

# EXCLUSIVE

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## INDUSTRIAL SPACE FOR LEASE

## 1603 LAKELAND AVE BOHEMIA, NEW YORK

### PROPERTY SUMMARY

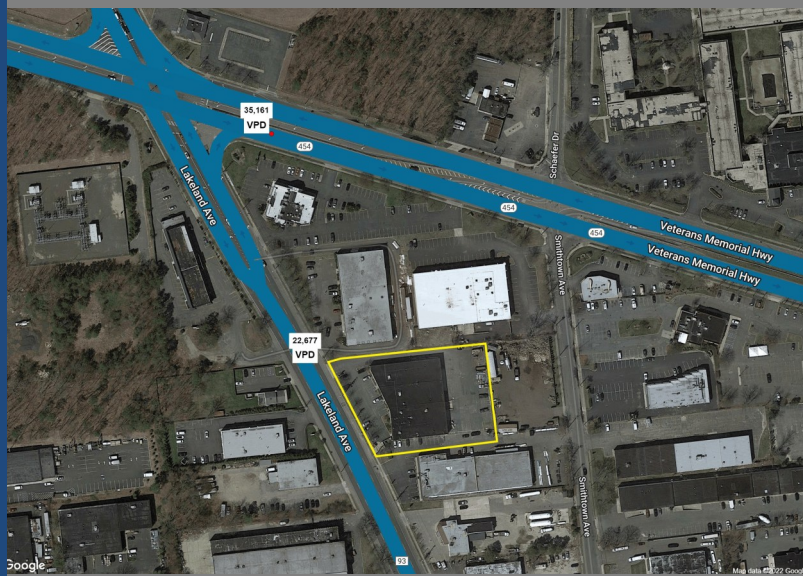
**DESCRIPTION:** ± 2,800 sf of industrial warehouse space featuring ± 18' ceiling height & rear loading dock.

**LOCATION:** Lakeland Ave frontage Immediately south of Veterans Highway. Other tenants include Brentwood Door, Sherwin Williams and Hot Tubs-Outdoor Kitchens & Fireplaces

**RENT:** \$50,000 per year (\$4,167 per month)  
Plus Approx \$375 per month CAM plus annual increase over base year real estate taxes

### HIGHLIGHTS

- Rear loading dock
- ± 750 sf showroom
- ± 110 sf office space
- ± 18' under steel ceiling height in warehouse
- Adjacent ± 3/4 acre fenced lot available separately @ \$4,000/ mo.



1603 Loading Dock

The information contained herein has been received by us from sources we believe to be reliable, but we have made no independent investigation of the accuracy or completeness of the information and make no representations with respect thereto. The above is submitted subject to errors, prior sale, change in status or withdrawal without notice.

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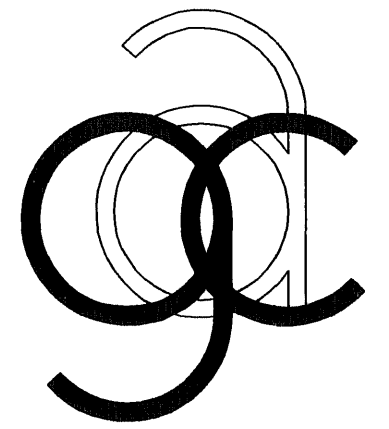


# PROPOSED NEW INTERIOR LAYOUT FOR: DISTINCTIVE PRINTING SOLUTIONS, INC.

1605 LAKELAND AVE. BOHEMIA, NEW YORK

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PROJECT NO. 08.22  
DATE: 4/14/08

**PROJECT SCOPE:**  
INTERIOR: THE PROPOSED NEW WORK SHALL CONSIST OF 2,800 SQUARE FEET OF OFFICES (DISPLAY AREA AND STOCK AREA) IN EXISTING 21,106 SQUARE FOOT MULTI-TENANT BUILDING.  
THERE IS NO CHANGE OF USE, STAYS THE SAME BUSINESS (B) / STORAGE (S-2) SECTION 304.1.  
EXTERIOR: NO WORK  
**REFERENCED STANDARDS:**  
BUILDING CODE OF N.Y.S. (2007)  
EXISTING BUILDING CODE OF N.Y.S. (2007)  
ICC - ANS A117.1 (2003)  
EXISTING BUILDING CODE OF NEW YORK STATE ANALYSIS IS FOLLOWED BY ADDITIONAL APPLICABLE CODE SECTIONS

CHAPTER 3 - CLASSIFICATION OF WORK			
CODE SECTION	TOPIC	REQUIRED/ALLOWED (BY CODE)	ACTUAL (PROPOSED)
300.2	WORK AREA		WORK AREA IS LESS THAN 1% OF EXISTING BUILDING AREA. SEE LOCATION PLAN THIS SHEET.
302	DEMOLITION	DOES NOT APPLY	
303	ALTERATION - LEVEL 1	APPLIES - SEE CHAPTER 5 ANALYSIS	INCLUDES REMOVAL & REPLACEMENT OF INTERIOR WALLS & CEILING.
304	ALTERATION - LEVEL 2	DOES NOT APPLY	
305	ALTERATION - LEVEL 3	DOES NOT APPLY	
306	CHANGE OF OCCUPANCY	DOES NOT APPLY	
307	ADDITIONS	DOES NOT APPLY	
308	HISTORIC BUILDINGS	DOES NOT APPLY	
309	RELOCATED BUILDINGS	DOES NOT APPLY	

#### CHAPTER 4 - REPAIR - NOT APPLICABLE

CHAPTER 5 - ALTERATIONS - LEVEL 1			
CODE SECTION	TOPIC	REQUIRED/ALLOWED (BY CODE)	ACTUAL (PROPOSED)
501	SCOPE		NEW WORK SHALL NOT DECREASE CONFORMITY WITH ANY APPLICABLE CODES OR VARIANCES
502	SPECIAL USE AND OCCUPANCY	DOES NOT APPLY	
503	BUILDING ELEMENTS AND MATERIALS		
503.1-503.3	FINISHES-CARPET		SHALL COMPLY WITH CHAPTER 8 OF THE B.C.N.Y.S. AS NOTED
503.3	MATERIALS AND METHODS		ALL WORK SHALL COMPLY WITH THE BUILDING, MECHANICAL AND PLUMBING CODES OF NEW YORK STATE AND NFPA 90 STANDARDS
(503)3.1	FUEL GAS CODE OF NEW YORK STATE	EXISTING GAS FIRED MECHANICAL SYSTEM TO BE REPLACED	SHALL COMPLY WITH CHAPTERS 3 AND 4 OF THE FUEL GAS CODE OF NEW YORK STATE
(503)3.3	ENERGY CONSERVATION CODE OF NEW YORK STATE		AS PER SECTION 101.4.2 EXISTING BLDG. COMPLES TO THE B.C.N.Y.S.
504	FIRE PROTECTION		EXISTING SPACE HAS A FIRE / SMOKE DETECTION SYSTEM TO BE MAINTAINED
505	MEANS OF EGRESS		SEE GENERAL BUILDING DATA THIS SHEET
506	ACCESSIBILITY		NEW INSTALLATION SHALL COMPLY WITH CHAPTER 11 - B.C.N.Y.S. AS REQUIRED
507	STRUCTURAL	EXISTING STRUCTURAL TO REMAIN	

#### CHAPTER 6 - ALTERATIONS - LEVEL 2 - NOT APPLICABLE

#### CHAPTER 7 - ALTERATIONS - LEVEL 3 - NOT APPLICABLE

#### CHAPTER 8 - CHAPTER 12 - NOT APPLICABLE

CHAPTER 13 - CONSTRUCTION SAFEGUARDS			
CODE SECTION	TOPIC	REQUIRED/ALLOWED (BY CODE)	ACTUAL (PROPOSED)
1301.1	SCOPE	COMPLIANCE REQUIRED FOR THE SAFETY AND PROTECTION OF PUBLIC AND PRIVATE PROPERTIES	NEW WORK SHALL NOT DECREASE CONFORMITY WITH ANY APPLICABLE CODES OR VARIANCES
1301.2	STORAGE AND PLACEMENT	COMPLIANCE REQUIRED FOR THE STORAGE OF EQUIPMENT ON SITE	COMPLIES - STORAGE OF MATERIALS AND EQUIPMENT NOT TO BE OUTDOORS
1301.3	ALTERATIONS, REPAIRS AND ADDITIONS	COMPLIANCE REQUIRED FOR MAINTAINING THE REQUIRED EGRESS, FIRE PROTECTION, SANITARY MAINTENANCE	COMPLIES - EXISTING SPACE TO BE ALTERED NOT TO BE OCCUPIED AT TIME OF CONSTRUCTION
1301.4	MANNER OF REMOVAL		DUMPSTER TO BE PROVIDED FOR REMOVAL OF WASTE
1301.5	FACILITIES REQUIRED		FACILITIES TO BE PROVIDED FOR WORKERS
1301.6	PROTECTION OF PASSENGERS	DOES NOT APPLY	NO PEDESTRIAN TRAFFIC, NO OUTDOOR WORK
1302	PROTECTION OF ADJACENT PROPERTY	DOES NOT APPLY	INTERIOR ALTERATIONS
1303	TEMPORARY USE OF STREETS, ALLEYS AND PUBLIC PROPERTY	DOES NOT APPLY	INTERIOR ALTERATIONS, STREETS AND PUBLIC PROPERTY SHALL NOT BE USED FOR STORAGE OR HANDLING OF MATERIAL
1304	FIRE EXTINGUISHERS	COMPLIANCE REQ'D WITH SECTION 906 - FIRE CODE OF N.Y.S.	PORTABLE EXTINGUISHERS AS NOTED ON DRAWINGS
1305	EXITS		
1305.1	STAIRWAYS	DOES NOT APPLY	
1305.2	MAINTENANCE OF EXITS		COMPLIES - EXITS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION
1306	STANDPIPE SYSTEMS	DOES NOT APPLY	
1307	AUTOMATIC SPRINKLER SYSTEM	DOES NOT APPLY	EXISTING BUILDING DOES NOT HAVE A FIRE SPRINKLER SYSTEM
1308	ACCESSIBILITY		SHALL COMPLY

