DEVELOPMENT REVIEW COMMITTEE | SITE PLAN APPLICATION 418 NE 2ND AVE. FORT LAUDERDALE, FL 33301





VICINITY MAP 12" = 1'-0"

<u>OWNER</u>

418 NE2 AVE LLC 461 20TH STREET BROOKLYN, NY 11215 718-984-5940

JOSEPH SCARPINITO, OWNER 418NE2@GMAIL.COM

ARCHITECT

THE TAMARA PEACOCK COMPANY ARCHITECTS 1512 E. BROWARD BLVD. SUITE #102 FORT LAUDERDALE, FL 33301 954-728-8000

> TAMARA PEACOCK, ARCHITECT TAMARA@TAMARAPEACOCK.COM

> CRISTIN PEACOCK, ARCHITECT CRISTIN@TAMARAPEACOCK.COM

RAFAEL BALLESTER, PROJECT MANAGER RAFAEL@TAMARAPEACOCK.COM



FLYNN ENGINEERING 241 COMMERCIAL BLVD. LAUDERDALE BY THE SEA. FL 33308 954-522-1004

JAY FLYNN, CIVIL ENGINEER JFLYNN@FLYNNENGINEERING.COM

BLAKE KIDWELL, CIVIL ENGINEER BKIDWELL@FLYNNENGINEERING.COM

AARON BENGOCHEA, CIVIL ENGINEER AARON@FLYNNENGINEERING.COM

LANDSCAPE

EDSA LANDSCAPE ARCHITECTURE 1512 E. BROWARD BLVD. SUITE #110 FORT LAUDERDALE, FL 33301 954-524-3330

ALEXANDER FENECH, LANDSCAPE ARCHITECT AFENECH@EDSAPLAN.COM

> MEGAN PERRY, ASSOCIATE MPERRY@EDSAPLAN.COM

MEP ENGINEER

LOUIS J. AGUIRRE & ASSOCIATES 9150 S. DADELAND BLVD. SUITE #900 MIAMI, FL 33156 305-670-0141

MARILE BORINO, ELECTRICAL ENGINEER MBORINO@LJAAPA.COM

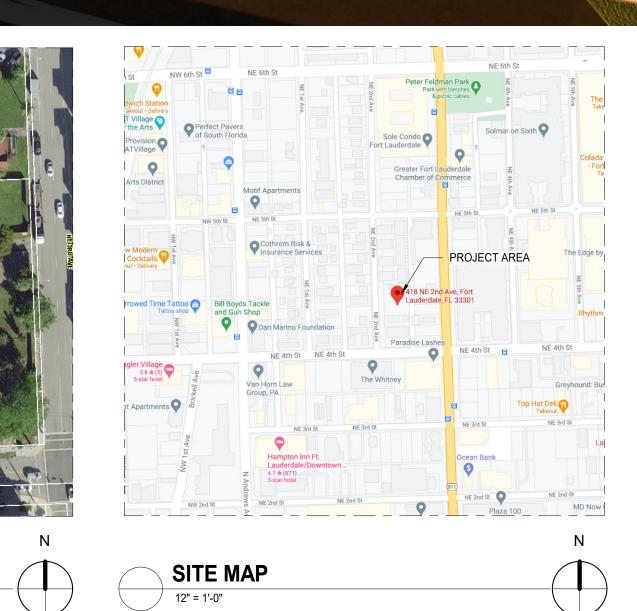
> MICHELLE MARTINEZ, ASSOCIATE MMARTINEZ@LJAAPA.COM

STRUCTURAL

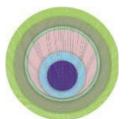
PENNONI CONSULTING ENGINEERS 200 CONGRESS PARK DR. SUITE 102 DELRAY BEACH, FL 33445 561-265-6864

JEREMY CASE, STRUCTURAL ENGINEER JCASE@PENNONI.COM

E. MICHAEL MCCARTHY, STRUCTURAL ENGINEER MMCCARTHY@PENNONI.COM



DRAWING LIST		
SHEET NO	SHEET NAME	
CS-1	DRC COVER SHEET	
A-000	COVER SHEET	
A-001	ZONING INFORMATION	
CSP-1	CONTEXT SITE PLAN	
A-002	ZONING DIAGRAM	
SP-1	SITE PLAN/ CODE REQ.	
A-003	OPEN SPACE & LOT COVERAGE	
A-004	GROSS AREA CALCULATIONS	
A-005	GROSS AREA CALCULATIONS	
A-006	GROSS AREA CALCULATIONS	
A-007	EXISTING SITE PHOTOS	
A-008	EXISTING SITE PHOTOS	
A-200	GROUND FLOOR PLAN	
A-201	2ND-6TH FLOOR PLAN (TYP.)	
A-202	7TH FLOOR PLAN WITH DOUBLE WIDE UNIT	
A-206	8TH FLOOR AMENITY DECK	



THE TAMARA PEACOCK COMPANY Architects

1512 E. BROWARD BLVD. SUITE #102 FORT LAUDERDALE, FLORIDA 33301 (954) 728-8000

SHEET NC A-300

A-301 A-302 A-303 A-400 A-401 A-402 A-403 A-500 A-600 A-601 A-700 A-701

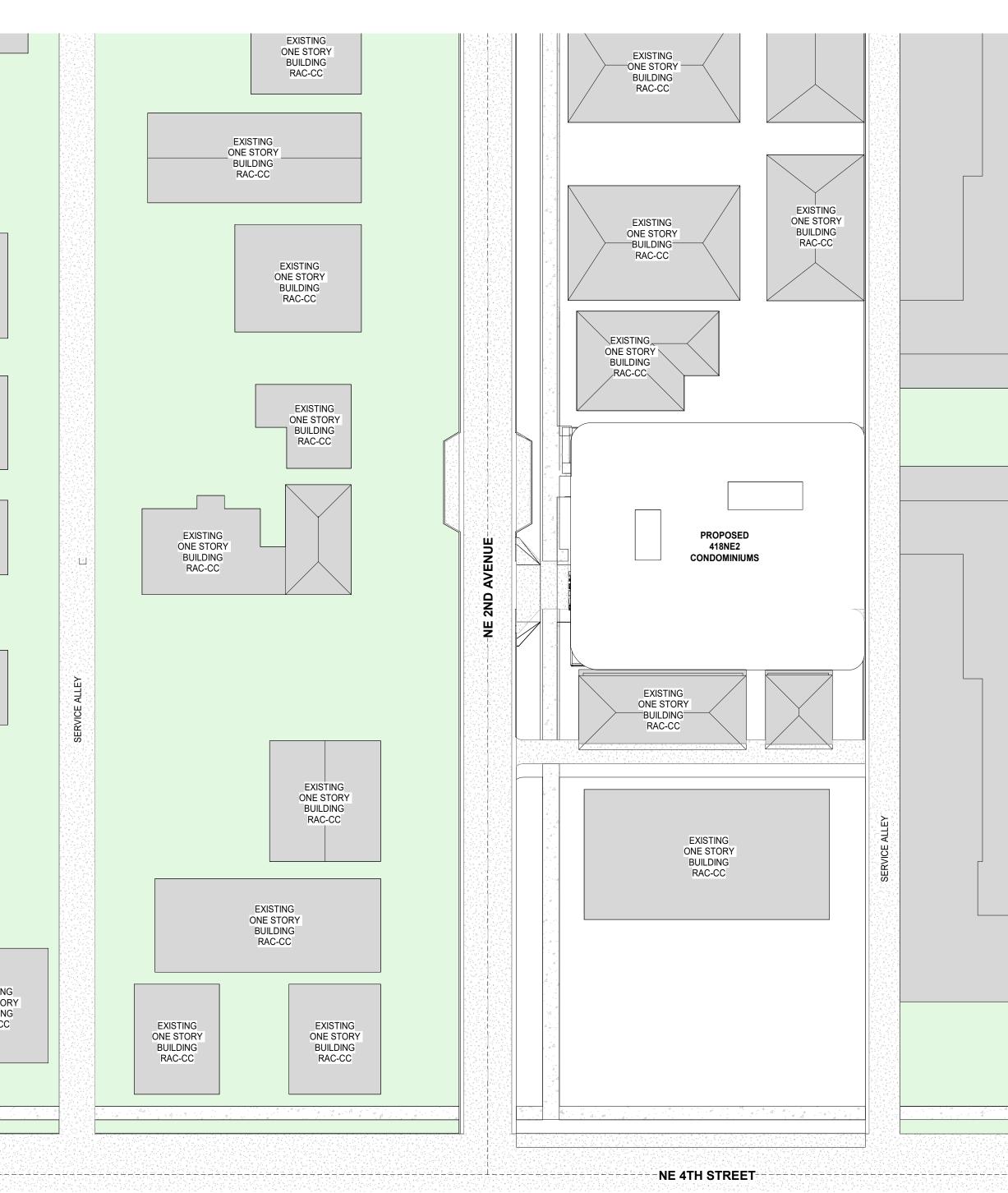
-				
		_		
				-
		-		
	~			
	-			-
1111				
	Trace			2
1.501055		125		-3
Ser.		1.8	1	

BRAWING LIST

EST ELEVATION
OUTH ELEVATION
AST ELEVATION
ORTH ELEVATION
ENDERINGS
ENDERINGS
ENDERINGS
ENDERINGS
ETAILS & MATERIALS
ECTIONS
ECTIONS
O AXO
O AXO

	MARA
PEACOC	
Archited	cts 🧿
1512 E Broward Blv FL 33301 Phone: 828.696.400	
project design team	:
the tamara peacock 1512 E Broward Blvd, Fort La PH: 828-696-4000	
owner:	
project name:	
issued for:	
date:	
sheet name: COVER S	HEET
revisions:	
This document is property of T and no part herein shall be use project without consent of The This document was prepared	ed except for the specific Tamara Peacock Company. by The Tamara Peacock
Company according to the terr the contract for construction. This documnet does not either any direction or instruction to to construction means metho	in whole or in part constitute any contractor with regards
to construction means, metho document the Architect does r opinion, direction or instructior to the manner in which the con accomplished.	not intend to express any n of any kind whatsoever as
date: 7/3/2024 3:31:01	PM
proj. no.: Checker drawn by:	Proj Mngr.:
Author revised by: Checker	Designer _{Capt.:} Approver
sheet no.:	
A-00	0

