## TRINITY GROVES DEVELOPMENT BUILDING "C" TENANT FINISH-OUT



November 16, 2016 **Permit Set** 

#### **PROJECT SUMMARY:**

Project Name: Network Bar @ Trinity Groves Address: 311 Singleton. Suite #103

Dallas, Texas 75212 **Proposed Use: Bar Bistro** Owner Contact: 214-744-0100

**Construction Area: Interior** 

**Building Floor: Ground Floor of Two Story** 

Floor Area: 3,055 SF

#### **APPLICABLE CODES:** 2012 International Building Code with Dallas Amendments

2012 International Mechanical Code with Dallas Amendments 2012 International Plumbing Code with Dallas Amendments **2014 National Electrical Code with Dallas Amendments** 

2012 International Fire Code with Dallas Amendments 2009 International Energy Conservation Code with Dallas Amendments

2003 International Existing Building Code with Dallas Amendments

2012 International Fuel & Gas Code with Dallas Amendments

2009 NFPA 101, the Life Safety Code

#### TDLR:

TDLR REGISTRATION # EABPRJB7804997 RAS #00000240

# The Network Bar

Suite #103

<u>IND</u>		11-16-2016 PERMIT SET	
GENERA	NL .	+	
G-00	COVER, PROJECT SUMMARY, KEY PLAN, INDEX	X	
G-01	PROJECT ORIENTATION	X	
G-02	ABBREVIATIONS , SYMBOLS & GENERAL NOTES	X	
G-03	ACCESSIBILITY STANDARDS	X	
G-04	SPECIFIC NOTES	X	
ARCHITE	ECTURAL		
A-100	SITE PLAN	X	
A-200	FLOOR PLAN	X	
A-201	FURNITURE PLAN	X	
A-300	REFLECTED CEILING PLAN	X	
A-400	EXTERIOR AND INTERIOR ELEVATIONS	X	
A-900	FINISH SCHEDULE, DOOR SCHEDULE, DOOR TYPES COLOR & MATERIALS INDEX	X	
K-1	KITCHEN PLAN SCHEDULE	X	
PLUMBIN	NG		
P-101	PLUMBING FLOOR PLAN	X	
P-201	WASTE & VENT PLAN	X	
P-301	PLUMBING PLAN	X	
P-401	PLUMBING DETAILS	X	
P-501	PLUMBING SCHEDULES	X	
P-601	RISER DIAGRAM	X	
MECHAN	IICAL		
M-1	MECHANICAL FLOOR PLAN		
ELECTRI			
E-101	ELECTRICAL COVER	X	
E-201	FLOOR PLAN - LIGHTING	X	
E-301	FLOOR PLAN - POWER	X	
E-401	ELECTRICAL DETAILS	X	
E-501	ELECTRICAL RISER DIAGRAM & SCHEDULE	X	

#### **BUILDING SUMMARY:**

EXISTING / NEW CONSTRUCTION:	EXISTING BUILDING
OCCUPANCY:	A2
TOTAL AREA:	AREA OF RENOVATION = 3,055 SF
MAX HEIGHT OF BUILDING:	APPROX. 20'-0
NUMBER OF FLOORS:	ONE FLOOR TENANT FINISH OUT
TYPE OF CONSTRUCTION:	TYPE IB, SPRINKLERED
FIRE SEPARATION:	N/A
PARKING:	SURFACE PARKING PROVIDED

#### **DEVELOPER:**

TRINITY GROVES.LLC **425 Bedford Street Dallas, TX 75212** 

#### **ARCHITECT:**

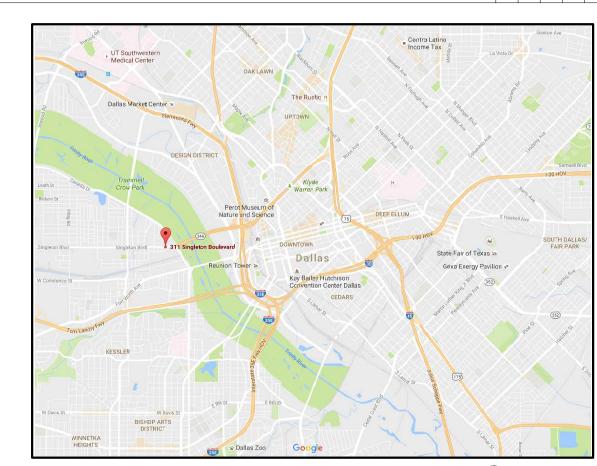
HD DESIGN GROUP, LLC / PCA 3800 Commerce, Suite 122 **Dallas, TX 75226** 

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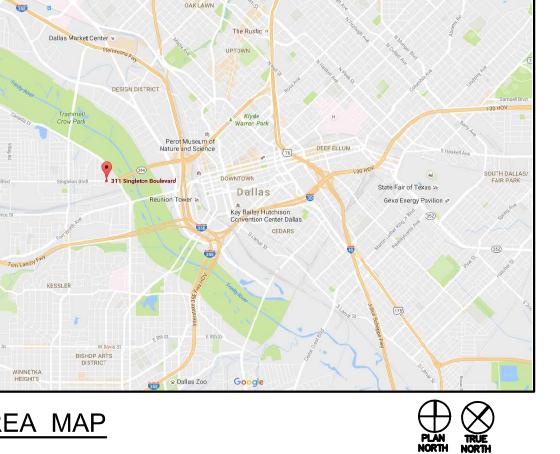
2668 Myrtle Springs Ave Dallas, Texas 75220 214.350.1110

#### **GENERAL CONTRACTOR:**

TRINITY GROVES, LLC 425 Bedford St. Dallas, TX 75093 817. 714. 0100 **Attn: Jim Reynolds SVP Development & Construction** 



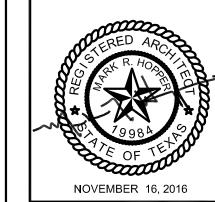
AREA MAP



COVER SHEET

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3800 COMMERCE, SUITE 122



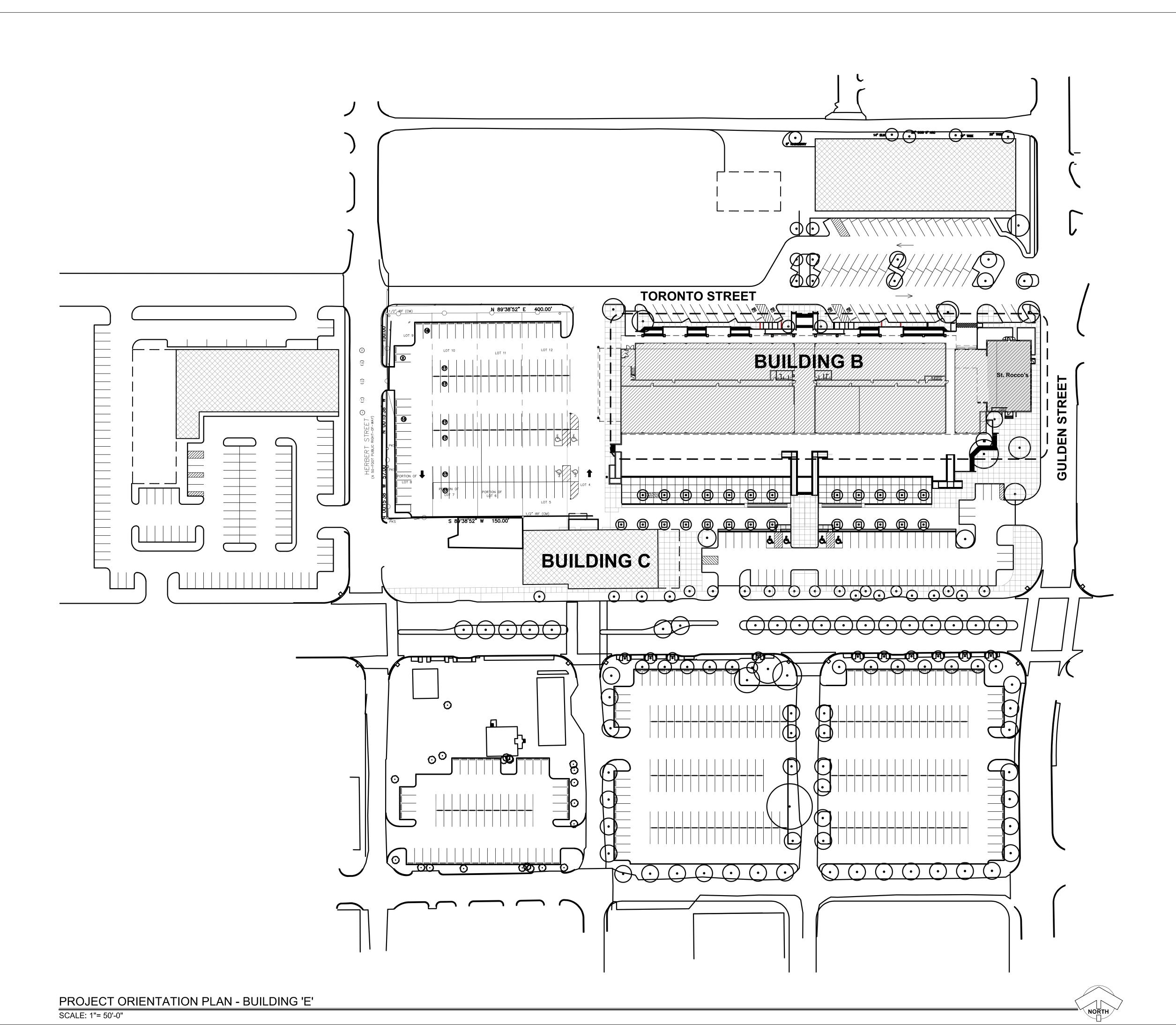
PAUL CHAPEL & ASSOCIATES

CONSULTANTS:

NETWORK BAR @TRINITY GROVES

PROJECT NO; 16032

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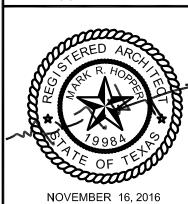




HE NETWORK BAR

MITY GROVES DEVELOPMENT

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PAUL CHAPEL & ASSOCIATES STUDIO: 9604 ORCHARD HILL DALLAS, TEXAS 75243

CONSULTANTS:

ISSUE LOG: NO. DATE

PROJECT:
NETWORK BAR
@TRINITY GROVES

PROJECT NO; **16032**SHEET TITLE:
ORIENTATION PLAN

SHEET NUMBER:

**G.01** 

#### **GENERAL NOTES**

#### A. GENERAL

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION FOR THE PERFORMANCE OF THE WORK.

2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTION FEES AND DEPOSITS REQUIRED BY GOVERNING BODIES HAVING LEGAL JURISDICTION FOR THE INSTALLATION OF ALL WORK. CONTRACT SUM SHALL INCLUDE ALL FEES, DEPOSITS, METER CHARGES, AND COORDINATION WITH THE VARIOUS UTILITY COMPANIES FOR SERVICE. FINAL HOOKUP AND CONNECTION TO BE BY BUILDING GENERAL CONTRACTOR.

3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES WITH PLANS AND AS-BUILT CONDITIONS PRIOR TO PROCEEDING WITH THE AFFECTED WORK.

4. CONTRACTOR SHALL VERIFY ALL INFORMATION ON DRAWINGS AND REPORT ANY DISCREPANCIES OR OMISSIONS TO OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE AFFECTED WORK.

5. ALL MEASUREMENTS ARE SUBJECT TO VERIFICATION IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO FABRICATION OR CONSTRUCTION.

6. THESE DOCUMENTS ARE NOT TO BE REPRODUCED OR USED FOR ANY PURPOSE OTHER THAN ORIGINALLY ISSUED UNLESS AUTHORIZED IN WRITING BY THE OWNER'S REPRESENTATIVE.

#### B. DRAWINGS AND DIMENSIONS

1. DIMENSIONS ARE TO FACE OF GWB, FACE OF CMU, OR CENTER LINE OF COLUMNS UNLESS NOTED OTHERWISE.

2. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. WHERE CONFLICTS OCCUR, NOTIFY ARCHITECT FOR CLARIFICATION.

3. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.

4. HALF-TONE NOTES AND DIMENSIONS INDICATE EXISTING CONDITIONS AND ARE PROVIDED FOR INFORMATION ONLY.

5. DASHED LINES INDICATE MATERIAL OR EQUIPMENT TO BE REMOVED.

6. WHERE POSSIBLE, LAYOUT WALLS FROM INTERIOR COLUMN LINES.

7. ALL BUILDING ELEVATIONS ARE REFERENCED FROM THE GROUND FLOOR IN THE BUILDING BEING EQUAL TO ELEVATION 100'-0".

8. NOTES NOT KEYED ON DRAWING APPLY THROUGHOUT THE AREA UNDER WHICH THEY ARE LISTED.

9. NOTIFY ARCHITECT OF CONFLICT IN DETAILS OR GENERAL NOTES AND TYPICAL DETAILS, WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK IN THE PROJECT AND APPLICABLE CODES. NOTIFY ARCHITECT IN CASE OF PLAN LOCATION CONFLICTS BETWEEN DISCIPLINES.

#### C. DEMOLITION

1. EXISTING SURFACES DISTURBED BY DEMOLITION AND NEW CONSTRUCTION SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES. WHERE DEMOLITION REMOVAL LEAVES OPENINGS IN EXISTING FLOORS, WALLS, CEILINGS, ETC. FILL IN, PATCH AND REPAIR TO MATCH EXISTING ADJACENT CONSTRUCTION AND FINISHES.

2. SCHEDULING OF WORK SHALL BE AS OUTLINED IN SUPPLEMENTARY CONDITIONS.

3. REMOVAL WORK AT EXTERIOR OF BUILDING SHALL BE DONE IN SUCH A MANNER AS TO PREVENT MATERIALS FROM DAMAGING ADJACENT STRUCTURES OR STRUCTURES BELOW.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING STRUCTURES SURROUNDING THE CONTRACT AREA. DAMAGE TO EXISTING STRUCTURES OR EQUIPMENT SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.

5. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER PRIOR TO REMOVAL OF MATERIAL OR EQUIPMENT NOT INDICATED ON THE DRAWINGS TO BE REMOVED.

6. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. FOR ADDITIONAL DEMOLITION NOTES.

7. EXISTING WOOD TRIM, MLDG, & PANELING IS TO BE REMOVED CAREFULLY FOR RE-USE. UNLESS NOTED OTHERWISE.

#### D. COORDINATION

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL DISCIPLINES AND SHALL PROVIDE DESIGN AND INSTALLATION OF THESE SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND AUTHORITIES HAVING JURISDICTION.

2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUPERVISE AND COORDINATE VARIOUS TRADES IN ALL MECHANICAL & ELECTRICAL EQUIPMENT ROOMS TO ALLOW SUFFICIENT ROOM FOR ALL EQUIPMENT

3. ON-SITE AND OFF-SITE UTILITIES, WHEN INDICATED ON THE ARCHITECTURAL DRAWINGS, ARE FOR COORDINATION PURPOSES ONLY.

4. ESTABLISH AND VERIFY ALL OPENINGS, DEPRESSED SLABS, CURBS, PADS, AND INSERTS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING, AND ASSOCIATED WORK PRIOR TO CONSTRUCTION.

5. VERIFY OPENINGS FOR PIPES AND DUCTS WITH MECHANICAL DRAWINGS AND PROVIDE AS REQUIRED.

6. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING CEILING DEVICES (SUCH AS SPRINKLERS, DIFFUSERS, LIGHTS AND/OR MECHANICAL DUCTWORK) THAT WILL INTERFERE WITH THE INSTALLATION OF NEW EQUIPMENT AND RELOCATE AS REQUIRED.

7. SHOP DRAWINGS ARE TO COMPLIMENT AND SUPPLEMENT CONSTRUCTION DOCUMENTS. WHEN CONFLICTING INFORMATION IS PROVIDED IN SHOP DRAWINGS AND CONSTRUCTION DOCUMENTS, NOTIFY ARCHITECT PRIOR TO FABRICATION. REVIEW OF SHOP DRAWINGS BY ARCHITECT DOES NOT RELIEVE CONTRACTOR OF RESPONSIBILITY FOR CONFORMANCE WITH CONSTRUCTION DOCUMENTS. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL MILLWORK.

8. ANY ADDITIONAL DESIGN AND/OR COORDINATION MADE NECESSARY BY THE SUBSTITUTION OF EQUIPMENT AND/OR MANUFACTURERS BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

9. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS. SMALLER SCALE DETAILS ARE GRAPHICAL REPRESENTATIONS ONLY.

#### E. PRODUCTS AND MATERIALS

1. ALL PRODUCTS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS UNLESS NOTED OTHERWISE.

2. ALL CONSTRUCTION AND MATERIALS FOR THE PROJECT SHALL CONFORM TO THE SPECIFICATIONS, UNLESS NOTED OTHERWISE.

3. THE TERM "PROVIDE" MEANS TO FURNISH, TRANSPORT, RECEIVE, INSTALL, CONNECT, START-UP, AND WARRANTY.

4. WORKMANSHIP, MATERIALS AND INSTALLATIONS SHALL CONFORM TO APPLICABLE EDITIONS AS DEFINED HEREIN OF THE APPLICABLE BUILDING CODES, AS WELL AS OTHER APPLICABLE STATE AND LOCAL CODES THAT HAVE AUTHORITY OVER THIS PROJECT, TRADE ASSOCIATION STANDARDS, AND MANUFACTURER'S STANDARDS.

