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LANDSCAPE

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MEP ENGINEER

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STRUCTURAL

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JCASE@PENNONI.COM

E. MICHAEL MCCARTHY, STRUCTURAL ENGINEER
MMCCARTHY@PENNONI.COM

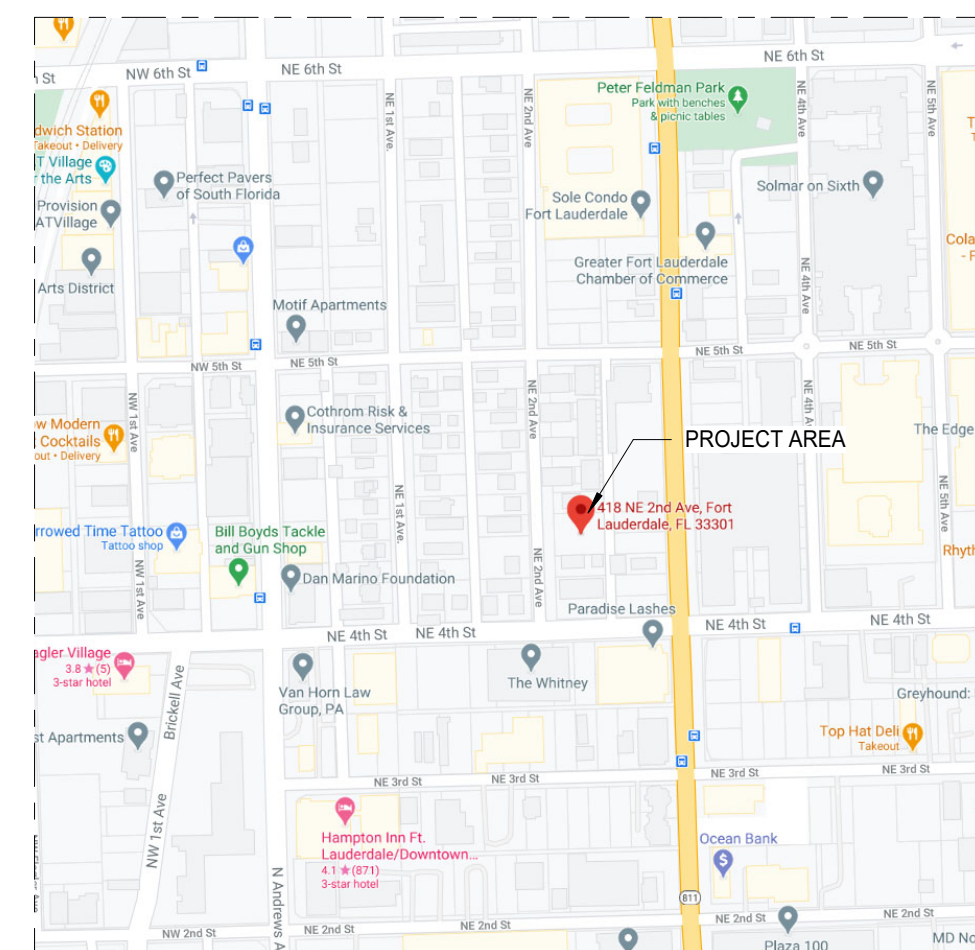
DEVELOPMENT REVIEW COMMITTEE | SITE PLAN APPLICATION

418NE2 CONDOMINIUMS

418 NE 2ND AVE. FORT LAUDERDALE, FL 33301



VICINITY MAP
12" = 1'-0"



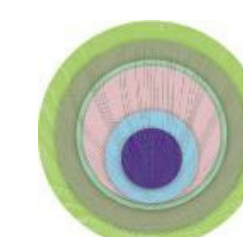
SITE MAP
12" = 1'-0"

DRAWING LIST

SHEET NO	SHEET NAME
CS-1	DRG COVER SHEET
A-000	COVER SHEET
A-001	ZONING INFORMATION
CSP-1	CONTEXT SITE PLAN
A-002	ZONING DIAGRAM
SP-1	SITE PLAN/ CODE REQ.
A-003	OPEN SPACE & LOT COVERAGE
A-004	GROSS AREA CALCULATIONS
A-005	GROSS AREA CALCULATIONS
A-006	GROSS AREA CALCULATIONS
A-007	EXISTING SITE PHOTOS
A-008	EXISTING SITE PHOTOS
A-200	GROUND FLOOR PLAN
A-201	2ND-6TH FLOOR PLAN (TYP.)
A-202	7TH FLOOR PLAN WITH DOUBLE WIDE UNIT
A-206	8TH FLOOR AMENITY DECK

DRAWING LIST

SHEET NO	SHEET NAME
A-300	WEST ELEVATION
A-301	SOUTH ELEVATION
A-302	EAST ELEVATION
A-303	NORTH ELEVATION
A-400	RENDERINGS
A-401	RENDERINGS
A-402	RENDERINGS
A-403	RENDERINGS
A-500	DETAILS & MATERIALS
A-600	SECTIONS
A-601	SECTIONS
A-700	3D AXO
A-701	3D AXO



THE TAMARA PEACOCK COMPANY Architects

1512 E. BROWARD BLVD. SUITE #102
FORT LAUDERDALE, FLORIDA 33301 (954) 728-8000

THE TAMARA PEACOCK COMPANY

Architects

1512 E Broward Blvd, Fort Lauderdale, FL 33301
Phone: 954.696.4000

project design team:

the tamara peacock co. architects
1512 E Broward Blvd, Fort Lauderdale, FL 33301
PH: 954-696-4000

owner:

project name:

issued for:

date:

sheet name:

COVER SHEET

revisions:

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drawn by: Author
checked by: Checker
Proj Mgr.: Designer
Cust: Approver

sheet no.:

A-000

ZONING INFORMATION

SITE STATISTICS:

SITE: 418 NE 2ND AVE, FORT LAUDERDALE, FL 33301
ALL CALCULATIONS APPLY TO THE AREA OF THE SITE AFFECTED

LAND USE DESIGNATION: 100 - REGIONAL ACTIVITY CENTER

CURRENT USE	PROPOSED USE	OCCUPANCY
VACANT	RESIDENTIAL	RAC-CC - REGIONAL ACTIVITY CENTER

ADJACENT ZONING: RAC-UV, P, RAC-EMU, B-1

FLOOD ZONE: AH

SITE DATA:

DESCRIPTION

1.A) **ZONING:** RAC-CC (REGIONAL ACTIVITY CENTER - CITY CENTER) - NEAR DOWNTOWN

1.B) **LAND USE:** PREVIOUS: RESIDENTIAL - VACANT
PROPOSED: RESIDENTIAL - 26 FLOORS

1.C) **DENSITY:** 23 DWELLING UNITS

2.) SITE AREA:	GROSS LOT S.F.:	12,750 SQ. FT. / 0.30 ACRES
	NET LOT S.F.:	11,710 SQ. FT. / 0.27 ACRES
3.) YARD DIMENSIONS:	REQUIRED	PROVIDED
FRONT YARD SETBACK	5' - 0"	5' - 0"
NORTH SIDE SETBACK	0' - 0"	0' - 0"
SOUTH SIDE SETBACK	0' - 0"	0' - 0"
REAR SETBACK	0' - 0"	5' - 0"
4.) BUILDING HEIGHT:	TOWER 30 FLOORS MAX.	7 FLOORS
5.) MAX. STRUCTURE LENGTH:	300'- 0" MAX.	100'- 0" (NORTH-SOUTH) 117'- 6" (EAST-WEST)
6.) GROUND FLOOR HEIGHT	15'- 0" MIN.	15'- 0"
7.) MAX FLOOR PLATE SIZE	18,000 SF	12,125 SF
8.) STEP-BACK	3 - 7 FLOORS W/ 15' - 0" MIN.	6 FLOORS W/ 30' - 0" STEPBACK

6.) IMPERVIOUS AREAS:

A. BUILDING FOOT PRINT:

C. PARKING AREA:

D. TOTAL VEHICULAR ACCESS AREA

E. SIDEWALK/WALKWAYS:

H. DUMPSTER AREA:

I. TOTAL IMPERVIOUS AREA

PROPOSED

7.) PERVIOUS AREAS:	REQUIRED	PROPOSED
A. TOTAL PERVIOUS AREA:	393 SQ. FT.	
B. TOTAL OPEN SPACE	1,574 SQ. FT.	

