

TRINITY GROVES DEVELOPMENT BUILDING "C" TENANT FINISH-OUT

November 16, 2016

Permit Set

PROJECT SUMMARY:

Project Name: Network Bar @ Trinity Groves
Address: 311 Singleton. Suite #103
Dallas, Texas 75212
Proposed Use: Bar Bistro
Owner Contact: 214-744-0100

Construction Area: Interior
Building Floor: Ground Floor of Two Story
Floor Area: 3,055 SF

APPLICABLE CODES:

| | |
|--|--|
| 2012 International Building Code with Dallas Amendments | |
| 2012 International Mechanical Code with Dallas Amendments | |
| 2012 International Plumbing Code with Dallas Amendments | |
| 2014 National Electrical Code with Dallas Amendments | |
| 2012 International Fire Code with Dallas Amendments | |
| 2009 International Energy Conservation Code with Dallas Amendments | |
| 2003 International Existing Building Code with Dallas Amendments | |
| 2012 International Fuel & Gas Code with Dallas Amendments | |
| 2009 NFPA 101, the Life Safety Code | |

TDLR:

TDLR REGISTRATION # EABPRJB7804997
RAS #00000240

INDEX

| | | | | |
|----------------------|---|------------|----|--|
| | | 11-16-2016 | PE | |
| GENERAL | | | | |
| G-00 | COVER, PROJECT SUMMARY, KEY PLAN, INDEX | X | | |
| G-01 | PROJECT ORIENTATION | X | | |
| G-02 | ABBREVIATIONS , SYMBOLS & GENERAL NOTES | X | | |
| G-03 | ACCESSIBILITY STANDARDS | X | | |
| G-04 | SPECIFIC NOTES | X | | |
| ARCHITECTURAL | | | | |
| A-100 | SITE PLAN | X | | |
| A-200 | FLOOR PLAN | X | | |
| A-201 | FURNITURE PLAN | X | | |
| A-300 | REFLECTED CEILING PLAN | X | | |
| A-400 | EXTERIOR AND INTERIOR ELEVATIONS | X | | |
| A-900 | FINISH SCHEDULE, DOOR SCHEDULE, DOOR TYPES COLOR & MATERIALS INDEX | X | | |
| K-1 | KITCHEN PLAN SCHEDULE | X | | |
| PLUMBING | | | | |
| P-101 | PLUMBING FLOOR PLAN | X | | |
| P-201 | WASTE & VENT PLAN | X | | |
| P-301 | PLUMBING PLAN | X | | |
| P-401 | PLUMBING DETAILS | X | | |
| P-501 | PLUMBING SCHEDULES | X | | |
| P-601 | RISER DIAGRAM | X | | |
| MECHANICAL | | | | |
| M-1 | MECHANICAL FLOOR PLAN | | | |
| ELECTRICAL | | | | |
| E-101 | ELECTRICAL COVER | X | | |
| E-201 | FLOOR PLAN - LIGHTING | X | | |
| E-301 | FLOOR PLAN - POWER | X | | |
| E-401 | ELECTRICAL DETAILS | X | | |
| E-501 | ELECTRICAL RISER DIAGRAM & SCHEDULE | X | | |

BUILDING SUMMARY:

| | |
|-------------------------------------|--------------------------------------|
| EXISTING / NEW CONSTRUCTION: | EXISTING BUILDING |
| OCCUPANCY: | A2 |
| TOTAL AREA: | AREA OF RENOVATION = 3,055 SF |
| MAX HEIGHT OF BUILDING: | APPROX. 20'-0 |
| NUMBER OF FLOORS: | ONE FLOOR TENANT FINISH OUT |
| TYPE OF CONSTRUCTION: | TYPE IB, SPRINKLERED |
| FIRE SEPARATION: | N/A |
| PARKING: | SURFACE PARKING PROVIDED |
| | |
| | |
| | |

DEVELOPER:

TRINITY GROVES,LLC
425 Bedford Street
Dallas, TX 75212

ARCHITECT :

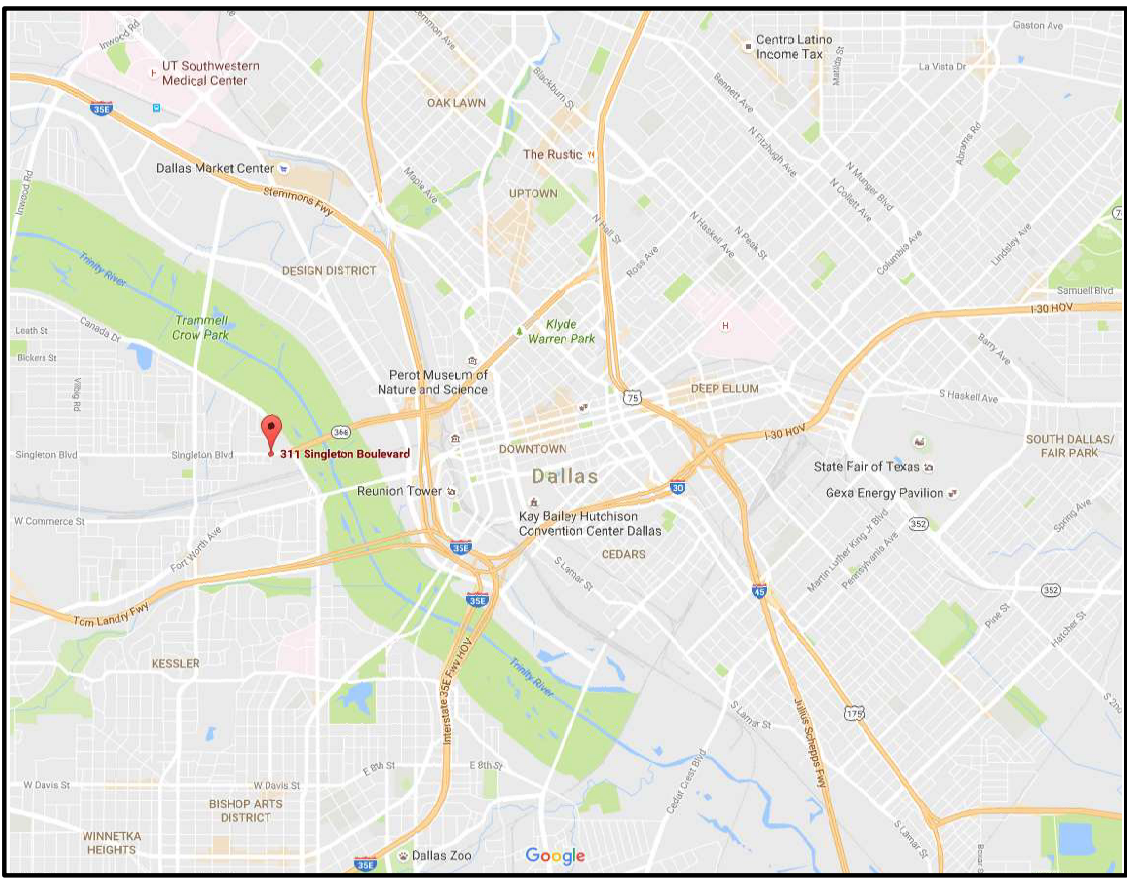
HD DESIGN GROUP, LLC / PCA
3800 Commerce, Suite 122
Dallas, TX 75226

KITCHEN:

CRS
2668 Myrtle Springs Ave
Dallas, Texas 75220
214.350.1110

GENERAL CONTRACTOR

TRINITY GROVES, LLC
425 Bedford St.
Dallas, TX 75093
817. 714. 0100
Attn: Jim Reynolds
SVP Development & Construction



AREA MAP



THE NETWORK BAR
TRINITY GROVES DEVELOPMENT
BUILDING C SUITE #103
331 SINGLETON
DALLAS, TEXAS 75212

HD DESIGN GROUP, LLC
3800 COMMERCE, SUITE 122
DALLAS, TEXAS 75226
214.642.9332
www.hd-designgroup.com