5. THE CONTRACTOR SHALL NOT STORE BUILDING MATERIALS. STAGE CONSTRUCTION OPERATIONS FROM NOR GAIN ACCESS TO THE CONSTRUCTION SITE OVER ADJACENT PROPERTIES WITHOUT THE WRITTEN CONSENT OF THE OWNER.

6. CONTRACTOR SHALL PROVIDE 2X6 WOOD BLOCKING ANCHORED BETWEEN STUDS (UNO) IN WALLS AND CEILINGS FOR SUPPORT AND TO ANCHOR CASEWORK, CABINETS, EQUIPMENT, SHELVING, COUNTERS, TOILET PARTITIONS, DOOR HARDWARE, WINDOW COVERINGS, MIRRORS, PEGBOARDS, MARKER BOARDS, ACCESSORIES, ETC. BLOCKING SHALL BE CONTINUOUS AND LOCATED BOTH AT TOP AND BOTTOM OF EQUIPMENT, CABINETS AND CASEWORK.

7. ALL WOOD BLOCKING, FRAMING AND PLYWOOD SHALL BE FIRE RETARDANT TREATED AND U.L. NON-COMBUSTIBLE RATED, ALL WOOD IN CONTACT WITH MASONRY OR EARTH SHALL BE WOLMANIZED.

8. ALL EXTERIOR DOORS SHALL RECEIVE WEATHER STRIPPING UNLESS SPECIFICALLY NOTED OTHERWISE.

#### F. EXECUTION

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE BUILDING AND SITE CLEAN AND FURNISH ALL SAFETY PROVISIONS TO ENSURE THE PUBLIC

2. ARCHITECT RESERVES THE RIGHT TO DIRECT REMOVAL AND REINSTALLATION OF WORK WHICH DOES NOT, IN THE OPINION OF THE ARCHITECT, MAINTAIN STANDARDS AND WORKMANSHIP OF A CRAFT.

3. ALL MATERIALS AND EQUIPMENT FURNISHED BY CONTRACTOR SHALL BE NEW AND FREE FROM DEFECTS. DAMAGED WORK, INCLUDING CEILING TILES AND ALL FINISH MATERIALS, MUST BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

4. MATERIALS, EQUIPMENT, ETC. NOT INDICATED ON DRAWINGS OR SPECIFIED HEREIN BUT REQUIRED FOR SUCCESSFUL AND SUFFICIENT COMPLETION OF THE INSTALLATION AND FOR PROPER OPERATION SHALL BE HELD TO BE IMPLIED AND SHALL BE FURNISHED AND INSTALLED AT NO ADDITIONAL COST TO THE OWNER.

5. CONTRACTOR SHALL PROTECT BUILDING FROM THE ELEMENTS AT ALL TIMES DURING CONSTRUCTION. ANY WORK DAMAGED BY MOISTURE INTRUSION OR SUBSEQUENT MOLD SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

6. ALL WELD BURNS, SCRATCHES, WOUNDS OR OTHER SURFACE IMPAIRMENTS TO GLASS, ALUMINUM, STAINLESS STEEL, STRUCTURAL STEEL AND/OR METAL DECK SHALL BE PROPERLY CLEANED, REPAINTED, REPAIRED, AND/OR REPLACED.

7. ALL HOLES IN CONCRETE FLOOR SLAB CAUSED BY THE ATTACHMENT OF FORM WORK, BRACING, CONSTRUCTION TRAFFIC, MATERIAL STORAGE OR OTHER REASONS SHALL BE CLEANED AND PATCHED.

FIREPROOFING HAS BEEN REMOVED OR DAMAGED BY CONSTRUCTION ACTIVITIES, WITH FIREPROOFING MATERIAL TO MATCH EXISTING TO THICKNESS AS REQUIRED TO ACHIEVE REQUIRED RATING.

8. PATCH AND REPAIR FIREPROOFING ON STRUCTURAL STEEL WHERE

9. PENETRATIONS THROUGH WALLS OR CEILINGS NOTED TO BE FIRE RATED SHALL BE SEALED AS REQUIRED BY UL LISTED THROUGH PENETRATION FIRE-STOP SYSTEMS TO MAINTAIN THE RATING OF THE WALL OR CEILING. DUCTWORK PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE PROVIDED WITH AN APPROPRIATELY RATED FIRE DAMPER.

10. SHEET METAL WORK SHALL CONFORM TO LATEST SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) STANDARDS; SOLDER ALL SEAMS AND CONNECTIONS.

11. ALL STEEL MATERIALS EXPOSED TO EXTERIOR SHALL BE GALVANIZED. WELDS, CUTS, ABRASIONS AND OTHER EVENTS WHICH BREAK THE GALVANIC SEAL SHALL BE PRIMED WITH GALVANIZING ZINC BASED COATING.

12. STAGGER ALL JOINTS OF GYPSUM BOARD CONSTRUCTION.

13. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED, BEDDED AND PAINTED UNLESS NOTED OTHERWISE.

14. PROVIDE GROUND FAULT INTERRUPTERS IN WET AREAS, AS REQUIRED.

15. CONTRACTOR SHALL PROVIDE AND INSTALL EXIT AND EMERGENCY LIGHTING PER DRAWINGS AND GOVERNING AGENCY REQUIREMENTS.

#### G. HAZARDOUS MATERIALS

1. IT IS A REQUIREMENT OF THIS WORK THAT ALL PRODUCTS AND MATERIALS PROPOSED FOR USE HAVE BEEN COMPLETELY INVESTIGATED BY THE CONTRACTOR AND SUPPLIERS AND ARE CERTIFIED TO BE FREE OF ASBESTOS AND OTHER MATERIALS KNOWN TO BE HAZARDOUS TO HUMAN HEALTH.

2. CONTRACTOR ACCEPTS RESPONSIBILITY FOR PROHIBITING ALL HAZARDOUS MATERIALS FROM USE AT THE SITE FOR ALL WORK UNDER THIS CONTRACT.

3. THE CONTRACTOR'S RESPONSIBILITY FOR CONTROL OF HAZARDOUS MATERIALS EXTENDS SOLELY TO MATERIAL BROUGHT BY THE CONTRACTOR TO THE SITE. THE RESPONSIBILITY FOR IDENTIFICATION AND/OR REMEDIATION OF EXISTING HAZARDOUS MATERIALS IS SOLELY THE RESPONSIBILITY OF THE OWNER. CONTRACTOR TO NOTIFY OWNER AND ARCHITECT IMMEDIATELY UPON DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.

4. IF DURING THE COURSE OF THE DEMOLITION WORK ANY SUSPECTED HAZARDOUS MATERIAL, INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD PAINT, P.C.P.'S, ETC., IS ENCOUNTERED, THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND NOTIFY THE OWNER AND ARCHITECT IN WRITING. PROVIDE WARNING SIGNS IF THERE IS A POSSIBILITY OF EXPOSURE TO BUILDING OCCUPANTS. THE CONTRACTOR SHALL NOT RESUME WORK UNTIL THE HAZARDOUS MATERIAL HAS BEEN ABATED IN ACCORDANCE WITH LEGAL REGULATIONS.

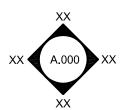
#### PLAN LEGEND

**ROOM NAME** XXX

ROOM NAME/NUMBER

INDICATOR

INTERIOR ELEVATION



INTERIOR ELEVATION INDICATOR

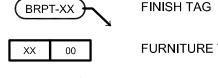


PLAN, ENLARGEMENT DETAIL



DOOR NUMBER TAG

FURNITURE TAG



**ELEVATION HEIGHT &** MATERIAL



#### PLAN ABBREVIATIONS

ACT -ACOUSTIC CEILING TILE ALUMINUM CONC -CONCRETE CLG -CEILING

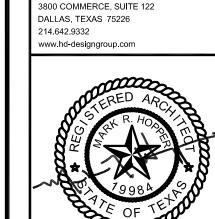
CPT -CARPET CT -CERAMIC TILE DBL -DOUBLE **DOOR HARDWARE** DH -

EXP -EXPOSED FRP -FIBERGLASS REINFORCED PANEL

GL -GLASS GYP -GYPSUM BOARD MOULDING OH-OPPOSITE HAND OSCI -OWNER SUPPLIED / CONTRACTOR INSTALLED PT -PAINT SIMILAR SF-SPECIAL FINISH

STONE

ST -VINYL BASE VB -VCT -VINYL COMPOSITION TILE WC -WALL COVERING WD -WOOD



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**NOVEMBER 16, 2016** 

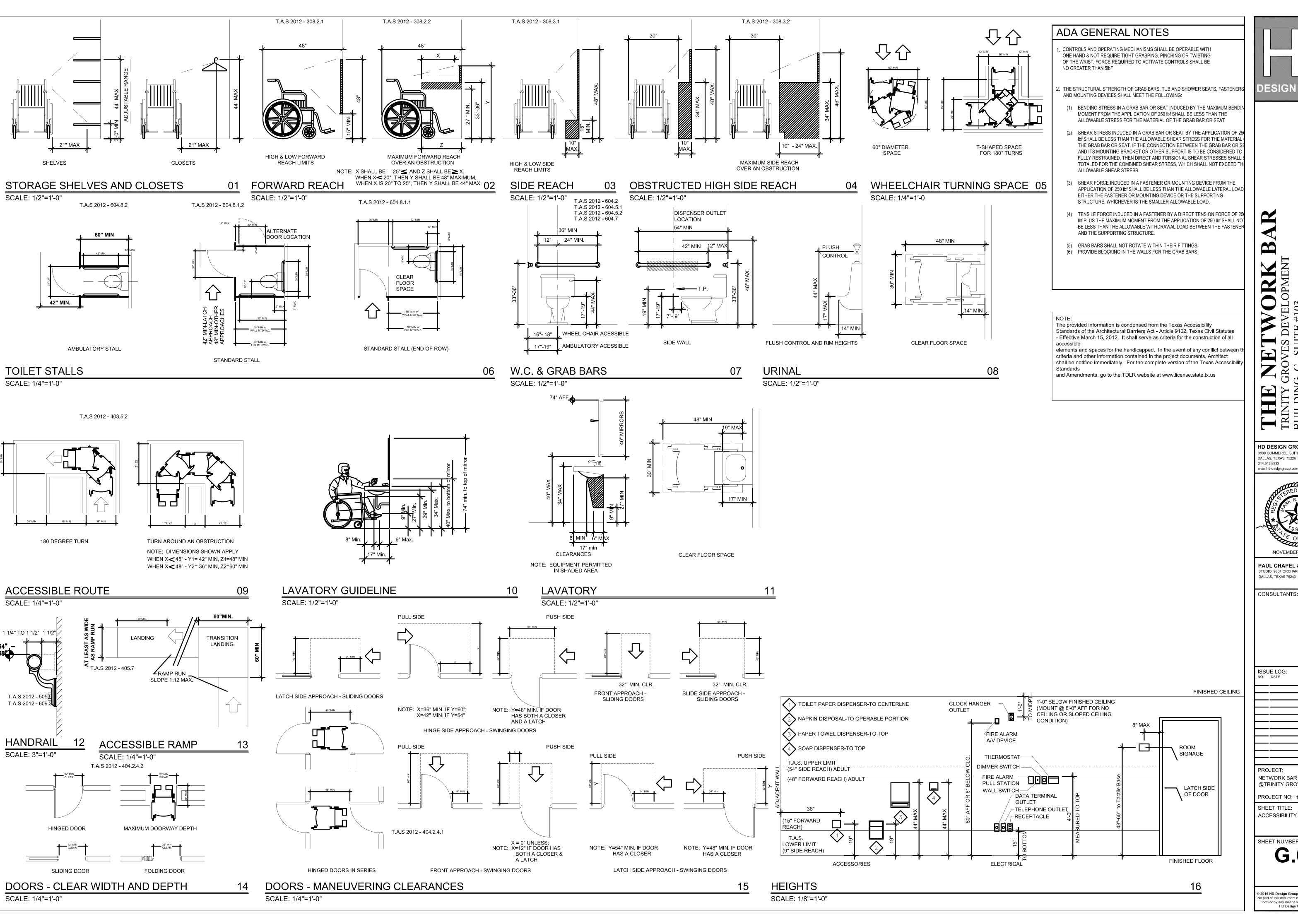
**PAUL CHAPEL & ASSOCIATES** STUDIO: 9604 ORCHARD HILL DALLAS, TEXAS 75243

CONSULTANTS:

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PROJECT: NETWORK BAR @TRINITY GROVES

PROJECT NO; 16032 SHEET TITLE: GENERAL NOTES



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**PAUL CHAPEL & ASSOCIATES** 

CONSULTANTS:

ISSUE LOG:

NETWORK BAR @TRINITY GROVES

PROJECT NO; **16032** 

SHEET TITLE: ACCESSIBILITY

SHEET NUMBER:

**G.03** 

#### A. GENERAL

- 1. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY. SPECIFIC INFORMATION MAY BE FOUND IN EITHER OR BOTH.
- 2. THE GENERAL CONTRACTOR AND ALL CONTRACTORS BIDDING ON THIS PROJECT SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCE BETWEEN THEIR WORK AND THAT OF OTHER TRADES AND/OR APPARENT VIOLATIONS OF LOCAL, STATE, OR FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS BEFORE ENTERING NTO A CONTRACT WITH EITHER THE GENERAL CONTRACTOR AND/OR TENANT. IF ANY INTERFERENC OR VIOLATIONS APPEAR AND DEPARTURE FROM THE DESIGN INTENT OF THE CONTRACT DOCUMENTS IS REQUIRED, THE GENERAL CONTRACTOR SHALL NOTIFY THE TENANT. THE AFOREMENTIONED NOTIFICATION SHALL RESULT IN THE SPECIFIC CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK REQUIRED TO MEET THE DESIGN INTENT OF THE CONTRACT DOCUMENTS AT HIS/HER OWN COST WITH NO ADDITIONAL EXPENSES BEING INCURRED BY THE OWNER.
- 3 CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION RETWEEN SUBCONTRACTORS BASED ON COMPLETE SET OF CONSTRUCTION DOCUMENTS. UNDER NO CIRCUMSTANCES WILL ANY EXTRA COMPENSATION BE GIVEN TO ANY ONE WHO HAS BID FROM AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. IN THE EVENT OF CONFLICTING INFORMATION. THE MOST STRINGENT CONDITION OF NOTE SHALL APPLY AND THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER OF SUCH DISCREPANCIES.
- 4. CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING SITE CONDITIONS AND DIMENSIONS BEFORE STARTING ANY CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND ACTUAL FIELD CONDITIONS IMMEDIATELY.
- 5. CONTRACTOR SHALL MAINTAIN A CURRENT CONSTRUCTION DOCUMENT SET ON SITE AT ALL TIMES.
- CONTRACTOR SHALL INDICATE ANY APPROVED CHANGES ON THE DRAWING 6. NO MATERIAL SUBSTITUTIONS SHALL BE ALLOWED, UNLESS APPROVED BY OWNER. REQUESTS MUST BE MADE IN WRITING AND WITHIN FIVE (05) BUSINESS DAYS OF CONTRACT AWARD OR WITHIN (05)
- 7. RESPONSIBILITY SCHEDULE HAS PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REFER TO IT
- FOR WORK RESPONSIBILITIES AND NOTIFY OWNER OF ANY INCONSISTENCIES.
- 8 CONTRACTOR SHALL DELIVER TO THE PROJECT MANAGER A COPY OF THE CERTIFICATE OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, GUARANTEES AND INSTRUCTION MANUALS.
- 9. CONTRACTOR IS RESPONSIBLE FOR CLEAN UP OF ALL TRADES.

BUSINESS DAYS OF CONSTRUCTION COMMON CEMENT.

- 10. CONTRACTOR IS RESPONSIBLE TO MAINTAIN A CLEAR EGRESS PATH AT ALL TIMES DURING CONSTRUCTION PROCESS.
- 11. CONTRACTOR SHALL CLEAN ALL FINISHED SURFACES AND FIXTURES PER MANUFACTURER'S INSTRUCTIONS UPON COMPLETION OF CONSTRUCTION. FINAL CLEAN UP IS TO BE PERFORMED NO. LATER THAN ONE (1) DAY AFTER CONSTRUCTION COMPLETION. FAILURE TO DO SO RESULTS IN TENANT'S RIGHT TO HIRE A CLEANING SERVICE AND DEDUCT THE COST, PLUS 10% OF SUCH COST FROM THE BALANCE OF THE CONTRACT.
- 12. CONTRACTOR IS REQUIRED TO PROVIDE PROTECTIVE COVERING OF ALL EQUIPMENT, MERCHANDISE,
- 13. CONTRACTOR SHALL WORK CLOSELY AND COOPERATIVELY WITH LANDLORD PRIOR TO AND DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE CONSTRUCTION TIME, NOISE, BARRICADES, AND SPECIAL REQUIREMENTS WITH THE LANDLORD

#### B. LAYOUT OF WORK

- 1. IMMEDIATELY AFTER DEMOLITION, THE GENERAL CONTRACTOR IS TO ADVISE PROJECT MANAGER OF ANY DISCREPANCIES IN OVERALL LENGTH, WIDTH, AVAILABLE CEILING HEIGHT AND TYPES, COLUMN LOCATIONS, STOREFRONT, UTILITY LOCATIONS, OBSTRUCTIONS TO GRAPHICS, FIRE ALARM REQUIREMENTS, ETC.
- 2. EXERCISE PROPER PRECAUTION TO VERIFY EXISTING CONDITIONS AND LAYOUT OF WORK. CONTRACTOR TO NOTIFY TENANT OF ANY DISCREPANCIES IMMEDIATELY. THE CONTRACTOR IS RESPONSIBLE FOR ANY ERROR RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS. SUCH ERRORS WILL NOT BE CONSIDERED SUBSEQUENTLY AS BASIS FOR EXTRA COMPENSATION.
- 3. GENERAL CONTRACTOR IS TO LAY OUT WORK AND BE RESPONSIBLE FOR ALL LINES, MEASUREMENTS

SPECIFICATIONS, OR SHOULD HE/SHE BE IN DOUBT AS TO THEIR MEANING, THEY SHALL AT ONCE

- OF THE BUILDING, UTILITIES AND OTHER WORK EXECUTED UNDER THE CONTRACT 4 SHOULD A CONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM, THE DRAWINGS OR
- NOTIFY WHICH WICH PROJECT MANAGER. 5. ALL WORK, MATERIALS AND INSTALLATIONS SHALL BE IN STRICT ACCORDANCE WITH ALL ORDINANCES STATE AND LOCAL BUILDING CODES, LATEST EDITIONS, LOADS AND CODE RESTRICTIONS FOR ALL DESIGN CONSIDERATIONS SHALL CONFORM TO THE LOCAL AND STATE CODES AND ALL OTHER GOVERNING CODES.