#### BUILDING PLAN REVIEW NOTE:

TOWN OF ISLIP BUILDING PLANS EXAMINER HAS REVIEWED THE ENCLOSED DOCUMENT FOR MINIMUM ACCEPTABLE PLAN SUBMITTAL REQUIREMENTS OF THE TOWN OF ISLIP AS SPECIFIED IN THE BUILDING CODE OF THE STATE OF NEW YORK AND THE EXISTING BUILDING CODE OF N.Y.S. (2007). THIS REVIEW DOES NOT GUARANTEE COMPLIANCE WITH THAT CODE. THAT RESPONSIBILITY IS GUARANTEED UNDER THE SEAL AND SIGNATURE OF THE STATE OF NEW YORK LICENSED DESIGN PROFESSIONAL OF RECORD. THAT SEAL AND SIGNATURE HAS BEEN INTERPRETED AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE'S BELIEF AND INFORMATION, THE WORK IN THE DOCUMENT IS:

- ACCURATE,
- CONFORMS WITH GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION,
- CONFORM WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE
- SAFEGUARDING OF LIFE, HEALTH, PROPERTY AND PUBLIC WELFARE,
- IS THE RESPONSIBILITY OF THE LICENSEE.

#### ADDITIONAL APPLICABLE CODE SECTIONS:

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS			
CODE SECTION	TOPIC	REQUIRED/ALLOWED (BY CODE)	ACTUAL (PROPOSED)
501	GENERAL HEIGHT AREA LIMITATIONS	TABLE 501-B, TYPE B-B - 33,000 SQ. FT. FLOOR AREA, 4 STORY	AS NOTED FLOOR AREA 2,800 SQ. FT. AND ONE STORY
504	HEIGHT MODIFICATIONS	DOES NOT APPLY	
505	MEZZANINES	DOES NOT APPLY	
506	AREA MODIFICATION	DOES NOT APPLY	
507	UNLIMITED AREA BUILDINGS	DOES NOT APPLY	
508	SPECIAL PROVISIONS	DOES NOT APPLY	

CHAPTER 25 - GYPSUM BOARD AND PLASTER			
CODE SECTION	TOPIC	REQUIRED/ALLOWED (BY CODE)	ACTUAL (PROPOSED)
2501	GENERAL	IDENTIFICATION/STORAGE REQUIREMENTS	SHALL BE IDENTIFIED BY NAME, AND STORED TO PROTECT FROM WEATHER
2501.1	STANDARDS	SHALL COMPLY WITH STANDARDS IN TABLE 2501.2 AS APPLICABLE	COMPLIES
2501.1	OTHER MATERIALS - ACOUSTIC CEILING	COMPLY WITH ASTM C-635	COMPLIES, SPECIFIED ARMSTRONG CEILING SYSTEM
2501.1	GENERAL	SHALL COMPLY WITH STANDARDS IN TABLE 2501.1 AS APPLICABLE	COMPLIES
2501.1	WET AREAS	SHALL COMPLY WITH SECT. 1002.2 AND 1003	COMPLIES, WATER RESISTANT BOARD SPECIFIED AS PER PLAN

CHAPTER 27 - ELECTRICAL			
CODE SECTION	TOPIC	REQUIRED/ALLOWED (BY CODE)	ACTUAL (PROPOSED)
2701.1	SCOPE	COMPLIANCE WITH THE PROVISIONS OF NFPA 70	ELECTRICAL COMPONENTS, EQUIPMENT, AND SYSTEMS SHALL BE IDENTIFIED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF NFPA 70. REFER TO PLANS FOR ADDITIONAL INFORMATION.

CHAPTER 28 - MECHANICAL SYSTEMS			
CODE SECTION	TOPIC	REQUIRED/ALLOWED (BY CODE)	ACTUAL (PROPOSED)
2801.1	SCOPE	COMPLIANCE WITH THE MECHANICAL CODE OF NEW YORK STATE AND THE FUEL GAS CODE OF NEW YORK STATE	COMPLIES, REFER TO PROVIDED DRAWINGS

CHAPTER 29 - PLUMBING SYSTEMS			
CODE SECTION	TOPIC	REQUIRED/ALLOWED (BY CODE)	ACTUAL (PROPOSED)
2901.1	SCOPE	COMPLIANCE WITH THE PLUMBING CODE OF NEW YORK STATE	COMPLIES, REFER TO PROVIDED DRAWINGS
2901.1	MINIMUM # OF FIXTURES	NOT APPLICABLE	FIXTURES ARE EXISTING, NEW FIXTURES NOT PART OF ADDITION
2901.1	ACCESSIBLE FACILITIES	REQUIRED AS PER B.C.N.Y.S.	PROVIDED AS PER FLOOR PLANS

## GENERAL BUILDING DATA

#### BUILDING DATA

OCCUPANCY CLASSIFICATION (SECTION 304):  
B/S-2 (EXISTING) NO CHANGE

MIXED OCCUPANCY: NON-SEPARATED USES

BUSINESS = 712 SQ. FT.  
STORAGE = 2,088 SQ. FT.  
TOTAL = 2,800 SQ. FT.

FOR TYPE IIB CONSTRUCTION:

USE	MAX. AREA	ACTUAL AREA	MAX. HEIGHT	ACTUAL HEIGHT
BUSINESS	23,000 S.F.	2,800 S.F.	4 STORY / 35'	1 STORY / 20'
STORAGE (S-2)	26,000 S.F.	2,088 S.F.	4 STORY / 35'	1 STORY / 20'

THEREFORE THESE CAN BE NON-SEPARATED AS PER SECTION 302.3.2.

OCCUPANCY CLASSIFICATION (SECTION 304):  
B/S-2 (EXISTING) NO CHANGE

CONSTRUCTION CLASSIFICATION: TYPE IIB

BUILDING AREA:  
EXISTING ONE STORY BUILDING AREA: 21,106 SQ. FT.  
PROPOSED TENANT AREA: 2,800 SQ. FT.

OCCUPANCY: (TABLE 1004.1.2)  
PROPOSED GROUP B = OFFICE AREA: 100 GROSS  
(FLOOR AREA IN SQ. FT. PER OCC.)  
= STORAGE AREA: 500 GROSS  
(FLOOR AREA IN SQ. FT. PER OCC.)  
OFFICE AREA = 712 SQ. FT. / 100 = 7.1 OCC.  
STOR. AREA = 2,088 SQ. FT. / 500 = 4.18 OCC.  
TOTAL = 14 (OCCUPANT LOAD)

#### BUILDING DATA CONT.

MIXED OCCUPANCY: ☒ YES ☐ NO  
CONSTRUCTION TYPE: ☐ YES ☒ NO  
SPRINKLERED: ☐ YES ☒ NO

NUMBER OF STORIES: 1  
MEZZANINE: ☐ YES ☒ NO

BASIC WIND SPEED 110 MPH, EXPOSURE CATEGORY C

#### LIFE SAFETY SYSTEM

EMERGENCY LIGHTING: ☒ YES ☐ NO  
EXIT SIGNS: ☒ YES ☐ NO  
FIRE ALARM / SMOKE DETECTION SYSTEM: ☒ YES ☐ NO  
PANIC HARDWARE: ☒ YES ☐ NO  
FIRE SPRINKLER: ☐ YES ☒ NO