ALL C LAND CURF VACA ADJA FLOO SIT 1.A) 1.B)	NT RESI	A OF THE SITE AFFECTED	OCCUPANCY RAC-CC - REGIONAL ACTIVITY CENTER NTER) - NEAR DOWNTOWN 2,750 SQ. FT. / 0.30 ACRES 1,710 SQ. FT. / 0.27 ACRES	
LAND CURF VACA ADJA FLOO SIT 1.A) 1.B) 1.C)	USE DESIGNATION: 100 - REGIONRENT USEPROINNTRESICENT ZONING: RAC-UV, P, RAC-END ZONE: AHE DATA:DESCRIPTIONZONING:RAC-CC (REGIONAL ALAND USE:PREVIOUS:PROPOSED:RESIDENDENSITY:23 DWELLING UNITSSITE AREA:YARD DIMENSIONS:FRONT YARD SETBACK	AL ACTIVITY CENTER POSED USE DENTIAL MU, B-1 CTIVITY CENTER - CITY CENTIAL - VACANT NTIAL - VACANT NTIAL - 26 FLOORS GROSS LOT S.F.: 12 NET LOT S.F.: 12 REQUIRED	OCCUPANCY RAC-CC - REGIONAL ACTIVITY CENTER NTER) - NEAR DOWNTOWN 2,750 SQ. FT. / 0.30 ACRES	
CURF VACA ADJA FLOO SIT 1.A) 1.B) 1.C)	RENT USE PROI NT RESI CENT ZONING: RAC-UV, P, RAC-EN DD ZONE: AH E DATA: DESCRIPTION ZONING: RAC-CC (REGIONAL A LAND USE: PROPOSED: RESIDEN DENSITY: 23 DWELLING UNITS SITE AREA: YARD DIMENSIONS: FRONT YARD SETBACK	POSED USE DENTIAL MU, B-1 CTIVITY CENTER - CITY CENTIAL - VACANT NTIAL - VACANT NTIAL - 26 FLOORS GROSS LOT S.F.: 12 NET LOT S.F.: 12 NET LOT S.F.: 12 REQUIRED	RAC-CC - REGIONAL ACTIVITY CENTER NTER) - NEAR DOWNTOWN 2,750 SQ. FT. / 0.30 ACRES	
ADJA FLOO SIT 1.A) 1.B) 1.C) 2.)	CENT ZONING: RAC-UV, P, RAC-EN D ZONE: AH E DATA: DESCRIPTION ZONING: RAC-CC (REGIONAL A LAND USE: <u>PREVIOUS</u> : RESIDEN <u>PROPOSED</u> : RESIDEN DENSITY: 23 DWELLING UNITS SITE AREA: YARD DIMENSIONS: FRONT YARD SETBACK	MU, B-1 CTIVITY CENTER - CITY CENTIAL - VACANT NTIAL - 26 FLOORS GROSS LOT S.F.: 12 NET LOT S.F.: 12 REQUIRED	ACTIVITY CENTER	
FLOO SIT I.A) I.B) I.C) 2.)	D ZONE: AH E DATA: DESCRIPTION ZONING: RAC-CC (REGIONAL A LAND USE: <u>PREVIOUS</u> : RESIDEN <u>PROPOSED</u> : RESIDEN DENSITY: 23 DWELLING UNITS SITE AREA: YARD DIMENSIONS: FRONT YARD SETBACK	CTIVITY CENTER - CITY CE NTIAL - VACANT NTIAL - 26 FLOORS GROSS LOT S.F.: 12 NET LOT S.F.: 12 REQUIRED	2,750 SQ. FT. / 0.30 ACRES	
SIT A) B) C) 2.)	E DATA: DESCRIPTION ZONING: RAC-CC (REGIONAL A LAND USE: <u>PREVIOUS</u> : RESIDEN <u>PROPOSED</u> : RESIDEN DENSITY: 23 DWELLING UNITS SITE AREA: YARD DIMENSIONS: FRONT YARD SETBACK	NTIAL - VACANT NTIAL - 26 FLOORS GROSS LOT S.F.: 12 NET LOT S.F.: 1 REQUIRED	2,750 SQ. FT. / 0.30 ACRES	
.A) .B) .C) 2.)	DESCRIPTION ZONING: RAC-CC (REGIONAL A LAND USE: <u>PREVIOUS</u> : RESIDEN <u>PROPOSED</u> : RESIDEN DENSITY: 23 DWELLING UNITS SITE AREA: YARD DIMENSIONS: FRONT YARD SETBACK	NTIAL - VACANT NTIAL - 26 FLOORS GROSS LOT S.F.: 12 NET LOT S.F.: 1 REQUIRED	2,750 SQ. FT. / 0.30 ACRES	
.A) .B) .C) 2.)	ZONING: RAC-CC (REGIONAL A LAND USE: <u>PREVIOUS</u> : RESIDEN <u>PROPOSED</u> : RESIDEN DENSITY: 23 DWELLING UNITS SITE AREA: YARD DIMENSIONS: FRONT YARD SETBACK	NTIAL - VACANT NTIAL - 26 FLOORS GROSS LOT S.F.: 12 NET LOT S.F.: 1 REQUIRED	2,750 SQ. FT. / 0.30 ACRES	
.B) .C) 2.)	LAND USE: PREVIOUS: RESIDEN PROPOSED: RESIDEN DENSITY: 23 DWELLING UNITS SITE AREA: YARD DIMENSIONS: FRONT YARD SETBACK	NTIAL - VACANT NTIAL - 26 FLOORS GROSS LOT S.F.: 12 NET LOT S.F.: 1 REQUIRED	2,750 SQ. FT. / 0.30 ACRES	
.C) 2.)	PROPOSED: RESIDEN DENSITY: 23 DWELLING UNITS SITE AREA: YARD DIMENSIONS: FRONT YARD SETBACK	NTIAL - 26 FLOORS GROSS LOT S.F.: 12 NET LOT S.F.: 1 REQUIRED		
2.)	SITE AREA: YARD DIMENSIONS: FRONT YARD SETBACK	NET LOT S.F.: 1 REQUIRED		
	YARD DIMENSIONS: FRONT YARD SETBACK	NET LOT S.F.: 1 REQUIRED		
	YARD DIMENSIONS: FRONT YARD SETBACK	NET LOT S.F.: 1 REQUIRED		
-	YARD DIMENSIONS: FRONT YARD SETBACK	NET LOT S.F.: 1 REQUIRED		
•	YARD DIMENSIONS: FRONT YARD SETBACK	NET LOT S.F.: 1 REQUIRED		
3.)	FRONT YARD SETBACK			
		5' - 0"	PROVIDED	
	NORTH SIDE SETBACK		5' - 0"	
		0' - 0"	0' - 0"	
	SOUTH SIDE SETBACK	0' - 0"	0' - 0"	
	REAR SETBACK	0' - 0"	5' - 0"	_
4.)	BUILDING HEIGHT:	TOWER 30 FLOORS M	AX. 7 FLOORS	
5.)	MAX. STRUCTURE LENGTH:	300'- 0" MAX.	100'- 0" (NORTH-SOUTH) 117'- 6" (EAST-WEST)	
6.)	GROUND FLOOR HEIGHT	15'- 0" MIN.	15'- 0"	
7.)	MAX FLOOR PLATE SIZE	18,000 SF	12,125 SF	
8.)	STEP-BACK	3 - 7 FLOORS W/ 15' - 0" MIN.	6 FLOORS W/ 30' - 0" STEPBACK	
6.)	IMPERVIOUS AREAS:		PROPOSED	
	A. BUILDING FOOT PRINT:			
	C. PARKING AREA:			EXIST ONE S BUILD
	D. TOTAL VEHICULAR ACCESS	AREA		RAC
	E. SIDEWALK/WALKWAYS: H. DUMPSTER AREA:			
	I. TOTAL IMPERVIOUS AREA			
7.)	PERVIOUS AREAS:	REQUIRED	PROPOSED	
	A. TOTAL PERVIOUS AREA: B. TOTAL OPEN SPACE	393 SQ. FT. 1,574 SQ. FT.		
8.)	PARKING: FORT LAUDERDALE ZONING CODE SEC. 4	· ·	PROVIDED	$\begin{array}{c} \sum_{i=1}^{n} \sum_{j=1}^{n} \sum_{j=1}^{n} \sum_{j=1}^{n} \sum_{i=1}^{n} \sum_{j=1}^{n} \sum_{i=1}^{n} \sum_{j=1}^{n} \sum_{i=1}^{n} \sum_{j=1}^{n} \sum_{j=1}^{n} \sum_{j=1}^{n} \sum_{i=1}^{n} \sum_{j=1}^{n} \sum_{j=1}^{n} \sum_{j=1}^{n} \sum_{i=1}^{n} \sum_{j=1}^{n} \sum_{j=1}^{n}$
- 1	PARKING SPACES (1 PARKING SPACE PER		23	
8.)		DWELLING UNIT)*		1 A-001
LE	GAL DESCRIPTION:			OP
	RTH LAUDERDALE AMENDED PLAT	- 1-182 D		
LOT	16,17 BLK 29			
APP	LICABLE CODES:			LOT
۹. 3.	2020 FLORIDA BUILDING CODE 7 FLORIDA FIRE PREVENTION COI			OPE
э. С. О.	2015 BROWARD COUNTY AMENI 2020 FLORIDA MECHANICAL COL	DMENTS TO FFPC		
5. E. E.	2017 TEST PROTOCOLS FOR HIG 2018 NFPA 70 NATIONAL ELECTR	GH VELOCITY HURRICANE Z	ZONES 6TH ED	
G. H.	2020 FLORIDA STATE ENERGY C ADA ACCESSIBILITY GUIDELINES	ODE	ILITIES 2012	
I. J.	2020 FLORIDA ACCESSIBILITY CO 2018 NFPA 101 LIFE SAFETY CO	ODE 7TH ED		
۲.	2018 NFPA 101 LIFE SAFETT COL 2018 NFPA 1 NATIONAL FIRE PRI FORT LAUDERDALE DOWNTOWI	EVENTION CODE (UNIFORM	1 FIRE CODE)	PER
L.	CODE(MUNICODE)			25%