#### C. CONTRACTORS' USE OF PREMISES

- 1. ALL SUB-TRADES SHALL COORDINATE THEIR WORK WITH THE OTHER OR WITH EXISTING CONDITIONS OCCURRING ABOVE AND BELOW THE LEASED PREMISES AND SHALL MAKE CHANGES FROM TIME TO TIME AS REQUIRED TO ACCOMMODATE SUCH WORK OR CONDITIONS
- 2. CONTRACTORS' SIGNS OR ANY OTHER TYPE OF SIGNS MAY NOT BE DISPLAYED ON BARRICADES. 3. ALL TRADES SHALL CONFINE CONSTRUCTION WORK TO WITHIN JOB SITE AS MUCH AS POSSIBLE AND SHALL WORK IN AN ORDERLY MANNER REMOVING TRASH AND DEBRIS FROM THE SITE ON A DAILY
- AREAS WHERE HARM COULD BE CAUSED TO THE PUBLIC. 4. THERE WILL BE NO STORAGE OF MATERIAL OR DEBRIS OUTSIDE OF JOB SITE AREAS AT ANY TIME. IF DEBRIS IS FOUND IN THIS AREA, IT WILL BE REMOVED AT THE EXPENSE OF THE CONTRACTOR THAT IS

BASIS. AT NO TIME WILL PIPES, WIRES, BOARDS OR OTHER CONSTRUCTION MATERIALS CROSS PUBLIC

5. ALL SUB-TRADES SHALL VERIFY REMOVAL OF DEBRIS AND WASTE GENERATED BY THEIR TRADES WITH

#### D. DELIVERY, STORAGE & HANDLING

- 1. GENERAL CONTRACTOR IS RESPONSIBLE FOR OVERSEEING THE MOVING, UNCRATING, ASSEMBLING, DISCARDING DEBRIS AND THE PLACING OF FF&E AS ESTABLISHED BY THE SEATING & EQUIPMENT PLAN
- 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR UNLOADING ALL OWNER MATERIAL PROVIDED AT THE JOB SITE, IF EVIDENCE OF DAMAGE IS FOUND, GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND CLAIMING ALL FREIGHT CLAIMS.
- 3. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ACCEPTABLE HOURS FOR DELIVERY AND LOCATION OF DELIVERY OF BUILDING PRODUCTS AND TENANT'S MATERIALS WITH OWNER.

#### SECTION 02070 - SELECTIVE DEMOLITION

- A. OWNER WILL OCCUPY PORTIONS OF THE BUILDING IMMEDIATELY ADJACENT TO AREAS OF SELECTIVE DEMOLITION. CONDUCT SELECTIVE DEMOLITION WORK IN MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION OF OWNER'S NORMAL OPERATIONS
- B. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
- 1. PROVIDE SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF ELEMENT TO BE DEMOLISHED AND ADJACENT FACILITIES OR WORK TO REMAIN.
- 2. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
- 3. PROTECT FLOORS WITH SUITABLE COVERINGS WHEN NECESSARY.
- 4. CONSTRUCT TEMPORARY INSULATED DUST PROOF PARTITIONS WHERE REQUIRED TO SEPARATE AREAS WHERE NOISY OR EXTENSIVE DIRT OR DUST OPERATIONS ARE PERFORMED REMOVE PROTECTIONS AT COMPLETION OF WORK.
- C. DAMAGES: PRIOR TO CONSTRUCTION COMPLETION REPAIR DAMAGES CAUSED TO ADJACENT
- D. UTILITY SERVICES: MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT
- THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. 1. DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED FACILITIES.
- 2. MAINTAIN FIRE PROTECTION SERVICES DURING SELECTIVE DEMOLITION OPERATIONS
- 3. COVER AND PROTECT FURNITURE, EQUIPMENT, AND FIXTURES FROM SOILAGE OR DAMAGE WHEN
- DEMOLITION WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED.
- 4. LOCATE, IDENTIFY, STUB OFF, AND DISCONNECT UTILITY SERVICES THAT ARE NOT INDICATED TO REMAIN. PATCH AND REPAIR ANY UNUSED ROOF PENETRATIONS.
- E. REMOVE FROM BUILDING SITE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OFF SITE.
- F. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT, AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN.

#### SECTION 05400 - COLD-FORMED METAL FRAMING

- A. GENERAL: INSTALL METAL FRAMING SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S PRINTED OR WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
- B. INSTALL CONTINUOUS TRACKS SIZED TO MATCH STUDS. ALIGN TRACKS ACCURATELY TO LAYOUT AT BASE AND TOPS OF STUDS. SECURE TRACKS AS RECOMMENDED BY STUD MANUFACTURER FOR TYPE OF CONSTRUCTION INVOLVED, EXCEPT DO NOT EXCEED 24 INCHES O.C. SPACING FOR NAIL OR POWER-DRIVEN FASTENERS OR 16 INCHES O.C. FOR OTHER TYPES OF ATTACHMENT. PROVIDE
- FASTENERS AT CORNERS AND ENDS OF TRACKS. C. SECURE STUDS TO TOP AND BOTTOM RUNNER TRACKS BY EITHER WELDING OR SCREW FASTENING AT BOTH INSIDE AND OUTSIDE FLANGES.
- D. INSTALL SUPPLEMENTARY FRAMING, BLOCKING, AND BRACING IN METAL FRAMING SYSTEM WHEREVER WALLS OR PARTITIONS ARE INDICATED TO SUPPORT FIXTURES, EQUIPMENT, SERVICES, CASEWORK. HEAVY TRIM AND FURNISHINGS, AND SIMILAR WORK REQUIRING ATTACHMENT TO THE WALL OR PARTITION. COMPLY WITH STUD MANUFACTURER'S RECOMMENDATIONS AND INDUSTRY STANDARDS IN
- EACH CASE, CONSIDERING WEIGHT OR LOADING RESULTING FROM ITEM SUPPORTED. E. INSTALLATION OF JOISTS: INSTALL LEVEL, STRAIGHT, AND PLUMB, COMPLETE WITH BRACING AND
- REINFORCING. PROVIDE NOT LESS THAN 1-1/2-INCH END BEARING. F. REINFORCE ENDS WITH END CLIPS, STEEL HANGERS, STEEL ANGLE CLIPS, STEEL STUD SECTION, OR
- AS OTHERWISE RECOMMENDED BY JOIST MANUFACTURER. G. SECURE JOISTS TO INTERIOR SUPPORT SYSTEMS TO PREVENT LATERAL MOVEMENT OF BOTTOM
- D. SET THRESHOLDS FOR EXTERIOR DOORS IN FULL BED OF BUTYL-RUBBER OR POLYISOBUTYLENE MASTIC SEALANT.
- E. ADJUST AND CHECK EACH OPERATING ITEM OF HARDWARE AND EACH DOOR, TO ENSURE PROPER
- FREELY AND SMOOTHLY AS INTENDED FOR THE APPLICATION MADE.

- SECTION 06100 ROUGH CARPENTRY
- A. GRADE: "STANDARD" GRADE LIGHT-FRAMING-SIZE LUMBER OF ANY SPECIES OR BOARD-SIZE LUMBER AS REQUIRED.
- B. PLYWOOD BACKING PANELS: FOR MOUNTING ELECTRICAL OR TELEPHONE EQUIPMENT, PROVIDE FIRE-RETARDANT-TREATED PLYWOOD PANELS WITH GRADE DESIGNATION, APA C-D PLUGGED EXPOSURE 1. NOT LESS THAN 15/32 INCH.
- C. NAILS, WIRE, BRADS, AND STAPLES: FS FF-N-105. D. POWER DRIVEN FASTENERS: NATIONAL EVALUATION REPORT NER-272.
- E. WOOD SCREWS: ANSI B18.6.1.

AND CUT AND FITTED.

- F. LAG BOLTS: ANSI B18.2.1 G. BOLTS: STEEL BOLTS COMPLYING WITH ASTM A 307, GRADE A; WITH ASTM A 563 HEX NUTS AND WHERE
- 1 PROVIDE FIRE-RETARDANT-TREATED WOOD FOR WHICH A CURRENT MODEL CODE EVALUATION/RESEARCH REPORT EXISTS THAT IS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION AND THAT EVIDENCES COMPLIANCE OF FIRE-RETARDANT-TREADTED WOOD FOR APPLICATION H. SET ROUGH CARPENTRY TO REQUIRED LEVELS AND LINES, WITH MEMBERS PLUMB AND TRUE TO LINE
- I. FIT ROUGH CARPENTRY TO OTHER CONSTRUCTION; SCRIBE AND COPE AS REQUIRED FOR ACCURATE FIT. CORRELATE LOCATION OF FURRING, NAILERS, BLOCKING, GROUNDS, AND SIMILAR SUPPORTS TO
- ALLOW ATTACHMENT OF OTHER CONSTRUCTION. J. USE COMMON WIRE NAILERS, UNLESS OTHERWISE INDICATED. USE FINISHING NAILS FOR FINISH WORK. SELECT FASTENERS OF SIZE THAT WILL NOT PENETRATE MEMBERS WHERE OPPOSITE SIDE WILL BE EXPOSED TO VIEW OR WILL RECEIVE FINISH MATERIALS. MAKE TIGHT CONNECTIONS BETWEEN MEMBERS. INSTALL FASTENERS WITHOUT SPLITTING OF WOOD; PREDRILL AS REQUIRED.

A. PROTECT FINISH CARPENTRY MATERIALS DURING TRANSIT, DELIVERY, STORAGE AND HANDLING TO

- SECTION 06200 FINISH CARPENTRY
- PREVENT DAMAGE, SOILING AND DETERIORATION. NOMINAL SIZES ARE INDICATED. EXCEPT AS SHOWN BY DETAILED DIMENSIONS. PROVIDE DRESSED OR WORKED AND DRESSED LUMBER, AS APPLICABLE, MANUFACTURED TO THE ACTUAL SIZES AS REQUIRED BY PS 20 OR TO ACTUAL SIZES AND PATTERNS AS SHOWN, UNLESS OTHERWISE INDICATED
- 2. MOISTURE CONTENT OF SOFTWOOD LUMBER: PROVIDE SEASONED (KD) LUMBER HAVING A MOISTURE CONTENT FROM TIME OF MANUFACTURE UNTIL TIME OF INSTALLATION NOT GREATER THAN VALUES REQUIRED BY THE APPLICABLE GRADING RULES OF THE RESPECTIVE GRADING AND INSPECTING AGENCY FOR THE SPECIES AND PRODUCT INDICATED.
- 3. LUMBER FOR PAINTED FINISH: AT CONTRACTOR'S OPTION, USE PIECES WHICH ARE EITHER GLUED-UP LUMBER OR MADE OF SOLID LUMBER STOCK
- 4. STANDING AND RUNNING TRIM FOR PAINTED FINISH: ANY WESTERN SOFT- WOOD SPECIES GRADED AND INSPECTED BY WWPA COMPLYING WITH THE FOLLOWING REQUIREMENTS: A. GRADE FOR STANDARD SIZES AND PATTERNS: "B SELECT"
- 5. FASTENERS AND ANCHOR: PROVIDE NAILS, SCREWS AND OTHER ANCHORING DEVICES OF THE TYPE, SIZE, MATERIAL AND FINISH REQUIRED FOR APPLICATION INDICATED TO PROVIDE SECURE
- ATTACHMENT, CONCEALED WHERE POSSIBLE, AND COMPLYING WITH APPLICABLE FEDERAL B. FIRE-REFARGATIONS ATED WOOD (FRTW): WHERE WOOD IS INDICATED AS "FRTW". PROVIDE MATERIALS COMPLYING WITH APPLICABLE STANDARDS FOR PRESSURE IMPREGNATION WITH FIRE-RETARDANT CHEMICALS AND WITH THE FOLLOWING REQUIREMENTS.
- AWPA STANDARD FOR PLYWOOD: AWPA C 27. 2. KILN-DRY WOOD AFTER TREATMENT TO A MAXIMUM MOISTURE CONTENT OF 15% FOR PLYWOOD, 19% FOR LUMBER.
- 3. INSPECT EACH PIECE OF PLYWOOD AFTER DRYING; DO NOT USE TWISTED, WARPED, BOWED OR OTHERWISE DAMAGED OR DEFECTIVE WOOD. C. DISCARD UNITS OF MATERIAL WHICH ARE UNSOUND, WARPED, BOWED TWISTED, IMPROPERLY
- TREATED, NOT ADEQUATELY SEASONED OR TOO SMALL TO FABRICATE WORK WITH MINIMUM OF JOISTS OR OPTIMUM JOINTING ARRANGEMENTS, OR WHICH ARE DEFECTIVE WITH RESPECT TO SURFACES, SIZES OR PATTERNS D. INSTALL THE WORK PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED
- USING CONCEALED SHIMS. E. SCRIBE AND CUT WORK TO FIT ADJOINING WORK, AND REFINISH CUT SURFACES OR REPAIR DAMAGED
- F. STANDING AND RUNNING TRIM: INSTALL WITH MINIMUM NUMBER OF JOINTS POSSIBLE, USING FULL-LENGTH PIECES (FROM MAXIMUM LENGTHS OF LUMBER AVAILABLE) TO THE GREATEST EXTENT POSSIBLE. STAGGER JOINTS IN ADJACENT AND RELATED MEMBERS. COPE AT RETURNS, MITER AT CORNERS, TO PRODUCE TIGHT FITTING JOINTS WITH FULL SURFACE CONTACT THROUGHOUT LENGTH OF JOINT. USE SCARF JOINTS FOR END-TO-END JOINTS.
- G. FIRE-RETARDANT TREATED WOOD (FRTW): HANDLE, STORE AND INSTALL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS AND AS REQUIRED TO MEET REQUIRED CLASSIFICATION OR RATING. PROVIDE SPECIAL FASTENERS, MOLDINGS, ADHESIVES AND OTHER ACCESSORIES AS TESTED AND LISTED FOR TYPE OF FIRE-RETARDANT MATERIALS INDICATED.
- H. ANCHOR FINISHED CARPENTRY WORK TO ANCHOR DEVICES OR BLOCKING BUILT-IN DIRECTLY ATTACHED TO SUBSTRATES. SECURE TO GROUNDS. STRIPPING AND BLOCKING WITH COUNTERSUNK. CONCEALED FASTENERS AND BLIND NAILING AS REQUIRED FOR A COMPLETE INSTALLATION, USE FINE FINISHING NAIL FOR EXPOSED NAILINGS. COUNTERSUNK AND FILLED FLUSH WITH FINISHED SURFACE.
- SECTION 08111 STANDARD STEEL DOORS AND FRAMES A. COMPLY WITH PROVISIONS OF SDI-105 "RECOMMENDED ERECTION INSTRUCTIONS FOR STEEL FRAMES."

  1. SET FRAMES ACCURATELY IN POSITION. PLUMBED. ALIGNED. AND BRACED SECURELY UNTIL
- BRACES AND SPREADERS LEAVING SURFACES SMOOTH AND UNDAMAGED 2. INSTALL AT LEAST 3 WALL ANCHORS PER JAMB AT HINGE AND STRIKE LEVELS. B. FIT HOLLOW METAL DOORS ACCURATELY IN FRAMES, WITHIN CLEARANCES SPECIFIED IN ANSI/SDI-100.