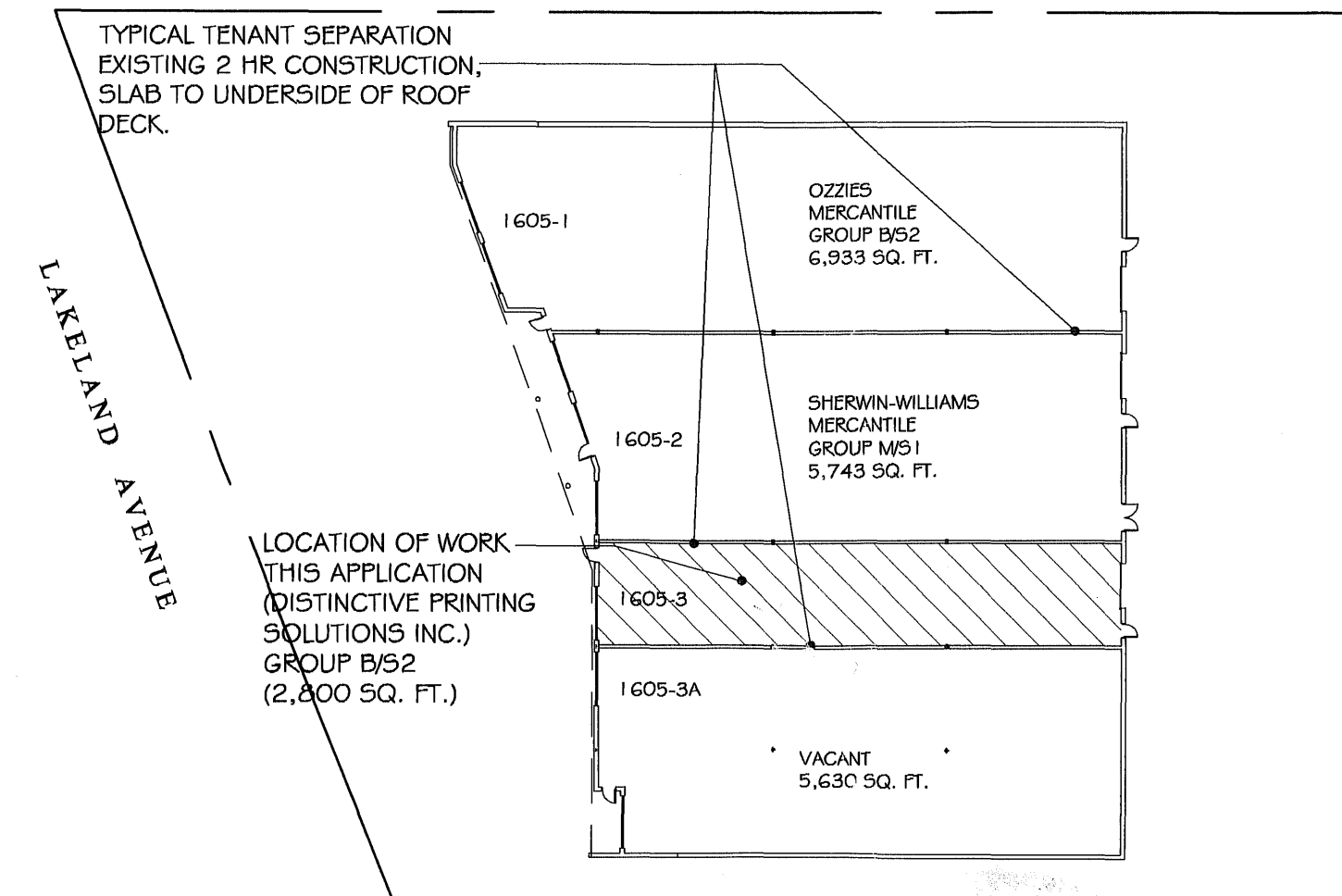
EXIT ACCESS TRAVEL DISTANCE (TABLE 1015.1):  
280 FT. MAXIMUM ALLOWED  
90 FT. PROPOSED

NUMBER EXITS (TABLE 1016.1):  
2 REQUIRED  
2 PROVIDED

EGRESS WIDTH PER OCCUPANT SERVED (TABLE 1005.1):  
0.2' PER PERSON  
0.2' x 14 = 2.8' REQUIRED  
EXISTING: 0.2' PER PERSON  
TOTAL = 2.8' PROVIDED

## SEPARATION / LOCATION PLAN

SCALE: 1"= 40'



FLOOR AREAS FOR 1605 LAKELAND AVE.  
TENANTS:  
1605-1 6,933 SQ. FT.  
1605-2 5,743 SQ. FT.  
1605-3 2,800 SQ. FT.  
1605-3A 5,630 SQ. FT.  
TOTAL 21,106 SQ. FT.

## DRAWING INDEX

TITLE SHEET  
A-1 CONSTRUCTION PLAN, DOOR SCHEDULE  
A-2 REFLECTED CEILING PLAN



GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL STRICTLY FOLLOW ALL OWNERS RULES AND REGULATION WITH RESPECT TO PROTECTION, SAFETY, DELIVERIES, HOURS OF OPERATION AND RUBBISH REMOVAL.
2. ANY ITEM REMOVED FROM SPACE (I.E.. DOORS, LIGHTS, ETC..) SHALL BE TURNED OVER TO OWNER IF REQUESTED.
3. CONTRACTOR SHALL PROTECT EXISTING FIRE / SMOKE DETECTORS AS REQUIRED PRIOR TO START OF WORK. ALL EXISTING LIFE SAFETY EQUIPMENT SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
4. ALL PLUMBING, HVAC, AND ELECTRICAL COMPONENTS TO BE DISCONNECTED, CAPPED AND REMOVED, OR REROUTED AS REQUIRED.
5. PROVIDE TEMPORARY SIGNAGE, EXIT LIGHTS, ETC. TO ASSURE SAFE PASSAGE OF OCCUPANTS DURING CONSTRUCTION AS REQUIRED BY LOCAL GOVERNING CODES.

GENERAL CONSTRUCTION NOTES:

1. ALL CONSTRUCTION IS TO CONFORM TO N.Y.S. AND LOCAL BUILDING CODES.
2. ALL PLUMBING IS TO CONFORM TO LOCAL AND COUNTY HEALTH REQUIREMENTS.
3. ELECTRIC IS TO CONFORM TO LOCAL N.E.C. AND UNDERWRITERS REQUIREMENTS.
4. NOTIFY THE ARCHITECT OF ALL CHANGES. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES WITHOUT NOTIFICATION.
5. ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHALL CONFORM TO THE REGULATIONS OF THE NEW YORK STATE CODES AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.
6. INSTALL APPROVED ILLUMINATED EXIT SIGNS AT ALL EXITS AND APPROACHES THERETO. DIRECTIONAL EXIT SIGNS SHALL BE INSTALLED IN EVERY LOCATION WHERE THE DIRECTION OF TRAVEL TO REACH THE NEAREST EXIT IS NOT IMMEDIATELY APPARENT.
7. DO NOT SCALE DRAWINGS.
8. ALL HANDICAPPED TOILET STALLS, FIXTURES, ACCESSORIES, ETC. SHALL CONFORM TO HANDICAPPED STANDARDS AS SET FORTH IN THE LATEST EDITION A.N.S.I. SPECIFICATIONS.
9. FLAMMABLE MATERIALS SHALL NOT BE PERMITTED AS INSULATION OR FILL.
10. FIRE STOP ALL DUCTS, PIPES, AND CONDUIT PENETRATING THRU FIRE SEPARATIONS. FIRE ACTUATED DAMPERS REQUIRED.
11. INSTALL APPROVED EMERGENCY LIGHTING THROUGHOUT PREMISES.
12. INSTALL FIRE AND SMOKE DETECTION / ALARM SYSTEM IN ACCORDANCE WITH TOWN FIRE MARSHALL REQUIREMENTS.
13. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, OR ANY SUB-CONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
14. PROVIDE IN-WALL BLOCKING FOR ALL WALL FIXTURES AND ACCESSORIES.

PLUMBING NOTES:

1. INSTALL SHUT-OFF VALVE FOR HOT AND COLD WATER SUPPLY, CEILING ACCESSIBLE, AND FOR EACH INDIVIDUAL FIXTURE WITHIN THE BATHROOM.
2. GRAB BARS ARE TO BE STAINLESS STEEL, 1 1/4" OUTSIDE DIAMETER, WITH STAINLESS ESUTCHIONS AND MOUNTING PLATES. PROVIDE 1 1/2" SPACE BETWEEN WALL AND BAR. PROVIDE BLOCKING IN WALLS FOR SECURE MOUNTING OF GRAB BARS.
3. PROVIDE FOR PHYSICALLY HANDICAPPED TOILET FIXTURE AT BATHROOM.
4. PHYSICALLY HANDICAPPED TOILET SHALL CONFORM TO ANSI A117.1 STANDARD SPECIFICATION FOR "PROVIDING ACCESSIBILITY AND USABILITY FOR PHYSICALLY HANDICAPPED PEOPLE".
5. FURNISH, INSTALL AND CONNECT ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
6. PHYSICALLY HANDICAPPED TOILET TO BE FLOOR MOUNTED AMERICAN STANDARD CADET ADA 16 1/2" H 10" ROUGH-IN ELONGATED TOILET, WHITE, WITH 53 1 1/2" ELONGATED SEAT, WHITE.
7. PHYSICALLY HANDICAPPED WHEELCHAIR LAVATORY TO BE AMERICAN STANDARD #9141.011 COMPLETE WITH TOUCHLESS K13660 OR EQUAL HANDICAPPED, CHROME FAUCET, COMPLETE 7723.018 DRAIN ASSEMBLY, 1/2" CHROME H & C WATER STOPS, SUPPLY AND DRAIN CHROME TAIL PIECES AND WADE W-520 LAVATORY CONCEALED ARM WALL CARRIER.

ELECTRICAL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR THE PROVISIONS OF ADEQUATE WIRING AND POWER TO PANEL BOX AND IS TO SUPPLY ARCHITECT WITH ELECTRICAL ENGINEERING DRAWINGS INDICATING CIRCULATING PANEL INFORMATION, ALL OUTLETS, SWITCHES, AND FIXTURES.
2. ELECTRICAL CONTRACTOR IS TO VERIFY MANUF. SPECS. FOR POWER REQ. AND SEPARATE CIRCUITS. IN CASE OF UNCERTAINTY, CONTACT ELECTRICAL ENGINEER FOR CLARIFICATION.
3. CONTRACTOR TO OBTAIN ALL APPLICABLE SIGN-OFFS.
4. ALL LIGHT FIXTURES AND WIRING TO BE "UL" LABEL AND INSTALLED AS PER CODE.
5. CONTRACTOR SHALL PROVIDE MINERAL WOOL FIRE STOP PER CODE AT ALL VERTICAL AND HORIZONTAL RATED PENETRATIONS.
6. ALL FURNITURE AND EQUIPMENT TO BE FURNISHED AND INSTALL BY TENANTS VENDOR. ALL TELEPHONE AND DATA CABLE TO BE BY TENANT.
7. CONTRACTOR TO PROVIDE HARDWIRE BASE FEEDS FOR TENANTS WORKSTATIONS. VERIFY SPECIFIC REQUIREMENTS WITH TENANT.
8. ALL TELEPHONE AND DATA CABLE TO BE BY TENANT.