PAUL CHAPEL & ASSOCIATES
STUDIO: 9604 ORCHARD HILL
DALLAS, TEXAS 75243

CONSULTANTS

ISSUE LOG:

| NO. | DATE |
|-----|------|
|-----|------|

PROJECT:
NETWORK BAR
@TRINITY GROVES

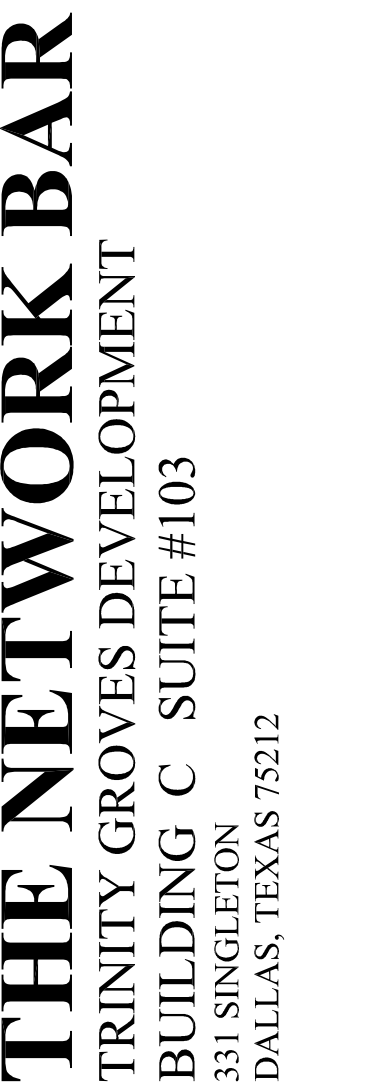
PROJECT NO; 16032

SHEET TITLE:
COVER SHEET

SHEET NUMBER:

G.00

© 2016 HD Design Group, LLC All Rights reserved
No part of this document may be reproduced in any
form or by any means without permission from
HD Design Group, LLC



REGISTERED ARCHITECT
MARK R. HOPPER
19984
STATE OF TEXAS

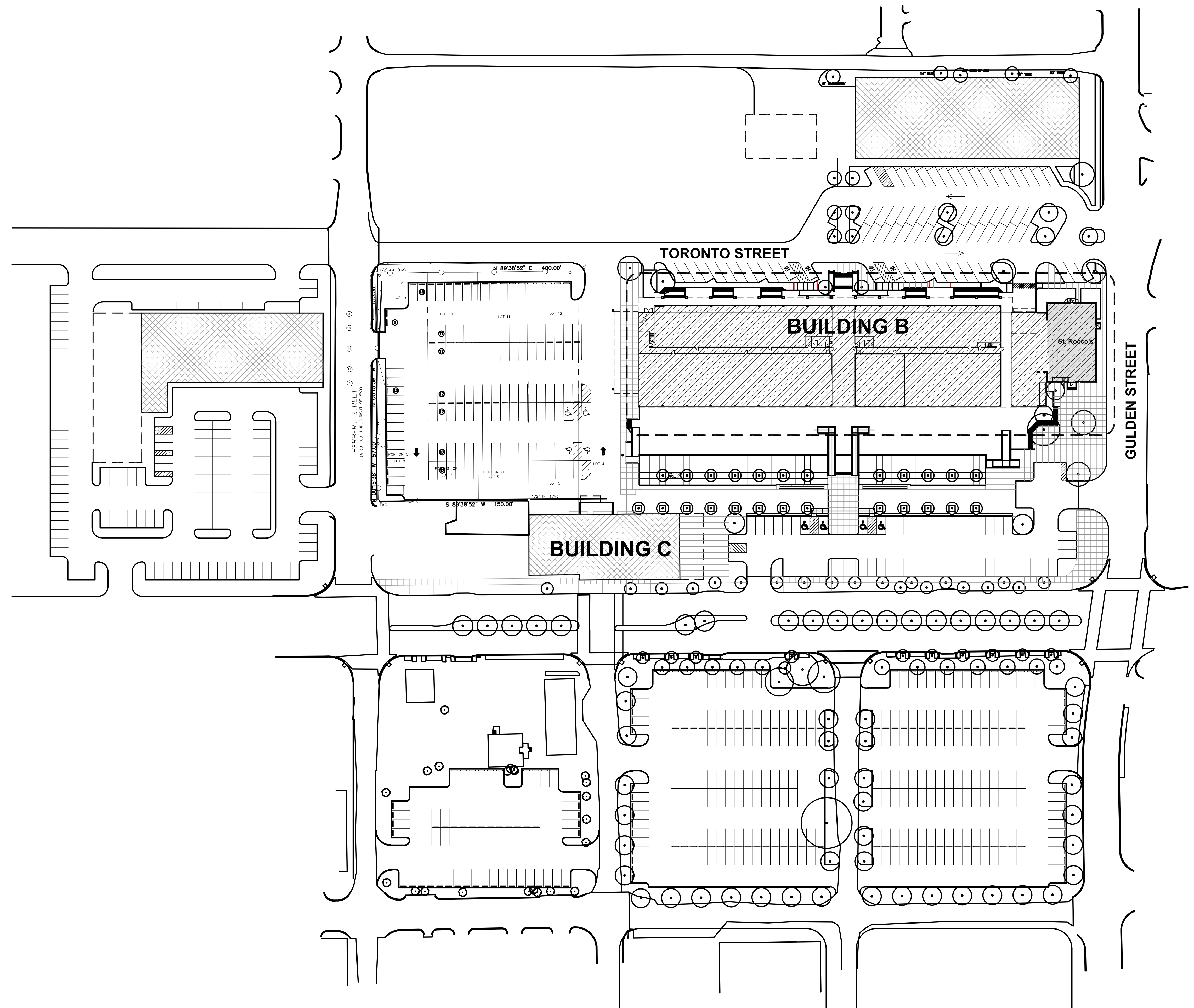
NOVEMBER 16, 2016

CONSULTANTS:

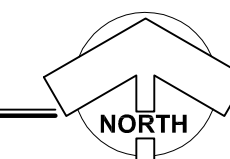
[illegible]

HEET NUMBER:
G.01

2016 HD Design Group, LLC All Rights reserved.
No part of this document may be reproduced in any
form or by any means without permission from
HD Design Group, LLC



PROJECT ORIENTATION PLAN - BUILDING 'E'
SCALE: 1"= 50'-0"



GENERAL NOTES

A. GENERAL

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION FOR THE PERFORMANCE OF THE WORK.
2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTION FEES AND DEPOSITS REQUIRED BY GOVERNING BODIES HAVING LEGAL JURISDICTION FOR THE INSTALLATION OF ALL WORK. CONTRACT SUM SHALL INCLUDE ALL FEES, DEPOSITS, METER CHARGES, AND COORDINATION WITH THE VARIOUS UTILITY COMPANIES FOR SERVICE. FINAL HOOKUP AND CONNECTION TO BE BY BUILDING GENERAL CONTRACTOR.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES WITH PLANS AND AS-BUILT CONDITIONS PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
4. CONTRACTOR SHALL VERIFY ALL INFORMATION ON DRAWINGS AND REPORT ANY DISCREPANCIES OR OMISSIONS TO OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
5. ALL MEASUREMENTS ARE SUBJECT TO VERIFICATION IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO FABRICATION OR CONSTRUCTION.
6. THESE DOCUMENTS ARE NOT TO BE REPRODUCED OR USED FOR ANY PURPOSE OTHER THAN ORIGINALLY ISSUED UNLESS AUTHORIZED IN WRITING BY THE OWNER'S REPRESENTATIVE.

B. DRAWINGS AND DIMENSIONS

1. DIMENSIONS ARE TO FACE OF GWB, FACE OF CMU, OR CENTER LINE OF COLUMNS UNLESS NOTED OTHERWISE.
2. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. WHERE CONFLICTS OCCUR, NOTIFY ARCHITECT FOR CLARIFICATION.
3. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
4. HALF-TONE NOTES AND DIMENSIONS INDICATE EXISTING CONDITIONS AND ARE PROVIDED FOR INFORMATION ONLY.
5. DASHED LINES INDICATE MATERIAL OR EQUIPMENT TO BE REMOVED.
6. WHERE POSSIBLE, LAYOUT WALLS FROM INTERIOR COLUMN LINES.
7. ALL BUILDING ELEVATIONS ARE REFERENCED FROM THE GROUND FLOOR IN THE BUILDING BEING EQUAL TO ELEVATION 1'00'-0".
8. NOTES NOT KEYED ON DRAWING APPLY THROUGHOUT THE AREA UNDER WHICH THEY ARE LISTED.
9. NOTIFY ARCHITECT OF CONFLICT IN DETAILS OR GENERAL NOTES AND TYPICAL DETAILS, WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK IN THE PROJECT AND APPLICABLE CODES. NOTIFY ARCHITECT IN CASE OF PLAN LOCATION CONFLICTS BETWEEN DISCIPLINES.