8.) PARKING:	REQUIRED	PROVIDED
PARKING SPACES (1 PARKING SPACE PER DWELLING UNITY)		23

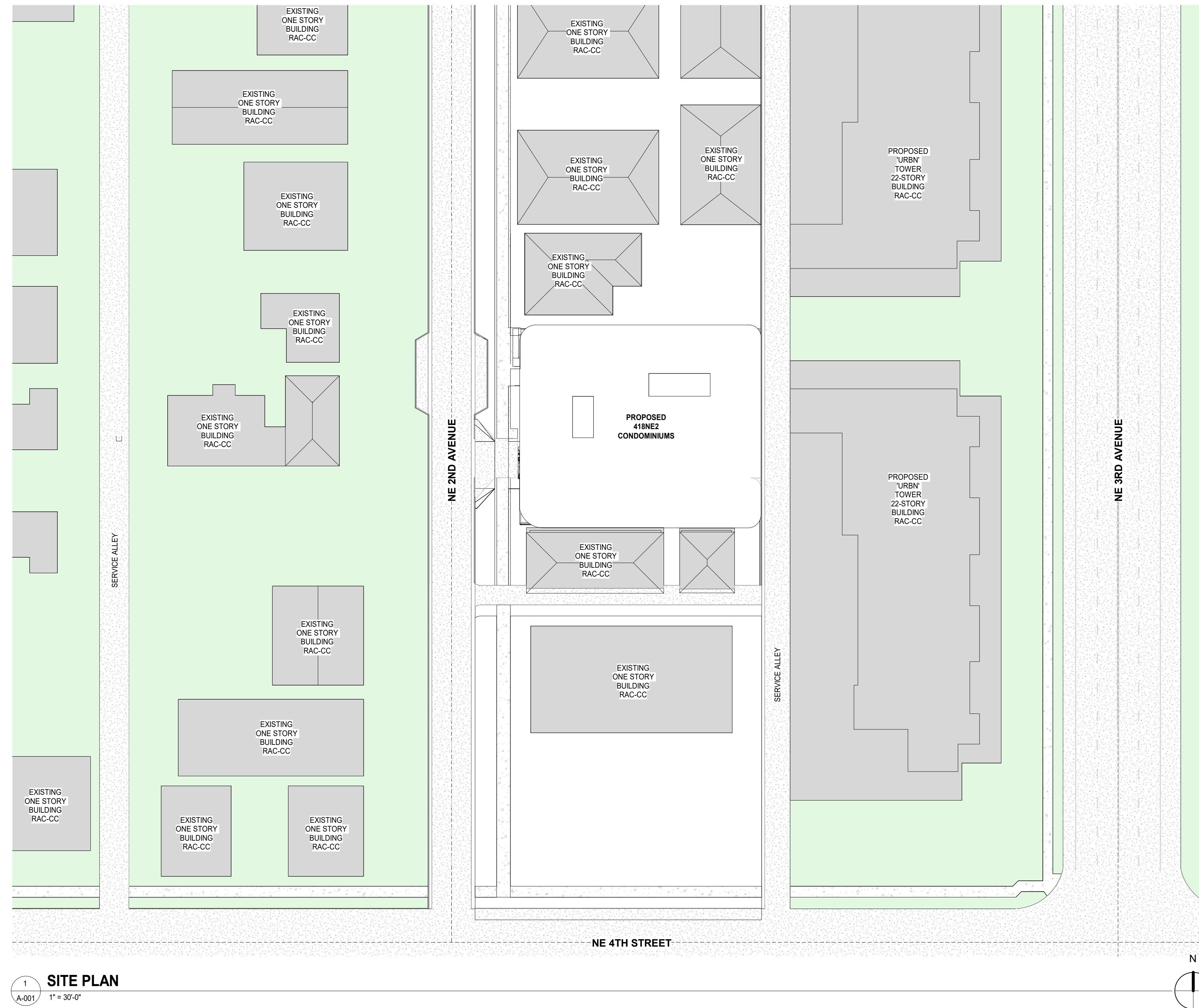
NOTE: NO LOADING ZONE REQUIRED.

LEGAL DESCRIPTION:

NORTH LAUDERDALE AMENDED PLAT 1-182 D
LOT 16,17 BLK 29

APPLICABLE CODES:

- A. 2020 FLORIDA BUILDING CODE 7TH ED
- B. FLORIDA FIRE PREVENTION CODE 7TH ED
- C. 2015 BROWARD COUNTY AMENDMENTS TO FFPC
- D. 2020 FLORIDA MECHANICAL CODE 7TH ED
- E. 2017 TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES 6TH ED
- F. 2018 NFPA 70 NATIONAL ELECTRIC CODE
- G. 2020 FLORIDA STATE ENERGY CODE
- H. ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES 2012
- I. 2020 FLORIDA ACCESSIBILITY CODE 7TH ED
- J. 2018 NFPA 101 LIFE SAFETY CODE AND ADOPTED STANDARDS
- K. 2018 NFPA 1 NATIONAL FIRE PREVENTION CODE (UNIFORM FIRE CODE)
- L. FORT LAUDERDALE DOWNTOWN MASTER PLAN AMENDMENT TO LAND DEVELOPMENT CODE(MUNICODE)



1
A-001
SITE PLAN
1" = 30'-0"

OPEN SPACE REQUIREMENTS:

	REQUIRED	PROVIDED
LOT COVERAGE	N/A	11,710 SF
OPEN SPACE 10% MIN. OF LOT AREA	15,739 SF X 10% = 1,574 SF	
AT GRADE	1,574 SF X 40% = 630 SF	
AT AMENITY DECK		
AT ROOF DECK		
TOTAL OPEN SPACE	1,574 SF	
PERVIOUS LANDSCAPE AREA		
25% MIN. OF REQUIRED OPEN SPACE	1,574 SF X 25% = 393 SF	REFER TO CIVIL DRAWINGS

THE TAMARA PEACOCK COMPANY

Architects

1512 E Broward Blvd, Fort Lauderdale, FL 33301
Phone: 528.696.4000

project design team:

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1512 E Broward Blvd, Fort Lauderdale, FL 33301
PH: 528-696-4000

owner:

project name:

issued for:

date:

sheet name:

ZONING INFORMATION

revisions:

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checked by: _____
drawn by: _____
revised by: _____
author: _____
checked by: _____

Proj Mgr.: _____
Designer: _____
Cust.: _____
Approver: _____

sheet no.:

A-001



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2



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4



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6



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8



9

THE TAMARA PEACOCK COMPANY Architect

Project Name: 418NE2 CONDOMINIUMS
Project Location: 418 NE 2nd Ave, Miami, FL 33132
Project Type: Residential - Condominiums
Project Status: Pre-Construction
Architect: The Tamara Peacock Company
Date: 7/2/2024

Project Name: 418NE2 CONDOMINIUMS
Project Location: 418 NE 2nd Ave, Miami, FL 33132
Project Type: Residential - Condominiums
Project Status: Pre-Construction
Architect: The Tamara Peacock Company
Date: 7/2/2024

418NE2 CONDOMINIUMS

Project Name: 418NE2 CONDOMINIUMS
Project Location: 418 NE 2nd Ave, Miami, FL 33132
Project Type: Residential - Condominiums
Project Status: Pre-Construction
Architect: The Tamara Peacock Company
Date: 7/2/2024

Project Name: 418NE2 CONDOMINIUMS
Project Location: 418 NE 2nd Ave, Miami, FL 33132
Project Type: Residential - Condominiums
Project Status: Pre-Construction
Architect: The Tamara Peacock Company
Date: 7/2/2024

EXISTING SITE PHOTOS

Project Name: 418NE2 CONDOMINIUMS
Project Location: 418 NE 2nd Ave, Miami, FL 33132
Project Type: Residential - Condominiums
Project Status: Pre-Construction
Architect: The Tamara Peacock Company
Date: 7/2/2024

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Project Location: 418 NE 2nd Ave, Miami, FL 33132
Project Type: Residential - Condominiums
Project Status: Pre-Construction
Architect: The Tamara Peacock Company
Date: 7/2/2024

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Project Location: 418 NE 2nd Ave, Miami, FL 33132
Project Type: Residential - Condominiums
Project Status: Pre-Construction
Architect: The Tamara Peacock Company
Date: 7/2/2024

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Project Type: Residential - Condominiums
Project Status: Pre-Construction
Architect: The Tamara Peacock Company
Date: 7/2/2024