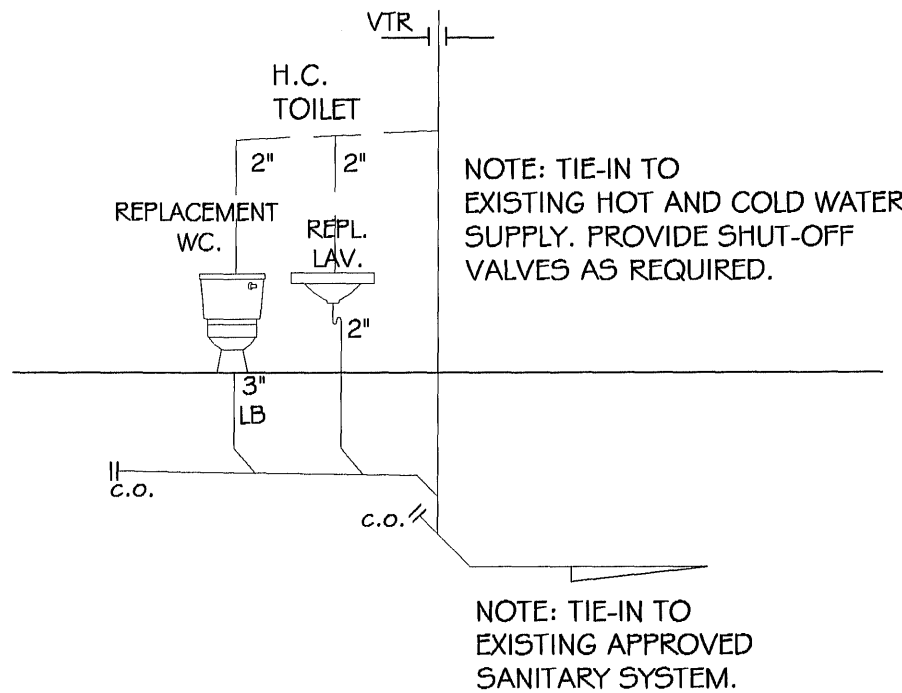
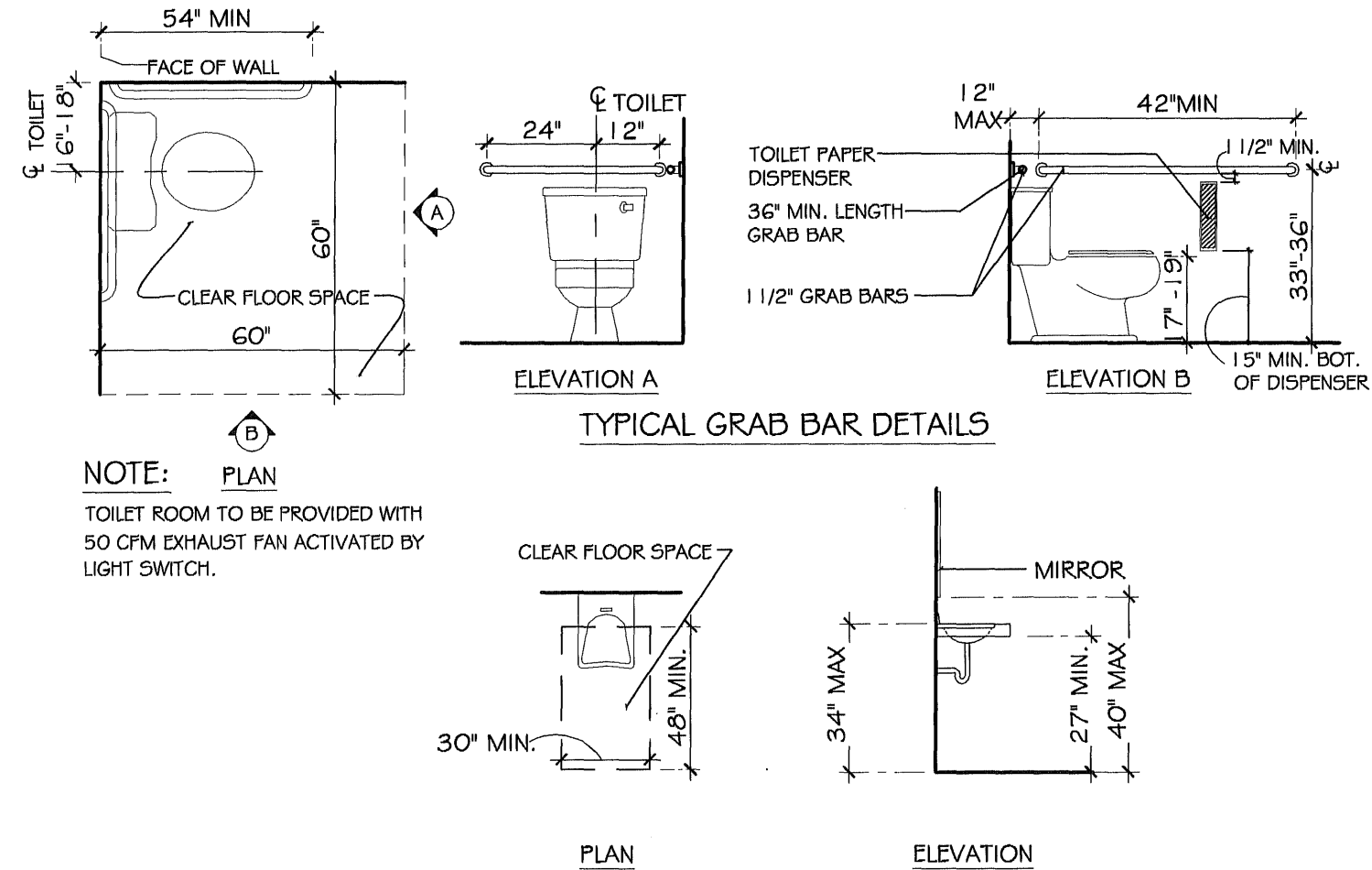
ELECTRICAL SYMBOLS LEGEND:

- ⊕ CONVENIENCE DUPLEX OUTLET.
- ⊕ NEW DEDICATED QUADRUPLUX OUTLET FOR COMPUTERS
- ⊕ DEDICATED DUPLEX OUTLET, 20 AMP FOR MAIN COMPUTER
- ▽ TELEPHONE / DATA JUNCTION BOX W/ PULL STRING.
- Ⓣ PROGRAMMABLE 7-DAY THERMOSTAT w SET-BACK CAPABILITIES

PARTITION TYPE LEGEND:

- EXISTING PARTITION WALL.
- EXISTING CONC. BLOCK WALL TO ROOF.
- - - EXISTING PARTITION TO BE REMOVED
- NEW 2 HOUR RATED NON-BEARING PARTITION WALL: 3 5/8" OR 6" METAL STUDS WITH (2) LAYERS OF 5/8" TYPE 'X' G.W.B. EA. SIDE. CONSTRUCTED FROM FLOOR, SMOKE-TIGHT, TO UNDERSIDE OF ROOF DECK ABOVE. PROVIDE BATT INSULATION. UL DESIGN # U419.
- NEW INTERIOR NON-BEARING PARTITION WALL: 3 5/8" METAL STUD WALL, OR THICKNESS AS INDICATED WITH 5/8" G.W.B. EA. SIDE. GWB TO TERMINATE 6" ABOVE HUNG CEILING HEIGHT. PROVIDE 3 1/2" BATT INSULATION

- NOTES:
1. METAL FURRING SHALL BE 20 GAUGE (MIN.) GALVANIZED.
  2. GYPSUM WALL BOARD: REGULAR TYPE, UNLESS OTHERWISE NOTED, TYPE 'X' FOR FIRE-RATED ASSEMBLIES. 5/8" THICK, UNLESS OTHERWISE NOTED. MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
  3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GYPSUM CONSTRUCTION HANDBOOK.
  4. WALLS TO BE FINISHED SHALL BE TAPED, PROPERLY FLUSHED AND SANDED SMOOTH. JOINTS IN FINISHED GYPSUM WALLS TO RECEIVE TAPE AND THREE COATS OF SPACKLE.
  5. PROVIDE FIRESAFING AS REQUIRED AT WALL PENETRATIONS.