C. DEMOLITION

1. EXISTING SURFACES DISTURBED BY DEMOLITION AND NEW CONSTRUCTION SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES. WHERE DEMOLITION REMOVAL LEAVES OPENINGS IN EXISTING FLOORS, WALLS, CEILINGS, ETC. FILL IN, PATCH AND REPAIR TO MATCH EXISTING ADJACENT CONSTRUCTION AND FINISHES.
2. SCHEDULING OF WORK SHALL BE AS OUTLINED IN SUPPLEMENTARY CONDITIONS.
3. REMOVAL WORK AT EXTERIOR OF BUILDING SHALL BE DONE IN SUCH A MANNER AS TO PREVENT MATERIALS FROM DAMAGING ADJACENT STRUCTURES OR STRUCTURES BELOW.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING STRUCTURES SURROUNDING THE CONTRACT AREA. DAMAGE TO EXISTING STRUCTURES OR EQUIPMENT SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER PRIOR TO REMOVAL OF MATERIAL OR EQUIPMENT NOT INDICATED ON THE DRAWINGS TO BE REMOVED.
6. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. FOR ADDITIONAL DEMOLITION NOTES.
7. EXISTING WOOD TRIM, MLDG. & PANELING IS TO BE REMOVED CAREFULLY FOR RE-USE, UNLESS NOTED OTHERWISE.

D. COORDINATION

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL DISCIPLINES AND SHALL PROVIDE DESIGN AND INSTALLATION OF THESE SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND AUTHORITIES HAVING JURISDICTION.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUPERVISE AND COORDINATE VARIOUS TRADES IN ALL MECHANICAL & ELECTRICAL EQUIPMENT ROOMS TO ALLOW SUFFICIENT ROOM FOR ALL EQUIPMENT.
3. ON-SITE AND OFF-SITE UTILITIES, WHEN INDICATED ON THE ARCHITECTURAL DRAWINGS, ARE FOR COORDINATION PURPOSES ONLY.
4. ESTABLISH AND VERIFY ALL OPENINGS, DEPRESSED SLABS, CURBS, PADS, AND INSERTS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING, AND ASSOCIATED WORK PRIOR TO CONSTRUCTION.
5. VERIFY OPENINGS FOR PIPES AND DUCTS WITH MECHANICAL DRAWINGS AND PROVIDE AS REQUIRED.
6. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING CEILING DEVICES (SUCH AS SPRINKLERS, DIFFUSERS, LIGHTS AND/OR MECHANICAL DUCTWORK) THAT WILL INTERFERE WITH THE INSTALLATION OF NEW EQUIPMENT AND RELOCATE AS REQUIRED.
7. SHOP DRAWINGS ARE TO COMPLIMENT AND SUPPLEMENT CONSTRUCTION DOCUMENTS. WHEN CONFLICTING INFORMATION IS PROVIDED IN SHOP DRAWINGS AND CONSTRUCTION DOCUMENTS, NOTIFY ARCHITECT PRIOR TO FABRICATION. REVIEW OF SHOP DRAWINGS BY ARCHITECT DOES NOT RELIEVE CONTRACTOR OF RESPONSIBILITY FOR CONFORMANCE WITH CONSTRUCTION DOCUMENTS. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL MILLWORK.
8. ANY ADDITIONAL DESIGN AND/OR COORDINATION MADE NECESSARY BY THE SUBSTITUTION OF EQUIPMENT AND/OR MANUFACTURERS BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS. SMALLER SCALE DETAILS ARE GRAPHICAL REPRESENTATIONS ONLY.

E. PRODUCTS AND MATERIALS

1. ALL PRODUCTS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS UNLESS NOTED OTHERWISE.
2. ALL CONSTRUCTION AND MATERIALS FOR THE PROJECT SHALL CONFORM TO THE SPECIFICATIONS, UNLESS NOTED OTHERWISE.
3. THE TERM "PROVIDE" MEANS TO FURNISH, TRANSPORT, RECEIVE, INSTALL, CONNECT, START-UP, AND WARRANTY.
4. WORKMANSHIP, MATERIALS AND INSTALLATIONS SHALL CONFORM TO APPLICABLE EDITIONS AS DEFINED HEREIN OF THE APPLICABLE BUILDING CODES, AS WELL AS OTHER APPLICABLE STATE AND LOCAL CODES THAT HAVE AUTHORITY OVER THIS PROJECT, TRADE ASSOCIATION STANDARDS, AND MANUFACTURER'S STANDARDS.
5. THE CONTRACTOR SHALL NOT STORE BUILDING MATERIALS, STAGE CONSTRUCTION OPERATIONS FROM NOR GAIN ACCESS TO THE CONSTRUCTION SITE OVER ADJACENT PROPERTIES WITHOUT THE WRITTEN CONSENT OF THE OWNER.
6. CONTRACTOR SHALL PROVIDE 2X6 WOOD BLOCKING ANCHORED BETWEEN STUDS (UNO) IN WALLS AND CEILINGS FOR SUPPORT AND TO ANCHOR CASEWORK, CABINETS, EQUIPMENT, SHELVING, COUNTERS, TOILET PARTITIONS, DOOR HARDWARE, WINDOW COVERINGS, MIRRORS, PEGBOARDS, MARKER BOARDS, ACCESSORIES, ETC. BLOCKING SHALL BE CONTINUOUS AND LOCATED BOTH AT TOP AND BOTTOM OF EQUIPMENT, CABINETS AND CASEWORK.
7. ALL WOOD BLOCKING, FRAMING AND PLYWOOD SHALL BE FIRE RETARDANT TREATED AND U.L. NON-COMBUSTIBLE RATED. ALL WOOD IN CONTACT WITH MASONRY OR EARTH SHALL BE WOLMANIZED.
8. ALL EXTERIOR DOORS SHALL RECEIVE WEATHER STRIPPING UNLESS SPECIFICALLY NOTED OTHERWISE.



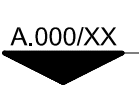


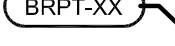
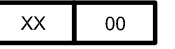


F. EXECUTION

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE BUILDING AND SITE CLEAN AND FURNISH ALL SAFETY PROVISIONS TO ENSURE THE PUBLIC SAFETY.
2. ARCHITECT RESERVES THE RIGHT TO DIRECT REMOVAL AND REINSTALLATION OF WORK WHICH DOES NOT, IN THE OPINION OF THE ARCHITECT, MAINTAIN STANDARDS AND WORKMANSHIP OF A CRAFT.
3. ALL MATERIALS AND EQUIPMENT FURNISHED BY CONTRACTOR SHALL BE NEW AND FREE FROM DEFECTS. DAMAGED WORK, INCLUDING CEILING TILES AND ALL FINISH MATERIALS, MUST BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
4. MATERIALS, EQUIPMENT, ETC. NOT INDICATED ON DRAWINGS OR SPECIFIED HEREIN BUT REQUIRED FOR SUCCESSFUL AND SUFFICIENT COMPLETION OF THE INSTALLATION AND FOR PROPER OPERATION SHALL BE HELD TO BE IMPLIED AND SHALL BE FURNISHED AND INSTALLED AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR SHALL PROTECT BUILDING FROM THE ELEMENTS AT ALL TIMES DURING CONSTRUCTION. ANY WORK DAMAGED BY MOISTURE INTRUSION OR SUBSEQUENT MOLD SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
6. ALL WELD BURNS, SCRATCHES, WOUNDS OR OTHER SURFACE IMPAIRMENTS TO GLASS, ALUMINUM, STAINLESS STEEL, STRUCTURAL STEEL AND/OR METAL DECK SHALL BE PROPERLY CLEANED, REPAINTED, REPAIRED, AND/OR REPLACED.
7. ALL HOLES IN CONCRETE FLOOR SLAB CAUSED BY THE ATTACHMENT OF FORM WORK, BRACING, CONSTRUCTION TRAFFIC, MATERIAL STORAGE OR OTHER REASONS SHALL BE CLEANED AND PATCHED.
8. PATCH AND REPAIR FIREPROOFING ON STRUCTURAL STEEL WHERE FIREPROOFING HAS BEEN REMOVED OR DAMAGED BY CONSTRUCTION ACTIVITIES, WITH FIREPROOFING MATERIAL TO MATCH EXISTING TO THICKNESS AS REQUIRED TO ACHIEVE REQUIRED RATING.
9. PENETRATIONS THROUGH WALLS OR CEILINGS NOTED TO BE FIRE RATED SHALL BE SEALED AS REQUIRED BY UL LISTED THROUGH PENETRATION FIRE-STOP SYSTEMS TO MAINTAIN THE RATING OF THE WALL OR CEILING. DUCTWORK PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE PROVIDED WITH AN APPROPRIATELY RATED FIRE DAMPER.
10. SHEET METAL WORK SHALL CONFORM TO LATEST SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) STANDARDS; SOLDER ALL SEAMS AND CONNECTIONS.
11. ALL STEEL MATERIALS EXPOSED TO EXTERIOR SHALL BE GALVANIZED. WELDS, CUTS, ABRASIONS AND OTHER EVENTS WHICH BREAK THE GALVANIC SEAL SHALL BE PRIMED WITH GALVANIZING ZINC BASED COATING.
12. STAGGER ALL JOINTS OF GYPSUM BOARD CONSTRUCTION.
13. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED, BEDDED AND PAINTED UNLESS NOTED OTHERWISE.
14. PROVIDE GROUND FAULT INTERRUPTERS IN WET AREAS, AS REQUIRED.
15. CONTRACTOR SHALL PROVIDE AND INSTALL EXIT AND EMERGENCY LIGHTING PER DRAWINGS AND GOVERNING AGENCY REQUIREMENTS.