10



11



12



13



14



15

THE TAMARA PEACOCK COMPANY Architect

Project Information and Description in Chinese

Project Name and Address in Chinese

418NE2 CONDOMINIUMS

Site details and location information in Chinese

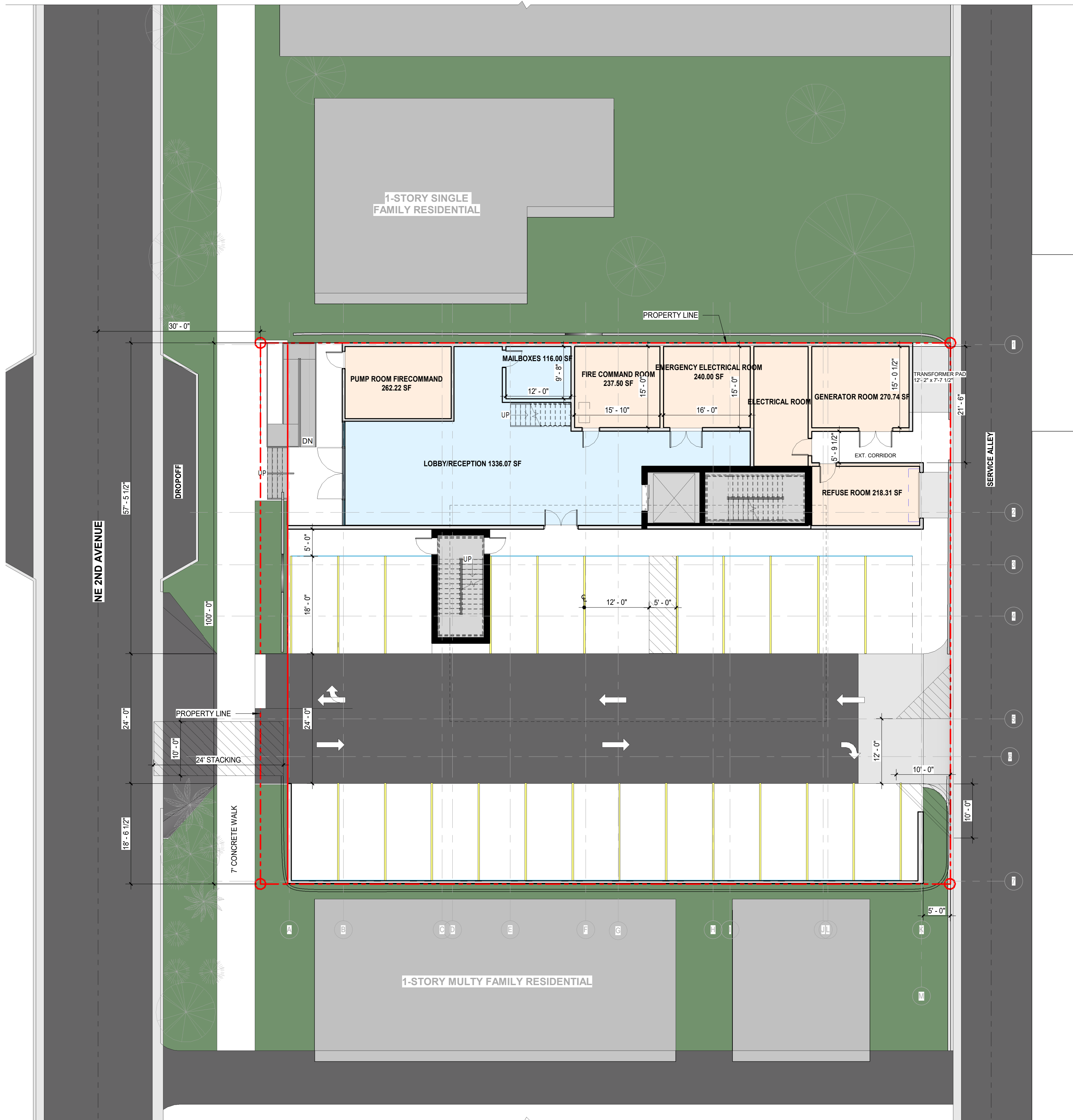
Additional site notes in Chinese

EXISTING SITE PHOTOS

Blank lines for photo descriptions in Chinese

Project location and address in Chinese

Date and time of site visit: 7/2/2024 3:10:45 PM



2 GROUND SITE PLAN
SP-1 3/32" = 1'-0"

SITE STATISTICS:

SITE: 418 NE 2ND AVE, FORT LAUDERDALE, FL 33301
ALL CALCULATIONS APPLY TO THE AREA OF THE SITE AFFECTED

LAND USE DESIGNATION: 100 - ACTIVITY CENTER		
CURRENT USE	PROPOSED USE	OCCUPANCY
VACANT LOT	RESIDENTIAL	RAC-CC - REGIONAL ACTIVITY CENTER - CITY CENTER

ADJACENT ZONING: RAC-UV, P, RAC-EMU, B-1
FLOOD ZONE: AH

SITE DATA:

DESCRIPTION		
1.A) ZONING:	RAC-CC (REGIONAL ACTIVITY CENTER - CITY CENTER)	
1.B) INTENSITY:	PREVIOUS: VACANT LOT	PROPOSED: 26 FLOORS - RESIDENTIAL
1.A) UNITS:	23 DWELLING UNITS	

2.) SITE AREA:	GROSS LOT S.F.:	12,750 SQ. FT. / 0.30 ACRES
	NET LOT S.F.:	11,710 SQ. FT. / 0.27 ACRES

3.) YARD DIMENSIONS:	REQUIRED	PROVIDED
FRONT YARD SETBACK	5' - 0"	5' - 0"
NORTH SIDE SETBACK	0' - 0"	0' - 0"
SOUTH SIDE SETBACK	0' - 0"	0' - 0"
REAR SETBACK	0' - 0"	5' - 0"

4.) BUILDING HEIGHT:	7 FLOORS	7 FLOORS
5.) MAX. STRUCTURE LENGTH:	300'-0" MAX.	100'-0"
6.) GROUND FLOOR HEIGHT	15'-0" MIN.	15'-0"
7.) MAX FLOOR PLATE SIZE	18,000 SF	12,125 SF
8.) STEP-BACK	3 - 7 FLOORS W/ 15' - 0" MIN.	6 FLOORS W/ 30' - 0" STEPBACK

6.) IMPERVIOUS AREAS:	PROPOSED	
A. BUILDING FOOT PRINT:	11,710 SQ. FT.	
C. PARKING AREA:		
D. TOTAL VEHICULAR ACCESS AREA		
E. SIDEWALK/WALKWAYS:		
H. DUMPSTER AREA:		
I. TOTAL IMPERVIOUS AREA		

7.) PERVIOUS AREAS:	EXISTING	PROPOSED
A. TOTAL PERVIOUS AREA:		
B. TOTAL OPEN SPACE		

8.) PARKING: FORT LAUDERDALE ZONING CODE SEC. 47-20	REQUIRED	PROVIDED
PARKING SPACES 1 PER UNIT RESIDENTIAL (53 UNITS)	23	23

NOTE: NO LOADING ZONE REQUIRED.

LEGAL DESCRIPTION:

NORTH LAUDERDALE AMENDED PLAT 1-182 D
LOT 16,17 BLK 29

APPLICABLE CODES:

- A. 2020 FLORIDA BUILDING CODE 7TH ED
- B. FLORIDA FIRE PREVENTION CODE 7TH ED
- C. 2018 BROWARD COUNTY AMENDMENTS TO FFPC
- D. 2020 FLORIDA MECHANICAL CODE 7TH ED
- E. 2020 TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES 7TH ED
- F. 2018 NFPA 70 NATIONAL ELECTRIC CODE
- G. 2020 FLORIDA STATE ENERGY CODE
- H. ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES 2012
- I. 2020 FLORIDA ACCESSIBILITY CODE 7TH ED
- J. 2018 NFPA 101 LIFE SAFETY CODE AND ADOPTED STANDARDS
- K. 2018 NFPA 1 NATIONAL FIRE PREVENTION CODE (UNIFORM FIRE CODE)
- L. FORT LAUDERDALE DOWNTOWN MASTER PLAN AMENDMENT TO LAND DEVELOPMENT CODE(MUNICODE)

THE TAMARA PEACOCK COMPANY
Architects

1512 E Broward Blvd, Fort Lauderdale, FL 33301
Phone: 528.696.4000

project design team:
the tamara peacock co. architects
1512 E Broward Blvd, Fort Lauderdale, FL 33301
PH: 528-696-4000

owner:

project name:

issued for:
date:

sheet name:
**SITE PLAN/
CODE REQ.**

revisions:

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drawn by: _____
revised by: _____
Proj Mngr.: _____
Designer: _____
Arch: _____
Approver: _____

sheet no.:
SP-1

RESIDENTIAL UNIT COUNT	
UNIT TYPE	COUNT
3 BED/ 4 BATH	2
2 BED/ 3 BATH	1
3 BED/ 3 BATH	1



THE TAMARA PEACOCK COMPANY
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PH: 528-696-4000

owner:

project name:

issued for:

date:

sheet name:
2ND-6TH FLOOR PLAN (TYP.)

revisions:

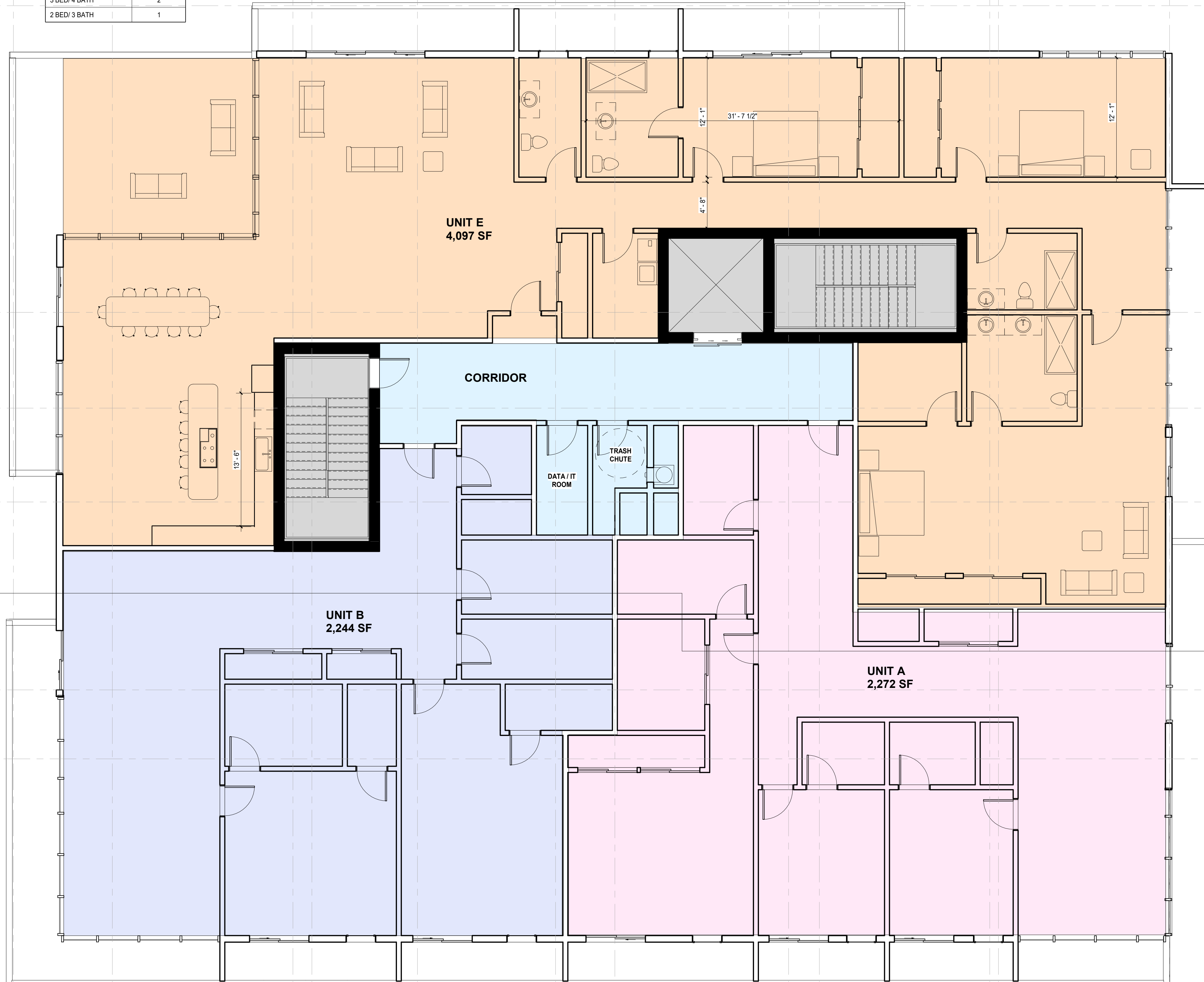
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drawn by: Author
checked by: Checker
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Cap: Approver