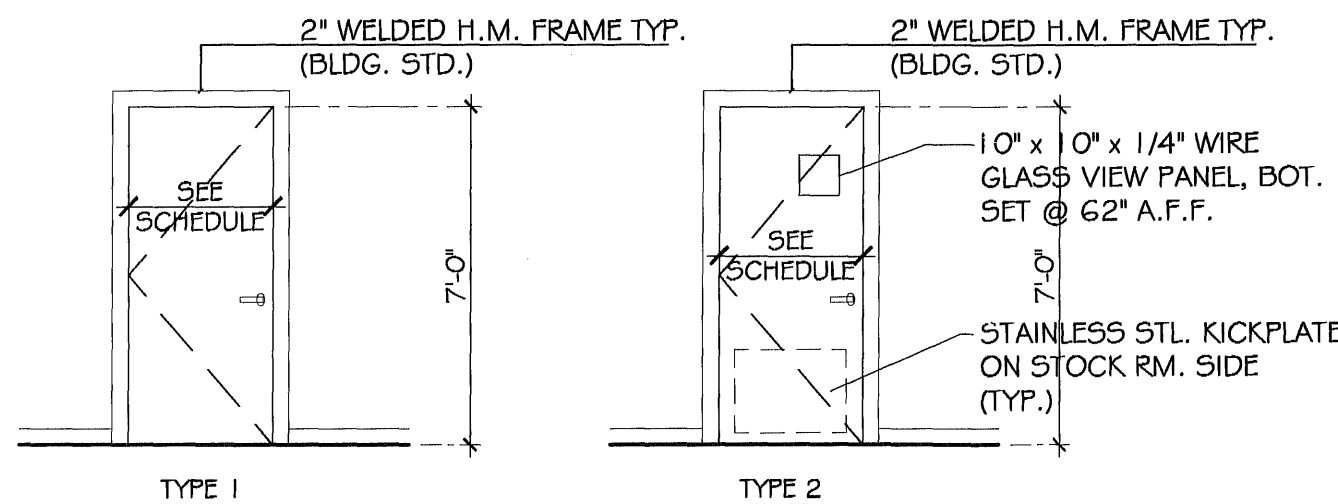
PLUMBING RISER DIAGRAM

SCALE: NTS

DOOR SCHEDULE

SYMBOL	SIZE	ELEV.	MATERIAL	FRAME	SELF-CLOSE	RATING (HOUR)	HARDWARE GROUP	
1	3'-0" x 7'-0"	2	WOOD	H.M.			HG-1	
2	3'-0" x 7'-0"	2	H.M.	H.M.	YES	1 1/2	HG-2	KICK PLATE, ONE SIDE
3	3'-0" x 7'-0"	1	WOOD	H.M.			HG-3	UNDERCUT 1", SEE NOTE # 13

DOOR TYPES:

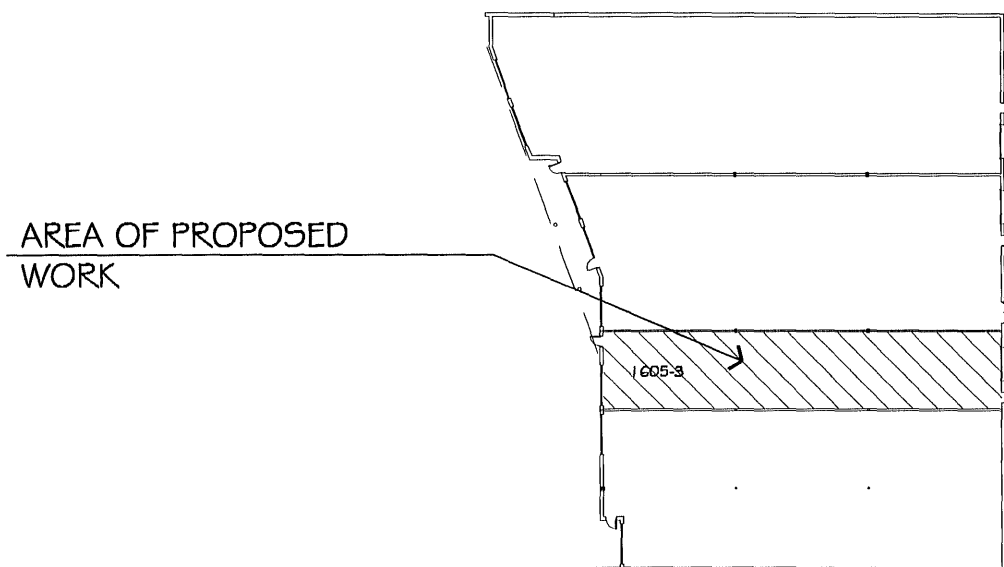


GENERAL DOOR NOTES:

1. ALL DOOR SIZES SHALL BE BUILDING STANDARD 7'-0" DOORS WITH HOLLOW METAL FRAMES. ALL HOLLOW METAL FRAMES TO BE 16 GA. MIN. WITH MITERED AND WELDED CORNERS.
2. ALL DOOR LEVER HARDWARE TO BE COMPLY WITH C.A.B.O. / A.N.S.I. A117.1, LATEST EDITION.
3. ALL DOOR HARDWARE TO BE LEVER TYPE "SCHLAGE" OR EQUAL.
4. ALL WOOD DOORS TO BE 1 3/4" THICK SOLID CORE, PAINT GRADE BIRCH OR MAPLE VENEER. ALL FLUSH WOOD DOORS TO COMPLY WITH AM QUALITY STANDARDS.
5. ALL GLASS IN DOORS SHALL BE TEMPERED GLASS OR SAFETY GLASS.
6. DOORS AND BUCKS SHALL BE PROPERLY FIRE RATED AS PER BUILDING CODE REQUIREMENTS.
7. FIRE RATED INTERIOR HINGED DOORS SHALL BEAR WARNOCK HERSEY OR U.L. LABELS.
8. HINGED DOORS SHALL BE PRE-FIT TO ALLOW 1/8" CLEARANCE BETWEEN DOOR AND FRAME AT HEAD AND JAMBS, AND SHALL BE UNDERCUT TO PROVIDE 1/8" CLEARANCE FROM BOTTOM OF DOOR TO TOP OF FLOOR FINISHES, UNLESS NOTED OTHERWISE. VERIFY WITH FINAL FLOORING SELECTIONS.
9. ALL VISION PANEL FRAMES SHALL BE HOLLOW METAL TO MATCH DOOR FRAMES.
10. PROVIDE RUBBER DOOR STOPS AT ALL DOORS WITH 20 GA. REINF., PROVIDE SILENCERS FOR ALL METAL FRAMES, THREE (3) FOR EACH SINGLE SWING DOOR ON STRIKE JAMB AND TWO (2) SILENCERS ON HEADS OF DOUBLE SWING DOORS.
11. PROPERLY REINFORCE FRAMES FOR FINISH HARDWARE.
12. PROVIDE KEYS AND MASTER KEYING AS PER BUILDING OWNERS REQUIREMENTS.
13. TOILET ROOM DOORS SHALL HAVE A SYMBOL OF ACCESSIBILITY SIGN POSTED 60" ABOVE THE FINISHED FLOOR LEVEL.. THE PICTORIAL SYMBOL AND ALL CHARACTERS SHALL BE RAISED AND IN BRAILLE AND BE IN CONTRASTING COLORS TO THEIR BACKGROUND.

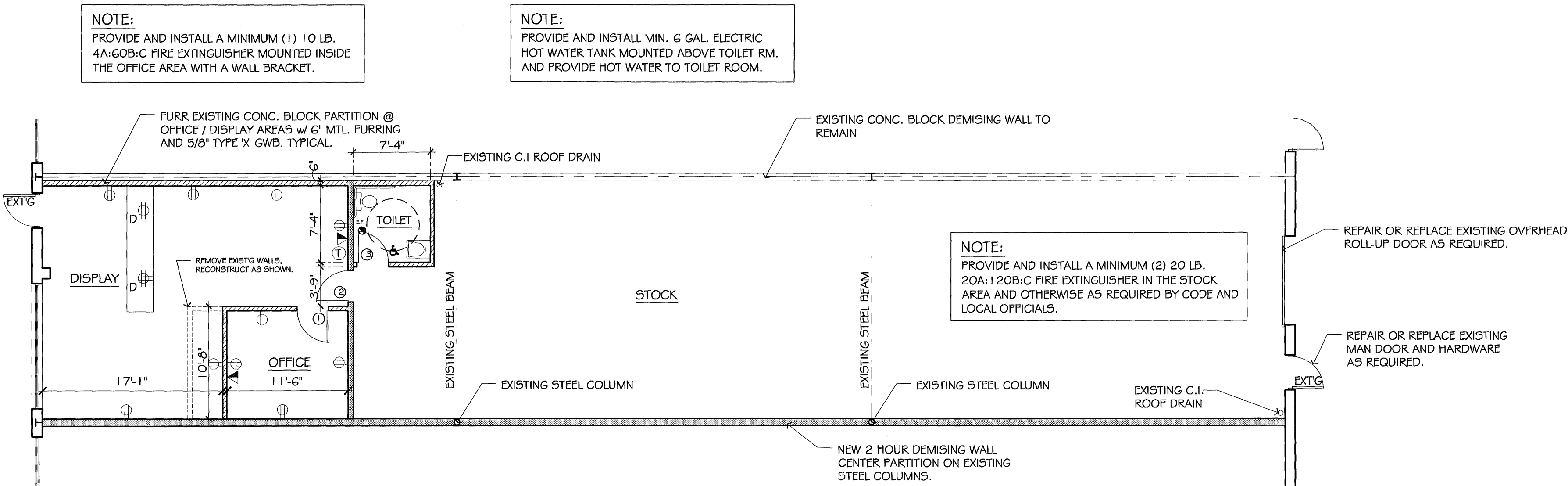
DOOR HARDWARE GROUPS:  
SCHLAGE OR EQUAL LEVER TYPE, BRUSHED CHROME FINISH

- |   |  |  |
|---|--|--|
| HG-1<br>OFFICE SET<br>1-1/2" PR. HINGES<br>SILENCERS<br>DOOR STOP | HG-2<br>PASSAGE SET<br>1-1/2" PR. HINGES<br>SILENCERS<br>CLOSER<br>DOOR STOP | HG-3<br>PRIVACY SET<br>1-1/2" PR. HINGES<br>SILENCERS<br>DOOR STOP |
|---|--|--|