PERMANENT ANCHORS ARE SET. AFTER WALL CONSTRUCTION IS COMPLETED. REMOVE TEMPORARY

- C. IMMEDIATELY AFTER ERECTION, SAND SMOOTH ANY RUSTED OR DAMAGED AREAS OF PRIME COAT AND APPLY TOUCH-UP OF COMPATIBLE AIR-DRYING PRIMER.
- D. IMMEDIATELY PRIOR TO FINAL INSPECTION, REMOVE PROTECTIVE PLASTIC WRAPPINGS FROM PRE
- UNDAMAGED AND IN COMPLETE AND PROPER OPERATING CONDITION. SECTION 08211 - FLUSH WOOD DOORS (WHERE APPLICABLE) A. PROTECT DOORS DURING TRANSIT, STORAGE AND HANDLING TO PREVENT DAMAGE, SOILING AND DETERIORATION. COMPLY WITH REQUIREMENTS OF REFERENCED STANDARDS AND

F CHECK AND READJUST OPERATING HARDWARE ITEMS LEAVING STEEL DOORS AND FRAMES

- RECOMMENDATIONS OF NWWDA PAMPHLET "HOW TO STORE, HANDLE, FINISH, INSTALL, AND MAINTAIN WOOD DOORS", AS WELL AS WITH MANUFACTURER'S INSTRUCTIONS. B. PRIME EXPOSED PORTIONS OF DOORS FOR PAINT FINISH WITH ONE COAT OF WOOD PRIMER.
- C. ALIGN AND FIT DOORS IN FRAMES WITH UNIFORM CLEARANCES AND BEVELS AS INDICATED BELOW; DO NOT TRIM STILES AND RAILS IN EXCESS OF LIMITS SET BY MANUFACTURER. MACHINE DOORS FOR HARDWARE. SEAL CUT SURFACES AFTER FITTING AND MACHINING. SEAL ALL (6) SIDES OF DOORS. 1. FITTING CLEARANCES: PROVIDE 1/8" AT JAMBS AND HEADS AND 1/8" FROM BOTTOM OF DOOR TO TOP
- D. PROTECT DOORS AS RECOMMENDED BY DOOR MANUFACTURER TO ENSURE THAT WOOD DOORS WILL BF WITHOUT DAMAGE OR DETERIORATION AT TIME OF SUBSTANTIAL COMPLETION. SECTION 08710 - FINISH HARDWARE
- A. OBTAIN EACH TYPE OF HARDWARE (LATCH AND LOCK SETS, HINGES, CLOSURES, ETC.) FROM A SINGLE
- MANUFACTURER. 1. FURNISH SCREWS FOR INSTALLATION, WITH EACH HARDWARE ITEM. FINISH OF EXPOSED SCREWS TO
- 2. PROVIDE CONCEALED FASTENERS FOR HARDWARE UNITS WHICH ARE EXPOSED WHEN DOOR IS HINGES, BUTTS AND PIVOTS:
- A. EXCEPT FOR HINGES AND PIVOTS TO BE INSTALLED ENTIRELY (BOTH LEAVES) INTO WOOD DOORS AND FRAMES, PROVIDE ONLY TEMPLATE-PRODUCED UNITS. LOCK CYLINDERS AND KEYING:
- A. PROVIDE NEW MASTER KEY SYSTEM FOR PROJECT.

LOCKS, LATCHES AND BOLTS:

OF DECORATIVE FLOOR FINISH OR COVERING

- B. EQUIP LOCKS WITH MANUFACTURER'S STANDARD 6-PIN TUMBLER CYLINDERS.
- C. CONSTRUCT LOCK CYLINDER PARTS FROM BRASS/BRONZE, STAINLESS STEEL OR NICKEL SILVER. D. PROVIDE KEYS OF NICKEL SILVER ONLY.
- A. STRIKES: PROVIDE MANUFACTURER'S STANDARD WROUGHT BOX STRIKE FOR EACH LATCH OR LOCK BOLT, WITH CURVED LIP EXTENDED TO PROTECT FRAME, FINISHED TO MATCH HARDWARE SET 1. PROVIDE 1/2" MINIMUM THROW ON OTHER LATCH AND DEADLOCK BOLTS.
- DOOR TRIM UNITS: A. FABRICATE PROTECTION PLATES (ARMOR, KICK OR MOP) NOT MORE THAN 1 1/2" LESS THAN DOOR WIDTH ON STOP SIDE AND NOT MORE THAN 1/2" LESS THAN DOOR WIDTH ON PULL SIDE, X THE HEIGHT
- 1. METAL PLATES: STAINLESS STEEL, .050" (U.S. 18 GA.).
- B. PROVIDE MATCHING FINISHES FOR HARDWARE UNITS AT EACH DOOR OR OPENING. C. PROVIDE PROTECTIVE LACQUER COATING IN ALL EXPOSED HARDWARE FINISHES OF BRASS, BRONZE AND ALUMINUM.
- A. MOUNT HARDWARE UNITS AT HEIGHTS INDICATED IN "RECOMMENDED LOCATIONS FOR BUILDERS DWARE FOR STANDARD STEEL DOORS AND FRAMES" BY THE DOOR AND HARDWARE INSTITUTE
- B INSTALL FACH HARDWARE ITEM IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. WHEREVER CUTTING AND FITTING IS REQUIRED TO INSTALL HARDWARE ONTO OR INTO SURFACES WHICH ARE LATER TO BE PAINTED OR FINISHED IN ANOTHER WAY, COORDINATE
- HING WORK. DO NOT INSTALL SURFACE-MOUNTED ITEMS UNTIL FINISHES HAVE BEEN COMPLETED SETURITY REVELT, FLUMB AND TRUE TO LINE AND LOCATION. ADJUST AND REINFORCE THE ATTACHMENT SUBSTRATE AS NECESSARY FOR PROPER INSTALLATION AND OPERATION.

REMOVAL, STORAGE AND REINSTALLATION OR APPLICATION OF SURFACE PROTECTIONS WITH

- OPERATION OR FUNCTION OF EVERY UNIT. REPLACE UNITS WHICH CANNOT BE ADJUSTED TO OPERATE
- F. CLEAN ADJACENT SURFACES SOILED BY HARDWARE INSTALLATION.

- SECTION 09250 GYPSUM DRYWALL
- TREATMENT MATERIALS FROM A SINGLE MANUFACTURER STEEL FRAMING FOR WALLS AND PARTITIONS:
- A. STEEL STUDS AND RUNNERS: ASTM C 645, WITH FLANGE EDGES OF STUDS BENT BACK 90 DEG AND DOUBLE OVER TO FORM 3/16" MINIMUM LIP (RETURN) AND COMPLYING WITH THE FOLLOWING REQUIREMENTS FOR MINIMUM THICKNESS OF BASE (UNCOATED) METAL AND FOR DEPTH:

A. SINGLE SOURCE RESPONSIBILITY: OBTAIN EACH TYPE OF GYPSUM BOARD AND RELATED JOINT

- 1. THICKNESS: 25 GAUGE, UNLESS OTHERWISE INDICATED.
- DEPTH: AS INDICATED.
- B. FASTENERS: PROVIDE FASTENERS OF TYPE, MATERIAL, SIZE, CORROSION RESISTANCE, HOLDING POWER AND OTHER PROPERTIES REQUIRED TO FASTEN STEEL FRAMING AND FURRING MEMBERS SECURELY TO SUBSTRATES INVOLVED; COMPLYING WITH THE RECOMMENDATIONS OF GYPSUM DRYWALL MANUFACTURERS FOR APPLICATIONS INDICATED. GYPSUM BOARD
- A. GENERAL: PROVIDE GYPSUM BOARD OF TYPES INDICATED IN MAXIMUM LENGTHS AVAILABLE TO MINIMIZE END-TO-END JOINTS
- 1. THICKNESS: PROVIDE GYPSUM BOARD IN THICKNESS INDICATED AND TO COMPLY WITH ASTM C 840 FOR APPLICATION SYSTEM AND SUPPORT SPACING INDICATED.
- B. GYPSUM WALLBOARD: ASTM C 36, AND AS FOLLOWS: 1. TYPE: REGULAR, UNLESS OTHERWISE INDICATED.

A. "LC" BEAD, UNLESS OTHERWISE INDICATED.

- C. CORNER BEAD AND EDGE TRIM FOR INTERIOR INSTALLATION: PROVIDE CORNER BEADS, EDGE TRIM AND CONTROL JOINTS WHICH COMPLY WITH ASTM C 1047 AND REQUIREMENTS INDICATED BELOW: 1. MATERIAL: FORMED METAL COMPLYING WITH THE FOLLOWING REQUIREMENT:
- A. SHEET STEEL ZINC-COATED BY HOT-DIP PROCESS. 2. EDGE TRIM SHAPED INDICATED BELOW BY REFERENCE TO DESIGNATIONS OF FIG. 1 IN ASTM C 1047:
- GYPSUM BOARD JOINT TREATMENT MATERIALS A. GENERAL: PROVIDE MATERIALS COMPLYING WITH ASTM C 475, ASTM C 840, AND RECOMMENDATIONS OF MANUFACTURER OF BOTH GYPSUM BOARD AND JOINT TREATMENT MATERIALS FOR THE
- APPLICATION INDICATED. B. JOINT TAPE: PAPER REINFORCING TAPE, UNLESS OTHERWISE INDICATED.
- 1. USE PRESSURE SENSITIVE OR STAPLE-ATTACHED OPEN-WEAVE GLASS FIBER REINFORCING TAPE WITH COMPATIBLE JOINT COMPOUND WHERE RECOMMENDED BY MANUFACTURER OF GYPSUM BOARD AND JOINT TREATMENT MATERIALS FOR APPLICATION INDICATED. C. DRYING-TYPE JOINT COMPOUNDS: FACTORY-PREPACKAGED VINYL-BASED PRODUCTS.
- MISCELLANEOUS MATERIALS: A. GENERAL: PROVIDE AUXILIARY MATERIALS FOR GYPSUM DRYWALL CONSTRUCTION WHICH COMPLY WITH REFERENCED STANDARDS AND THE RECOMMENDATIONS OF THE MANUFACTURER OF THE B. GYPSUM BOARD SCREWS: ASTM C 1002.
- A. EXAMINE SUBSTRATES TO WHICH DRYWALL CONSTRUCTION ATTACHES OR ABUTS. PRESET HOLLOW METAL FRAMES, CAST-IN-ANCHORS, AND STRUCTURAL FRAMING, WITH INSTALLER PRESENT, FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE OF DRYWALL CONSTRUCTION. DO NOT PROCEED WITH INSTALLATION
- UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. B. STEEL FRAMING INSTALLATION STANDARD: INSTALL STEEL FRAMING TO COMPLY WITH ASTM C 754 AND WITH ASTM C 840 REQUIREMENTS THAT APPLY TO FRAMING INSTALLATION.
- C. INSTALL SUPPLEMENTARY FRAMING, BLOCKING AND BRACING AT TERMINATION'S IN THE WORK AND FOR SUPPORT OF FIXTURES, EQUIPMENT SERVICES, HEAVY TRIM, GRAB BARS, TOILET ACCESSORIES. FURNISHINGS, AND SIMILAR CONSTRUCTION TO COMPLY WITH DETAILS INDICATED AND WITH RECOMMENDATIONS OF GYPSUM BOARD MANUFACTURER, OR IF NONE AVAILABLE, WITH "GYPSUM CONSTRUCTION HANDBOOK" PUBLISHED BY UNITED STATES GYPSUM CO.
- D. ISOLATE STEEL FRAMING FROM BUILDING STRUCTURE TO PREVENT TRANSFER OF LOADING IMPOSED BY STRUCTURAL MOVEMENT, AT LOCATIONS INDICATED BELOW TO COMPLY WITH DETAILS SHOWN ON DRAWINGS: 1. WHERE PARTITION AND WALL FRAMING ABUTS OVERHEAD STRUCTURE.
- A. PROVIDE SLIP OR CUSHIONED TYPE JOINTS AS DETAILED TO ATTAIN LATERAL SUPPORT AND AVOID AXIAL LOADING.
- INSTALLATION OF STEEL FRAMING FOR WALLS AND PARTITIONS: A. INSTALL RUNNERS (TRACK) AT FLOORS, CEILINGS AND STRUCTURAL WALLS AND COLUMNS WHERE GYPSUM DRYWALL STUD SYSTEM ABUTS OTHER CONSTRUCTION. 1. WHERE STUDS ARE INSTALLED DIRECTLY AGAINST EXTERIOR WALLS, INSTALL ASPHALT FELT STRIPS
- BETWEEN STUDS AND WALL B. INSTALLATION TOLERANCES: INSTALL EACH STEEL FRAMING AND FURRING MEMBER SO THAT FASTENING SURFACE DO NOT VARY MORE THAN 1/8" FROM PLAN OF FACES OF ADJACENT FRAMING.
- C. INSTALL STEEL STUDS AND FURRING IN SIZES AND AT SPACINGS INDICATED BUT NOT LESS THAN THAT REQUIRED BY REFERENCED STEEL FRAMING INSTALLATION STANDARD D. INSTALL STEEL STUDS SO THAT FLANGES POINT IN THE SAME DIRECTION AND GYPSUM BOARDS CAN BE INSTALLED IN THE DIRECTION OPPOSITE TO THAT OF THE FLANGE

F FRAME DOOR OPENINGS TO COMPLY WITH DETAILS INDICATED, WITH GA-219 AND WITH APPLICABLE

- PUBLISHED RECOMMENDATIONS OF GYPSLIM BOARD MANUFACTURER, ATTACH VERTICAL STUDS AT JAMBS WITH SCREWS FITHER DIRECTLY TO FRAMES OR TO JAMB ANCHOR CLIPS ON DOOR FRAMES INSTALL RUNNER TRACK SECTION (FOR CRIPPLE STUDS) AT HEAD AND SECURE TO JAMB STUDS. F. FRAME OPENINGS OTHER THAN DOOR OPENINGS IN SAME MANNER AS REQUIRED FOR DOOR
- ENINGS; AND INSTALL FRAMING BELOW SILLS OF OPENINGS TO MATCH FRAMING REQUIRED ABOVE G. GYPSUM BOARD APPLICATION AND FINISHING STANDARD: INSTALL AND FINISH GYPSUM BOARD TO COMPLY WITH ASTM C 840 H. LOCATE EXPOSED END-BUTT JOINTS AS FAR FROM CENTER OF WALLS AND CEILINGS AS POSSIBLE
- I. INSTALL WALL/PARTITION BOARDS IN MANNER WHICH MINIMIZES THE NUMBER OF END-BUTT JOINTS OR VOIDS THEM ENTIRELY WHERE POSSIBLE. AT STAIRWELLS AND SIMILAR HIGH WALLS, INSTALL BOARDS HORIZONTALLY WITH END JOINTS STAGGERED OVER STUDS. J. LOCATE EITHER EDGE OR END JOINTS OVER SUPPORTS, POSITION BOARDS SO THAT LIKE EDGES
- ABUT, TAPERED EDGES AGAINST TAPERED EDGES AND MILL-CUT OR FIELD-CUT ENDS AGAINST MILL-CUT OR FIELD-CUT ENDS.

AND STAGGER NOT LESS THAN 24 INCHES IN ALTERNATE COURSE OF BOARD

- K. SPACE FASTENERS IN GYPSUM BOARDS IN ACCORDANCE WITH REFERENCED GYPSUM BOARD APPLICATION AND FINISHING STANDARD AND MANUFACTURER'S RECOMMENDATIONS.
- L. APPLY GYPSUM BOARDS TO SUPPORTS AS FOLLOWS:
- FASTEN WITH SCREWS.
- M. INSTALL CORNER BEADS AT EXTERNAL CORNERS. N. INSTALL METAL EDGE TRIM WHENEVER EDGE OF GYPSUM BOARD WOULD OTHERWISE BE EXPOSED OR SEMI-EXPOSED. PROVIDE TYPE WITH FACE FLANGE TO RECEIVE JOINT COMPOUND.
- A. GENERAL: APPLY JOINT TREATMENT AT GYPSUM BOARD JOINTS (BOTH DIRECTIONS): FLANGES OF CORNER BEAD, EDGE TRIM, AND CONTROL JOINTS: PENETRATIONS: FASTENER HEADS, SURFACE
- DEFECTS AND ELSEWHERE AS REQUIRED TO PREPARE WORK FOR DECORATION. B. APPLY JOINT TAPE AT JOINTS BETWEEN GYPSUM BOARDS, EXCEPT WHERE TRIM ACCESSORIES ARE
- INDICA LIDE. FINISH INTERIOR GYPSUM WALLBOARD BY APPLYING THE FOLLOWING JOINT COMPOUNDS IN 3 COATS (NOT INCLUDING PRE-FILL OF OPENINGS IN BASE), AND SAND BETWEEN COATS AND AFTER LAST COAT
- EMBEDDING AND FIRST COAT: DRYING-TYPE ALL-PURPOSE OR TAPING COMPOUND.
- 2. FILL (SECOND) COAT: DRYING-TYPE ALL-PURPOSE OR TOPPING COMPOUND. FINISH (THIRD) COAT: DRYING-TYPE ALL-PURPOSE OR TOPPING COMPOUND.
- SECTION 09511 ACOUSTICAL PANEL CEILINGS (WHERE APPLICABLE) DELIVERY, STORAGE, AND HANDLING A. DELIVER ACOUSTICAL CEILING UNITS TO PROJECT SITE IN ORIGINAL, UNOPENED PACKAGES AND STORE THEM IN A FULLY ENCLOSED SPACE WHERE THEY WILL BE PROTECTED AGAINST DAMAGE FROM
- MOISTURE, DIRECT SUNLIGHT, SURFACE CONTAMINATION, AND OTHER CAUSES. B. HANDLE ACOUSTICAL CEILING UNITS CAREFULLY TO AVOID CHIPPING EDGES OR DAMAGING UNITS IN EXAMINATION
- A. EXAMINE SUBSTRATES AND STRUCTURAL FRAMING TO WHICH CEILING SYSTEM ATTACHES OR ABUTS, WITH INSTALLER PRESENT, FOR COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THIS AND OTHER SECTIONS THAT AFFECT INSTALLATION AND ANCHORAGE OF CEILING SYSTEM. DO NOT PROCEED WITH INSTALLATION UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. CONFIRM INSTALLATION . WITH SITE SUPERVISOR. . MEASURE EACH CEILING AREA AND ESTABLISH LAYOUT OF ACOUSTICAL UNITS TO BALANCE BORDER
- WIDTHS AT OPPOSITE EDGES OF EACH CEILING. AVOID USE OF LESS-THAN-HALF-WIDTH UNITS AT BORDERS, AND COMPLY WITH REFLECTED CEILING PLANS. C. GENERAL: INSTALL ACOUSTICAL CEILING SYSTEMS TO COMPLY WITH INSTALLATION STANDARD REFERENCED BELOW, PER MANUFACTURER'S INSTRUCTIONS AND CISCA "CEILING SYSTEMS

HANDBOOK "
STANDARD FOR INSTALLATION OF CEILING SUSPENSION SYSTEMS:

- COMPLY WITH ASTM C 636.
- D. SUSPEND CEILING HANGERS FROM BUILDING STRUCTURAL MEMBERS AND AS FOLLOWS: 1. INSTALL HANGERS PLUMB AND FREE FROM CONTACT WITH INSULATION OR OTHER OBJECTS WITHIN CEILING PLENUM THAT ARE NOT PART OF SUPPORTING STRUCTURAL OR CEILING SUSPENSION SYSTEM. SPLAY HANGERS ONLY WHERE REQUIRED TO MISS OBSTRUCTIONS AND OFFSET RESULTING

HORIZONTAL FORCES BY BRACING, COUNTER SPLAYING, OR OTHER EQUALLY EFFECTIVE MEANS.