SITE PLAN

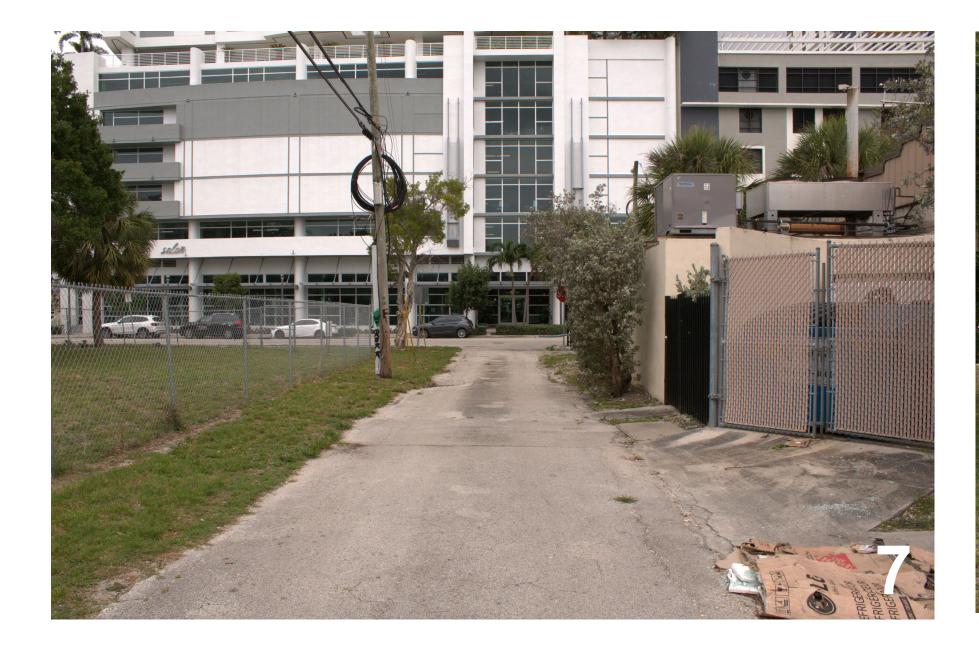
SPACE REQUIREMENTS:			
	REQUIRED	PROVIDED	
VERAGE	N/A	11,710 SF	
PACE 10% MIN. OF LOT AREA	15,739 SF X 10% = 1,574 SF		
GRADE	1,574 SF X 40% = 630 SF		
AMENITY DECK			
ROOF DECK			
TOTAL OPEN SPACE	1,574 SF		
OUS LANDSCAPE AREA			
N. OF REQUIRED OPEN SPACE	1,574 SF X 25% = 393 SF	REFER TO CIVIL DRAWINGS	

PROPOSED URAN 22STORY BRACCC

THE TAMARA
PEACOCK COMPANY
Architects
1512 E Broward Blvd, Fort Lauderdale, FL 33301 Phone: 828.696.4000
project design team: the tamara peacock co. architects 1512 E Broward Blvd, Fort Lauderdale, FL 33301 PH: 828-696-4000
owner:
project name:
issued for:
date:
sheet name: ZONING INFORMATION
revisions:
This document is property of Tamara Peacock Company and no part herein shall be used except for the specific project without consent of The Tamara Peacock Company. This document was prepared by The Tamara Peacock Company according to the terms of general conditions of the contract for construction. This document does not either in whole or in part constitute any direction or instruction to any contractor with regards to construction means, methods or techniques. By this document the Architect does not intend to express any opinion, direction or instruction of any kind whatsoever as to the manner in which the construccion work is to be accomplished.
date: <u>7/2/2024 3:07:09 PM</u> proj_no.: proj_no.:
Checker drawn by: Proj Mngr.: Author Designer revised by: Capt.: Checker Approver
sheet no.: A-001