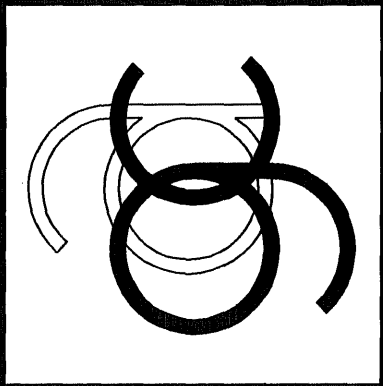


KEY PLAN  
1605 LAKELAND AVE. BUILDING

CONSTRUCTION PLAN



SCALE: 1/8" = 1'-0"



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PROPOSED INTERIOR LAYOUT FOR  
DISTINCTIVE PRINTING  
SOLUTIONS, INC.  
1605 LAKELAND AVE., BOHEMIA, NY

CONSTRUCTION  
PLAN AND DETAILS

revisions:

date: 4-14-08  
proj. #: 08.22

drwn. by: MS  
chkd. by: DK

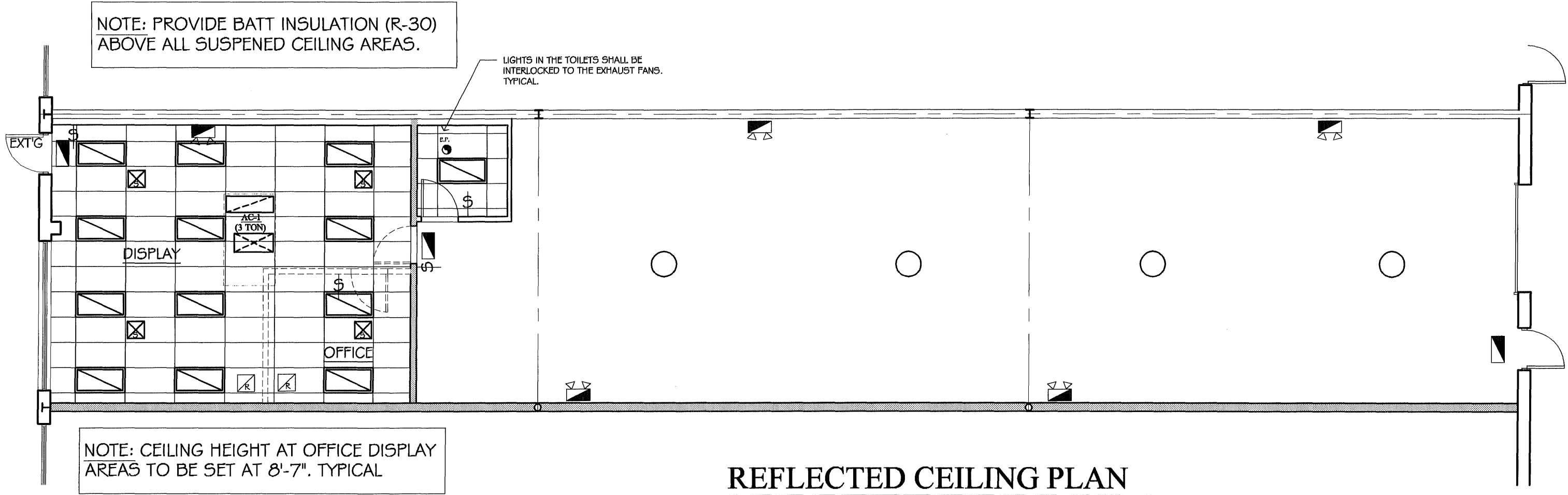
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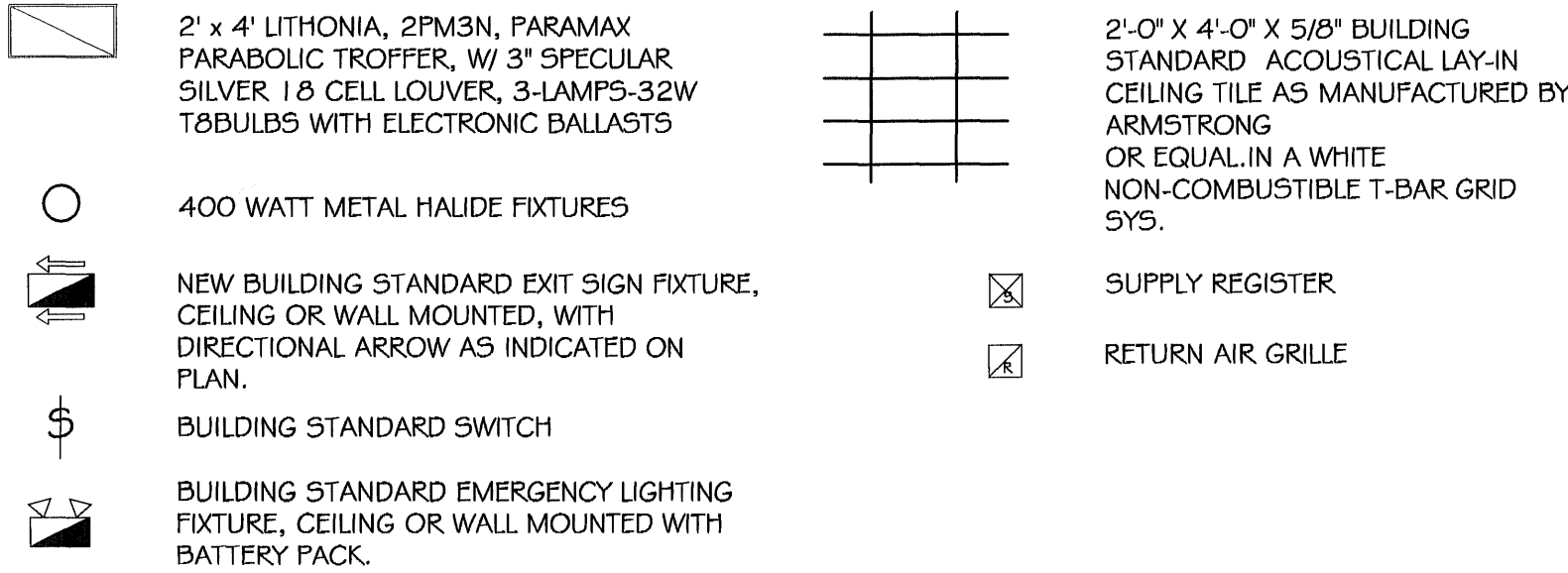
MECHANICAL NOTES:

NEW ROOF TOP UNIT (AC-1):  
AMERICAN STANDARD GAS / ELECTRIC ROOFTOP  
PACKAGED UNIT, MODEL # 4AYCY4036A3075A  
TOTAL COOLING = 3 TONS  
TOTAL HEATING = 75,000 BUTH SEER 14  
ECONIMIZER MODEL #BAYECON200A  
CURB MODEL #BAYCURB050A  
THERMOSTAT #TH6220D102B

FRAME OUT ALL NEW HVAC OPENINGS WITH  
5" x 5" x 3/8" STEEL ANGLES, WELD STEEL ANGLES  
TO EXISTING BAR JOIST. CONTRACTOR TO VERIFY  
EXACT LOCATIONS OF ALL OPENINGS PRIOR TO ANY  
WORK.



SYMBOL LEGEND:



FINISH NOTES:

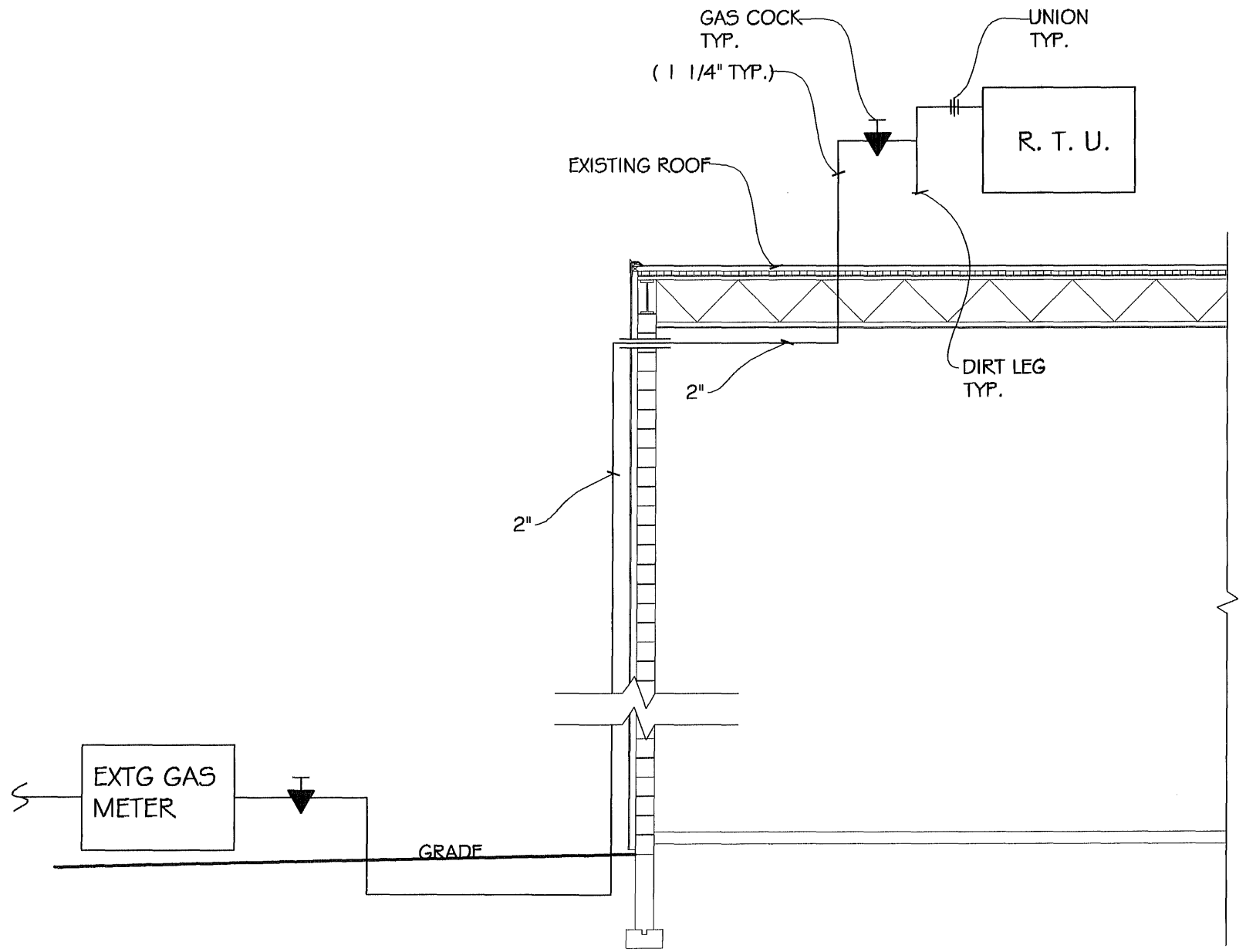
1. ALL FINISH SELECTIONS TO BE FINALIZED WITH TENANT.
2. CONTRACTOR TO PROVIDE VINYL REDUCER STRIPS AS REQUIRED AT TRANSITION AREAS.
3. PAINTING PROCEDURE SHALL BE AS FOLLOWS: ONE COAT PRIMER / SEALER AND TWO COATS FINISH PAINT.
4. ALL METAL DOOR FRAMES SHALL BE PAINTED. FINISH SHALL BE ONE COAT PRIMER TWO COATS SEMI-GLOSS FINISH PAINT.
5. CONTRACTORS SHALL PROVIDE SAMPLES OF ALL FINISHES TO TENANT FOR APPROVAL PRIOR TO INSTALLATION.
6. ALL FINISHES TO BE CLASS 'A' FINISHES AS DEFINED BY N.Y.S. CODE STANDARDS.
7. ALL EXISTING & NEW SURFACES SHALL BE PREPARED AS REQUIRED TO RECEIVE NEW FINISH.
8. ALL TOILET ACCESSORIES TO BE STAINLESS STEEL, AND ADA COMPLIANT.

REFLECTED CEILING NOTES:

1. ALL ELECTRICAL AND HVAC WORK SHALL COMPLY WITH LOCAL N.E.C. AND UNDERWRITERS REQUIREMENTS AND ALL APPLICABLE BUILDING CODES AND BUILDING REGULATIONS.
2. THE FIRE ALARM SYSTEM AND FIRE DETECTION DEVICES TO BE INSTALLED SHALL CONFORM TO ALL APPLICABLE BUILDING CODES.
3. WHERE APPLICABLE, ALL DOWN LIGHTS, AND EMERGENCY EGRESS FIXTURES SHALL BE CENTERED IN CEILING TILES.
4. ALL LAMPS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
5. INSTALLATION OF ACOUSTICAL LAY-IN PANEL CEILING SHALL COMPLY WITH ALL LOCAL BUILDING CODE REQUIREMENTS.
6. INSTALL H.V.A.C. DIFFUSERS AND RETURN AIR GRILLS AS PER MECHANICAL PLAN. (BY OTHERS)
7. ALL MATERIAL, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHALL CONFORM TO THE REGULATIONS OF THE BUILDING CODE OF N.Y.S. AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.
8. STARTING POINT FOR ALL CEILING TILES TO BE CENTERED IN ROOM, UNLESS OTHERWISE NOTED.

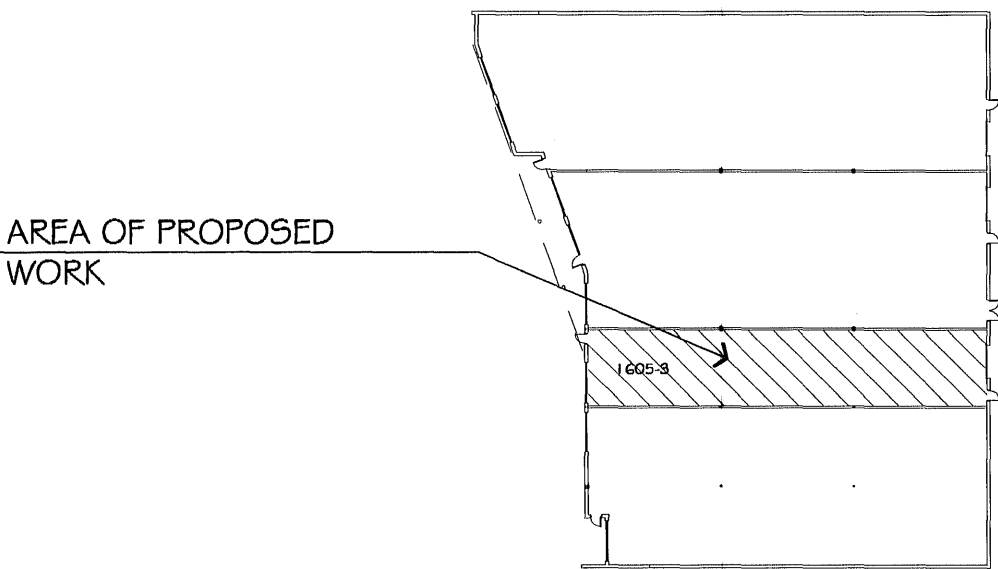
H.V.A.C. NOTES:

1. ALL WORK SHALL COMPLY WITH THE APPLICABLE SECTIONS OF THE NEW YORK STATE BUILDING CODE.
2. SECURE PERMITS AND INSPECTION CERTIFICATES AND TRANSMIT SAME TO OWNER AT THE COMPLETION OF WORK.
3. CONTRACTOR SHALL AND ADHERE TO ALL BUILDING STANDARDS AND BUILDING CONSTRUCTION SPECIFICATIONS AND DETAILS.
4. SUPPORT ALL DUCTWORK AND PIPING FROM THE BUILDING STRUCTURE AND/OR FRAMING IN AN APPROVED MANNER, WHERE OVERHEAD CONSTRUCTION DOES NOT PERMIT FASTENING OR SUPPORTS FOR EQUIPMENT, FURNISH ADDITIONAL FRAMING.
5. PROVIDE ALL NECESSARY FLASHING AND COUNTER FLASHING TO MAINTAIN THE WATERPROOFING INTEGRITY OF THIS BUILDING AS REQUIRED BY THE INSTALLATION OR REMOVAL OF PIPES, DUCTS, LOUVERS, CONDUIT AND EQUIPMENT. PROVIDE EQUIPMENT CURBS AND DUNNAGE SRTCEL AS REQUIRED.
6. ALL DUCTS TO BE INSULATED WITH 1 1/2" REINFORCED FOIL FACED, VAPOR SEALED FIBERGLASS. PROVIDE EXTERIOR DUCTWORK INSULATION WITH WEATHERPROOF JACKETING.
7. FURNISH AND INSTALL A TEMPERATURE CONTROL SYSTEM THAT PERMITS A FULLY OPERATIONAL HEATING AND COOLING SYSTEM.