G. HAZARDOUS MATERIALS

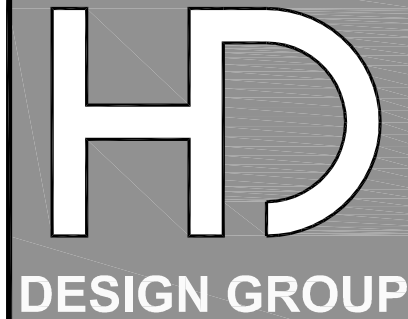
1. IT IS A REQUIREMENT OF THIS WORK THAT ALL PRODUCTS AND MATERIALS PROPOSED FOR USE HAVE BEEN COMPLETELY INVESTIGATED BY THE CONTRACTOR AND SUPPLIERS AND ARE CERTIFIED TO BE FREE OF ASBESTOS AND OTHER MATERIALS KNOWN TO BE HAZARDOUS TO HUMAN HEALTH.
2. CONTRACTOR ACCEPTS RESPONSIBILITY FOR PROHIBITING ALL HAZARDOUS MATERIALS FROM USE AT THE SITE FOR ALL WORK UNDER THIS CONTRACT.
3. THE CONTRACTOR'S RESPONSIBILITY FOR CONTROL OF HAZARDOUS MATERIALS EXTENDS SOLELY TO MATERIAL BROUGHT BY THE CONTRACTOR TO THE SITE. THE RESPONSIBILITY FOR IDENTIFICATION AND/OR REMEDIATION OF EXISTING HAZARDOUS MATERIALS IS SOLELY THE RESPONSIBILITY OF THE OWNER. CONTRACTOR TO NOTIFY OWNER AND ARCHITECT IMMEDIATELY UPON DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.
4. IF DURING THE COURSE OF THE DEMOLITION WORK ANY SUSPECTED HAZARDOUS MATERIAL, INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD PAINT, P.C.P.'S, ETC., IS ENCOUNTERED, THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND NOTIFY THE OWNER AND ARCHITECT IN WRITING. PROVIDE WARNING SIGNS IF THERE IS A POSSIBILITY OF EXPOSURE TO BUILDING OCCUPANTS. THE CONTRACTOR SHALL NOT RESUME WORK UNTIL THE HAZARDOUS MATERIAL HAS BEEN ABATED IN ACCORDANCE WITH LEGAL REGULATIONS.

PLAN LEGEND

| | |
|---|------------------------------|
| ROOM NAME XXX | ROOM NAME/NUMBER |
|  | INTERIOR ELEVATION INDICATOR |
|  | INTERIOR ELEVATION INDICATOR |
|  | SECTION DETAIL |
|  | PLAN ENLARGEMENT DETAIL |
|  | DOOR NUMBER TAG |
|  | FINISH TAG |
|  | FURNITURE TAG |
|  | ELEVATION HEIGHT & MATERIAL |
|  | REVISION |

PLAN ABBREVIATIONS

| | |
|--------|---------------------------------------|
| ACT - | ACOUSTIC CEILING TILE |
| AL - | ALUMINUM |
| CONC - | CONCRETE |
| CLG - | CEILING |
| CPT - | CARPET |
| CT - | CERAMIC TILE |
| DBL - | DOUBLE |
| DH - | DOOR HARDWARE |
| EXP - | EXPOSED |
| FRP - | FIBERGLASS REINFORCED PANEL |
| GL - | GLASS |
| GYF - | GYPSUM BOARD |
| M - | MOULDING |
| OH - | OPPOSITE HAND |
| OSCI - | OWNER SUPPLIED / CONTRACTOR INSTALLED |
| PT - | PAINT |
| SIM - | SIMILAR |
| SF - | SPECIAL FINISH |
| ST - | STONE |
| T - | TILE |
| VB - | VINYL BASE |
| VCT - | VINYL COMPOSITION TILE |
| WC - | WALL COVERING |
| WD - | WOOD |



THE NETWORK BAR
TRINITY GROVES DEVELOPMENT
BUILDING C SUITE #103
331 SINGLETON
DALLAS, TEXAS 75212

HD DESIGN GROUP, LLC
3800 COMMERCE, SUITE 122
DALLAS, TEXAS 75226
214-642-2332
www.hd-designgroup.com



PAUL CHAPEL & ASSOCIATES
STUDIO: 9604 ORCHARD HILL
DALLAS, TEXAS 75243

CONSULTANTS:

ISSUE LOG:
NO. DATE ITEM

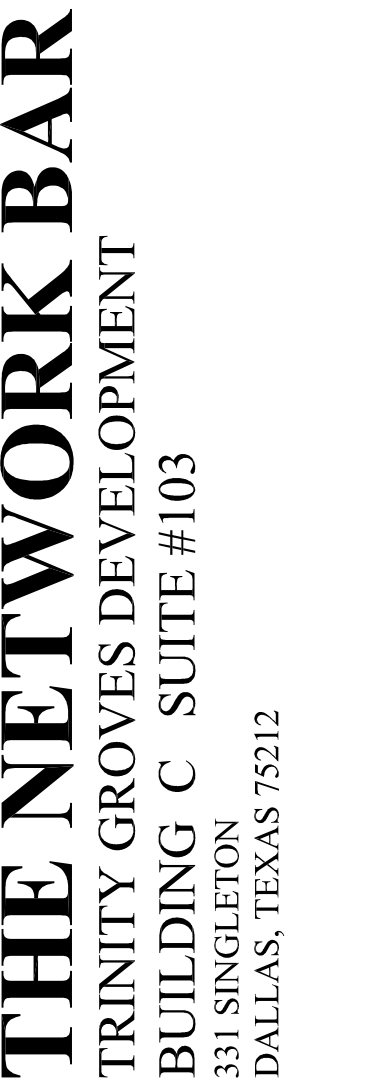
PROJECT:
NETWORK BAR
@TRINITY GROVES

PROJECT NO: 16032

SHEET TITLE:
GENERAL NOTES

SHEET NUMBER:

G.02



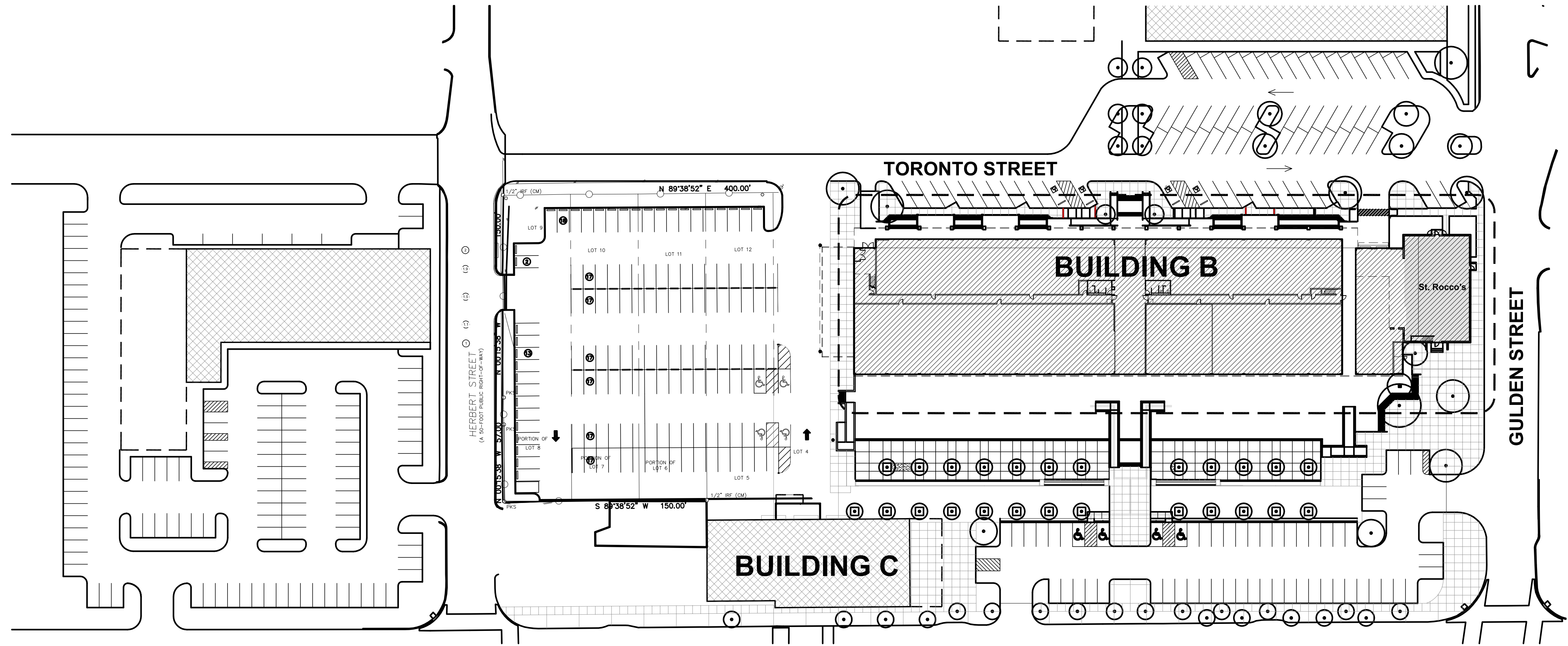
REGISTERED ARCHITECT
MARK R. HOPPER
19984
STATE OF TEXAS
NOVEMBER 16, 2016

CONSULTANTS:

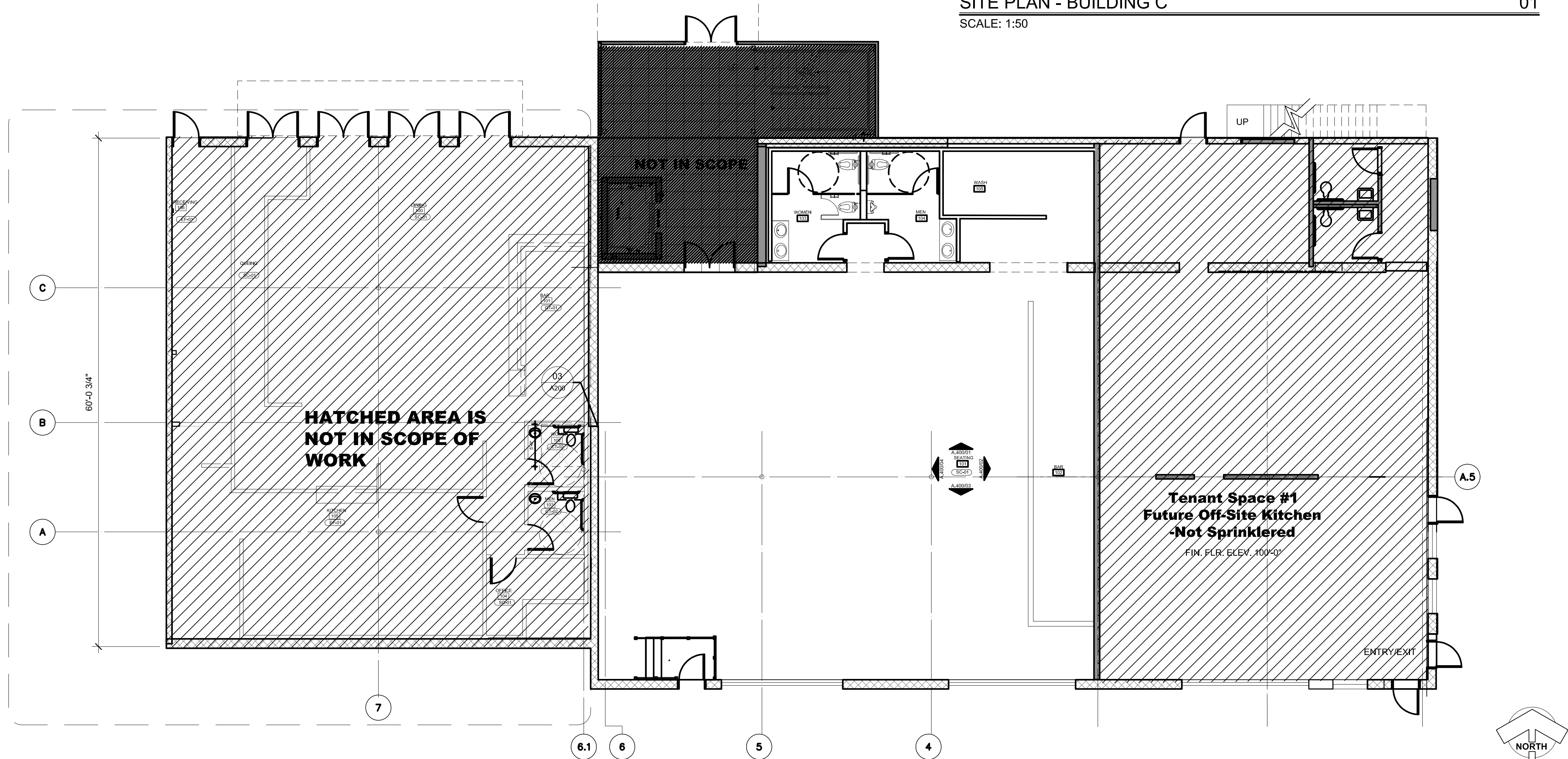
[illegible]

HEET NUMBER:
A.100

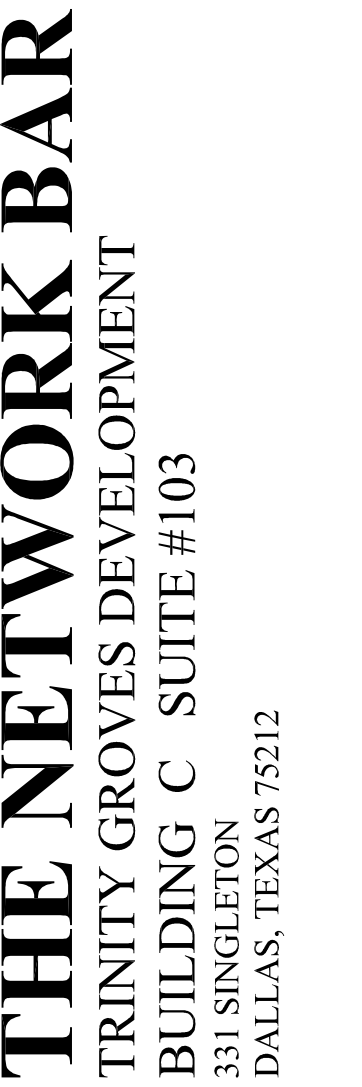
© 2016 HD Design Group, LLC. All Rights reserved.
No part of this document may be reproduced in any
form or by any means without permission from
HD Design Group, LLC



01



01



REGISTERED ARCHITECT
MARK R. HOPPER
19984
STATE OF TEXAS

NOVEMBER 16, 2016

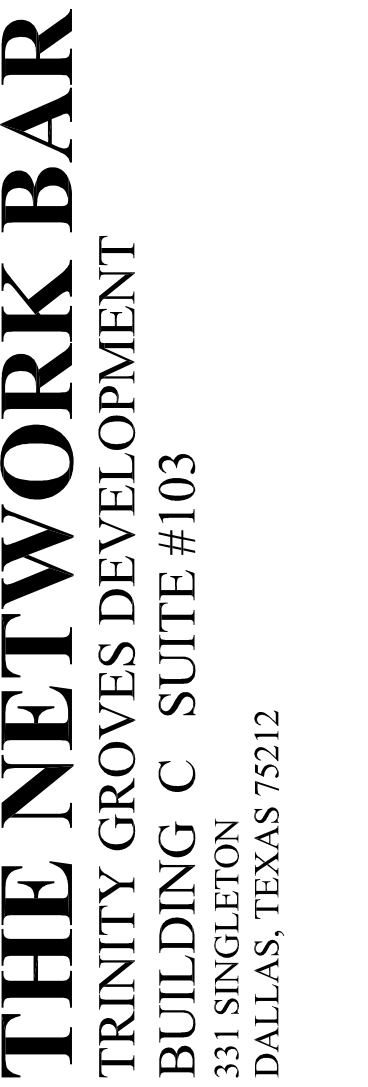
CONSULTANTS:

[illegible]

HEET NUMBER:
A.200

2016 HD Design Group, LLC All Rights reserved
No part of this document may be reproduced in any
form or by any means without permission from
HD Design Group, LLC





REGISTERED ARCHITECT
MARK R. HOPPER
19984
STATE OF TEXAS
NOVEMBER 16, 2016

CONSULTANTS:

[illegible]

HEET TITLE:

FINISH/ FURNITURE PLAN

HEET NUMBER:
A.201

© 2016 HD Design Group, LLC. All Rights reserved.
No part of this document may be reproduced in any
form or by any means without permission from
HD Design Group, LLC

The floor plan illustrates the layout of the first floor, which is divided into several functional zones. A large section in the upper left is designated as 'NOT IN SCOPE' and is shaded with diagonal lines. The main dining area is centrally located, featuring a variety of seating arrangements: circular tables (F203) surrounded by diamond-shaped chairs (F202), rectangular tables (F204) with sofas (F207), and a long booth with high-top seating (F200, F201). A central 'SEATING 101' area is marked with 'SC-01'. To the right, a long bar (BAR 102) is equipped with a counter and stools, with a service area (EF-01) adjacent to it. The kitchen area is located at the top right, containing two cooking stations (CT-02) and a sink area. The bottom of the plan shows a row of high-top seating (F205, F206) and a small service area (F201, F202). The entire plan is rendered in a technical, line-art style with clear labels for each element.