sheet no.:
A-201

2ND-6TH FLOOR PLAN (TYP.)
A-201 3/16" = 1'-0"

RESIDENTIAL UNIT COUNT	
UNIT TYPE	COUNT
3 BED/ 4 BATH	2
2 BED/ 3 BATH	1



THE TAMARA PEACOCK COMPANY
Architects

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project design team:
the tamara peacock co. architects
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PH: 528-696-4000

owner:

project name:

issued for:

date:

sheet name:
7TH FLOOR PLAN WITH DOUBLE WIDE UNIT

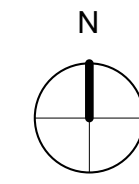
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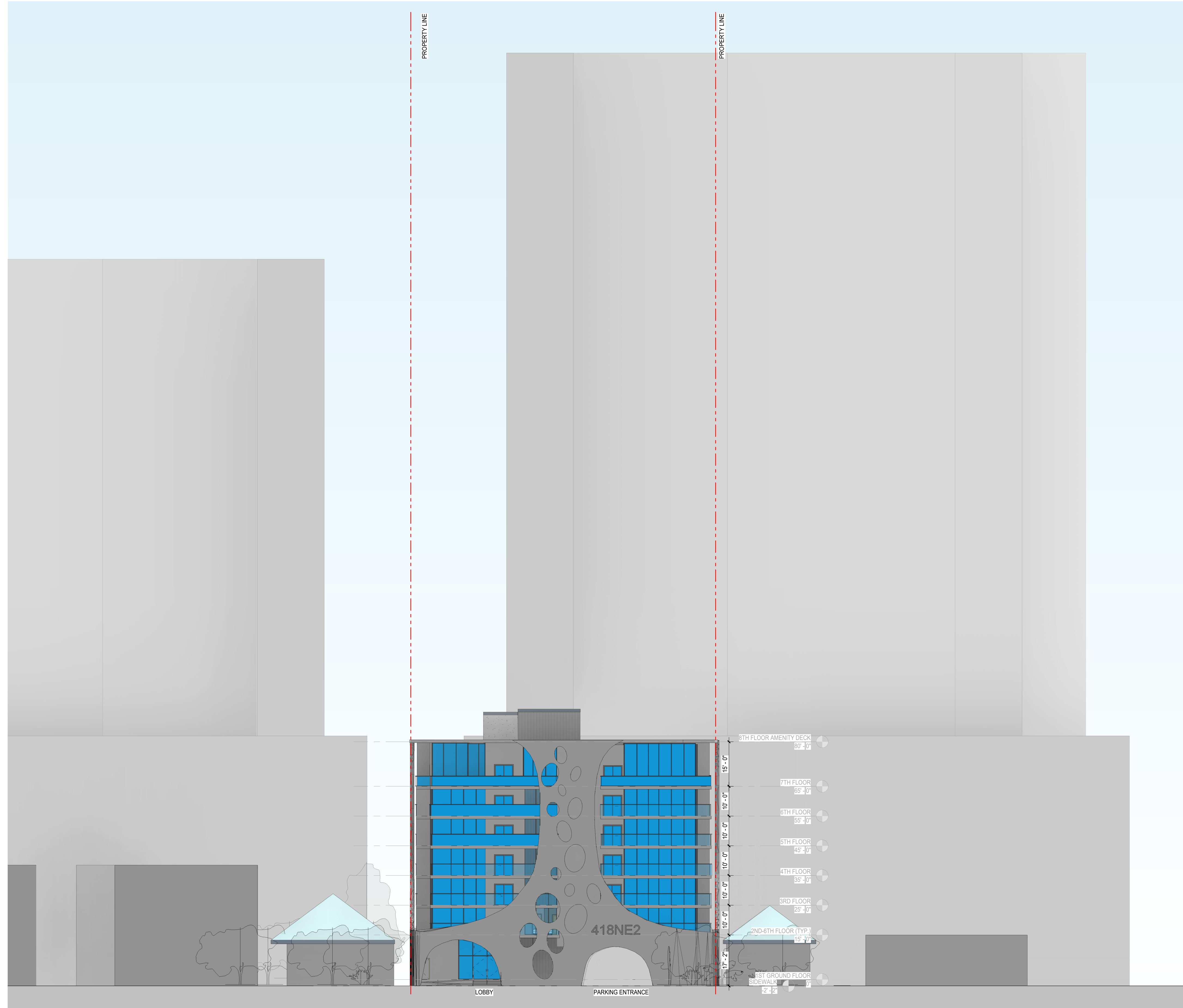
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checked by: Author
checked by: Checker
Proj Mgr.: _____
Designer: _____
Apprver: _____

sheet no.:
A-202

7TH FLOOR PLAN DOUBLE WIDE UNIT
3/16" = 1'-0"





2 WEST ELEVATION
A-300 1/16" = 1'-0"

ELEVATION 0'-0" = 7'-0" NAVD

#	DESCRIPTION
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH, W/ HIGH BUILD 2-COAT ACRYLIC WATER PROOFING COATING (MASTERPROTECT C350/HB400 BY BASF CORPORATION, OR EQUAL), COLOR TO BE SELECTED BY ARCHITECT. PROVIDE CONCAVE TOOLED CONTROL JOINTS WITH A MAXIMUM WALL AREA OF 150 SF BETWEEN JOINTS, 18'-0" MAX DIMENSION.
02	FIBER REINFORCED CLADDING PANEL SYSTEM; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
03	ALUMINUM FRAMED GLASS SWING DOOR, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
04	BUTT-JOINTED ALUMINUM FRAMED WINDOW WALL, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
05	ALUMINUM SLIDING / FOLDING GLASS DOOR SYSTEM, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
06	ALUMINUM AND GLASS RAILING SYSTEM AT 42" A.F.F.; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
07	ALUMINUM MECHANICAL LOUVERS, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
08	.125" ALUMINUM BREAK METAL CLADDING, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
09	ROOFTOP MECHANICAL ENCLOSURE COMPOSED OF ALTERNATING ALUMINUM VERTICAL FINALS WITH INTEGRAL LIGHTING SYSTEM. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.

THE TAMARA PEACOCK COMPANY
Architects

1512 E Broward Blvd, Fort Lauderdale, FL 33301
Phone: 528.696.4000

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PH: 528-696-4000

owner:

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date:

sheet name:
WEST ELEVATION

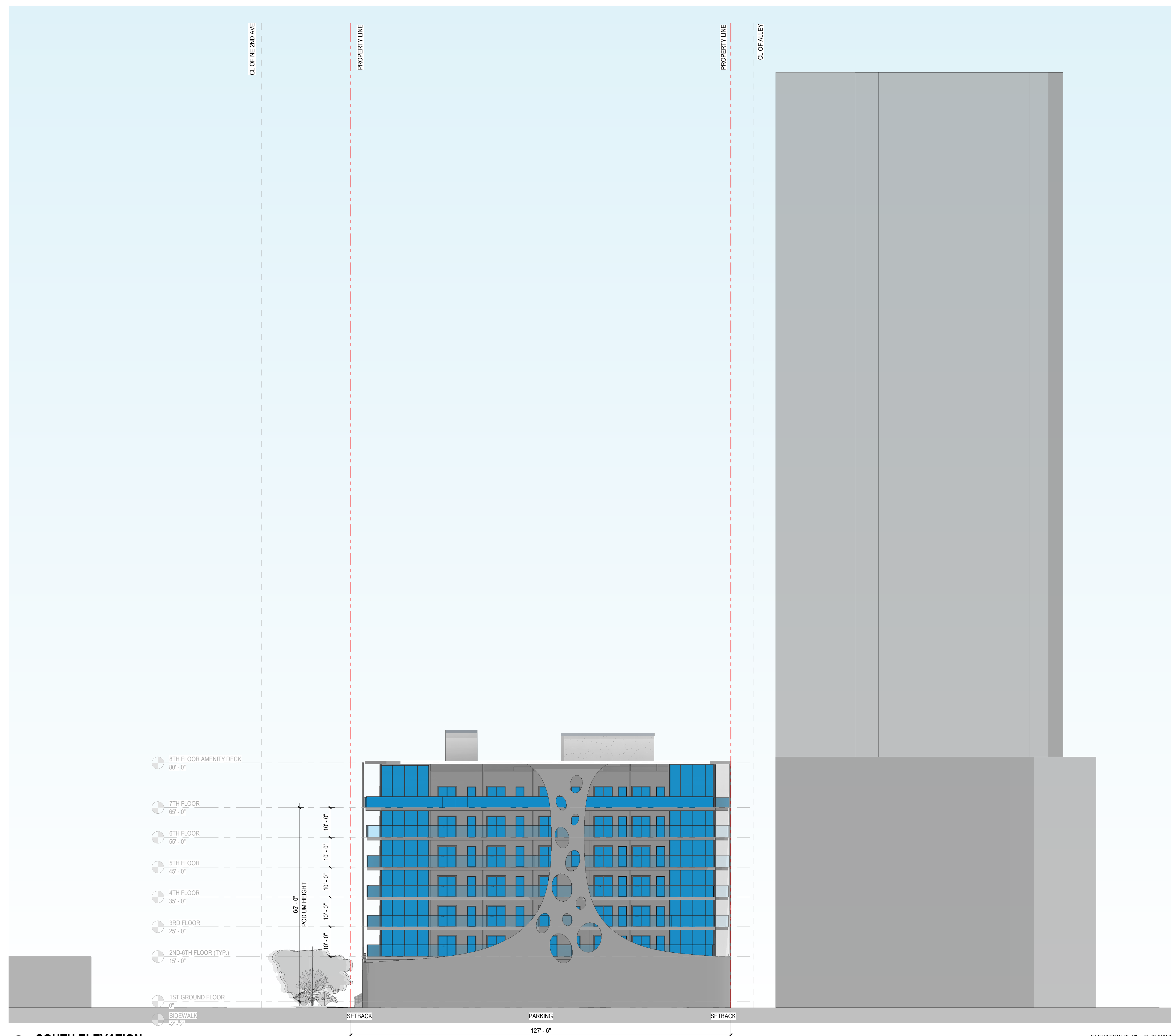
revisions:

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date: 7/3/2024 3:08:37 PM
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drawn by: Author
checked by: Checker
Proj Mgr.: Designer
Cust: Approver

sheet no.:
A-300

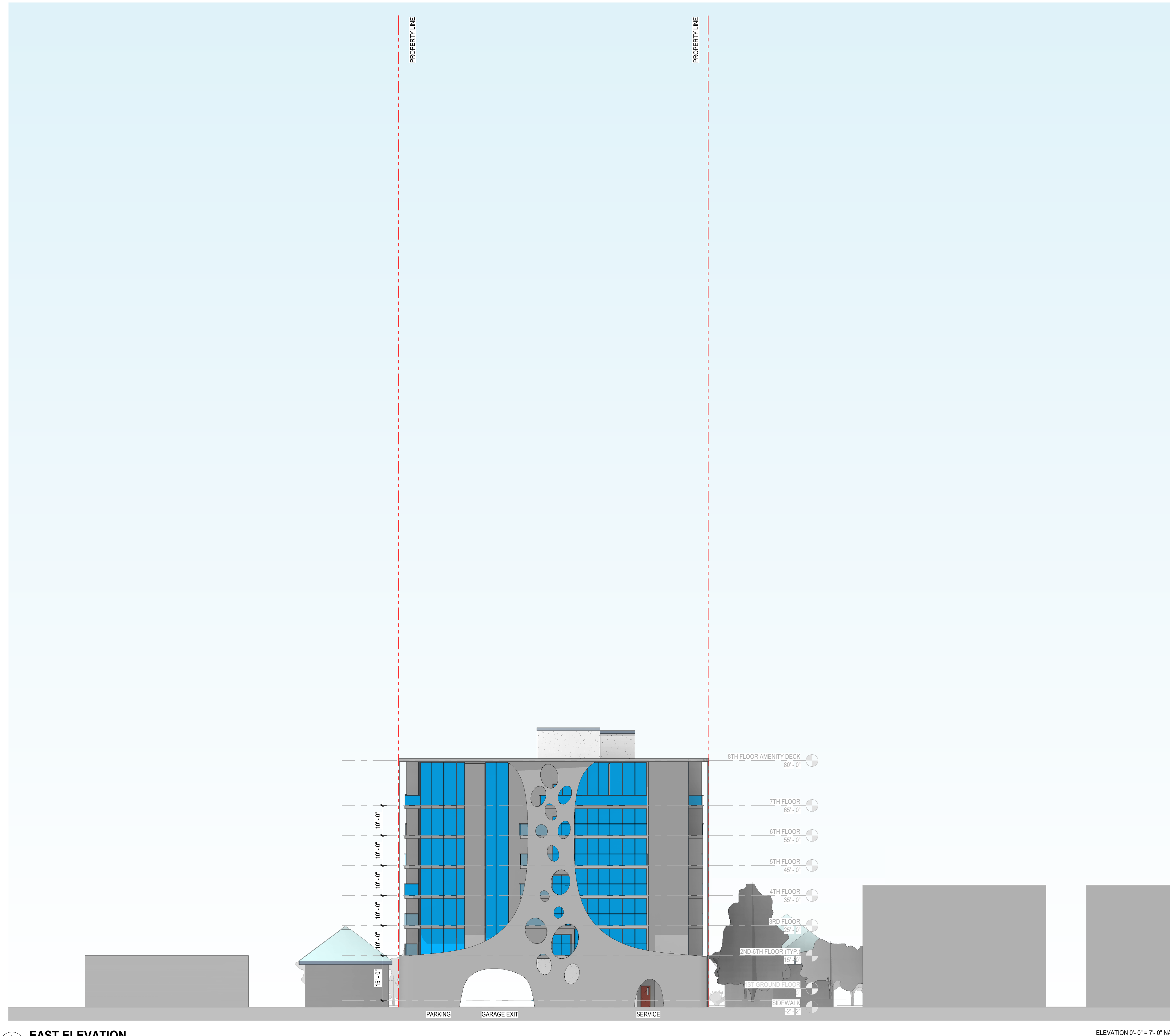
#	DESCRIPTION
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH, W/ HIGH BUILD 2-COAT ACRYLIC WATER PROOFING COATING (MASTERPROTECT C350 HB400 BY BASF CORPORATION, OR EQUAL), COLOR TO BE SELECTED BY ARCHITECT. PROVIDE CONCAVE TOOLED CONTROL JOINTS WITH A MAXIMUM WALL AREA OF 150 SF BETWEEN JOINTS; 18'-0" MAX DIMENSION.
02	FIBER REINFORCED CLADDING PANEL SYSTEM; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
03	ALUMINUM FRAMED GLASS SWING DOOR, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
04	BUTT-JOINTED ALUMINUM FRAMED WINDOW WALL, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
05	ALUMINUM SLIDING / FOLDING GLASS DOOR SYSTEM, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
06	ALUMINUM AND GLASS RAILING SYSTEM AT 42' A.F.F.; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
07	ALUMINUM MECHANICAL LOUVERS, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
08	125" ALUMINUM BREAK METAL CLADDING; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
09	ROOFTOP MECHANICAL ENCLOSURE COMPOSED OF ALTERNATING ALUMINUM VERTICAL FINIALS WITH INTEGRAL LIGHTING SYSTEM. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.



1 SOUTH ELEVATION
A-301 1/16" = 1'-0"

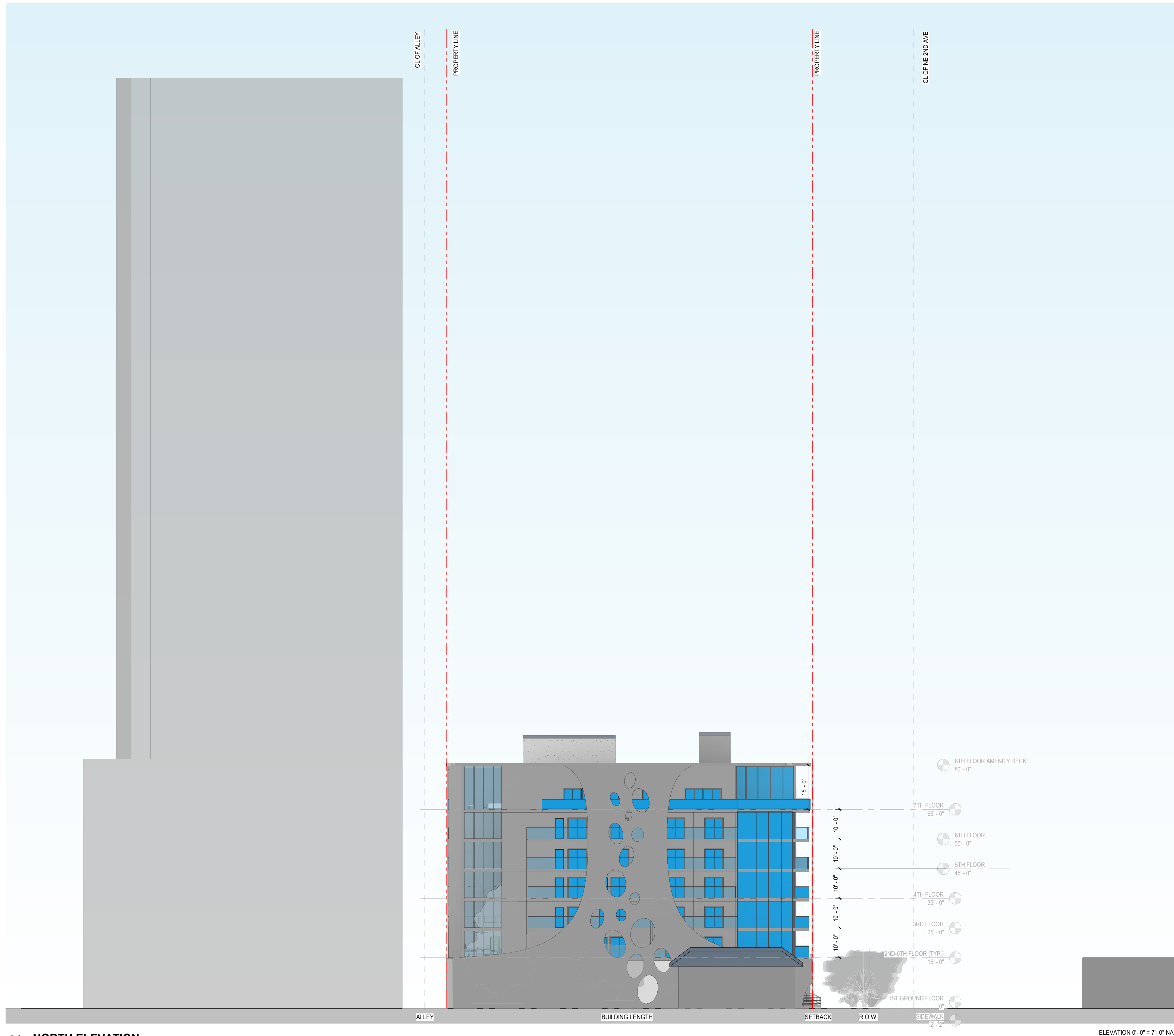
ELEVATION 0'-0" = 7'-0" NAVD

#	DESCRIPTION
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH, W/ HIGH BUILD 2-COAT ACRYLIC WATER-PROOFING COATING (MASTERPROTECT CSSI) H8400 BY BASF CORPORATION, OR EQUAL). COLOR TO BE SELECTED BY ARCHITECT. PROVIDE CONCAVE TOOLED CONTROL JOINTS WITH A MAXIMUM WALL AREA OF 150 SF BETWEEN JOINTS; 18'-0" MAX DIMENSION.
02	FIBER REINFORCED CLADDING PANEL SYSTEM; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
03	ALUMINUM FRAMED GLASS SWING DOOR, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
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EAST ELEVATION
1/16" = 1'-0"

ELEVATION 0'-0" = 7'-0" NAVD



1 NORTH ELEVATION
A-303 1/16" = 1'-0"

KEYNOTE LEGEND	
#	DESCRIPTION
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH, W/ HIGH BUILD 2-COAT ACRYLIC WATER PROOFING COATING (MASTERPROTECT C350 HB400 BY BASF CORPORATION, OR EQUAL). COLOR TO BE SELECTED BY ARCHITECT. PROVIDE CONCAVE TOOLED CONTROL JOINTS WITH A MAXIMUM WALL AREA OF 150 SF BETWEEN JOINTS, 18'-0" MAX DIMENSION.
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09	ROOFTOP MECHANICAL ENCLOSURE COMPOSED OF ALTERNATING ALUMINUM VERTICAL FINIALS WITH INTEGRAL LIGHTING SYSTEM. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.

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owner:

project name:

issued for:

date:

sheet name:
NORTH ELEVATION

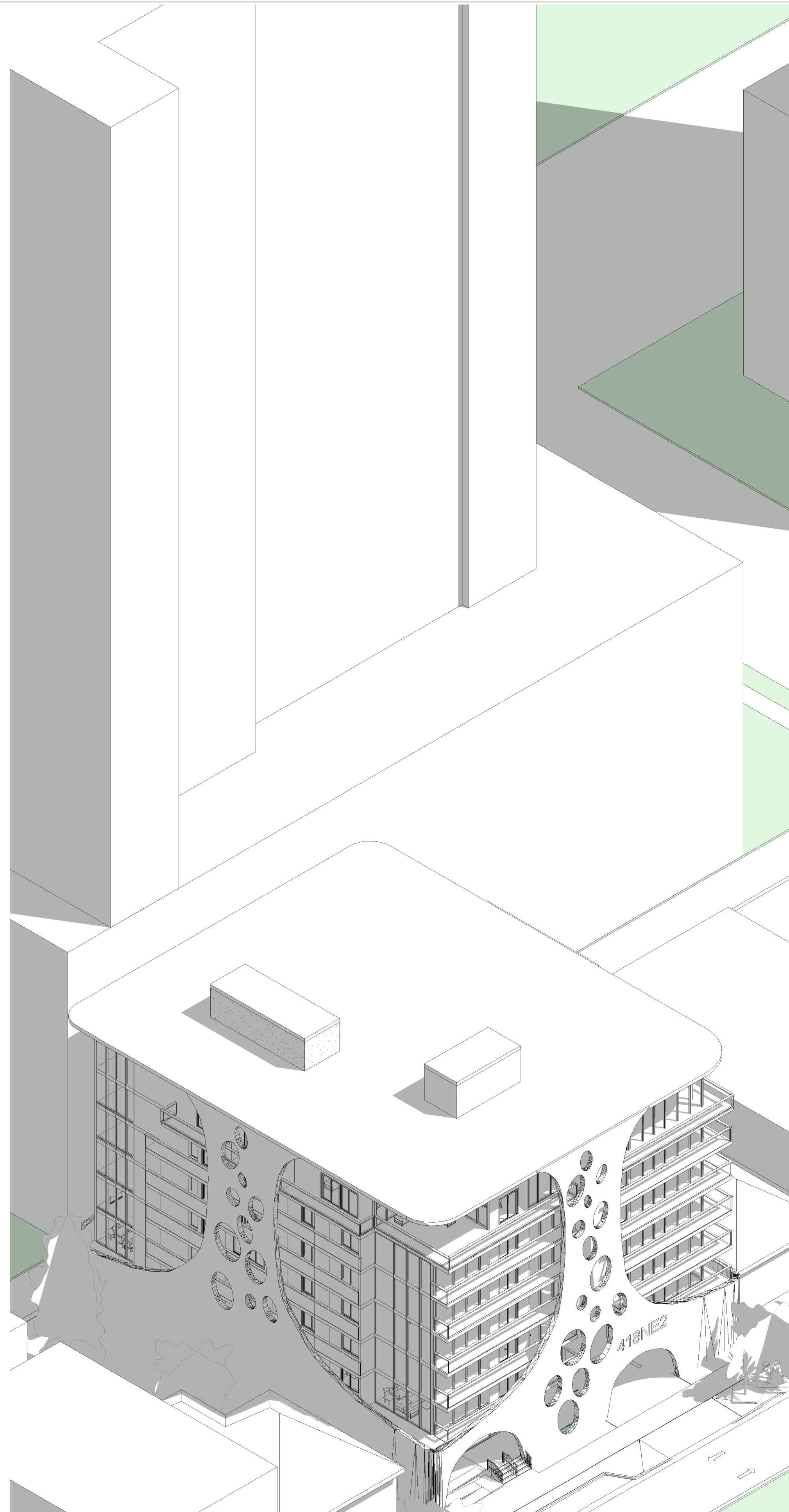
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proj. no. CH
checked by: Author
drawn by: Designer
reviewed by: Checker
date: Approver