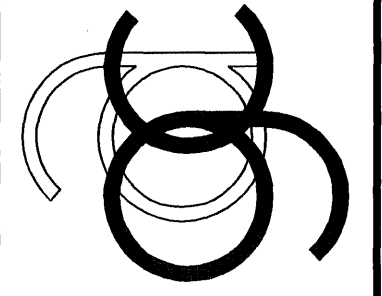


GAS RISER DIAGRAM

SCALE: NTS



KEY PLAN  
1605LAKELAND AVE. BUILDING



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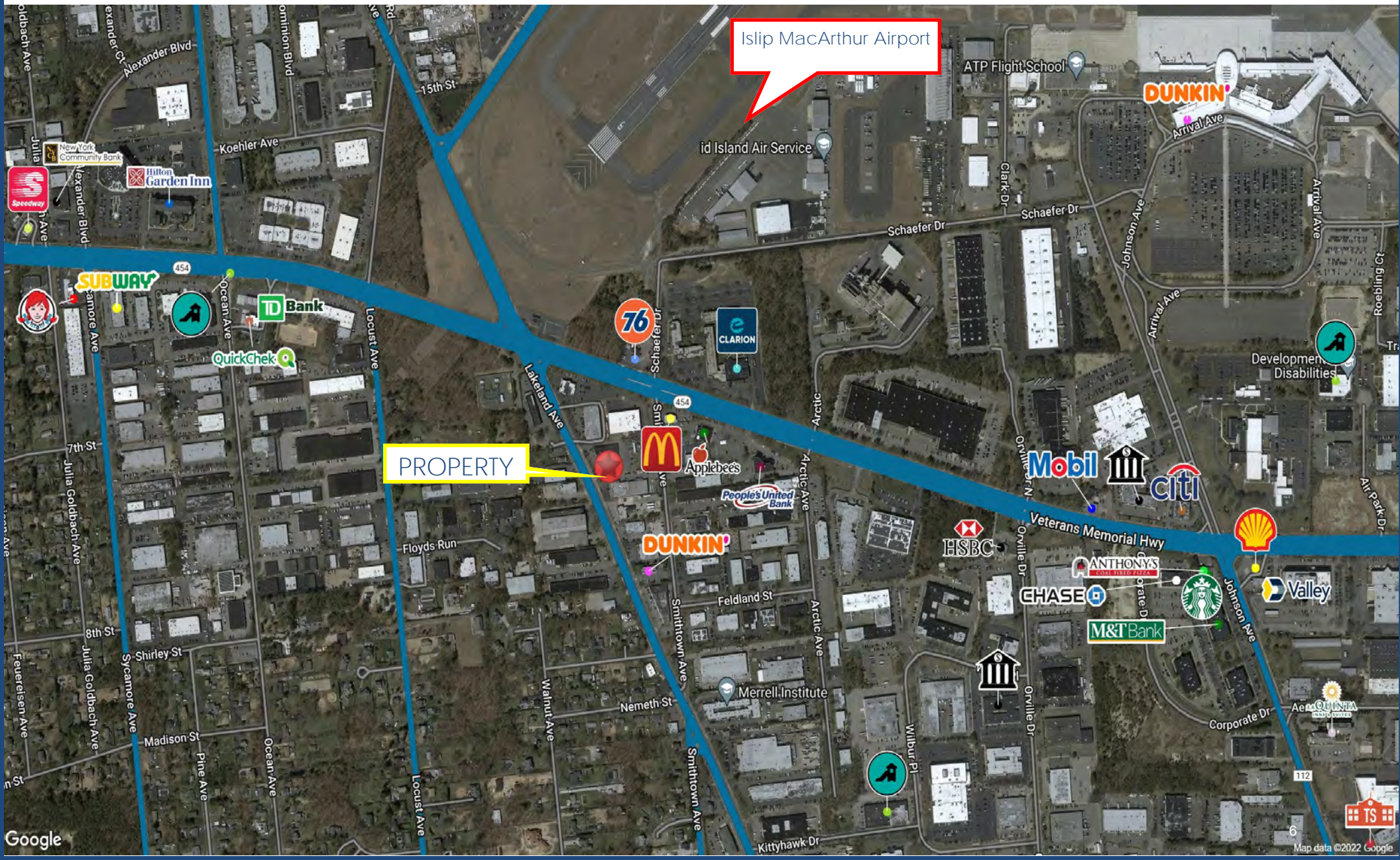
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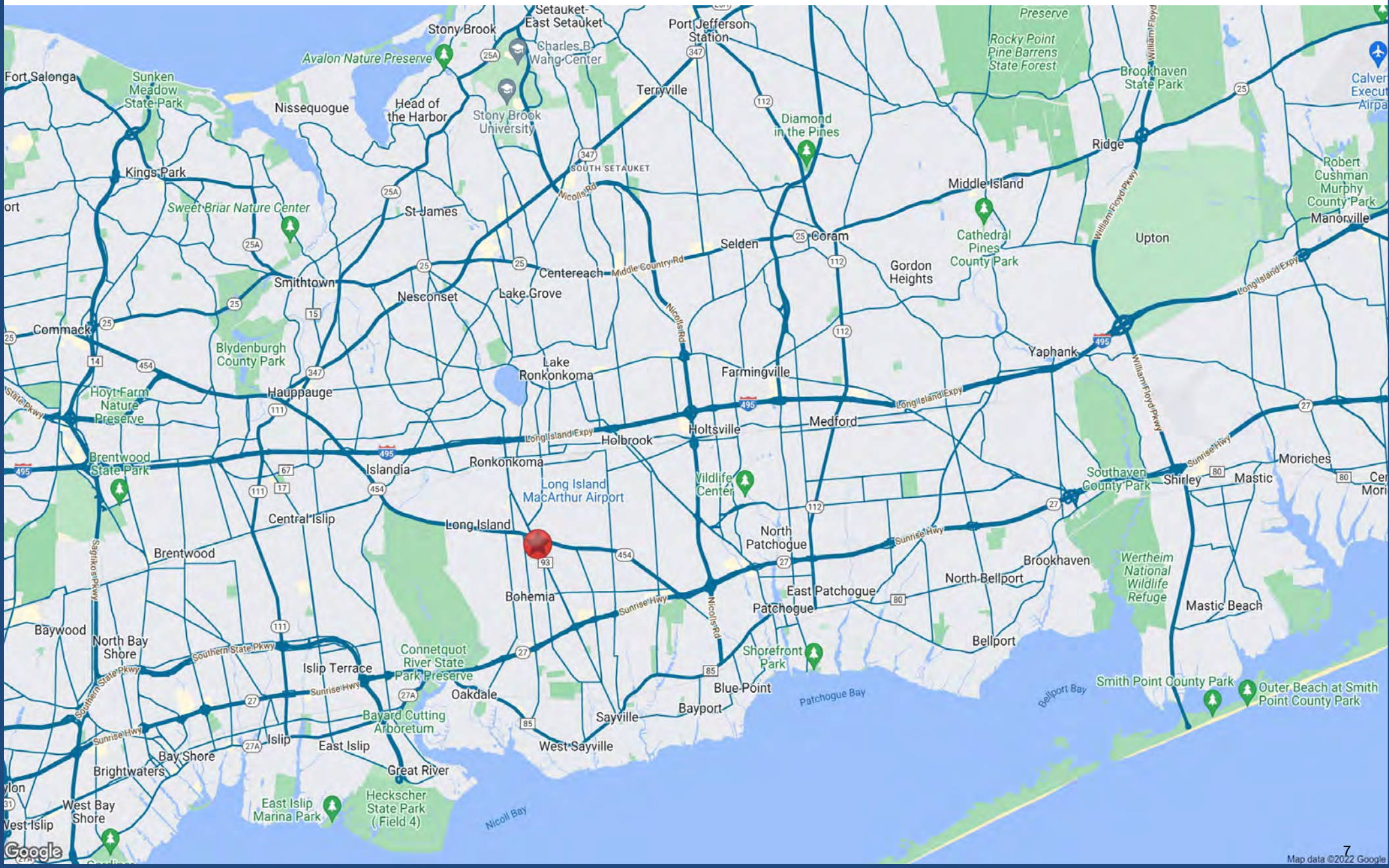


1603 LAKELAND AVE, BOHEMIA, NY





1603 LAKELAND AVE, BOHEMIA, NY





## DEMOGRAPHICS

2010-2020 Census, 2022 Estimates with 2027 Projections  
Calculated using Weighted Block Centroid from Block Groups

Lat/Lon: 40.7837/-73.1123

1603 Lakeland Ave Bohemia, NY 11716	1 mi radius	3 mi radius	5 mi radius
<b>Population</b>			
2022 Estimated Population	2,799	66,363	215,167
2027 Projected Population	2,760	64,978	211,211
2020 Census Population	2,817	66,012	215,183
2010 Census Population	2,923	66,667	216,570
Projected Annual Growth 2022 to 2027	-0.3%	-0.4%	-0.4%
Historical Annual Growth 2010 to 2022	-0.4%	-	-
2022 Median Age	40.5	41.2	41.1
<b>Households</b>			
2022 Estimated Households	966	23,457	75,239
2027 Projected Households	966	23,309	74,923
2020 Census Households	964	23,291	75,009
2010 Census Households	982	23,135	73,853
Projected Annual Growth 2022 to 2027	-	-0.1%	-
Historical Annual Growth 2010 to 2022	-0.1%	0.1%	0.2%
<b>Race and Ethnicity</b>			
2022 Estimated White	84.4%	79.6%	75.1%
2022 Estimated Black or African American	1.7%	4.4%	6.3%
2022 Estimated Asian or Pacific Islander	3.8%	4.9%	4.4%
2022 Estimated American Indian or Native Alaskan	-	0.2%	0.3%
2022 Estimated Other Races	10.1%	10.9%	13.9%
2022 Estimated Hispanic	13.2%	14.1%	17.5%
<b>Income</b>			
2022 Estimated Average Household Income	\$148,979	\$129,843	\$133,565
2022 Estimated Median Household Income	\$132,111	\$110,588	\$111,045
2022 Estimated Per Capita Income	\$51,393	\$46,032	\$46,804
<b>Education (Age 25+)</b>			
2022 Estimated Elementary (Grade Level 0 to 8)	1.1%	2.1%	3.3%
2022 Estimated Some High School (Grade Level 9 to 11)	4.4%	3.2%	4.4%
2022 Estimated High School Graduate	19.9%	28.7%	27.0%
2022 Estimated Some College	24.0%	17.5%	17.2%
2022 Estimated Associates Degree Only	6.1%	10.5%	10.5%
2022 Estimated Bachelors Degree Only	27.2%	21.6%	21.1%
2022 Estimated Graduate Degree	17.3%	16.4%	16.6%
<b>Business</b>			
2022 Estimated Total Businesses	1,762	5,139	10,718
2022 Estimated Total Employees	24,495	59,085	110,507
2022 Estimated Employee Population per Business	13.9	11.5	10.3
2022 Estimated Residential Population per Business	1.6	12.9	20.1

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