SPACINGS THAT INTERFERE WITH THE LOCATION OF HANGERS AT SPACINGS REQUIRED TO SUPPORT

2. WHERE WIDTH OF DUCTS AND OTHER CONSTRUCTION WITHIN CEILING PLENUM PRODUCES HANGER

STANDARD SUSPENSION SYSTEM MEMBERS, INSTALL SUPPLEMENTAL SUSPENSION MEMBERS AND HANGERS IN FORM OF TRAPEZES OR EQUIVALENT DEVICES. SIZE SUPPLEMENTAL SUSPENSION MEMBERS AND HANGERS TO SUPPORT CEILING LOADS WITHIN PERFORMANCE LIMITS ESTABLISHED BY SECERE WERE STANGERDBY LOOPING AND WIRE-TYING, EITHER DIRECTLY TO STRUCTURES OR TO INSERTS, EYESCREWS, OR OTHER DEVICES THAT ARE SECURE AND APPROPRIATE FOR SUBSTRATE

AND IN A MANNER THAT WILL NOT CAUSE THEM TO DETERIORATE OR OTHERWISE FAIL DUE TO AGE.

CORROSION, OR ELEVATED TEMPERATURES. 4. DO NOT ATTACH HANGERS TO STEEL DECK TABS.

ENDS OF EACH MEMBER.

5. DO NOT ATTACH HANGERS TO STEEL ROOF DECK. ATTACH HANGERS TO STRUCTURAL MEMBERS. 6. SPACE HANGERS NOT MORE THAN 4'-0" O.C. ALONG EACH MEMBER SUPPORTED DIRECTLY FROM HANGERS, UNLESS OTHERWISE SHOWN, AND PROVIDE HANGERS NOT MORE THAN 8 INCHES FROM

- E. SCRIBE AND CUT PANELS TO FIT ACCURATELY AT BORDERS AND AT PENETRATIONS. 1. INSTALL HOLD-DOWN CLIPS IN AREAS INDICATED AND IN AREAS WHERE REQUIRED BY GOVERNING REGULATIONS OR FOR FIRE-RESISTANCE RATINGS; SPACE AS RECOMMENDED BY PANEL MANUFACTURER, UNLESS OTHERWISE INDICATED OR REQUIRED
- F. CLEAN EXPOSED SURFACES OF ACOUSTICAL CEILINGS, INCLUDING TRIM, EDGE MOLDINGS, AND SUSPENSION MEMBERS. COMPLY WITH MANUFACTURER'S INSTRUCTIONS FOR CLEANING AND TOUCH-UP OF MINOR FINISH DAMAGE. REMOVE AND REPLACE WORK THAT CAN NOT BE SUCCESSFULLY CLEANED AND REPAIRED TO PERMANENTLY ELIMINATE EVIDENCE OF DAMAGE.

#### SECTION 09650 - RESILIENT FLOORING

- A. MAINTAIN MINIMUM TEMPERATURE OF 65 DEGREES F (18 DEGREES C) IN SPACES TO RECEIVE RESILIENT FLOORING FOR AT LEAST 48 HOURS PRIOR TO INSTALLATION, DURING INSTALLATION, AND FOR NOT LESS THAN 48 HOURS AFTER INSTALLATION. STORE RESILIENT FLOORING MATERIALS IN SPACES WHERE THEY WILL BE INSTALLED FOR AT LEAST 48 HOURS BEFORE BEGINNING INSTALLATION
- SUBSEQUENTLY, MAINTAIN, MINIMUM TEMPERATURE OF 55 DEGREES F (13 DEGREES C) IN AREAS WHERE WORK IS COMPLETED.

  B. INSTALL RESILIENT FLOORING AND ACCESSORIES AFTER OTHER FINISHING OPERATIONS, INCLUDING PAINTING, HAVE BEEN COMPLETED. DO NOT INSTALL RESILIENT FLOORING OVER CONCRETE SLABS UNTIL THE LATTER HAVE BEEN CURED AND ARE SUFFICIENTLY DRY TO ACHIEVE BOND WITH ADHESIVE AS DETERMINED BY RESILIENT FLOORING MANUFACTURER'S RECOMMENDED BOND AND MOISTURE
- C. ADPLESIVES (CEMENTS): WATERPROOF, STABILIZED TYPE AS RECOMMENDED BY FLOORING MANUFACTURER TO SUIT MATERIAL AND SUBSTRATE CONDITIONS.
- D. CONCRETE SLAB PRIMER: NON-STAINING TYPE AS RECOMMENDED BY FLOORING MANUFACTURER E. LEVELING AND PATCHING COMPOUNDS: LATEX TYPE AS RECOMMENDED BY FLOORING MANUFACTURER.
- A. REQUIRE INSTALLER TO INSPECT SUBFLOOR SURFACES TO DETERMINE THAT THEY ARE SATISFACTORY. A SATISFACTORY SUBFLOOR SURFACE IS DEFINED AS ONE THAT IS SMOOTH AND FREE FROM CRACKS, HOLES, RIDGES, COATINGS PREVENTING ADHESIVE BOND, AND OTHER DEFECTS
- IMPAIRING PERFORMANCE OR APPEARANCE B. DO NOT ALLOW RESILIENT FLOORING WORK TO PROCEED UNTIL SUBFLOOR SURFACES ARE SATISFACTORY.
- A. PREPARE SUBFLOOR SURFACES AS FOLLOWS: 1. USE LEVELING AND PATCHING COMPOUNDS AS RECOMMENDED BY RESILIENT FLOORING MANUFACTURER FOR FILLING SMALL CRACKS, HOLES AND DEPRESSIONS IN SUBFLOORS.
- 2. REMOVE COATINGS FROM SUBFLOOR SURFACES THAT WOULD PREVENT ADHESIVE BOND, INCLUDING CURING COMPOUNDS INCOMPATIBLE WITH RESILIENT FLOORING ADHESIVES, PAINT, OILS, WAXES AND
- C. APPLY CONCRETE SLAB PRIMER, IF RECOMMENDED BY FLOORING MANUFACTURER, PRIOR TO APPLICATION OF ADHESIVE. APPLY IN COMPLIANCE WITH MANUFACTURER'S DIRECTIONS 2.3 INSTALLATION, GENERAL

B. BROOM CLEAN OR VACUUM SURFACES TO BE COVERED, AND INSPECT SUBFLOOR

- A. INSTALL RESILIENT FLOORING USING METHOD INDICATED IN STRICT COMPLIANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS B. SCRIBE, CUT, AND FIT RESILIENT FLOORING TO PERMANENT FIXTURES, BUILT-IN FURNITURE AND
- CABINETS, PIPES, OUTLETS AND PERMANENT COLUMNS, WALLS AND PARTITIONS C. TIGHTLY CEMENT RESILIENT FLOORING TO SUBBASE WITHOUT OPEN CRACKS, VOIDS, RAISING AND PUCKERING AT JOINTS. TELEGRAPHING OF ADHESIVE SPREADER MARKS, OR OTHER SURFACE IMPERFECTIONS. HAND ROLL RESILIENT FLOORING AT PERIMETER OF EACH COVERED AREA TO ASSURE ADHESION.
- 2.4 INSTALLATION OF TILE FLOORS: A. LAY TILE FROM CENTER MARKS ESTABLISHED WITH PRINCIPAL WALLS, DISCOUNTING MINOR OFFSETS, SO THAT TILE AT OPPOSITE EDGES OF ROOM ARE OF EQUAL WIDTH. ADJUST AS NECESSARY TO AVOID USE OF CUT WIDTHS LESS THAN 1/2 TILE AT ROOM PERIMETERS. LAY TILE SQUARE TO ROOM
- AXIS. UNLESS OTHERWISE SHOWN. B. MATCH TILES FOR COLOR AND PATTERN BY USING TILE FROM CARTONS IN SAME SEQUENCE AS MANUFACTURED AND PACKAGED IF SO NUMBERED, CUT TILE NEATLY AROUND ALL FIXTURES. BROKEN, CRACKED, CHIPPED OR DEFORMED TILE ARE NOT ACCEPTABLE.
- 2.5 INSTALLATION OF SHEET FLOORING: A. LAY SHEET FLOORING TO PROVIDE AS FEW SEAMS AS POSSIBLE WITH ECONOMICAL USE OF MATERIALS. MATCH EDGES FOR COLOR SHADING AND PATTERN AT SEAMS IN COMPLIANCE WITH

C. ADHERE TILE FLOORING TO SUBSTRATES USING FULL SPREAD OF ADHESIVE APPLIED IN COMPLIANCE

- MANUFACTURER'S RECOMMENDATIONS. B. ADHERE SHEET FLOORING TO SUBSTRATES USING METHOD APPROVED BY FLOORING MANUFACTURER FOR TYPE OF SHEET FLOORING AND SUBSTRATE CONDITION INDICATED.
- USE CONVENTIONAL FULL SPREAD ADHESIVE METHOD. 2. USE CONVENTIONAL PERIMETER BONDING ADHESIVE PROCEDURES WHERE RECOMMENDED BY

C. PREPARE SEAMS IN VINYL SHEET FLOORING IN ACCORDANCE WITH THE MANUFACTURER'S

#### INSTRUCTIONS FOR MOST INCONSPICUOUS APPEARANCE, SEALING CONTINUOUSLY WITH FLUID-APPLIED SEALANT OR ADHESIVE AS STANDARD WITH MANUFACTURER.

2.2 PREPARATION

- INSTALLATION OF ACCESSORIES: A. APPLY WALL BASE TO WALLS, COLUMNS, PILASTERS, CASEWORK AND OTHER PERMANENT FIXTURES IN ROOMS, OR AREAS WHERE BASE IS REQUIRED, INSTALL BASE IN LENGTHS AS LONG AS PRACTICABLE
- EACH PIECE, WITH CONTINUOUS CONTACT AT HORIZONTAL AND VERTICAL SURFACES. 1. ON MASONRY SURFACES, OR OTHER SIMILAR IRREGULAR SUBSTRATES, FILL VOIDS ALONG TOP EDGE OF RESILIENT WALL BASE WITH MANUFACTURER'S RECOMMENDED ADHESIVE FILLER MATERIAL.

WITH PRE FORMED CORNER UNITS. TIGHTLY BOND BASE TO SUBSTRATE THROUGHOUT LENGTH OF

- B PLACE RESILIENT EDGE STRIPS TIGHTLY BUTTED TO ELOORING AND SECURE WITH ADHESIVE INSTALL EDGING STRIPS AT EDGES OF FLOORING WHICH WOULD OTHERWISE BE EXPOSED.
- CLEANING AND PROTECTION: A. PERFORM FOLLOWING OPERATIONS IMMEDIATELY UPON COMPLETION OF RESILIENT FLOORING:

WITH FLOORING MANUFACTURER'S DIRECTIONS.

SWEEP OR VACUUM FLOOR THOROUGHLY.

4. REMOVE ANY EXCESS ADHESIVE OR OTHER SURFACE BLEMISHES, USING APPROPRIATE CLEANER

2. DO NOT WASH FLOOR UNTIL TIME PERIOD RECOMMENDED BY RESILIENT FLOORING MANUFACTURER HAS ELAPSED TO ALLOW RESILIENT FLOORING TO BECOME WELL-SEALED IN ADHESIVE. DAMP-MOP FLOOR BEING CAREFUL TO REMOVE BLACK MARKS AND EXCESSIVE SOIL.

RECOMMENDED BY RESILIENT FLOORING MANUFACTURERS.

B. PROTECT FLOORING AGAINST DAMAGE DURING CONSTRUCTION PERIOD TO COMPLY WITH RESILIENT FLOORING MANUFACTURER'S DIRECTIONS.

A. DELIVER STOCK OF MAINTENANCE MATERIALS TO STORE. FURNISH MAINTENANCE MATERIALS FROM

SAME MANUFACTURED LOT AS MATERIALS INSTALLED AND ENCLOSED IN PROTECTIVE PACKAGING

WITH APPROPRIATE IDENTIFYING LABELS. 1. TILE FLOORING: FURNISH NOT LESS THAN ONE BOX FOR EACH 50 BOXES OR FRACTION THEREOF, FOR EACH TYPE, COLOR, PATTERN AND SIZE INSTALLED.

#### SECTION 09900 - PAINTING

- A. PAINTING INCLUDES FIELD PAINTING EXPOSED BARE AND COVERED PIPES AND DUCTS, HANGERS, EXPOSED STEEL AND IRON WORK, AND PRIMED METAL SURFACES OF MECHANICAL AND ELECTRICAL
- B. PAINTING IS NOT REQUIRED ON PRE-FINISHED ITEMS, FINISHED METAL SURFACES, CONCEALED SURFACES, OPERATING PARTS, AND LABELS.
- C. DELIVER MATERIALS TO THE JOB SITE IN THE MANUFACTURER'S ORIGINAL, UNOPENED PACKAGES AND CONTAINERS BEARING MANUFACTURER'S NAME AND LABEL. PROVIDE MANUFACTURE SPECIFIED. SUBSTITUTIONS MUST BE BY RACK ROOM SHOES PROJECT MANAGER.
- D. STORE MATERIALS NOT IN USE IN TIGHTLY COVERED CONTAINERS IN A WELL-VENTILATED AREA AT A MINIMI IM AMBIENT TEMPERATURE OF 45 DEG F (7 DEG C). MAINTAIN CONTAINERS USED IN STORAGE

1. START OF PAINTING WILL BE CONSTRUED AS THE APPLICATOR'S ACCEPTANCE OF SURFACES AND

E. EXAMINE SUBSTRATES AND CONDITIONS UNDER WHICH PAINTING WILL BE PERFORMED FOR COMPLIANCE WITH REQUIREMENTS FOR APPLICATION OF PAINT. DO NOT BEGIN PAINT APPLICATION UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

IN A CLEAN CONDITION, FREE OF FOREIGN MATERIALS AND RESIDUE

- CONDITIONS WITHIN A PARTICULAR AREA. F. GENERAL PROCEDURES: REMOVE HARDWARE AND HARDWARE ACCESSORIES, PLATES, MACHINED SURFACES. LIGHTING FIXTURES, AND SIMILAR ITEMS IN PLACE THAT ARE NOT TO BE PAINTED, OR PROVIDE SURFACE-APPLIED PROTECTION PRIOR TO SURFACE PREPARATION AND PAINTING. REMOVE THESE ITEMS IF NECESSARY FOR COMPLETE PAINTING OF THE ITEMS AND ADJACENT SURFACES. FOLLOWING COMPLETION OF PAINTING OPERATIONS IN EACH SPACE OR AREA, HAVE ITEMS
- REINSTALLED BY WORKERS SKILLED IN THE TRADES INVOLVED. G. SURFACE PREPARATION: CLEAN AND PREPARE SURFACES TO BE PAINTED IN ACCORDANCE WITH THE
- MANUFACTURER'S INSTRUCTIONS FOR EACH PARTICULAR SUBSTRATE CONDITION AND AS SPECIFIED. H. CAREFULLY MIX AND PREPARE PAINT MATERIALS IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.