01

LIGHTING SCHEDULE

| TAG | SIZE | LAMP | MANUFACTURER | DESCRIPTION | TRIM COLOR | TYPE |
|-------|--------------|------|----------------------|-------------------------------|------------|------|
| LT-01 | 4" DOWNLIGHT | LED | GOTHAM ARCHITECTURAL | 4" EVO ROUND DOWNLIGHT | WHITE | A |
| LT-02 | WALL WASHER | LED | GOTHAM ARCHITECTURAL | 4" DIRECTIONAL TRACK LIGHTING | | C |

RCP NOTES

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES
3. ALL DEVICES SHALL BE UL APPROVED AND BEAR UL LABELS
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS FOLLOWS:

4.1. STANDARD OUTLET HEIGHTS AT 15" AFF

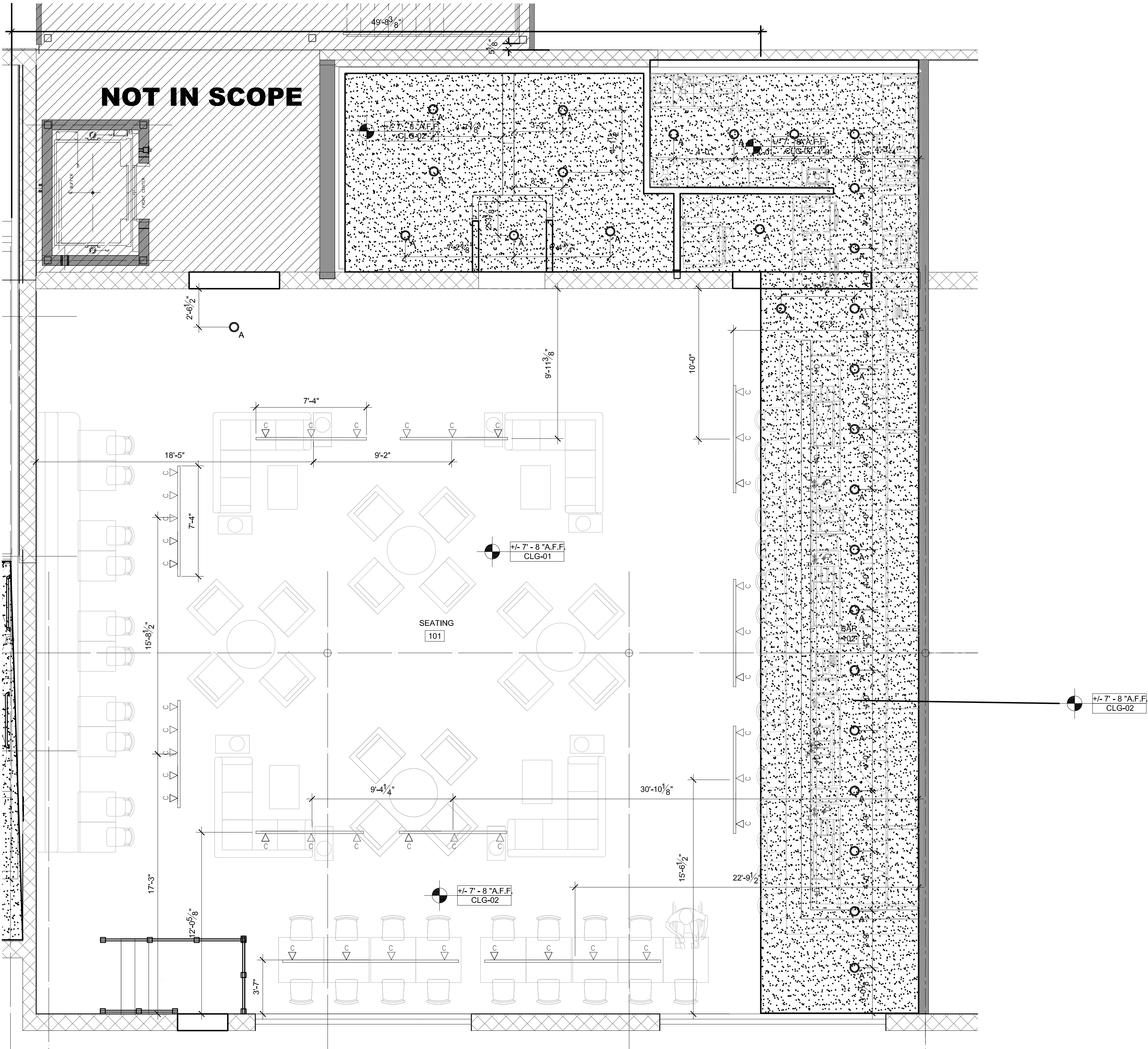
4.2. TYPICAL WALL SWITCH AT 48" AFF

4.3. OUTLET OR SWITCH AT SIDE OF CABINET TO BE AT 30"

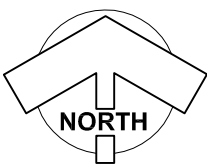
4.4. UTILITY OUTLET AT 42" AFF
5. MULTIPLE DUPLEX OUTLETS OR SWITCHES SHOWN NEXT TO EACH OTHER IN PLAN SHALL BE LOCATED ON ONE PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. BUILDER TO VERIFY ALL ELECTRICAL AND LIGHTING LOCATIONS AND SPECS, INCLUDING SECURITY, AUDIO/VISUAL, OUTDOOR ELECTRICAL, AND PANEL LOCATIONS

RCP LEGEND

| CEILING TYPES | |
|---------------|--|
| CLG-01 | CEILING 1- SUSPENDED GYP. BD, CEILING/ SOFFIT ON METAL STUD FRAMING |
| CLG-02 | CEILING 2- SUSPENDED WATER RESISTANT GYP. BD, CEILING W/ WATER VAPOR BARRIER, EPOXY PAINT FINISH |
| EXP-01 | EXPOSED TO STRUCTURE ABOVE |



REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"



HD

DESIGN GROUP

THE NETWORK BAR

TRINITY GROVES DEVELOPMENT

BUILDING C SUITE #103

331 SINGLETON

DALLAS, TEXAS 75212

HD DESIGN GROUP, LLC

3800 COMMERCE, SUITE 122

DALLAS, TEXAS 75226

214-642-2332

www.hd-designgroup.com

REG. SIGNED ARCHITECT

PAUL R. HOBBS

1984

STATE OF TEXAS

NOVEMBER 16, 2016

PAUL CHAPEL & ASSOCIATES

STUDIO: 9804 ORCHARD HILL

DALLAS, TEXAS 75243

CONSULTANTS:

ISSUE LOG:

| NO. | DATE | ITEM |
|-----|------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

PROJECT:

NETWORK BAR

@TRINITY GROVES

PROJECT NO: 16032

SHEET TITLE:

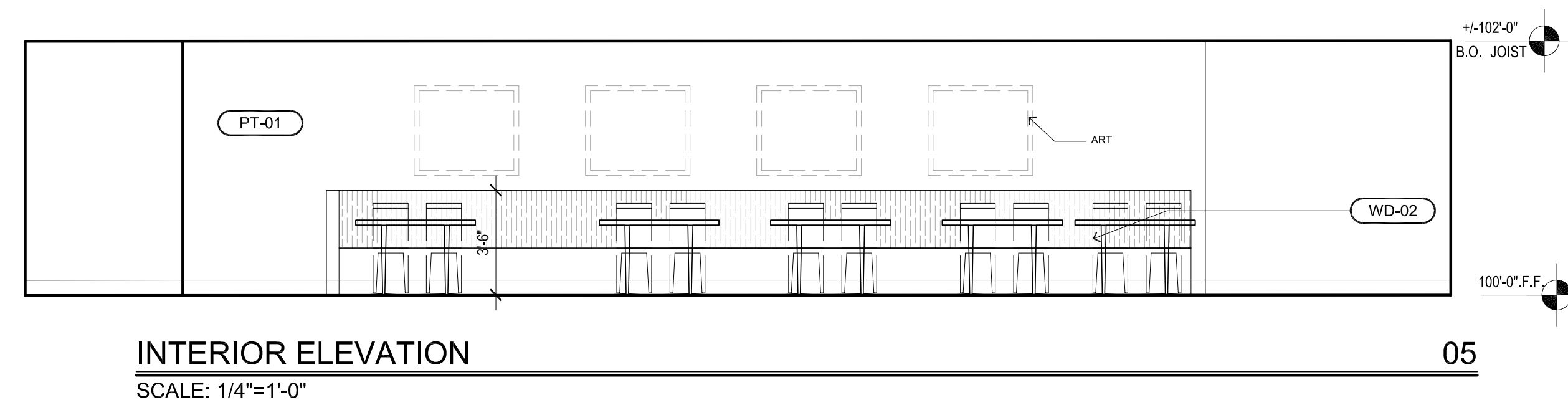
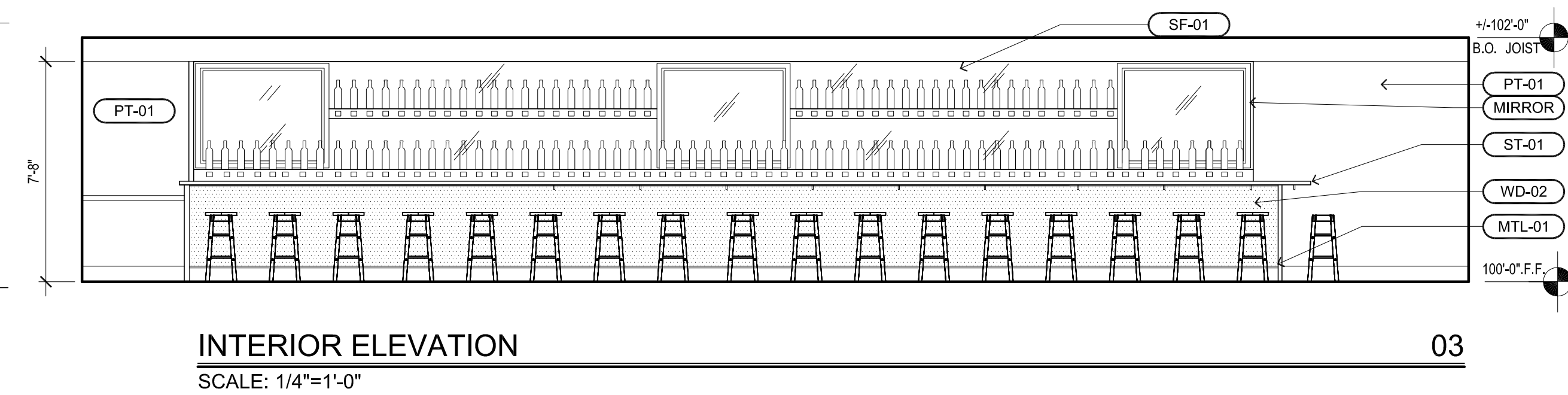
REFLECTED CEILING PLAN

SHEET NUMBER:

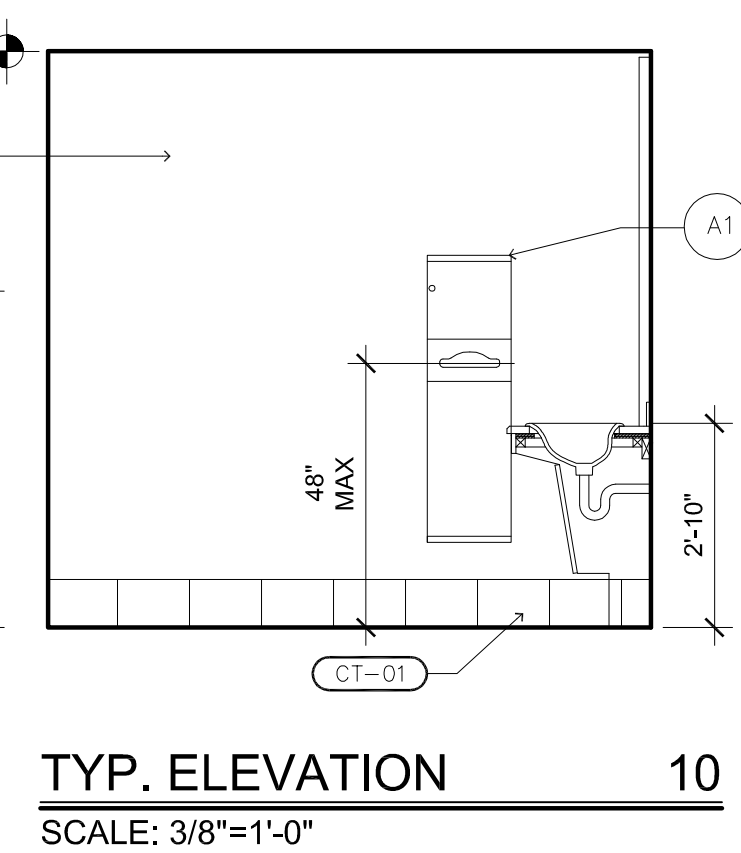
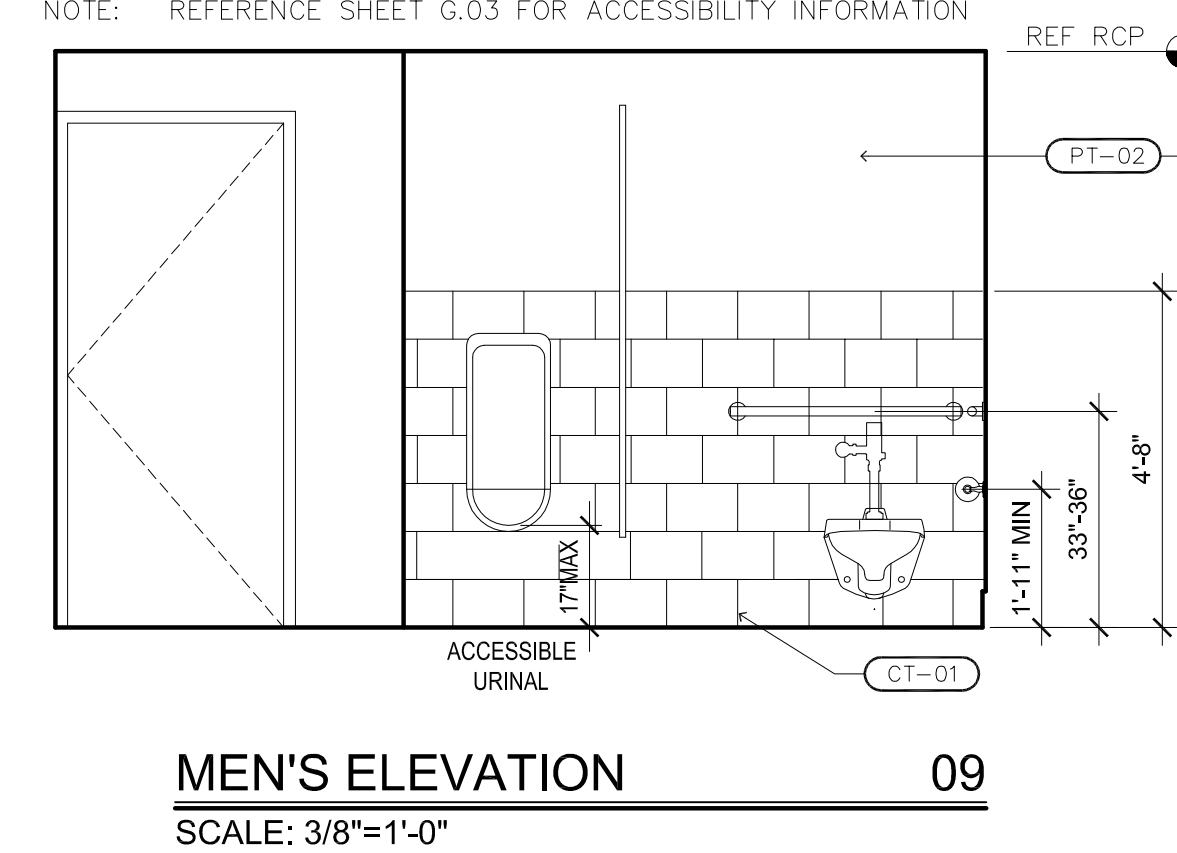
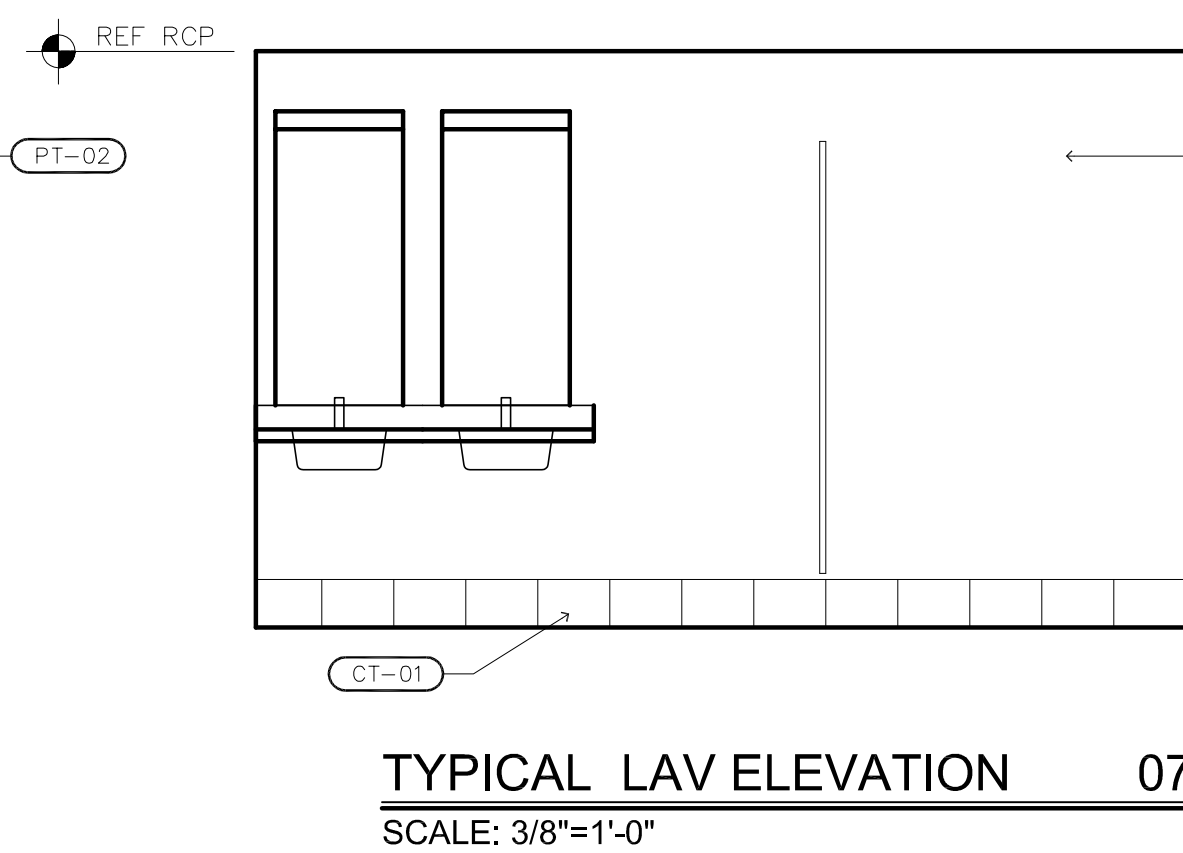
A.300

© 2016 HD Design Group, LLC All Rights reserved.

No part of this document may be reproduced in any form or by any means without permission from HD Design Group, LLC

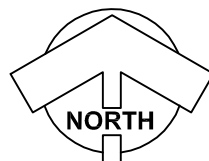


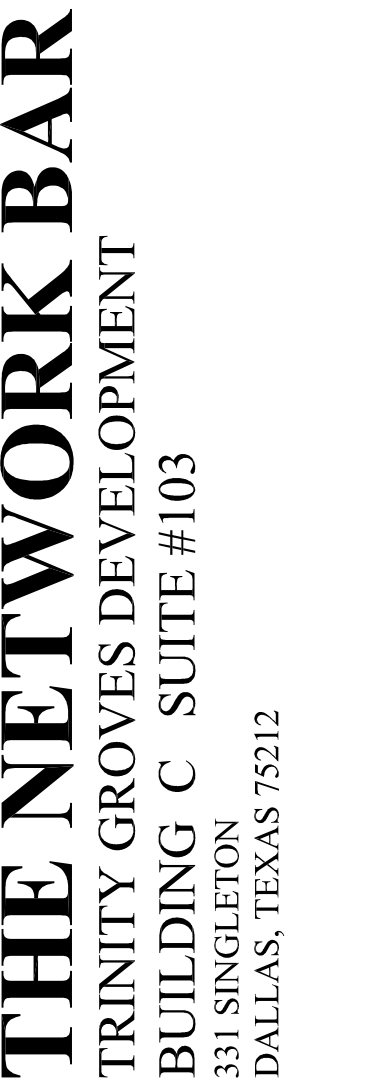
NOTE: REFERENCE SHEET G.03 FOR ACCESSIBILITY INFORMATION





NOTE: BAR HAS BEEN DESIGNED AS "CLUB SERVICE"
NO SODA SYSTEM OR GUNS HAVE BEEN SPECIFIED.





REGISTERED ARCHITECT
MARK R. HOPPER
19984
STATE OF TEXAS
NOVEMBER 16, 2016

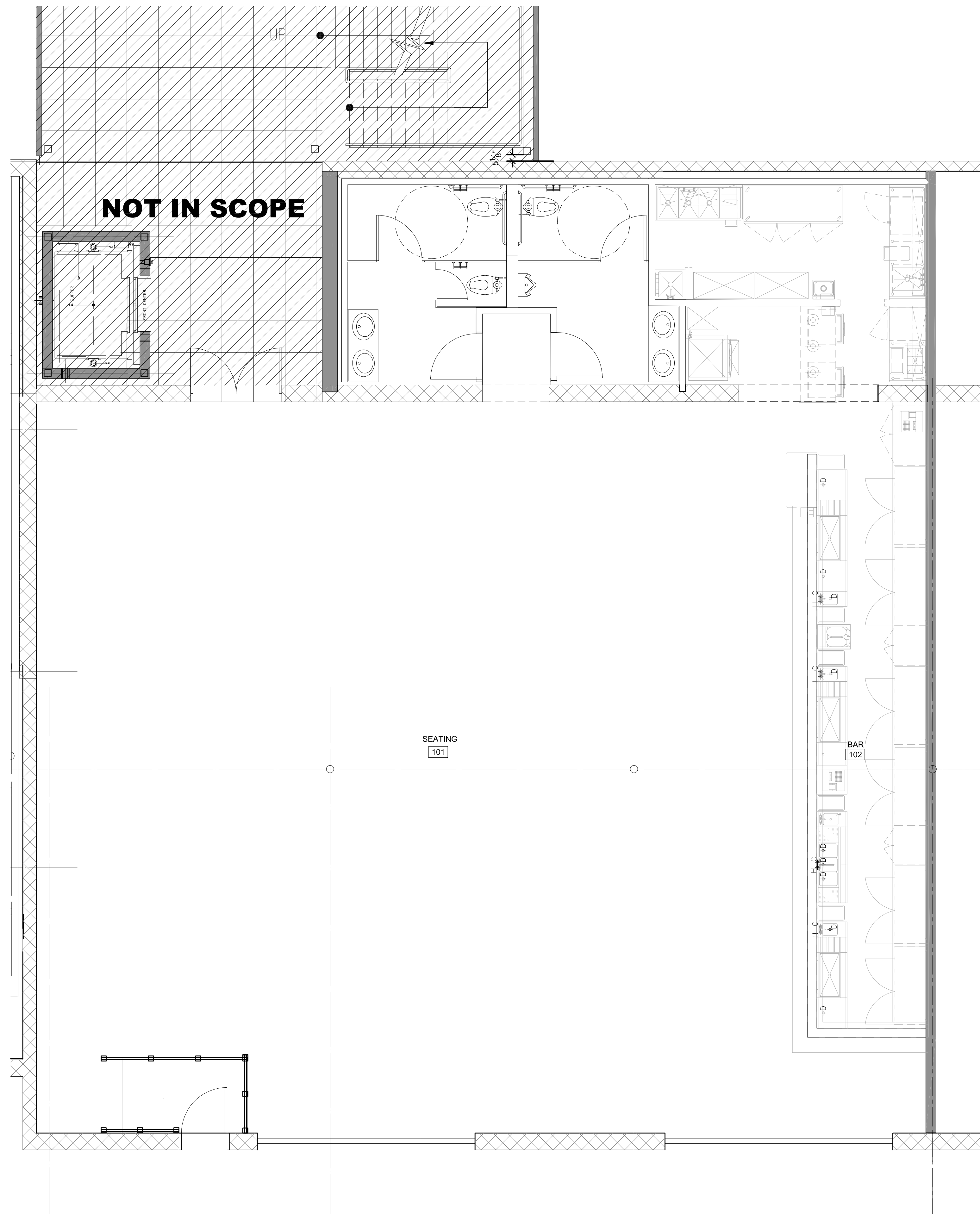
CONSULTANTS:

[illegible]

HEET TITLE:
FLOOR PLAN

HEET NUMBER:
M.1

© 2016 HD Design Group, LLC. All Rights reserved.
No part of this document may be reproduced in any
form or by any means without permission from
HD Design Group, LLC



FIRST FLOOR MECHANICAL PLAN

SCALE: 1/4"=1'-0"