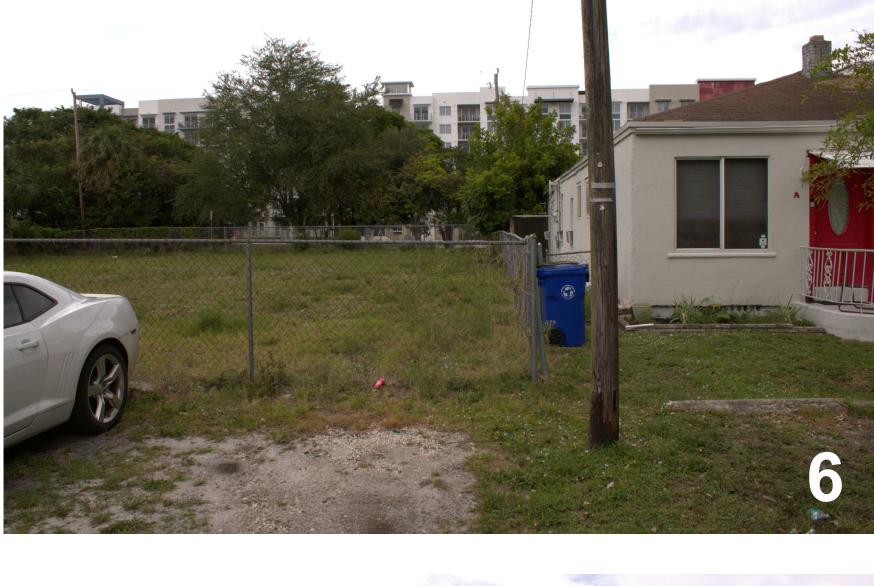


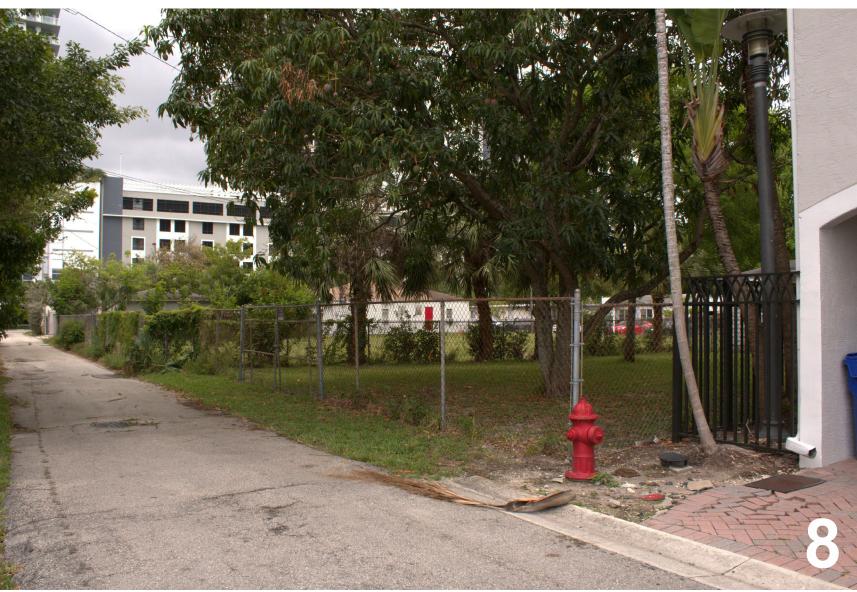






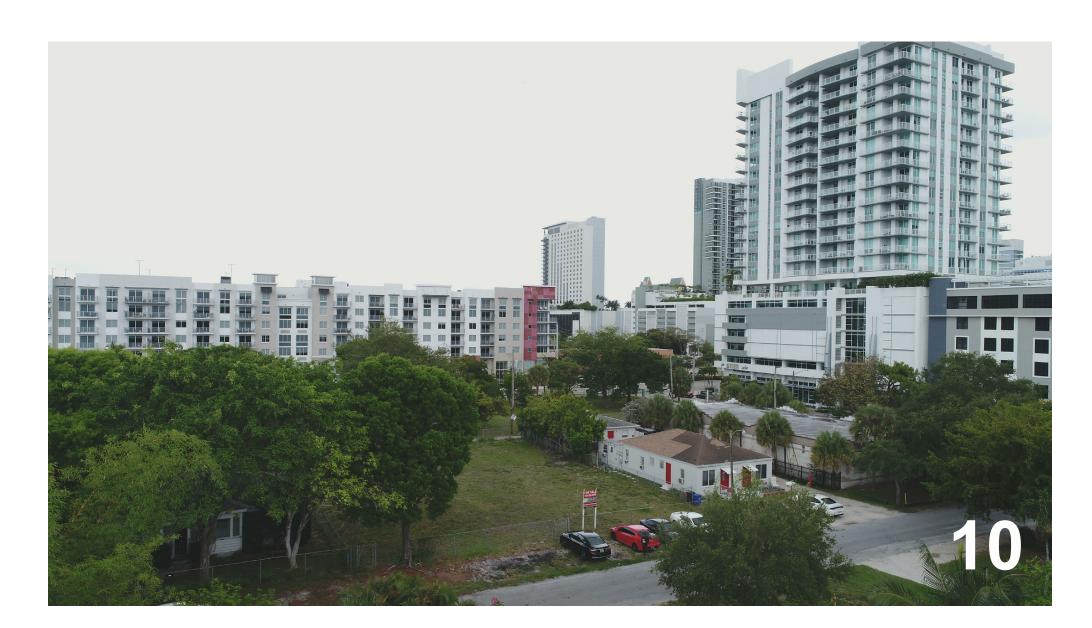




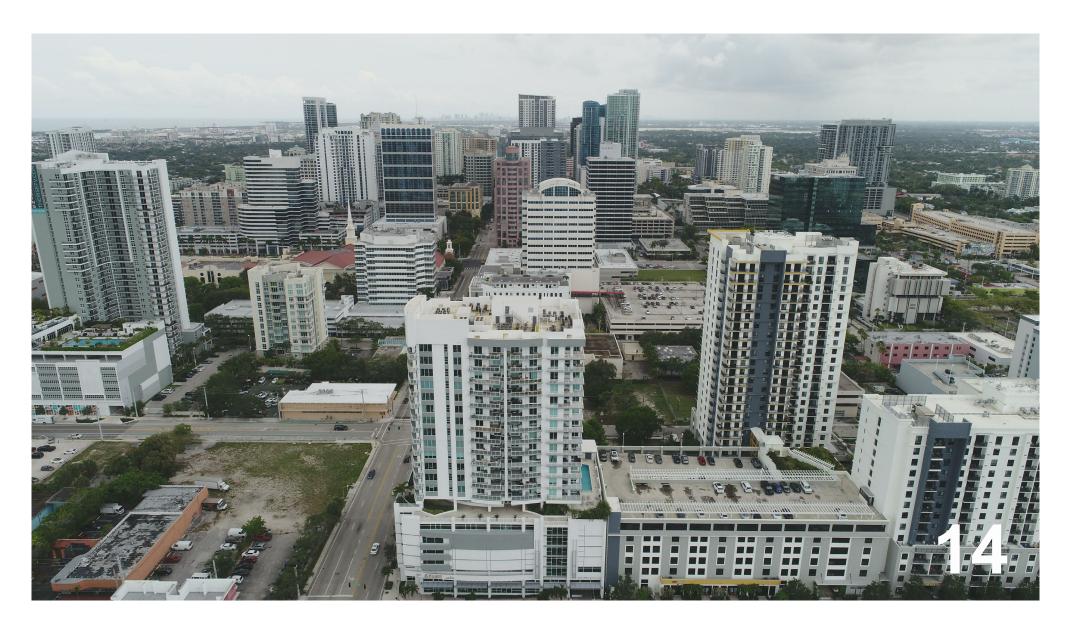




THE TAMARA	
PEACOCK	
COMPANY	
Architect	
◘□□@nMM♦ ≏M+H%■	
♦₩∭ ♦©0©∎© ©%©} ~& \$□0•©⊡≙	
ँ०∻≏⊴⊅ ♦♦₭♦Ო ᆠ ॎऀऀऀऀऀऀ ‴⊐⊐♦ ©ତ♦≏ኺ⊐≏ତ●ኺഔ	
♐◓◚◼◼ Ӎ╫᠅╫● ≞⊆⊂∞щ⊐ҧжछ∙	
∜●∻£@ 8©●£M_££©●M_ %A M_0	
▥≏∙◶ ●◷■≏∙▥◷▣◨ ▻◾▱◾ ▫∞ ਖ਼⊂।◦◻≞ ◟∙੶੶੶	
☐Щ ■■□■)(≞≐≐ ≬□■∿□Щ•∙ ⊱©⊡&; १⊡≪2 ♦♦X♦Щ ♣∕⊂≐≞	
ᢀᢔ●⊡ᢒ⊠ ᢤᢔ᠖ᢧ᠁ᢙ᠂ᢦ᠖ ≞≣ឰ᠍ ^ᡁ ●□♦兴• ᡇ⊲⊄	
ᅆᅳᄬᆣᅀൟൕഀൟ൙൝ൟഀௐൔ≏ ℁ൟഀ≏ൟൕഀഀഀഀഀഀഀഀഀഀഀഀഀഀഀ	
STATE - S TRATE CEADDOSCUTA 194	
□∙■ኺŌ⊒	
ਗ਼∕⊡∕ᠿ\$~® ® ∛∻ M ਗ਼≅⁄⊃ ≜⊡≉₽ ▲≉≎≂≂≉	
iontogoise i oceani Fre écronteuro	
∎⊐⊡ <i>ет</i> щто ■©Ощ⊒ 418NE2 CONDOMINIUMS	
9/74 %* 8%; 14*00 ~10* 8/49*09/8*6 ~8 888^~	
©©©©©© ►ጢ©™⊡™&⊕	
¢@∛	1
ℋ••ቀጢ≏	
९≎∿∞∂♦X♦M №⊕©∎	
<u>v</u> 0	
₽₥♦◘₰₶◘ ▣◙■≏ഔ	
• <i>∞</i> mmt♦	
EXISTING SITE	
PHOTOS	
⊐ m ∻∺•	
□ ₩.∻	
□m. ↔ 兴•	
□m. ↔ 兴•	
□m. ↔ 兴•	
□m. ***•	
□m.**	
*	
*	
*	
*::::::::::::::::::::::::::::::::::::	
*	
*::::::::::::::::::::::::::::::::::::	
##: ADM OM * *: DODMO A O *@000 M **: DODMO A *@000 M **: DODMO A *@000 M *: DOMM MDM 0 *##: *0000 M *##: *0000 M *##: *0000 M *##: *0000 M *##: *0000 M *#: *: DOM *#: *: *: M *#: *: *: *: *: *: *: *: *: *: *: *: *: *:	
*##** ADM OM ** ** DODMO * **********************************	
*	
##. ADM OM *. ODD	



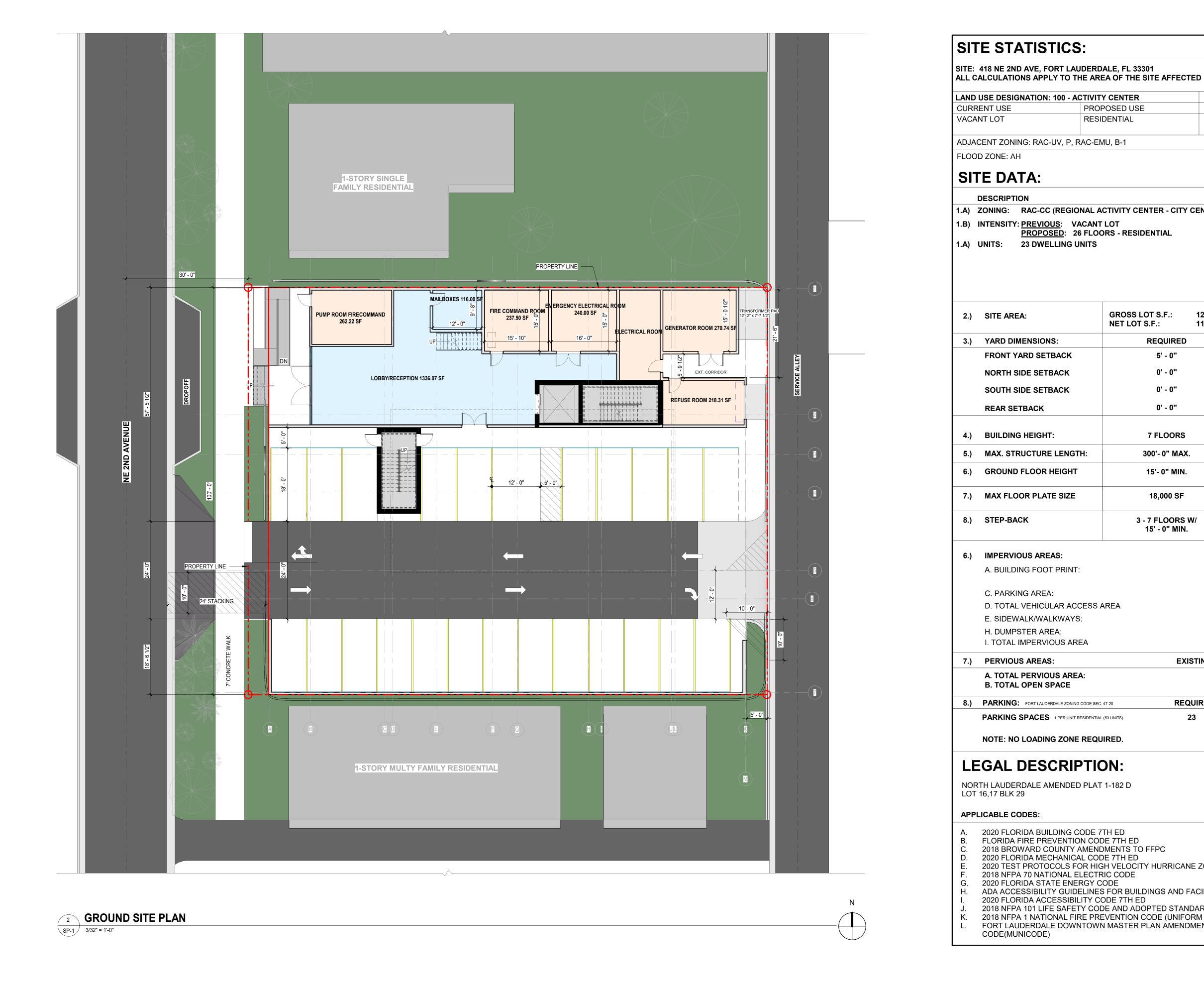








THE TAMARA PEACOCK COMPANY Architect ┗□□₽₽₩₽♦ ≏M+HŊ■ ݱݮݷख़ ●ख़∎ݮ∙ॵख़ॻॴ ৺ॾऀऀऀॾ ॾऀऀऀक़ऀख़ऀॾऀॻॎख़ॻॾ ऀ॔ऀॻॻ॓ ■M.■■■■₩ Bit &I=%-M.+ 7-51& 90-20 ++++M. +-51& 9M.•ISSA %M.SM.## #8###8 HEOKE CALL NHCOKE I+IMII DCA Sob IAM SC BOSF ASCORS SCHOSCE SC COBOS FIL SCAUGEDINGD □□□*er*mৣৠ♦ ■জ০ৣৣ 418NE2 CONDOMINIUMS 8004 \$= 8\$9 }4=00 =6* 8149=0;98=69 =8 8800 ≉©O©∎© ⊱™©№⊒₩&⊕ ¢@∛ ⊬∙∙♦ኺ≏ °©&@dX¢M №®©∎ নত ঢ়৸৻ঀঢ়৶৶৸৾৾ঀ৾৾৾৶৸৾৾৾৶ •∭m_m_**♦** EXISTING SITE PHOTOS ⊐M�∺∙ ≏©♦ሺ⊒ _____7/2/2024 3:10:45 PM Checker ≗⊡©•∎ Checker Checker •‴m_m_**♦** A-008



	CENT	ER - CITY CENTER
AC-EN	MU, B-1	
CANT	CTIVITY CENTER - CITY CENTER) - LOT DRS - RESIDENTIAL	
		Q. FT. / 0.30 ACRES Q. FT. / 0.27 ACRES
	REQUIRED	PROVIDED
	5' - 0''	5' - 0''
	0' - 0''	0' - 0''
	0' - 0''	0' - 0''
	0' - 0''	5' - 0"
	7 FLOORS	7 FLOORS
H:	300'- 0" MAX.	100'-0"
	15'- 0" MIN.	15'- 0"
	18,000 SF	12,125 SF
	3 - 7 FLOORS W/ 15' - 0'' MIN.	6 FLOORS W/ 30' - 0" STEPBACK
ESS / : EA	AREA	PROPOSED 11,710 SQ. FT.
A:	EXISTING	PROPOSED
٦.		
CODE SEC	. 47-20 REQUIRED	PROVIDED
ESIDENTIAI	L (53 UNITS) 23	23
REQL	JIRED.	
	DN: 1-182 D	
n coi Meni L coi Dr hic Lectf Rgy c Elines Ity c Y coi Re pri	TH ED DE 7TH ED DMENTS TO FFPC DE 7TH ED GH VELOCITY HURRICANE ZONES RIC CODE CODE S FOR BUILDINGS AND FACILITIES ODE 7TH ED DE AND ADOPTED STANDARDS EVENTION CODE (UNIFORM FIRE ON N MASTER PLAN AMENDMENT TO	2012 CODE)