  I. TINT EACH UNDERCOAT A LIGHTER SHADE TO FACILITATE IDENTIFICATION OF EACH COAT WHERE MULTIPLE COATS OF THE SAME MATERIAL ARE APPLIED. TINT UNDERCOATS TO MATCH THE COLOR OF
- THE FINISH COAT, BUT PROVIDE SUFFICIENT DIFFERENCES IN SHADE OF UNDERCOATS TO DISTINGUISH **FACH SEPARATE COAT** J. APPLY PAINT IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS. USE APPLICATORS AND
- TECHNIQUES BEST SUITED FOR SUBSTRATE AND TYPE OF MATERIAL BEING APPLIED. 1. APPLY ADDITIONAL COATS WHEN UNDERCOATS, STAINS, OR OTHER CONDITIONS SHOW THROUGH FINAL COAT OF PAINT UNTIL PAINT FILM IS OF UNIFORM FINISH, COLOR, AND APPEARANCE. GIVE SPECIAL ATTENTION TO ENSURE THAT SURFACES, INCLUDING EDGES, CORNERS, CREVICES, WELDS,
- AND EXPOSED FASTENERS. RECEIVE A DRY FILM THICKNESS. EQUIVALENT TO THAT OF FLAT SURFACES PAINT SURFACES BEHIND MOVABLE EQUIPMENT AND FURNITURE SAME AS SIMILAR EXPOSED
- SURFACES.
  K. APPLY MATERIALS AT NOT LESS THAN THE MANUFACTURER'S RECOMMENDED SPREADING RATE. PROVIDE A TOTAL DRY FILM THICKNESS OF THE ENTIRE SYSTEM AS RECOMMENDED BY THE L. MANUEACTURER. L. AT THE END OF EACH WORK DAY, REMOVE EMPTY CANS, RAGS, RUBBISH, AND OTHER DISCARDED
- M. UPON COMPLETION OF PAINTING, CLEAN GLASS AND PAINT-SPATTERED SURFACES. N. PROTECT WORK OF OTHER TRADES, WHETHER TO BE PAINTED OR NOT, AGAINST DAMAGE BY PAINTING. CORRECT DAMAGE BY CLEANING, REPAIRING OR REPLACING, AND REPAINTING, AS

#### o. ACCEPTABLE TO ANY SIGNS TO PROTECT NEWLY PAINTED FINISHES. P. TOUCH UP PAINTED AREAS AS REQUIRED AFTER FINAL COMPLETION OF ALL WORK BY OTHER TRADES.

PAINT MATERIALS FROM THE SITE.

PROCEEDING WITH INSTALLATION.

- SECTION 10800 TOILET AND BATH ACCESSORIES A. COORDINATION: COORDINATE ACCESSORY LOCATIONS, INSTALLATION, AND SEQUENCING WITH
- OTHER WORK TO AVOID INTERFERENCE AND TO ASSURE PROPER INSTALLATION, OPERATION, ADJUSTMENT, CLEANING, AND SERVICING OF TOILET ACCESSORY ITEMS. B. CONFIRM EXISTENCE OF NECESSARY CONCEALED BLOCKING FOR SUPPORT OF ACCESSORIES BEFORE
- INSTALL TOILET ACCESSORY UNITS IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS, USING FASTENERS APPROPRIATE TO SUBSTRATE AND RECOMMENDED BY MANUFACTURER OF UNIT. INSTALL UNITS PLUMB AND LEVEL, FIRMLY ANCHORED IN LOCATIONS AND AT HEIGHTS INDICATED OR AS REQUIRED PER ADA COMPLIANCE.
- ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS FOR TYPE OF SUBSTRATE INVOLVED. E. ADJUST TOILET ACCESSORIES FOR PROPER OPERATION AND VERIFY THAT MECHANISMS FUNCTION SMOOTHLY. REPLACE DAMAGED OR DEFECTIVE ITEMS.

F. CLEAN AND POLISH ALL EXPOSED SURFACES IN STRICT ACCORDANCE WITH MANUFACTURER'S

RECOMMENDATIONS AFTER REMOVING TEMPORARY LABELS AND PROTECTIVE COATINGS.

D. SECURE MIRRORS TO WALLS IN CONCEALED, TAMPERPROOF MANNER WITH SPECIAL HANGERS.

TOGGLE BOLTS, OR SCREWS. SET UNITS PLUMB, LEVEL, AND SQUARE AT LOCATIONS INDICATED, IN



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**NOVEMBER 16, 2016** 

**PAUL CHAPEL & ASSOCIATES** 

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ALLAS, TEXAS 75243

STUDIO: 9604 ORCHARD HILL

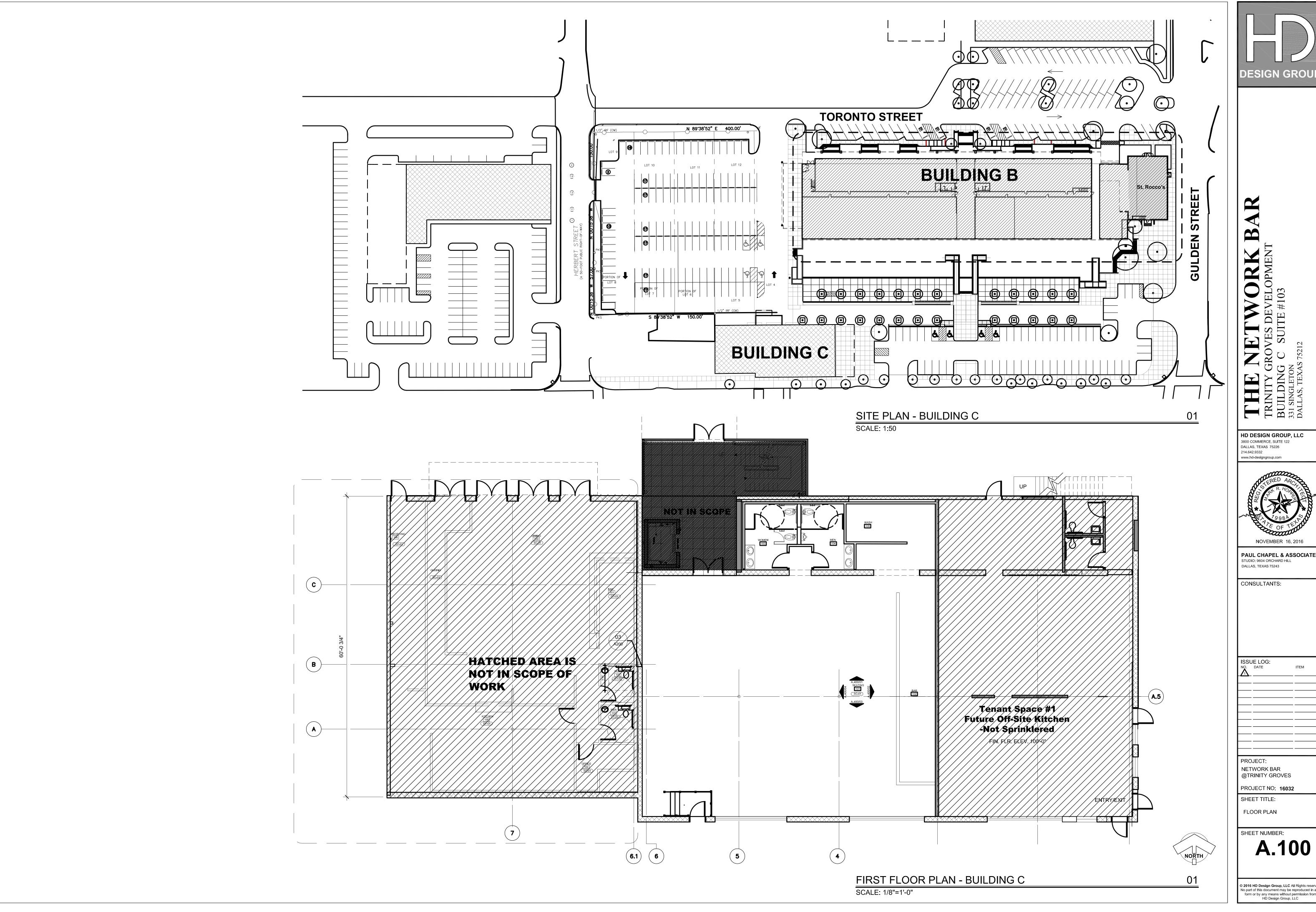
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NETWORK BAR @TRINITY GROVES PROJECT NO; 16032 SHEET TITLE:

SPECIFICATIONS

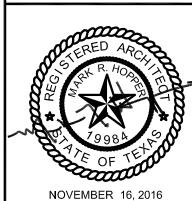
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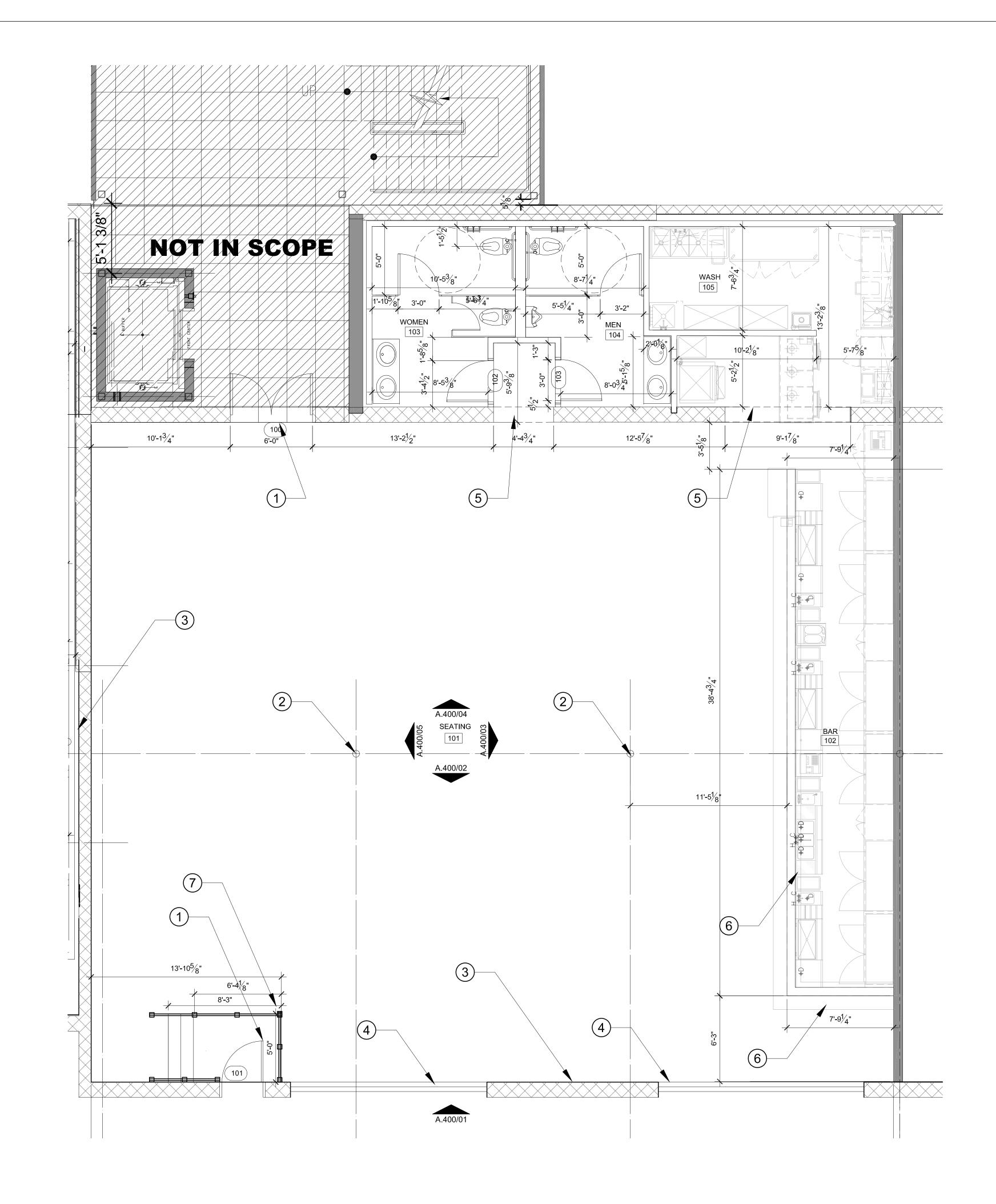


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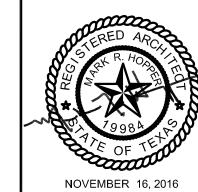
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TY GROVES DEVELOPMENT
DING C SUITE #103

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PAUL CHAPEL & ASSOCIATES STUDIO: 9604 ORCHARD HILL DALLAS, TEXAS 75243

CONSULTANTS:

ISSUE LOG:
NO. DATE ITEM

PROJECT:
NETWORK BAR
@TRINITY GROVES
PROJECT NO; 16032

SHEET TITLE:

FLOOR PLAN

A.200

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Floor Plan Notes

① EXISTING DOOR TO REMAIN

62 EXISTING COLUMN - FIELD VERIFY LOCATION

EXISTING MASONRY WALLS TO REMAIN CLEAN AND PREP FOR NEW FINISH

**64** EXISTING WNDOWS TO REMAIN

63 EXISTING OPENINGS - FIELD VERIFY

6 NEW HALF WALLS

MEW WIDER LANDING & RAILING @ EXISTING DOOR

NOTE: REFER TO SHEET A9.00 FOR FINISH SCHEDULE

Legend

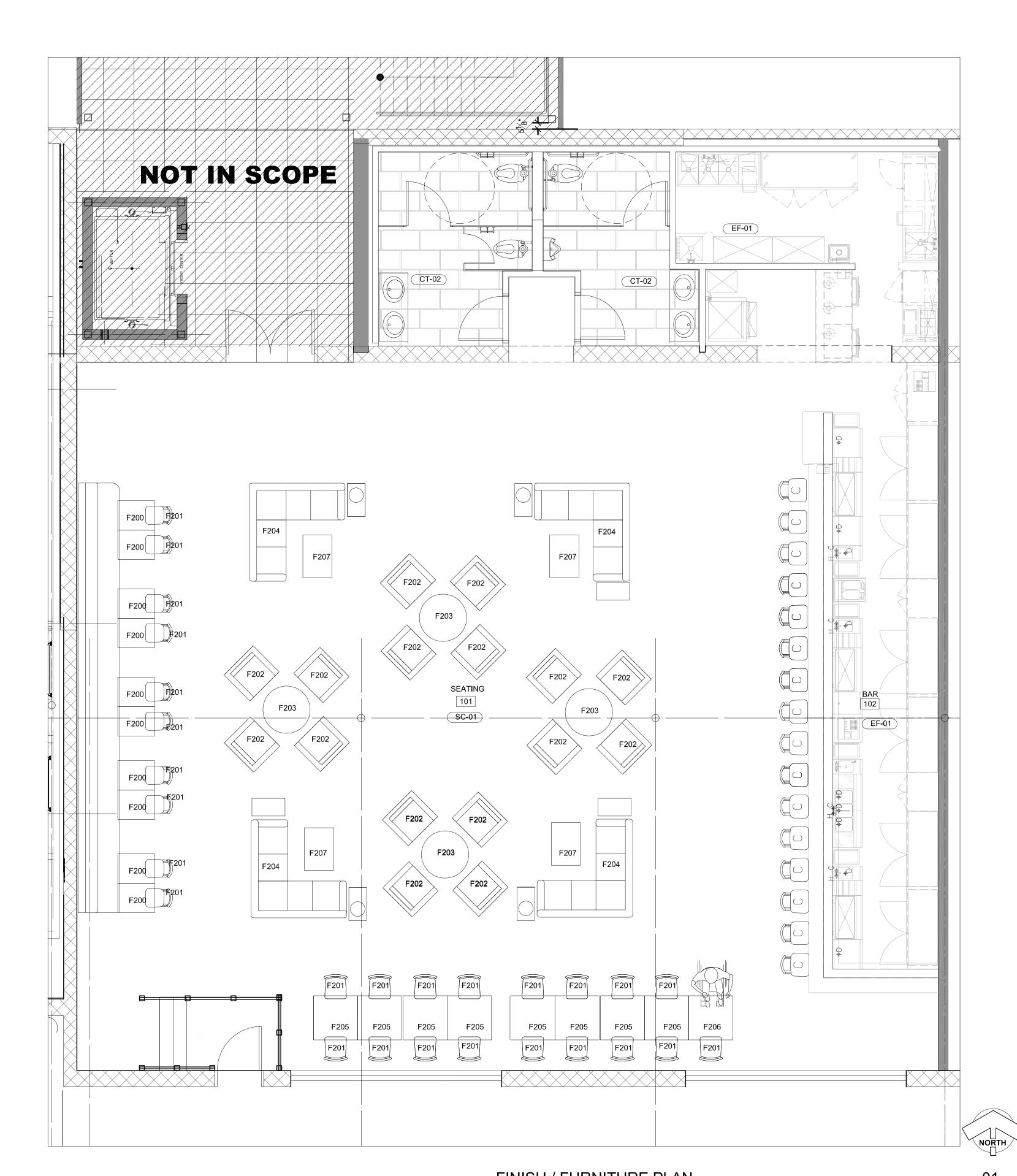
NEW CONSTRUCTION

EXISTING MASONRY (WALL THICKNESSES VARY -FIELD VERIFY)

FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

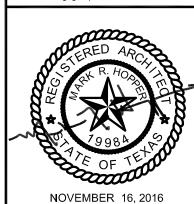






THE NETWORK BAR
RINITY GROVES DEVELOPMENT
SUILDING C SUITE #103

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PAUL CHAPEL & ASSOCIATES
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CONSULTANTS:

SSUE LOG:

O DATE ITEM

O DATE

PROJECT:
NETWORK BAR
@TRINITY GROVES
PROJECT NO; 16032

SHEET TITLE:
FINISH/ FURNITURE PLAN

SHEET NUMBER:

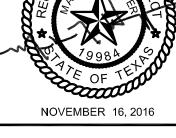
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#### LIGHTING SCHEDULE

TAG	SIZE	LAMP	MANUFACTURER	DESCRIPTION	TRIM COLOR	TYPE
LT-01	4" DOWNLIGHT	LED	GOTHAM ARCHITECTURAL	4" EVO ROUND DOWNLIGHT	WHITE	Α
LT-02	WALL WASHER	LED	GOTHAM ARCHITECTURAL	4" DIRECTIONAL TRACK LIGHTING		С

