SINGLE UNIT OPTION 3 - LEFT ELEVATION



3 SINGLE UNIT OPTION 3 - REAR ELEVATION



SINGLE UNIT OPTION 3 - FRONT ELEVATION

1/4" = 1'-0"

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F. 913.831
NSPJARCH



**VHNHOMES** 

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

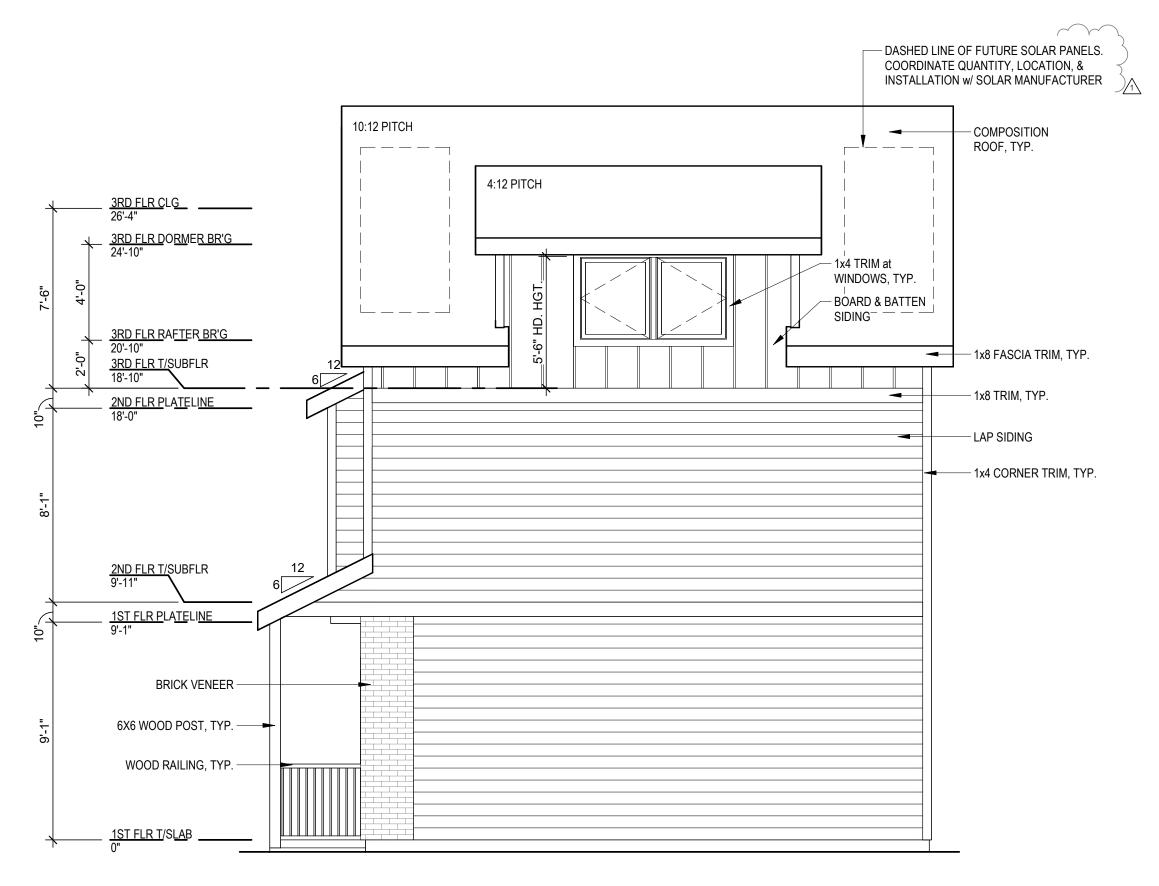
 $\triangle$ REVISIONS 1 01.01.22 CITY SUBMITTAL RESPONSE 1

JOB NO. **736623** 06.06.2024 **DRAWN BY** TWH, MLM, NSO

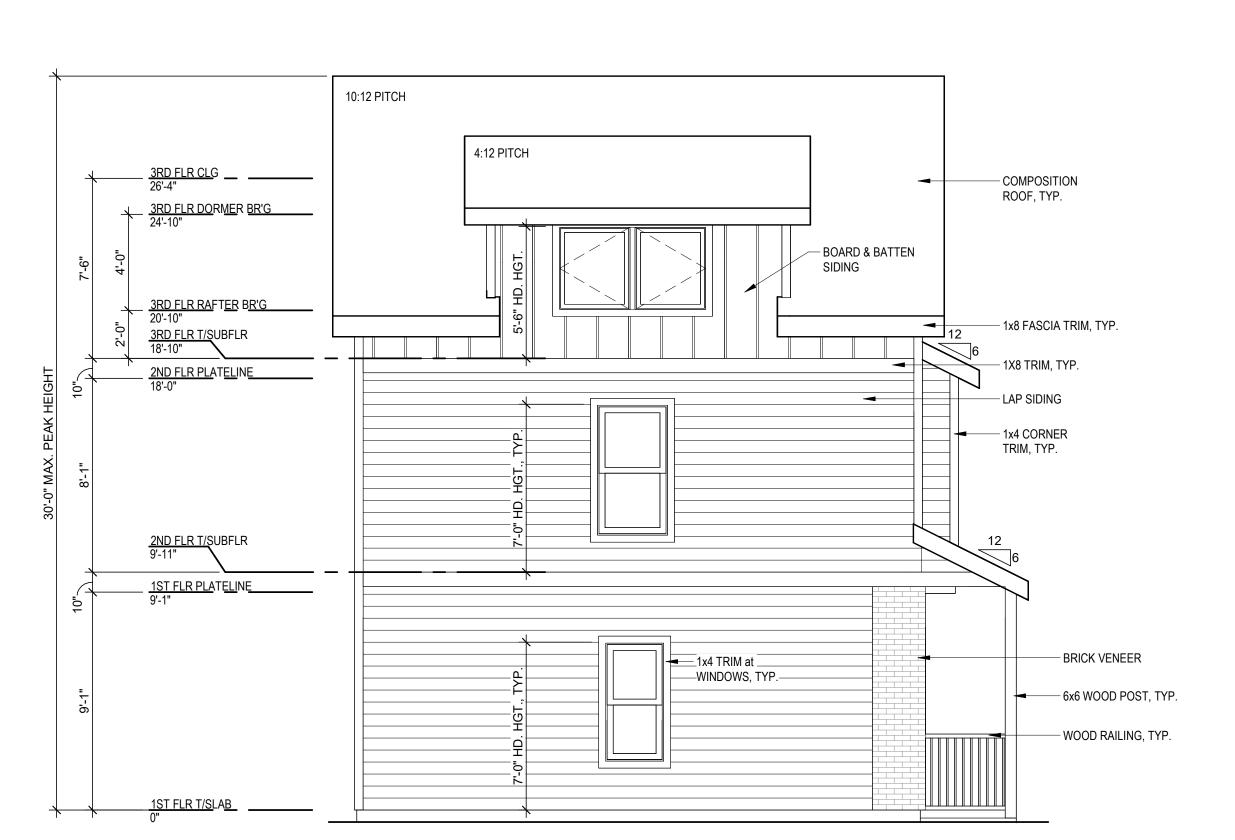
SHEET NAME
SINGLE UNIT OPTION 3 ELEVATIONS

### **BUILDING HEIGHTS**

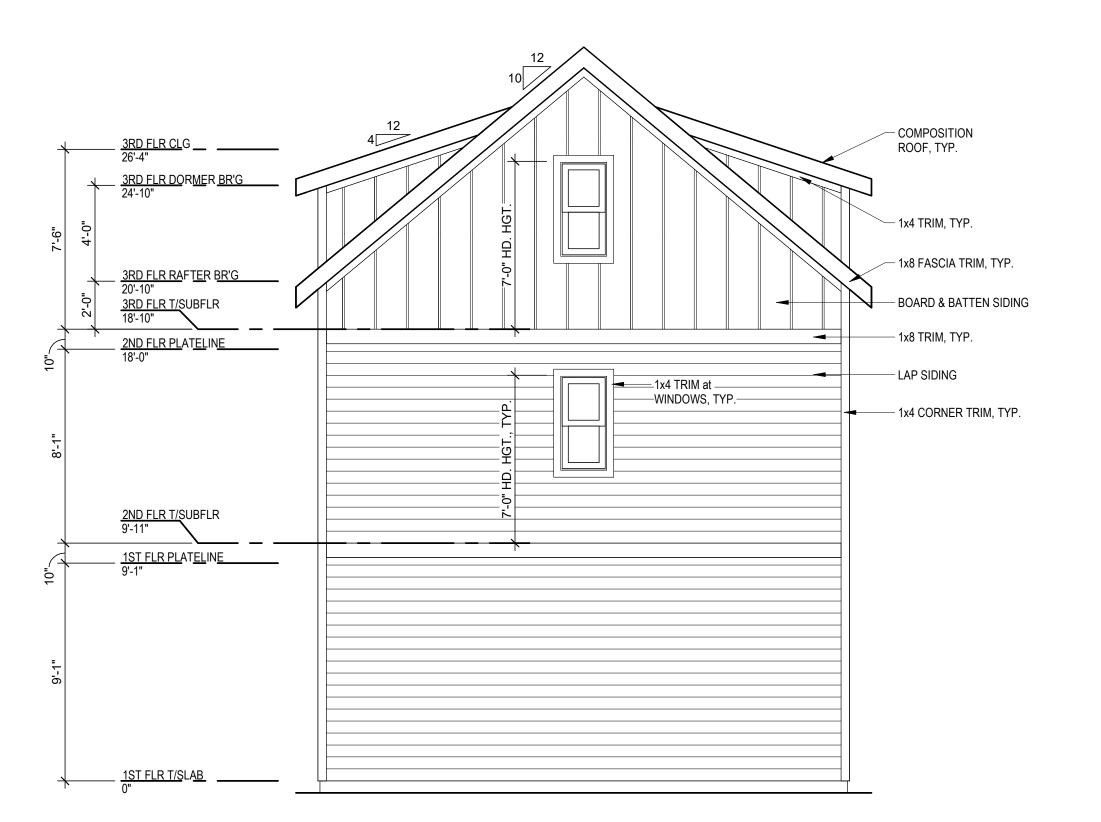
UNIT DISTINCTION	ROOF PEAK HEIGH
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"



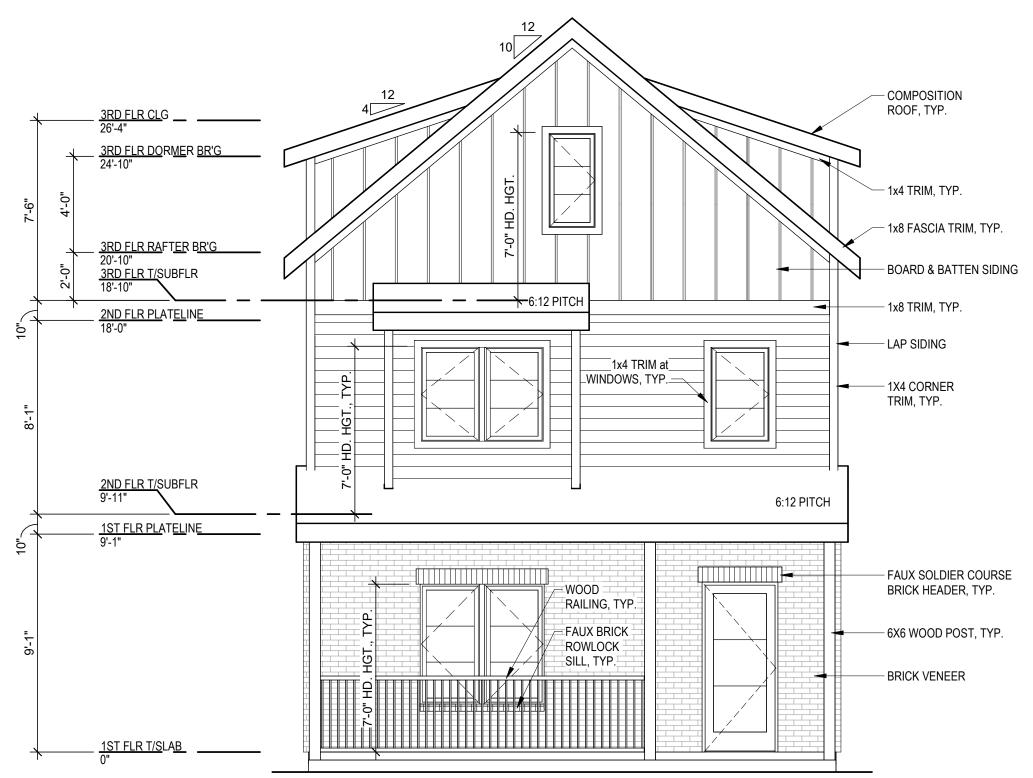
SINGLE UNIT OPTION 4 - RIGHT ELEVATION



SINGLE UNIT OPTION 4 - LEFT ELEVATION



3 SINGLE UNIT OPTION 4 - REAR ELEVATION



SINGLE UNIT OPTION 4 - FRONT ELEVATION

1/4" = 1'-0"

**VHNHOMES** 

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• 02.13.24 CITY SUBMITTAL

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JOB NO. 736623 06.06.2024 **DRAWN BY** TWH, MLM, NSO

SHEET NAME SINGLE UNIT OPTION 4 -ELEVATIONS

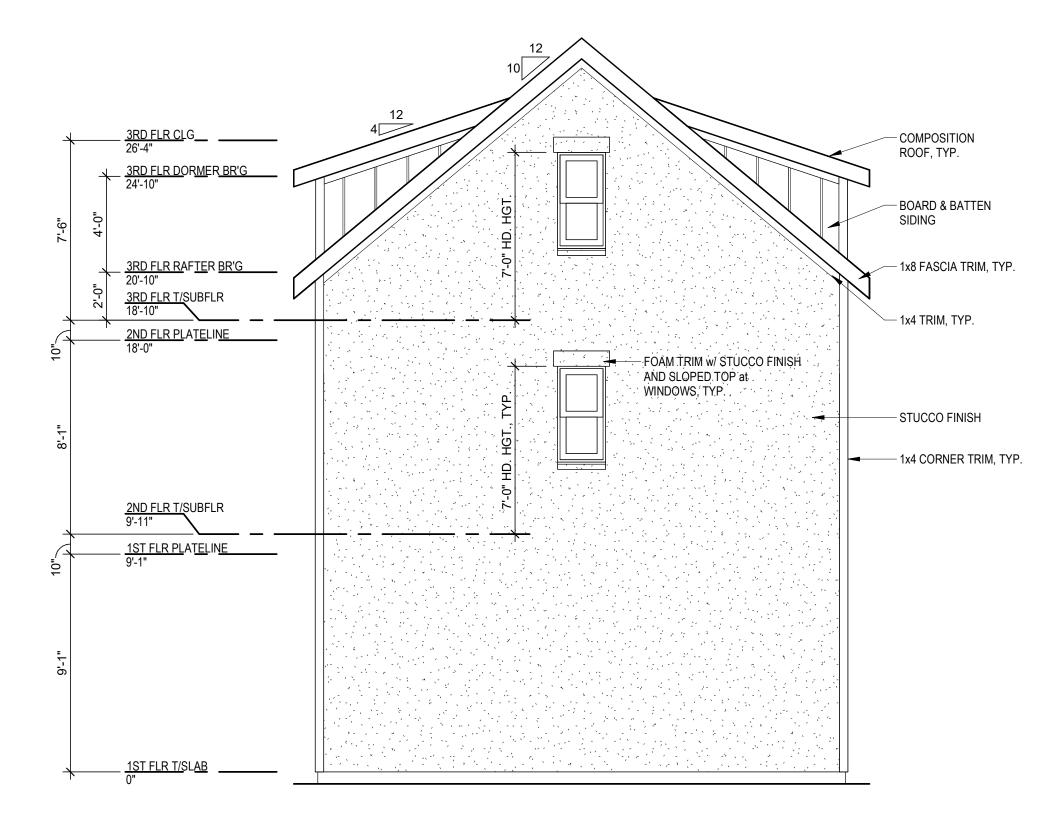
ALL EXTERIOR WALL LIGHT FIXTURES THAT PROJECT MORE THAN 4" FROM FACE OF WALL TO BE MOUNTED WHERE BOTTOM OF LIGHT FIXTURE IS 6'-8" AFF MIN.

B. ALL TRIM TO BE FIBER CEMENT U.N.O.

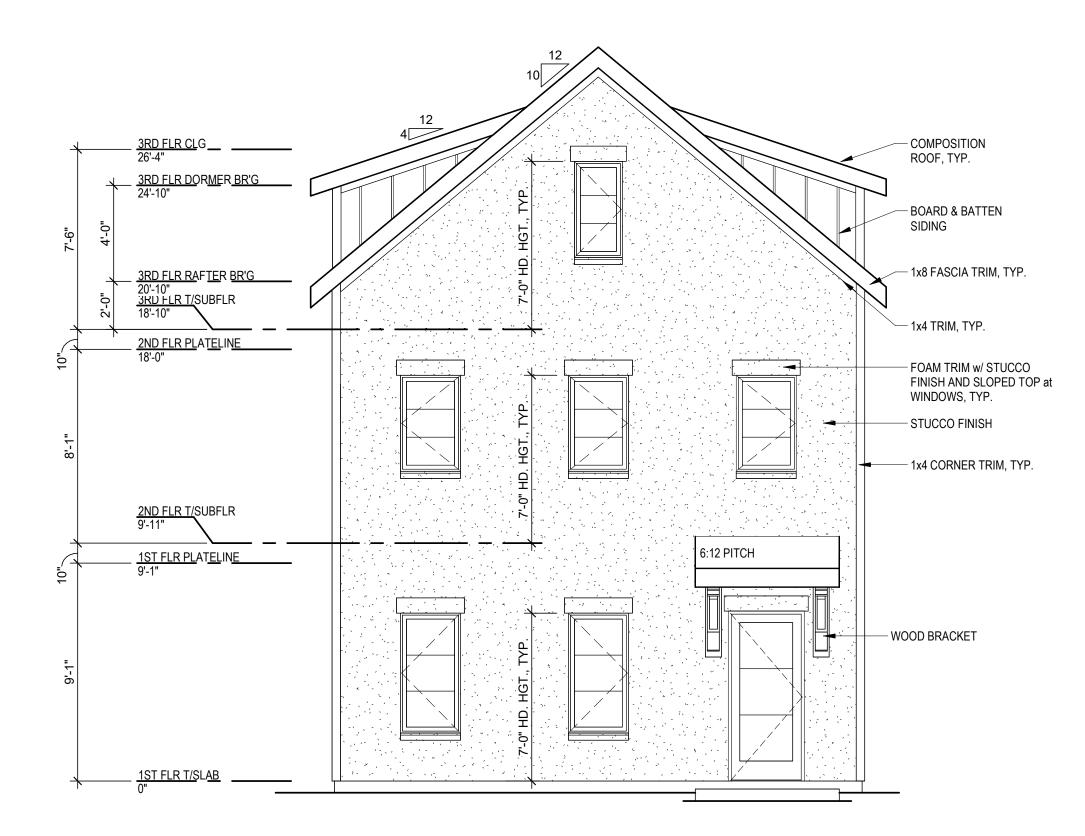
C. REFER TO SHEET <u>A5.00</u> FOR TYPICAL WINDOW HEAD/JAMB/SILL DETAILS

### **BUILDING HEIGHTS**

UNIT DISTINCTION	ROOF PEAK HEIGHT
DOUBLE UNIT (ALL OPTIONS)	30'-0"
SINGLE UNIT (ALL OPTIONS)	30'-0"

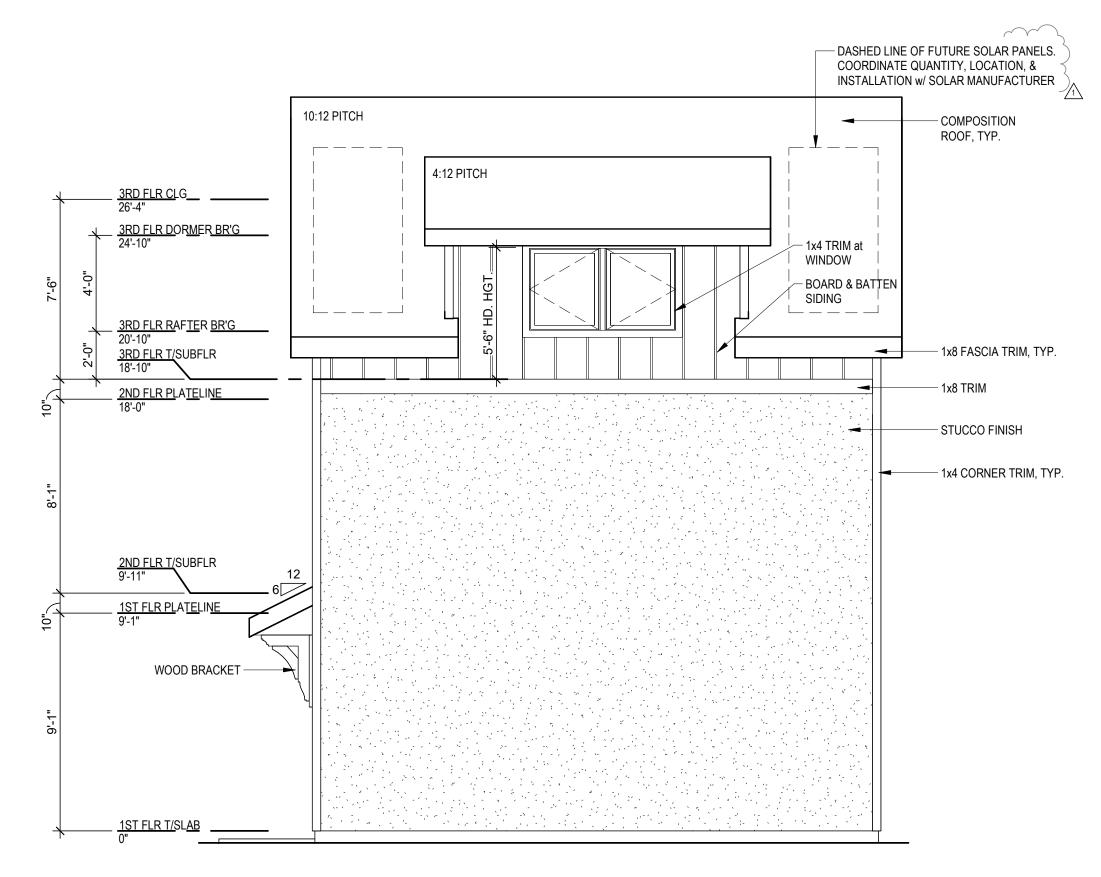


# 3 SINGLE UNIT OPTION 5 - REAR ELEVATION

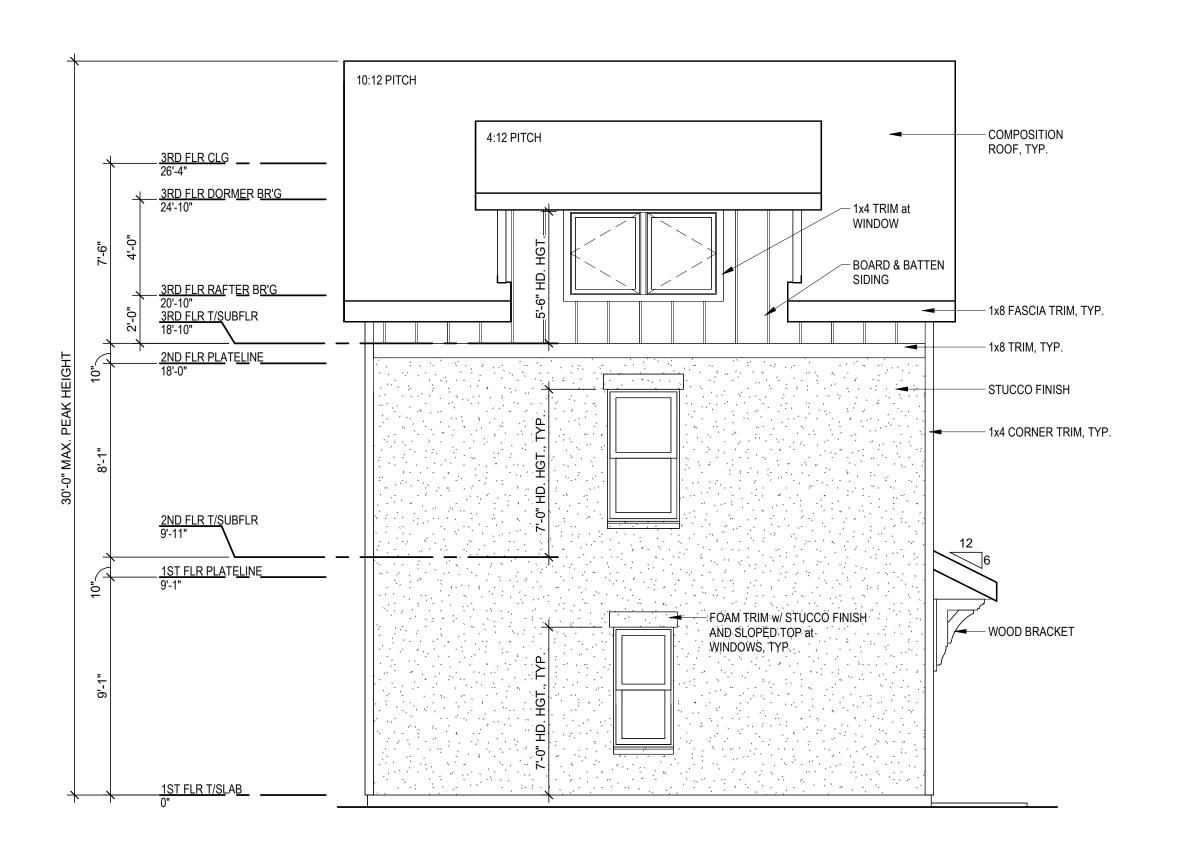


SINGLE UNIT OPTION 5 - FRONT ELEVATION

1/4" = 1'-0"



# SINGLE UNIT OPTION 5 - RIGHT ELEVATION 1/4" = 1'-0"



SINGLE UNIT OPTION 5 - LEFT ELEVATION

**VHNHOMES** 

DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

• 02.13.24 CITY SUBMITTAL

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DATE **06.06.2024** JOB NO. **736623 DRAWN BY** TWH, MLM, NSO

SHEET NAME
SINGLE UNIT OPTION 5 ELEVATIONS



MISSOURI **VHNHOMES** DVIEW,

401 DRAWING RELEASE LOG

• 06.08.23 - STRUCTURAL KICKOFF

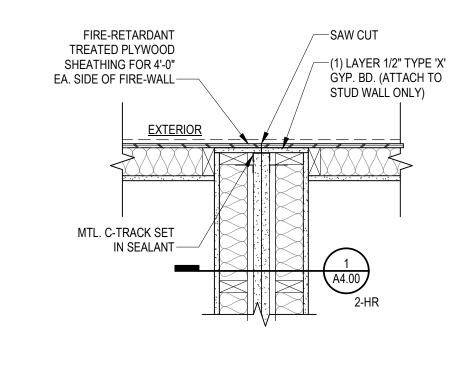
• 02.13.24 CITY SUBMITTAL

 $\triangle$ REVISIONS

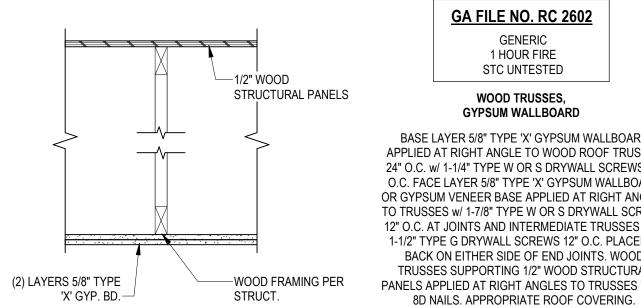
JOB NO. 736623 06.06.2024 **DRAWN BY** 

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SHEET NAME SECTIONS / DETAILS



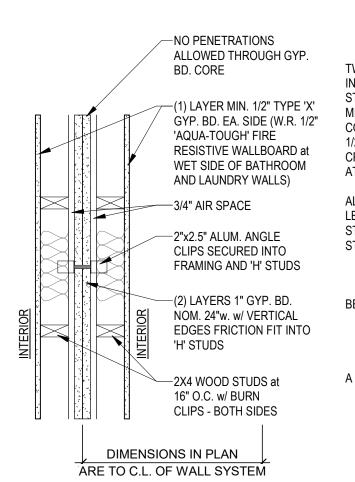
# 2-HR FIREWALL - PLAN DETAIL 1" = 1'-0"



## GA FILE NO. RC 2602 **GENERIC** 1 HOUR FIRE STC UNTESTED WOOD TRUSSES, GYPSUM WALLBOARD

BASE LAYER 5/8" TYPE 'X' GYPSUM WALLBOARD APPLIED AT RIGHT ANGLE TO WOOD ROOF TRUSSES 24" O.C. w/ 1-1/4" TYPE W OR S DRYWALL SCREWS 24" O.C. FACE LAYER 5/8" TYPE 'X' GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO TRUSSES w/ 1-7/8" TYPE W OR S DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE TRUSSES AND 1-1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOINTS. WOOD TRUSSES SUPPORTING 1/2" WOOD STRUCTURAL PANELS APPLIED AT RIGHT ANGLES TO TRUSSES WITH

# 3 1-HR RATED ROOF/CEILING



ALUMINUM ANGLE, 0.049 IN. THICK, 2 IN. WIDE WITH 2 IN. AND 2-1/2" IN. LEGS. CLIPS SECURED WITH TYPE S SCREWS 3/8 IN. LONG TO 'H' STUDS AND WITH 1-1/4 IN. LONG SCREWS TO WOOD FRAMING OR STEEL FRAMING THROUGH HOLES PROVIDED IN CLIP.

2-HR SEPARATION WALL - TYP. WALL SECTION

GARAGE CONDITION

TYPICAL CONDITION

SAW-CUT-

PITCHED ROOF CONDITION

ROOF PITCH PER

**ROOF FRAMING** PER STRUCT.

1/2" GYP BD.—

FRAMING PER

STRUCTURAL-

SPRAY FOAM EACH SIDE

(FOR AIRTIGHTNESS)-

3 1/2" ACOUSTIC BATT INSULATION, TYP. EA.SIDE-

3/4" GYP. BD.

FIREBLOCKING EA. SIDE.-

(1) LAYER 1/2" GYPSUM BOARD- TYP. EA. SIDE-

REINF. CONC. SLAB o/ 4" (MIN.)

CRUSHED ROCK w/ 10 MIL.

POLY VAPOR BARRIER BETWEEN, TYP.—

"BREAK-AWAY" CLIPS

MTL. C-TRACK SET

IN SEALANT-

SECURED TO "H" STUDS-

REINF. CONC. FTG. AND

FDTN. WALL PER

STRUCTURAL-

2x4 STUDS @16" O.C. BOTH SIDES—

PLANS/ELEVS.

MINERAL WOOL FIRE STOPPING-

CUT SHEATHING-MTL. C-TRACK- FIRE-RETARDANT TREATED

ROOF SHEATHING FOR 4'-0" EA. SIDE OF FIRE WALL

FIREBLOCKING EA. SIDE

FIRE-RETARDANT TREATED ROOF SHEATHING FOR 4'-0"

EA. SIDE OF FIRE WALL

─3/4" GYP. BD. FIREBLOCKING EA.SIDE

—(2) LAYERS 1" GYP BD. NOM. 24" W. W/ VERTICAL EDGES FRICTION FIT INTO "H"

STUDS (NO PENETRATIONS ALLOWED

THROUGH GYP. BD. CORE)

——ALUMINUM "BREAK-AWAY"

-(1) LAYER 1/2" GYPSUM

-2"x2.5" ALUMINUM ANGLE "BREAK-AWAY" CLIPS SECURED TO "H" STUDS.

-- ALUMINUM "BREAK-AWAY" CLIPS SECURED TO "H" STUDS.

<sup>→</sup>TREATED 2x PLATES w/

—(1) LAYER 1/2" GYPSUM

BOARD- TYP. EA.SIDE

PER STRUCTURAL

-SLAB & DOWELING TO

WALL PER STRUCTURAL

TREATED 2x PLATES ON SILL GASKET W/ ANCHOR BOLTS

ANCHOR BOLTS PER STRUCT.

—MTL C-TRACK SET IN SEALANT

BOARD CEILING

——3/4" AIRSPACE- TYP.

CLIPS SECURED TO "H" STUDS.

-Break-away Clips

ROOF FRAMING

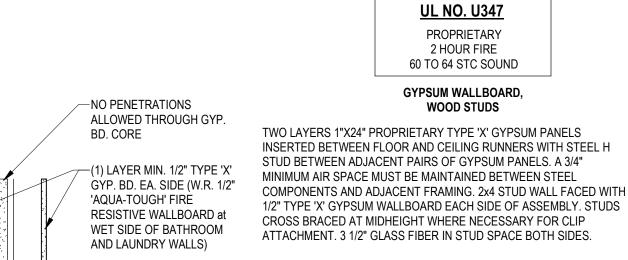
NO PENETRATIONS THROUGH

ROOF WITHIN (4) FOUR FEET OF CENTER LINE OF SEPARATION WALL (PROPERTY LINE)

---2"x2.5" ALUM. ANGLE "BREAK-AWAY' CLIPS " SECURED TO 'H' STUDS

—2x BAND JOISTS

—3/4" GYP. BD.



ATTACHMENT. 3 1/2" GLASS FIBER IN STUD SPACE BOTH SIDES.

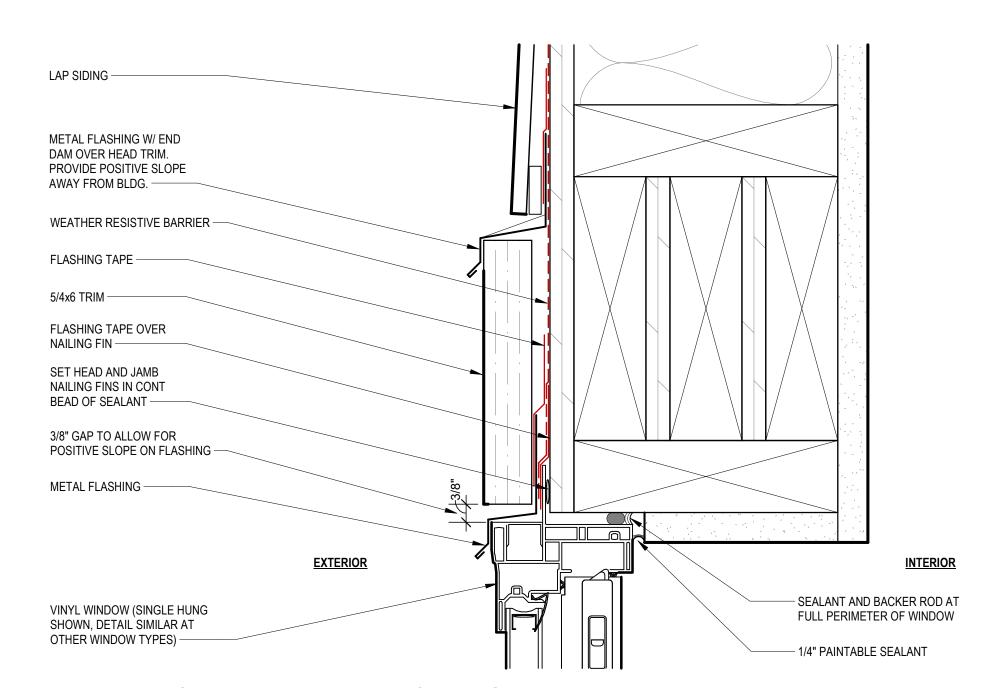
6A. CLIP PLACEMENT FOR SEPARATION WALLS UP TO 23 FT HIGH: SPACE CLIPS A MAX OF 10 FT OC VERTICALLY BETWEEN WOOD OR STEEL FRAMING AND 'H' STUDS.

6B. CLIP PLACEMENT FOR SEPARATION WALLS UP TO 54 FT HIGH: SPACE CLIPS AS DESCRIBED IN ITEM 6A FOR UPPER 24 FT. REMAINING WALL AREA BELOW REQUIRES CLIPS SPACED MAX OF 5 FT OC VERTICALLY BETWEEN WOOD OR STEEL FRAMING AND 'H' STUDS.

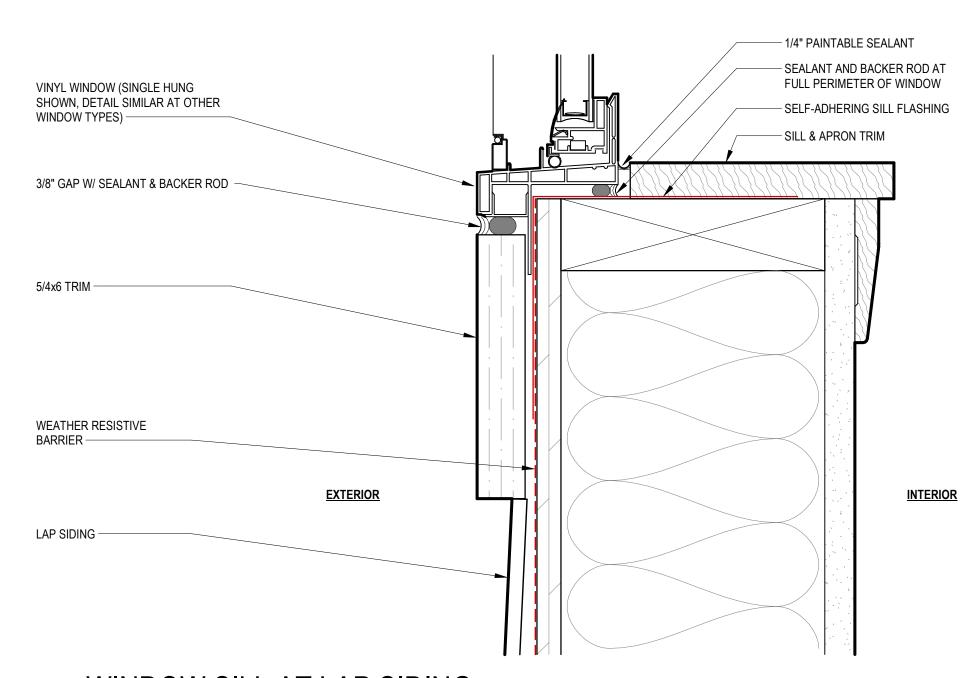
2-HR RATED WALL

1" = 1'-0"

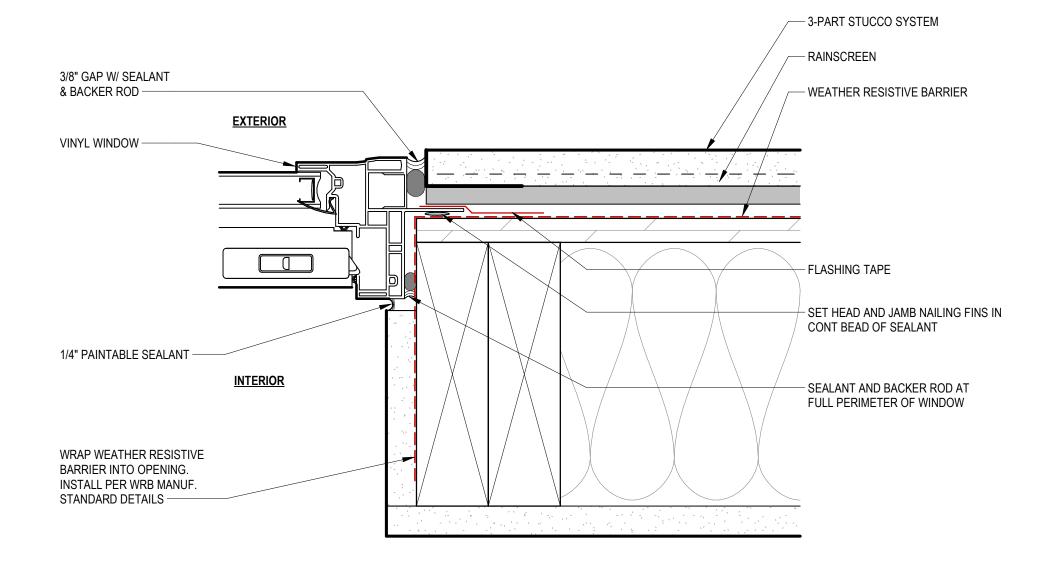
# 9 WINDOW JAMB AT LAP SIDING 6" = 1'-0"



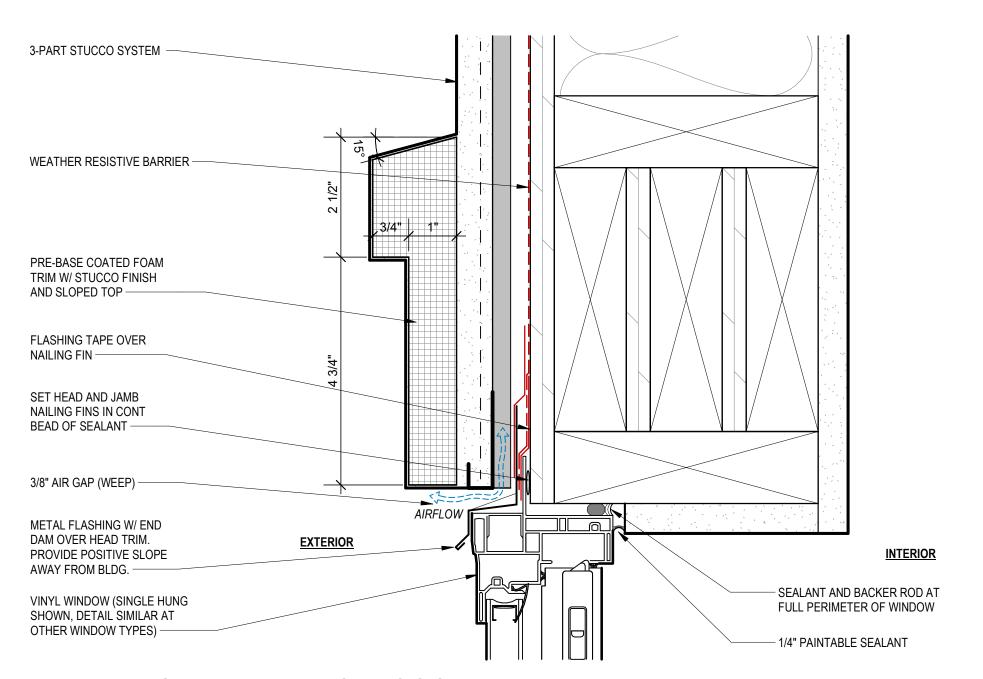
# 8 WINDOW HEAD AT LAP SIDING



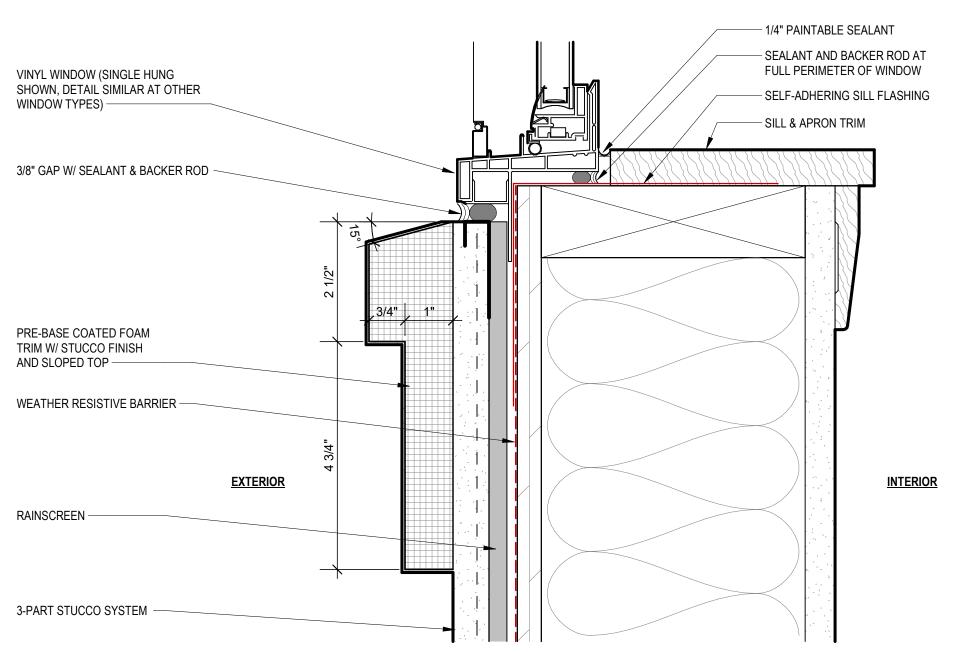
# 7 WINDOW SILL AT LAP SIDING 6" = 1'-0"



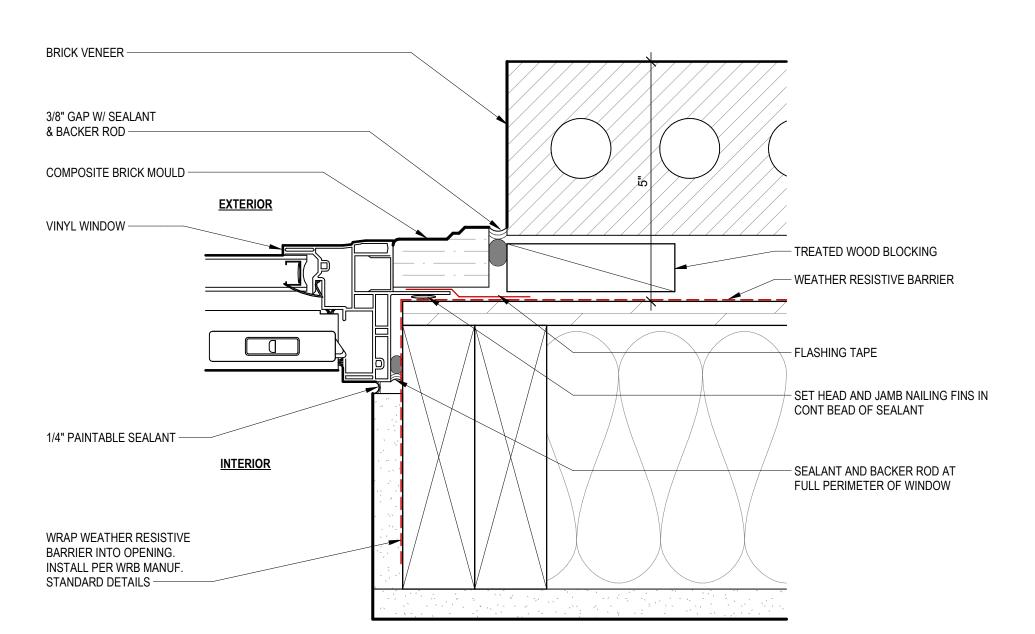
# WINDOW JAMB AT STUCCO



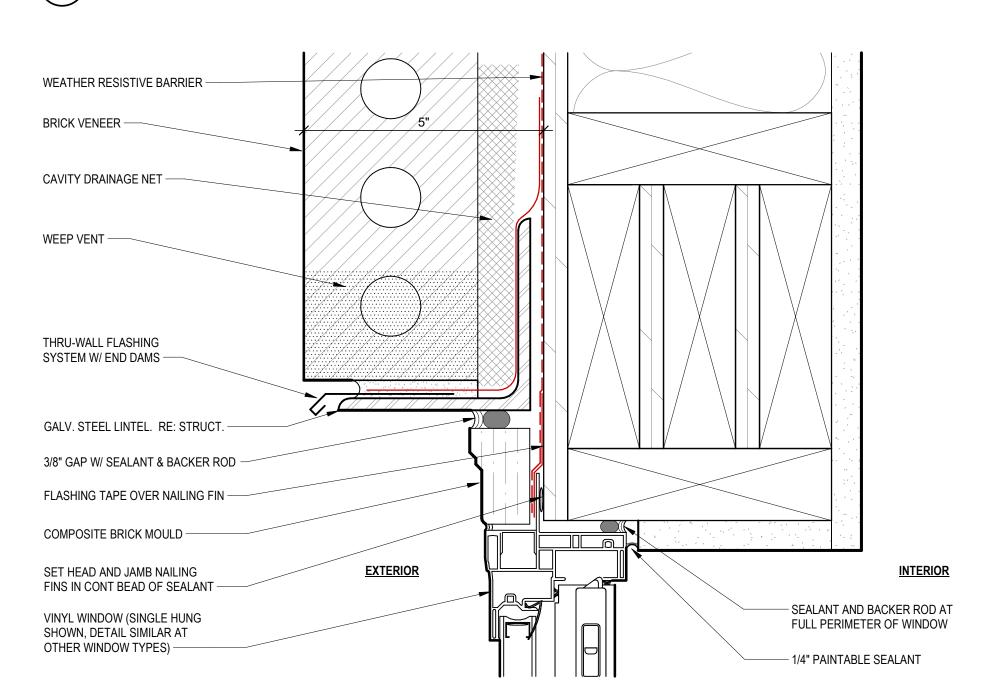
# WINDOW HEAD AT STUCCO 6" = 1'-0"



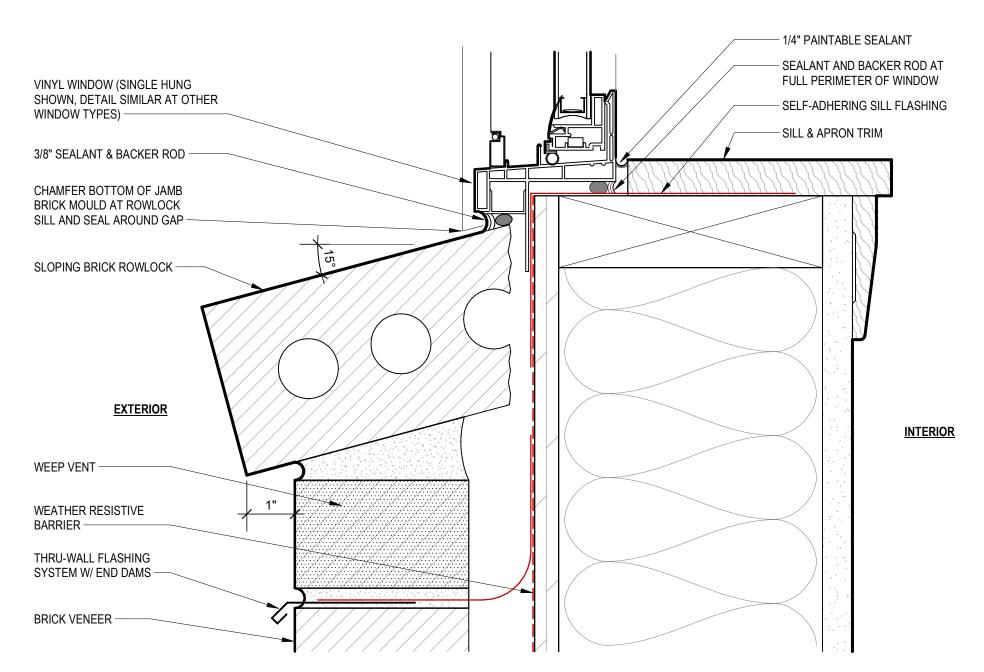
# WINDOW SILL AT STUCCO 6" = 1'-0"



# WINDOW JAMB AT BRICK VENEER 6" = 1'-0"



# WINDOW HEAD AT BRICK VENEER 6" = 1'-0"



# WINDOW SILL AT BRICK VENEER 6" = 1'-0"

MISSOURI **IHOME** 

DVIEW, 401

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JOB NO. 736623 06.06.2024 **DRAWN BY** TWH, MLM, NSO

SHEET NAME WINDOW H/J/S DETAILS