

OFFERING MEMORANDUM

5+ ACRE LAND DEVELOPMENT OPPORTUNITY

106 Bristol Oxford Valley Rd
Langhorne, PA 19047

PRESENTED BY:

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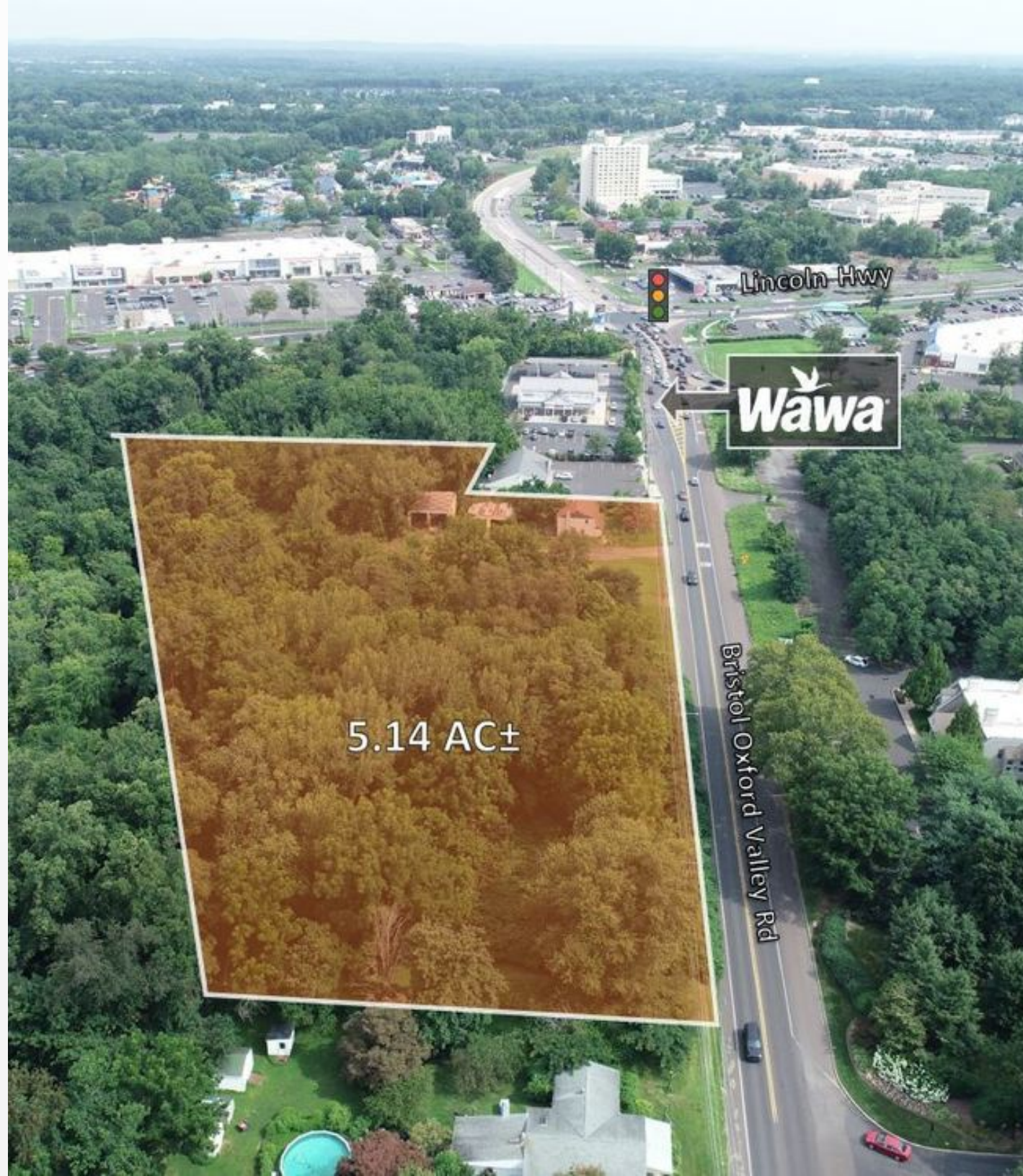




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DISCLAIMER

The material contained in this Offering Brochure is furnished solely for the purpose of considering the purchase of the property within and is not to be used for any other purpose. This information should not, under any circumstances, be photocopied or disclosed to any third party without the written consent of the SVN® Advisor or Property Owner, or used for any purpose whatsoever other than to evaluate the possible purchase of the Property.

The only party authorized to represent the Owner in connection with the sale of the Property is the SVN Advisor listed in this proposal, and no other person is authorized by the Owner to provide any information or to make any representations other than contained in this Offering Brochure. If the person receiving these materials does not choose to pursue a purchase of the Property, this Offering Brochure must be returned to the SVN Advisor.

Neither the SVN Advisor nor the Owner make any representation or warranty, express or implied, as to the accuracy or completeness of the information contained herein, and nothing contained herein is or shall be relied upon as a promise or representation as to the future representation of the Property. This Offering Brochure may include certain statements and estimates with respect to the Property. These Assumptions may or may not be proven to be correct, and there can be no assurance that such estimates will be achieved. Further, the SVN Advisor and the Owner disclaim any and all liability for representations or warranties, expressed or implied, contained in or omitted from this Offering Brochure, or any other written or oral communication transmitted or made available to the recipient. The recipient shall be entitled to rely solely on those representations and warranties that may be made to it in any final, fully executed and delivered Real Estate Purchase Agreement between it and Owner.

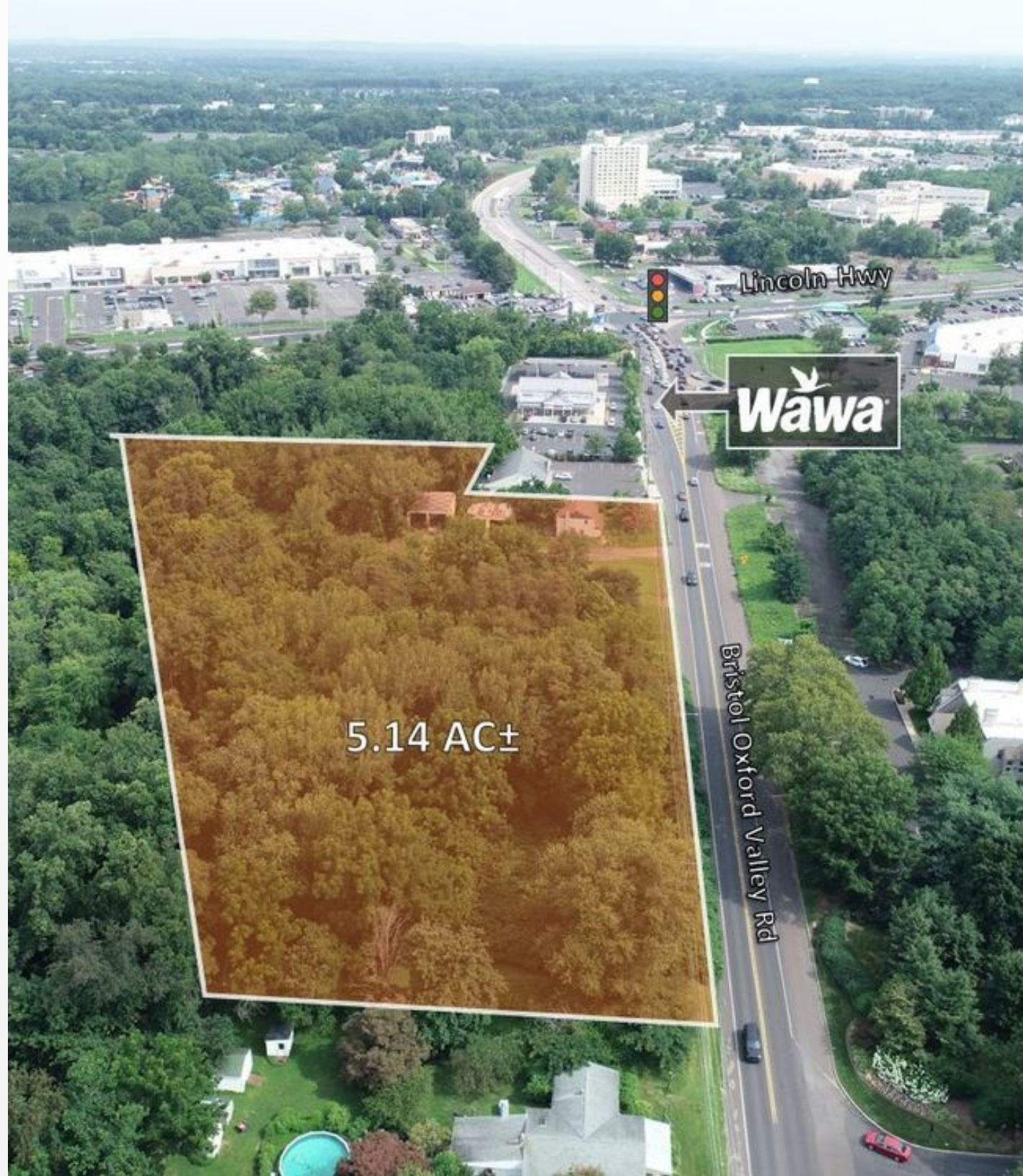
The information contained herein is subject to change without notice and the recipient of these materials shall not look to Owner or the SVN Advisor nor any of their officers, employees, representatives, independent contractors or affiliates, for the accuracy or completeness thereof. Recipients of this Offering Brochure are advised and encouraged to conduct their own comprehensive review and analysis of the Property.

This Offering Brochure is a solicitation of interest only and is not an offer to sell the Property. The Owner expressly reserves the right, at its sole discretion, to reject any or all expressions of interest to purchase the Property and expressly reserves the right, at its sole discretion, to terminate negotiations with any entity, for any reason, at any time with or without notice. The Owner shall have no legal commitment or obligation to any entity reviewing the Offering Brochure or making an offer to purchase the Property unless and until the Owner executes and delivers a signed Real Estate Purchase Agreement on terms acceptable to Owner, in Owner's sole discretion. By submitting an offer, a prospective purchaser will be deemed to have acknowledged the foregoing and agreed to release the Owner and the SVN Advisor from any liability with respect thereto.

To the extent Owner or any agent of Owner corresponds with any prospective purchaser, any prospective purchaser should not rely on any such correspondence or statements as binding Owner. Only a fully executed Real Estate Purchase Agreement shall bind the property and each prospective purchaser proceeds at its own risk.

SECTION 1

PROPERTY
INFORMATION



PROPERTY SUMMARY



OFFERING SUMMARY

SALE PRICE:	Subject to Offer
LEASE RATE:	Subject to Offer
LOT SIZE:	5.14 AC±
ZONING:	NC - Neighborhood Commercial
MARKET:	Philadelphia
SUBMARKET:	Lower Bucks County
APN:	13-004-001-002

PROPERTY OVERVIEW

This is an exceptional commercial development opportunity on Bristol Oxford Valley Road in Falls Township, Bucks County. A 5.14± acre site with 593' of frontage on Bristol Oxford Valley Road. High daily traffic counts. The property is immediately adjacent to a Wawa, as well as a diverse platform of local, regional and national retailers including Target, IHOP, Pep Boys Auto Services, as well as Oxford Valley Mall and Lincoln Plaza. The property's commercial zoning allows for a multitude of uses by right, in an easily accessible and highly visible location.

LOCATION OVERVIEW

This property is located on Bristol Oxford Valley Road at Business Route 1 and N. Oxford Valley Road, with approximately ±211,357 individuals residing within a five-mile radius and an average household income of ±\$82,804. The area benefits from exceptional regional and local accessibility. It is minutes to I-95 and PA Turnpike and approximately 9.9 miles from Trenton-Mercer Regional Airport.

PROPERTY DETAILS

SALE PRICE	SUBJECT TO OFFER
-------------------	-------------------------

LEASE RATE	SUBJECT TO OFFER
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LOCATION INFORMATION

STREET ADDRESS	106 Bristol Oxford Valley Road
CITY, STATE, ZIP	Langhorne, PA 19047
COUNTY	Bucks
MARKET	Philadelphia
SUB-MARKET	Lower Bucks County
CROSS-STREETS	Lincoln Highway [Route 1] and Trenton Road
TOWNSHIP	Falls Township
SIDE OF THE STREET	West
ROAD TYPE	Paved
MARKET TYPE	Medium
NEAREST HIGHWAY	Route 1 [Lincoln Hwy] - 0.1 MI
NEAREST AIRPORT	Trenton-Mercer [TTN] - 9.9 MI

PROPERTY INFORMATION

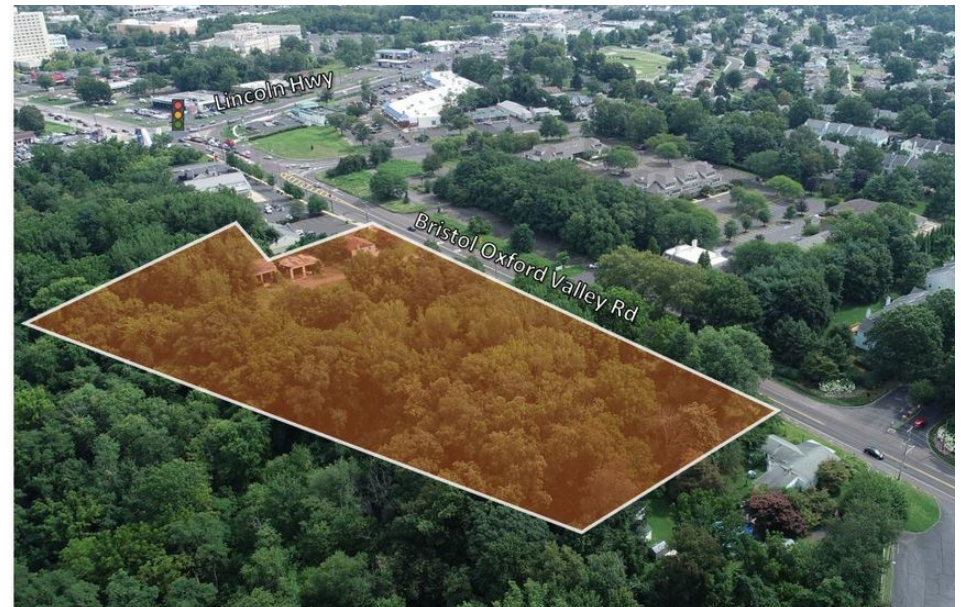
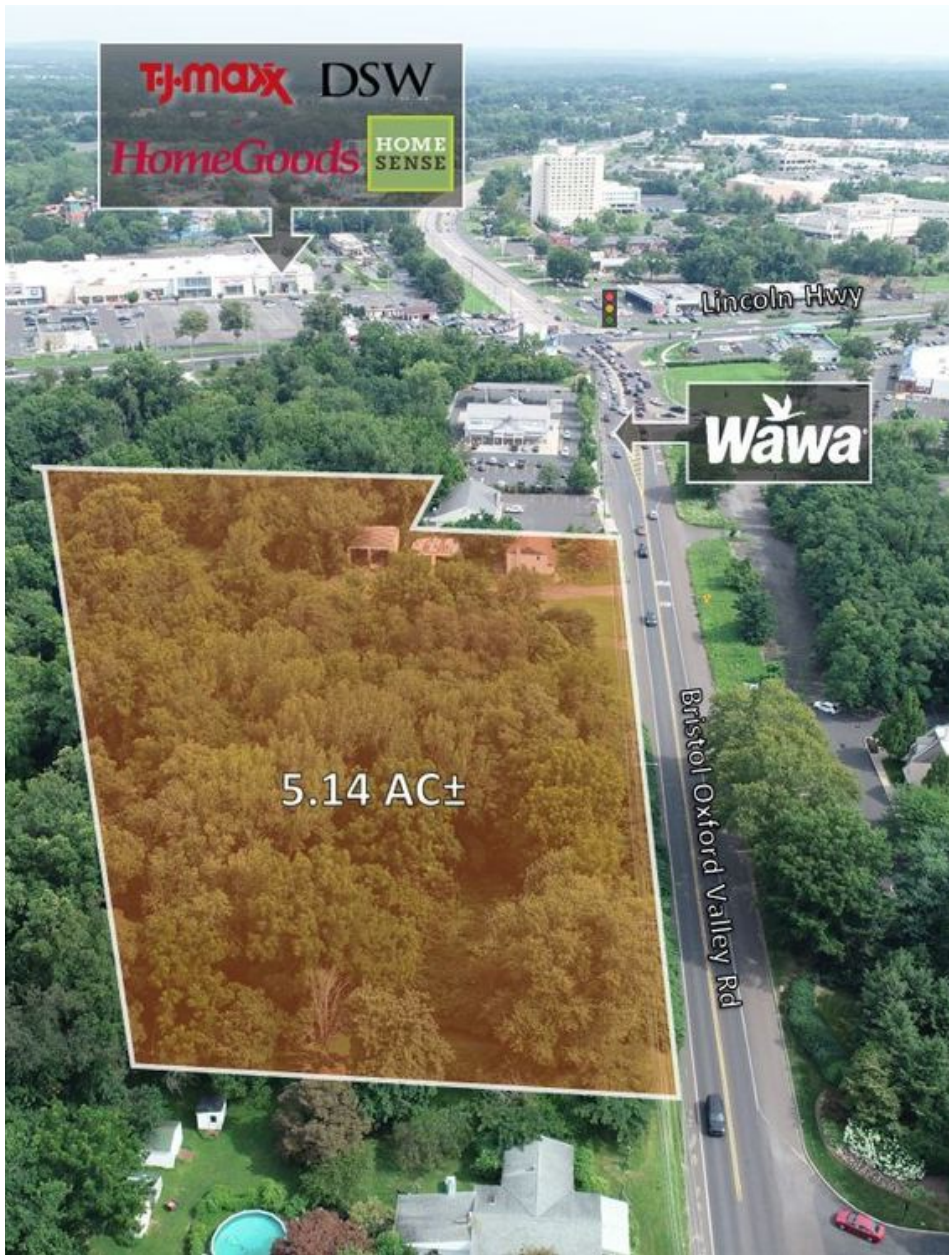
PROPERTY TYPE	Land
ZONING	NC - Neighborhood Commercial
PROPERTY SUBTYPE	Retail
LOT SIZE	5.14 AC±
APN #	13-004-001-002
LOT FRONTAGE	593 ft
LOT DEPTH	440 ft
TOPOGRAPHY	Level

PROPERTY HIGHLIGHTS

- Prime development opportunity on Bristol Oxford Valley Rd near Lincoln Hwy/Rt 1 intersection
- 593' Highly Visible Frontage on 5.14± Acres
- Prominent Signage Opportunity
- Level Topography
- Near Oxford Valley Mall, Jefferson Health Campus and numerous fast food and retail shopping
- > 0.5 Miles from Sesame Place (est. 1.2M visitors annually)
- Strong demographics – average household income of \$82,305 within 1 mile
- Currently a house and commercial garage exist on the site
- NC - Neighborhood Commercial Zoning
- Recently completed Act 2

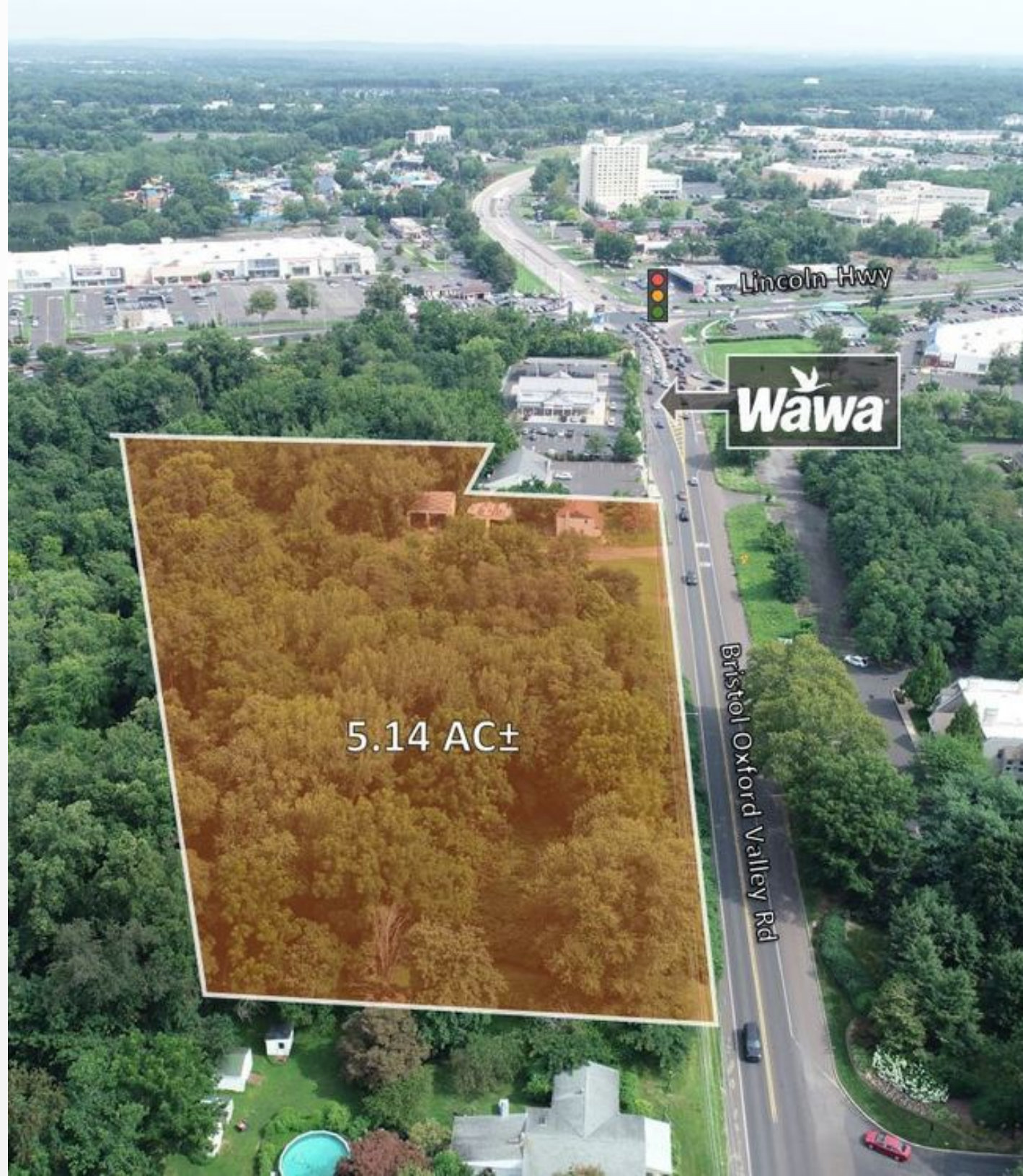


ADDITIONAL PHOTOS

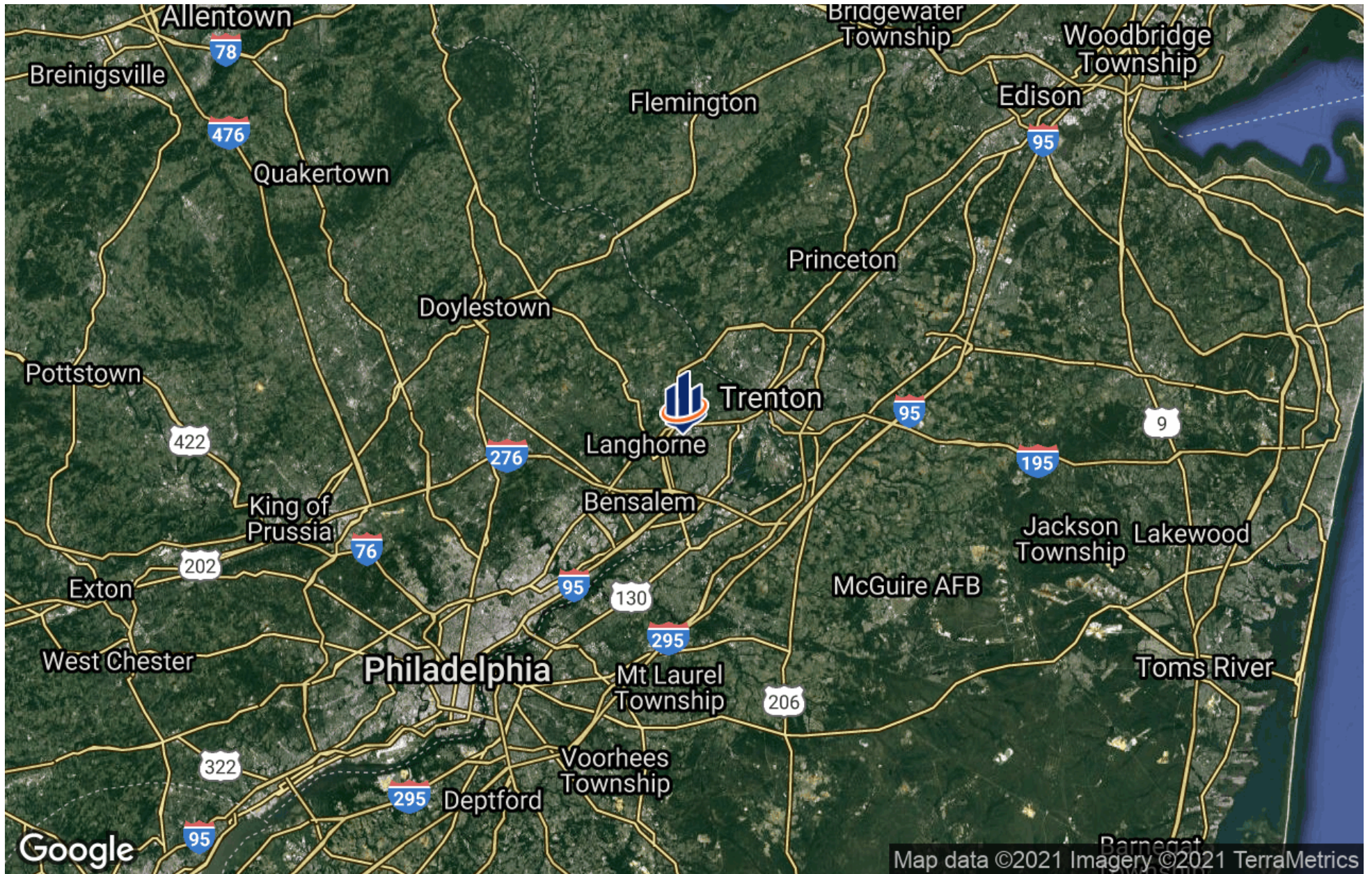


SECTION 2

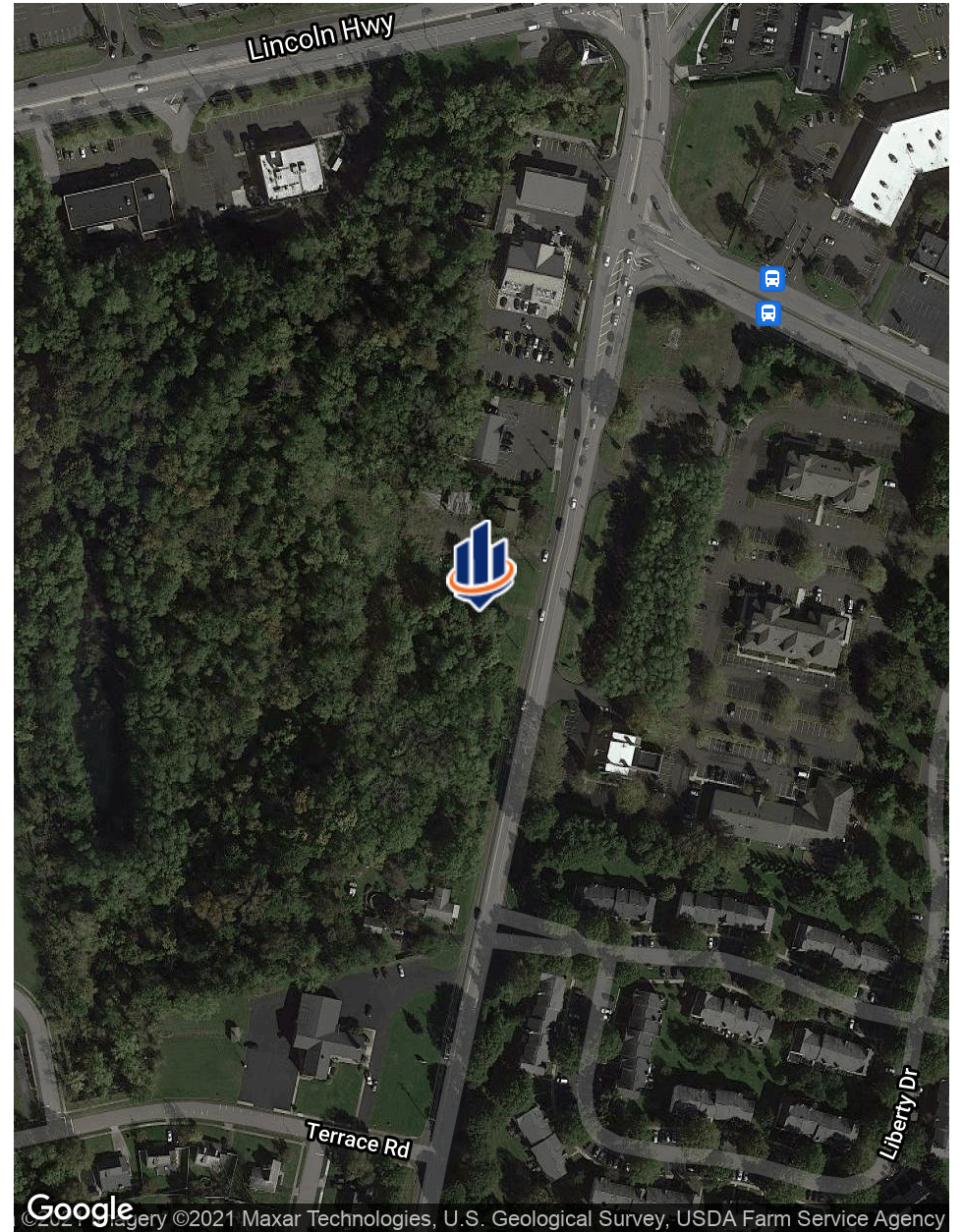
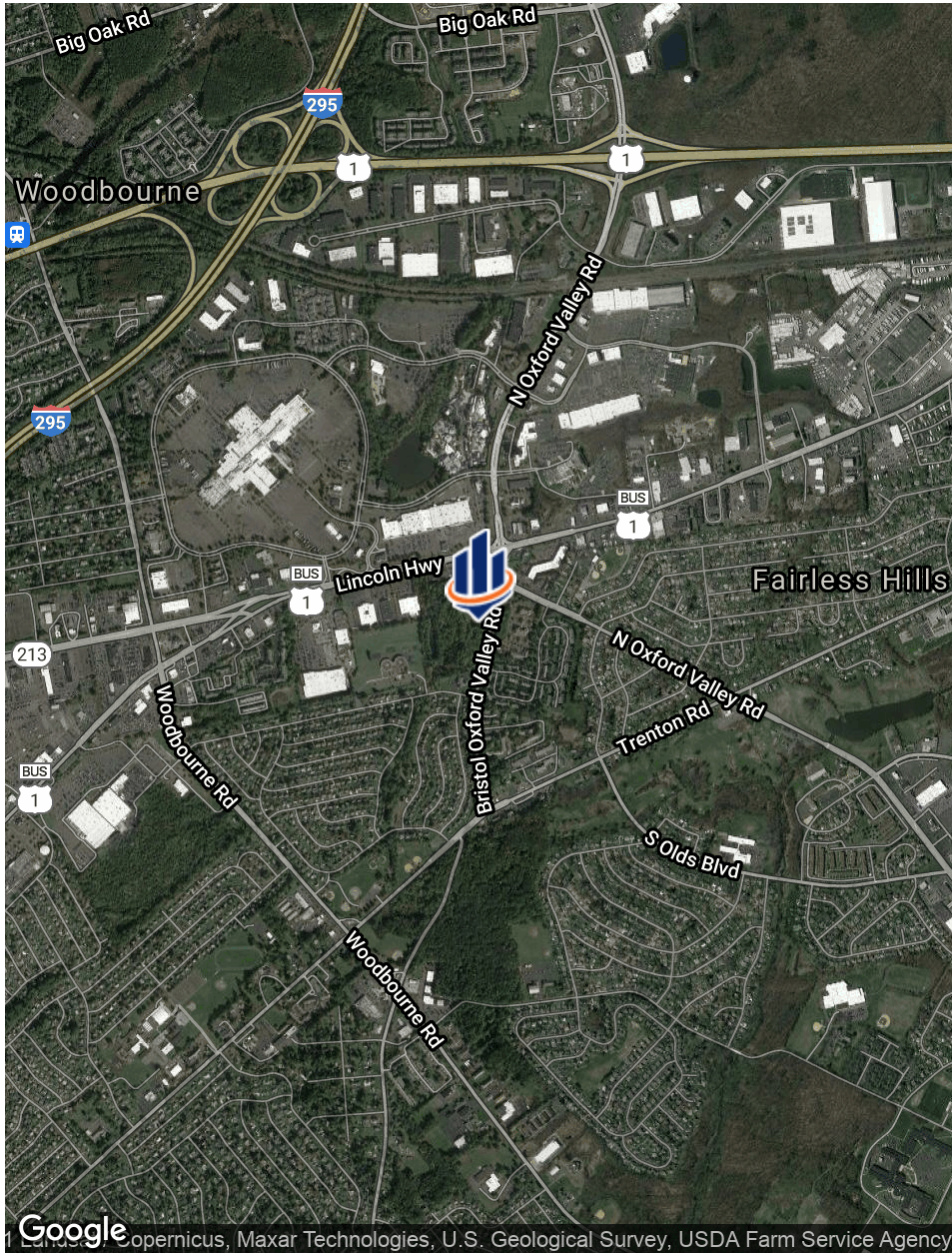
LOCATION
INFORMATION



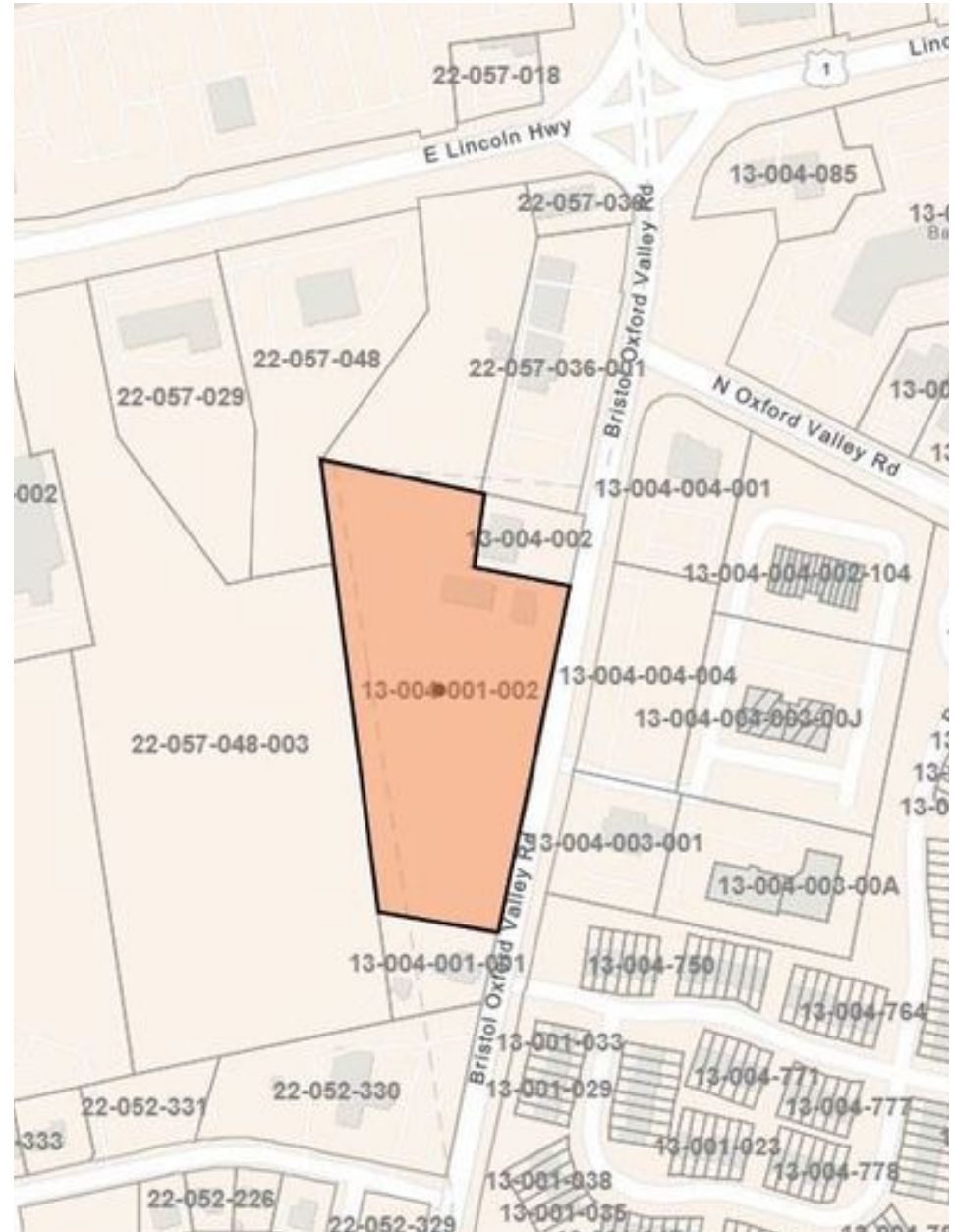
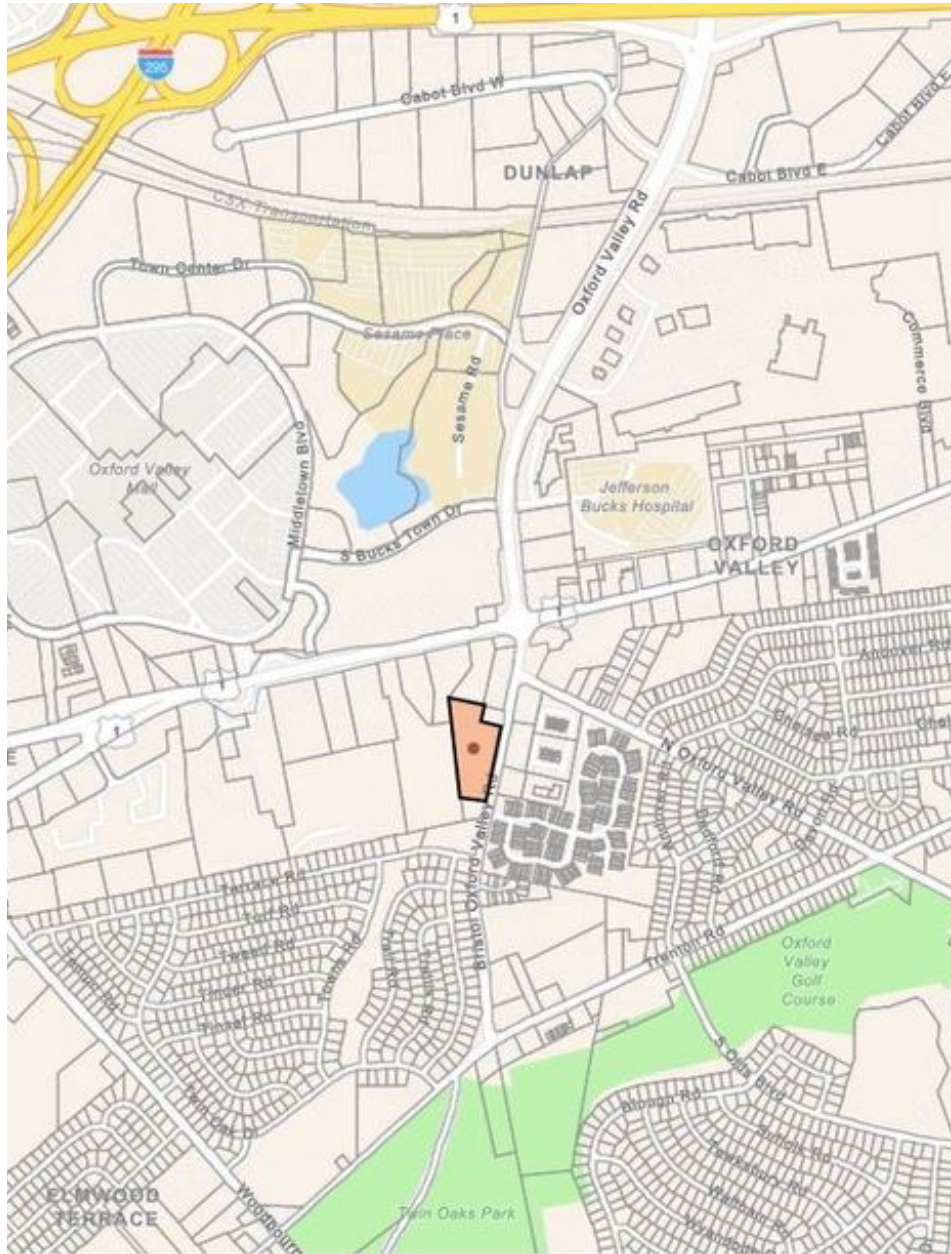
REGIONAL MAP



LOCATION MAP



PARCEL MAPS



RETAILER MAP

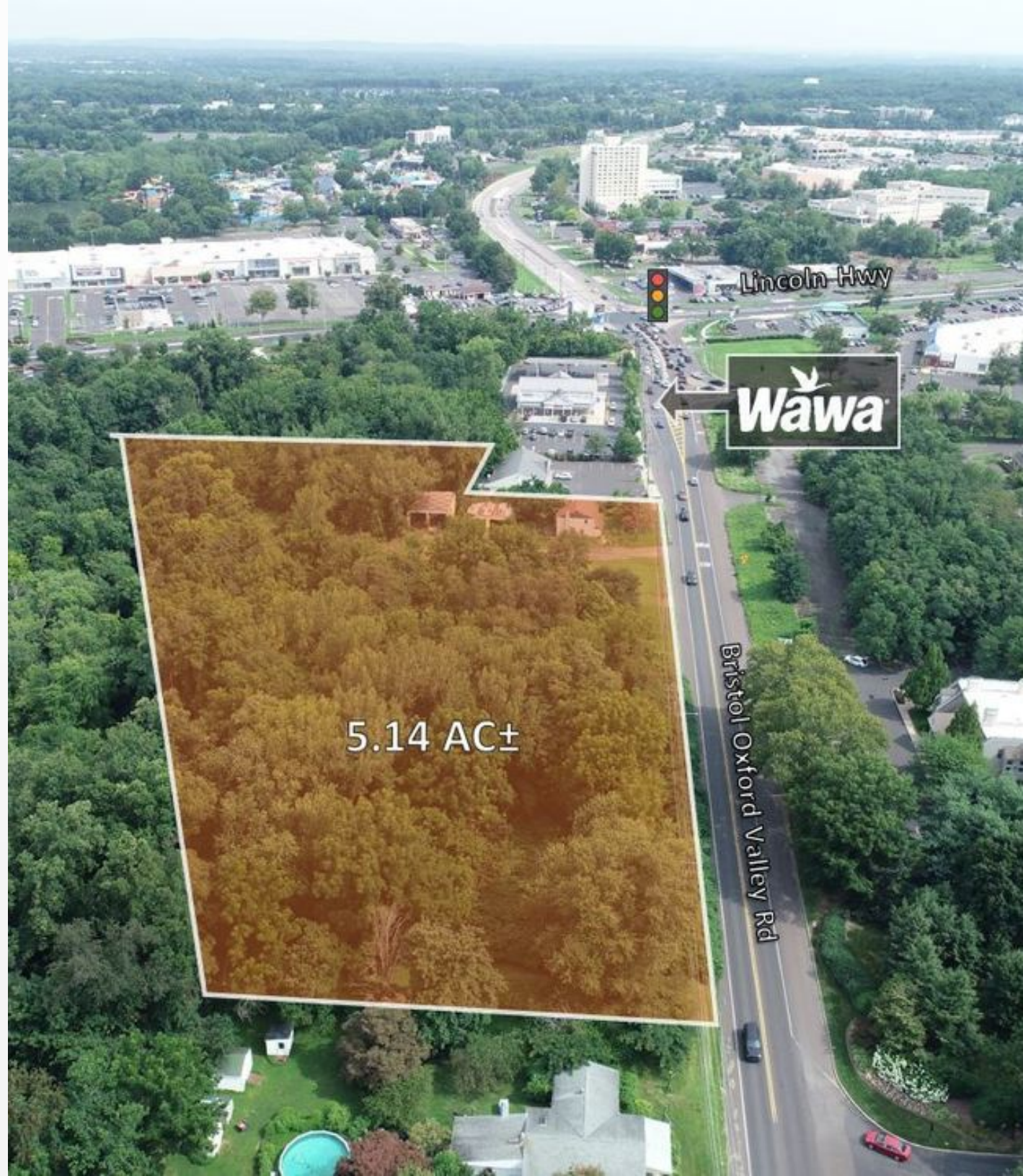


Google

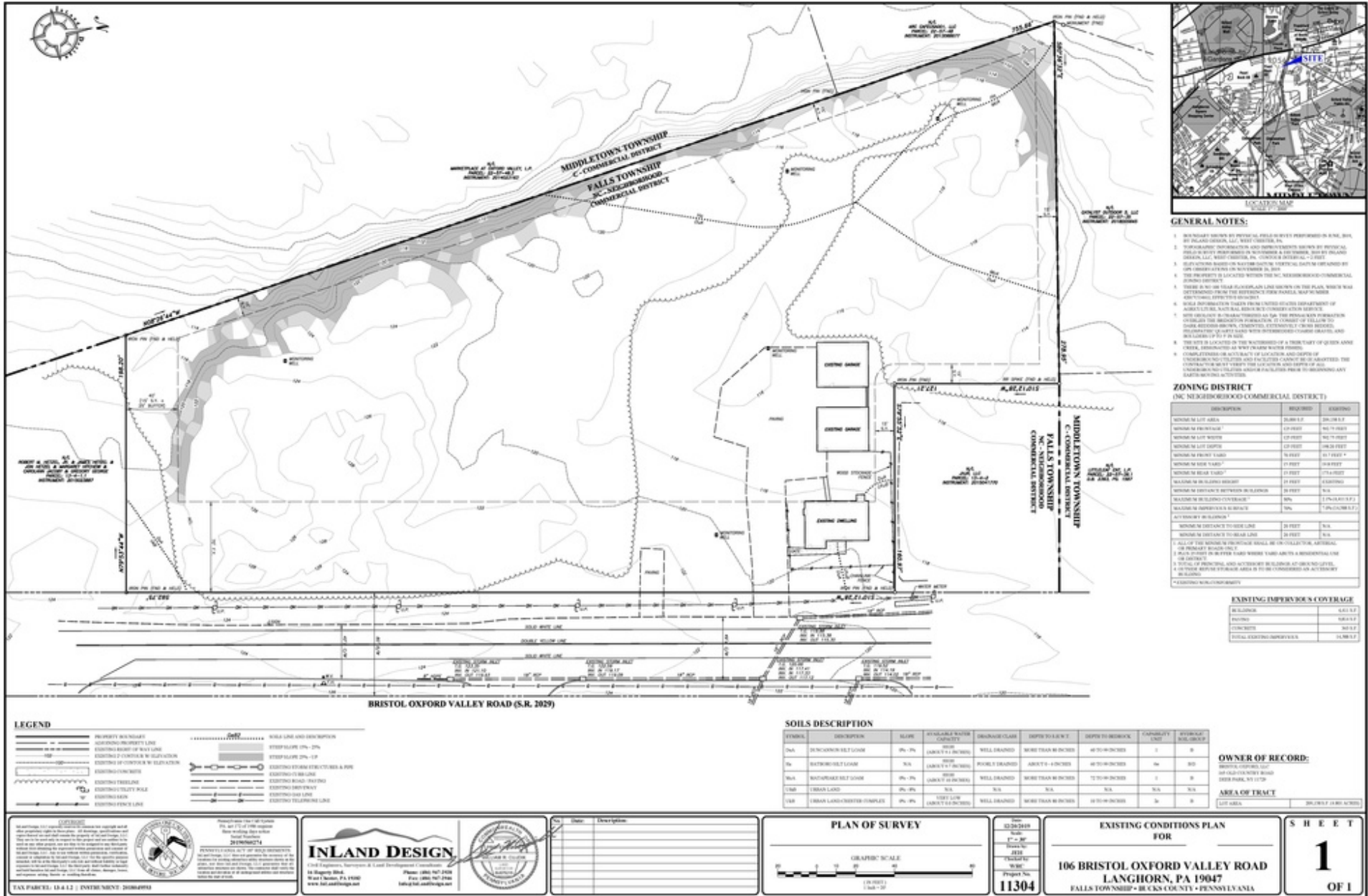
Map data © 2021 Google Imagery © 2021, Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency

SECTION 3

ADDITIONAL
INFORMATION



SITE PLAN



- GENERAL NOTES:**
1. THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH THE PENNSYLVANIA SURVEYING ACT AND THE REGULATIONS THEREOF.
 2. THE PROPERTY IS LOCATED WITHIN THE NC-NEIGHBORHOOD COMMERCIAL ZONING DISTRICT.
 3. THERE IS NO ONE YEAR ELEVATION LINE SHOWN ON THIS PLAN, WHICH WAS DETERMINED FROM THE DISTANCE FROM SEA LEVEL. SEA LEVEL WAS DETERMINED BY THE DISTANCE FROM THE TIDE GAUGE AT PHILADELPHIA.
 4. THE PROPERTY IS LOCATED WITHIN THE NC-NEIGHBORHOOD COMMERCIAL ZONING DISTRICT.
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ZONING DISTRICT
(NC-NEIGHBORHOOD COMMERCIAL DISTRICT)

DESCRIPTION	REQUIRED	EXISTING
MINIMUM LOT AREA	2,000 S.F.	2,000 S.F.
MINIMUM FRONT YARD SETBACK	10 FEET	10 FEET
MINIMUM SIDE YARD SETBACK	10 FEET	10 FEET
MINIMUM REAR YARD SETBACK	10 FEET	10 FEET
MINIMUM FRONT YARD SETBACK	10 FEET	10 FEET
MINIMUM SIDE YARD SETBACK	10 FEET	10 FEET
MINIMUM REAR YARD SETBACK	10 FEET	10 FEET
MINIMUM DISTANCE BETWEEN BUILDINGS	10 FEET	N/A
MINIMUM DISTANCE TO SIDE LINE	N/A	10 FEET (S.F.)
MINIMUM DISTANCE TO REAR LINE	N/A	10 FEET (S.F.)
MINIMUM DISTANCE TO SIDE LINE	10 FEET	N/A
MINIMUM DISTANCE TO REAR LINE	10 FEET	N/A

EXISTING IMPROVEMENTS COVERAGE

DESCRIPTION	AREA (S.F.)
ASPHALT DRIVEWAY	1,000 S.F.
CONCRETE DRIVEWAY	1,000 S.F.
TOTAL EXISTING IMPROVEMENTS	2,000 S.F.

OWNER OF RECORD:
BRISTOL OXFORD VALLEY ROAD DEVELOPMENT, LLC
106 BRISTOL OXFORD VALLEY ROAD
LANGHORNE, PA 19047

LEGEND

SYMBOL	DESCRIPTION
(Solid line)	PROPERTY BOUNDARY
(Dashed line)	EXISTING PROPERTY LINE
(Dotted line)	EXISTING CURB & GUTTER
(Thick solid line)	EXISTING DRIVEWAY
(Thin solid line)	EXISTING SIDEWALK
(Dashed line with dots)	EXISTING UTILITY LINE
(Dotted line with dots)	EXISTING ELEVATION
(Thick dashed line)	EXISTING DRIVEWAY
(Thin dashed line)	EXISTING SIDEWALK
(Dotted line with dots)	EXISTING UTILITY LINE
(Dotted line with dots)	EXISTING ELEVATION

SOILS DESCRIPTION

SYMBOL	DESCRIPTION	PERCENT	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO BOTTLE NECK	DEPTH TO BEDROCK	TYPICALITY	PERCENT SOIL COVER
SUA	SPURRING BELT LOAM	9%	N/A	WELL DRAINED	MORE THAN 60 INCHES	40 TO 60 INCHES	1	0
SU	BATHURST BELT LOAM	N/A	N/A	POORLY DRAINED	ABOUT 10 INCHES	40 TO 60 INCHES	NA	0
SUA	BATHURST BELT LOAM	9%	N/A	WELL DRAINED	MORE THAN 60 INCHES	70 TO 80 INCHES	1	0
UO	URBAN LOAM	9%	N/A	N/A	N/A	N/A	N/A	N/A
UO	URBAN LOAM (CENTER COMPLEX)	9%	N/A	WELL DRAINED	MORE THAN 60 INCHES	40 TO 60 INCHES	NA	0

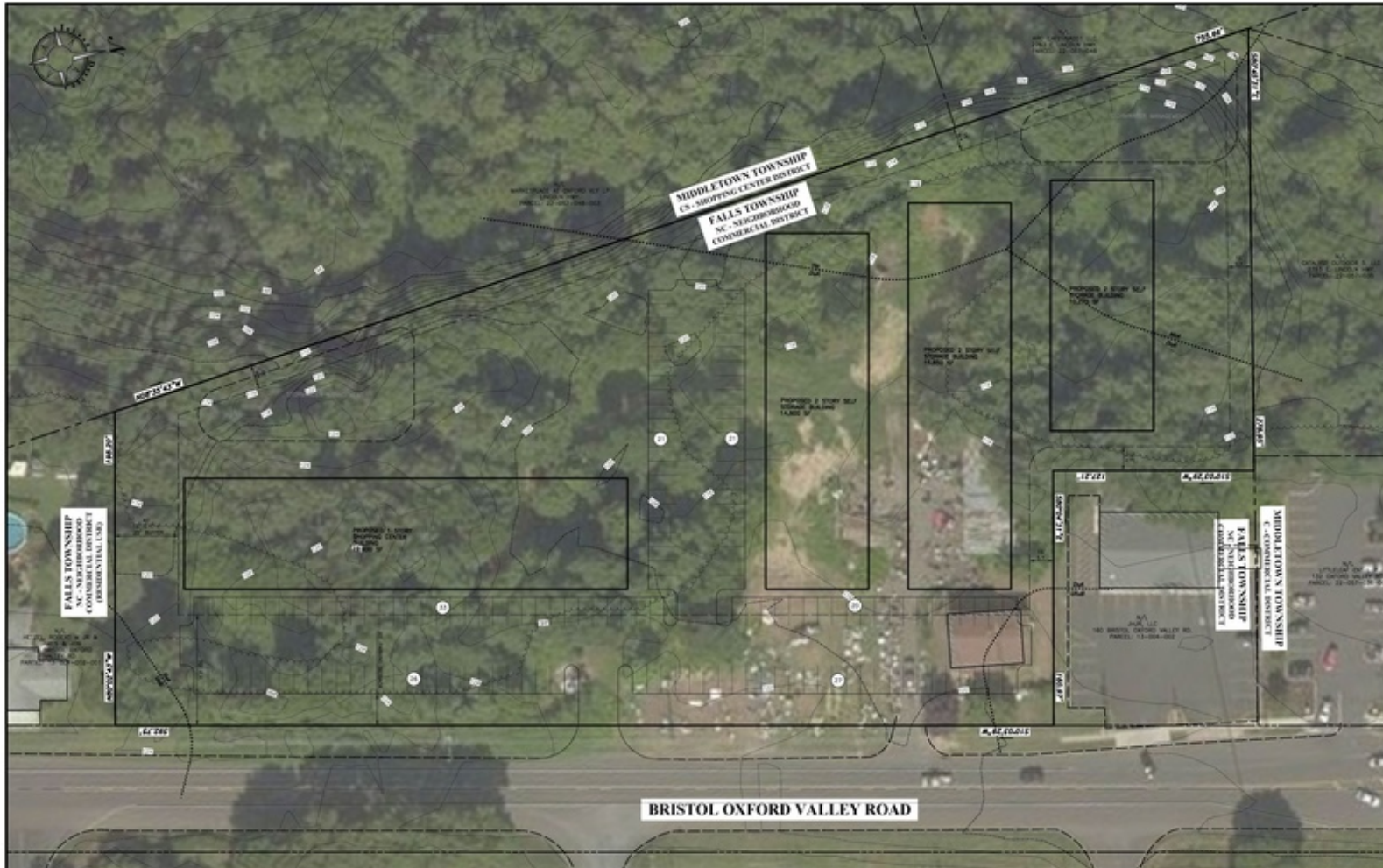
INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
1400 Market Street, Langhorne, PA 19047
Phone: (215) 947-2100
Fax: (215) 947-2100
www.inlanddesign.com

PLAN OF SURVEY
GRAPHIC SCALE
1" = 100'
1:1000

EXISTING CONDITIONS PLAN FOR
106 BRISTOL OXFORD VALLEY ROAD
LANGHORNE, PA 19047
FALLS TOWNSHIP • BRICK COUNTY • PENNSYLVANIA

SHEET 1 OF 1
Project No. 11304

SITE PLAN WITH AERIAL OVERLAY



- GENERAL NOTES:**
1. ALL DISTRICTS SET TO SHOWN ARE ZONING CODES FROM THE 2015 ZONING ORDINANCE AND SUPPLEMENTARY ORDINANCES.
 2. THE SHOWN DISTRICTS ARE THE ZONING DISTRICTS AND SUPPLEMENTARY ORDINANCES FROM THE 2015 ZONING ORDINANCE AND SUPPLEMENTARY ORDINANCES.
 3. THE SHOWN DISTRICTS ARE THE ZONING DISTRICTS AND SUPPLEMENTARY ORDINANCES FROM THE 2015 ZONING ORDINANCE AND SUPPLEMENTARY ORDINANCES.
 4. THERE IS NO 100' BUFFER ZONE AROUND THE PROPOSED BUILDINGS.
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 10. THERE IS NO 100' BUFFER ZONE AROUND THE PROPOSED BUILDINGS.

ZONING DISTRICT (NC NEIGHBORHOOD COMMERCIAL DISTRICT)

DESCRIPTION	HEIGHT	SETBACK
MINIMUM LOT AREA (SQ FT)	20,000	20,000
MINIMUM FRONT YARD SETBACK (FT)	10	10
MINIMUM SIDE YARD SETBACK (FT)	10	10
MINIMUM REAR YARD SETBACK (FT)	10	10
MINIMUM FRONT YARD SETBACK (FT)	10	10
MINIMUM SIDE YARD SETBACK (FT)	10	10
MINIMUM REAR YARD SETBACK (FT)	10	10
MINIMUM LOT AREA (SQ FT)	20,000	20,000
MINIMUM FRONT YARD SETBACK (FT)	10	10
MINIMUM SIDE YARD SETBACK (FT)	10	10
MINIMUM REAR YARD SETBACK (FT)	10	10
MINIMUM LOT AREA (SQ FT)	20,000	20,000
MINIMUM FRONT YARD SETBACK (FT)	10	10
MINIMUM SIDE YARD SETBACK (FT)	10	10
MINIMUM REAR YARD SETBACK (FT)	10	10

SOILS DESCRIPTION

SOILS	DESCRIPTION	PERCENT	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO TABLE (IN)	DEPTH TO BEDROCK (IN)	CAPACITY (GAL)	STABILITY
Ds1	DRY SANDY SILT LOAM	8%	1.0	WELL DRAINAGE	0 TO 10	0 TO 10	1	0
Ds2	DRY SANDY SILT LOAM	8%	1.0	WELL DRAINAGE	0 TO 10	0 TO 10	1	0
Ds3	DRY SANDY SILT LOAM	8%	1.0	WELL DRAINAGE	0 TO 10	0 TO 10	1	0
Ds4	DRY SANDY SILT LOAM	8%	1.0	WELL DRAINAGE	0 TO 10	0 TO 10	1	0
Ds5	DRY SANDY SILT LOAM	8%	1.0	WELL DRAINAGE	0 TO 10	0 TO 10	1	0
Ds6	DRY SANDY SILT LOAM	8%	1.0	WELL DRAINAGE	0 TO 10	0 TO 10	1	0
Ds7	DRY SANDY SILT LOAM	8%	1.0	WELL DRAINAGE	0 TO 10	0 TO 10	1	0
Ds8	DRY SANDY SILT LOAM	8%	1.0	WELL DRAINAGE	0 TO 10	0 TO 10	1	0
Ds9	DRY SANDY SILT LOAM	8%	1.0	WELL DRAINAGE	0 TO 10	0 TO 10	1	0
Ds10	DRY SANDY SILT LOAM	8%	1.0	WELL DRAINAGE	0 TO 10	0 TO 10	1	0

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
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Langhorne, PA 19047
Phone: (215) 862-1100
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AERIAL PLAN WITH SKETCH

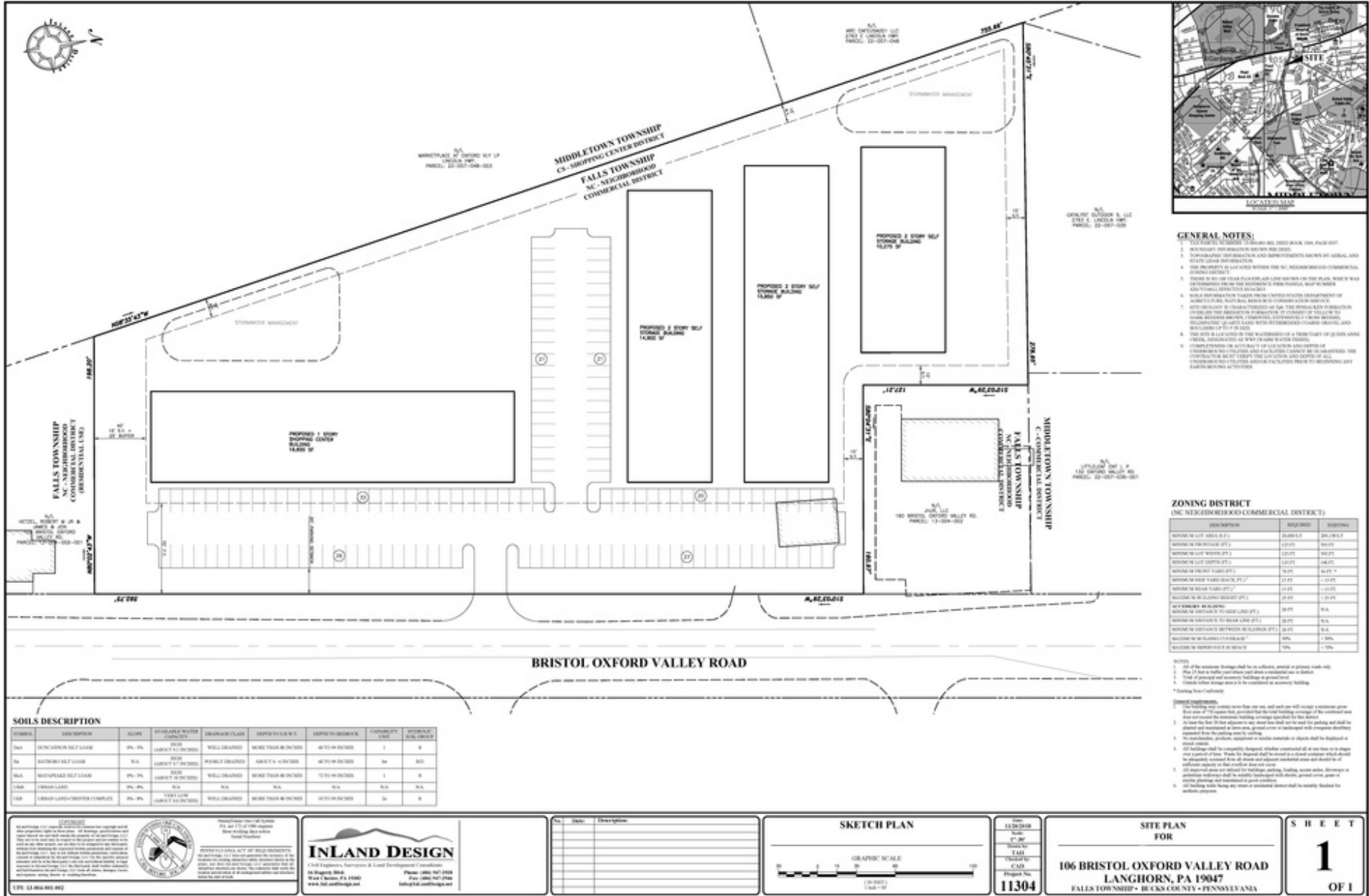
GRAPHIC SCALE
0 10 20 30
Feet

DATE: 11/20/2018
SCALE: AS SHOWN
DRAWN BY: TAJI
CHECKED BY: CAD
PROJECT NO: 11304

SITE PLAN FOR
106 BRISTOL OXFORD VALLEY ROAD
LANGHORNE, PA 19047
FALLS TOWNSHIP • BECKS COUNTY • PENNSYLVANIA

SHEET
1
OF 1

RETAIL / STORAGE CONCEPT



- GENERAL NOTES:**
1. ALL DISTANCES REFERRED TO ON THIS PLAN SHALL BE MEASURED FROM THE CORNER OF THE LOT.
 2. THE PROPERTY INFORMATION IS BASED ON THE RECORD SURVEY AND THE PROPERTY INFORMATION IS BASED ON THE RECORD SURVEY AND THE PROPERTY INFORMATION IS BASED ON THE RECORD SURVEY.
 3. THE PROPERTY IS LOCATED WITHIN THE NE NEIGHBORHOOD COMMERCIAL ZONING DISTRICT.
 4. THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH IS A DETERMINATION FROM THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP).
 5. THE PROPERTY IS LOCATED WITHIN THE NEIGHBORHOOD COMMERCIAL ZONING DISTRICT.
 6. THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH IS A DETERMINATION FROM THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PA DEP).
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 10. THE PROPERTY IS LOCATED WITHIN THE NEIGHBORHOOD COMMERCIAL ZONING DISTRICT.

ZONING DISTRICT (NE NEIGHBORHOOD COMMERCIAL DISTRICT)

DESCRIPTION	REQUIRED	EXISTING
MINIMUM LOT AREA (FT ²)	20,000 FT ²	20,000 FT ²
MINIMUM FRONTAGE (FT)	100 FT	100 FT
MINIMUM LOT HEIGHT (FT)	20 FT	20 FT
MINIMUM LOT DEPTH (FT)	100 FT	100 FT
MINIMUM FRONT YARD SETBACK (FT)	10 FT	10 FT
MINIMUM SIDE YARD SETBACK (FT)	10 FT	10 FT
MINIMUM REAR YARD SETBACK (FT)	10 FT	10 FT
MAXIMUM BUILDING HEIGHT (FT)	30 FT	30 FT
MINIMUM DISTANCE TO SIDE LINE (FT)	10 FT	10 FT
MINIMUM DISTANCE TO REAR LINE (FT)	10 FT	10 FT
MINIMUM DISTANCE BETWEEN BUILDINGS (FT)	10 FT	10 FT
MINIMUM BUILDING COVERAGE	50%	50%
MINIMUM IMPERVIOUS TO SOLAR	70%	70%

SOILS DESCRIPTION

SOILS	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO TABLE	DEPTH TO BEDROCK	CAPACITY CLASS	STABILITY
DU1	DUNKLETTON SELF LOAM	0% - 1%	ABOVE 12" INCHES	WELL DRAINAGE	MORE THAN 10 INCHES	40 TO 100 INCHES	1	B
DU	DUNKLETTON SELF LOAM	N/A	ABOVE 12" INCHES	POORLY DRAINAGE	ABOVE 8" INCHES	40 TO 100 INCHES	4a	BD
DU1A	DUNKLETTON SELF LOAM	0% - 1%	ABOVE 12" INCHES	WELL DRAINAGE	MORE THAN 10 INCHES	70 TO 100 INCHES	1	B
U1AB	U1AB LAND	0% - 1%	N/A	N/A	N/A	N/A	N/A	N/A
U1AB	U1AB LAND-DESIGNER COMPLEX	0% - 1%	VERY LOW	WELL DRAINAGE	MORE THAN 10 INCHES	80 TO 100 INCHES	2a	B

CONTRACTOR

INLAND DESIGN

1600 Market Street, Suite 100, Langhorne, PA 19047

Phone: (215) 867-2244 Fax: (215) 867-2244

www.inlanddesign.com

SKETCH PLAN

GRAPHIC SCALE

0 10 20 30

1" = 100'

SITE PLAN FOR

106 BRISTOL OXFORD VALLEY ROAD

LANGHORNE, PA 19047

FALLS TOWNSHIP • BUCKS COUNTY • PENNSYLVANIA

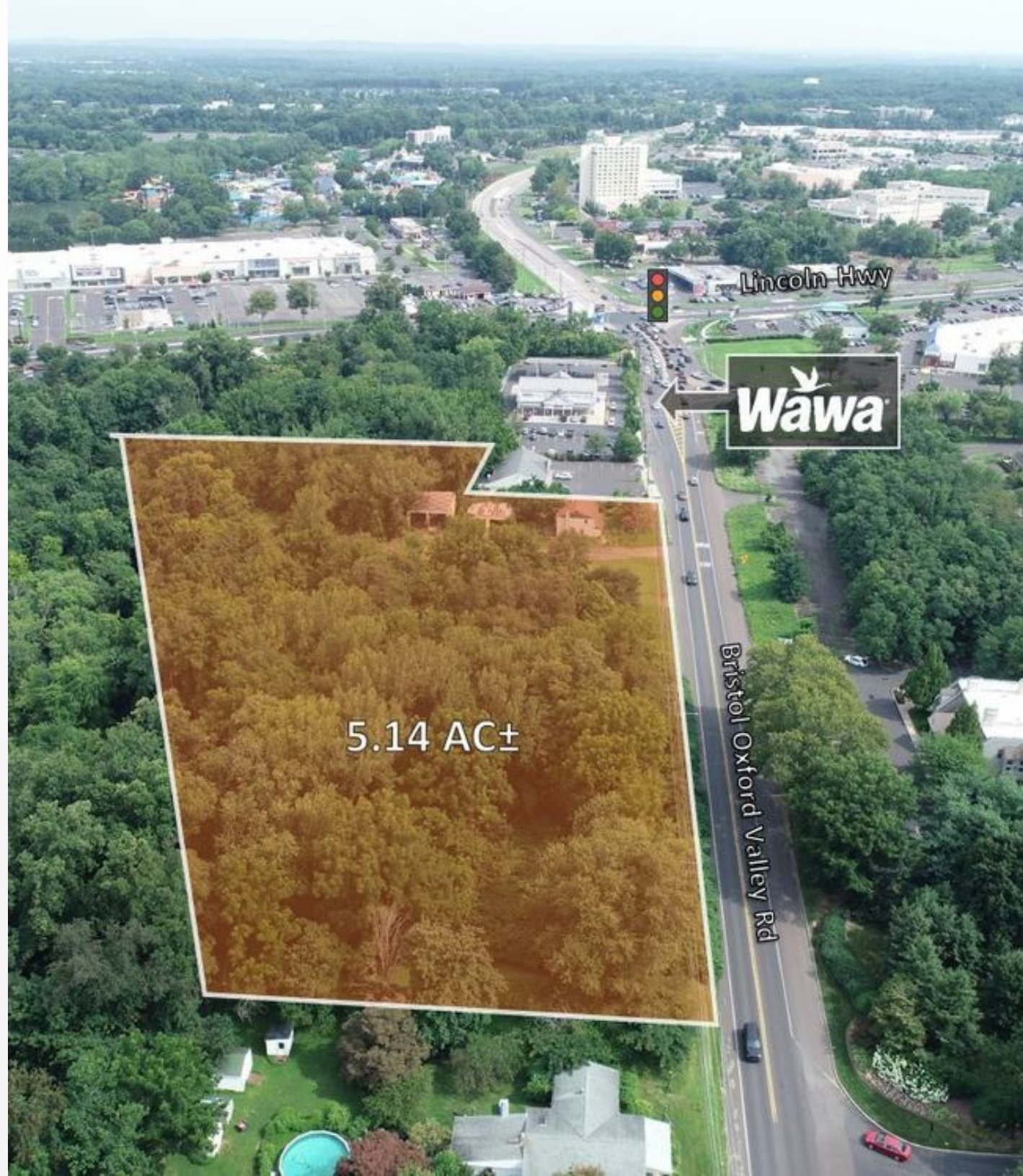
SHEET

1

OF 1

SECTION 4

DEMOGRAPHIC
PROFILE



DEMOGRAPHICS MAP & REPORT

POPULATION

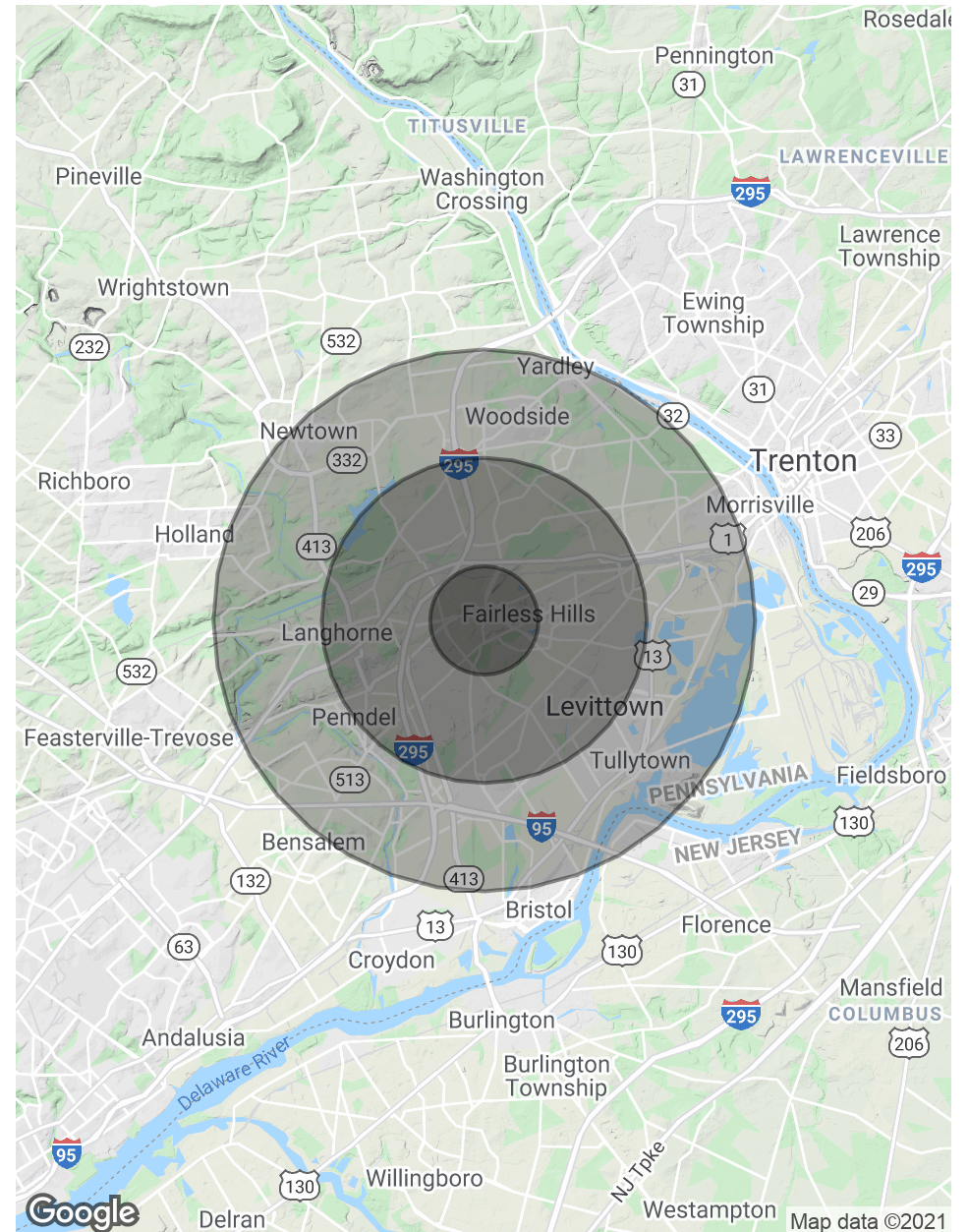
	1 MILE	3 MILES	5 MILES
TOTAL POPULATION	10,702	92,926	212,717
AVERAGE AGE	39.8	40.2	40.1
AVERAGE AGE (MALE)	38.0	38.2	38.6
AVERAGE AGE (FEMALE)	41.2	42.1	41.3

HOUSEHOLDS & INCOME

1 MILE 3 MILES 5 MILES

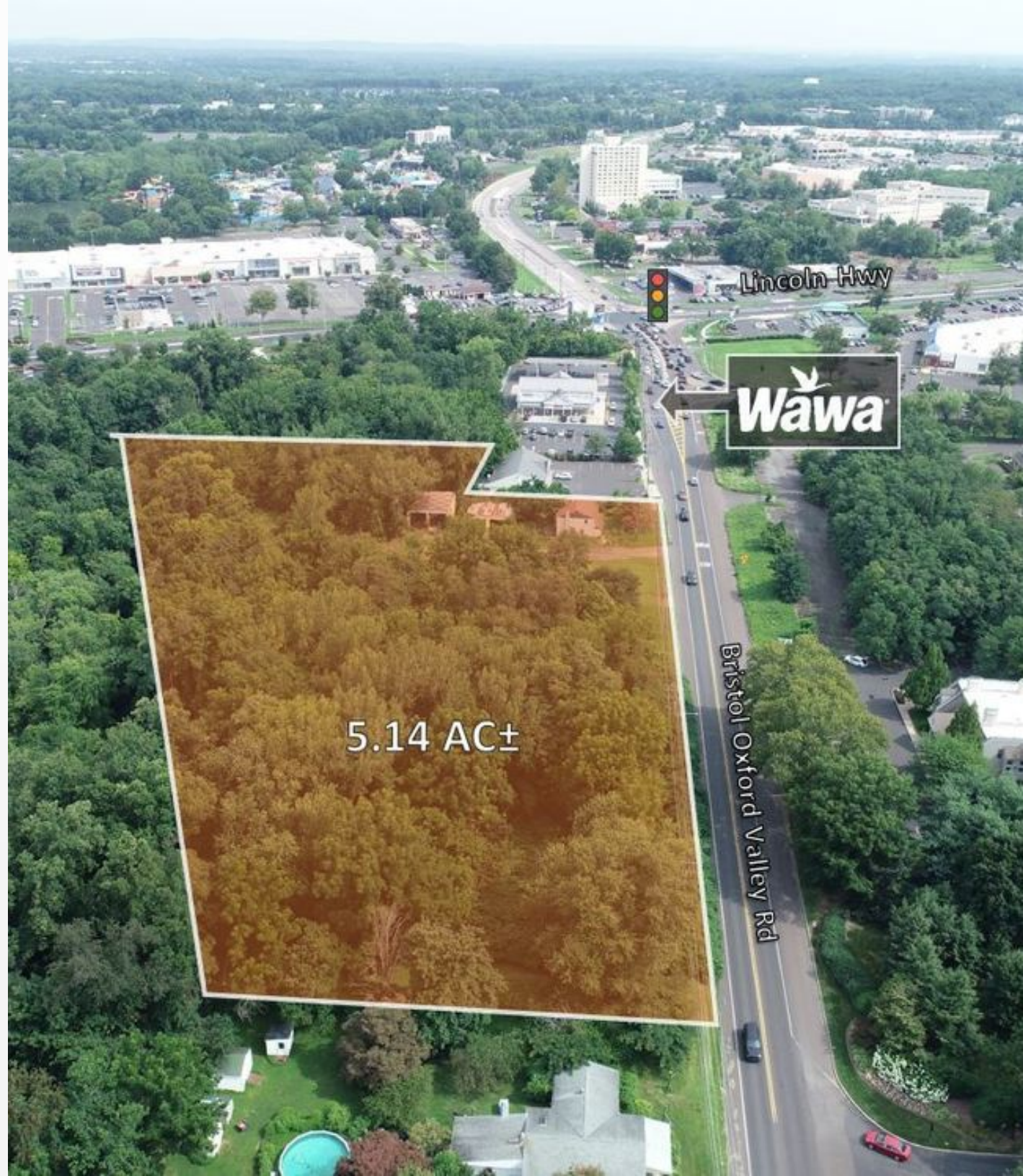
	1 MILE	3 MILES	5 MILES
TOTAL HOUSEHOLDS	3,910	33,498	77,071
# OF PERSONS PER HH	2.7	2.8	2.8
AVERAGE HH INCOME	\$71,334	\$83,754	\$87,482
AVERAGE HOUSE VALUE	\$280,316	\$314,678	\$322,279

* Demographic data derived from 2010 US Census



SECTION 5

ZONING INFORMATION



§ 209-22. NC Neighborhood Commercial District.

A. Purpose. The purpose of the NC Neighborhood Commercial District is to allow for small areas throughout the Township where small retail and service businesses may be located primarily for the convenience of the residents of the immediate neighborhood. Development in these areas shall be designed to enhance and improve commercial centers by ensuring an adequate traffic circulation plan developed so that each building does not have its own access points to the highways. The building appearances and signs shall be compatible, and parking facilities shall be interrelated and capable of common usage where advisable.

B. Principal permitted uses.

- (1) Convenience shops, including grocery store, drugstore, gift shop, hardware store, and clothing store, except as prohibited in § 209-22J.
- (2) Automatic self-service laundry, baked goods store, confectionary store, shoe repair and dry-cleaning store, or laundry where laundering and dry cleaning are performed on the premises.
- (3) Office building and professional offices, including medical, dental, realty, insurance, law offices, accounting services and governmental services.
- (4) Bank.
- (5) Barbershop and beauty shop.
- (6) Public or private library.
- (7) Restaurant.
- (8) Brewery, microbrewery, micro-winery, distillery, brew pub.
- (9) Day-care center.
- (10) Other uses of the same general nature.

C. Accessory buildings, structures or uses permitted.

- (1) Off-street parking.
- (2) Fences and walls. (See § 209-37.)
- (3) Off-street loading areas.
- (4) Garages to house delivery trucks or other vehicles.

- (5) Vending machines.
- (6) Machines for amusement, entertainment and/or the rendition of music, provided that they comply with the requirements set forth in § 209-50.1.
- (7) Drive-through facility, subject to conditional use approval and subject to the requirements set forth in § 209-23E(8).
- D. Maximum building and structure height. No building and/or structure shall exceed 25 feet in height.
- E. Area and yard requirements. See Table 4.¹
- F. General requirements.
 - (1) One building may contain more than one use, and each use will occupy a minimum gross floor area of 750 square feet, provided that the total building coverage of the combined uses does not exceed the maximum building coverage specified for this district.
 - (2) At least the first 20 feet adjacent to any street line shall not be used for parking and shall be planted and maintained as lawn area, ground cover or landscaped with evergreen shrubbery separated from the parking area by curbing.
 - (3) No merchandise, products, equipment or similar materials or objects shall be displayed or stored outside.
 - (4) All buildings shall be compatibly designed, whether constructed all at one time or in stages over a period of time.
 - (5) All improved areas not utilized for buildings, parking, loading, access aisles, driveways or pedestrian walkways shall be suitably landscaped with shrubs, ground cover, grass or similar plantings and maintained in good condition.
 - (6) All building walls facing any street or residential district shall be suitably finished for aesthetic purposes.
- G. Minimum off-street parking.
 - (1) Minimum off-street parking shall be as provided in § 209-42.
 - (2) The Zoning Hearing Board may grant a special exception to reduce parking requirements by a maximum of 15%, subject to the provisions of § 209-23I(2).

1. Editor's Note: Said table is included as an attachment to this chapter.

- H. Minimum off-street loading shall be as provided in § 209-42.
- I. Conditional uses permitted:
 - (1) Outdoor dining areas when accessory to a restaurant or bar/ tavern subject to the regulations set forth in § 209-32.4E(3).
- J. Prohibited uses.
 - (1) Chain stores servicing the general public, supermarkets, department stores, discount stores or motor vehicle fueling stations are not permitted.
 - (2) Clubs and lounges.



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