## DESIGN GROUP

# THE NETWORK BAR TRINITY GROVES DEVELOPMENT BUILDING C SUITE #103 331 SINGLETON DALLAS, TEXAS 75212



PAUL CHAPEL & ASSOCIATES STUDIO: 9604 ORCHARD HILL DALLAS, TEXAS 75243

CONSULTANTS:

SSI	JE LOG:	
NO.	DATE	
Λ		

NETWORK BAR @TRINITY GROVES PROJECT NO; 16032

SHEET TITLE:

REFLECTED CEILING PLAN

A.300

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#### RCP NOTES

- 1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE
- 2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATION AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES
- 3. ALL DEVICES SHALL BE UL APPROVED AND BEAR UL LABELS
- 4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS FOLLOWS:
- 4.1. STANDARD OUTLET HEIGHTS AT 15" AFF
- 4.2. TYPICAL WALL SWITCH AT 48" AFF
- 4.3. OUTLET OR SWITCH AT SIDE OF CABINET TO BE AT 30"
- 4.4. UTILITY OUTLET AT 42" AFF
- 5. MULTIPLE DUPLEX OUTLETS OR SWITCHES SHOWN NEXT TO EACH OTHER IN PLAN SHALL BE LOCATED ON ONE PLATE.
- 6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
- 7. BUILDER TO VERIFY ALL ELECTRICAL AND LIGHTING LOCATIONS AND SPECS, INCLUDING SECURITY, AUDIO/VISUAL, OUTDOOR ELECTRICAL, AND PANEL LOCATIONS

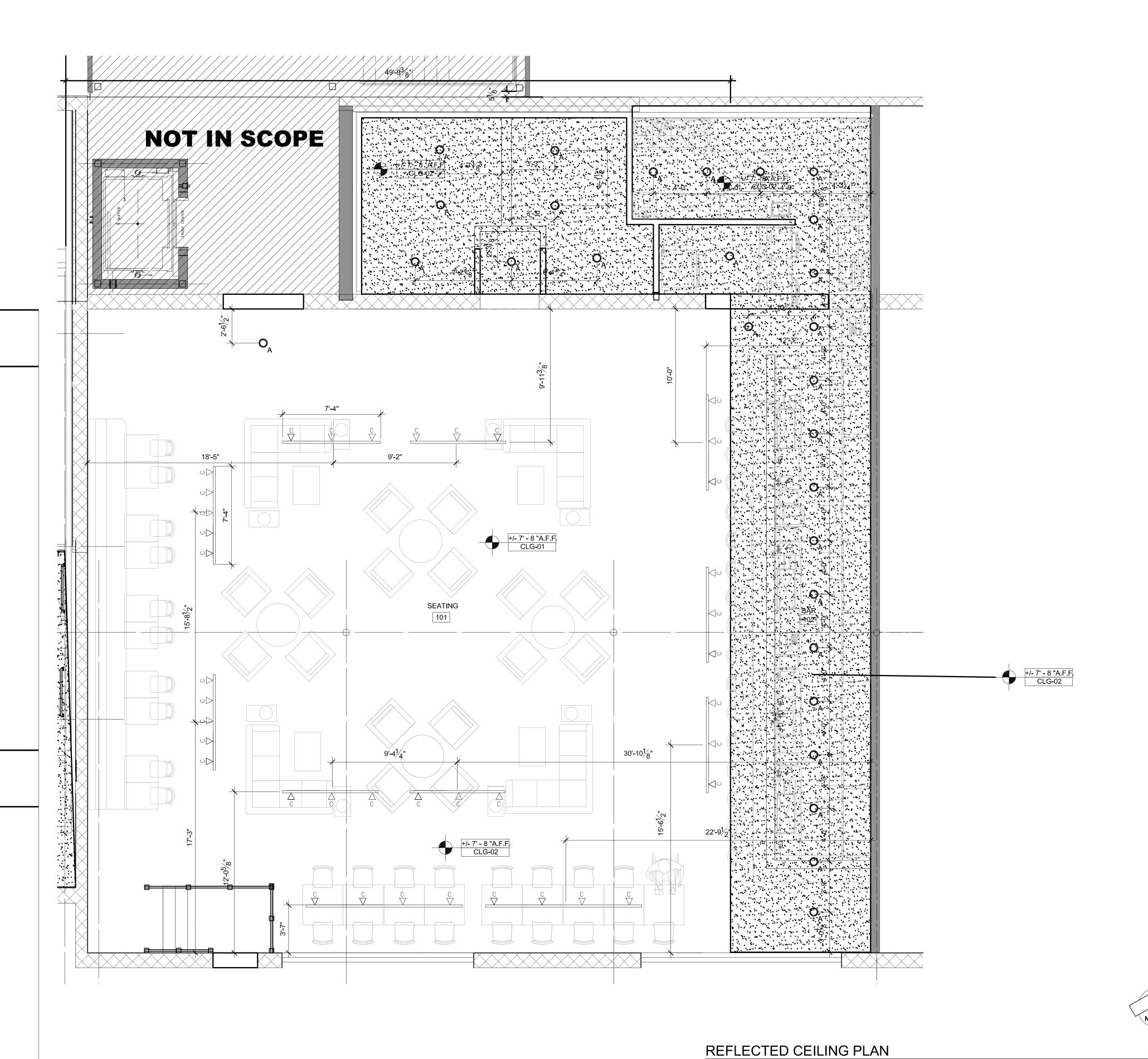
#### RCP LEGEND

#### CEILING TYPES

CLG-01 CEILING 1- SUSPENDED GYP. BD. CEILING/ SOFFIT ON METAL STUD FRAMING

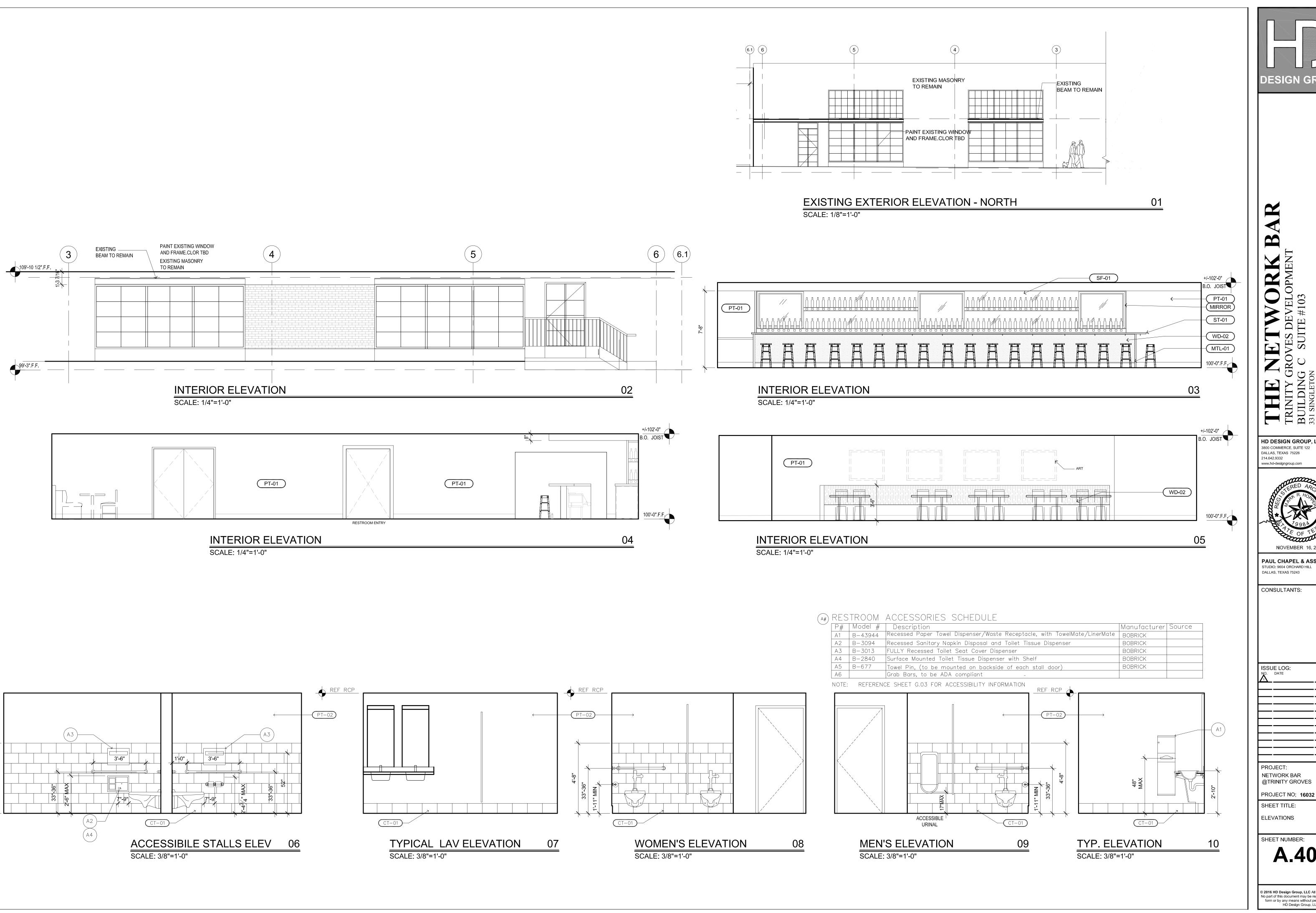
CLG-02 CEILING 2- SUSPENDED WATER RESISTANT GYP. BD. CEILING W/ WATER VAPOR BARRIER, EPOXY PAINT FINISH

EXP-01 EXPOSED TO STRUCTURE ABOVE



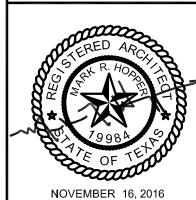
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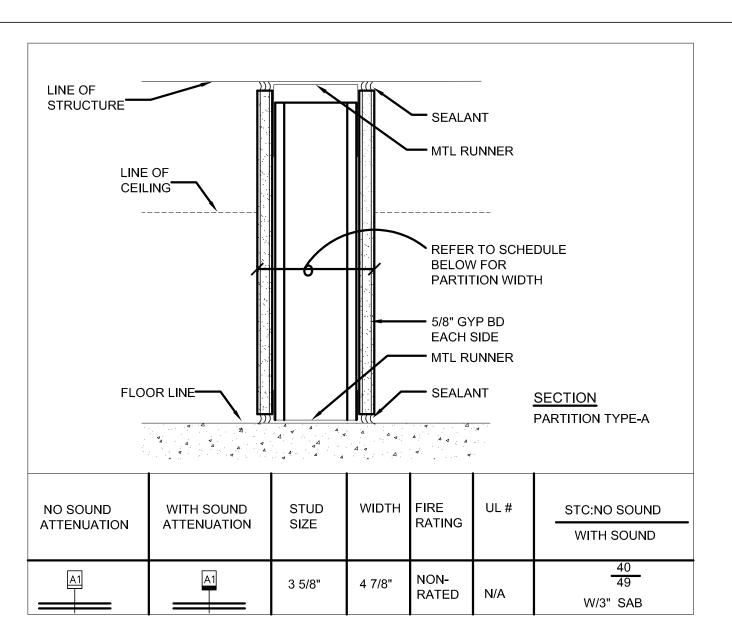


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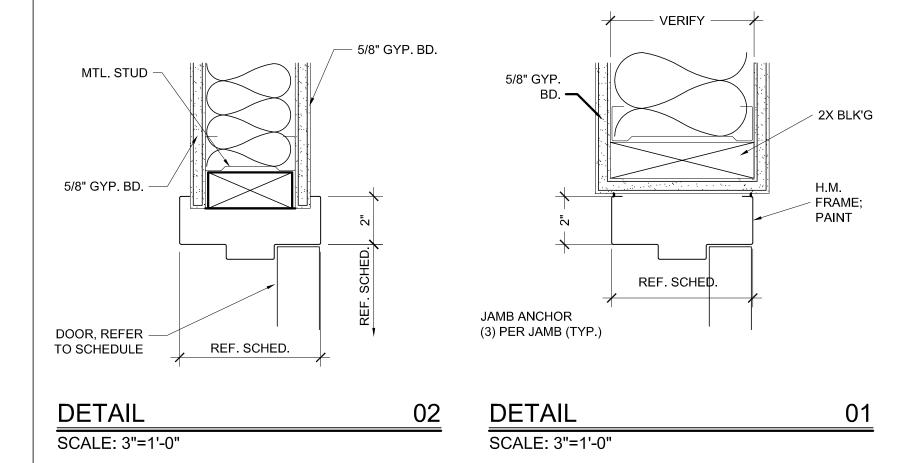
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#### TYPICAL WALL DETAIL

SCALE: N.T.S.



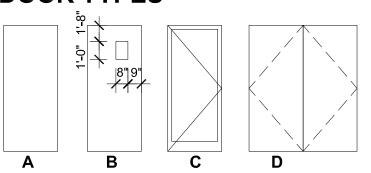
SYMBOL	. AREA	DESCRIPTION	MFR	SUPPLIED BY	INSTALLE BY
CONCRE	TE			GC	GC
SC-01	TYPICAL FLOOR	JOINT TITE 750, PLURAL COMPONENT, POLYUREA POLYMER, SEMI-RIGID JOINT FILLER     FOS CONCRETE CONDITIONER, LIQUID TYPE.  FOLLOW MFR'S RECOMMENDATIONS/SPECIFICATIONS FOR CONCRETE FLOOR PREPARATION, GRINDING AND FINISHING.			
PAINT	·				
PT-01	WALLS	EGGSHELL - WHITE BOX TENANT FINISH- OUT	TBD	GC	GC
PT-01	TRIM, CASING, BASE COLOR	SEMI-GLOSS - WHITE BOX TENANT FINISH- OUT	TBD	GC	GC
PT-02	RESTROOM	SEMI-GLOSS - WHITE BOX TENANT FINISH- OUT	TBD	GC	GC
PT-03	RESTROOM CEILING	SEMI-GLOSS - WHITE BOX TENANT FINISH- OUT	TBD	GC	GC
PT-04	CEILING	FLAT - WHITE BOX TENANT FINISH - OUT	TBD	GC	GC
			TBD	GC	GC
CERAMI	CTILE				
CT-01	MENS RESTROOM - WALL TILE	CLR:TBD NOTE: INSTALL ALUM. SCHLUTER STRIP ALONG TOP EDGE	TBD	GC	GC
CT-01	WOMENS RESTROOM - WALL TILE	CLR:TBD NOTE: INSTALL ALUM. SCHLUTER STRIP ALONG TOP EDGE	TBD	GC	GC
CT-02	MEN /WOMENS RESTROOM FLOOR	CLR:TBD	TBD	GC	GC
CT-03	KITCHEN	CLR:TBD	TBD	GC	GC
METAL					
MTL-01	BRUSHED STAINLESS		TBD	GC	GC
			TBD	GC	GC
			TBD	GC	GC
			TBD	GC	GC
STONE					
ST-01	STONE BAR TOP	MATCH DESIGNER'S SAMPLE	TBD	GC	GC
			TBD	GC	GC
			TBD	GC	GC
MISCELI	ANEOUS		155		
EF-01	EPOXY FINISH - BACK BAR	EPOXY FLOORING: TERRA SEAL (CYCLOALIPAHTIC AMINE CURED EPOXY FLOORING) FINISH MUST BE SMOOTH, NON-ABSORBENT AND WASHABLE PER CITY REQMNT. BASE: INTEGRAL 6" PRECAST COVE BASE (SPEEDCOVE) MIN. 3/8" S.S. RADIUS COLOR: TBD	NOTED	GC	GC
WOOD					
WD-01	FLAT CUT WALNUT PANEL VERTICAL GRA	AIN MATCH DESIGNER'S SAMPLE			
WD-02	SOLID CORE PAINT GRADE 6" BASE, TYPI				

ITEM NO.	ITEM	DESCRIPTION				
1	TOILET		-	TBD	GC	GC
2	TOILET		-	TBD	GC	GC
3	LAVATORY SINK	UNDERCOUNTER LAVATORY	-	TBD	GC	GC
4	URINAL					
NOTE:	REFER TO RESTROOM ELEVATION	ONS FOR DECRIPTION & MFR OF ACCESSORIES				
HARD	WARE					
		DESCRIPTION				
SYMBC		DESCRIPTION FINISH: SATIN CHROMIUM PLATED				
HARD SYMBC HDW-01 HDW-02	L AREA ENTRY					

### 

36 x 108 PR C | 1-3/4 | GL/MTL | 01/A900 | 02/A900 | YES | 4" | AL

#### **DOOR TYPES**



#### DOOR SCHEDULE FOOTNOTES

- 1 DOOR SIZES
  UNLESS OTHERWISE NOTED, DOOR SIZES ARE SHOWN
  IN INCHES.
- 2 DOOR THICKNESS UNLESS OTHERWISE NOTED, DOORS SHALL BE 1 3/4" THICK.
- 3 VENEER / CONSTRUCTION
  SCTF SOLID CORE WOOD DOOR, TRANS. FINISH
  AL ALUMINUM
  HM HOLLOW METAL
- 4 DETAILS