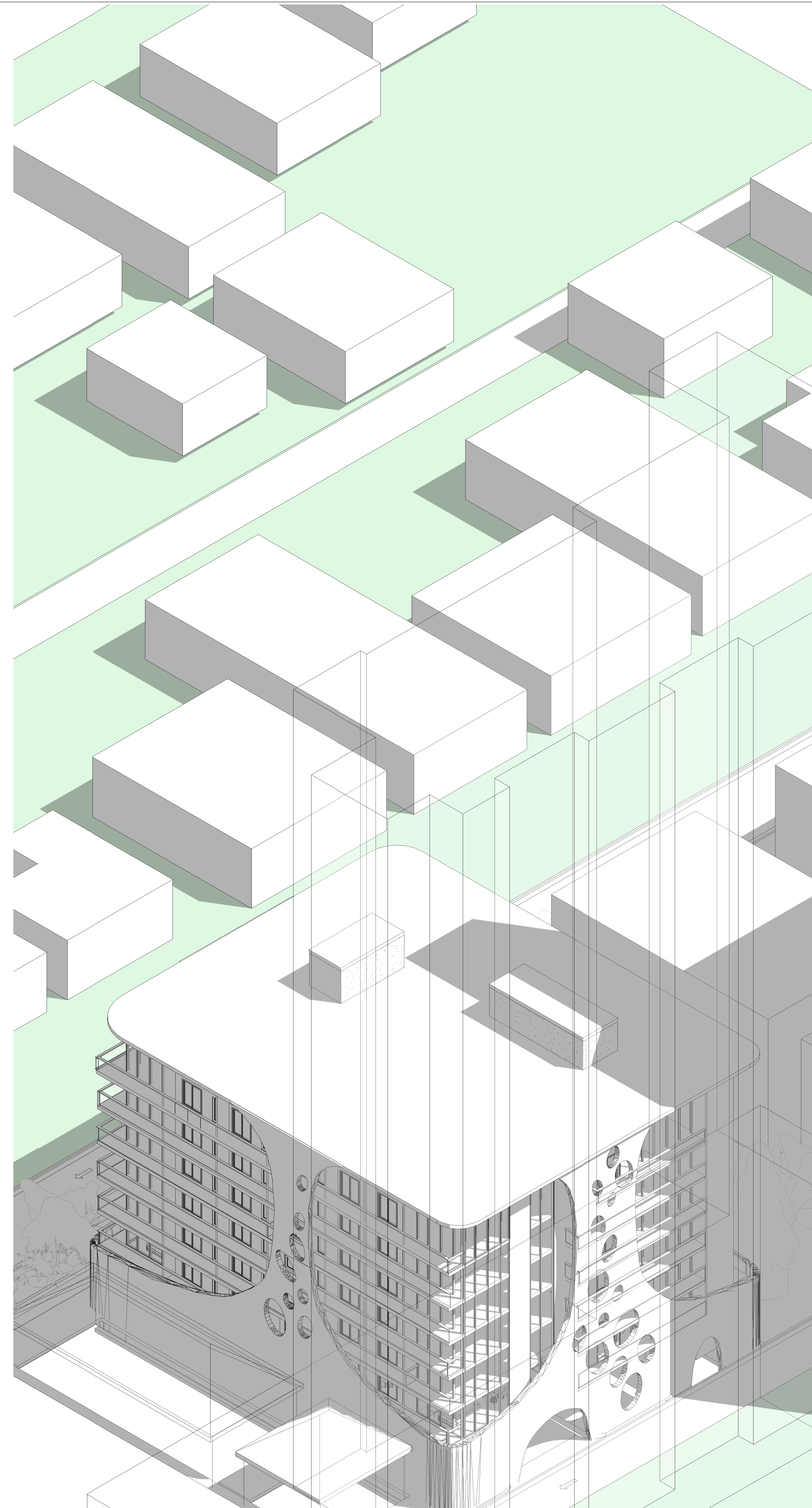
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A-303

ELEVATION 0'-0" = 7'-0" NAVD



2 AERIAL NW CORNER

A-700



1 AERIAL SE CORNER

A-700

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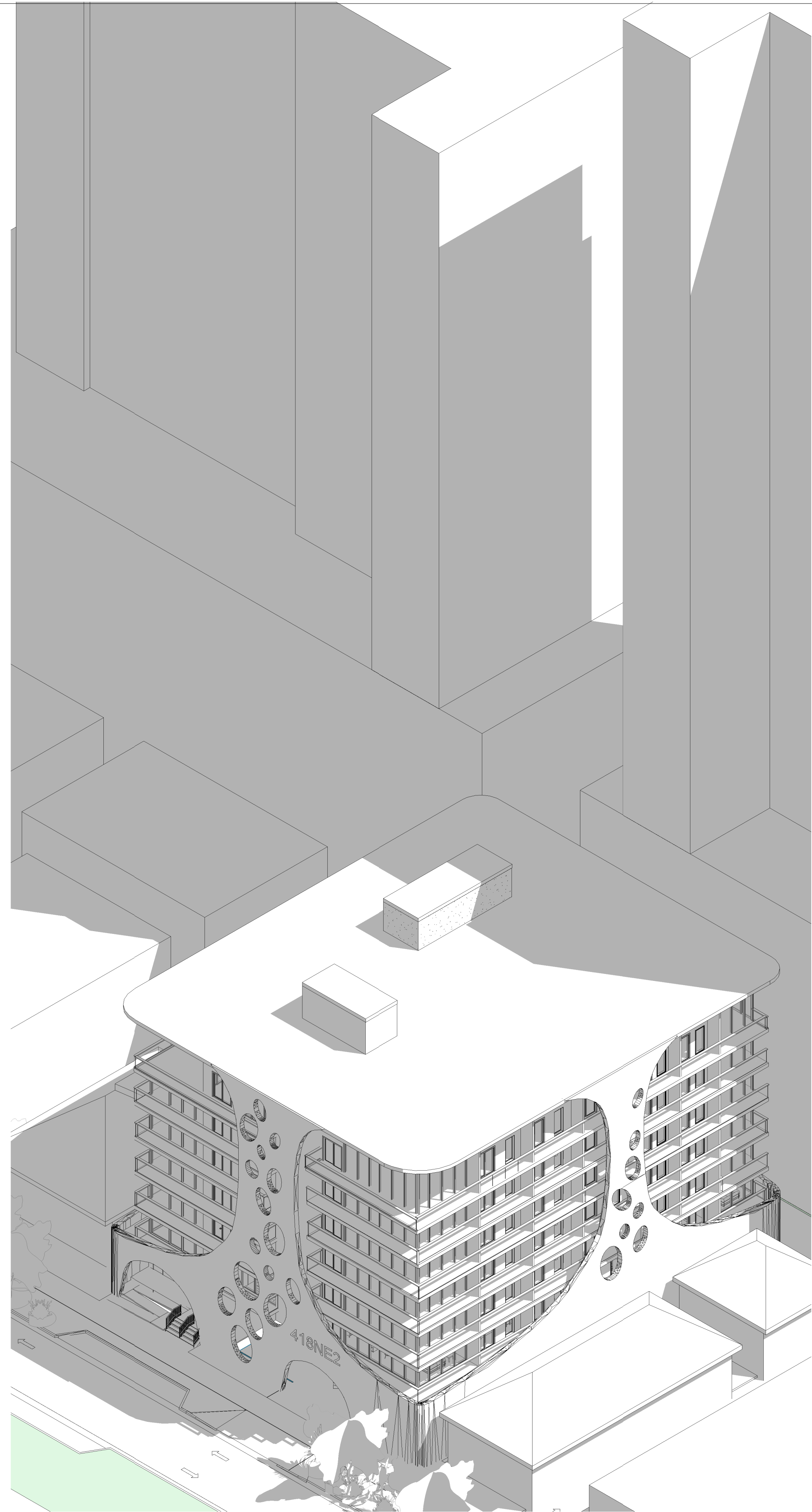
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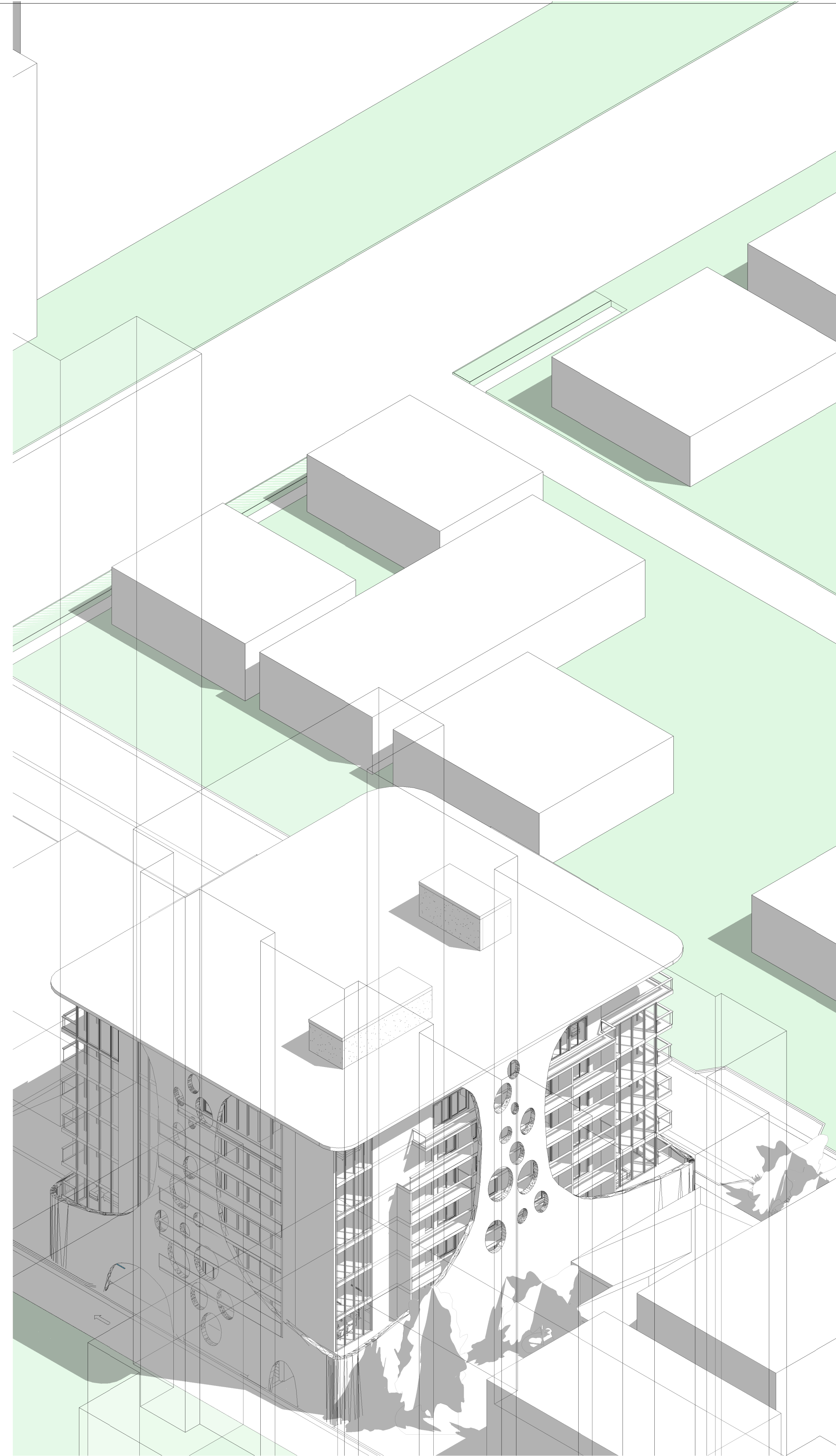
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checked by: Checker
Proj Mng.: Designer
Cust: Approver

sheet no.:
A-700



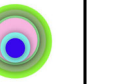
1
A-701
AERIAL SW CORNER



2
A-701
AERIAL NE CORNER

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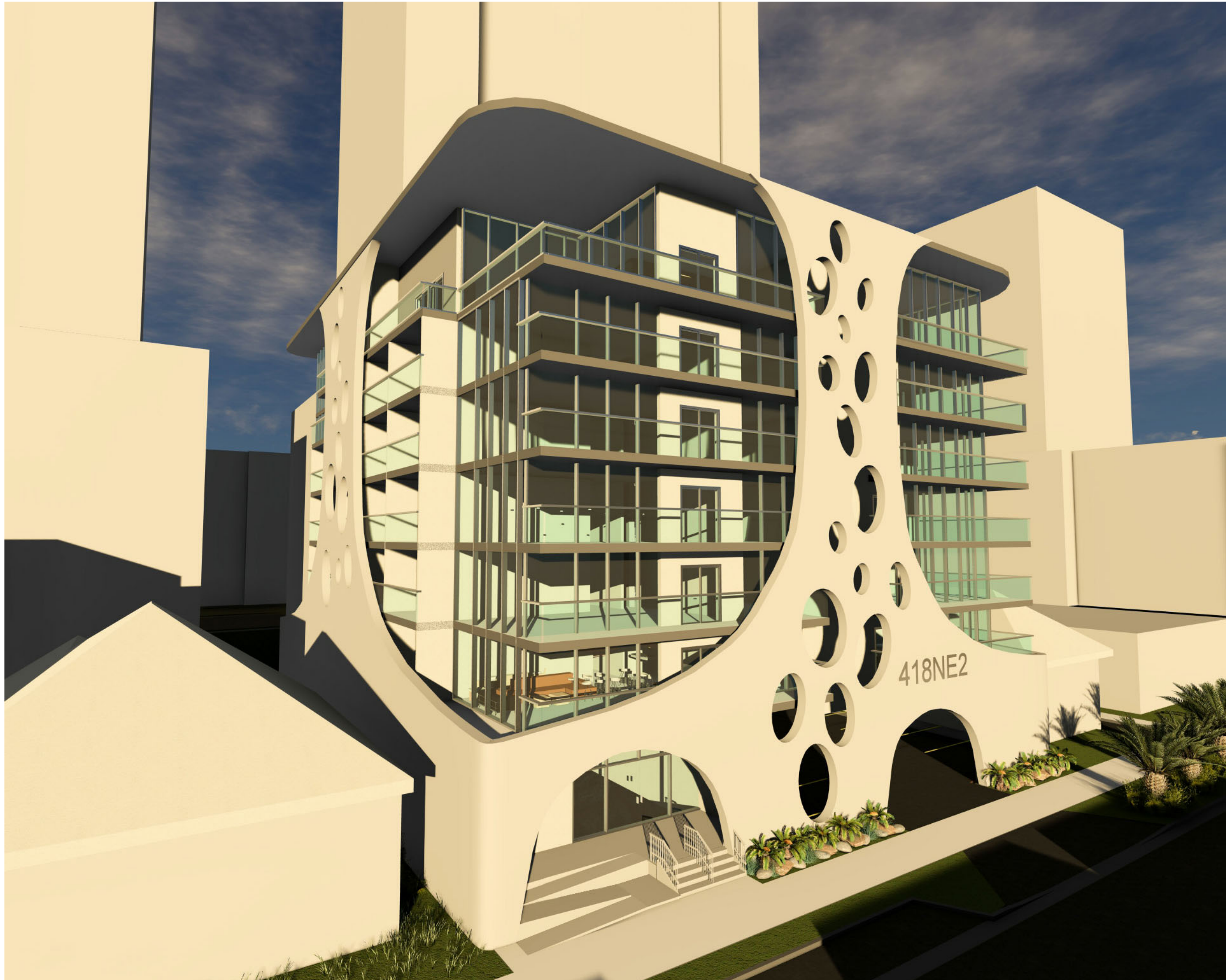
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checked by: Checker
Proj Mng.: Designer
Cust: Approver

sheet no.:
A-701



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drawn by: Author Proj Mng.: Designer
reviewed by: Checker Cap: Approver

sheet no.:
A-400



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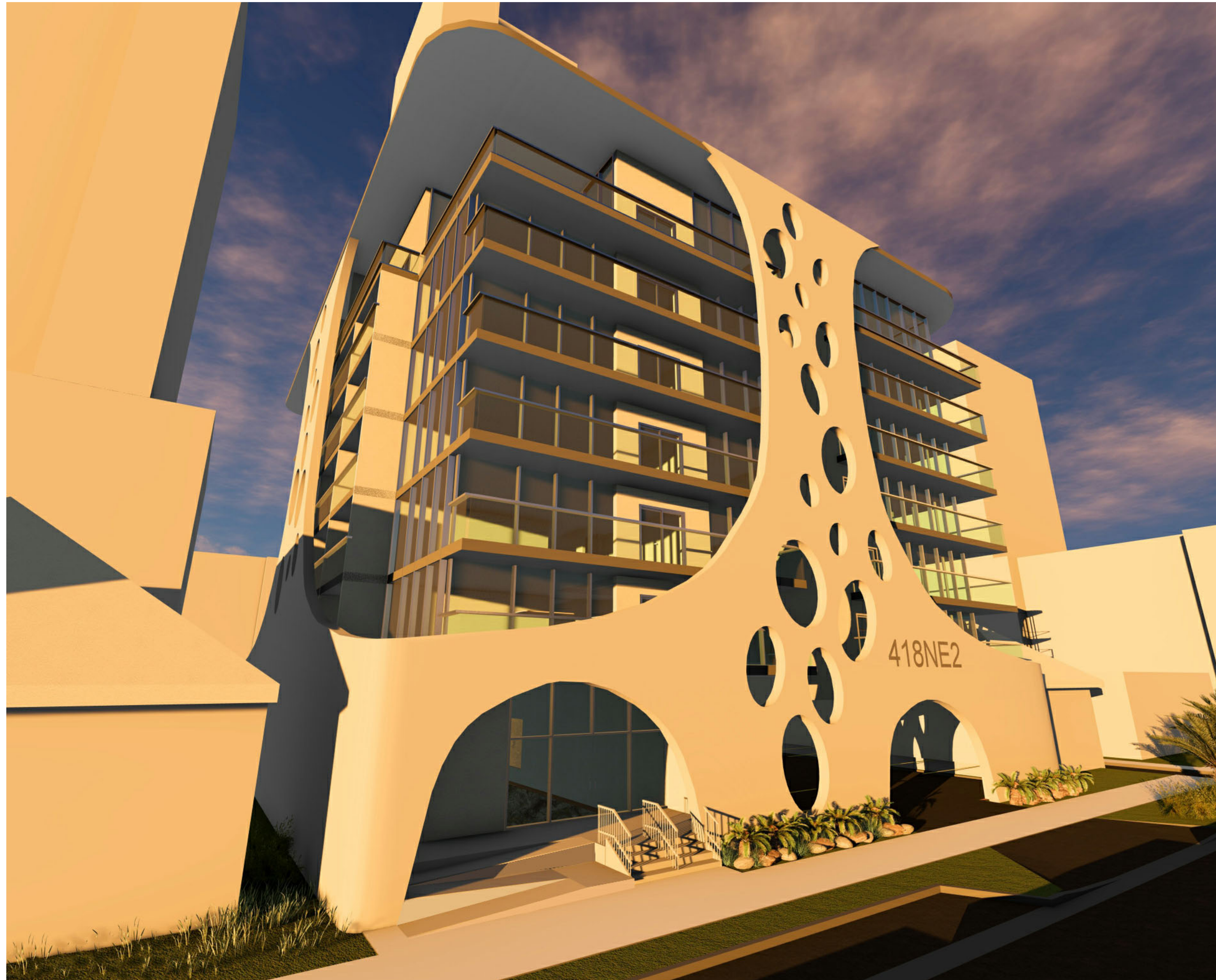
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A-401



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 revised by: Checker Cap: Approver

sheet no.:
A-402



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Author
checked by:
Checker
Proj Mngr.:
Designer
Cust:
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