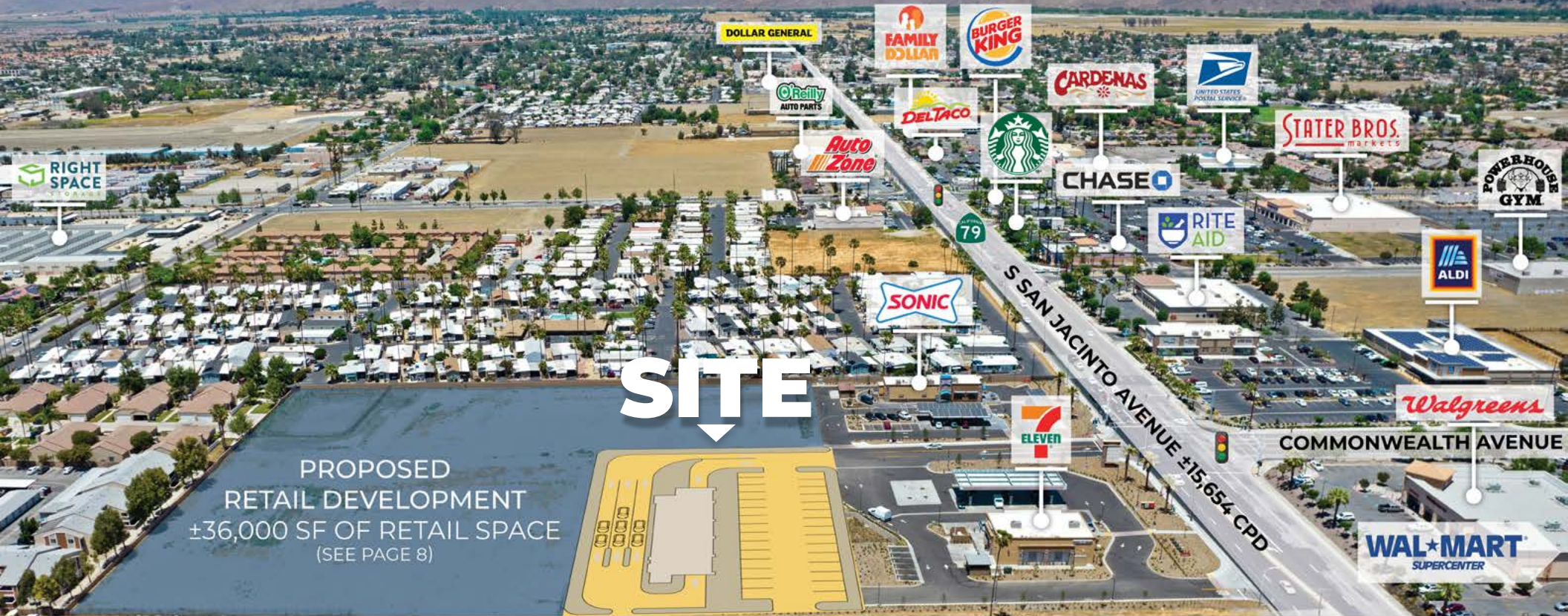


**SWQ S SAN JACINTO AVENUE
& COMMONWEALTH AVENUE
SAN JACINTO, CA 92583**

**ACROSS FROM
WAL★MART®
SUPERCENTER**



**PROPOSED
RETAIL DEVELOPMENT
±36,000 SF OF RETAIL SPACE
(SEE PAGE 8)**

**1.21 ACRE
CAR WASH GROUND LEASE**

**FLOCKE &
AVOYER**
Commercial Real Estate

Leasing Team

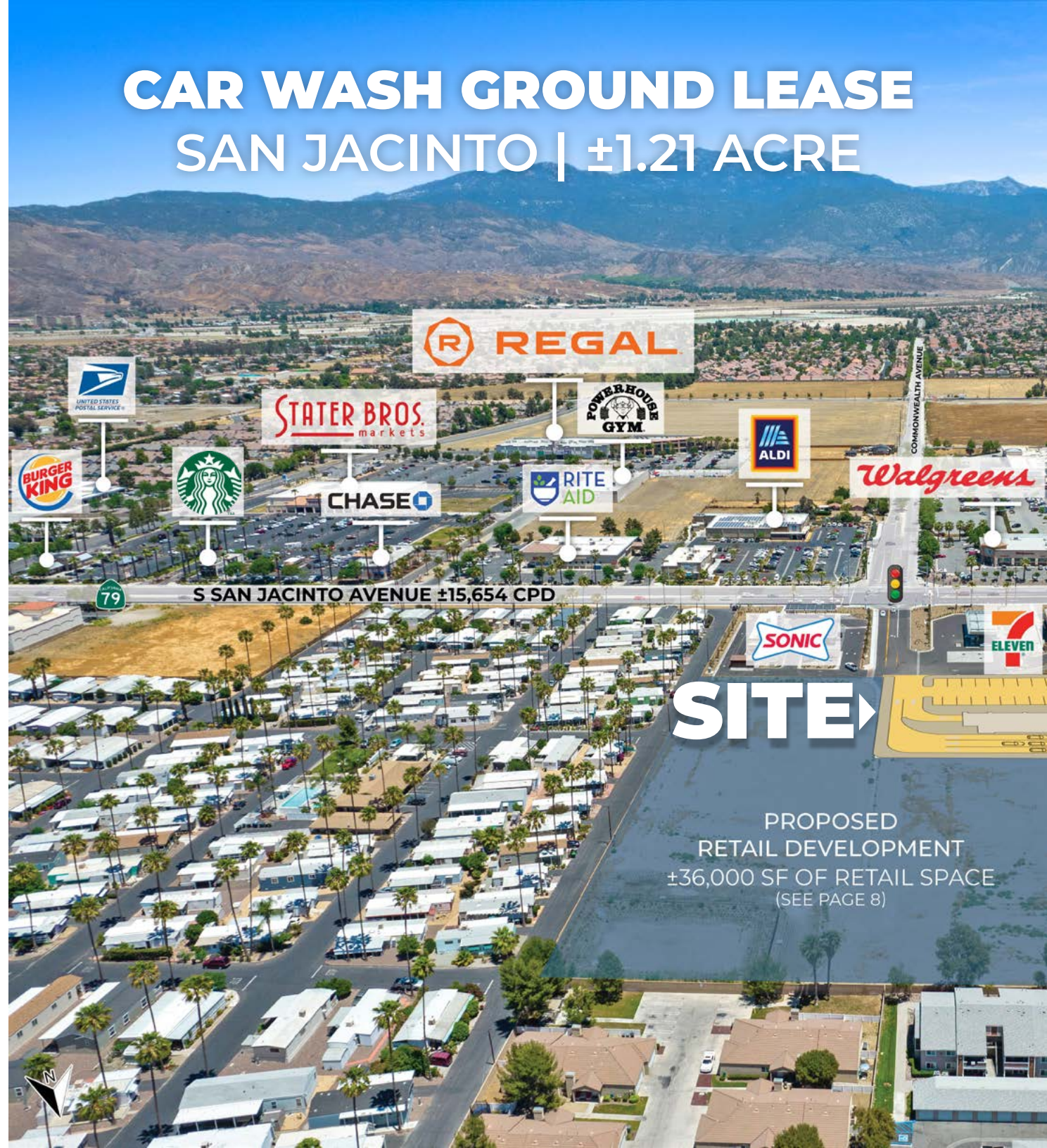
LEASING CONTACT

JON HORNING
Sr. Vice President
858.875.4667
jhorning@flockeavoyer.com
CA DRE No.: 01027916

STEVE AVOYER
President
619.280.2600
savoyer@flockeavoyer.com
CA DRE No.: 00407899

GAEL COURTNEY
Executive Vice President
858.875.4666
gcourtney@flockeavoyer.com
CA DRE No.: 00952439

CAR WASH GROUND LEASE SAN JACINTO | ±1.21 ACRE



S SAN JACINTO AVENUE ±15,654 CPD

SITE →

PROPOSED
RETAIL DEVELOPMENT
±36,000 SF OF RETAIL SPACE
(SEE PAGE 8)



**SWQ S SAN JACINTO AVENUE
& COMMONWEALTH AVENUE
SAN JACINTO, CA 92583**

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HEMET

Carl's Jr.

Pollo Loco

T-Mobile

Wendy's

GameStop

Walgreens

7-ELEVEN

WAL*MART
SUPERCENTER

ALDI

RITE
AID

CHASE

COMMONWEALTH AVENUE

S SAN JACINTO AVENUE #15,65

POWERHOUSE
GYM





Car Wash Ground Lease

SWQ S SAN JACINTO AVENUE & COMMONWEALTH AVENUE
SAN JACINTO, CA 92583

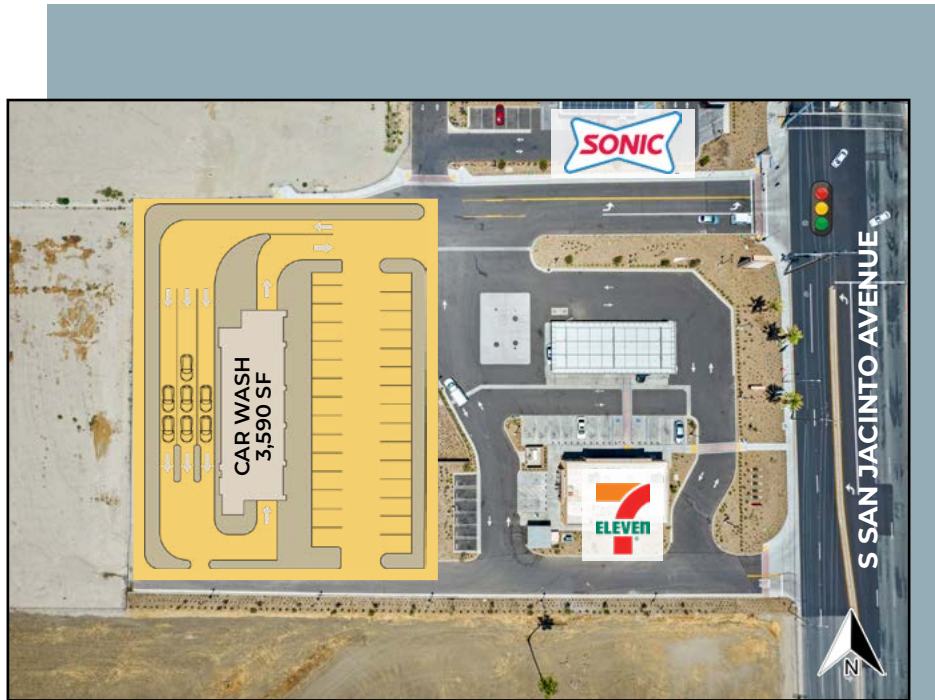
Flocke & Avoyer Commercial Real Estate is pleased to offer a ground lease of ±1.21 acres of land located on the SWQ of S San Jacinto Avenue & Commonwealth Avenue in San Jacinto, California.

LEASE OVERVIEW

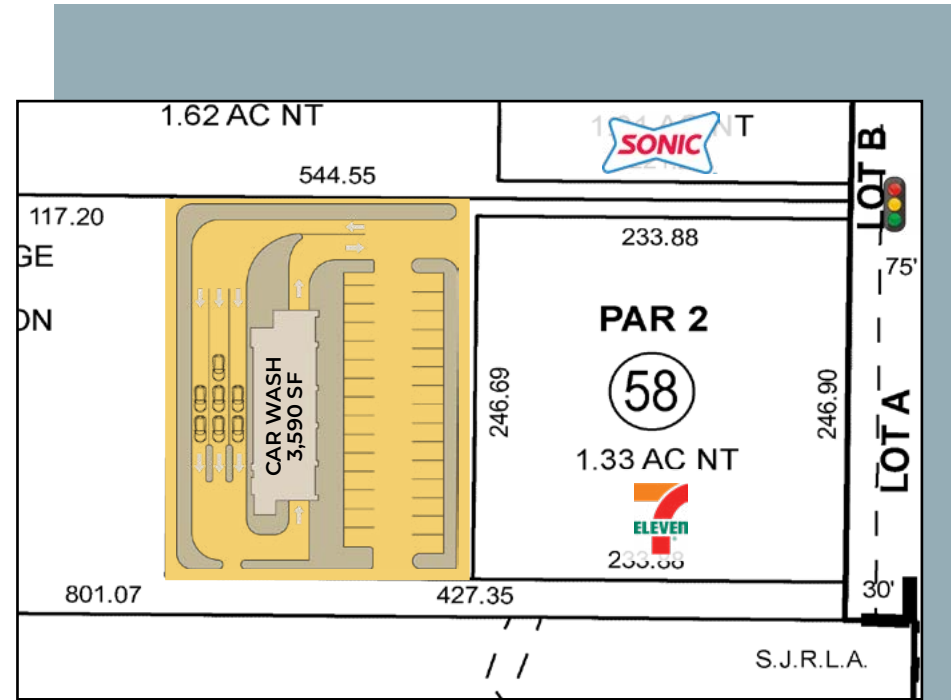
GROUND LEASE RATE:	\$140K Per Year NNN
CAM:	\$1,206 / MO
PROPERTY TAX:	\$396 / MO
LAND SIZE:	1.21 Acres 52,708 SF
ZONING:	CN Commercial Neighborhood Minor Use Permit 17-07
APN:	439-120-042

Land Size 1.21 acres | 52,708 SF

Aerial Map



Plat Map





Highlights

ONE OF A KIND LOCATION

This property is located at a busy retail corridor in San Jacinto - directly across from high-traffic generating Walmart Supercenter. Positioned at a signalized intersection on one of the busiest roads in the area, the site benefits from strong traffic counts. In the growing San Jacinto area, there are numerous master-planned residential developments proposed.

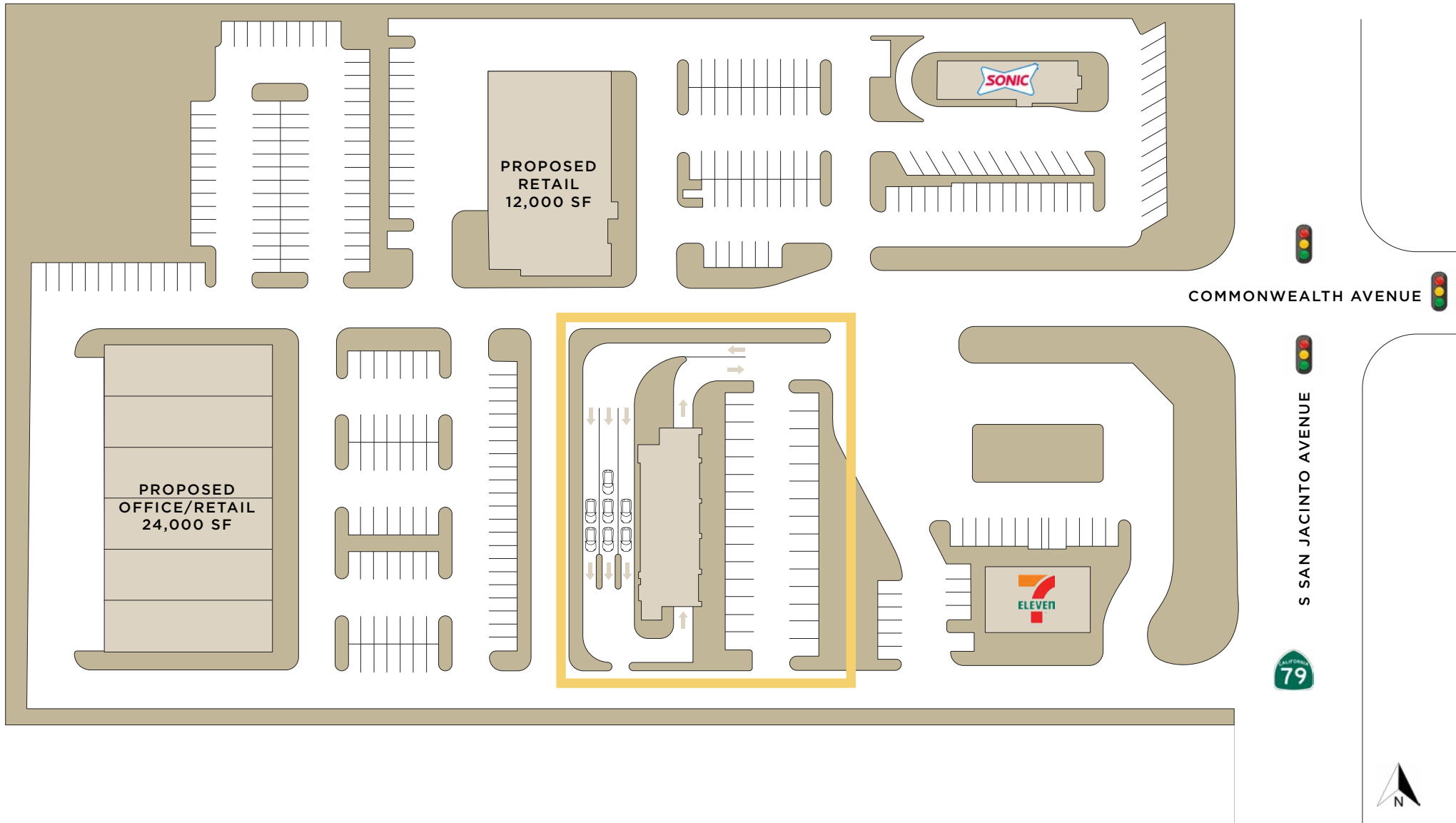
The 1.21 acre pad is part of a ±9.46 acre retail/office development.

The new lessee will benefit from excellent co-tenancy. The current tenants are a 7-Eleven convenience store and fuel station next to a Sonic drive-thru restaurant.

Nearby Retail:



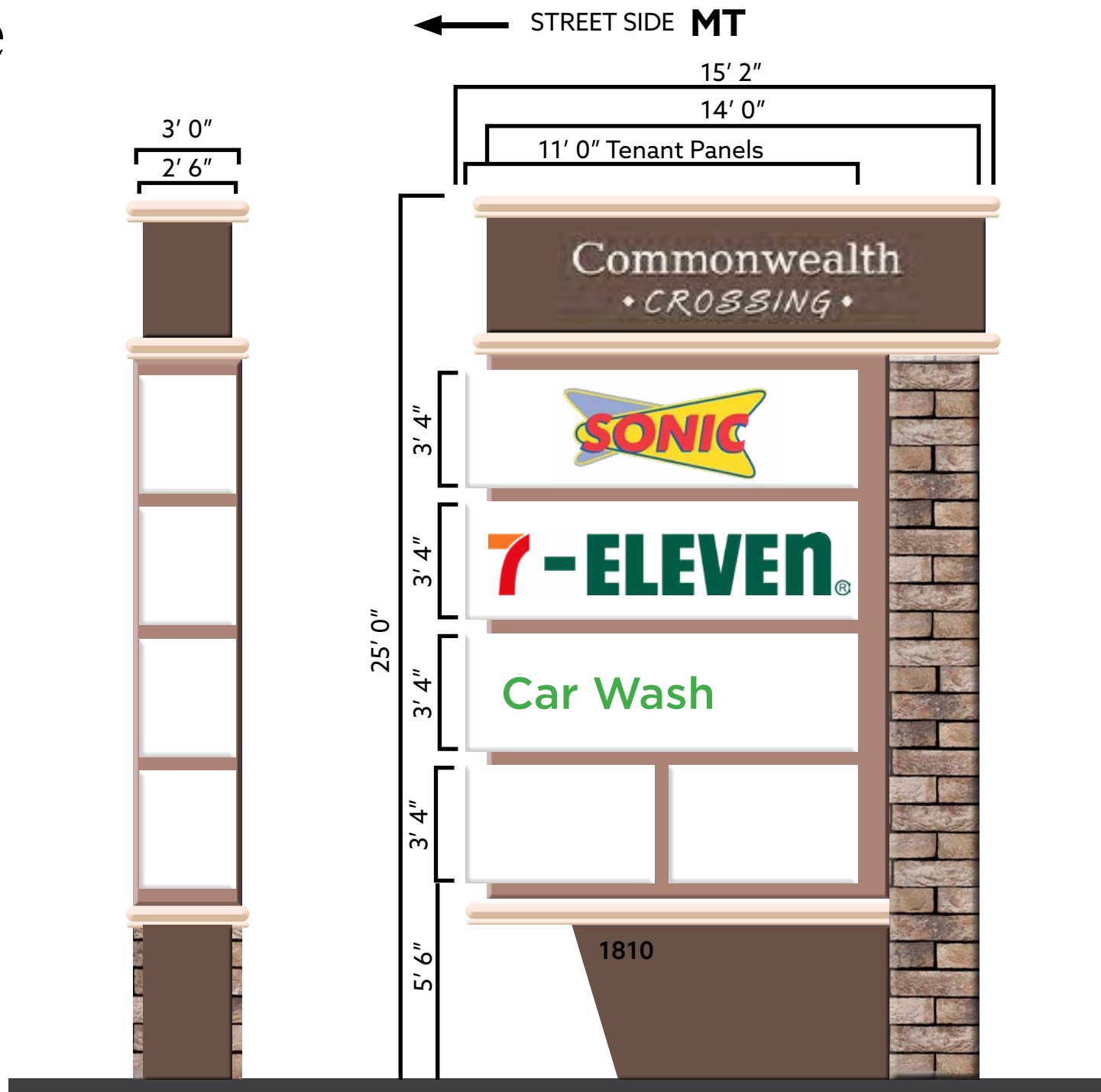
Site Plan

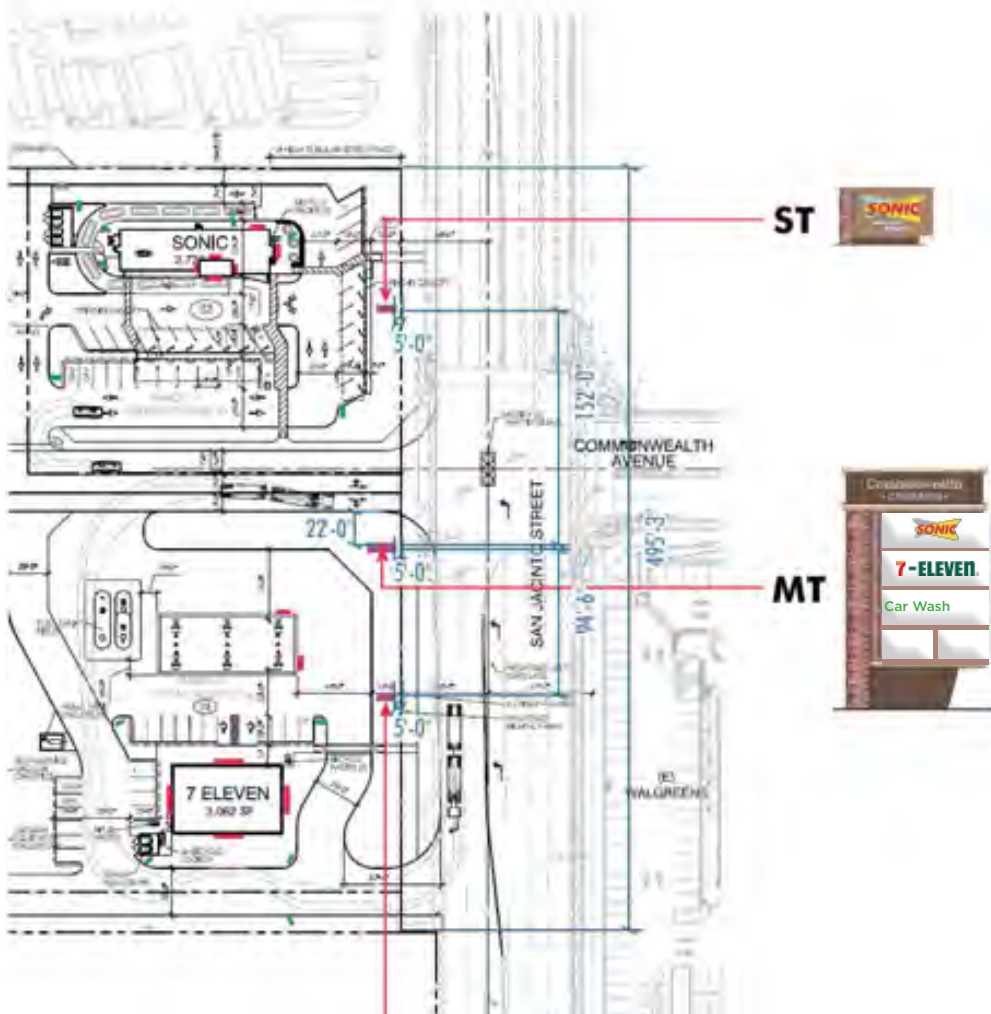


*This site plan is not a representation, warranty or guarantee as to size, location, or identity of any tenant, and the improvements are subject to such changes, additions, and deletions as the architect, landlord, or any governmental agency may direct.



Signage









Nearby Retail





Area Demographics

 Cars Per Day	S San Jacinto Avenue 15,654	Commonwealth Avenue 3,981	N Santa Fe Street 5,517
 Average HHI	3 Miles \$53,027	5 Miles \$58,461	8 Miles \$60,073
 Population	3 Miles 117,353	5 Miles 165,703	8 Miles 179,311
 Daytime Population	3 Miles 70,987	5 Miles 99,534	8 Miles 106,879



Trade Area Overview

Located at the base of the San Jacinto mountains and adjacent to the San Jacinto River, the City of San Jacinto has much to offer residents and businesses alike.

As one of the oldest incorporated cities in Riverside county, you'll find an eclectic combination of the old and the new.





San Jacinto Demographics

Population
51,028

Median Home Price
\$85,000
(up 21% from 3/2021)

Median HH Income
\$55,991

Median Age
31.3



1,000+
Housing Projects
Recently Built

5 Major Home Builders
Actively Developing in 6
Communities



158,757
Retail Trade Population
by 2022



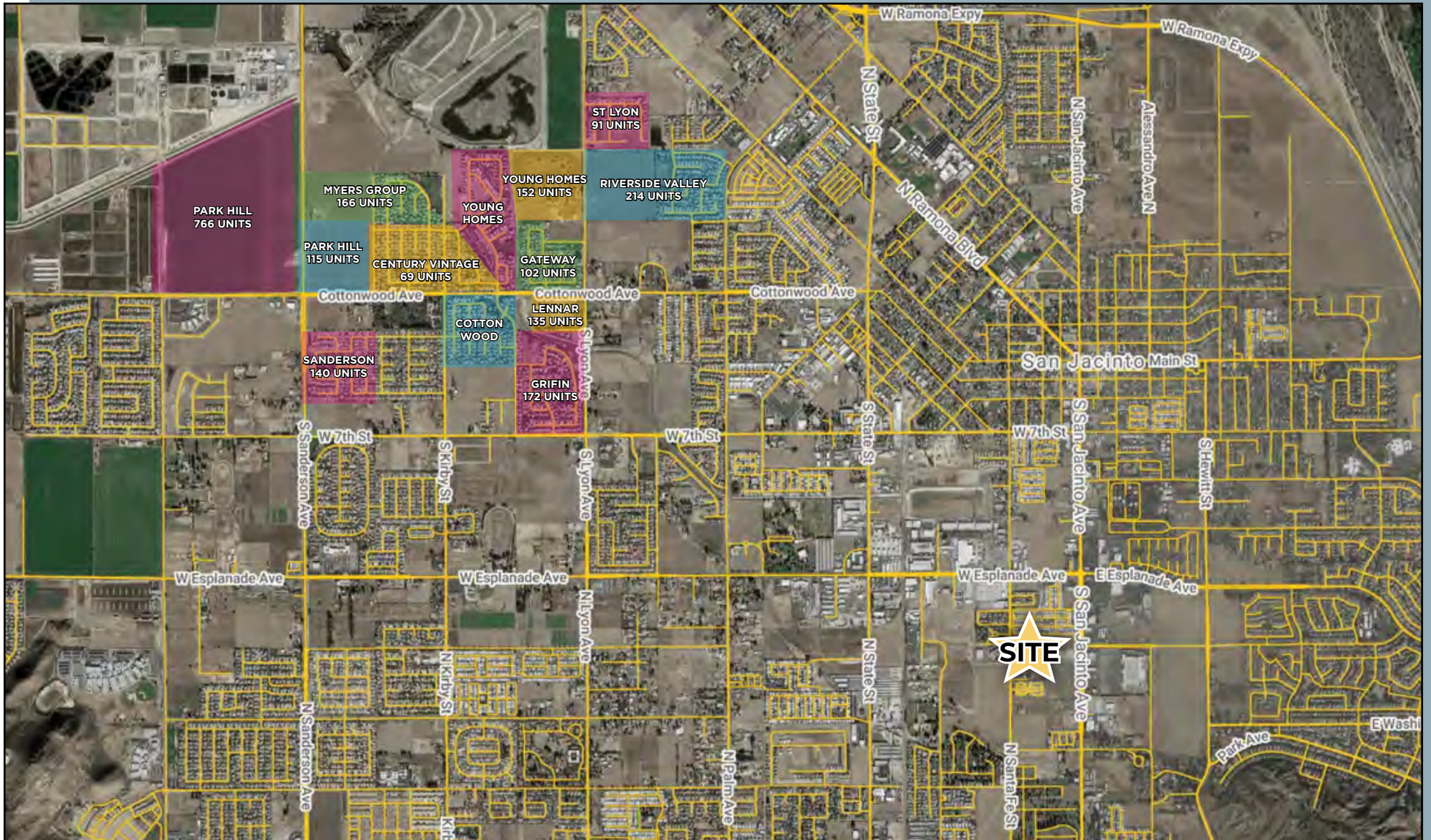
485,000 SF
New Soboba Resort &
Casino

World Class Golf Course
200 Room Hotel
Fine Dining & Gaming



27,000
Student Enrollment at
San Jacinto College

Nearby New Housing Projects





FOR MORE INFORMATION

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jhorning@flockeavoyer.com

CA DRE No.: 01027916

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CA DRE No.: 00952439



6165 GREENWICH DRIVE
SUITE 110
SAN DIEGO, CA 92122
619.280.2600

All information regarding this property is deemed to be reliable, however, no representation, guarantee or warranty is made to the accuracy thereof and is submitted subject to errors, omissions, change of price rental, or withdrawal without notice.

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