GLASS

NUMBER SHOWN ARE DETAIL NO. AND SHEET NO. EXAMPLE: 20 / A5 = DETAIL 20 ON SHEET A5

G1, M1

G1, M1

- 5 FRAME SIZE AND TYPE AL - ALUMINUM
- HM HOLLOW METAL

  6 REMARKS
- G1 1" TINTED TEMPERED INSULATED GLASS
  G2 1/4" TEMPERED GLASS
  MISCELLANEOUS
  M1 INSULATED

M2 - SOUND PROOF

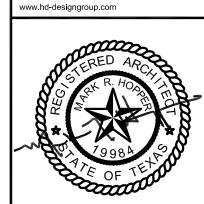
M3 - DOUBLE ACTION



NETWORK BAR
ROVES DEVELOPMENT
C SUITE #103

HD DESIGN GROUP, LLC
3800 COMMERCE, SUITE 122
DALLAS, TEXAS 75226

214.642.9332



NOVEMBER 16, 2016

PAUL CHAPEL & ASSOCIATES
STUDIO: 9604 ORCHARD HILL

CONSULTANTS:

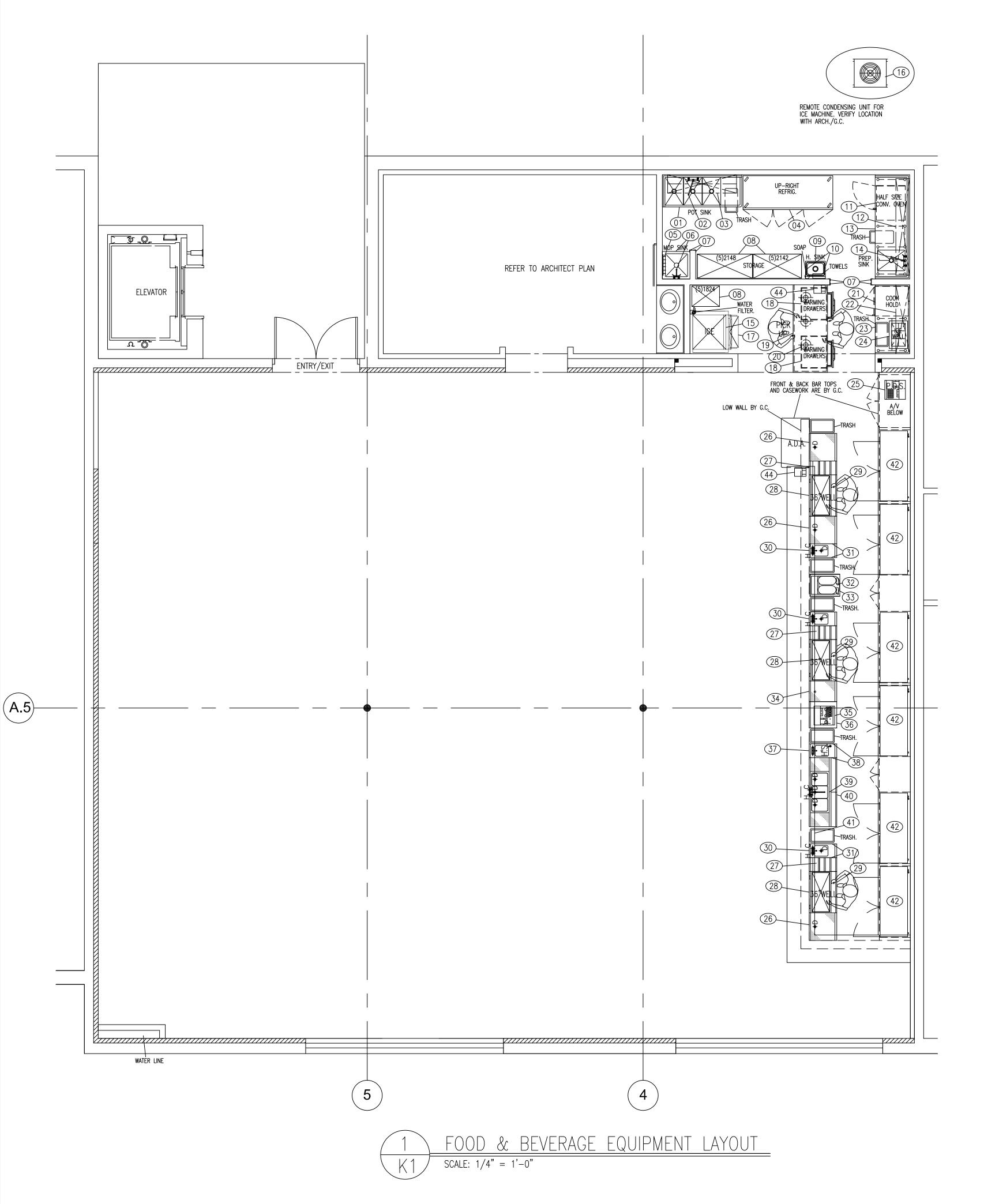
DALLAS, TEXAS 75243

SSUE LOG:

PROJECT:
NETWORK BAR
@TRINITY GROVES

PROJECT NO; 16032
SHEET TITLE:
SCHEDULES

A.900



	F	-OOD	SFRV	VICE & BAR EQUIPMENT LEGEND						I				
						WA	TER	DR	AIN	GA	\S 	VOLTS AND	LOAD	REMARKS:
EM O.	QTY.	FURNISH BY:	SET IN BY:	DESCRIPTION	MANUFACTURER/MODEL	CW	HW	DIR	INDIR	SIZE	BTU	PHASE	SIZE	REMARKS.
	1	KEC.	INST.	69" POT SINK UNIT, 16" WIDE COMPARTMENTS	CUSTOM STAINLESS STEEL				2"					
	1	KEC.	P.C.	SPASH MOUNT FAUCET W/14" SWING SPOUT	T&S #B-0230	1/2"	1/2"							
	2	KEC.	INST.	18"X60" WALL SHELVES, (STACKED)	TABCO #WS-18-60									WALL BACKING RE
	1	KEC.	INST.	3 DOOR UP-RIGHT REFRIGERATOR	TRUE #TS-72							115V-1PH	9.6 AMP	NEMA 5-15P
٠.	1	OWNER	OWNER	MOP RACK	PER OWNER'S SPECIFICATIONS									WALL BACKING RE
j.	1	G.C./P.C.	G.C./P.C.	MOP SINK W/UTILITY FAUCET	PER ARCHITECT'S SPECIFICATIONS	1/2"	1/2"	2"						WALL BACKING RE
·.	6	KEC.	INST.	2" X 2" X 60" CORNER GUARDS	CUSTOM STAINLESS STEEL	†	<del>                                     </del>							
3.	3 SEC		INST.	COATED WIRE SHELVING 86" H., 5 PER	OLYMPIC, SIZE PER PLAN									
).	1	KEC.	P.C.	WALL MOUNT HAND SINK	ADVANCE TABCO #7-PS-60	1/2"	1/2"		1 1/2"					
).	2	KEC.	INST.	HAND SINK SPLASH GUARDS	CUSTOM STAINLESS STEEL	'/-	' -		' ', =					
.	1	KEC.	INST.	ELECTRIC HALF SIZE CONV. OVEN, 4" CASTERS								208V-1PH	26.0 AMP	DIRECT WIRE
<u>.</u>	2	KEC.	INST.	12" X 84" WALL SHELVES, (STACKED)	TABCO #WS-12-84								20.0 7 11111	WALL BACKING RE
 S.	1	KEC.	INST.	7'-7" PREP. TABLE W/SINK	CUSTOM STAINLESS STEEL				2"					WALL BROKING THE
, <u>.                                    </u>	1	KEC.	INST.	·	T&S #B-0231	1/2"	1/2"							
5.	1	I.S.I.	I.S.I.	REMOTE AIR COOLED ICE MAKER HEAD	SCOTSMAN #C1030MR-32A	3/4"	'/-		3/4"			208V/230V-1PH	20 0 AMP	DIRECT WIRE
5. 6.	1	I.S.I.	I.S.I.	ICE MAKER REMOTE REFRIGERATION UNIT	SCOTSMAN #ERC311-32A	3/ +			5/ +			208V/230V-1PH		CONTROL CIRCUI
7.	1	I.S.I.	I.S.I.	990 LB. ICE BIN	FOWLETT #SG1000-36		1		1"				Z.O AWII	CONTROL CIRCO
<del>7.</del> 3.	2	EXISTING	INST.	TWO DRAWER WARMER	HATCO #HDW-2B (POTATO FLATS)							120V-1PH	7.5 AMP	DIRECT WIRE
). }.	1	KEC.	INST.	6'-5" FRONT COUNTER	CUSTOM STAINLESS STEEL								7.5 AIVIF	DINECT WINE
	7	KEC.	E.C.	SUSPENDED HEAT LAMPS	HATCO, (VERIFY TYPE & FINISH)		1					120V-1PH	250 WATT	DIRECT WIRE
).	1	KEC.	INST.	HALF SIZE COOK & HOLD CABINET W/CASTERS	ALTO SHAAM #750-TH-II							<b>H</b>		NEMA 5-20P
l	1			12" X 60" WALL SHELVES, (STACKED)	"		1					208V-1PH	14.2 AMP	
<u>.</u> .	1	KEC.	INST.		TABCO #WS-12-60									WALL BACKING RE
3.	1	KEC.	INST.	5'-0" SUPPORT TABLE	CUSTOM STAINLESS STEEL		<u> </u>		4 /0"					
<del>1</del> .	1	KEC.	INST.	DROP-IN ICE WELL	A.P.W. #CFW-1D		-		1/2"			1001/ 1011	45.0 445	NEW 5 450
5.	1 -	OWNER	OWNER	P.O.S. REGISTER	PER OWNER'S SPECIFICATIONS		-		1"			120V-1PH	15.0 AMP	NEMA 5-15P
5. -		KEC.	INST.	24" DRAINER TOP CABINETS	GLASTENDER #DBCB-24-LD, OR EQUAL				1"					
	_	KEC.	INST.	12" LIQUOR DISPLAYS	GLASTENDER #LDB-12, OR EQUAL		-		1"					
3.	3	KEC.	INST.	36" ICE WELLS, (NO SODA LINE COLD PLATE)	GLASTENDER #IBA-36, OR EQUAL				1"			<u> </u>		
9.	3	KEC.	INST.	36" SINGLE SPEED RAILS	GLASTENDER #SSR-36, OR EQUAL									
).	2	KEC.	INST.	12" BLENDER STATION/DUMP SINK UNITS	GLASTENDER #BSA-12, OR EQUAL	1/2"	1/2"		1 1/2"			120V-1PH	15.0 AMP	DIRECT WIRE
1.	4	KEC.	INST.	SPLASH GUARDS FOR DUMP SINKS	CUSTOM STAINLESS STEEL							ļ , ,		,
<u>?</u> .	1	OWNER	OWNER	MARGARITA MACHINE	BUNN ULTRA II, OR EQUAL							120V-1PH (VER.)	12.0 AMP	NEMA 5-15P (VER
3.	1	KEC.	INST.	STAND FOR MARGARITA MACHINE	CUSTOM STAINLESS STEEL									
1.	1	KEC.	INST.	18" DRAINER TOP CABINET	GLASTENDER #DBCB-18-LD, OR EQUAL				1"					
5.	1	OWNER	OWNER	BAR P.O.S. REGISTER	PER OWNER'S SPECIFICATIONS							120V-1PH	15.0 AMP	NEMA 5-15P
δ.	1	KEC.	INST.	BAR REGISTER STAND	CUSTOM STAINLESS STEEL									
7.	1	KEC.	INST.	BAR HAND SINK	GLASTENDER #DHSB-12, OR EQUAL	1/2"	1/2"		1 1/2"					
3.	2	KEC.	INST.	SPLASH GUARDS FOR HAND SINKS	CUSTOM STAINLESS STEEL									
9.	1	KEC.	INST.	60" BAR SINK UNIT	GLASTENDER #TSA-60-S	1/2"	1/2"		1 1/2"					
).	1	KEC.	INST.	60" SINGLE SPEED RAIL	GLASTENDER #SSR-60									
١.	1	KEC.	INST.	34'-0" X 7'-0", "L" SHAPED POUR RAIL	CUSTOM STAINLESS STEEL				(4)1/2"					
	6	KEC.	INST.	61" TWO DOOR BACK BAR COOLERS	TRUE #TBB-24GAL-60							115V-1PH	4.7 AMP	NEMA 5-15P
i	24	KEC.	INST.	2" STL. ROLLER CASTERS FOR COOLERS	CASTERS OF DALLAS									
•	2	OWNER	OWNER	ORDER PRINTERS	PER OWNER'S SPECIFICATIONS							115V-1PH	4.5 AMP	NEMA 5-15P
	1											1		
					veral abbre'	<u> </u>			1			11		1

NOTE: BAR HAS BEEN DESIGNED AS "CLUB SERVICE" NO SODA SYSTEM OR GUNS HAVE BEEN SPECIFIED.

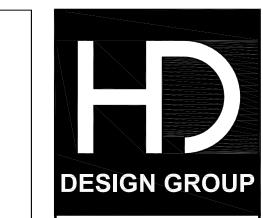
P.C. - PLUMBING CONTRACTOR

KEC. - KITTCHEN EQUIPMENT CONTRACTOR

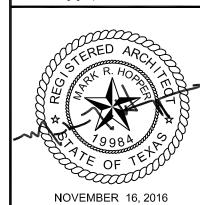
G.C. – GENERAL CONTRATOR HVAC. - H.V.A.C. CONTRACTOR



T.B.D. — TO BE DETERMINED T.B.V. — TO BE VERIFIED



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ISSUE LOG:

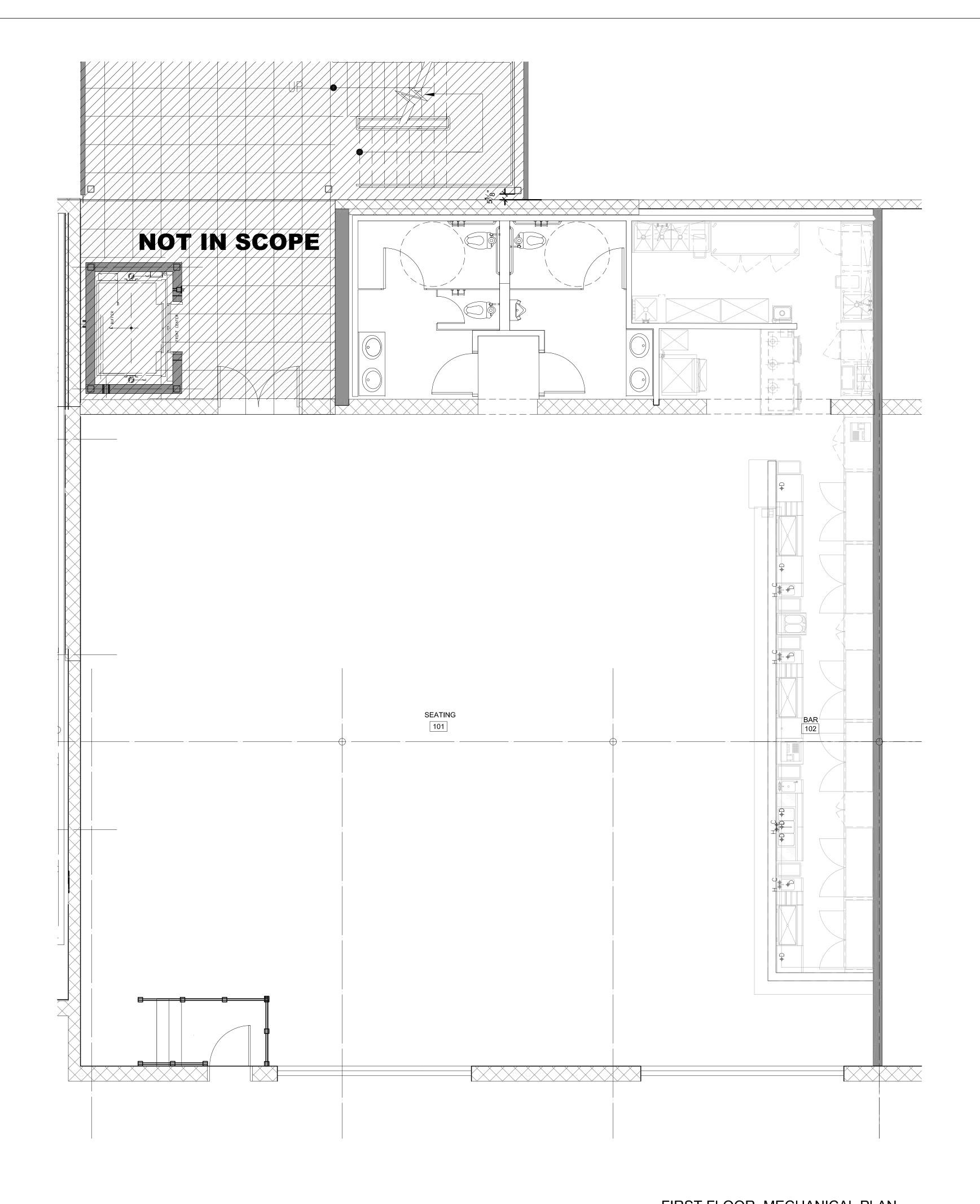
PROJECT:
NETWORK BAR
@TRINITY GROVES

PROJECT NO; 16032 SHEET TITLE:

KITCHEN PLAN

SHEET NUMBER:

**K.1** 





HE NETWORK BAR

NITY GROVES DEVELOPMENT

LDING C SUITE #103

NGLETON

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PAUL CHAPEL & ASSOCIATES STUDIO: 9604 ORCHARD HILL DALLAS, TEXAS 75243

CONSULTANTS:

ISSUE LOG:
NO. DATE ITEM

PROJECT:
NETWORK BAR
@TRINITY GROVES

PROJECT NO; 16032
SHEET TITLE:

FLOOR PLAN

SHEET NUMBER: