

**Oklahoma City**420 W Main St., 8th Floor  
Oklahoma City, OK 73102**Final Report - Approved****Application No. BLDC-2022-07209**

**Description :** Internal remodel of office space into orthopedic medical clinic where office hours are 10 am to 7 p.m. Patients do not stay overnight and this is not considered a true emergency medical clinic. (see attached letter from medical director)

**Address :** 2220 164TH ST N/A, OKLAHOMA CITY, OK, 73013

**Record Type :** Building - Commercial

**Document Filename :** BLDC-2022-07209 DOC-Edmond Rev2 Drawings 9.28.22.pdf

Comment Author Contact Information:

Author Name	Author Email	Author Phone No.:
Tonya Marti	<a href="mailto:tonya.marti@okc.gov">tonya.marti@okc.gov</a>	405-297-2722

General Comments

Comment ID	Author : Department	Status	General Comments	Applicant Response Comments
2	Tonya Marti : Development Services	Open	2015 IBC 505.2.3 A MEXXANINE SHALL BE OPEN AND UNIBSTRUCTED TO THE ROOM IN WHICH SUCH MEZZANINE IS LOCATED EXCEPT FOR WALLS NOT MORE THAN 42 INCHES IN HIEGHT, COLUMNS AND POSTS.	
6	Tonya Marti : Development Services	Open	any equipment attached to the slab will require a separate permit	
11	Tonya Marti : Development Services	Open	1 hr rated corridor with 20 min doors and closers	
15	Tonya Marti : Development Services	Open	Code Review: 2015 IEBC, 2015 IBC Scope of Work: CAHNGE OF USE REMODEL Type of Construction: VB Use Group: B/A-3/S-1 Sprinkler: NO Occupancy Load: 88 Zoning: PUD-923 Last CO: BLDC-2015-00348 This Review Covers Building Code Compliance Only: All Other Work, i.e., Mechanical, Electrical, Plumbing, etc., Shall Comply with Their Respective Codes.	

Comment ID	Author : Department	Status	General Comments	Applicant Response Comments
			The Owner Must Independently Achieve Compliance with The Americans With Disabilities Act. All work shall comply with all local ordinances and codes, including all applicable sections of the International Building Code as adopted by The City of Oklahoma City. An approved set of building plans, along with the review worksheet(s), must be on the site at all times. Remodel as per approved plans	
16	Tonya Marti : Development Services	Open	Emergency egress lighting & illuminated exit signs including Tactile Exit Signs at req'd doors. Code Reference: IBC 2015 SECTION 1008 MEANS OF EGRESS ILLUMINATION	
17	Tonya Marti : Development Services	Open	Restroom (s) to comply with ICC/ANSI Standard. 36" rear, 42" side and 18" vertical grab bars required in accessible stall. - Code Reference: ICC/ANSI A117.1 Sections 604.5.1 Fixed Side Wall Grab Bars & 604.5.2 Rear Wall Grab Bars 16" min. and 18" max. req'd from wall to C.L. of WC. - Code Reference: ICC/ANSI A117.1 Sections 604 Water Closets and Toilet Compartments (604.2 Location) 60" clear required from WC wall to sink/ cabinet edge. Code Reference: ICC/ANSI A117.1 Sections 604 Water Closets and Toilet Compartments (604.3 Clearance) Maximum 34" height req'd for accessible sink(s) including breakroom sink. Code Reference: ICC/ANSI A117.1 Sections 606 Lavatories and Sinks (606.3 Height) Maintain a clear path/aisle to exits. Code Reference: IBC 2015 SECTION 1018 AISLES Mounting heights of all accessible elements must comply with ICC/ANSI A117.1.	
18	Tonya Marti : Development Services	Open	An accessible route at least 36" wide must be provided at all accessible elements. Code Reference: ICC/ANSI A117.1 Section 403.5 Clear Width	
19	Tonya Marti : Development Services	Open	Interior exit stairways, ramps, and exit passageways must have a Class A: = Flame spread index = 0-25 and smoke developed index = 0-450. Corridors and enclosures for exit access stairways and ramps must have a Class B: = Flame spread index = 26-75 and smoke developed index = 0-450. Rooms and enclosed spaces must have a Class C: = Flame spread index = 76-200 and smoke developed index = 0-450. Code Reference: IBC 2015 Table 803.11 Interior Wall And Ceiling Finish Requirements By Occupancy	
20	Tonya Marti : Development Services	Open	THIS REVIEW COVERS BUILDING CODE COMPLIANCE ONLY: ALL OTHER WORK, ie., MECHANICAL, ELECTRICAL, PLUMBING, ETC., SHALL COMPLY WITH THEIR RESPECTIVE CODES	
21	Tonya Marti : Development Services	Open	Accessible service counter req'd- Max. 36" high/ Min 36" wide Code Reference: ICC/ANSI A117.1 904.3 Sales and Service Counters	

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Annotation Type	Author : Department	Status	Page	Review Comments	Applicant Response Comments
	A-Cover Sheet	Callout	Tonya Marti : Development Services	Open	1	2017 NEC	

# DIRECT ORTHOPEDIC CARE INTERIOR IMPROVEMENTS

2220 NW 164TH STREET  
 EDMOND, OKLAHOMA 73013

THIS SHEET IS PART OF THE APPROVED PLANS. CITY OF OKLAHOMA CITY DEVELOPMENT CENTER

**CONSULTANT:**

**PCD BUILDING CORP.**  
 1503 CRISTY AVE.  
 ORLANDO, FLORIDA 32803  
 PHONE: (407) 782-5262  
 CONTACT: PAUL DOUGHERTY, PRESIDENT  
 EMAIL: PAUL@PCDBUILDINGCORP.COM

**ARCHITECT:**

**C4 ARCHITECTURE, LLC**  
 135 W. CENTRAL BLVD. SUITE 400  
 ORLANDO, FLORIDA 32801  
 PHONE: (407) 363-6136 EXT. 207  
 CONTACT: MICHAEL J. ALBANESE, RA, NCARB  
 EMAIL: MALBANESE@C4ARCHITECTURE.COM

**MECHANICAL ENGINEER:**

**EIERMANN ENGINEERING**  
 1015 WEBSTER AVENUE  
 ORLANDO, FLORIDA 32804  
 PHONE: (407) 296-6991  
 CONTACT: ERIC EIERMANN, PE  
 EMAIL: EEIENG@AOL.COM

**PLUMBING ENGINEER:**

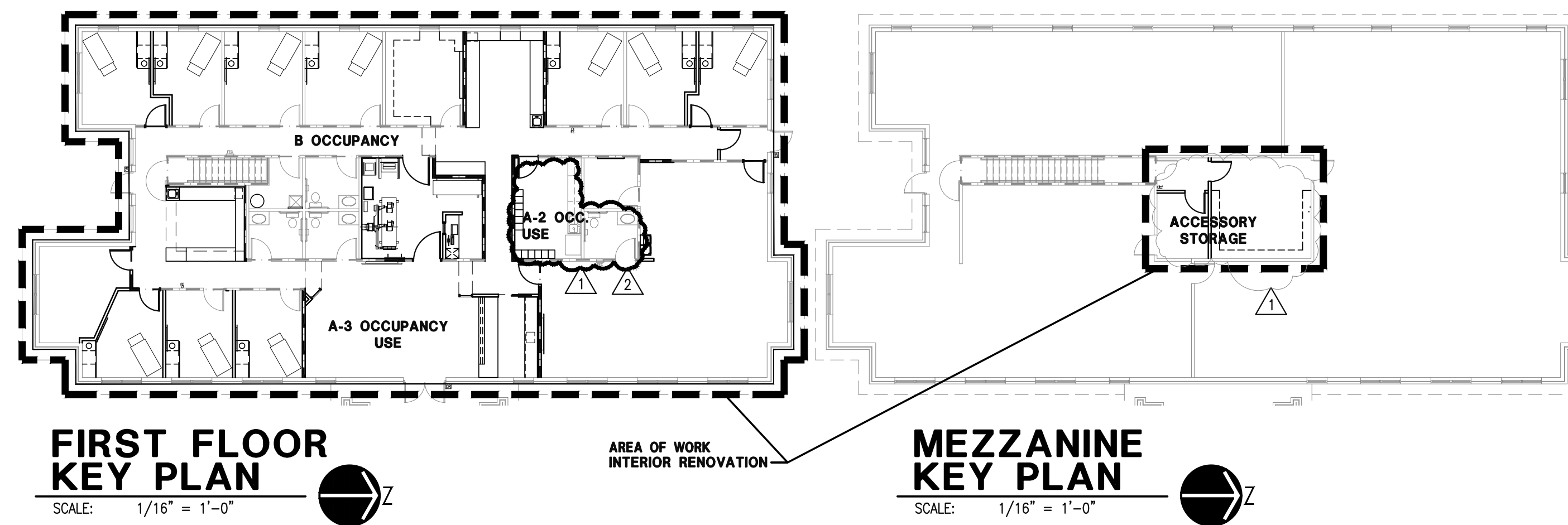
**EIERMANN ENGINEERING**  
 1015 WEBSTER AVENUE  
 ORLANDO, FLORIDA 32804  
 PHONE: (407) 296-6991  
 CONTACT: ERIC EIERMANN, PE  
 EMAIL: EEIENG@AOL.COM

**ELECTRICAL:**

**CLEAR ENGINEERING**  
 13651 CRYSTAL RIVER DRIVE  
 ORLANDO, FLORIDA 32828  
 PHONE: (407) 277-3431  
 CONTACT: SERGIO ROIG, PE  
 EMAIL: SERGIO@CLEAR-ENGR.COM  
 ENGINEER OF RECORD: ERIC EIERMANN, PE



**PROJECT LOCATION**  
 2218 NW 164TH STREET  
 FIRST FLOOR & MEZZ.  
**VICINITY PLAN**  
 SCALE: NOT TO SCALE



**CODE INFORMATION**

**PROJECT SQUARE FOOTAGE:**

TOTAL EXISTING USABLE AREA - FIRST FLOOR SUITE	= 5,321 SQ. FT.
TOTAL EXISTING USABLE AREA - MEZZANINE	= 345 SQ. FT.
TOTAL EXISTING GROSS BUILDING AREA SQUARE FEET	= 5,454 SQ. FT.
TOTAL CALCULATED OCCUPANT LOAD (DIRECT ORTHO. CARE)	87 OCCUPANTS
NEW INTERIOR IMPROVEMENTS PROJECT - NO ALTERATION TO EXISTING SHELL BUILDING	

**CONSTRUCTION TYPE:**

TYPE V-B - UNPROTECTED, NON-SPRINKLERED (IBC)	NO FIRE ALARM REQUIRED
TYPE V(000) - UNPROTECTED, NON-SPRINKLERED (IFC)	NO FIRE ALARM REQUIRED

**OCCUPANCY:**

B- BUSINESS, A-2 AND A-3 ASSEMBLY USES PER 2015 INTERNATIONAL BUILDING CODE.
B- BUSINESS, A-2 AND A-3 ASSEMBLY USES PER 2015 INTERNATIONAL FIRE CODE.

- APPLICABLE BUILDING CODES:**
- 2015 INTERNATIONAL BUILDING CODE
  - 2014 NATIONAL ELECTRICAL CODE
  - 2015 INTERNATIONAL PLUMBING CODE
  - 2015 INTERNATIONAL MECHANICAL CODE
  - 2015 INTERNATIONAL FIRE CODE
  - 2009 AMERICAN NATIONAL STANDARDS INSTITUTE A117.1
  - 2010 ADAAG ADA ACCESSIBILITY GUIDELINES
  - 2009 INTERNATIONAL ENERGY CONSERVATION CODE

**MUNICIPALITY:**  
 OKLAHOMA COUNTY, OKLAHOMA

**PROPERTY ID #**  
 R211851010

**PROPERTY DESCRIPTION:**  
 PENN POINTE OFFICE PARK BLK 2 002 000 LOTS 2 & 3

**NOTES:**  
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND INSTALL ALL NECESSARY COMPONENTS FOR THE PROPER OPERATION OF ALL SPECIFIED SYSTEMS, REGARDLESS OF WHETHER THOSE COMPONENTS ARE SHOWN ON THE DRAWINGS OR NOT. CONTRACTOR SHALL ALSO VERIFY THAT SPECIFIED COMPONENTS ARE COMPATIBLE WITH OTHERS WITHIN THE SAME SYSTEM AND WITH THE SYSTEM ITSELF.

**PROJECT NO. 22199**

**DATE:**  
 JUNE 22, 2022

Digitally signed by Michael J Albanese  
 Date: 2022.09.28 09:51:52 -04'00'

**SHEET INDEX**

ARCHITECTURAL		
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2	6/22/22	EXISTING SHELL SITE PLAN - REFERENCE DRAWING ONLY
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2	9/28/22	IA200 LIFE SAFETY PLAN & CODE COMPLIANCE FIXTURE COUNTS
2	9/28/22	IA200A FIRST FLOOR AND MEZZANINE MERCH FLOOR PLANS
2	9/28/22	IA201 CONSTRUCTION PLAN, WALL TYPES, DETAILS AND NOTES
2	9/28/22	IA202 EQUIPMENT AND MILLWORK PLAN AND NOTES
2	9/28/22	IA203 REFLECTED CEILING PLAN, DETAIL AND NOTES
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2	6/22/22	IA302 SOFFIT AND WALL SECTIONS
2	9/28/22	IA501 DOOR AND HARDWARE SCHEDULE & ADA DETAILS
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2	6/22/22	IA505 MILLWORK SECTIONS, X-RAY VENDOR DRAWINGS
2	6/22/22	IA506 UL DESIGN DETAIL U485
2	6/22/22	IA507 UL DESIGN DETAIL P522
2	6/22/22	IA508 UL DESIGN DETAIL U415
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6/22/22	M101	MECHANICAL MEZZANINE LEVEL PLAN
6/22/22	M200	MECHANICAL NOTES, DETAILS & SCHEDULES
6/22/22	M201	MECHANICAL NOTES, DETAILS & SCHEDULES

PLUMBING		
6/22/22	P100	FIRST LEVEL SANITARY FLOOR PLAN
6/22/22	P200	FIRST LEVEL DOMESTIC WATER PLAN
6/22/22	P300	SECOND LEVEL PLUMBING PLAN
6/22/22	P400	PLUMBING SCHEDULES, NOTES & DETAILS
6/22/22	P500	PLUMBING ISOMETRICS


ELECTRICAL		
6/22/22	E001	ELECTRICAL NOTES, SYMBOLS & DIAGRAM
6/22/22	E101	FIRST FLOOR LIGHTING PLAN
6/22/22	E102	SECOND FLOOR LIGHTING PLAN
6/22/22	E201	FIRST FLOOR POWER & SYSTEMS
6/22/22	E202	SECOND FLOOR POWER & SYSTEMS

**NOTICE:**  
 One (1) Set of Approved Building plans must remain on construction site during construction.

DIRECT ORTHOPEDIC CARE, EDMOND, OKLAHOMA INTERIOR IMPROVEMENTS  
**PERMIT REVIEW SET #3**  
 SEPTEMBER 28, 2022  
 22199

THIS SHEET IS PART OF THE APPROVED PLANS. CITY OF OKLAHOMA CITY DEVELOPMENT CENTER

Owner:  
**DIRECT ORTHOPEDIC CARE**



ARCHITECTURE  
135 W. Central Blvd., Suite 400  
Orlando, Florida 32801  
TEL: 407.363.6136  
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Project:  
**DIRECT ORTHOPEDIC CARE**  
**INTERIOR IMPROVEMENTS**  
**2220 NW 164TH STREET, EDMOND, OKLAHOMA**


**Scope Drawings:**  
These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.  
The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.  
On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:  
**DEMOLITION FLOOR PLAN AND NOTES**

**Revisions:**

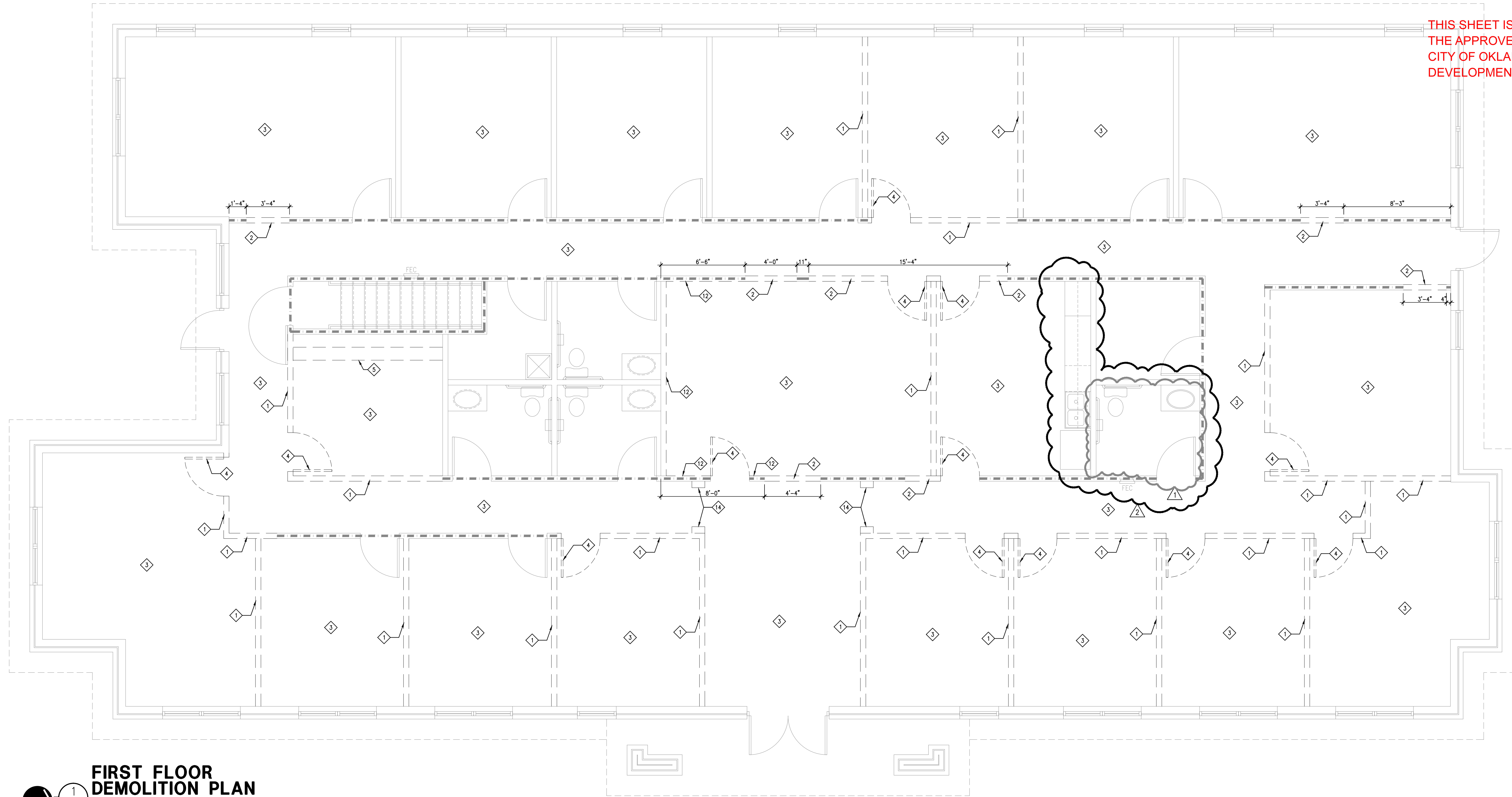
△ 1	CITY COMMENTS 9.23.22
△ 2	CITY COMMENTS 9.28.22

Issue Date	Drawn By	Checked By
6/22/22	MJA	MJA

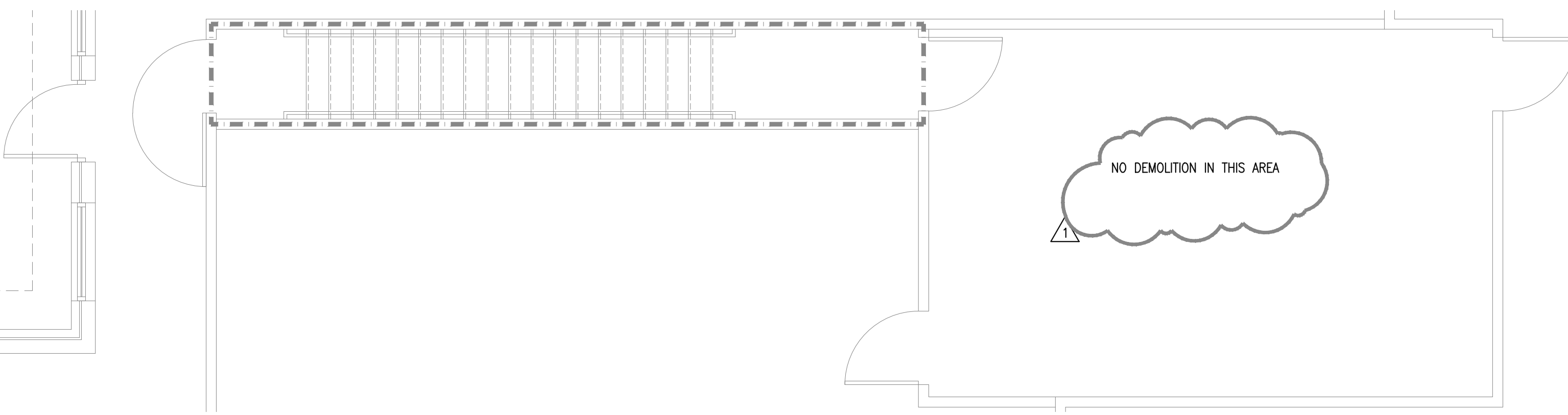
Certified By:  
  
Michael J. Albanese  
Date: 2022.09.28  
10:03:35 -04'00'

Drawing Number:  
**IA100**

Project Number:  
**22199**



**FIRST FLOOR DEMOLITION PLAN**  
1  
A100  
SCALE: 1/4"=1'-0"



**MEZZANINE DEMOLITION PLAN**  
2  
A100  
SCALE: 1/4"=1'-0"

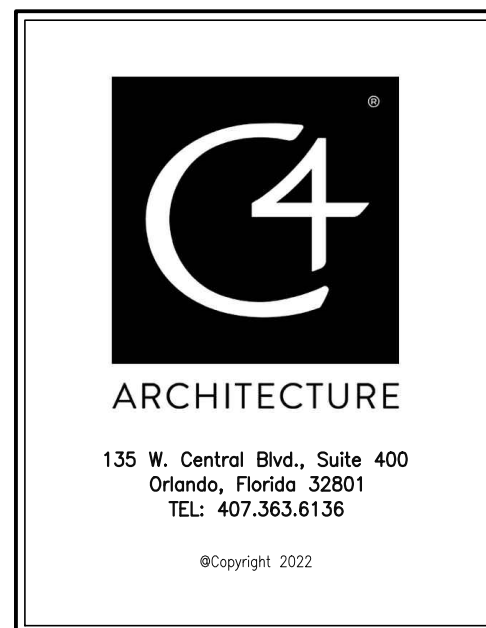
**DEMOLITION NOTES**

- 1 DEMOLISH EXISTING PARTITIONS AND PREP FOR NEW CONSTRUCTION.
- 2 DEMOLISH EXISTING SEGMENT OF PARTITION AND PREP FOR NEW CONSTRUCTION.
- 3 DEMOLISH EXISTING FLOOR FINISH AND APPLICABLE BASE, AND PREP FOR NEW FINISHES.
- 4 REMOVE EXISTING WOOD DOOR & FRAME AND RELOCATE IF IN GOOD QUALITY CONDITION.
- 5 DEMOLISH EXISTING MILLWORK AND PREP FOR NEW CONSTRUCTION.
- 6 REMOVE EXISTING EXIT LIGHT AND RELOCATE, IF IN GOOD QUALITY CONDITION. SEE ELECTRICAL DRAWINGS.
- 7 DEMOLISH EXISTING LIGHT FIXTURES AND ACCESSORIES.
- 8 REMOVE EXISTING MECHANICAL DIFFUSERS AND PREP FOR NEW CONSTRUCTION. SEE MECHANICAL DRAWINGS.
- 9 DEMOLISH EXISTING CEILING GRID AND TILES AND PREP FOR NEW CONSTRUCTION.
- 10 DEMOLISH EXISTING MILLWORK AND SINK AND PREP FOR NEW CONSTRUCTION. CAP PLUMBING LINES AT FLOOR AND PREP FOR NEW FLOOR FINISHES.
- 11 DEMOLISH EXISTING WOOD CASED OPENING AND ASSOCIATED FRAMING AND PREP FOR NEW CONSTRUCTION.
- 12 DEMOLISH INSIDE FACE OF EXISTING GYPSUM BOARD.
- 13 DEMOLISH EXISTING GYPSUM BOARD CEILING AND PREP FOR NEW CONSTRUCTION.
- 14 DEMOLISH EXISTING WOOD CASED OPENING.
- 15 NOT USED.
- 16 REMOVE AND RELOCATE EXISTING RECESSED CAN LIGHT FIXTURES.

**NOTICE**  
One (1) Set of Approved Building plans must remain on construction site during construction.

THIS SHEET IS PART OF THE APPROVED PLANS. CITY OF OKLAHOMA CITY DEVELOPMENT CENTER

Owner:  
**DIRECT ORTHOPEDIC CARE**



Project:  
**DIRECT ORTHOPEDIC CARE**  
**INTERIOR IMPROVEMENTS**  
**2220 NW 164TH STREET, EDMOND, OKLAHOMA**

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The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.  
On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:  
**DEMOLITION REFLECTED CEILING PLAN AND NOTES**

**Revisions:**

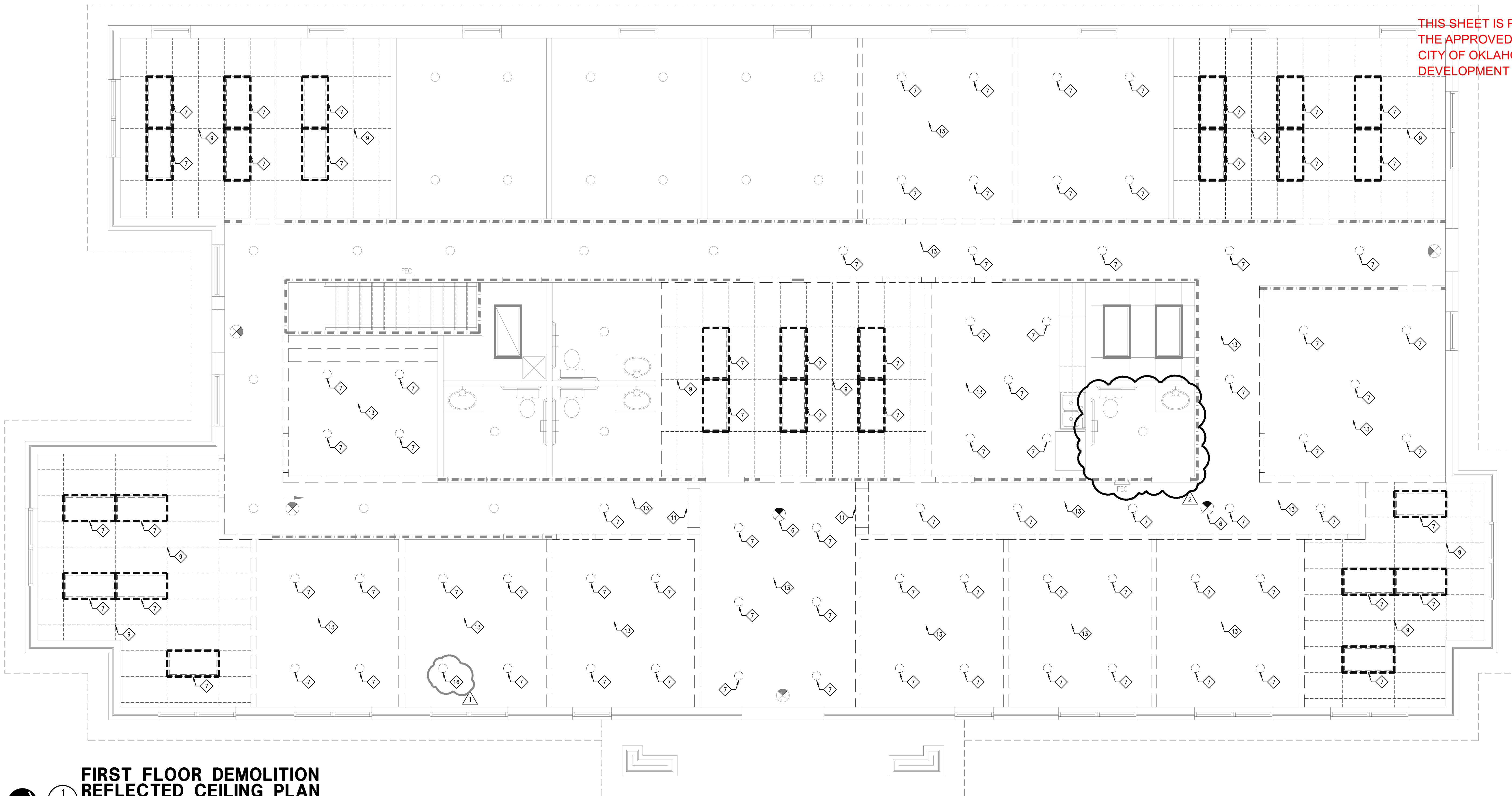
▲	CITY COMMENTS 9.23.22
▲	CITY COMMENTS 9.28.22

<b>Issue Date</b>	<b>Drawn By</b>	<b>Checked By</b>
6/22/22	MJA	MJA

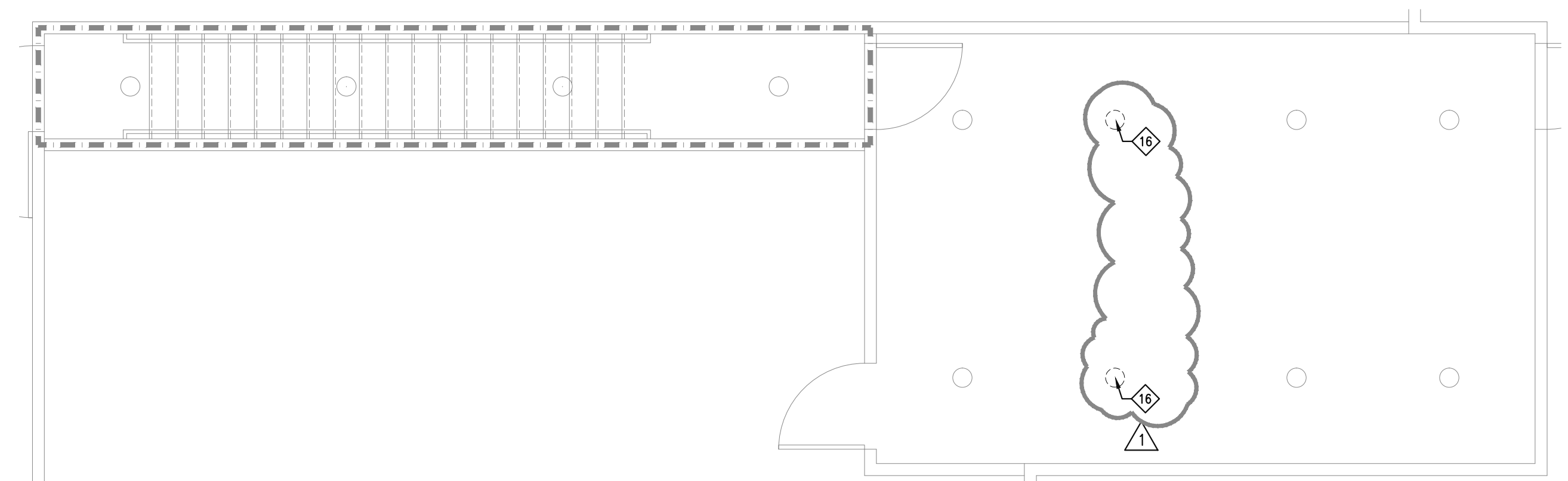
**Certified By:**  
MICHAEL J. ALBANESE  
Professional Engineer  
No. 100355-0400  
Date: 2022.09.28

Drawing Number:  
**IA101**

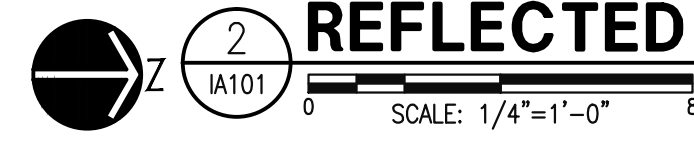
Project Number:  
**22199**



**FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN**



**MEZZANINE DEMOLITION REFLECTED CEILING PLAN**



**DEMOLITION NOTES**

- 1 DEMOLISH EXISTING PARTITIONS AND PREP FOR NEW CONSTRUCTION.
- 2 DEMOLISH EXISTING SEGMENT OF PARTITION AND PREP FOR NEW CONSTRUCTION.
- 3 DEMOLISH EXISTING FLOOR FINISH AND APPLICABLE BASE, AND PREP FOR NEW FINISHES.
- 4 REMOVE EXISTING WOOD DOOR & FRAME AND RELOCATE IF IN GOOD QUALITY CONDITION.
- 5 DEMOLISH EXISTING MILLWORK AND PREP FOR NEW CONSTRUCTION.
- 6 REMOVE EXISTING EXIT LIGHT AND RELOCATE, IF IN GOOD QUALITY CONDITION. SEE ELECTRICAL DRAWINGS.
- 7 DEMOLISH EXISTING LIGHT FIXTURES AND ACCESSORIES.
- 8 REMOVE EXISTING MECHANICAL DIFFUSERS AND PREP FOR NEW CONSTRUCTION. SEE MECHANICAL DRAWINGS.
- 9 DEMOLISH EXISTING CEILING GRID AND TILES AND PREP FOR NEW CONSTRUCTION.
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- 13 DEMOLISH EXISTING GYPSUM BOARD CEILING AND PREP FOR NEW CONSTRUCTION.
- 14 DEMOLISH EXISTING WOOD CASED OPENING.
- 15 NOT USED.
- 16 REMOVE AND RELOCATE EXISTING RECESSED CAN LIGHT FIXTURES.

**NOTICE**  
One (1) Set of Approved Building plans must remain on construction site during construction.

ELECTRICAL, PLUMBING, HEAT AND AIR, FENCE, SIGN, SIDEWALK, AND DRIVEWAY CONSTRUCTION SHALL BE PERFORMED BY A LICENSED AND BONDED CONTRACTOR AND SHALL CONFORM TO THE RESPECTIVE CODE REQUIREMENTS FOR EACH.

**CODE COMPLIANCE**

**BUILDING DATA**  
 CONSTRUCTION TYPE: V-B, UNPROTECTED, NON-SPRINKLERED PER 2015 INTERNATIONAL FIRE CODE  
 CONSTRUCTION TYPE: V(00), UNPROTECTED, NON-SPRINKLERED PER 2015 INTERNATIONAL FIRE CODE  
 NUMBER OF FLOORS = 1 (ORTHOPEDIC GROUP)  
 TOTAL EXISTING GROSS BUILDING AREA = 5,454 S.F.  
 MAXIMUM ALLOWABLE AREA: 9,000 SQ. FT. FOR NON-SPRINKLERED BUILDING  
 TOTAL EXISTING USABLE AREA - FIRST FLOOR SUITE = 5,321 S.F.  
 TOTAL EXISTING USABLE AREA - MEZZANINE = 345 S.F.  
 TOTAL CALCULATED OCCUPANT LOAD FOR DIRECT ORTHOPEDIC CARE = 87 OCCUPANTS  
 MAXIMUM BUILDING HEIGHT = 40' N/A TENANT IMPROVEMENTS  
 MAXIMUM NUMBER OF STORIES ALLOWED = 2  
 BUILDING HEIGHT PROVIDED = 23'-7" TOP OF RIDGE

**OCCUPANT LOAD** (PER 2015 INTERNATIONAL BUILDING CODE)  
 (PER 2015 INTERNATIONAL FIRE CODE)  
 B, BUSINESS PER 2015 INTERNATIONAL FIRE CODE  
 PRIMARY FUNCTION IS A BUSINESS.  
 BUSINESS / GROUP 'B' OCCUPANCY  
 4,752 S.F. (BUSINESS USE AT 1 PER 100 S.F.) = 48 OCCUPANTS  
 345 S.F. (ACCESSORY STORAGE USE-MEZZANINE AT 1 PER 300 S.F.) = 1 OCCUPANT  
 TOTAL B OCCUPANCY = 49 OCCUPANTS

**MEANS OF EGRESS** (PER 2015 INTERNATIONAL BUILDING CODE)  
 (PER 2015 INTERNATIONAL FIRE CODE)  
 BUSINESS (GROUP 'B' OCCUPANCY)  
 MAXIMUM ALLOWABLE TRAVEL DISTANCE = 200 FT. (NON-SPRINKLERED)  
 MAXIMUM PROVIDED TRAVEL DISTANCE = 75'-9"  
 MAXIMUM ALLOWABLE DEAD END CORRIDOR LENGTH = 20' (NON-SPRINKLERED)  
 COMMON PATH OF TRAVEL NOT TO EXCEED = 75' (NON-SPRINKLERED)  
 MAXIMUM PROVIDED COMMON PATH OF TRAVEL = 17'-2" (72'-4" AT MEZZANINE)

**MINIMUM CLEAR OPENING OF EXIT DOORS:**  
 FIRST FLOOR  
 EGRESS WIDTH PER PERSON SERVED = 2 IN.  
 1ST FLOOR TENANT = .2 INCHES x 49 = 9.8 IN. REQUIRED (138 IN. PROVIDED)  
 EXITS PROVIDED 1ST FLOOR TENANT: 2 EXITS REQUIRED MEZZANINE: 1  
 EXITS PROVIDED MEZZANINE: 3 EXITS PROVIDED MEZZANINE: 1  
 MINIMUM ALLOWABLE CORRIDOR WIDTH = 44 IN. PER CHAPTER 1020.2 2015 IBC  
 MINIMUM ALLOWABLE STAIR WIDTH = 44 IN. PER CHAPTER 1005.3.1 2015 IBC

**OCCUPANT LOAD** (PER 2015 INTERNATIONAL BUILDING CODE)  
 (PER 2015 INTERNATIONAL FIRE CODE)  
 ANCILLARY USE PER 2015 IBC  
 BREAK ROOM  
 ASSEMBLY / GROUP 'A-2' OCCUPANCY USE  
 149 S.F. (ASSEMBLY ANCILLARY USE AT 1 PER 15 S.F.) = 10 OCCUPANTS

**MEANS OF EGRESS** (PER 2015 INTERNATIONAL BUILDING CODE)  
 (PER 2015 INTERNATIONAL FIRE CODE)  
 ASSEMBLY USE (GROUP 'A-2' OCCUPANCY USE)  
 MAXIMUM ALLOWABLE TRAVEL DISTANCE = 200 FT. (NON-SPRINKLERED)  
 MAXIMUM PROVIDED TRAVEL DISTANCE = 55'-6"  
 MAXIMUM ALLOWABLE DEAD END CORRIDOR LENGTH = 20' (NON-SPRINKLERED)  
 COMMON PATH OF TRAVEL NOT TO EXCEED = 75' (NON-SPRINKLERED)  
 MAXIMUM PROVIDED COMMON PATH OF TRAVEL = 19'-0"

**MINIMUM CLEAR OPENING OF EXIT DOORS:**  
 FIRST FLOOR  
 EGRESS WIDTH PER PERSON SERVED = .2 IN.  
 1ST FLOOR TENANT = .2 INCHES x 10 = 2.0 IN. REQUIRED (138 IN. PROVIDED)  
 EXITS PROVIDED 1ST FLOOR TENANT: 1  
 EXITS PROVIDED 1ST FLOOR TENANT: 1  
 MINIMUM ALLOWABLE CORRIDOR WIDTH = 44 IN. PER CHAPTER 1020.2 2015 IBC  
 MINIMUM ALLOWABLE STAIR WIDTH = 44 IN. PER CHAPTER 1005.3.1 2015 IBC

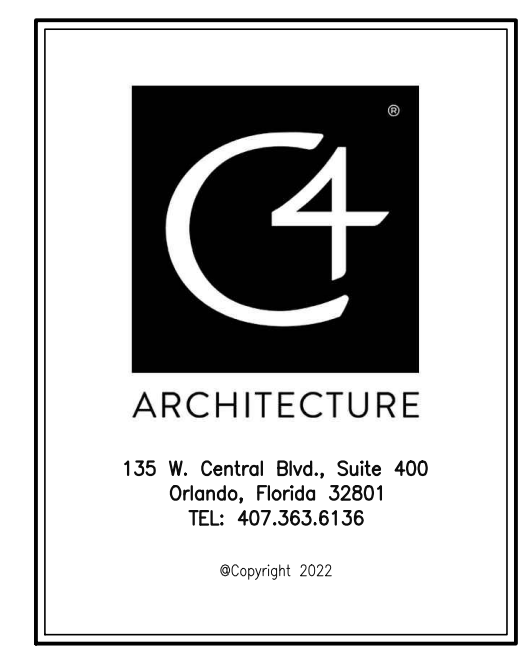
**OCCUPANT LOAD** (PER 2015 INTERNATIONAL BUILDING CODE)  
 (PER 2015 INTERNATIONAL FIRE CODE)  
 ANCILLARY USE PER 2015 IBC  
 LOBBY ROOM  
 ASSEMBLY / GROUP 'A-3' OCCUPANCY USE  
 420 S.F. (BUSINESS USE AT 1 PER 15 S.F.) = 28 OCCUPANTS

**MEANS OF EGRESS** (PER 2015 INTERNATIONAL BUILDING CODE)  
 (PER 2015 INTERNATIONAL FIRE CODE)  
 ASSEMBLY USE (GROUP 'A-3' OCCUPANCY USE)  
 MAXIMUM ALLOWABLE TRAVEL DISTANCE = 200 FT. (NON-SPRINKLERED)  
 MAXIMUM PROVIDED TRAVEL DISTANCE = 39'-6"  
 MAXIMUM ALLOWABLE DEAD END CORRIDOR LENGTH = 20' (NON-SPRINKLERED)  
 COMMON PATH OF TRAVEL NOT TO EXCEED = 75' (NON-SPRINKLERED)  
 MAXIMUM PROVIDED COMMON PATH OF TRAVEL = 14'-3"

**MINIMUM CLEAR OPENING OF EXIT DOORS:**  
 FIRST FLOOR  
 EGRESS WIDTH PER PERSON SERVED = .2 IN.  
 1ST FLOOR TENANT = .2 INCHES x 28 = 5.6 IN. REQUIRED (138 IN. PROVIDED)  
 EXITS PROVIDED 1ST FLOOR TENANT: 2  
 EXITS PROVIDED 1ST FLOOR TENANT: 3  
 MINIMUM ALLOWABLE CORRIDOR WIDTH = 44 IN. PER CHAPTER 1020.2 2015 IBC  
 MINIMUM ALLOWABLE STAIR WIDTH = 44 IN. PER CHAPTER 1005.3.1 2015 IBC

TOTAL TRAVEL DISTANCE (COMMON PATH OF TRAVEL) >>>

Owner:  
**DIRECT ORTHOPEDIC CARE**



Project:  
**DIRECT ORTHOPEDIC CARE**  
**INTERIOR IMPROVEMENTS**  
 2220 NW 164TH STREET, EDMOND, OKLAHOMA

**Scope Drawings:**  
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**Drawing Title:**  
**LIFE SAFETY PLAN & CODE COMPLIANCE, FIXTURE CNTS.**

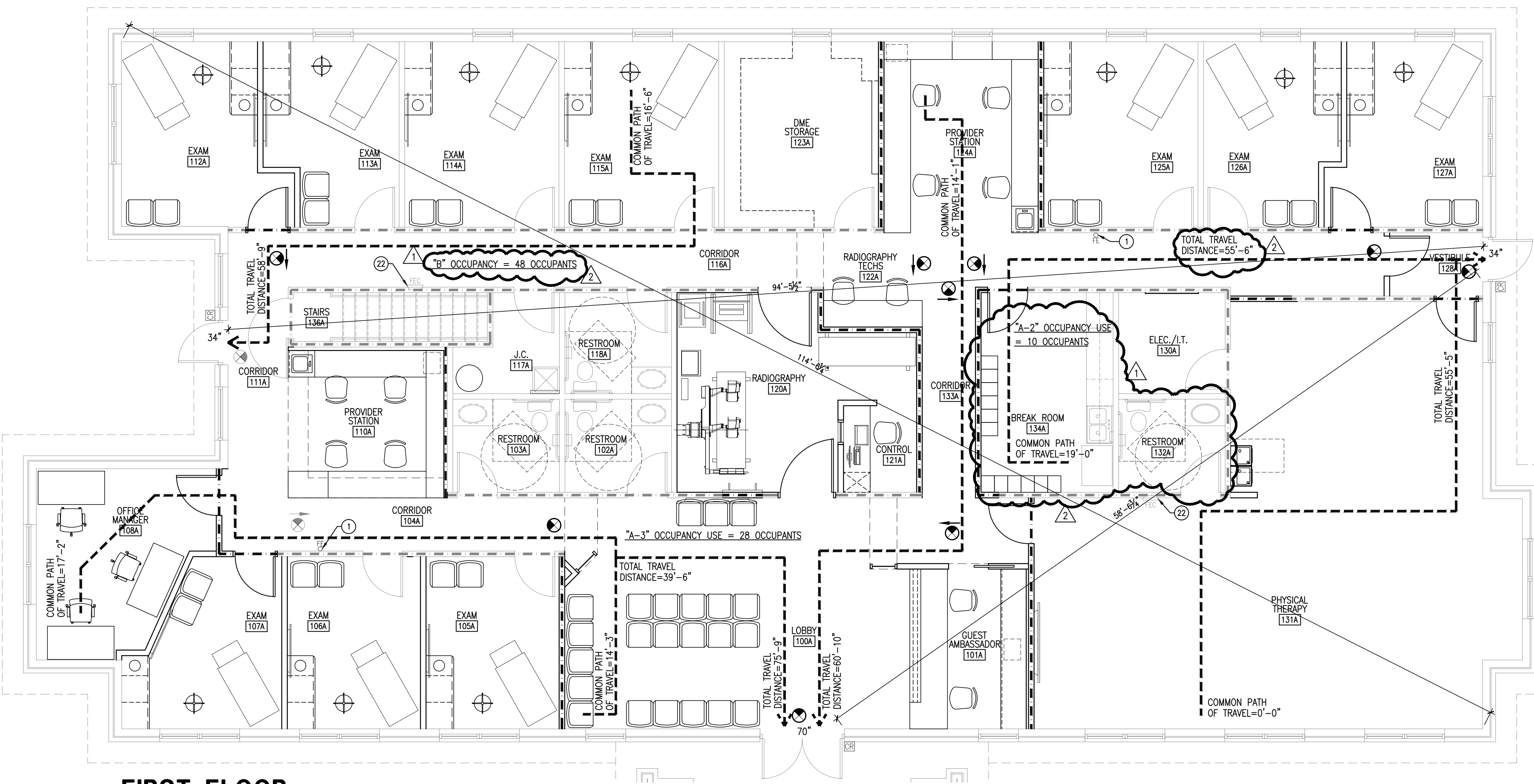
**Revisions:**  
 1 CITY COMMENTS 9.23.22  
 2 CITY COMMENTS 9.28.22

Issue Date	Drawn By	Checked By
6/22/22	MJA	MJA

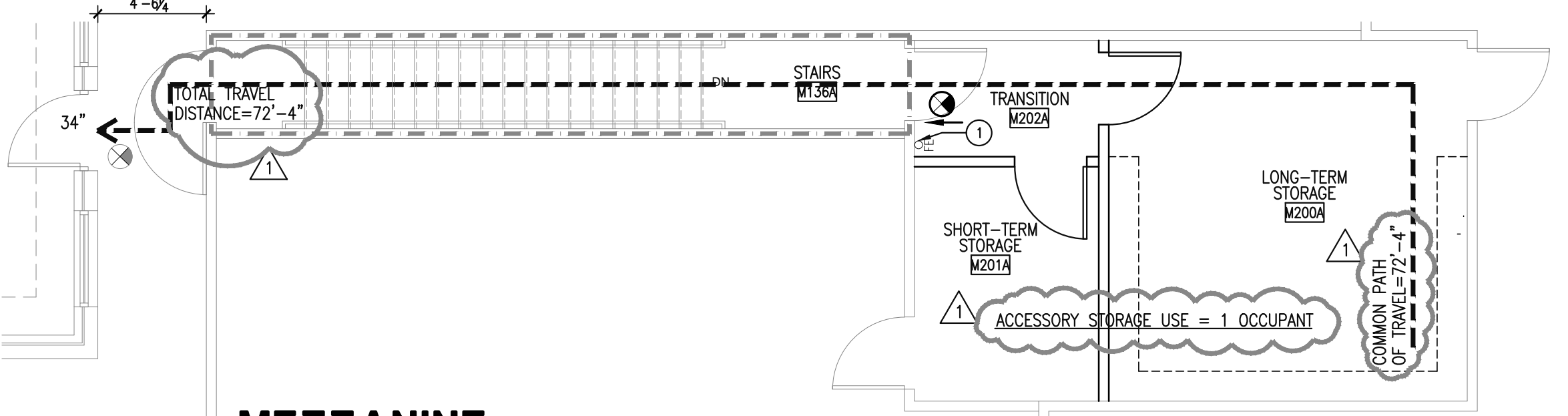
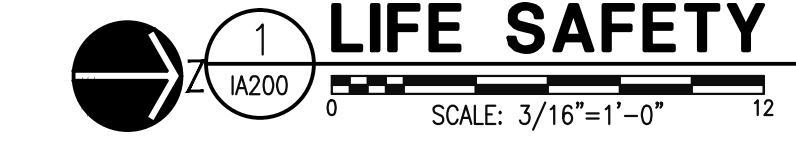
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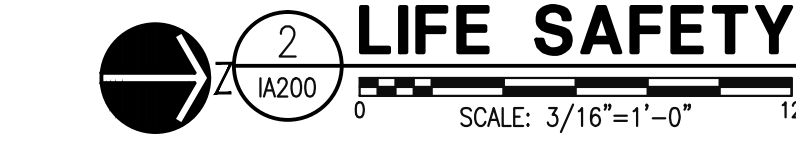
**Project Number:**  
**22199**



**FIRST FLOOR LIFE SAFETY PLAN**



**MEZZANINE LIFE SAFETY PLAN**



**PLAN NOTES:**

- NEW WALL MOUNTED FIRE EXTINGUISHER. MOUNT TOP AT +54" A.F.F. FIRE EXTINGUISHER TO HAVE MIN. RATING OF 2A10BC FOR EVERY 3000 SQ.FT. OF FLOOR AREA. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET. ALL EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED AND READILY ACCESSIBLE. THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 5 FEET ABOVE THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES ABOVE THE FLOOR.
- NEW STAINLESS STEEL SINK. SEE PLUMBING DRAWINGS.
- EXISTING JANITOR'S SINK. FIELD VERIFY LOCATION.
- FURNITURE, PROVIDED AND INSTALLED BY TENANT.
- NEW HIGH-LOW ADA DRINKING FOUNTAINS, PROVIDED AND INSTALLED BY G.C., SEE PLUMBING DRAWINGS.
- EXAM TABLE PROVIDED & INSTALLED BY TENANT.
- CARD READER LOCATION.
- FULL SIZE REFRIGERATOR, PROVIDED AND INSTALLED BY TENANT. PROVIDE 3/4" COLD WATER LINE BY G.C.
- MICROWAVE, PROVIDED AND INSTALLED BY TENANT.
- SURFACE MOUNTED PAPER TOWEL DISPENSER, PROVIDED BY TENANT INSTALLED BY GENERAL CONTRACTOR.
- MOP AND BROOM RACK, TOUGH GUY 26" STAINLESS STEEL, MODEL NO. 1ECL4, PROVIDE P.T. WOOD BLOCKING @ 54" AFF.
- X-RAY MODALITY MODEL: KONICA KDR X-RAY. PROVIDED AND INSTALLED BY VENDOR, SOUTHWEST X-RAY.
- COPIER/PRINTER LOCATION, PROVIDED AND INSTALLED BY TENANT.
- WATER HEATER, SEE PLUMBING DRAWINGS.
- PHONE BOARD W/ FIRE RETARDANT 4'x8' PAINTED WOOD BACKBOARD. COORDINATE LOCATION W/ ELECTRICAL DRAWINGS.
- PRESSURE TREATED WOOD BLOCKING FROM 10'-0" AFF TO 12'-0" AFF
- PRESSURE TREATED WOOD BLOCKING FROM FINISHED FLOOR TO 12'-0" AFF
- TV MONITOR MOUNTED @ 84" AFF. PROVIDE FIRE RETARDANT WOOD BLOCKING AS REQUIRED TO ACCOMMODATE MOUNT.
- LEAD APRON RACK, PROVIDE FIRE RETARDANT WOOD BLOCKING AT HEIGHT PROVIDED BY TENANT.
- 2 OR 3 TIER LOCKERS, PROVIDED & INSTALLED BY TENANT.
- ALIGN FINISH FACES.
- EXISTING FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET TO REMAIN.

**PLUMBING FIXTURES** (PER 2015 INTERNATIONAL PLUMBING CODE)  
 OCCUPANCY: B (BUSINESS/CLINICAL AREAS)  
 REQUIRED FIXTURES:

WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
MALE	FEMALE	MALE	FEMALE		
1 PER 25 FOR FIRST 50 / 1 PER 50 EXCEEDING 50	1 PER 40 FOR FIRST 80 / 1 PER 80 EXCEEDING 80	1 PER 100	1 PER 100	49 PEOPLE/100	SERVICE SINK
.98 MIN.	.98 MIN.	.612 MIN.	.612 MIN.	.49 MIN.	1

OCCUPANCY USE: A-2 ASSEMBLY USE (BREAK ROOM)

WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
MALE	FEMALE	MALE	FEMALE		
1 PER 75	1 PER 75	1 PER 200	1 PER 200	1 PER 500	SERVICE SINK
5 OCC	5 OCC	10 PEOPLE	10 PEOPLE	10 PEOPLE/500	1
.067 MIN.	.067 MIN.	.025 MIN.	.025 MIN.	.02 MIN.	1

OCCUPANCY: A-3 ASSEMBLY USE (LOBBY)

WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
MALE	FEMALE	MALE	FEMALE		
1 PER 125	1 PER 65	1 PER 200	1 PER 200	1 PER 500	SERVICE SINK
14 OCC.	14 OCC.	28 PEOPLE	28 PEOPLE	28 PEOPLE/500	1
.112 MIN.	.215 MIN.	.07 MIN.	.07 MIN.	.056 MIN.	1

TOTAL FIXTURES REQUIRED FOR CALCULATED OCCUPANT LOAD

WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
MALE	FEMALE	MALE	FEMALE		
1.159 MIN.	1.262 MIN.	.707 MIN.	.707 MIN.	.566 FIXTURES	1

PROVIDED FIXTURES: (NEW)

WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
MALE	FEMALE	MALE	FEMALE		
2	2	2	2	2 NEW HI-LOW	1

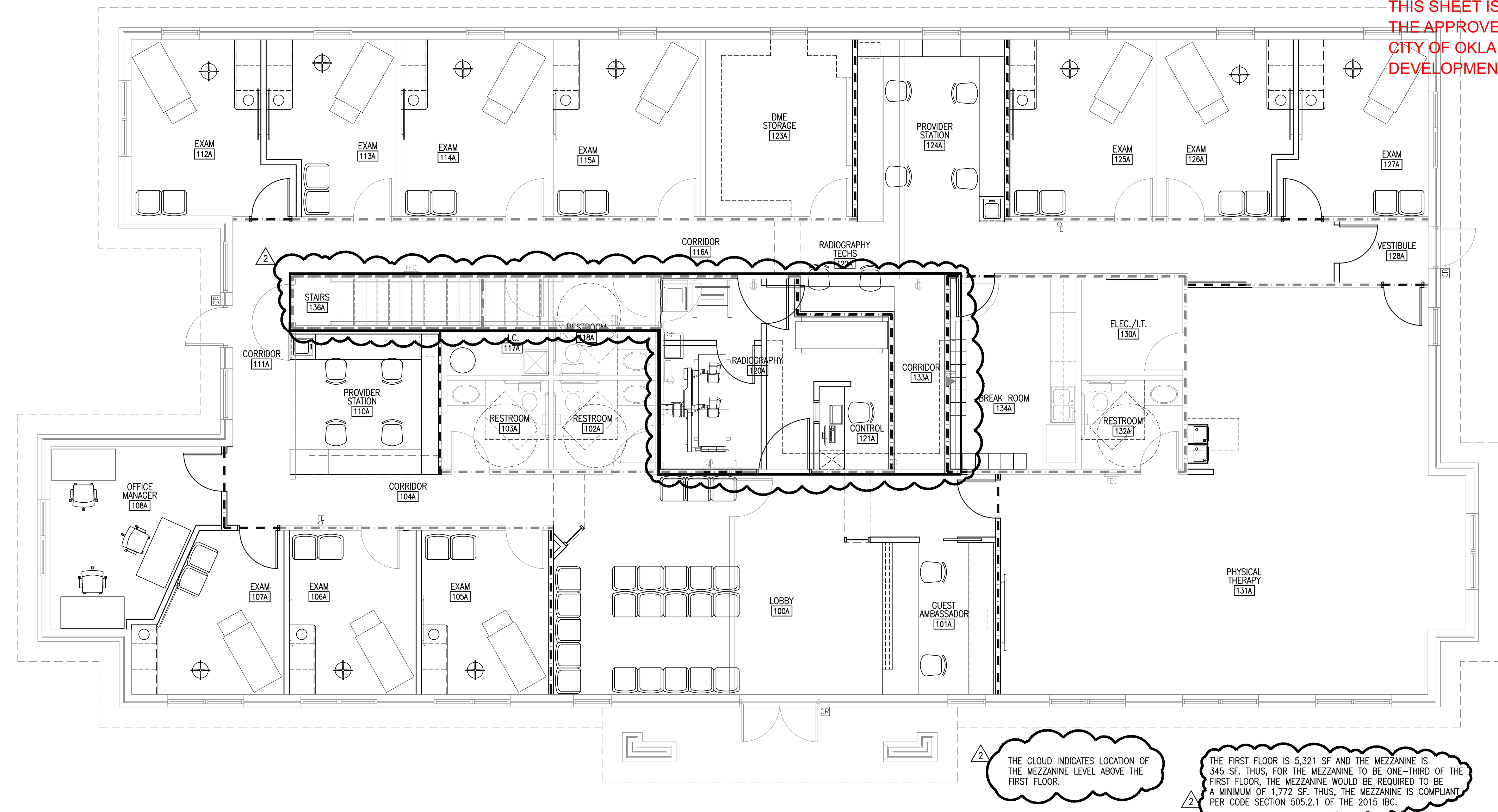
TOTAL OCCUPANTS FOR SUITE = 87 PEOPLE

**NOTICE**

One (1) Set of Approved Building plans must remain on construction site during construction.

ALL ELECTRICAL, PLUMBING, HEAT AND AIR, FENCE, SIGN, SIDEWALK, AND DRIVEWAY CONSTRUCTION SHALL BE PERFORMED BY A LICENSED AND BONDED CONTRACTOR AND SHALL CONFORM TO THE RESPECTIVE CODE REQUIREMENTS FOR EACH.

THIS SHEET IS PART OF THE APPROVED PLANS. CITY OF OKLAHOMA CITY DEVELOPMENT CENTER



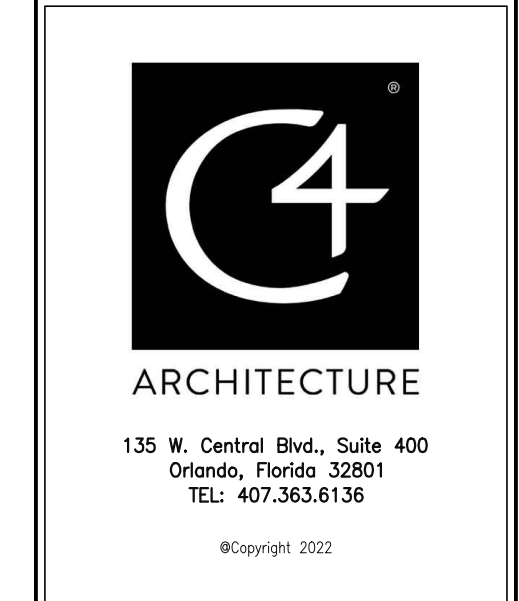
THE CLOUD INDICATES LOCATION OF THE MEZZANINE LEVEL ABOVE THE FIRST FLOOR.

THE FIRST FLOOR IS 5,321 SF AND THE MEZZANINE IS 345 SF. THUS, FOR THE MEZZANINE TO BE ONE-THIRD OF THE FIRST FLOOR, THE MEZZANINE WOULD BE REQUIRED TO BE A MINIMUM OF 1,772 SF. THUS, THE MEZZANINE IS COMPLIANT PER CODE SECTION 505.2.1 OF THE 2015 IBC.



**FIRST FLOOR AND MEZZANINE MERGED FLOOR PLANS**

Owner:  
**DIRECT ORTHOPEDIC CARE**



Project:  
**DIRECT ORTHOPEDIC CARE**  
**INTERIOR IMPROVEMENTS**  
**2220 NW 164TH STREET, EDMOND, OKLAHOMA**

**Scope Drawings:**  
These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.  
The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.  
On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:  
**FIRST FLOOR AND MEZZANINE MERGED FLOOR PLANS**

**Revisions:**

1	CITY COMMENTS 9.28.22

Issue Date	Drawn By	Checked By
6/22/22	MJA	MJA

Certified By:  
  
 Digitally signed by Michael J. Albanese  
 Date: 2022.09.28 10:04:45 -04'00'

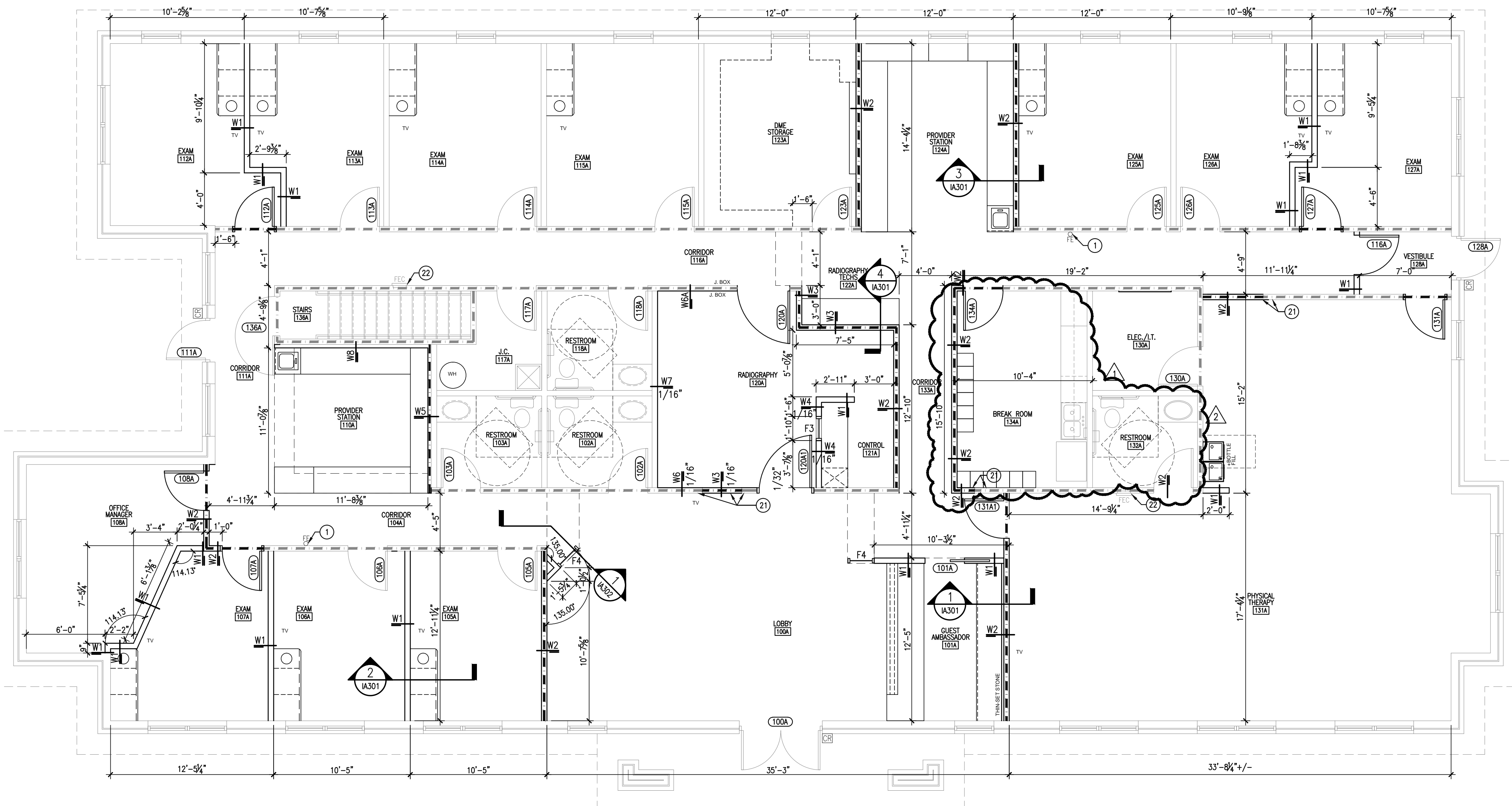
Michael J. Albanese

Drawing Number:  
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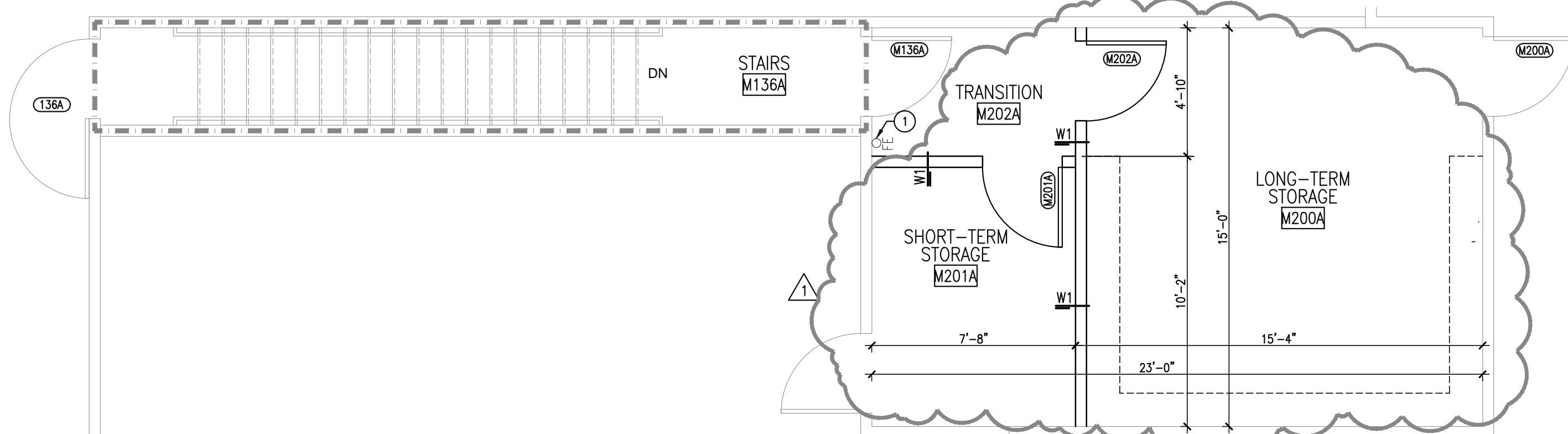
Project Number:  
**22199**

**NOTICE**  
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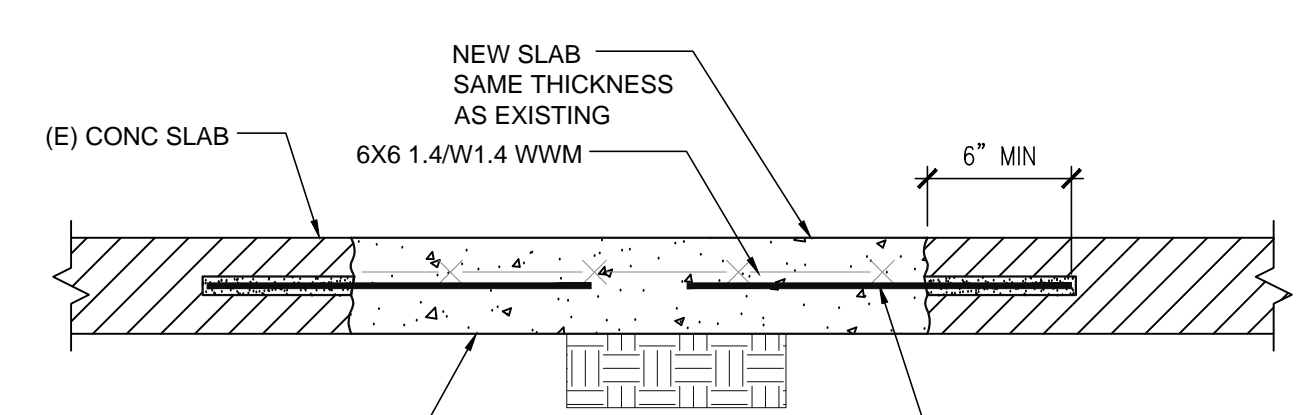
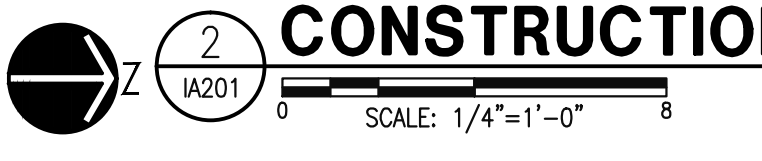
ALL ELECTRICAL, PLUMBING, HEAT AND AIR, FENCE, SIGN, SIDEWALK, AND DRIVEWAY CONSTRUCTION SHALL BE REFERENCED BY A LICENSED AND BONDED CONTRACTOR AND SHALL CONFORM TO THE RESPECTIVE CODE REQUIREMENTS FOR EACH.



**FIRST FLOOR CONSTRUCTION PLAN**

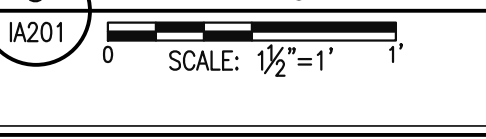


**MEZZANINE CONSTRUCTION PLAN**



NOTE: PROVIDE MIN. 3000 PSI CONCRETE SLAB ON GRADE. NEW CONCRETE SHALL HAVE A SLUMP OF 4" PLUS OR MINUS 1" AND HAVE 2 TO 4% AIR ENTRAINMENT. CONCRETE MIX DESIGN SHALL BE IN ACCORDANCE W/ THE LATEST ED. OF ACI 301 CHAPTER 3

**TRENCH INFILL DETAIL**



**LEAD SHIELDING NOTES:**  
 1. ALL SHIELDING SHALL EXTEND FROM THE FLOOR TO A HEIGHT OF 7'-0" AFF.  
 2. ALL CUTOUPS INTRODUCED INTO THE SHIELDING FOR THE PURPOSES OF INSTALLING OUTLETS, SWITCHES, ETC. SHALL BE BACKED WITH AN EQUIVALENT THICKNESS OF LEAD AND IN SUCH A MANNER AS TO ALLOW NO VOIDS. (THIS CAN BE DESCRIBED AS THE LIGHT TEST; IF YOU DARKENED THE ROOM AND POINTED A LIGHT AT ANY BARRIER, WOULD A PERSON OUTSIDE THE BARRIER SEE LIGHT.)  
 3. ANY JOINTS SHALL OVERLAP WITH THE THICKER THICKNESS OF LEAD BY AT LEAST 1/2" OR AN EQUIVALENT THICKNESS BE PLACED BEHIND THE JOINT. THIS ALSO INCLUDES ALL CORNER JOINTS.  
 4. IT IS REQUIRED THAT A MEDICAL PHYSICIST VISUALLY SURVEY THE SHIELDING PRIOR TO THE FINAL FINISHES AND THAT A RADIOGRAPHIC EVALUATION BE PERFORMED UPON COMPLETION OF THE INSTALLATION.  
 5. LEAD SHIELDING PER PHYSICIST CALCULATIONS/REPORT ARE INDICATED ON SHEET IA508 AND APPLY TO RADIOGRAPHY 120A AND CONTROL 121A.

**PLAN NOTES:**

- 1) NEW WALL MOUNTED FIRE EXTINGUISHER. MOUNT TOP AT +54" A.F.F. FIRE EXTINGUISHER TO HAVE MIN. RATING OF 2A10BC FOR EVERY 3000 SQ.FT. OF FLOOR AREA. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET. ALL EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED AND READILY ACCESSIBLE. THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 5 FEET ABOVE THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES ABOVE THE FLOOR.
- 2) NEW STAINLESS STEEL SINK. SEE PLUMBING DRAWINGS.
- 3) EXISTING JANITOR'S SINK. FIELD VERIFY LOCATION.
- 4) FURNITURE, PROVIDED AND INSTALLED BY TENANT.
- 5) NEW HIGH-LOW ADA DRINKING FOUNTAINS, PROVIDED AND INSTALLED BY G.C., SEE PLUMBING DRAWINGS.
- 6) EXAM TABLE PROVIDED & INSTALLED BY TENANT.
- 7) CARD READER LOCATION.
- 8) FULL SIZE REFRIGERATOR, PROVIDED AND INSTALLED BY TENANT. PROVIDE 3/4" COLD WATER LINE BY G.C.
- 9) MICROWAVE, PROVIDED AND INSTALLED BY TENANT.
- 10) SURFACE MOUNTED PAPER TOWEL DISPENSER, PROVIDED BY TENANT INSTALLED BY GENERAL CONTRACTOR.
- 11) MOP AND BROOM RACK, TOUGH GUY 26" STAINLESS STEEL, MODEL NO. 1ECL4, PROVIDE P.T. WOOD BLOCKING @ 54" AFF.
- 12) X-RAY MODALITY MODEL: KONICA KDR X-RAY. PROVIDED AND INSTALLED BY VENDOR, SOUTHWEST X-RAY.
- 13) COPIER/PRINTER LOCATION, PROVIDED AND INSTALLED BY TENANT.
- 14) WATER HEATER, SEE PLUMBING DRAWINGS.
- 15) PHONE BOARD W/ FIRE RETARDANT 4'X8' PAINTED WOOD BACKBOARD. COORDINATE LOCATION W/ ELECTRICAL DRAWINGS.
- 16) PRESSURE TREATED WOOD BLOCKING FROM 10'-0" AFF TO 12'-0" AFF
- 17) PRESSURE TREATED WOOD BLOCKING FROM FINISHED FLOOR TO 12'-0" AFF
- 18) TV MONITOR MOUNTED @ 84" AFF, PROVIDE FIRE RETARDANT WOOD BLOCKING AS REQUIRED TO ACCOMMODATE MOUNT.
- 19) LEAD APRON RACK, PROVIDE FIRE RETARDANT WOOD BLOCKING AT HEIGHT PROVIDED BY TENANT.
- 20) 2 OR 3 TIER LOCKERS, PROVIDED & INSTALLED BY TENANT.
- 21) ALIGN FINISH FACES.
- 22) EXISTING FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET TO REMAIN.

**NOTICE**  
 One (1) Set of Approved Building plans must remain on construction site during construction.

**GENERAL NOTES:**

- A. ALL DIMENSIONS ARE FROM FACE OF PARTING WALLS UNLESS NOTED OR SHOWN OTHERWISE. ANY DIMENSIONS NOT DEEMED QUESTIONABLE ARE TO BE VERIFIED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.
- B. PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
- C. COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
- D. NEW DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS. WHERE MORE THAN ONE DOOR OCCURS IN A ROOM, A SUFFIX HAS BEEN ADDED (I.E. 100A1). SEE SHEET IA501 FOR DOOR SCHEDULE.
- E. PROVIDE MISCELLANEOUS METAL SUPPORT FOR ALL CEILING SUSPENDED ITEMS.
- F. APPLY SEALANT AT ALL JUNCTURES BETWEEN DIFFERENT MATERIALS (I.E. STOREFRONT AND GYPSUM BOARD).
- G. ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURER'S LIMITING HEIGHT L/120.
- H. SAVE ALL REMOVED ITEMS FOR OWNER, PER OWNER'S DIRECTION, UNLESS OTHERWISE SPECIFIED
- I. APPLY SEALANT AT ALL PLUMBING FIXTURES AT JUNCTURE WITH WALL.
- J. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT AMERICANS WITH DISABILITIES ACT.
- K. ALL WALLS SCHEDULED TO REMAIN (I.E. CORE WALLS, AND DEMISING WALLS) SHALL BE PATCHED, REPAIRED AND SANDED SMOOTH IN PREPARATION FOR NEW FINISHES.
- L. FLOOR SHALL BE CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES AS SHOWN.
- M. ALL NEW FIRE EXTINGUISHER CABINETS TO BE FACTORY PAINTED BAKED ENAMEL WHITE FINISH & EQUAL TO LARSEN GEMINI SERIES. LIFE SAFETY CONTRACTOR TO VERIFY NEED FOR ANY ADDITIONAL FIRE EXTINGUISHER CABINET LOCATIONS. IF ADDITIONAL FIRE EXTINGUISHER CABINETS ARE REQUIRED, LOCATIONS MUST BE SUBMITTED TO ARCHITECT OR DESIGNER FOR REVIEW.
- N. ALL FURNITURE PROVIDED & INSTALLED BY TENANT.
- O. ALL STEEL STUD RUNNER CHANNELS ATTACHED TO CONCRETE FLOOR SHALL BE FASTENED WITH CONCRETE STUB NAILS, EXPANSION ANCHORS, SHIELDED SCREWS, OR POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C.
- P. ALL STEEL STUD RUNNER CHANNELS ATTACHED TO SUSPENDED CEILINGS SHALL BE FASTENED WITH "MOLLY"-TYPE EXPANDABLE FASTENERS, TOGGLE BOLTS, CLAMPS, OR SCREWS INTO CHANNELS, SPLINES, "T" RUNNERS, OR OTHER MEMBERS.
- Q. APPLY SEALANT AT ALL COUNTERTOPS AND BACK SPLASHES AT JUNCTURE WITH WALL.
- R. ALL INTERIOR WALLS SHALL BE MARKED IN PLACE PRIOR TO FRAMING FOR ARCHITECT/DESIGNER TO REVIEW, IF REQUIRED.
- S. SECURITY ACCESS CONTROLS TO BE PROVIDED BY OTHERS.
- T. ALL BLOCKING TO BE FIRE TREATED EXCEPT THOSE USED FOR MILLWORK, HANDRAILS, CABINETS, WINDOW AND DOOR FRAMES PER IBC 603.1
- U. ALL BLOCKING TO BE FIRE TREATED WHEN USED FOR INSTALLATION OF TOILET ACCESSORIES OR USE 20 GA. STEEL PLATE WELDED TO STUDS.
- V. BUILDING STANDARD MINI-BLINDS, MECHO-SHADES OR TRANSLUCENT FILM TBD AT EACH EXTERIOR WINDOW.

**WALL TYPES**

- EXISTING CONSTRUCTION TO REMAIN
- NEW PARTITION
- EXISTING PARTITION TO BE DEMOLISHED
- NEW 1-HOUR FIRE PARTITION

- NOTES:**
1. SEE REFLECTED CEILING PLANS FOR CONSTRUCTED WALL HEIGHT.
  2. PROVIDE MOISTURE RESISTANT GYPSUM WALLBOARD ON ALL WET AREA WALLS.
  3. PROVIDE 5/8" DUROCK ON ALL PORCELAIN TILED WALLS & AT PREFAB SHOWER WALLS, IF APPLICABLE.
  4. CONSTRUCT ALL STUD WALL FRAMING TO MEET MANUFACTURER'S MINIMUM REQUIREMENTS FOR FLOOR AND CEILING ATTACHMENT BASED ON 5 PSF LATERAL LOADING AND L/120 DEFLECTION.
  5. UNLESS OTHERWISE APPROVED, IN NO CASE SHALL THE ATTACHMENT BE LESS THAN THE FOLLOWING:
    - ALL STEEL STUD RUNNER CHANNELS ATTACHED TO CONCRETE FLOOR SHALL BE FASTENED WITH CONCRETE STUB NAILS, EXPANSION ANCHORS, SHIELDED SCREWS, OR POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C. AND NO MORE THAN 2" FROM EACH END.
    - FASTEN STUD FLANGE TO RUNNER TRACK WITH 3/8" TYPE S PAN HEADSCREWS.
    - ALL STEEL STUD RUNNER CHANNELS ATTACHED TO SUSPENDED CEILINGS SHALL BE FASTENED WITH "MOLLY"-TYPE EXPANDABLE FASTENERS, TOGGLE BOLTS, CLAMPS, OR SCREWS INTO CHANNELS, SPLINES, "T" RUNNERS, OR OTHER MEMBERS.

- |   |  |
|---|--|
| <p><b>W1</b> 3-5/8" 20 GAUGE METAL STUDS @16" O.C. WITH (1) LAYER 5/8" GYPSUM WALL BOARD EACH SIDE AND (1) LAYER SOUND ATTENUATION BLANKETS IN EACH STUD CAVITY.</p>  |  |
| <p><b>W2</b> 3-5/8" 20 GAUGE METAL STUDS @16" O.C. W/ (1) LAYER 5/8" TYPE "X" GYPSUM BOARD EACH SIDE AND (1) LAYER SOUND ATTENUATION BLANKETS IN EACH STUD CAVITY PER UL U465 1 HR FIRE PARTITION.</p>  |  |
| <p><b>W3</b> 3-5/8" 20 GAUGE METAL STUDS @16" O.C. W/ (1) LAYER 5/8" TYPE "X" GYPSUM BOARD ONE SIDE AND (1) LAYER SOUND ATTENUATION BLANKETS IN EACH STUD CAVITY. ADD (1) LAYER 5/8" TYPE "X" LEAD-LINED GYPSUM BOARD. NOTE: SEE IA201 FOR LEAD SHIELDING THICKNESS PER PHYSICIST REPORT.</p> |  |
| <p><b>W4</b> 3-5/8" 20 GAUGE METAL STUDS @16" O.C. WITH (1) LAYER 5/8" GYPSUM WALL BOARD ONE SIDE AND ONE LAYER 5/8" LEAD-LINED GYPSUM BOARD WITH ONE LAYER SOUND ATTENUATION BATTS IN EACH STUD CAVITY.</p>  |  |
| <p><b>W5</b> 2-1/2" 20 GAUGE C-H METAL STUDS @24" O.C. W/ (1) LAYER 1" SHAFT WALL LINER PANEL AND 5/8" TYPE "X" GYPSUM BOARD.</p>   |  |
| <p><b>W6</b> 3-5/8" 20 GAUGE METAL STUDS ADJACENT TO EXISTING STUDS AND (1) LAYER 5/8" TYPE "X" LEAD LINED GYPSUM BOARD. NOTE: SEE IA201 FOR LEAD SHIELDING THICKNESS PER PHYSICIST REPORT.</p>   |  |
| <p><b>W6A</b> NO LEAD-LINED GYPSUM BOARD</p>  |  |
| <p><b>W7</b> 3-5/8" 20 GAUGE METAL STUDS ADJACENT TO EXISTING STUDS AND (1) LAYER 5/8" GYPSUM LEAD-LINED BOARD.</p>   |  |
| <p><b>W8</b> 2-1/2" 20 GAUGE METAL STUDS @16" O.C. W/ (1) LAYER 5/8" GYPSUM BOARD ONE SIDE.</p>   |  |

NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE  
 F(X) = FRAME TYPE SEE SHEET IA501 FOR FRAME ELEVATIONS.

Owner:  
**DIRECT ORTHOPEDIC CARE**

**ARCHITECTURE**  
 135 W. Central Blvd., Suite 400  
 Orlando, Florida 32801  
 TEL: 407.363.6136  
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Project:  
**DIRECT ORTHOPEDIC CARE**  
**INTERIOR IMPROVEMENTS**  
**2220 NW 164TH STREET, EDMOND, OKLAHOMA**

**Scope Drawings:**  
 These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.  
 The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.  
 On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

**Drawing Title:**  
**CONSTRUCTION PLAN, WALL TYPES, DETAILS AND NOTES**

**Revisions:**

1	CITY COMMENTS 9.23.22
2	CITY COMMENTS 9.28.22

**Issue Date** | **Drawn By** | **Checked By**  
 6/22/22 | MJA | MJA

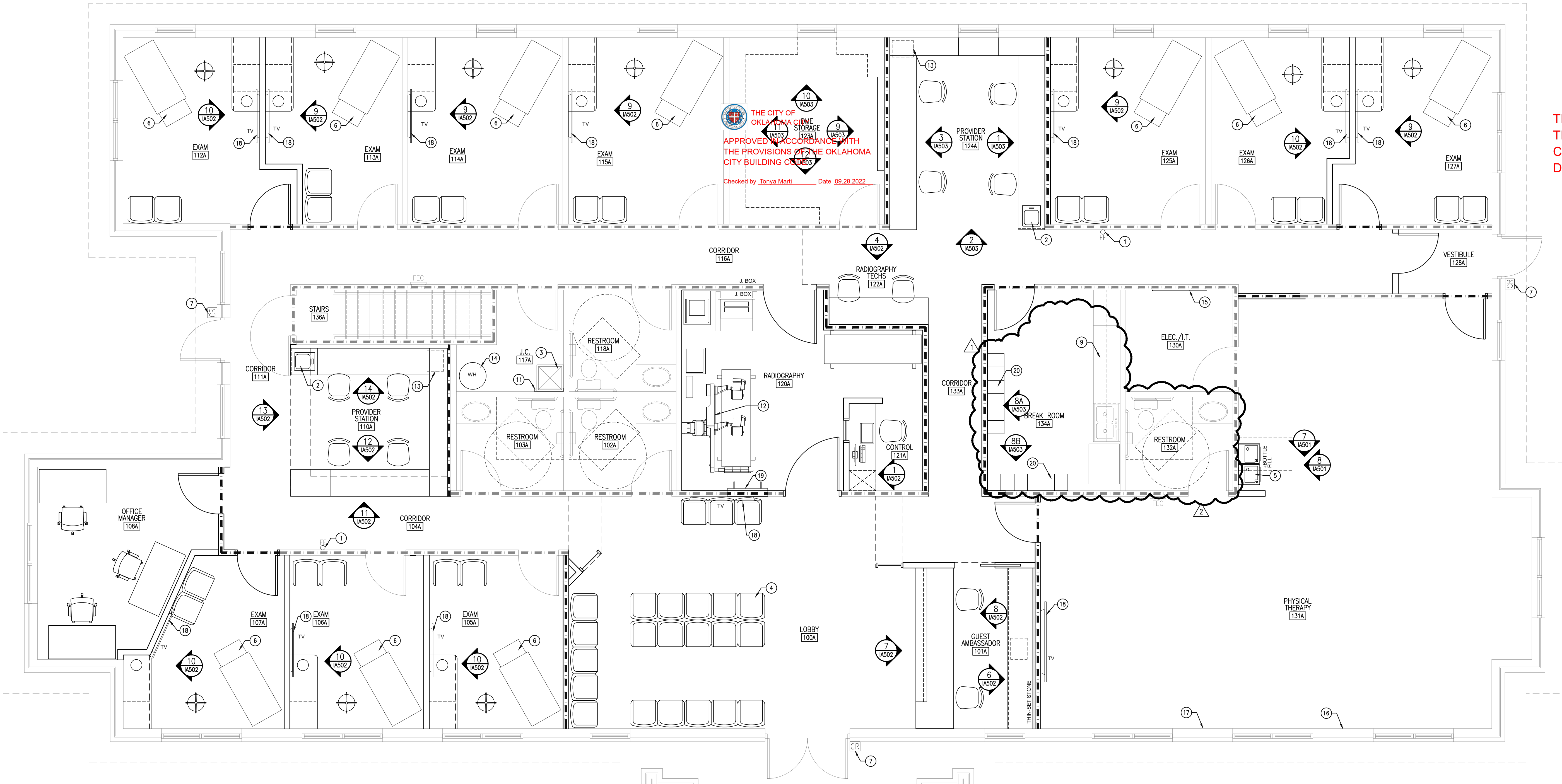
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 STATE OF OKLAHOMA  
 MICHAEL ALBANESE  
 Architect  
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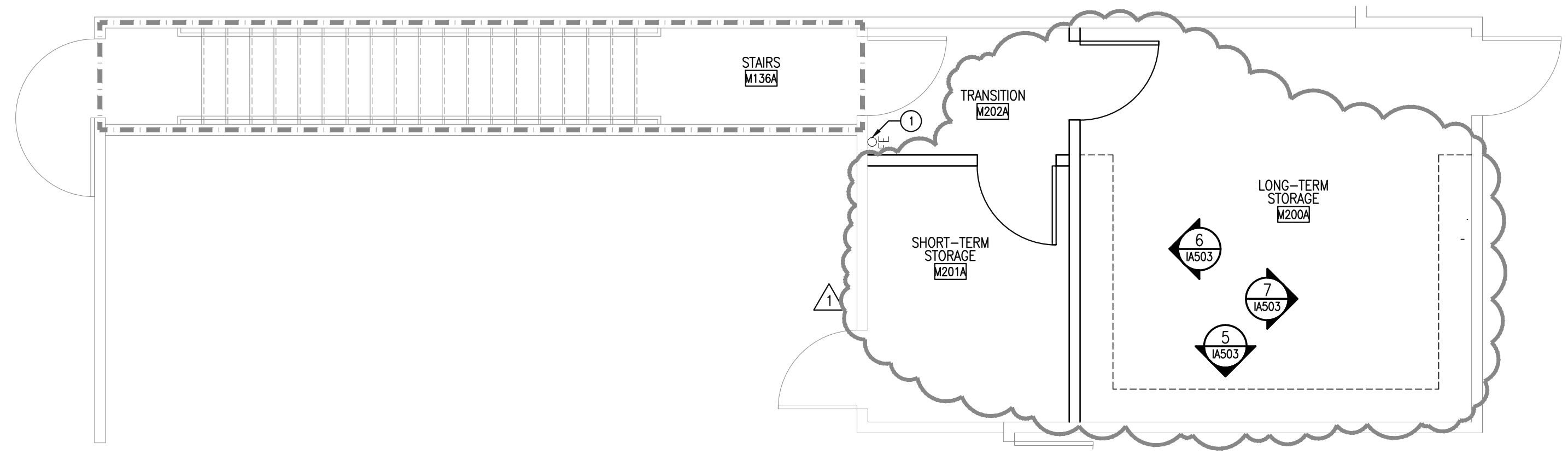
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**FIRST FLOOR EQUIPMENT & MILLWORK PLAN**  
SCALE: 1/4"=1'-0"



**MEZZANINE EQUIPMENT & MILLWORK PLAN**  
SCALE: 1/4"=1'-0"

THE CITY OF OKLAHOMA  
APPROVED IN ACCORDANCE WITH THE PROVISIONS OF THE OKLAHOMA CITY BUILDING CODE  
Checked by Tonya Marti Date 09.28.2022

**NOTICE**  
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Owner:  
**DIRECT ORTHOPEDIC CARE**

**ARCHITECTURE**  
135 W. Central Blvd., Suite 400  
Orlando, Florida 32801  
TEL: 407.363.6136  
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Project:  
**DIRECT ORTHOPEDIC CARE**  
**INTERIOR IMPROVEMENTS**  
2220 NW 164TH STREET,  
EDMOND, OKLAHOMA

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Drawing Title:  
**EQUIPMENT AND MILLWORK PLAN AND NOTES**

**Revisions:**

1	CITY COMMENTS 9.23.22
2	CITY COMMENTS 9.28.22

Issue Date	Drawn By	Checked By
6/22/22	MJA	MJA

Certified By:  
**Michael J. Albanese**  
Professional Engineer  
Date: 2022.09.28  
10:05:29 -04'00'

Drawing Number:  
**IA202**

Project Number:  
**22199**

**PLAN NOTES:**

- 1 NEW WALL MOUNTED FIRE EXTINGUISHER. MOUNT TOP AT +54" A.F.F. FIRE EXTINGUISHER TO HAVE MIN. RATING OF 2A10BC FOR EVERY 3000 SQ.FT. OF FLOOR AREA. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET. ALL EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED AND READILY ACCESSIBLE. THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 5 FEET ABOVE THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES ABOVE THE FLOOR.
- 2 NEW STAINLESS STEEL SINK. SEE PLUMBING DRAWINGS.
- 3 EXISTING JANITOR'S SINK. FIELD VERIFY LOCATION.
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- 5 NEW HIGH-LOW ADA DRINKING FOUNTAINS, PROVIDED AND INSTALLED BY G.C., SEE PLUMBING DRAWINGS.
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- 9 MICROWAVE, PROVIDED AND INSTALLED BY TENANT.
- 10 SURFACE MOUNTED PAPER TOWEL DISPENSER, PROVIDED BY TENANT INSTALLED BY GENERAL CONTRACTOR.
- 11 MOP AND BROOM RACK, TOUGH GUY 26" STAINLESS STEEL, MODEL NO. 1ECL4, PROVIDE P.T. WOOD BLOCKING @ 54" AFF.
- 12 X-RAY MODALITY MODEL: KONICA KDR X-RAY. PROVIDED AND INSTALLED BY VENDOR, SOUTHWEST X-RAY.
- 13 COPIER/PRINTER LOCATION, PROVIDED AND INSTALLED BY TENANT.
- 14 WATER HEATER, SEE PLUMBING DRAWINGS.
- 15 PHONE BOARD W/ FIRE RETARDANT 4'X8' PAINTED WOOD RACKBOARD. COORDINATE LOCATION W/ ELECTRICAL DRAWINGS.
- 16 PRESSURE TREATED WOOD BLOCKING FROM 10'-0" AFF TO 12'-0" AFF
- 17 PRESSURE TREATED WOOD BLOCKING FROM FINISHED FLOOR TO 12'-0" AFF
- 18 TV MONITOR MOUNTED @ 84" AFF. PROVIDE FIRE RETARDANT WOOD BLOCKING AS REQUIRED TO ACCOMMODATE MOUNT.
- 19 LEAD APRON RACK, PROVIDE FIRE RETARDANT WOOD BLOCKING AT HEIGHT PROVIDED BY TENANT.
- 20 2 OR 3 TIER LOCKERS, PROVIDED & INSTALLED BY TENANT.
- 21 ALIGN FINISH FACES.
- 22 EXISTING FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET TO REMAIN.

THIS SHEET IS PART OF THE APPROVED PLANS CITY OF OKLAHOMA CITY DEVELOPMENT CENTER

ALL ELECTRICAL, PLUMBING, HEAT AND AIR, FENCE, SIGN, SIDEWALK, AND DRIVEWAY CONSTRUCTION SHALL BE REFERENCED BY A LICENSED AND BONDED CONTRACTOR AND SHALL CONFORM TO THE RESPECTIVE CODE REQUIREMENTS FOR EACH.

**GEN. CEILING NOTES:**

- ALL NEW WALLS TERMINATE 6" PAST CEILING GRID WITH DIAGONAL BRACING @ 48" O.C. FROM CORNER OF THE SHEET TO PART OF SEE CEILING PLAN. AT MODALITIES EXTEND TO 36" PAST CEILING GRID. EXISTING WALL TO DECK NEW WALL TO DECK NEW WALL 6" ABOVE CEILING EXISTING WALL 6" ABOVE CEILING
- LIGHTS & DIFFUSERS ON DRAWINGS ARE FOR LOCATION ONLY. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR EXACT SPECIFICATIONS AND VERIFICATION OF QUANTITY.
- ALL NEW CEILINGS TO BE INSTALLED AS INDICATED ABOVE FINISHED FLOOR.
- ALL NEW ACOUSTIC CEILING PANELS TO BE CENTERED IN EACH DIRECTION WITHIN THE MAIN PORTION OF ANY ROOM OR SPACE, UNLESS NOTED OTHERWISE. WHERE APPLICABLE.
- CEILING GRID SYSTEM: NRC EXPOSED "T" GRID; CEILING TILES: 2X2 CEILING TILES AS INDICATED IN NOTE 6.
- ACOUSTIC CEILING GRID SHALL BE 15/16" AND SUSPENDED A MIN. OF 4'-0" O.C. WITH 12 GA. STEEL WIRE PER ASTM C636. EDGE GRID SHALL BE ATTACHED WITH SCREWS A MINIMUM OF 4'-0" O.C. AT-1 24" X 24" X 3/4" WHITE ACOUSTIC CEILING TILE, MFG: ARMSTRONG ULTIMA HEALTH ZONE HIGH NRC, REGULAR #1911, PRELUDE 15/16" GRID SUSPENDED WITH EXPOSED WHITE "T" BAR FRAMING SYSTEM.
- ACCEPTABLE CEILING MANUFACTURERS INCLUDE: ARMSTRONG, CELOTEX CORPORATION, USG INTERIORS, INC. OR EQUIVALENT
- INSTALL NEW 6" UNFACED SOUND ATTENUATION BATTS ABOVE NEW CEILING TILES IN EXAM ROOMS.
- LIGHT FIXTURES: ATTACH ALL 2X2 & 2X4 LIGHTS WITH AT LEAST TWO WIRES ON OPPOSITE CORNERS OF LIGHT FIXTURE.

**CEILING LEGEND:**

- NEW GYPSUM BOARD SOFFIT CEILING
- EXISTING ONE HOUR RATED CORRIDOR (2 LAYERS 5/8" GYP BOARD)
- NEW 2'X2' CEILING GRID
- EXISTING 2'X4' CEILING GRID
- NEW 2' X 4' LED FLAT PANEL LIGHT FIXTURE WITH DIMMER (SEE ELECTRICAL DRAWINGS).
- NEW 2' X 4' LED FLAT PANEL LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).
- NEW 2' X 2' LED FLAT PANEL LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).
- EXISTING 2' X 4' LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).
- EXISTING 2' X 4' SURFACE MOUNT LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).
- 

Owner:  
**DIRECT ORTHOPEDIC CARE**

**4**  
ARCHITECTURE  
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Project:  
**DIRECT ORTHOPEDIC CARE**  
INTERIOR IMPROVEMENTS  
2220 NW 164TH STREET, EDMOND, OKLAHOMA

Scope Drawings:  
These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.  
The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract.  
On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

Drawing Title:  
**REFLECTED CEILING PLAN, DETAIL AND NOTES**

Revisions:  

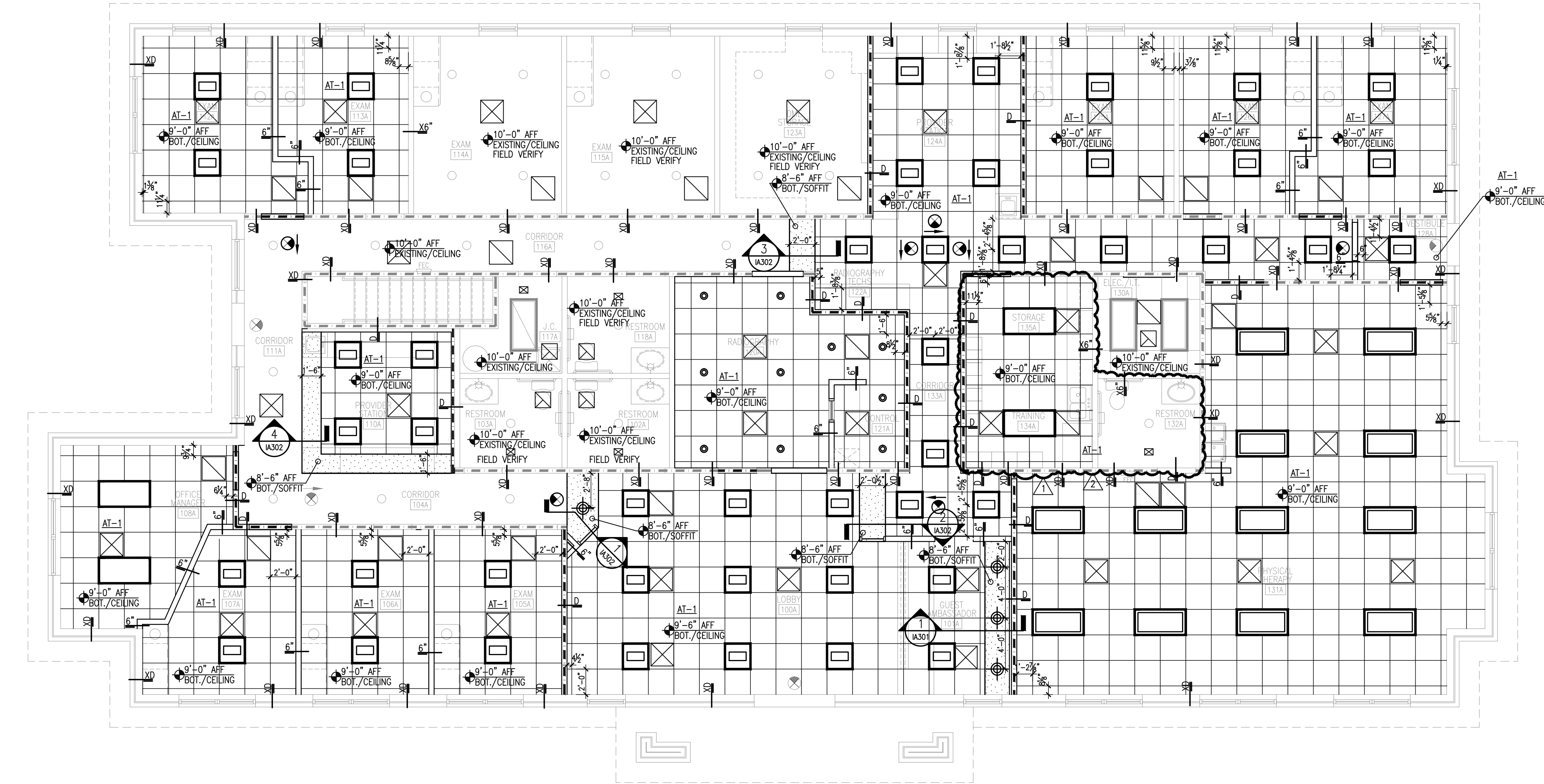
△	CITY COMMENTS 9.23.22
△	CITY COMMENTS 9.28.22

Issue Date: 6/22/22 | Drawn By: MJA | Checked By: MJA

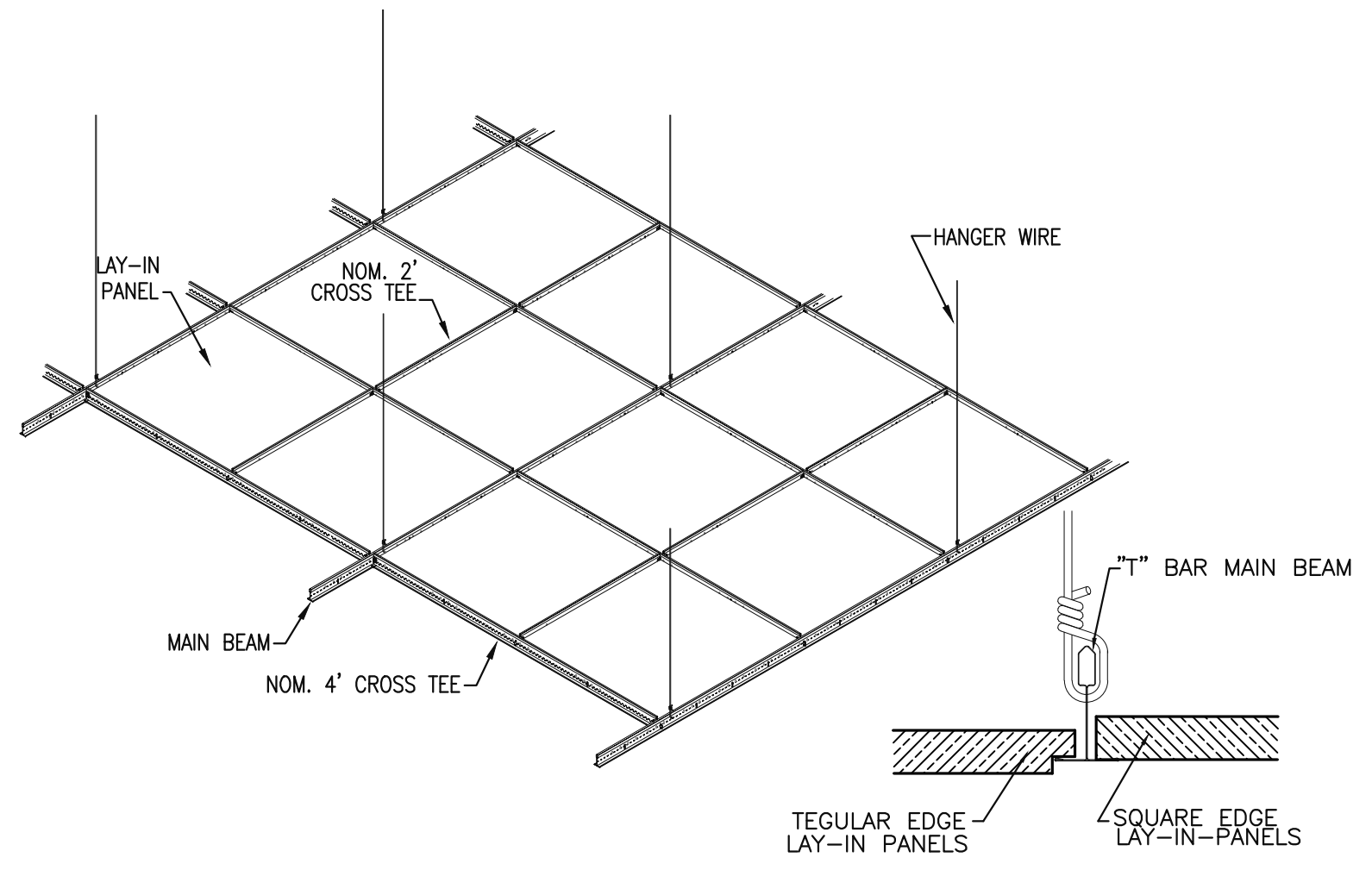
Certified By:  
  
 Michael J. Albanese  
 Date: 2022.09.28  
 10:05:51 -04'00'

Drawing Number:  
**IA203**

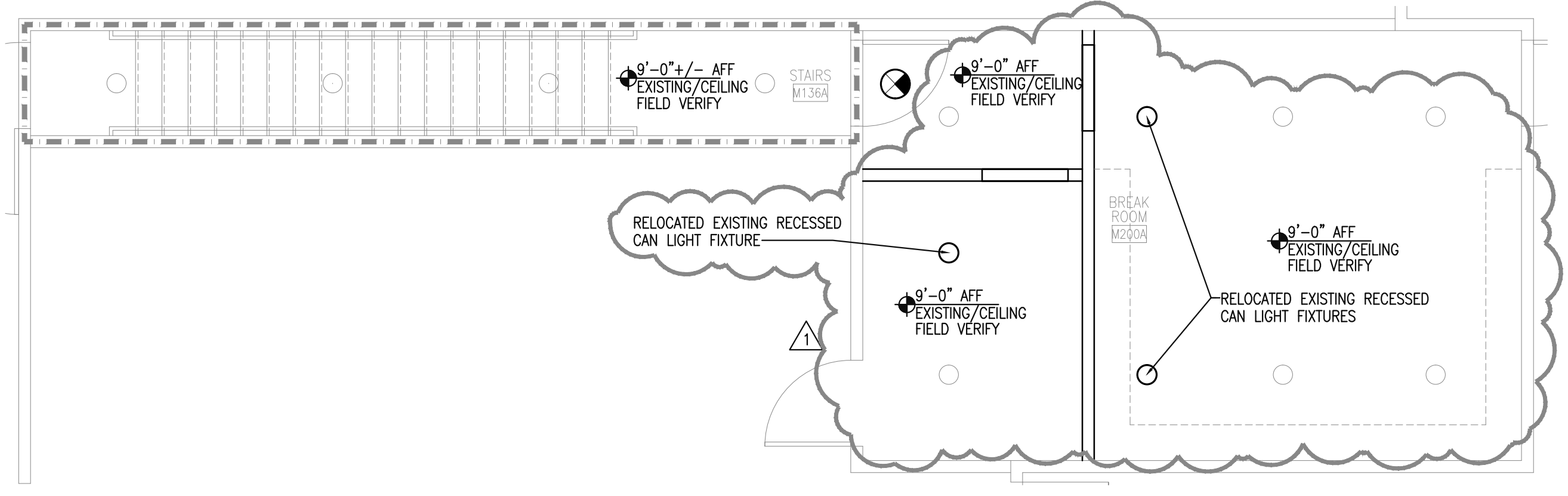
Project Number:  
**22199**



**FIRST FLOOR REFLECTED CEILING PLAN**  
 1  
 IA203  
 SCALE: 3/16"=1'-0"  
 12



**TYPICAL CEILING GRID DETAIL**  
 3  
 IA203  
 SCALE: 1/2"=1'-0"  
 4

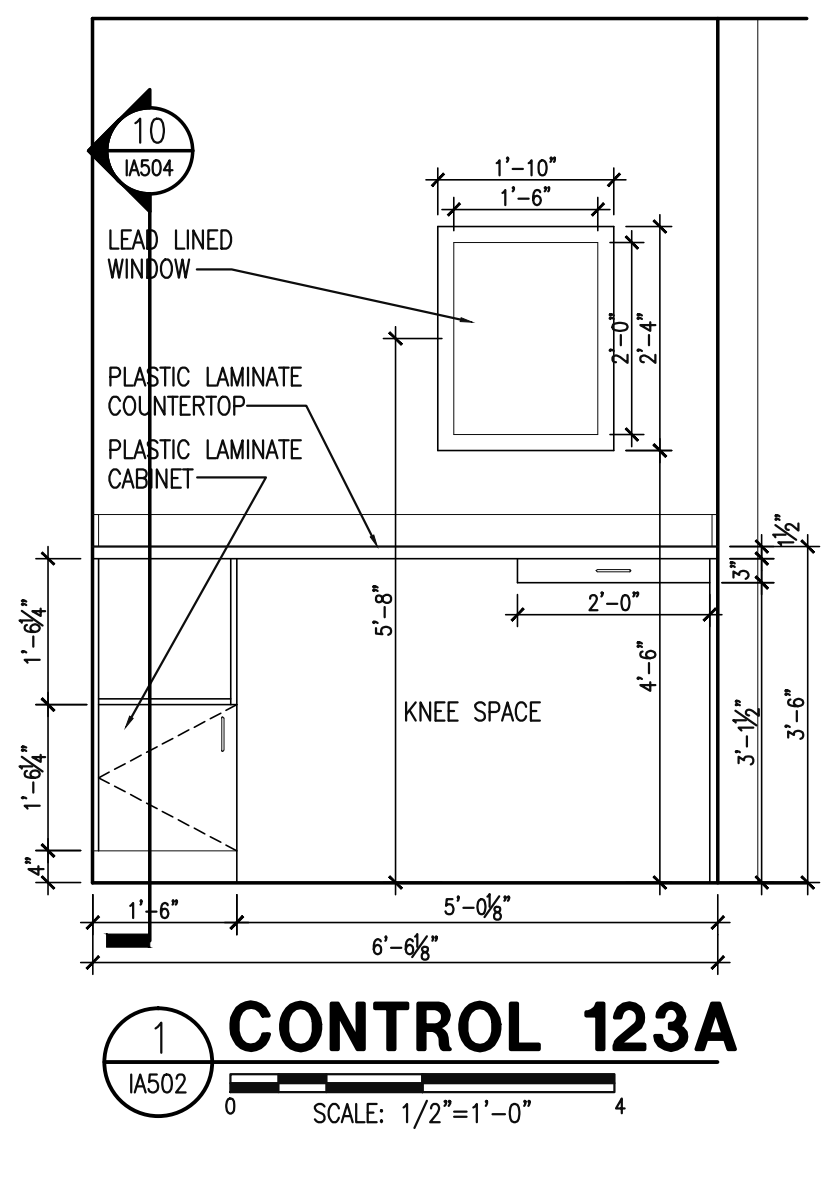
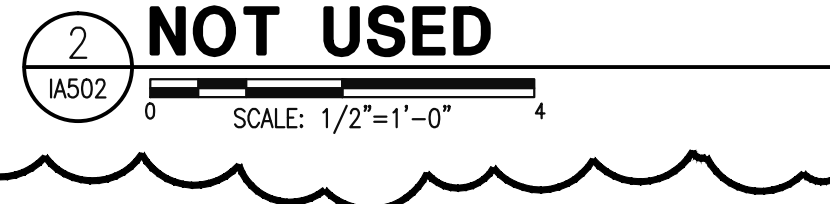
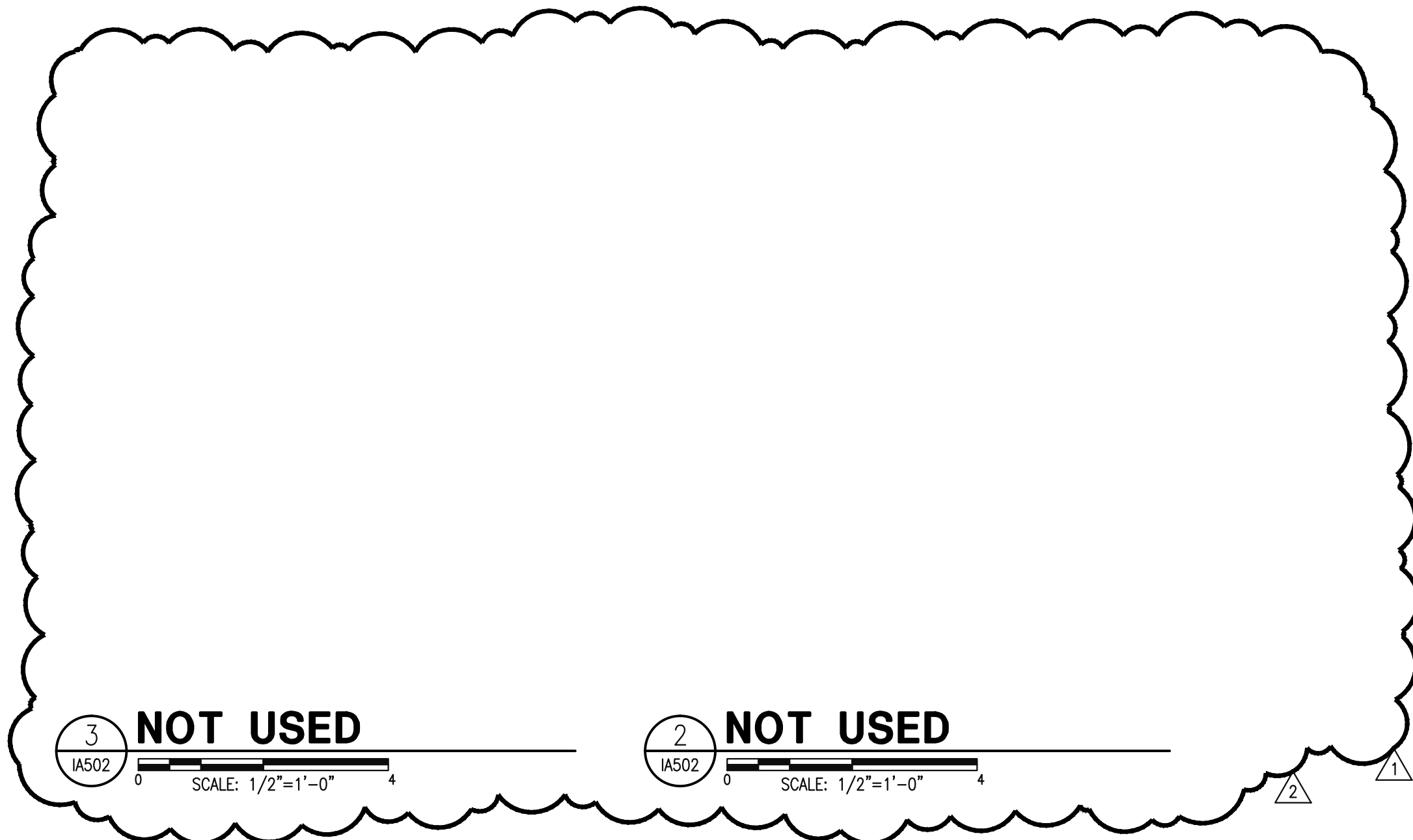
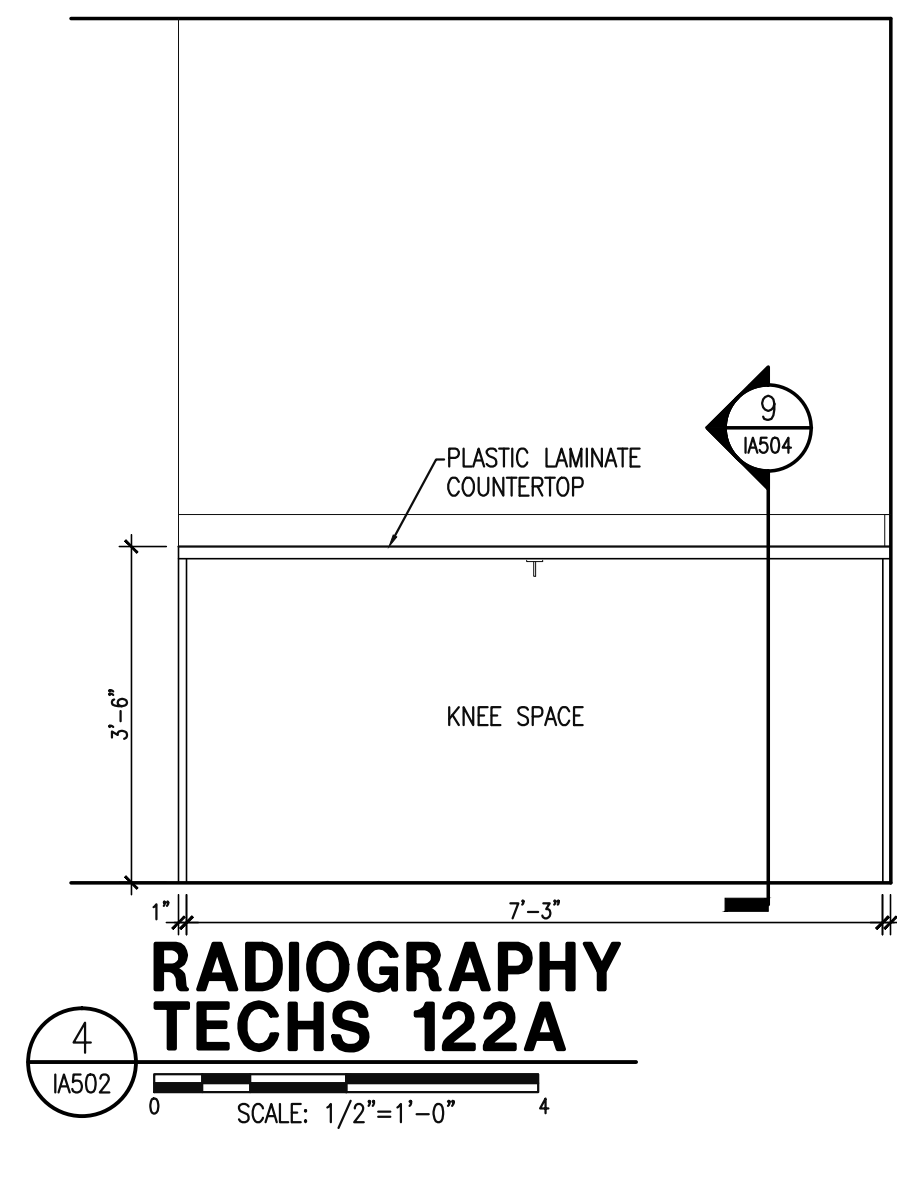
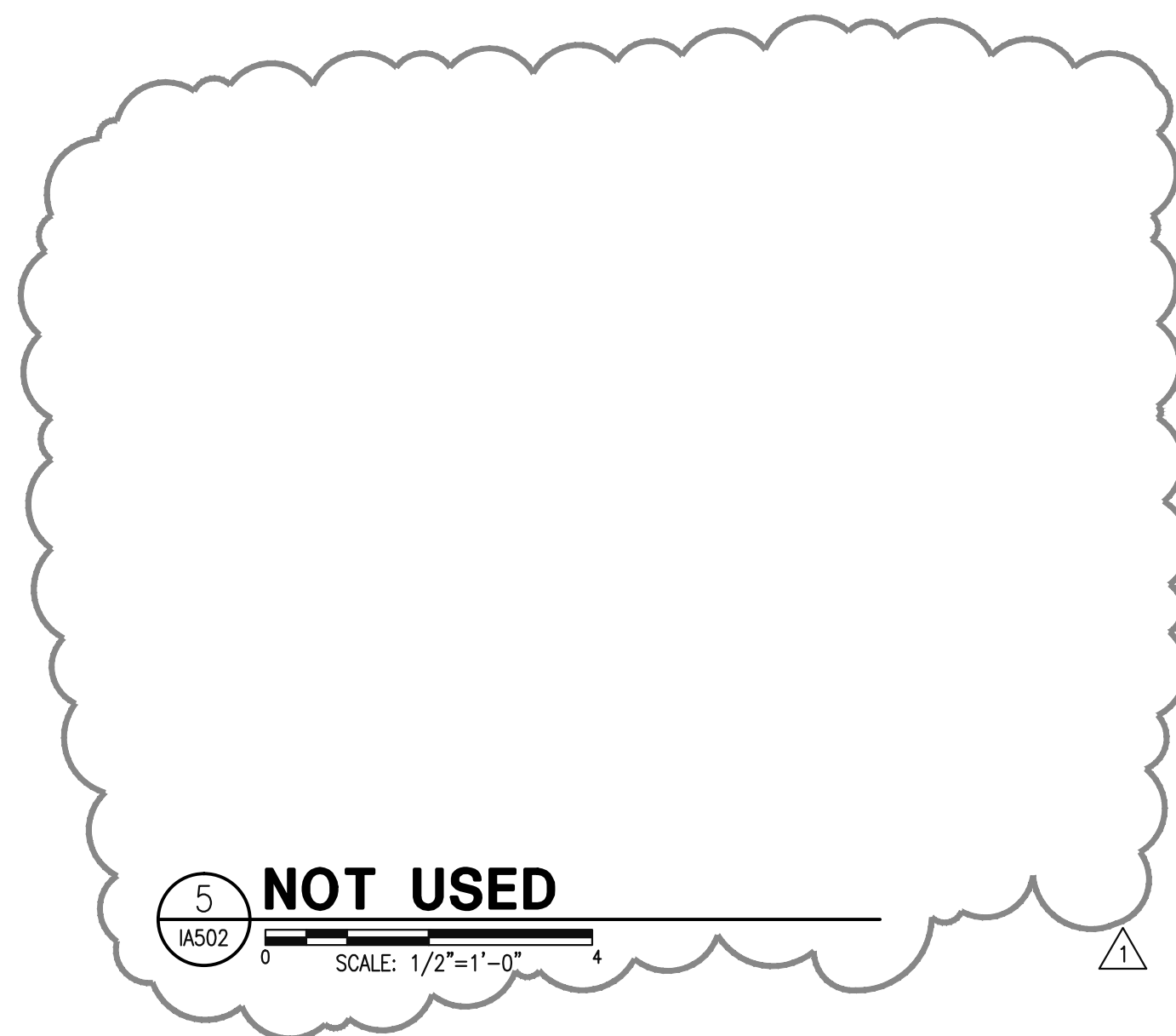


**MEZZANINE REFLECTED CEILING PLAN**  
 2  
 IA203  
 SCALE: 1/4"=1'-0"  
 6

**NOTICE**  
 One (1) Set of Approved Building plans must remain on construction site during construction.



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Project:  
**DIRECT ORTHOPEDIC CARE**  
**INTERIOR IMPROVEMENTS**  
**2220 NW 164TH STREET, EDMOND, OKLAHOMA**

**Scope Drawings:**  
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**Drawing Title:**  
**MILLWORK ELEVATIONS**

**Revisions:**

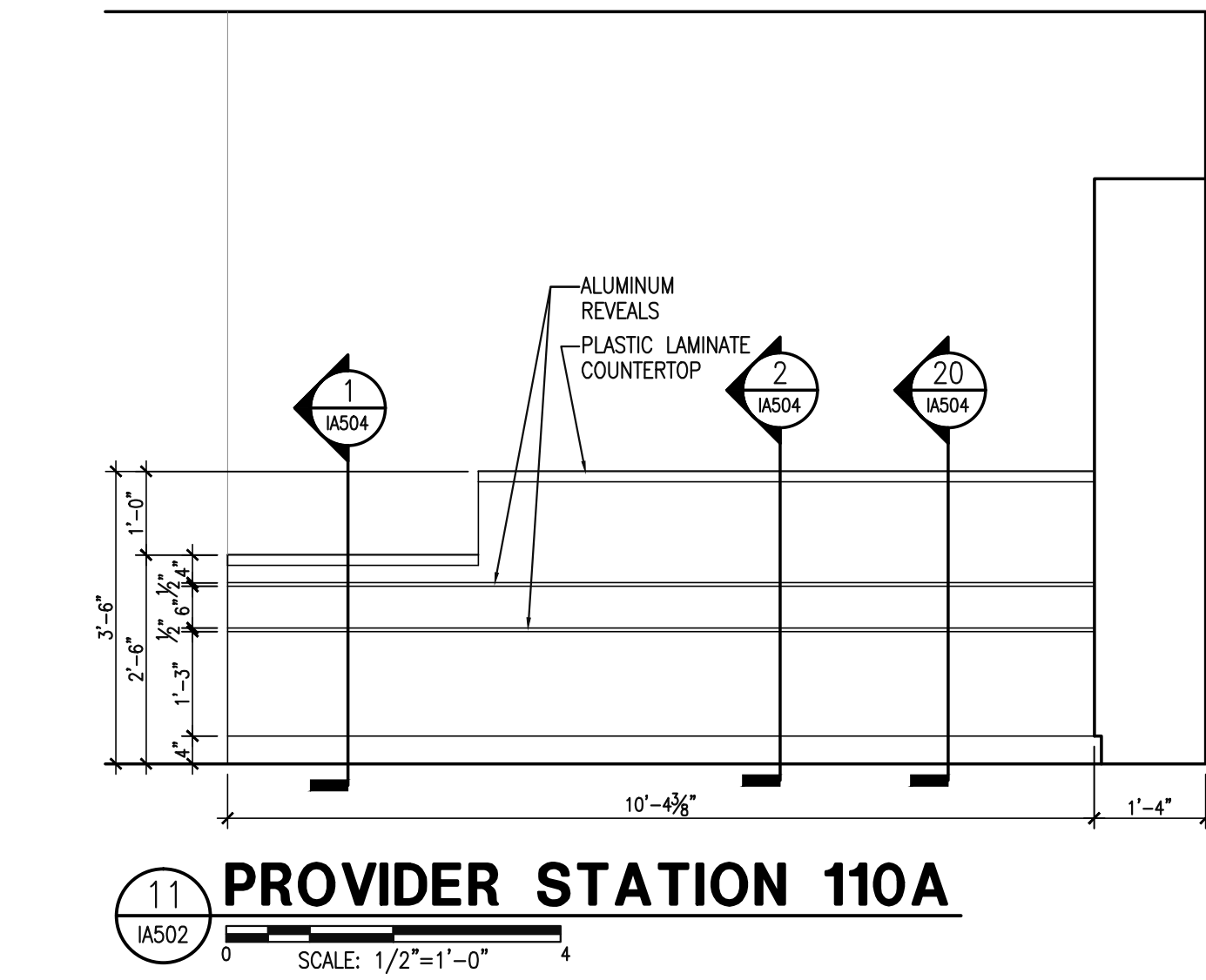
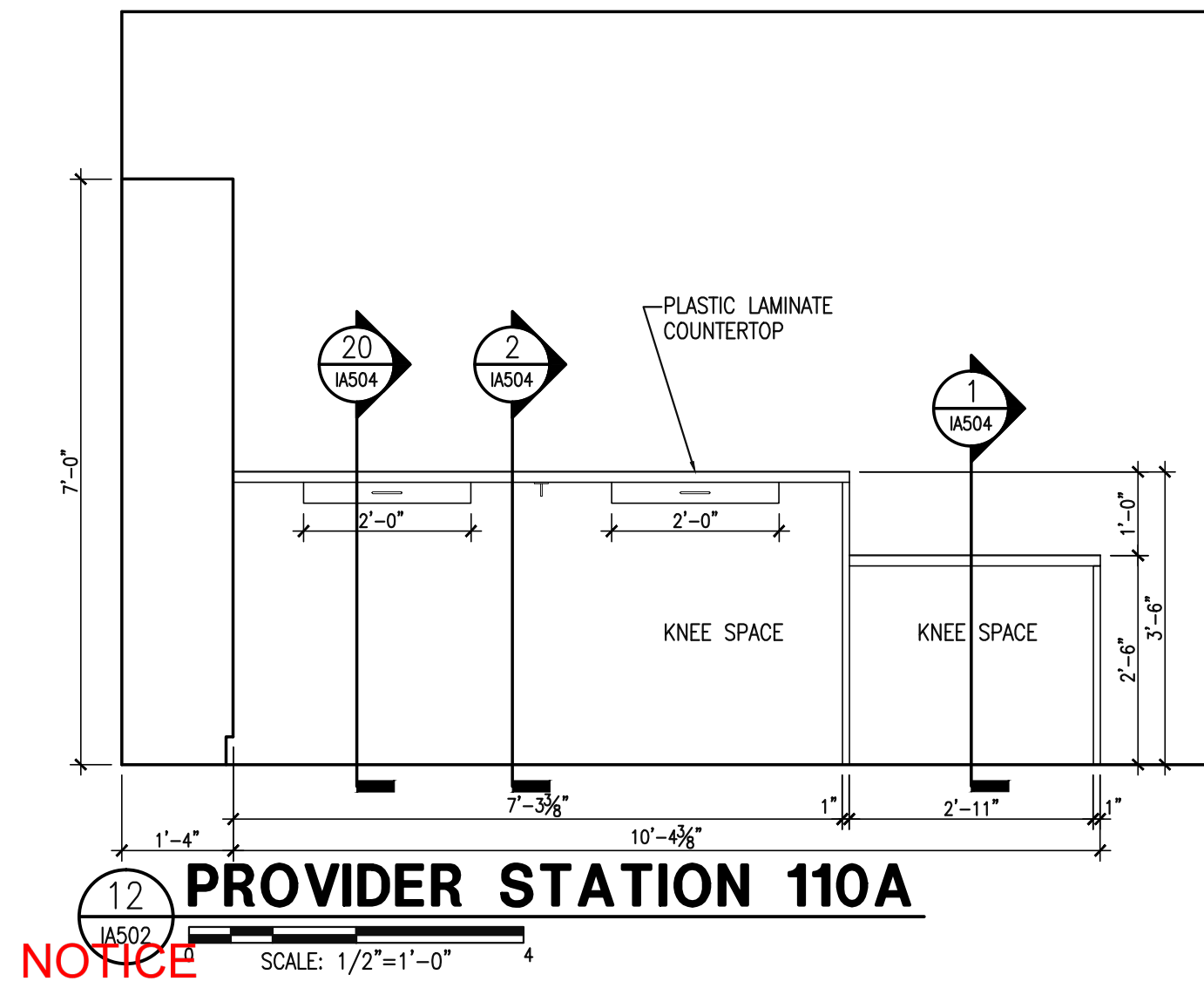
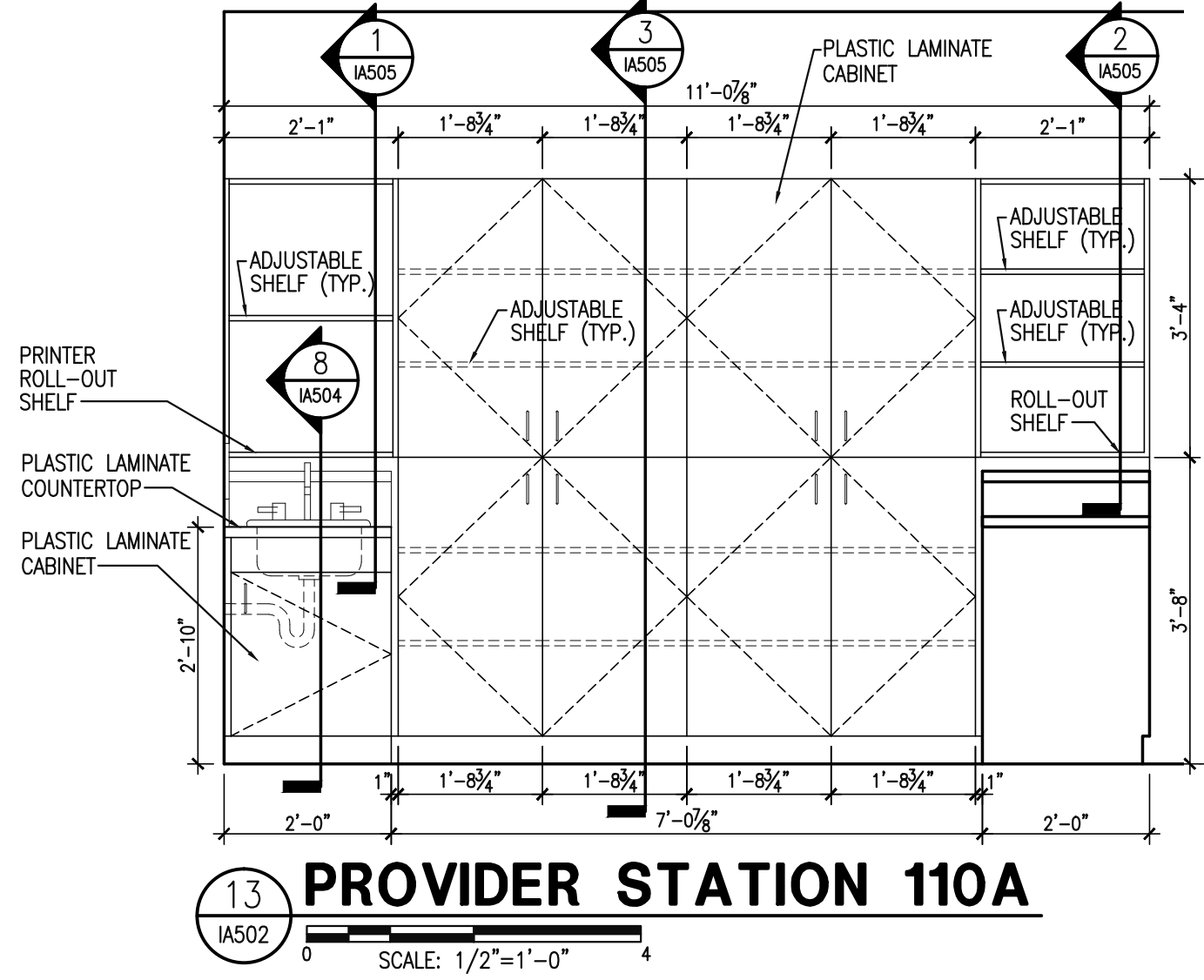
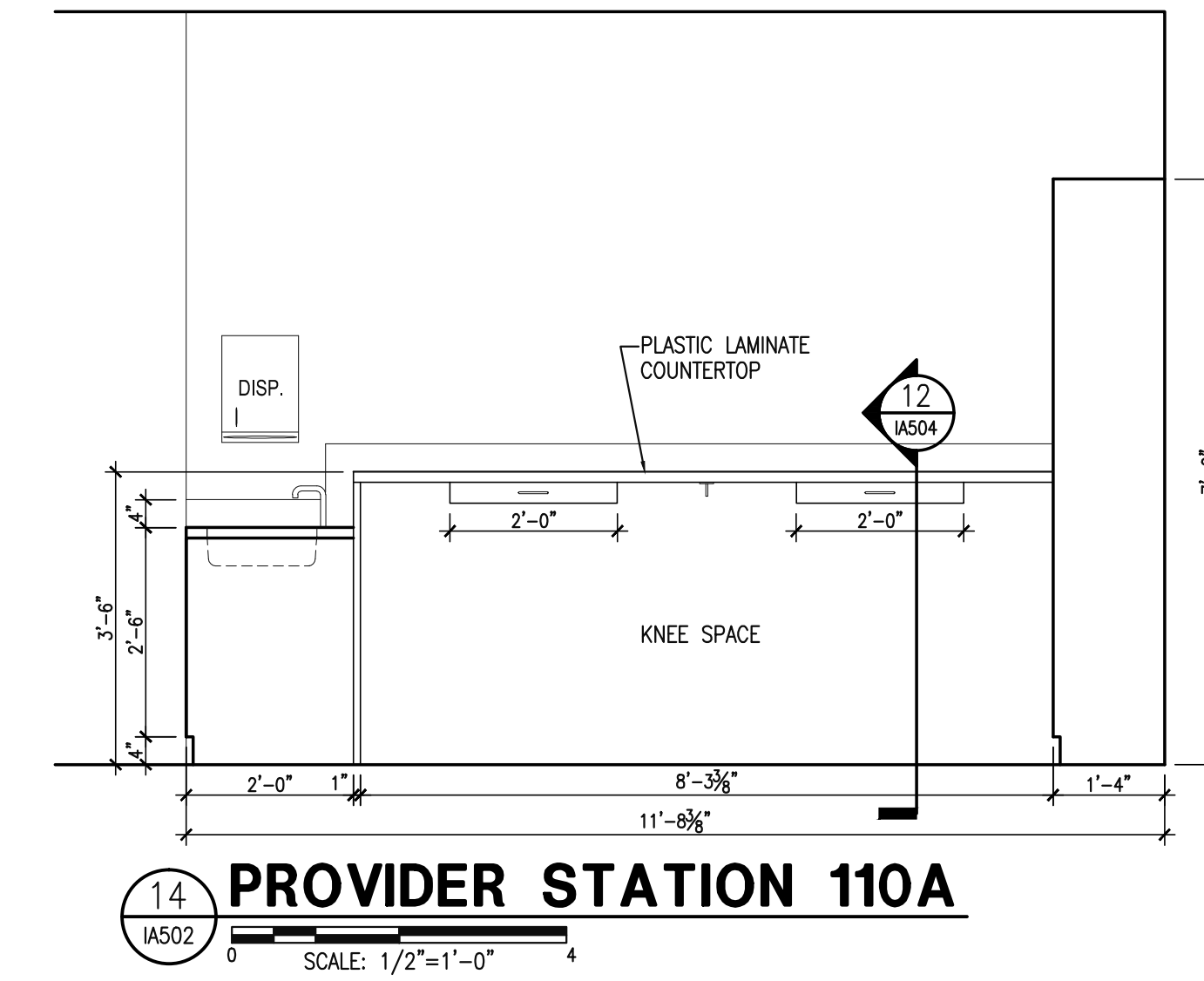
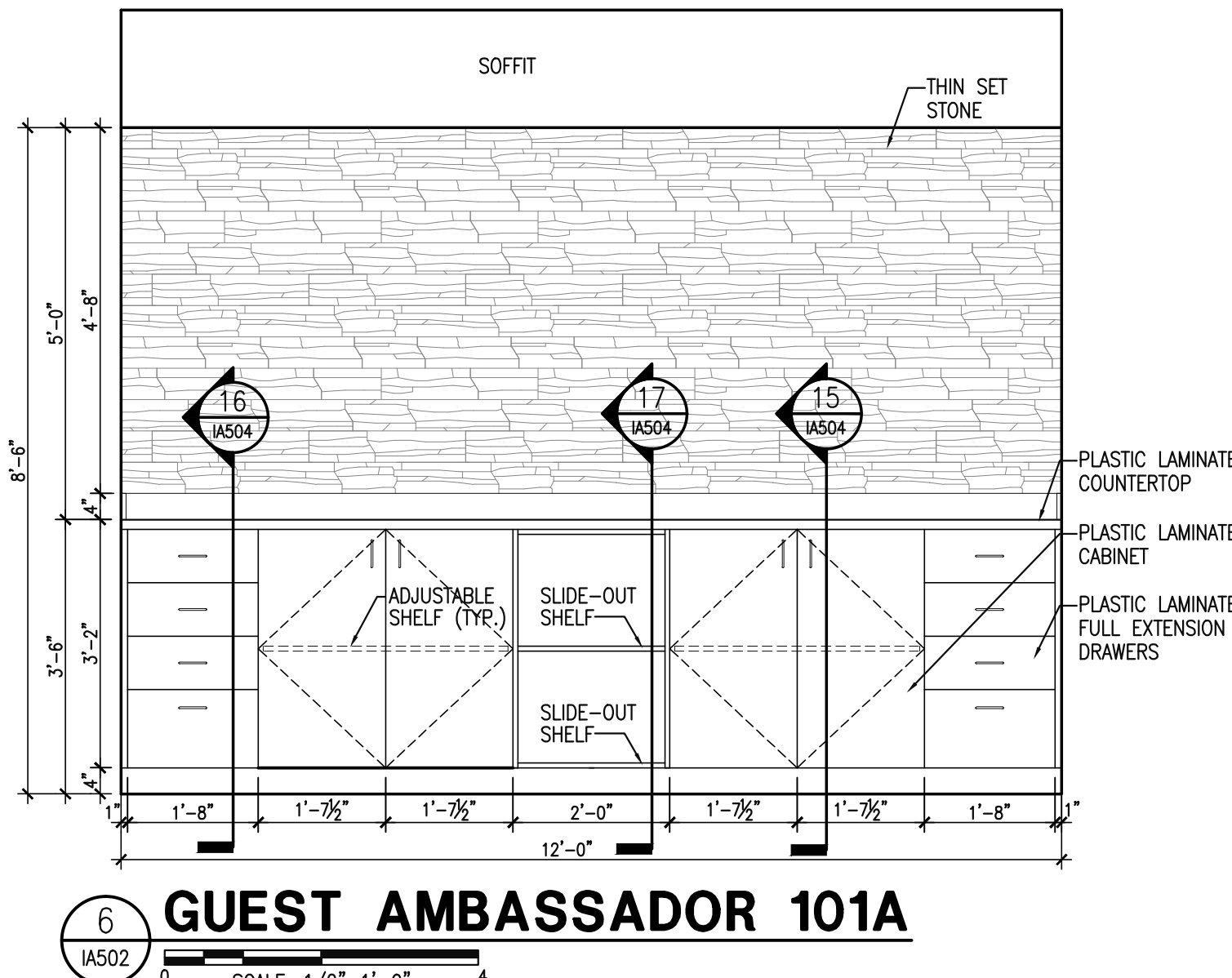
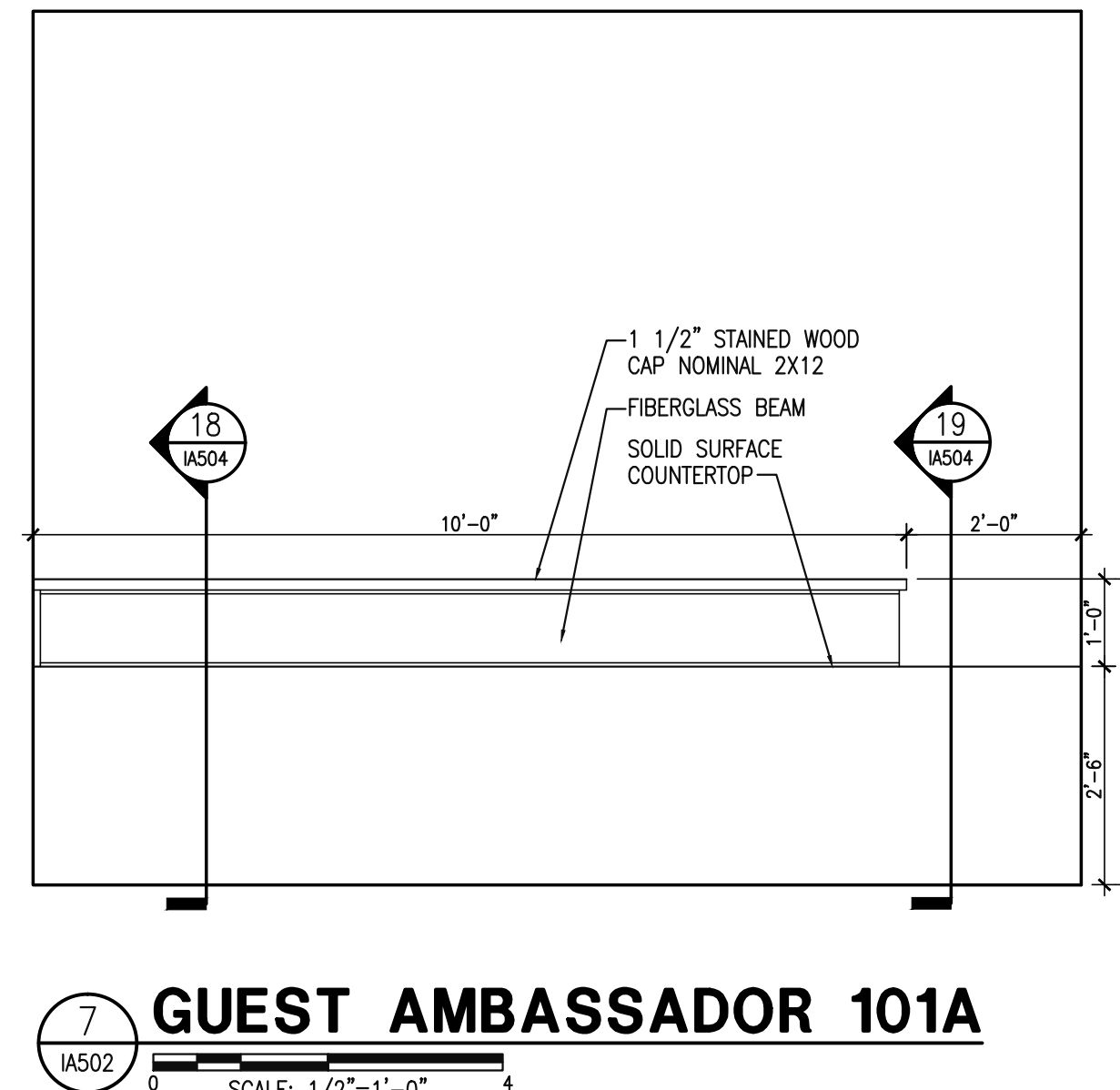
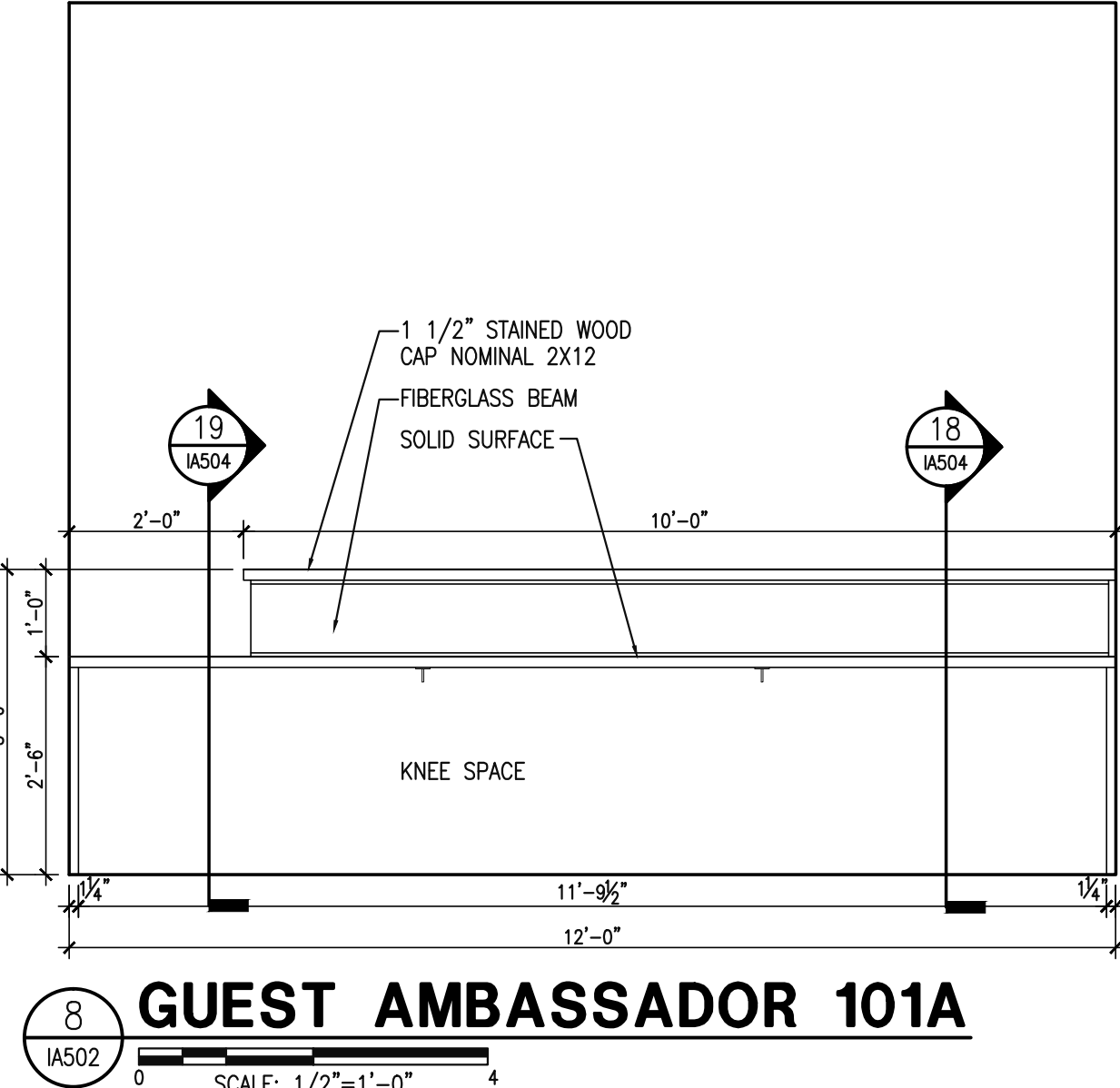
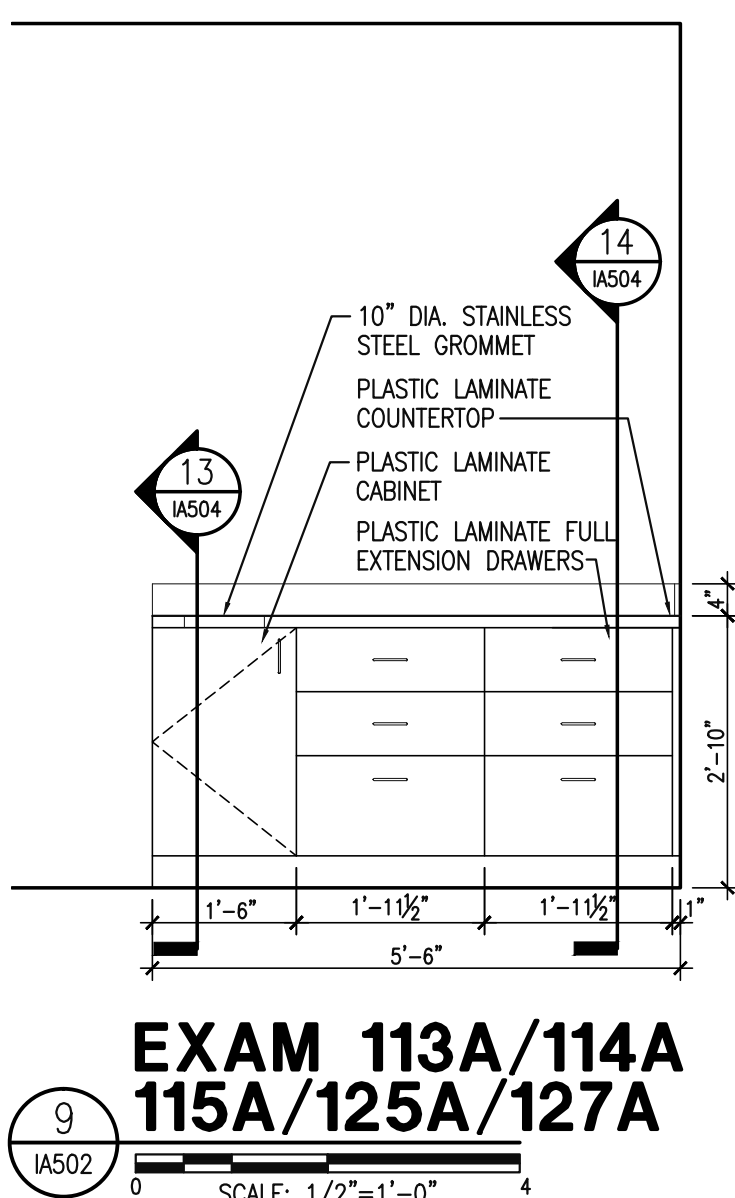
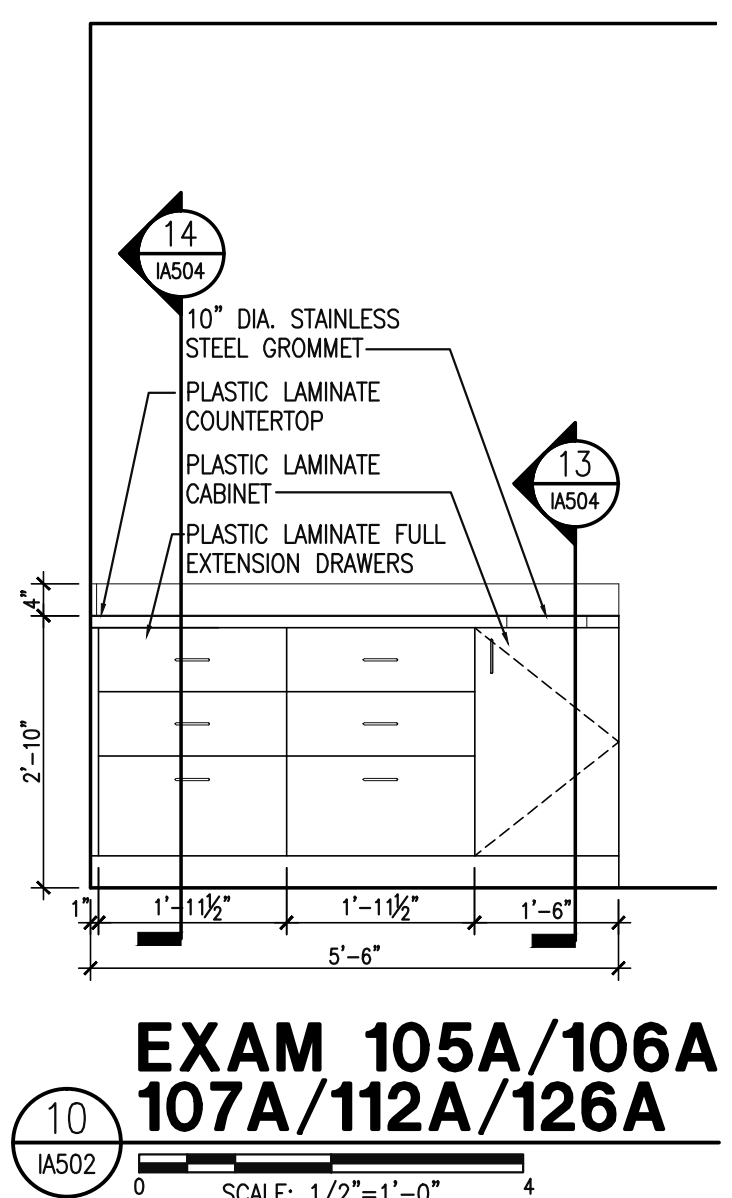
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△	CITY COMMENTS 9.28.22

Issue Date	Drawn By	Checked By
6/22/22	MJA	MJA

**Certified By:**  
MICHAEL ALBANESE  
MICHAEL ALBANESE  
Date: 2022.09.28  
10:06:40 -04'00'

**Drawing Number:**  
**IA502**

**Project Number:**  
**22199**



**NOTICE**  
One (1) Set of Approved Building plans must remain on construction site during construction.

ELECTRICAL, PLUMBING, HEAT AND AIR, FENCE, SIGN, SIDEWALK, AND DRIVEWAY CONSTRUCTION SHALL BE PERFORMED BY A LICENSED AND BONDED CONTRACTOR AND SHALL CONFORM TO THE RESPECTIVE CODE REQUIREMENTS FOR EACH.

**GENERAL FINISH NOTES:**  
 THIS SHEET IS PART OF THE APPROVED PLANS. CITY OF OKLAHOMA CITY DEVELOPMENT CENTER

- (XXX) INDICATES FLOOR FINISH TO BE DETERMINED
  - (XX) INDICATES WALL FINISH TO BE DETERMINED
  - (XX) INDICATES BASE FINISH TO BE DETERMINED
  - (XXX) INDICATES MILLWORK FINISH TO BE DETERMINED
- A. PROVIDE SAMPLES OF ALL FINISHES TO ARCHITECT/DESIGNER FOR REVIEW INCLUDING INSTALLATION JOINT AND SEAM LAY-OUTS.
  - B. REFERENCE INTERIOR ELEVATIONS, WHERE PROVIDED, FOR ADDITIONAL FINISH INFORMATION.
  - C. PAINT ALL EXPOSED METAL SURFACES (i.e. GRILLES, HEATERS, AND FIRE EXTINGUISHER CABINETS) TO MATCH ADJACENT SURFACE. FIRE EXTINGUISHER CABINETS CAN ALSO BE BAKED WHITE ENAMEL FINISH.
  - D. ALTERNATES WILL NOT BE ACCEPTED WITHOUT WRITTEN APPROVAL OF ARCHITECT/DESIGNER. SAMPLES, WHEN APPLICABLE, SHALL BE SUBMITTED FOR REVIEW.
  - E. ALL FLOORING TRANSITIONS ARE TO BE EASED USING LATEX TO ACHIEVE A SMOOTH AND UNIFORM TRANSITION, UNLESS NOTED OTHERWISE.
  - F. ALL CARPET IS TO BE DIRECT GLUE, UNLESS NOTED OTHERWISE.
  - G. CG TO HAVE MOISTURE TESTING DONE BEFORE INSTALLING CARPET ON NEW LIGHTWEIGHT CONCRETE ELEVATED SLABS ONLY.
  - H. TRANSITIONS BETWEEN UNLIKE FLOORING SURFACES ARE TO BUTT UP TO EACH OTHER WITHOUT ANY GRADE DIFFERENCE. IF THIS IS NOT POSSIBLE THEN TRANSITION STRIPS TO BE USED BETWEEN UNLIKE FLOORING SURFACES. TRANSITION STRIPS ARE TO BE MANUFACTURERS STANDARD - SCHLUTER SYSTEMS. VERIFY WITH ARCHITECT/INTERIOR DESIGNER BEFORE INSTALLATION.
  - I. ALL HOLLOW METAL DOORS AND/OR FRAMES TO BE PAINTED WITH TWO (2) COATS OF ZERO VOC LATEX SEMI-GLOSS ENAMEL OVER PROPERLY PRIMED SURFACE. PAINT COLOR TO MATCH WALL COLOR THAT DOOR IS LOCATED ON.
  - J. ALL FINISHES TO MEET CLASS C OR BETTER FOR FLAME SPREAD AND SMOKE DEVELOPED PER 2021 INTERNATIONAL BUILDING CODE TABLE 803.13 & 803.1.2. NON-SPRINKLERED: CORRIDORS & EXIT ENCLOSURES=CLASS B, EXIT PASSAGEWAYS, EXIT STAIRS= CLASS A, ROOMS AND ENCLOSED SPACES= CLASS C.
  - K. ELECTRICAL DEVICES & COVERS COLOR TO MATCH EXISTING.
  - L. USE 2-PART EPOXY PAINT ON ALL INTERIOR RESTROOM WALLS TO CREATE A WASHABLE SURFACE IF WALL TILE NOT BEING USED.
  - M. PATCH AND REPAIR ALL GYPSUM BOARD TO REMOVE ALL HOLES AND IMPERFECTIONS. PRIME ALL WALL SURFACES WITH A MINIMUM OF TWO (2) COATS BEFORE WALL PAINT TO ASSURE COMPLETE COVERAGE AND NO PREVIOUS COLOR BLEED THROUGH.
  - N. PAINT ALL WALL SURFACES WITH A MINIMUM OF TWO (2) COATS OF QUALITY GRADE PAINT, INCLUDING TOUCH UPS AFTER MOVE IN OR UPON PUNCH-LIST.
  - O. INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH 2021 INTERNATIONAL FIRE CODE, & TABLE 803.3, BUSINESS NON-SPRINKLERED: CORRIDORS & EXIT ENCLOSURES: B, EXIT STAIRS & EXIT PASSAGEWAYS: A, ROOMS & ENCLOSED SPACES: C.
  - P. ALL NEW WOOD DOORS TO HAVE ONE (1) COAT OF STAIN, ONE (1) COAT OF SEALER, AND TWO (2) COATS OF POLYURETHANE SATIN FINISH OVER PROPERLY PREPARED SURFACE. PAINT COLOR TO MATCH EXISTING OR USE PLASTIC LAMINATE VENEER DOORS.
  - Q. G.C. TO PROVIDE NEW BLINDS AT NEW WINDOWS IN OFFICE AREA TO MATCH EXISTING IF REQUIRED.
  - R. ALL BULKHEADS ARE TO BE PAINTED SAME COLOR AS WALL IF REQUIRED.
  - S. ALL FURNITURE AND WORKSTATIONS INSTALLED BY TENANT.
  - T. ALL QUARTZ, SOLID SURFACE, MARBLE TYPE MATERIALS WITH PATTERNS: AWARDED FABRICATOR TO SUBMIT PATTERN MATCHING DRAWINGS TO ARCHITECT/INTERIOR DESIGNER FOR APPROVAL PRIOR TO CUTTING SLABS.
  - U. INSTALLER TO SUBMIT RUN DIAGRAMS FOR ALL BROADLOOM CARPET TO ARCHITECT/INTERIOR DESIGNER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
  - V. CG OR INSTALLER MUST STORE FLOORING MATERIAL WITHIN THE SUITE OF INSTALLATION. PER MANUFACTURERS SPECIFICATION REQUIREMENTS THE FLOORING MATERIAL MUST BECOME ACCUSTOMED TO THE ENVIRONMENT PRIOR TO INSTALLATION. THIS WILL PREVENT SHRINKAGE AND OR EXPANDING OF THE PRODUCT AFTER INSTALLATION.
  - W. ALL NEW PARTITIONS TO BE FINISHED TO A LEVEL 4 FINISH PER ASTM C 840.
  - X. DO NOT PAINT OVER ANY CODE REQUIRED LABELS, SUCH AS UNDERWRITERS LABORATORIES AND FACTORY MUTUAL OR ANY EQUIPMENT ID, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES.

Owner:  
**DIRECT ORTHOPEDIC CARE**

**4**  
 ARCHITECTURE

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 TEL: 407.363.6136  
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Project:  
**DIRECT ORTHOPEDIC CARE INTERIOR IMPROVEMENTS**  
 2220 NW 164TH STREET, EDMOND, OKLAHOMA

Scope Drawings:  
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Drawing Title:  
**INTERIOR FINISH PLAN, NOTES AND SCHEDULE**

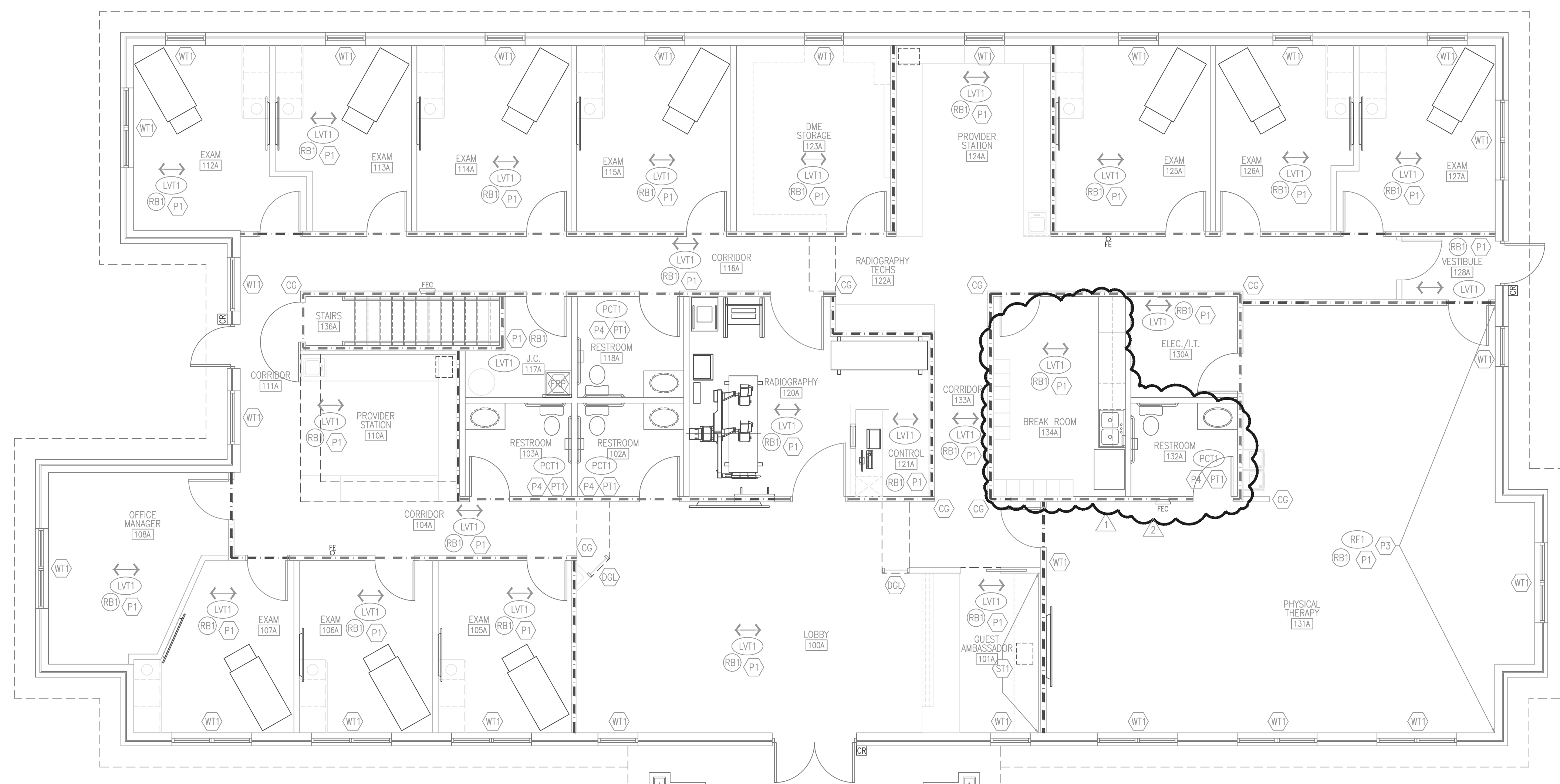
Revisions:  
 CITY COMMENTS 9.23.22  
 CITY COMMENTS 9.28.22

Issue Date	Drawn By	Checked By
6/22/22	MJA	MJA

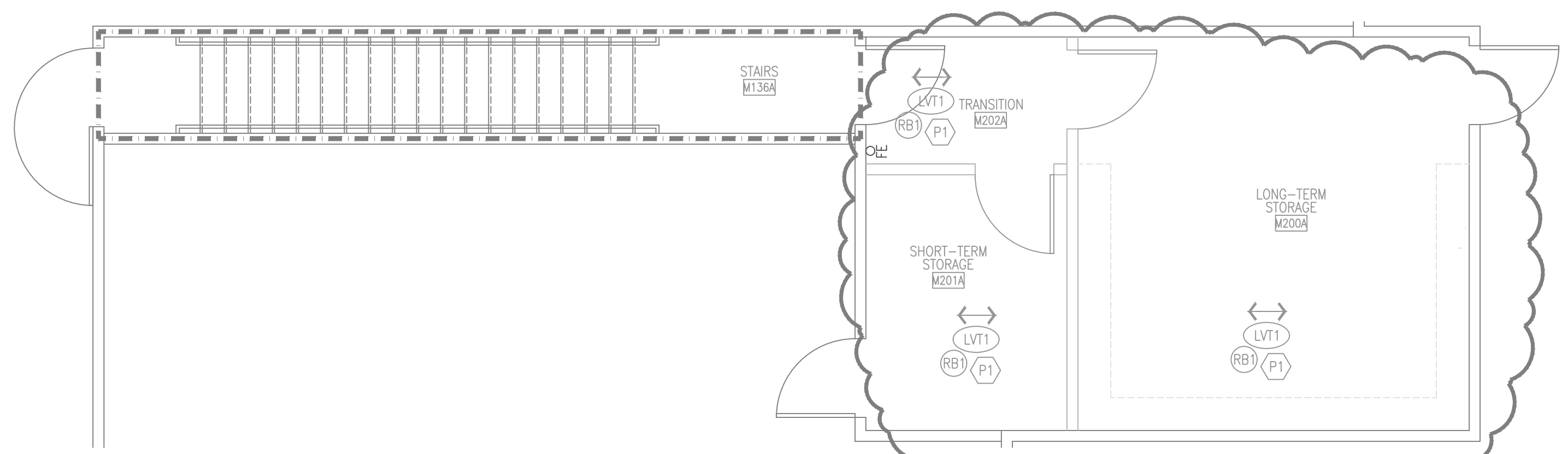
Certified By:  
**Michael Albanese**  
 State of Oklahoma  
 Architect  
 Date: 2022.09.28  
 10:07:07 -04'00'

Drawing Number:  
**IA801**

Project Number:  
**22199**



**FIRST FLOOR INTERIOR FINISH PLAN**  
 SCALE: 3/16"=1'-0"



**MEZZANINE INTERIOR FINISH PLAN**  
 SCALE: 1/4"=1'-0"

**FINISH SPECIFICATIONS**

<p><b>FLOOR FINISHES</b></p> <p>(RF1) MATERIAL: RESILIENT RUBBER FLOORING        MFG: ECORE        COLLECTION: BASIC FIT        DESIGN NAME: BASIC FIT        COLOR NAME: GREEN TEA        SIZE: 48" WIDE ROLL OR 23" INTERLOCK TILE        INSTALLATION: -        LOCATION: SEE 1/IA801</p> <p>(LVT1) MATERIAL: LUXURY VINYL TILE        MFG: SHAW CONTRACT        STYLE: UNVEIL 0601V        COLOR: ALTER_01518        SIZE: 9'X8"        INSTALLATION: BRICK        LOCATION: SEE 1/IA801</p> <p>(PCT1) MATERIAL: PORCELAIN TILE        MFG: CONCEPT SURFACES        STYLE: KEANU        COLOR: AZUL        SIZE: 12"X24" - MATTE FINISH        INSTALLATION: RUNNING BOND        LOCATION: SEE 1/IA801</p> <p>MATERIAL: GROUT        MFG: BOSTIK, TRUCOLOR        COLOR: DELOREAN GRAY H160</p> <p><b>BASE FINISHES</b></p> <p>(RB1) MATERIAL: RUBBER COVE BASE        MFG: JOHNSONITE        STYLE: COVE BASE        COLOR: RECESS, RWDC-20, GREY        SIZE: 4" HIGH, CONT. ROLL        LOCATION: SEE FINISH PLAN SHEET IA801</p> <p><b>DECORATIVE WALL GLAZING</b></p> <p>(DGL) MATERIAL: GLAZING FILM        MFG: 3M        FINISH: FASARA GLASS        COLOR: CHAMONIX-SH2EMCH        LOCATION: LOBBY 100A</p>	<p><b>WALL FINISHES</b></p> <p>(PT1) MATERIAL: PORCELAIN TILE        MFG: CONCEPT SURFACES        STYLE: KEANU        COLOR: AZUL        SIZE: 12"X24" TO 5'-0" AFF        INSTALLATION: 1/3 STAGGERED RUNNING BOND        LOCATION: SEE 1/IA801</p> <p>MATERIAL: GROUT        MFG: BOSTIK, TRUCOLOR        COLOR: DELOREAN GRAY H160</p> <p>(P1) MATERIAL: PAINT        MFG: SHERWIN WILLIAMS        FINISH: EGGSHELL        COLOR: MARCH WIND SW7668        LOCATION: FIELD COLOR</p> <p>(P2) MATERIAL: PAINT        MFG: SHERWIN WILLIAMS        FINISH: EGGSHELL FINISH        COLOR: SOFTWARE SW7074        LOCATION: SOFFITS</p> <p>(P3) MATERIAL: PAINT        MFG: SHERWIN WILLIAMS: PANTONE        FINISH: EGGSHELL        COLOR: 368 C (RGB 120, 190, 32)        LOCATION: PHYSICAL THERAPY NORTH WALL</p> <p>(P4) MATERIAL: EPOXY PAINT        MFG: SHERWIN WILLIAMS        FINISH: 2 PART EPOXY        COLOR: MARCH WIND SW7668        LOCATION: RESTROOMS ONLY</p> <p>(ST1) MATERIAL: THIN-SET STONE        MFG: REALSTONE SYSTEMS        STYLE: PEWTER HONED PANEL        COLOR: RES_WSOR_SVBH        SIZE: 6" X 24"        INSTALLATION: RUNNING BOND        LOCATION: SEE 1/IA801</p> <p>(FRP) MATERIAL: FRP WALL PANELS (48"H.)        MFG: USFRP.COM OR EQUAL        FINISH: SMOOTH        COLOR: WHITE        LOCATION: JANITOR'S CLOSET 117A</p>	<p><b>MILLWORK</b></p> <p>(SS-1) MATERIAL: SOLID SURFACE        MFG: WILSONART        COLOR NAME: DESIGNER WHITE        COLOR NUMBER: D354SL(1)        FINISH: EASED EDGE        INSTALLATION: FRONT RECEPTION DESK        LOCATION: GUEST AMBASSADOR</p> <p>(PL-1) MATERIAL: PLASTIC LAMINATE        MFG: NEVAMAR TRUCOLOR HPL        COLOR NAME: CHALK WHITE        COLOR NUMBER: NM55S-7024-GL        FINISH: GLOSS        INSTALLATION: CABINETS-VERTICAL SURFACES        LOCATION: ALL MILLWORK</p> <p>(PL-2) MATERIAL: PLASTIC LAMINATE        MFG: WILSONART        COLOR NAME: NORTH SEA        COLOR NUMBER: D90-60        FINISH: MATTE FINISH        INSTALLATION: COUNTERTOPS        LOCATION: ALL MILLWORK</p> <p>(PL-3) MATERIAL: PLASTIC LAMINATE        MFG: WILSONART        COLOR NAME: STERLING ASH        COLOR NUMBER: 7995-38        FINISH: FINE VELVET TEXTURE        INSTALLATION: VERTICAL        LOCATION: INTERIOR WOOD DOORS</p> <p>(WD1) MATERIAL: SOLID PREMIUM GRADE HARDWOOD        MFG: N/A        COLOR NAME: COGNAC MAPLE        COLOR NUMBER: 7738-58        FINISH: MATTE FINISH        INSTALLATION: HORIZONTAL        LOCATION: RECEPTION DESK OVER FIBERGLASS BEAM</p> <p><b>WALL PROTECTION</b></p> <p>(CG) MATERIAL: CORNER GUARD        MFG: C/S ACROVYN SSM-20AN        COLOR NAME: FOLKSTONE        COLOR NUMBER: 927        FINISH: SHADOWGRAIN TEXTURE        INSTALLATION: PARTIAL HEIGHT 48" AFF, 2", 1/4" RADIUS        LOCATION: INTERIOR WALL CORNERS</p> <p><b>WINDOW TREATMENTS</b></p> <p>(WT1) MATERIAL: MANUEL ROLLER SHADES        MFG: SWF CONTRACT        COLOR NAME: VELA, WHITE        COLOR NUMBER: 000Z        FINISH: 3% OPENNESS        LOCATION: SEE 1/IA801</p> <p>H.M. DOORS AND FRAMES TO BE SEMI-GLOSS FINISH USING SHERWIN WILLIAMS PAINT TO MATCH FIELD COLOR. SEE P1 ABOVE.</p>
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**NOTICE**  
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