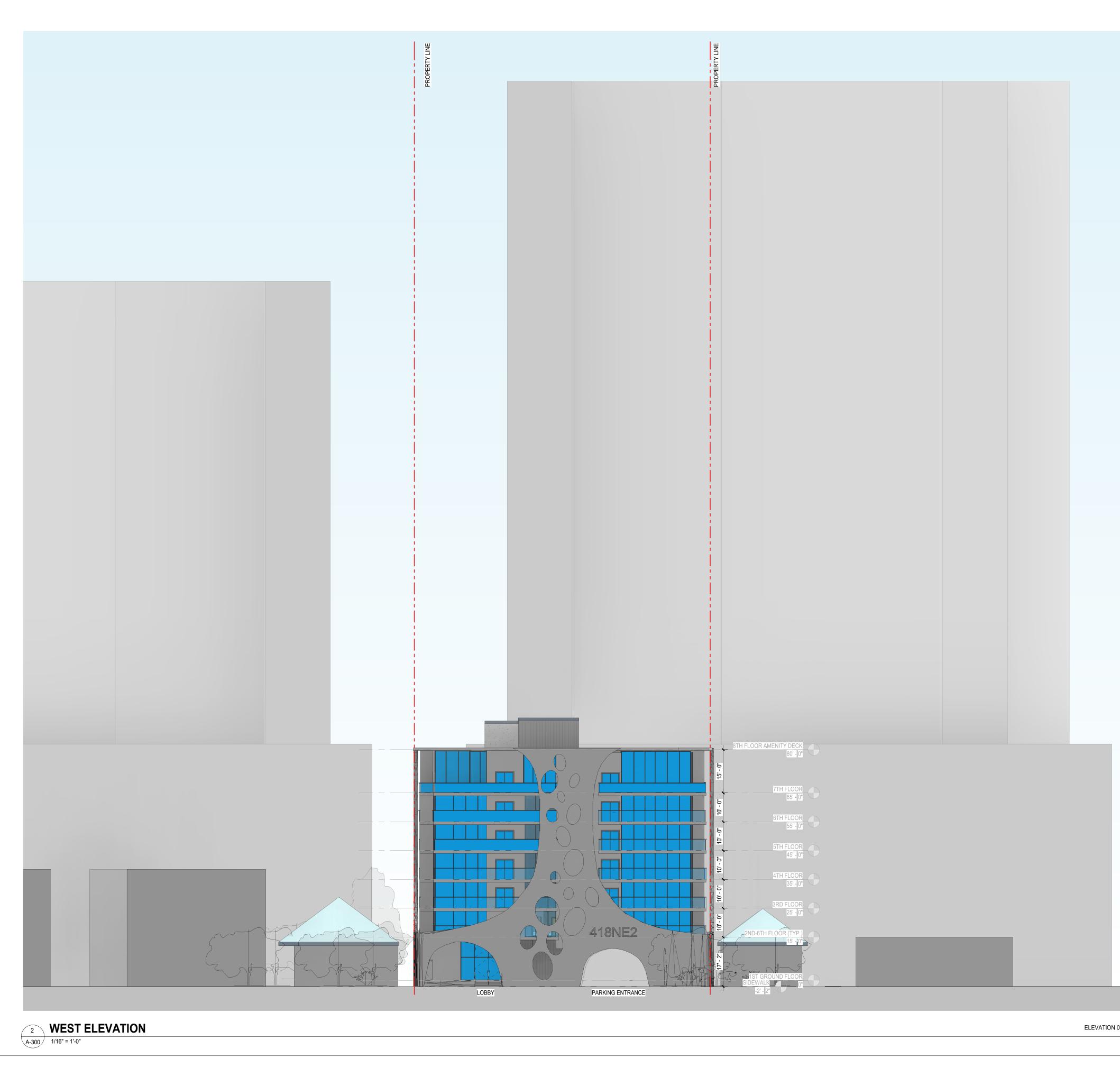
OCCUPANCY

RAC-CC - REGIONAL ACTIVITY

Architec	
1512 E Broward Blvd FL 33301 Phone: 828.696.4000	
project design team: the tamara peacock 1512 E Broward Blvd, Fort Lau PH: 828-696-4000	
owner:	
project name:	
issued for:	
date:	
sheet name:	
SITE PLAI	-
revisions:	
This document is property of Ta and no part herein shall be use project without consent of The This document was prepared b Company according to the term the contract for construction. This document does not either any direction or instruction to to construction means, method document the Architect does no opinion, direction or instruction to the manner in which the con- accomplished.	d except for the specific Tamara Peacock Company. y The Tamara Peacock is of general conditions of in whole or in part constitute ny contractor with regards s or techniques. By this ot intend to express any of any kind whatsoever as
date: 7/2/2024 3-21-22 E	N/
7/2/2024 3:21:22 F proj. no.: Checker	
drawn by: Author revised by:	Proj Mngr.: Designer Capt.:
Checker	Approver
sheet no.:	





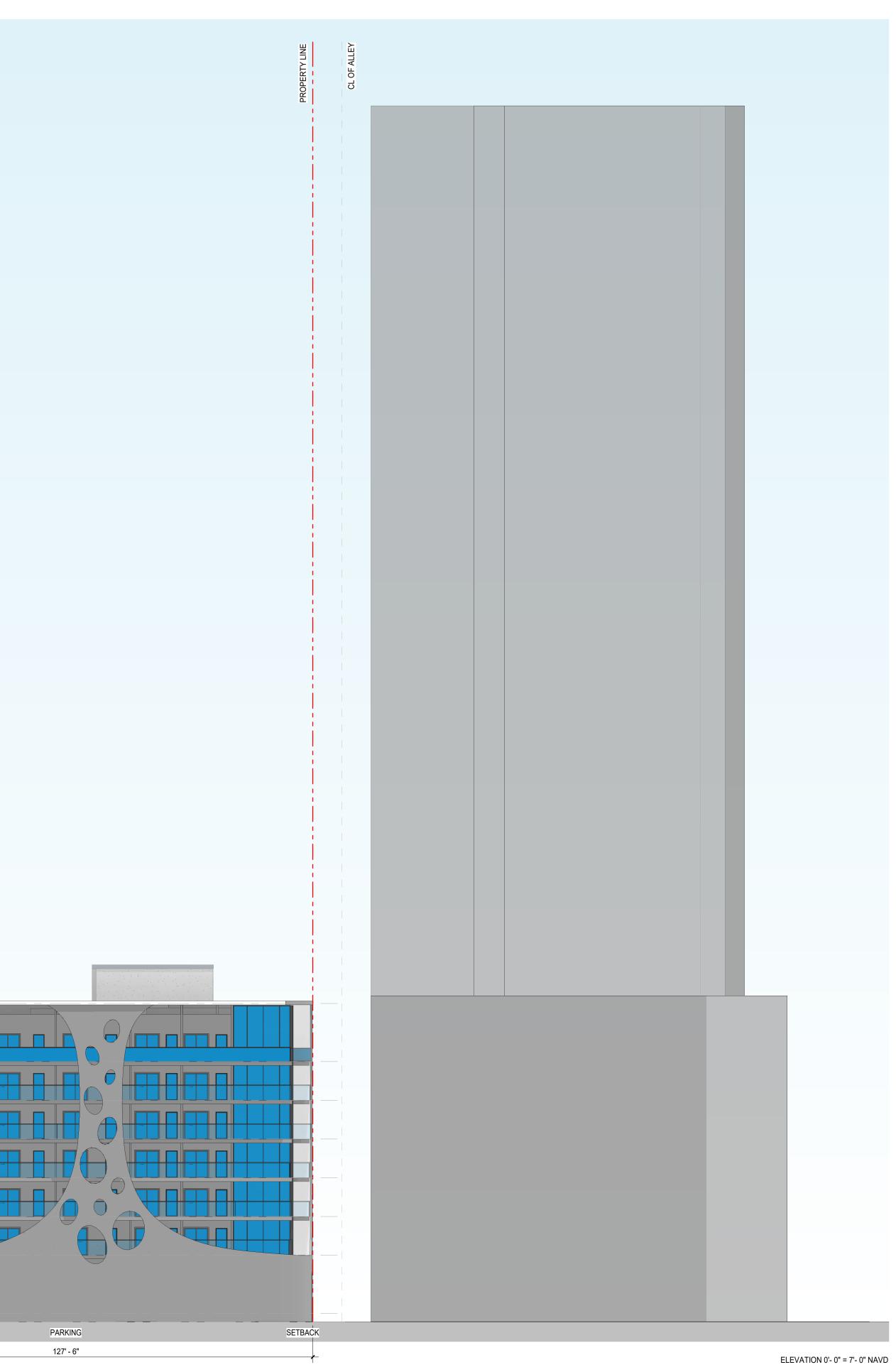


ELEVATION 0'- 0" = 7'- 0" NAVD

#	DESCRIPTION
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINI W/ HIGH BUILD 2-COAT ACRYLIC WATER PROOFING COATIN (MASTERPROTECT C350/ HB400 BY BASF CORPORATION, OF EQUAL). COLOR TO BE SELECTED BY ARCHITECT. PROVIDE CONCAVE TOOLED CONTROL JOINTS WITH A MAXIMUM WAI AREA OF 150 SF BETWEEN JOINTS; 18'- 0" MAX DIMENSION.
02	FIBER REINFORCED CLADDING PANEL SYSTEM; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
03	ALUMINUM FRAMED GLASS SWING DOOR, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
04	BUTT-JOINTED ALUMINUM FRAMED WINDOW WALL, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISI TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEE WIND LOAD AND IMPACT REQUIREMENTS.
05	ALUMINUM SLIDING / FOLDING GLASS DOOR SYSTEM, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISI TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEE WIND LOAD AND IMPACT REQUIREMENTS.
06	ALUMINUM AND GLASS RAILING SYSTEM AT 42" A.F.F.; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISI TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEE WIND LOAD AND IMPACT REQUIREMENTS.
07	ALUMINUM MECHANICAL LOUVERS; DARK CHARCOAL COLC W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
08	.125" ALUMINUM BREAK METAL CLADDING; DARK CHARCOA COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
09	ROOFTOP MECHANICAL ENCLOSURE COMPOSED OF ALTERNATING ALUMINUM VERTICAL FINIALS WITH INTEGRA LIGHTING SYSTEM. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.

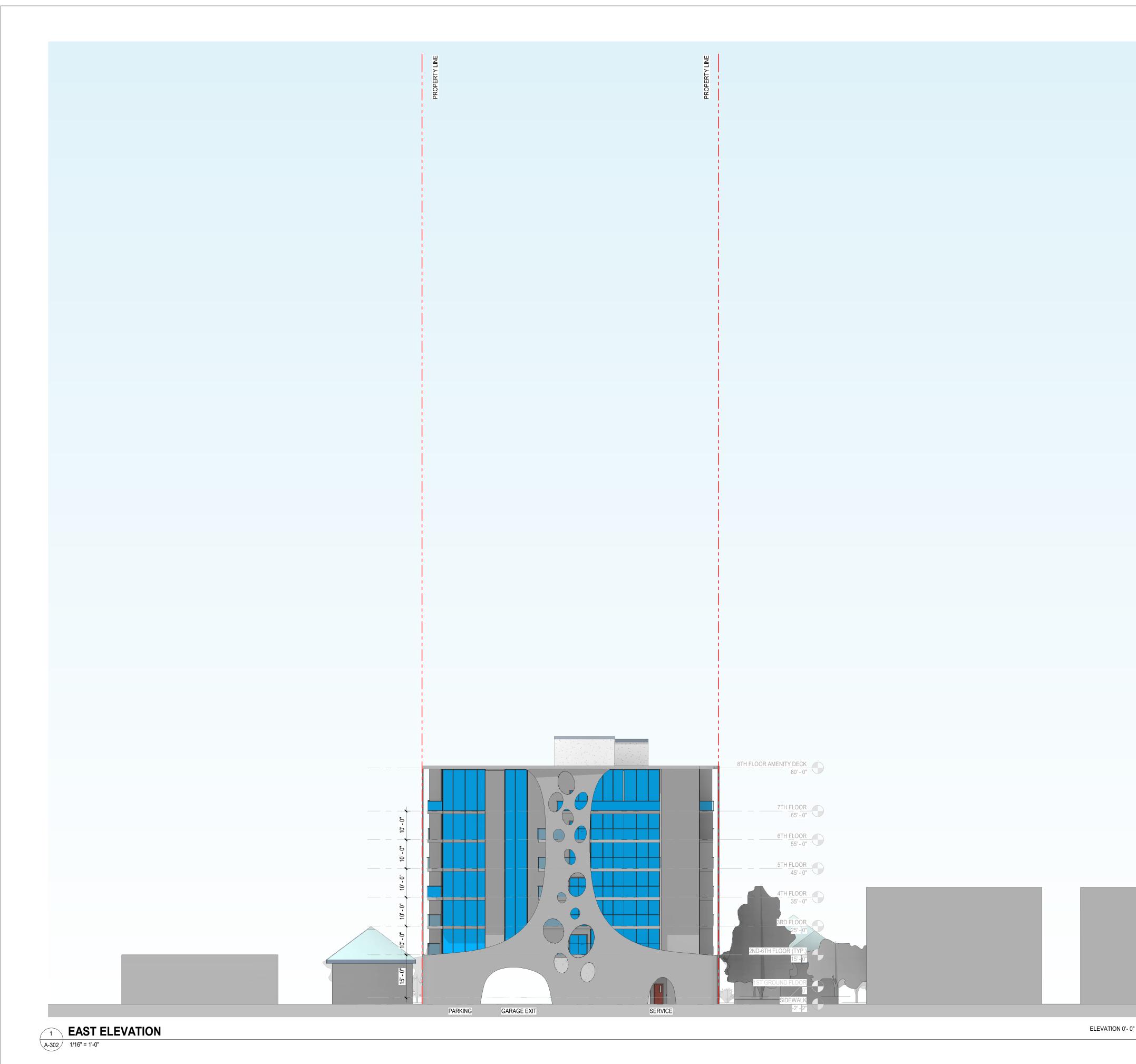
THE TAMARA PEACOCK
COMPANY
Architects 👩
1512 E Broward Blvd, Fort Lauderdale, FL 33301 Phone: 828.696.4000
project design team: the tamara peacock co. architects 1512 E Broward Blvd, Fort Lauderdale, FL 33301 PH: 828-696-4000
owner:
project name:
issued for:
date:
sheet name: WEST ELEVATION
revisions:
This document is property of Tamara Peacock Company and no part herein shall be used except for the specific project without consent of The Tamara Peacock Company. This document was prepared by The Tamara Peacock Company according to the terms of general conditions of the contract for construction. This documnet does not either in whole or in part constitute any direction or instruction to any contractor with regards to construction means, methods or techniques. By this document the Architect does not intend to express any opinion, direction or instruction of any kind whatsoever as to the manner in which the construccion work is to be accomplished.
date: 7/3/2024 3:08:37 PM
proj. no.: Checker drawn by: Author Proj Mngr.: Designer
revised by: Capt.: Checker Approver
sheet no.: A-300

	ND AVE	JY LINE
	CL OF NE 2ND AVE	PROPERTY LINE
8TH FLOOR AMENITY DECK 80" - 0"		
7TH FLOOR		
6TH FLOOR	10' - 0"	
5TH FLOOR		
4TH FLOOR	65' - 0" 65' - 0" 10' - 0" 10' - 10' -	
3RD FLOOR	10- 01 10	
2ND-6TH FLOOR (TYP.) 15' - 0"	A MAR C	
1ST GROUND FLOOR		



#	DESCRIPTION
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINIS W/ HIGH BUILD 2-COAT ACRYLIC WATER PROOFING COATING (MASTERPROTECT C350/ HB400 BY BASF CORPORATION, OR EQUAL). COLOR TO BE SELECTED BY ARCHITECT. PROVIDE CONCAVE TOOLED CONTROL JOINTS WITH A MAXIMUM WALL AREA OF 150 SF BETWEEN JOINTS; 18'- 0" MAX DIMENSION.
02	FIBER REINFORCED CLADDING PANEL SYSTEM; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
03	ALUMINUM FRAMED GLASS SWING DOOR, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
04	BUTT-JOINTED ALUMINUM FRAMED WINDOW WALL, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEE WIND LOAD AND IMPACT REQUIREMENTS.
05	ALUMINUM SLIDING / FOLDING GLASS DOOR SYSTEM, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEE WIND LOAD AND IMPACT REQUIREMENTS.
06	ALUMINUM AND GLASS RAILING SYSTEM AT 42" A.F.F.; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEE WIND LOAD AND IMPACT REQUIREMENTS.
07	ALUMINUM MECHANICAL LOUVERS; DARK CHARCOAL COLOF W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
08	.125" ALUMINUM BREAK METAL CLADDING; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
09	ROOFTOP MECHANICAL ENCLOSURE COMPOSED OF ALTERNATING ALUMINUM VERTICAL FINIALS WITH INTEGRAL LIGHTING SYSTEM. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.

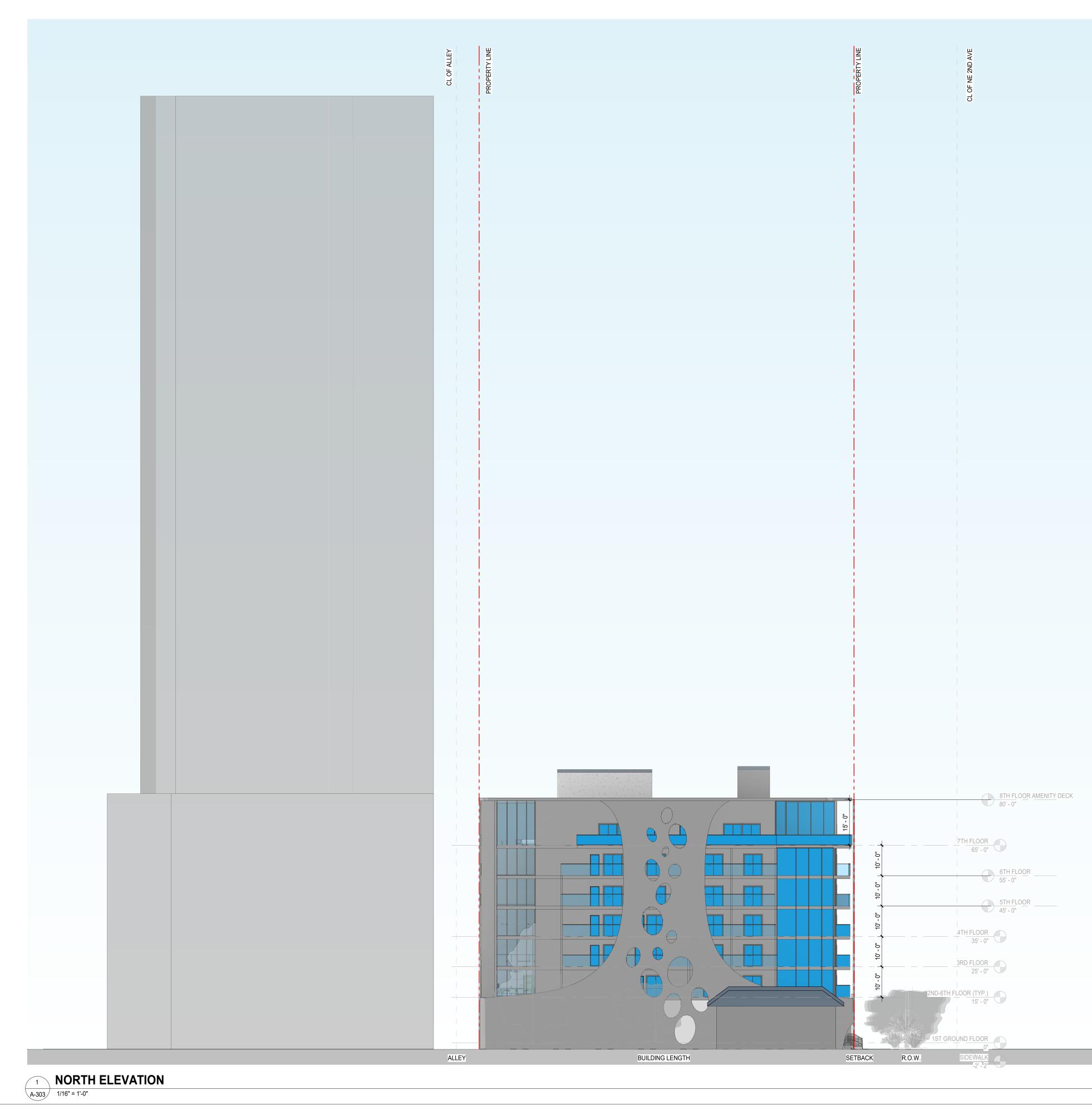
PEACO	СК
COMPA	NY
Archite	cts 🧿
1512 E Broward Blv FL 33301 Phone: 828.696.400	vd, Fort Lauderdale, 00
project design tean	n:
the tamara peacoc 1512 E Broward Blvd, Fort L PH: 828-696-4000	
owner:	
project name:	
issued for:	
date:	
sheet name: SOUTH	
ELEVATI	ON
revisions:	
This document is property of and no part herein shall be u:	
project without consent of Th This document was prepared Company according to the te the contract for construction	ne Tamara Peacock Company. d by The Tamara Peacock erms of general conditions of n.
any direction or instruction to to construction means, meth document the Architect does	ods or techniques. By this
to the manner in which the ca accomplished.	
date: 7/2/2024 3:12:15 proj. no.:	PM
proj. no.: Checker drawn by: Author	Proj Mngr.: Designer
revised by: Checker	Capt.: Approver
sheet no.:	
A-30	01



ELEVATION 0'- 0" = 7'- 0" NAVD

EY	NOTE LEGEND
#	DESCRIPTION
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH, W/ HIGH BUILD 2-COAT ACRYLIC WATER PROOFING COATING (MASTERPROTECT C350/ HB400 BY BASF CORPORATION, OR EQUAL). COLOR TO BE SELECTED BY ARCHITECT. PROVIDE CONCAVE TOOLED CONTROL JOINTS WITH A MAXIMUM WALL AREA OF 150 SF BETWEEN JOINTS; 18'- 0" MAX DIMENSION.
02	FIBER REINFORCED CLADDING PANEL SYSTEM; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
03	ALUMINUM FRAMED GLASS SWING DOOR, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
04	BUTT-JOINTED ALUMINUM FRAMED WINDOW WALL, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
05	ALUMINUM SLIDING / FOLDING GLASS DOOR SYSTEM, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
06	ALUMINUM AND GLASS RAILING SYSTEM AT 42" A.F.F.; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
07	ALUMINUM MECHANICAL LOUVERS; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
08	.125" ALUMINUM BREAK METAL CLADDING; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
09	ROOFTOP MECHANICAL ENCLOSURE COMPOSED OF ALTERNATING ALUMINUM VERTICAL FINIALS WITH INTEGRAL LIGHTING SYSTEM. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.

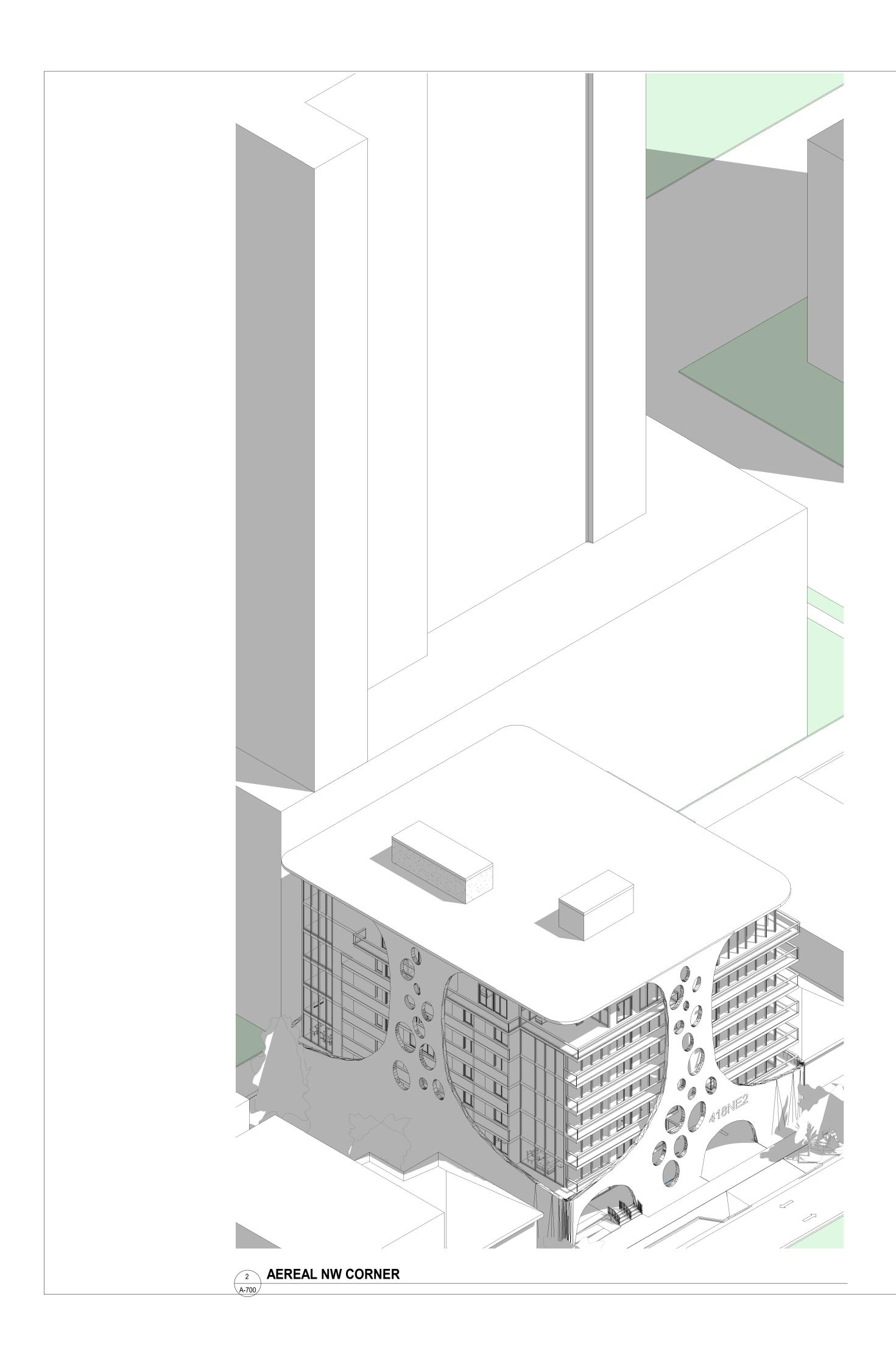
THE TAMARA PEACOCK
COMPANY
Architects 💿
1512 E Broward Blvd, Fort Lauderdale, FL 33301 Phone: 828.696.4000
project design team:
the tamara peacock co. architects 1512 E Broward Blvd, Fort Lauderdale, FL 33301 PH: 828-696-4000
owner:
project name:
issued for:
date:
sheet name: EAST
ELEVATION
revisions:
This document is property of Tamara Peacock Company and no part herein shall be used except for the specific
project without consent of The Tamara Peacock Company. This document was prepared by The Tamara Peacock Company according to the terms of general conditions of the contract for construction. This documnet does not either in whole or in part constitute
any direction or instruction to any contractor with regards to construction means, methods or techniques. By this document the Architect does not intend to express any opinion, direction or instruction of any kind whatsoever as to the manner in which the construccion work is to be
accomplished. date:
7/2/2024 3:13:36 PM proj. no.: Checker
drawn by: Proj Mngr.: Author Designer revised by: Capt.: Checker Approver
sheet no.:
A-302

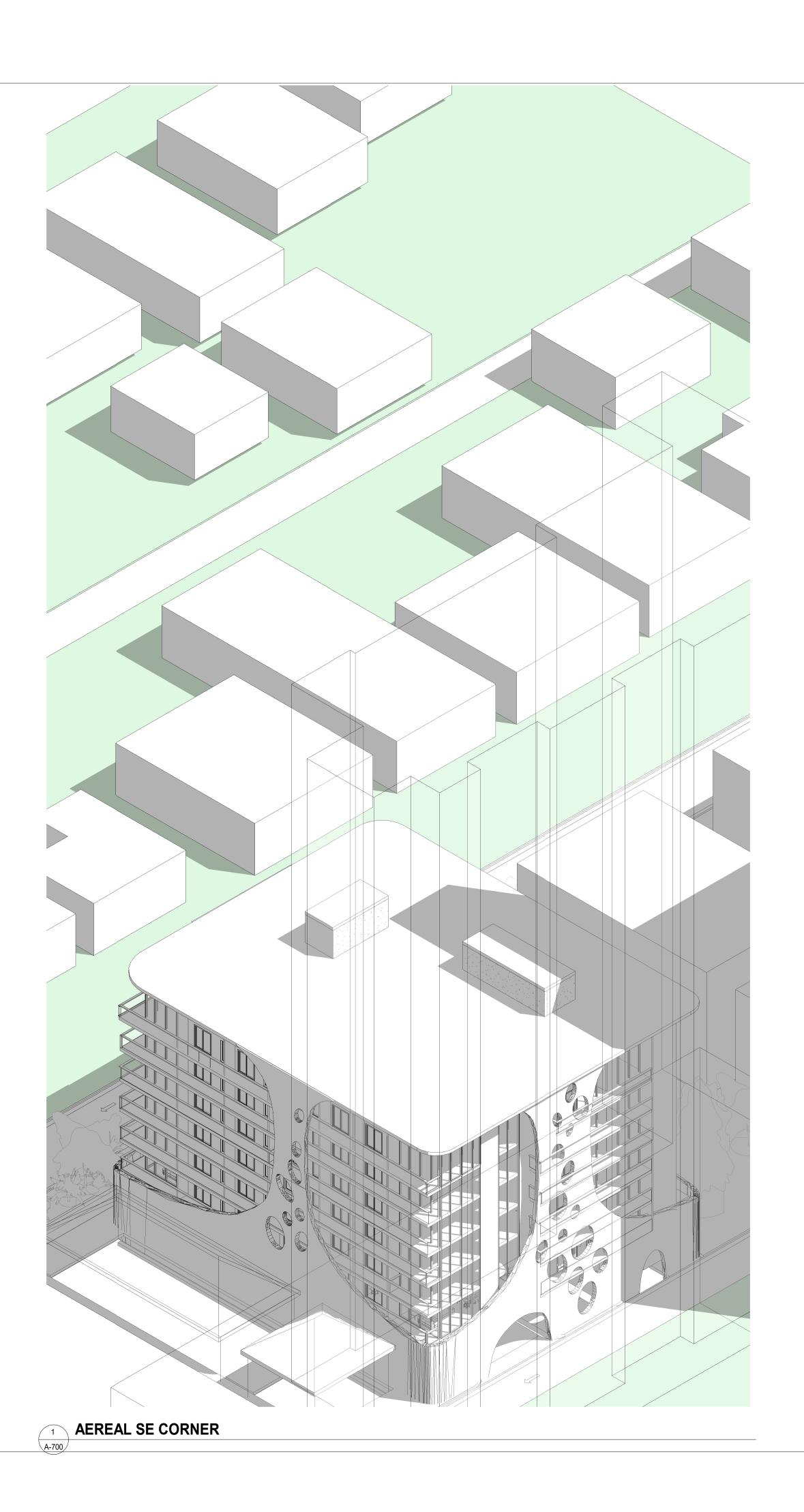


ELEVATION 0'- 0" = 7'- 0" NAVD

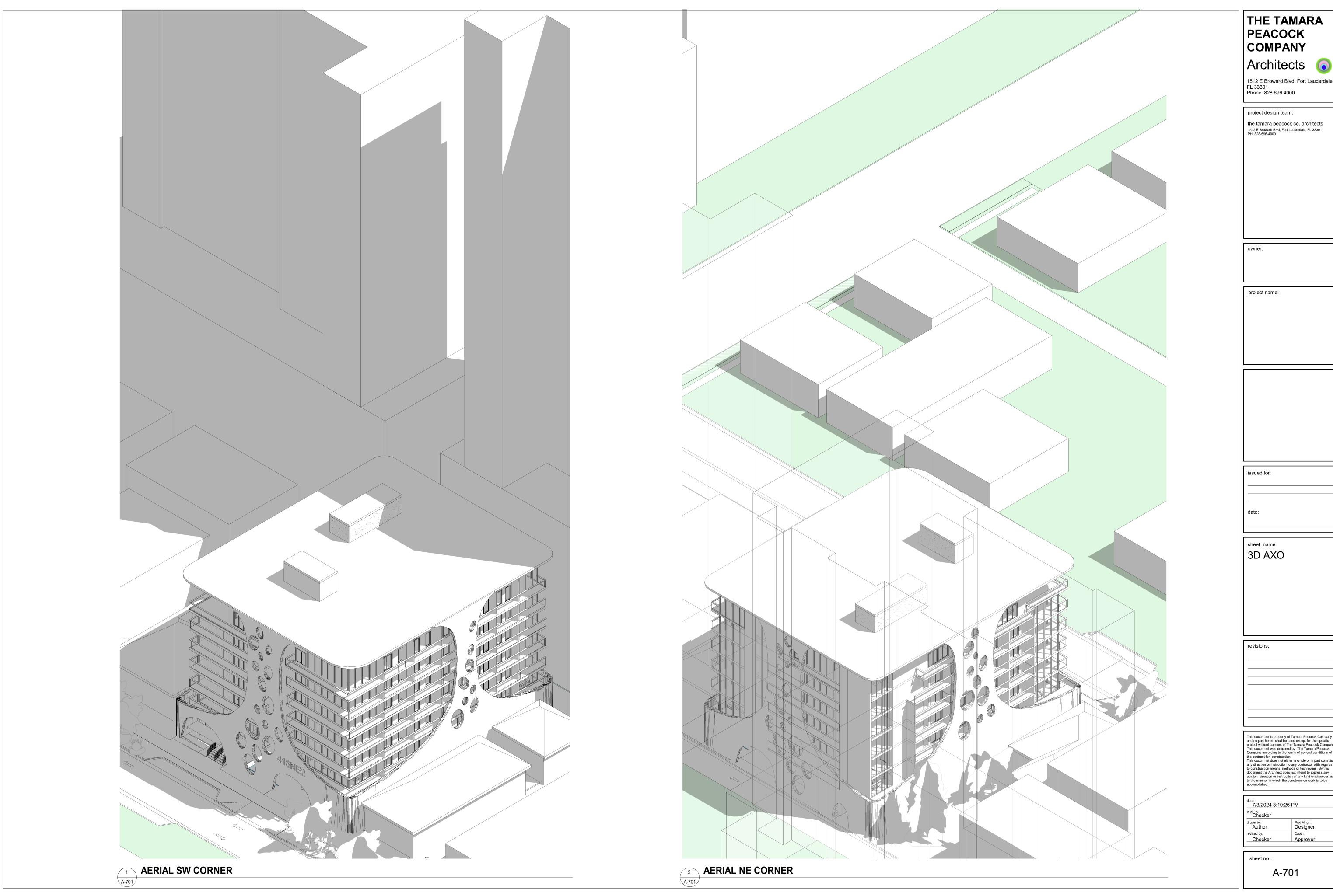
KEYI	NOTE LEGEND
#	DESCRIPTION
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH, W/ HIGH BUILD 2-COAT ACRYLIC WATER PROOFING COATING (MASTERPROTECT C350/ HB400 BY BASF CORPORATION, OR EQUAL). COLOR TO BE SELECTED BY ARCHITECT. PROVIDE CONCAVE TOOLED CONTROL JOINTS WITH A MAXIMUM WALL AREA OF 150 SF BETWEEN JOINTS; 18'- 0" MAX DIMENSION.
02	FIBER REINFORCED CLADDING PANEL SYSTEM; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
03	ALUMINUM FRAMED GLASS SWING DOOR, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
04	BUTT-JOINTED ALUMINUM FRAMED WINDOW WALL, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
05	ALUMINUM SLIDING / FOLDING GLASS DOOR SYSTEM, DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
06	ALUMINUM AND GLASS RAILING SYSTEM AT 42" A.F.F.; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
07	ALUMINUM MECHANICAL LOUVERS; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
08	.125" ALUMINUM BREAK METAL CLADDING; DARK CHARCOAL COLOR W/ BAKED - ON FLUOROPOLYMER 70 PERCENT POLVINYLIDENE FLUORIDE RESIN COATING FINISH TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
09	ROOFTOP MECHANICAL ENCLOSURE COMPOSED OF ALTERNATING ALUMINUM VERTICAL FINIALS WITH INTEGRAL LIGHTING SYSTEM. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.

THE TAMARA
COMPANY
Architects 💿
1512 E Broward Blvd, Fort Lauderdale, FL 33301
Phone: 828.696.4000
project design team: the tamara peacock co. architects
1512 E Broward Blvd, Fort Lauderdale, FL 33301 PH: 828-696-4000
owner:
project name:
issued for:
date:
sheet name:
NORTH
ELEVATION
revisions:
This document is property of Tamara Peacock Company
and no part herein shall be used except for the specific project without consent of The Tamara Peacock Company. This document was prepared by The Tamara Peacock Company according to the terms of general conditions of
the contract for construction. This documnet does not either in whole or in part constitute any direction or instruction to any contractor with regards to construction means, methods or techniques. By this document the Architect does not intend to express any
opinion, direction or instruction of any kind whatsoever as to the manner in which the construccion work is to be accomplished.
^{date:} 7/2/2024 3:14:06 PM
proj. no.: Checker drawn by: Proj Mngr.:
Author Designer revised by: Capt.: Checker Approver
sheet no.:
A-303





COMPA	
Archited	
1512 E Broward Blv	
FL 33301 Phone: 828.696.400	0
project design team	
the tamara peacock 1512 E Broward Blvd, Fort La PH: 828-696-4000	
owner:	
project name:	
issued for:	
date:	
sheet name: 3D AXO	
revisions:	
This document is property of and no part herein shall be us project without consent of The	ed except for the specific
project without consent of The This document was prepared Company according to the ter the contract for construction. This documnet does not eithe	by The Tamara Peacock
I his documnet does not eithe any direction or instruction to to construction means, metho document the Architect does opinion, direction or instruction	any contractor with regards ds or techniques. By this not intend to express any
to the manner in which the co accomplished.	
date: <u>7/3/2024 3:09:58</u>	PM
proj. no.: <u>Checker</u> drawn by: Author	Proj Mngr.: Designer
revised by: Checker	Capt.: Approver
sheet no.:	
A-70	00



COMPA	NY
Archited	cts 👩
1512 E Broward Blv	d, Fort Lauderdale,
FL 33301 Phone: 828.696.400	0
project design team	
the tamara peacock	
1512 E Broward Blvd, Fort La PH: 828-696-4000	auderdale, FL 33301
owner:	
owner.	
project name:	
issued for:	
date:	
sheet name:	
3D AXO	
revisions:	
This document is property of	
and no part herein shall be us project without consent of The This document was prepared	ed except for the specific Tamara Peacock Company. by The Tamara Peacock
Company according to the ter the contract for construction. This documnet does not eithe any direction or instruction to	r in whole or in part constitute
document the Architect does opinion, direction or instruction	ds or techniques. By this not intend to express any
to the manner in which the co accomplished.	
^{date:} 7/3/2024 3:10:26	PM
proj. no.: Checker	
drawn by: Author	Proj Mngr.: Designer
revised by: Checker	Capt.: Approver



THE TAM	
PEACOC	
COMPA	NY
Archited	cts 👩 🛛
1512 E Broward Blvo FL 33301 Phone: 828.696.400	
project design team: the tamara peacock 1512 E Broward Blvd, Fort La PH: 828-696-4000	co. architects
owner:	
project name:	
project name.	
issued for:	
date:	
sheet name: RENDERI	NGS
revisions:	
This document is property of T and no part herein shall be use project without consent of The This document was prepared 1 Company according to the terr the contract for construction. This document does not either any direction or instruction to a to construction means, methor document the Architect does r opinion, direction or instruction to the manner in which the cor accomplished.	ad except for the specific Tamara Peacock Company. by The Tamara Peacock ms of general conditions of in whole or in part constitute any contractor with regards ds or techniques. By this not intend to express any of any kind whatsoever as
date: 7/3/2024 3:31:07 F	РМ
proj. no.: Checker drawn by:	Proj Mngr.:
Author revised by: Checker	Designer _{Capt.:} Approver
sheet no .	
<u>Checker</u> sheet no.: A-40	



THE TAMARA
COMPANY
Architects 💿
1512 E Broward Blvd, Fort Lauderdale, FL 33301 Phone: 828.696.4000
project design team: the tamara peacock co. architects 1512 E Broward Blvd, Fort Lauderdale, FL 33301
PH: 828-696-4000
owner:
project name:
issued for:
date:
RENDERINGS
revisions:
This document is property of Tamara Peacock Company and no part herein shall be used except for the specific project without consent of The Tamara Peacock Company.
Company according to the terms of general conditions of the contract for construction. This documnet does not either in whole or in part constitute any direction or instruction to any contractor with regards
on one construction of any contractor with regards to construction means, methods or techniques. By this document the Architect does not intend to express any opinion, direction or instruction of any kind whatsoever as to the manner in which the construccion work is to be accomplished.
date:
1/3/2024 3:31:11 PM proj. no.: Checker drawn by: Proj Mngr.:
Author Designer revised by: Capt.: Checker Approver
sheet no.:
A-401
an op part herein shall be used except for the specific project without consent of The Tamara Peacock Company. This document was prepared by The Tamara Peacock Company according to the terms of general conditions of the contract for construction. This document was prepared by The Tamara Peacock Company according to the terms of general conditions of the contract for construction. This document does not either in whole or in part constitute any direction or instruction to any contractor with regards to construction means, methods or techniques. By this document the Architect does not intend to express any opinion, direction or instruction of any kind whatsoever as to the manner in which the construccion work is to be accomplished. date: 7/3/2024 3:31:11 PM proj. no.: Proj Mngr.: duthor Designer revised by: Capt.: Checker Approver sheet no.: Sheet no.:



Archit	
1512 E Browar	rd Blvd, Fort Lauderdale,
FL 33301 Phone: 828.69	6.4000
project design	team:
	acock co. architects , Fort Lauderdale, FL 33301
owner:	
project name:	
issued for:	
date:	
sheet name:	
RENDE	ERINGS
revisions:	
and no part herein sha project without conser	perty of Tamara Peacock Company all be used except for the specific nt of The Tamara Peacock Company.
the contract for const This documnet does n	repared by The Tamara Peacock o the terms of general conditions of truction. not either in whole or in part constitute ction to any contractor with regards
to construction means document the Architec opinion, direction or ins to the manner in which	s, methods or techniques. By this ct does not intend to express any struction of any kind whatsoever as h the construccion work is to be
accomplished.	
7/3/2024 3:3 proj. no.:	
Checker	Proj Mngr.: Designer
Checker drawn by: Author revised by:	Capt.:
Checker drawn by: Author	Capt.: Approver



THE TAMARA
PEACOCK
Architects 🧿
1512 E Broward Blvd, Fort Lauderdale, FL 33301 Phone: 828.696.4000
project design team:
the tamara peacock co. architects 1512 E Broward Blvd, Fort Lauderdale, FL 33301
PH: 828-696-4000
owner:
project name:
issued for:
date:
sheet name:
RENDERINGS
revisions:
This document is property of Tamara Peacock Company and no part herein shall be used except for the specific project without consent of The Tamara Peacock Company.
This document was prepared by The Tamara Peacock Company according to the terms of general conditions of the contract for construction. This document does not either in whole or in part constitute
This documnet does not either in whole or in part constitute any direction or instruction to any contractor with regards to construction means, methods or techniques. By this document the Architect does not intend to express any opinion, direction or instruction of any kind whatsoever as
opinion, direction of instruction of any kind whatsoever as to the manner in which the construccion work is to be accomplished.
^{date:} 7/3/2024 3:31:19 PM
proj. no.: Checker drawn by: Proj Mngr.:
Author Designer revised by: Capt.:
Checker Approver
sheet no.:
A-403