

TO: CENTERTON PLANNING COMMISSION
 FROM: CENTERTON PLANNING STAFF
 PLANNER: ERIK NYSTROM



PC MEETING DATE: 08/15/2023
 DEV23-03 Laundry List

6G

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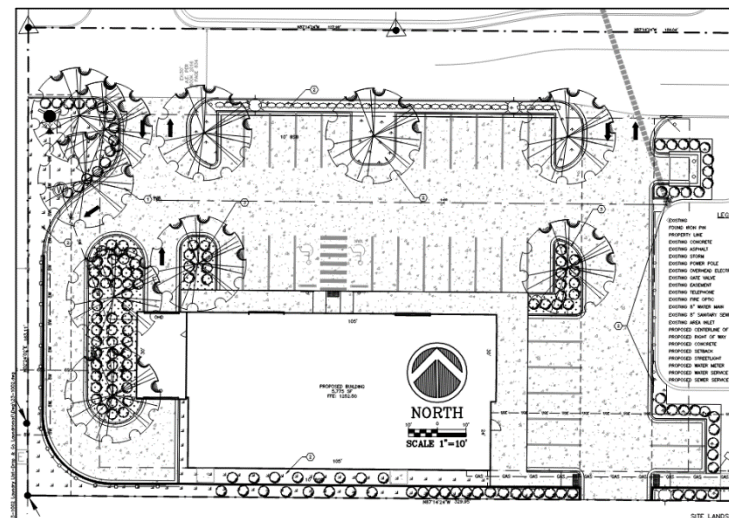
PROJECT INFORMATION

PROJECT NAME	Laundry List: Drop & Go Laundromat	APPLICANT / OWNER	Humble Growth Partners/ Joseph Swearengin
ENGINEER / SURVEYOR	Expedient Civil Engineering, LLC./ Jason Ingalls	ZONING	C-2
ADDRESS / LOCATION	SW corner of Seba & Main St	PROPOSED USE	Laundromat
PARCEL ID	06-00001-100	ROW DEDICATION	Variable width (7.14')
SIZE	1.07 Ac	PARKING	31 spaces
ADJACENT STREET AGREEMENT APPROVED?	Pending Comments	DRAINAGE REPORT APPROVED?	Yes
PLANS IN CONFORMANCE WITH CITY CODE: YES, CONTIGENT ON STAFF COMMENTS			

BACKGROUND:

Applicant has submitted a Large-Scale Development for the use of a Laundromat, which is permitted under Highway Commercial (C-2). The development is adjacent to Watercolors Apartments (R4-MF), Taco Bell (C-2), Signature Bank (C-2), and Take 5 Car Wash (C-2). There is also a vacant C-2 parcel to the south.

Submittal of a photometric plan is needed for approval as well as clarification on if the detention pond is going to encroach in the proposed Right of way dedication. All other comments have been addressed.





1. **ZONING AND SCHEDULE OF USES:** The use of a Laundromat is permitted under C-2 (Highway Commercial) The Highway Commercial District is intended for those businesses which cater to the highway traffic, such as service stations, drive-in restaurants, motels, supermarkets, and similar businesses.
 - Setback requirements for C-2:
 - a. Front – Minimum fifty (50) feet from the planning right-of-way as shown on the Master Street Plan.
 - b. Side – Ten (10) feet from property lines.
 - c. Street side – Ten (10) feet from the planning right-of-way as shown on the Master Street Plan.
 - d. Rear – Minimum of twenty-five (25) feet from property line or center of alley if one exists.
2. **UTILITIES:** There is direct access to Centerton Water along Greenhouse Rd. Sanitary Sewer is proposed to connect via offsite sewer connection from Watercolors Apartments.
3. **DRAINAGE:** There is an existing dry detention pond on the east side of the property, along Greenhouse Rd.
 - **City Engineer has approved the proposed drainage.**
 - **The detention pond show the eastern edge encroaching the proposed RoW dedication. Clarification is needed as to who will be responsible for the maintenance of that part.**
4. **PARKING:** There are 31 proposed parking spaces, 2 of which are ADA compliant.
 - Number of Parking spaces required: 1 space/200 sq ft of floor space. (5,775 sq ft/ 200 sq ft = 29 spaces)
5. **ADJACENT STREET AGREEMENT:**
 - **GREENHOUSE RD** – Greenhouse Rd is designated as a Major Arterial with 100' of planned ROW. An existing 42.85' right of way has already been dedicated along the east property line of Drop & Go Laundromat for Greenhouse Road, so this developer will dedicate **7.15'** right of way along Greenhouse Road to provide the required 100' of ROW.
 - Greenhouse Rd has a planned expansion project being jointly worked on with Centerton and Bentonville. Instead of completing road improvements, the developer has proposed to pay fee-in-lieu of infrastructure and street improvements.
 - a. Cost & quantities breakdown:
 - Linear feet of 2' curb and gutter:
 - 151' @ \$15.00 per linear foot = \$2,265
 - Square yard of asphaltic concrete with roadbase:
 - 200 Sq.Yd. @ \$100.00 = \$20,000
 - 10' Trail 134' long: 1,340 Sq. Ft. @ \$12.00 per Sq. Ft. = \$16,080
 - Street trees: less than 20' tall(overhead electric): 134' of

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frontage/30' spacing = 5 trees

○ 5 Trees X \$150.00 = \$750

- **Staff recommends approval of the adjacent street agreement, contingent on staff approving fee-in-lieu amounts.**

6. **ACCESS & FUTURE CONNECTIVITY:** An access easement has been proposed at a stub-out near the southeast corner, providing future access to the parcel to the south. An existing access easement is located on the north side of the property and will have two access drives, both are ingress/egress.

7. **LIGHTING:** *We are currently awaiting a photometric plan.*

- **Staff recommends approval of the development plans be contingent upon submittal and staff approval of the photometric plan.**

8. **DUMPSTER:** Dumpster enclosure is proposed to have brick all around.

9. **LANDSCAPING & SCREENING:**

- **STREET TREES:** Due to the expansion of Greenhouse Rd, street trees are proposed to be included in the fee-in-lieu.
- **PARKING LOT LANDSCAPING:** 10 trees and 181 shrubs will be provided. Each parking island will have one or up to three Redbud trees. Euonymus shrubs will be provided on all islands except the 3 north islands, which will contain Boxwood shrubs.
LANDSCAPE SCREENING: No opaque screening is provided. Watercolors Apartments property has landscape screening along their east property line. Euonymus shrubs have been provided around the dumpster enclosure, partially along the south property line, and around the two southeast parking spaces.
- **Staff recommends approval of the landscaping plan.**

Staff finds the plat to be generally in conformance with Centerton Municipal Code. Planning Commission Action is needed on the following items:

- Preliminary Plans
- Landscaping Plan
- Adjacent Street Agreement

LAUNDRY LIST: DROP & GO LAUNDROMAT 105 GREENHOUSE ROAD, CENTERTON, AR (1.07 ACRE) LARGE-SCALE DEVELOPMENT

CONSTRUCTION NOTES

- CONTRACTOR SHALL RETAIN A FULL SET OF THE LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITWORK SPECIFICATIONS PROVIDED BY EXPEDIENT CIVIL ENGINEERING, PLLC OR AS SPECIFIED BY THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY:**

THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS AND THE ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

6. GRADING NOTES:

- THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
- AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
- OFF-SITE FILL MATERIAL(SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
- AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
- IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
- ALL SLOPES ARE TO BE 4:1 OR FLATTER EXCEPT FOR THE INTERIOR SLOPES OF OPEN DRAINAGE SWALES AND DETENTION PONDS AT WHICH POINT THEY ARE ALLOWED TO 3:1 SIDE SLOPES.
- ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
- CONTRACTOR SHALL REFER TO THE STORMWATER POLLUTION PREVENTION PLAN AND REPORT FOR STORMWATER QUALITY CONTROL INCLUDING EROSION AND SEDIMENT CONTROL. PROPER MEASURES SHALL BE PRACTICED TO PREVENT EROSION ALONG THE EDGE OF PROPERTY, TOE OF SLOPE, AND ALONG DITCHES. MUD AND DEBRIS ARE NOT ALLOWED TO FLOW ONTO ADJACENT PROPERTIES.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.

7. PAVING NOTES:

- ASPHALT CONCRETE SURFACE SHALL MEET SECTION 407, TYPE 2 OR THE ARKANSAS DEPARTMENT OF TRANSPORTATION (ARDOT) STANDARD SPECIFICATIONS, LATEST EDITION. BASE COURSE MATERIALS SHOULD MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN THE ARDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF IN-PLACE ASPHALT CONCRETE COURSES FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.

8. CONCRETE NOTES:

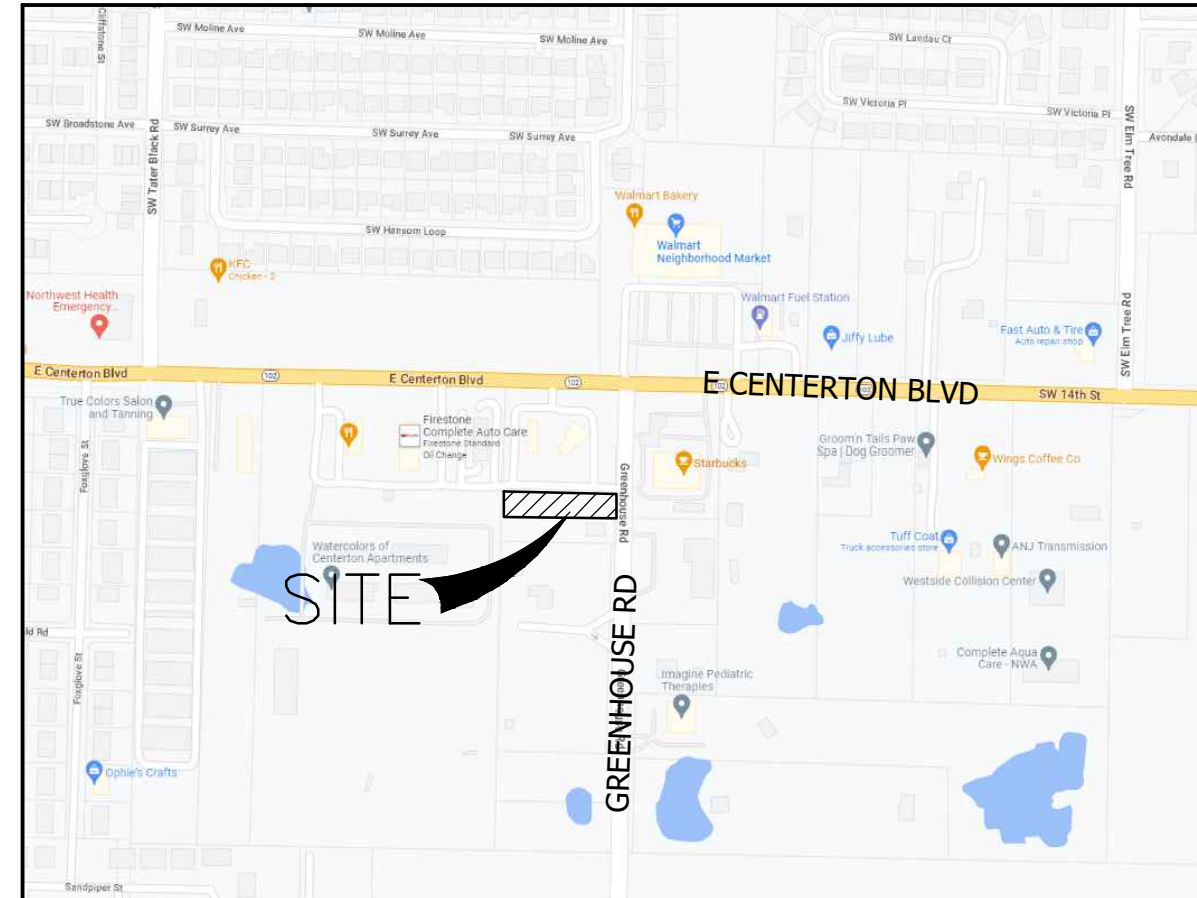
- CONCRETE PAVING AND STRUCTURES SHOULD CONFORM TO THE ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF CONCRETE FOR COMPLIANCE WITH CONCRETE STRENGTH REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
- VERTICAL CONCRETE SURFACES EXPOSED TO THE GENERAL PUBLIC SHALL BE WET-RUBBED TO A SMOOTH FINISH AFTER FORMS HAVE BEEN REMOVED. HORIZONTAL SURFACES SHALL BE BROOMED AS REQUIRED IN THE CONSTRUCTION PROJECT SPECIFICATIONS.
- CONTRACTOR IS TO PROVIDE WEAKENED-PLANE (CONSTRUCTION) JOINTS. SECTIONING CONCRETE INTO AREAS AT 10-FOOT ON CENTERS, MAXIMUM EACH WAY. CONSTRUCT WEAKENED-PLANE JOINTS FOR A DEPTH EQUAL TO AT LEAST 1/4" CONCRETE THICKNESS. CONTRACTOR IS TO FURNISH JOINT FILLERS APPROVED BY THE DEVELOPER'S CONSTRUCTION DIVISION OR AS DETAILED ON PLANS.

9. UTILITY NOTES:

- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES AND THE CITY OF CENTERTON, AND THE CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
- CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO CENTERTON WATER AND SEWER DEPARTMENT UNLESS DULY AUTHORIZED TO DO SO BY CENTERTON WATER AND SEWER DEPARTMENT. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. EXPEDIENT CIVIL ENGINEERING, PLLC AND THE DEVELOPER ARE TO BE HELD HARMLESS.
- DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF CENTERTON WATER AND SEWER DEPARTMENT AND A REPRESENTATIVE OF EXPEDIENT CIVIL ENGINEERING, PLLC. CONTRACTOR SHALL NOTIFY EXPEDIENT CIVIL ENGINEERING, PLLC AT LEAST ONE WEEK IN ADVANCE, PRIOR TO ANY TESTING.
- ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CENTERTON WATER AND SEWER DEPARTMENT STANDARD SPECIFICATIONS DATED NOVEMBER 5, 2019 AND SHALL BE INSPECTED BY THE UTILITY INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.

10. BLASTING AND EXPLOSIVE MATERIALS:

- THE CONTRACTOR IS SUBJECT TO ALL FEDERAL, STATE AND LOCAL REGULATIONS GOVERNING THE USE AND STORAGE OF EXPLOSIVE MATERIALS AND IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND LICENSES.
- EXPEDIENT CIVIL ENGINEERING, PLLC ACCEPTS NO RESPONSIBILITY OR LIABILITY PERTAINING TO STORAGE, USE, METHODS, PROCEDURES, SAFETY PRECAUTIONS, TECHNICAL SPECIFICATIONS, CONCERNING BLASTING AND EXPLOSIVE MATERIALS. THE CONTRACTOR SHALL HOLD THE OWNER, ENGINEER, AND THEIR ASSOCIATES HARMLESS WITH REGARD TO BLASTING AND EXPLOSIVE MATERIALS.



VICINITY MAP
NOT TO SCALE



RESOURCE LIST

NAME	ADDRESS	TELEPHONE
DEVELOPER JOSEPH SWARENGIN	13729 N MOUNT OLIVE RD GRAVETTE, ARKANSAS 72736	
BLACK HILLS ENERGY MR. JOSHUA KNIGHT	1301 FEDERAL WAY LOWELL, ARKANSAS 72745	(479) 333-7005
CENTURYTEL PHONE CO. MR. MIKE EDWARDS	2601 WAUKESHA ROAD SILOAM SPRINGS, ARKANSAS 72761	(479) 442-1963
CENTERTON WATER AND SEWER DEPARTMENT MR. MALCOM ATTWOOD	517 MAIN STREET CENTERTON, ARKANSAS 72719	(479) 795-0222
CITY OF CENTERTON PLANNING MRS. LORENE BURNS	200 MUNICIPAL DR CENTERTON, ARKANSAS 72719	(479) 795-2750
CITY OF CENTERTON (PUBLIC WORKS DIRECTOR) MR. ANTHONY MARTINEZ	11509 W. HWY. 72 CENTERON, ARKANSAS 72719	(479) 224-6028
CITY OF CENTERTON (FIRE MARSHAL) MR. PAUL HIGGINBOTHAM	755 W. CENTERTON BLVD CENTERTON, ARKANSAS 72719	(479) 795-2550
CITY ENGINEER MR. ALAN CRAIGHEAD	200 MUNICIPAL DR CENTERTON, ARKANSAS 72719	(479) 795-2750
CARROLL ELECTRIC MR. DEREK THURMAN, MR. MICAH THARP	707 SE WALTON BLVD BENTONVILLE, ARKANSAS 72712	(479) 273-2421
COX COMMUNICATIONS MR. KIP SMITH	4901 S. 48TH STREET SPRINGDALE, ARKANSAS 72763	(479) 365-2402
AT&T MR. BRENT BALDWIN		(479) 442-1967
UTILITY LOCATIONS ARKANSAS ONE-CALL SYSTEM, INC.		1-800-482-8998

NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL NOT TAKE ANY ADVANTAGE OF ANY APPARENT ERROR OR OMISSION IN THE PLANS OR SPECIFICATIONS. IN THE EVENT THE CONTRACTOR DISCOVERS SUCH AN ERROR OR OMISSION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. THE ENGINEER WILL THEN MAKE SUCH CORRECTIONS AND INTERPRETATIONS AS MAY BE DEEMED NECESSARY FOR FULFILLING THE INTENT OF THE PLANS AND SPECIFICATIONS.

SHEET INDEX

No.	DESCRIPTION	PLOT DATE	
		No.	DATE
C1.0	COVER SHEET	2	7/21/2023
C2.0	TOPOGRAPHIC/BOUNDARY SURVEY	2	7/21/2023
C3.0	DEMOLITION & STORM WATER POLLUTION PREVENTION PLAN	2	7/21/2023
C4.0	SITE PLAN	2	7/21/2023
C4.1	SIGNAGE AND STRIPING PLAN	2	7/21/2023
C5.0	GRADING PLAN	2	7/21/2023
C6.0	UTILITY PLAN / FIRE HYDRANT PLAN & PROFILE	2	7/21/2023
C7.0	DETAILS	2	7/21/2023
C7.1	DETAILS	2	7/21/2023
L1.0	LANDSCAPE PLAN	2	7/21/2023
100-106	CENTERTON WATER AND SEWER COMMISSION DETAILS		

NOT FOR CONSTRUCTION



Date	COMMENTS	REV
6/14/2023	PER CITY COMMENTS	1
7/21/2023	PER CITY COMMENTS	2

LAUNDRY LIST: DROP & GO
LAUNDROMAT
105 GREENHOUSE ROAD
CENTERTON, AR
JOSEPH SWARENGIN
13729 N MOUNT OLIVE RD, GRAVETTE, AR 72736

9200 SUTTS US DR STE B
BELLA VISTA, AR 72714
D: (479) 367-2624
F: (479) 795-8900
EMAIL: jswarengin@ec-engineering.com



DRAWN BY:

DMF

CHECKED BY:

JEI

DATE

4/24/2023

JOB NUMBER

23-1002

SHEET NAME

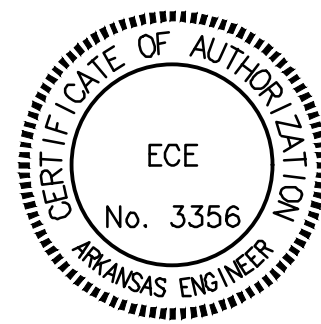
COVER

SHEET

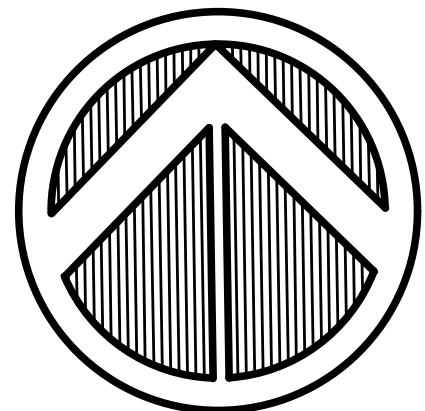
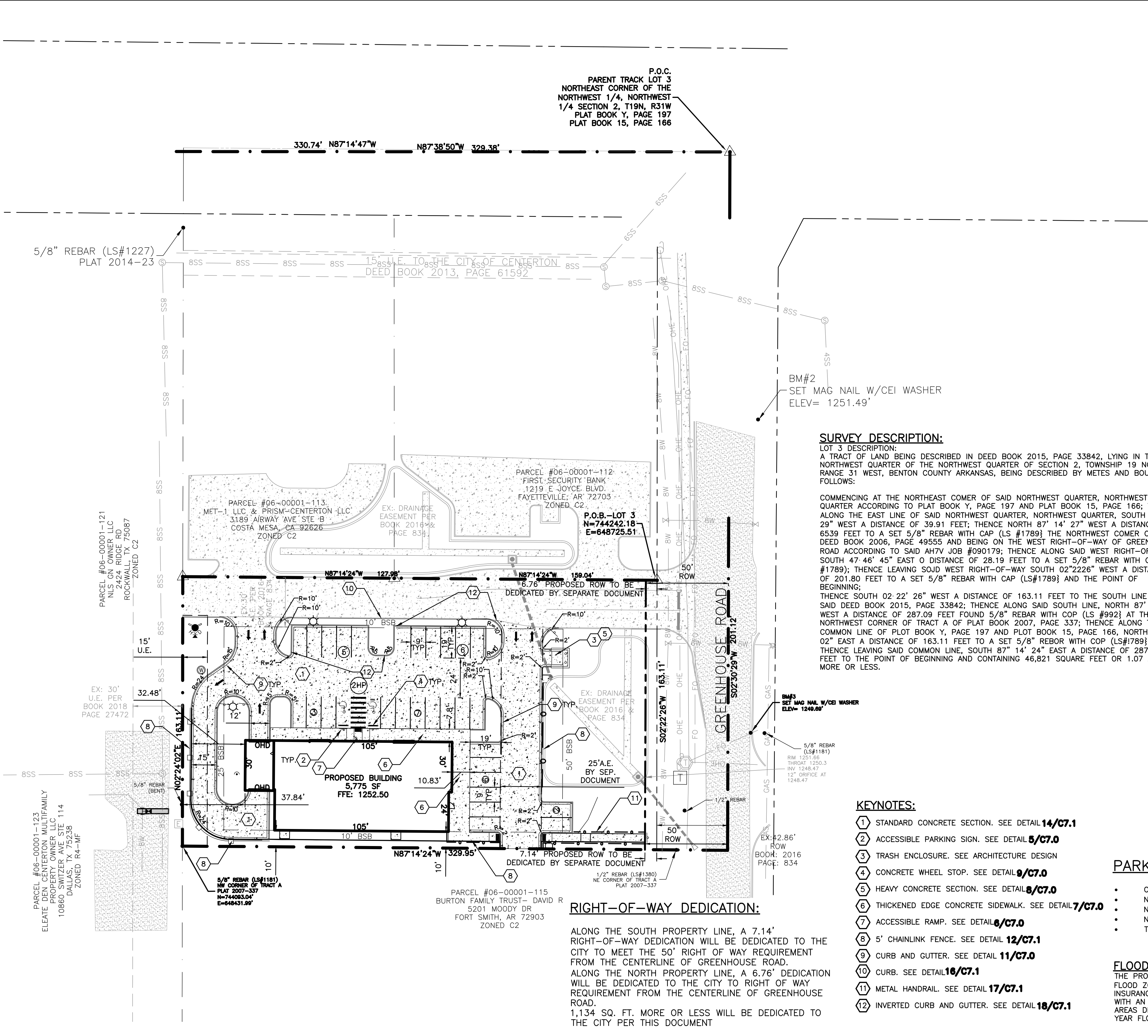
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C1.0



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NORTH
30' 0 30'
SCALE 1"=30'

LEGEND

EXISTING	(E)
FOUND IRON PIN	—●—
PROPERTY LINE	—
EXISTING CONCRETE	—
EXISTING ASPHALT	—
EXISTING STORM	—
EXISTING POWER POLE	—
EXISTING OVERHEAD ELECTRIC	— OHE — OHE —
EXISTING GATE VALVE	—
EXISTING EASEMENT	—
EXISTING TELEPHONE	— T —
EXISTING FIRE OPTIC	— FO — FO —
EXISTING 8" WATER MAIN	— 8W — 8W —
EXISTING 8" SANITARY SEWER	— 8SS — 8SS —
EXISTING AREA INLET	—
PROPOSED CENTERLINE OF ROAD	—
PROPOSED RIGHT OF WAY	—
PROPOSED CONCRETE	—
PROPOSED SETBACK	—
PROPOSED STREETLIGHT	—
PROPOSED WATER METER	—
PROPOSED HANDRAIL	—
ACCESS EASEMENT	—
UTILITY EASEMENT	—
ENGINEER:	A.E. U.E.

EXPEDIENT CIVIL ENGINEERING, PLLC
9200 SUITS US DR, STE. B
BELL VISTA, AR 72714

DEVELOPER:
MR. JOSEPH SWARENGIN
13729 N MOUNT OLIVE RD
GRAVETTE, AR 72736

SURVEYOR:

CEI ENGINEERING ASSOCIATES, INC.
3108 SW REGENCY PARKWAY, SUITE 2
BENTONVILLE, AR 72712
(479) 273-9472

ZONING:

C-2 - HIGHWAY COMMERCIAL

USE:

LAUNDROMAT

BUILDING SETBACKS:

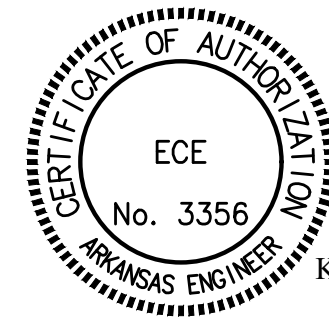
50' FRONT
10' SIDE
10' SIDE STREET
25' REAR

PARKING REQUIREMENTS:

- ONE PARKING SPACE FOR EACH 200 SQ. FT. OF FLOOR SPACE.
- NUMBER OF PARKING SPACES REQUIRED - 29 SPACES
- NUMBER OF STANDARD PARKING SPACES PROVIDED - 29 SPACES
- NUMBER OF ACCESSIBLE SPACES PROVIDED - 2 SPACES
- TOTAL NUMBER OF PARKING SPACES PROVIDED - 31 SPACES

FLOOD STATEMENT:

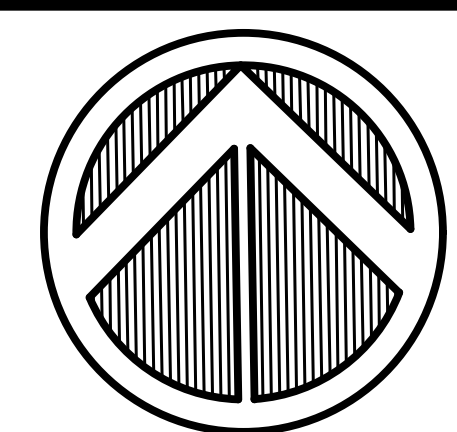
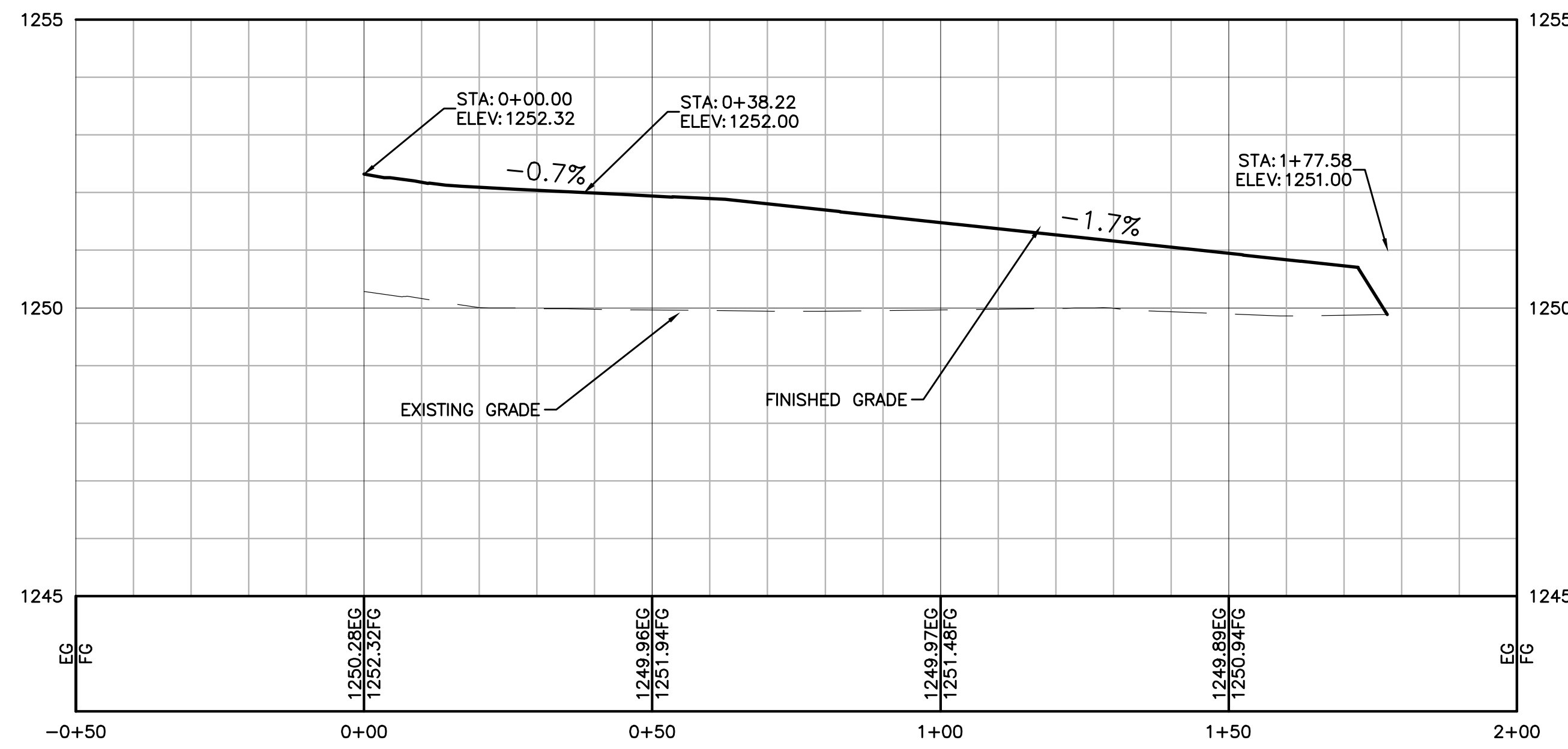
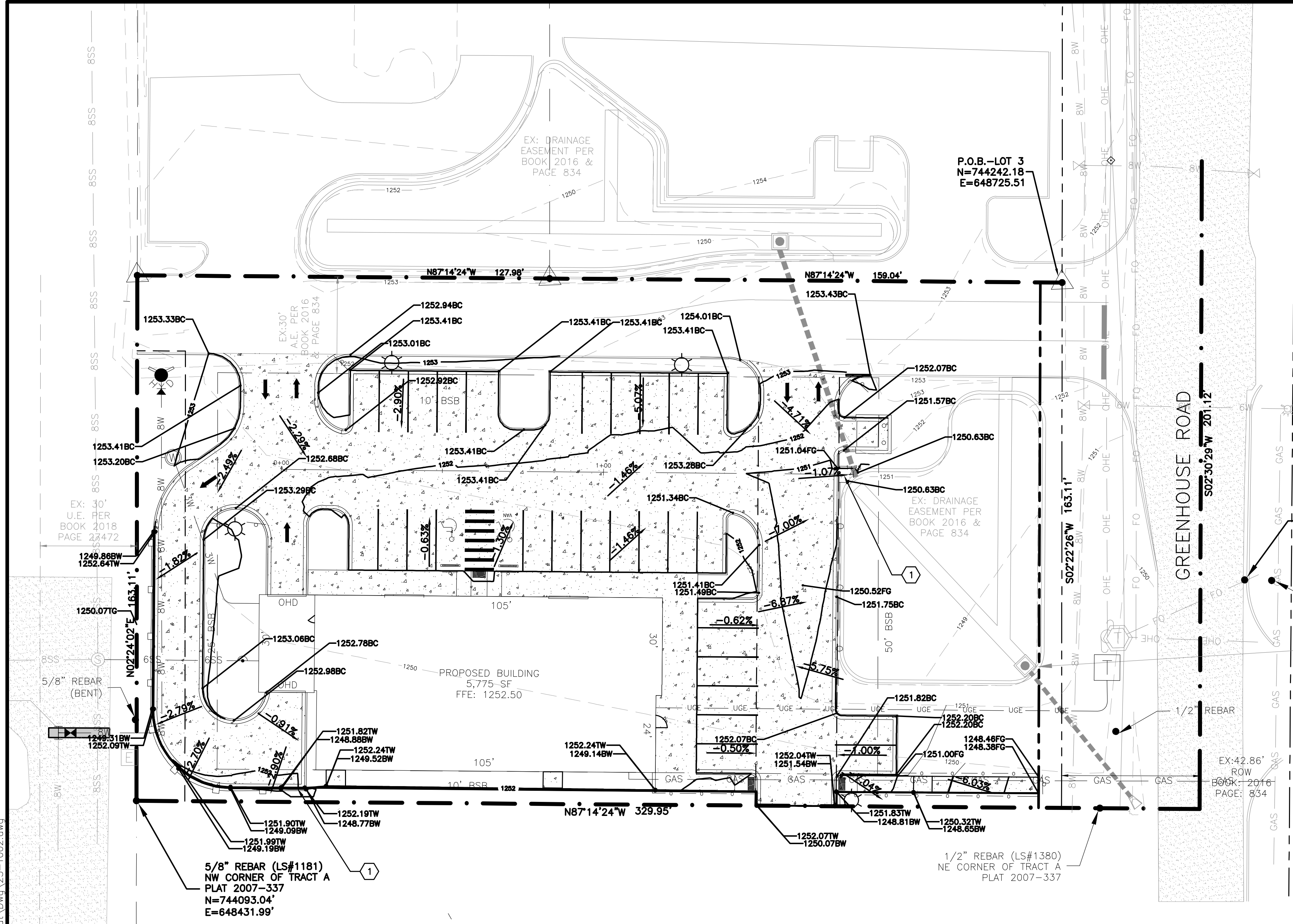
THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 05007C0235K WITH AN EFFECTIVE DATE OF JUNE 5, 2012. AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.



NOT FOR CONSTRUCTION

STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER Jason E. Ingalls No. 11411 7/21/2023		Date	6/14/2023	7/21/2023	
COMMENTS	1	PER CITY COMMENTS	2	PER CITY COMMENTS	
LAUNDRY LIST: DROP & GO LAUNDROMAT GREENHOUSE ROAD JOSEPH SWARENGIN 13729 N MOUNT OLIVE RD, GRAVETTE, AR 72736		REV	1	2	
DRAWN BY: KAB		CHECKED BY: JEI		DATE 4/24/2023	
				JOB NUMBER 23-1002	
				SHEET NAME	
				SITE PLAN	
				File No. 23-1002.dwg	
				C4.0	

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NORTH
SCALE 1"=20'

LEGEND

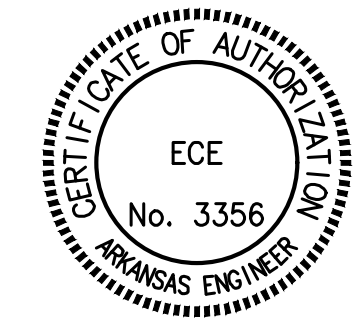
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PROPOSED RIGHT OF WAY
PROPOSED CONCRETE
PROPOSED SETBACK
PROPOSED STREETLIGHT
PROPOSED WATER METER
PROPOSED WATER SERVICE
PROPOSED SEWER SERVICE

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- C. OFF-SITE FILL MATERIAL(SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
- D. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
- E. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
- F. ALL SLOPES ARE TO BE 4:1 OR FLATTER EXCEPT FOR THE INTERIOR SLOPES OF OPEN DRAINAGE SWALES AND DETENTION PONDS AT WHICH POINT THEY ARE ALLOWED TO 3:1 SIDE SLOPES.

KEYNOTES:

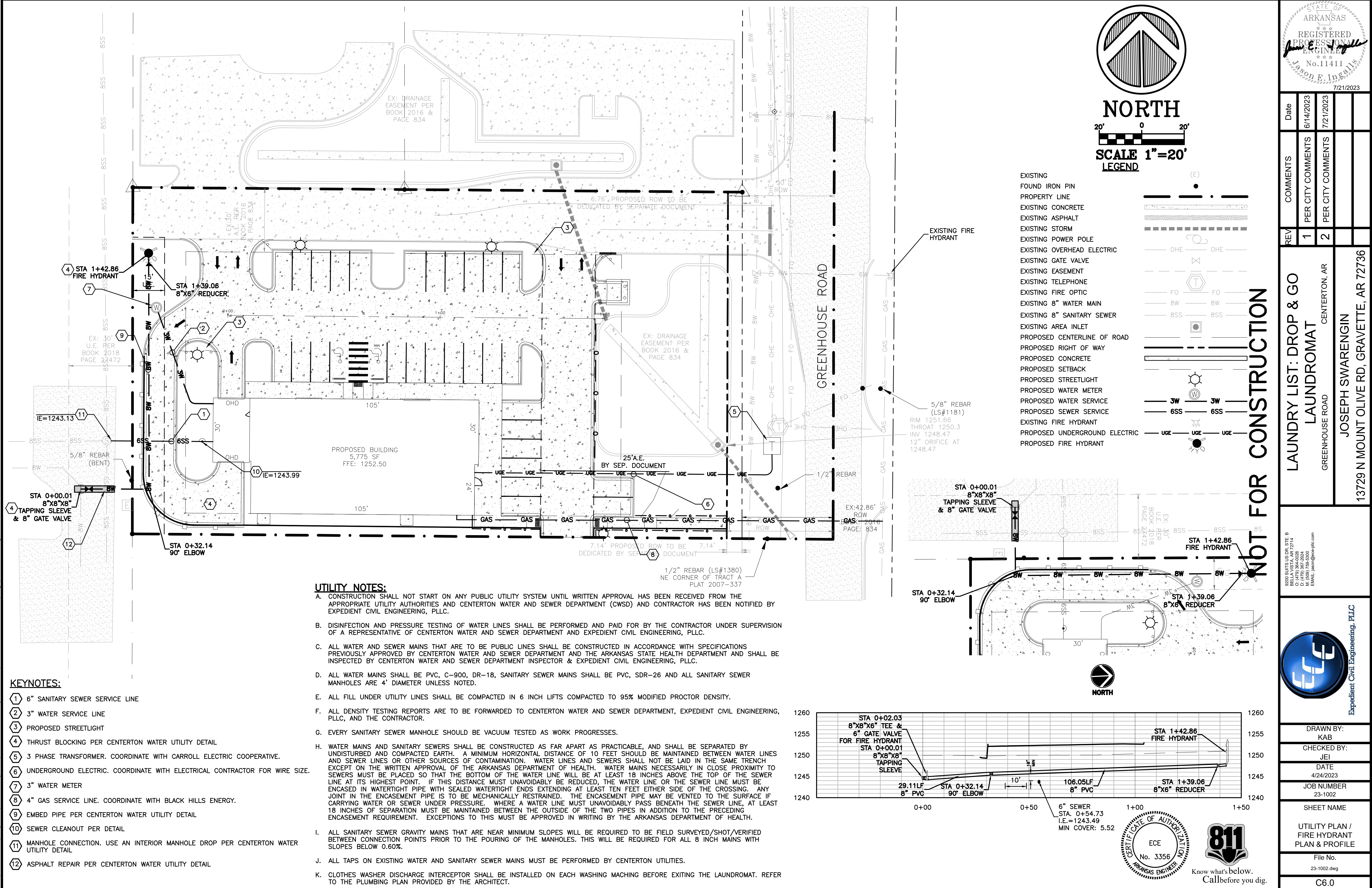
- 1 INSTALL CURB CUT.



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<div>STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER <i>Jason E. Ingalls</i> No. 11411 7/21/2023</div>					
REV		COMMENTS		Date	
1		PER CITY COMMENTS		6/14/2023	
2		PER CITY COMMENTS		7/21/2023	
LAUNDRY LIST: DROP & GO LAUNDROMAT CENTERTON, AR GREENHOUSE ROAD					
JOSEPH SWARENGIN 13729 N MOUNT OLIVE RD, GRAVETTE, AR 72736					
9000 SUITES US DR, STE. B BELLA VISTA, AR 72714 O: (479) 364-0028 M: (479) 755-8300 D: (479) 387-2924 F: (479) 387-2924 EMAIL: jason@ece-plc.com					
 Expedient Civil Engineering, PLLC					
DRAWN BY: ATS					
CHECKED BY: JEI					
DATE 4/24/2023					
JOB NUMBER 23-1002					
SHEET NAME GRADING PLAN					
File No. 23-1002.dwg					
C5.0					

Z:\E-Civil\Projects\2023\Projects\23-1002 Laundry List-Drop & Go Laundromat\Drawings\23-1002.dwg



STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
Jason E. Ingalls
No. 11411
7/21/2023

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CENTERTON, AR

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13729 N MOUNT OLIVE RD, GRAVETTE, AR 72736

9000 SUTHERS DR. STE. B
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O: (501) 364-0028
M: (501) 755-8300
E: JASON@ECE-PLLC.COM

Expedient Civil Engineering, PLLC

DRAWN BY:
KAB

CHECKED BY:
JEI

DATE
4/24/2023

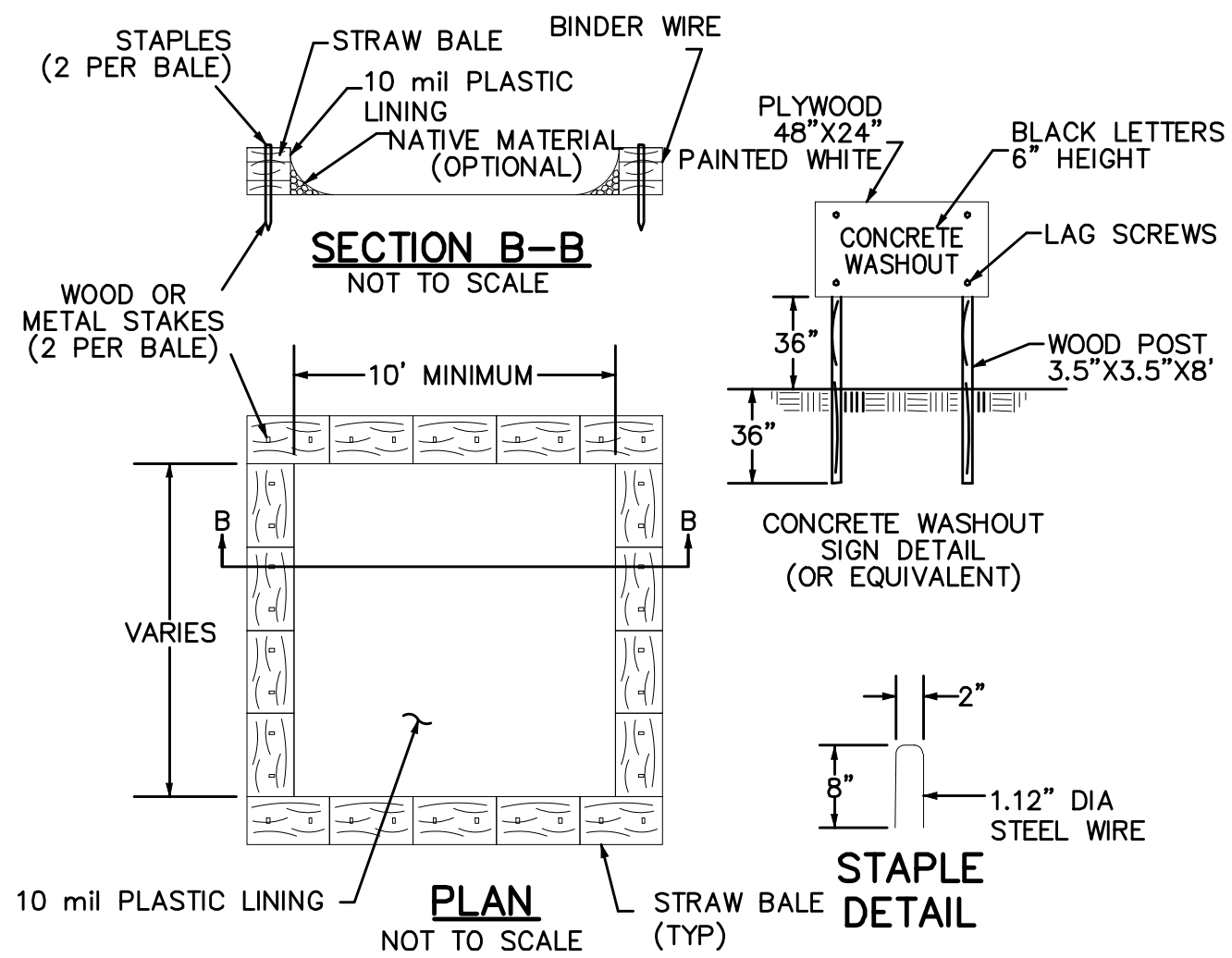
JOB NUMBER
23-1002

SHEET NAME
UTILITY PLAN / FIRE HYDRANT PLAN & PROFILE

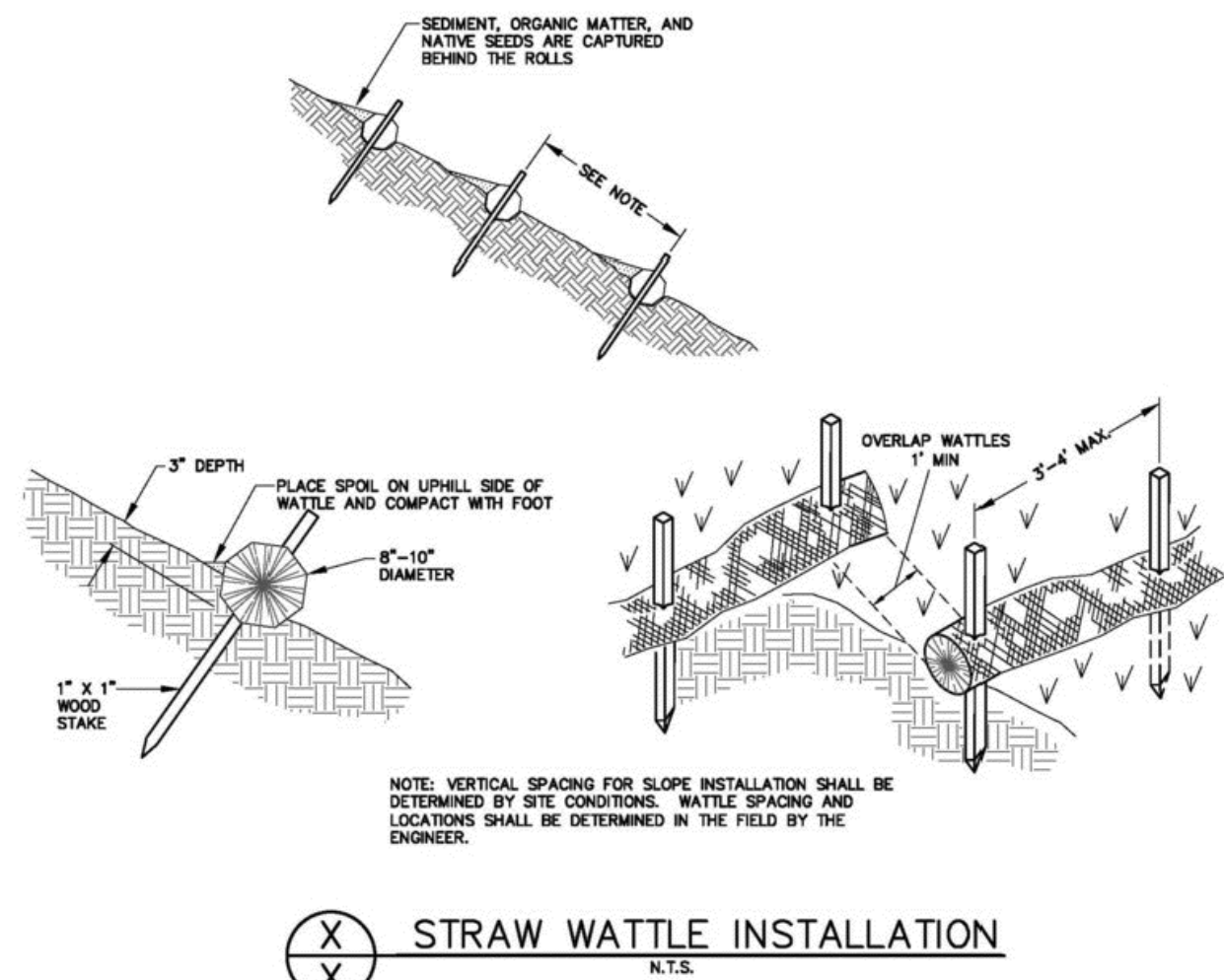
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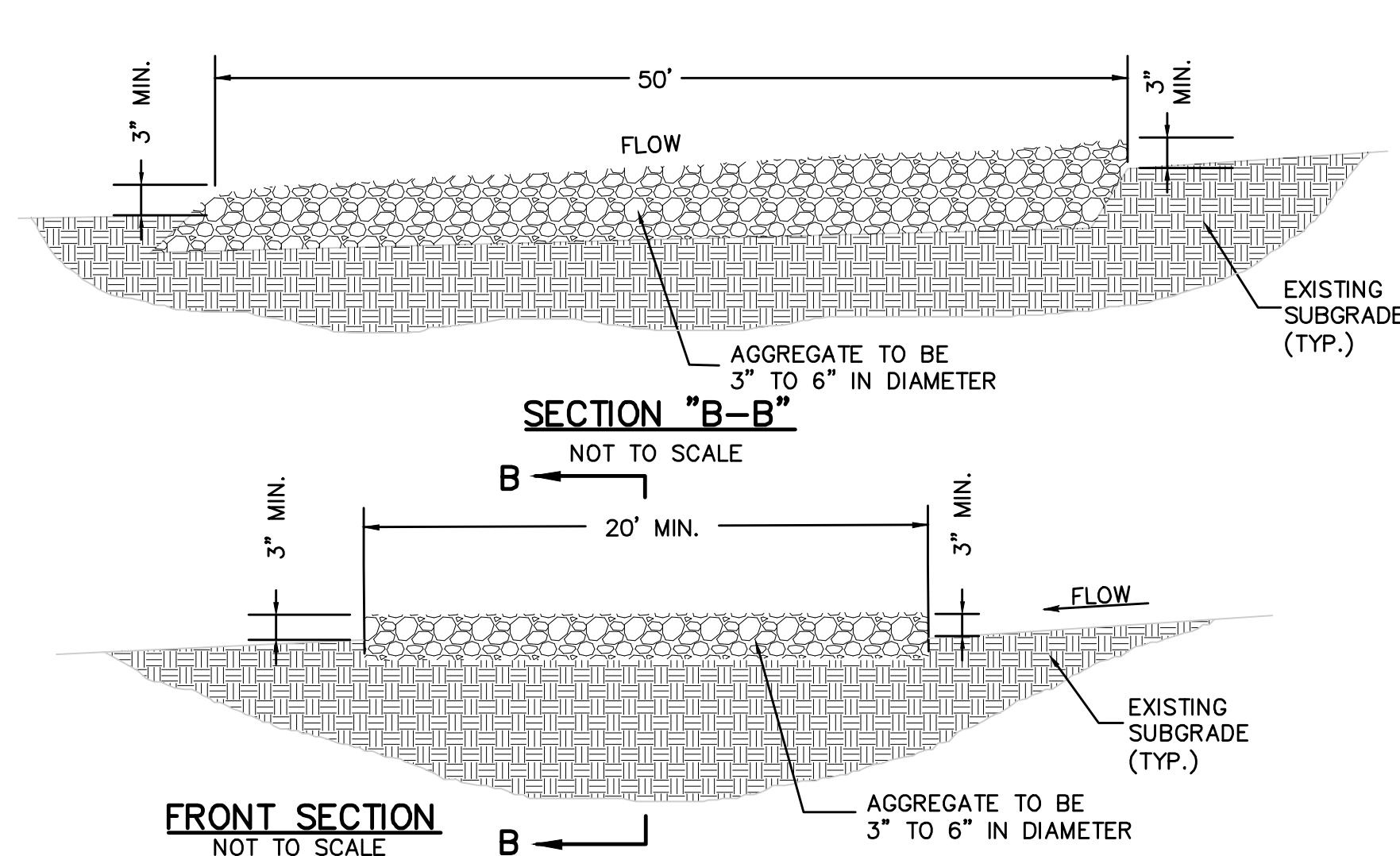
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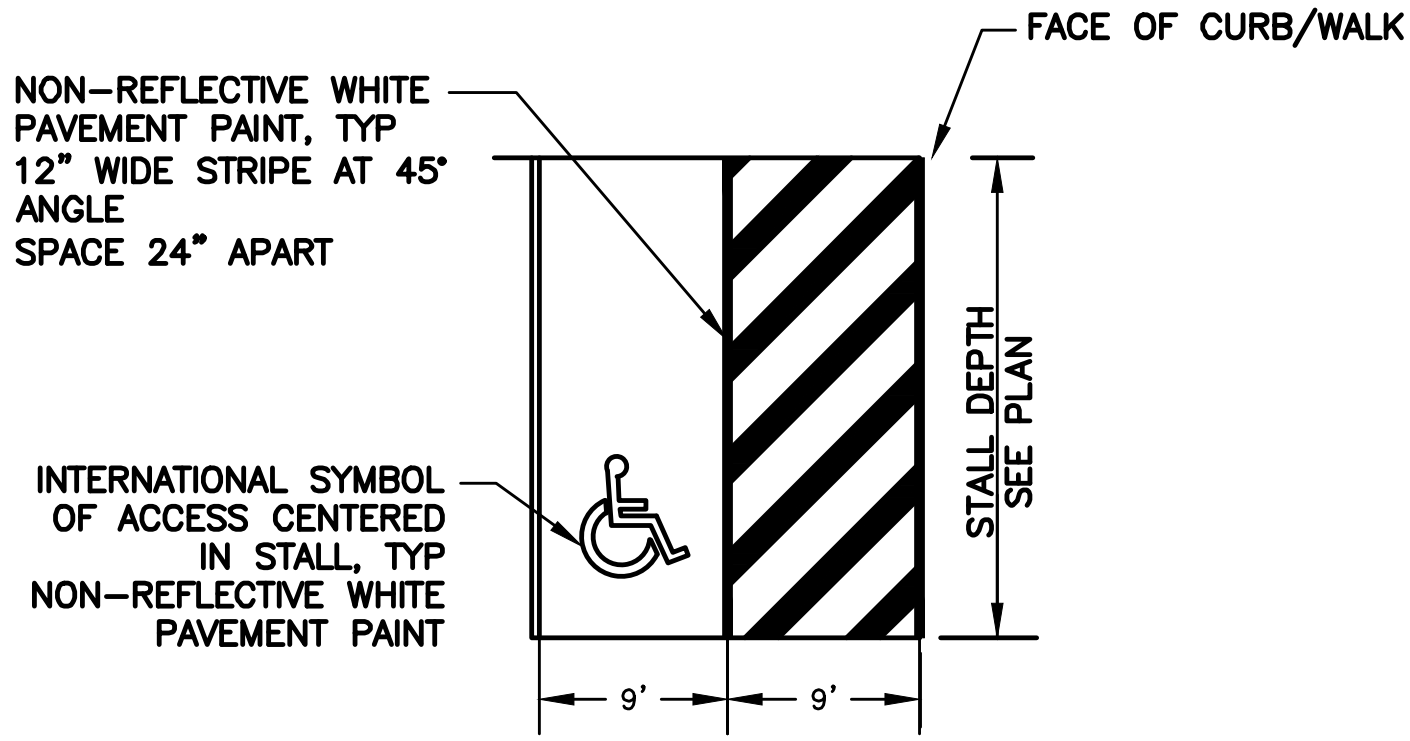
TYPE "ABOVE GRADE" WITH STRAW BALES
DETAIL 1 – CONCRETE WASHOUT
NOT TO SCALE



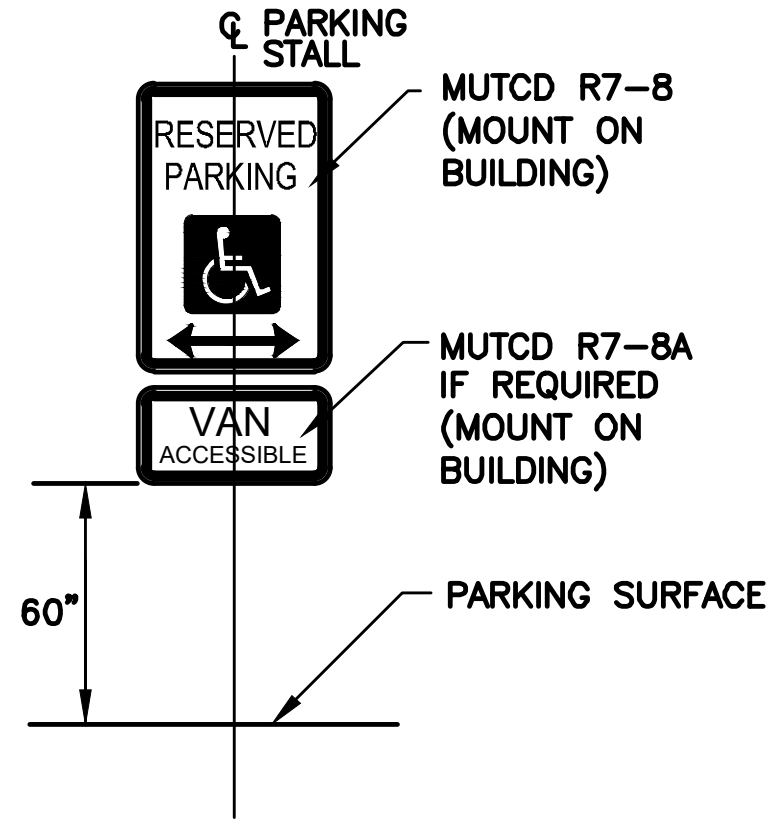
DETAIL 2 – STRAW WATTLE
NOT TO SCALE



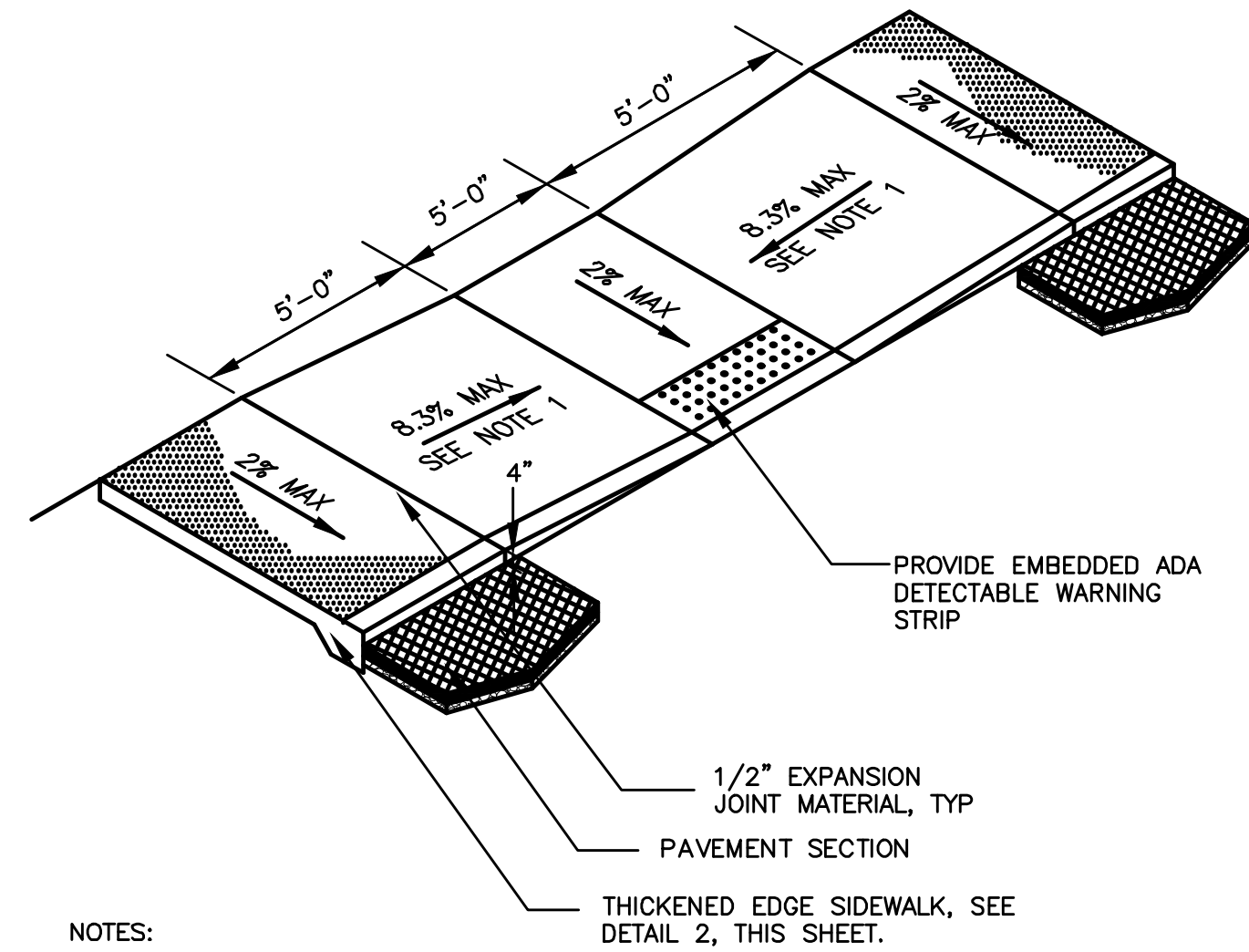
DETAIL 3 – CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



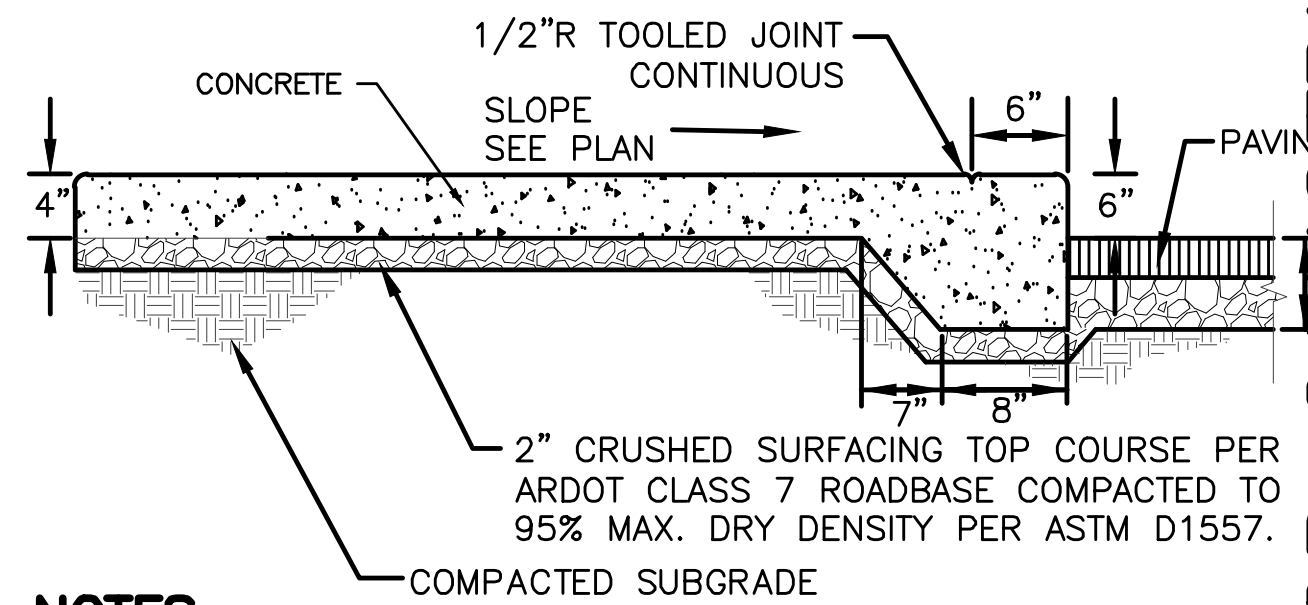
DETAIL 4 – ACCESSIBLE PARKING STRIPING
NOT TO SCALE



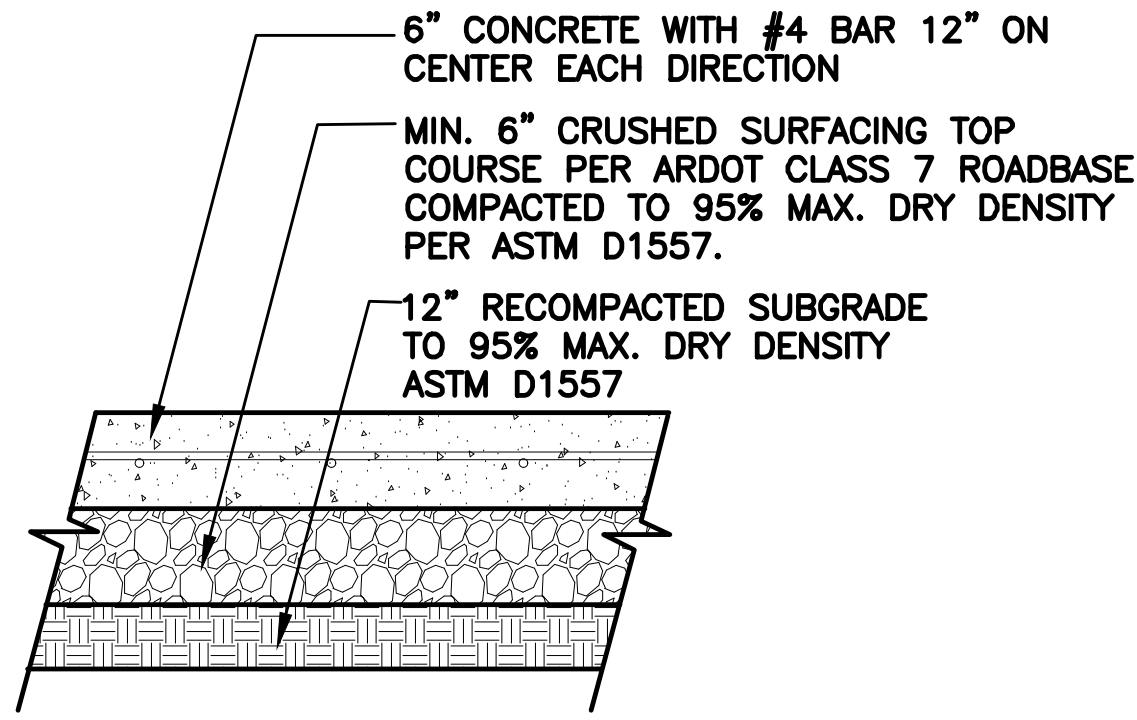
DETAIL 5 – ACCESSIBLE PARKING SIGN
NOT TO SCALE



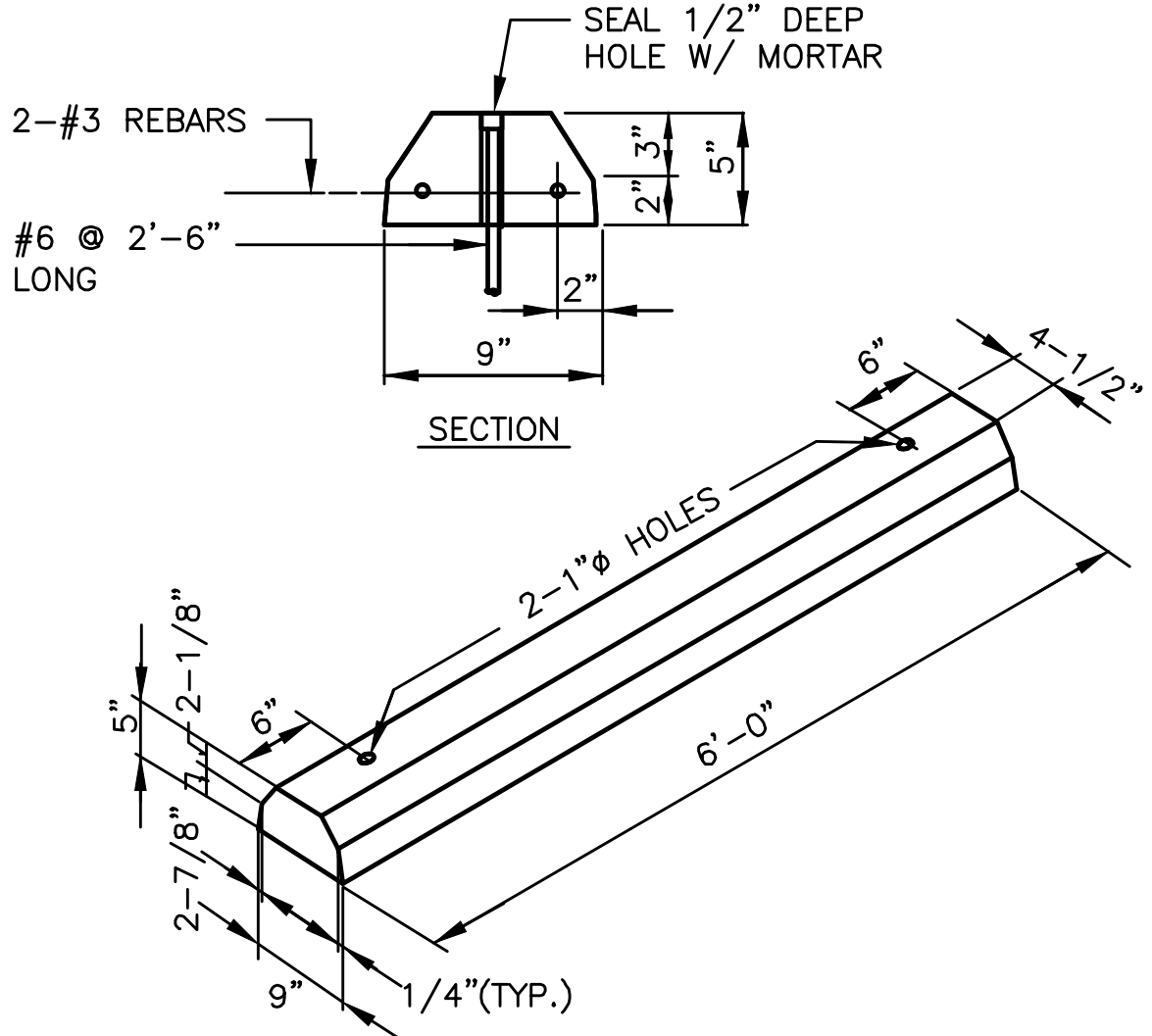
NOTES:
1. THE CURB RAMP RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET. WHEN APPLYING THE 15 FEET MAXIMUM LENGTH THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS POSSIBLE.
2. CROSS SLOPE NOT TO EXCEED 2%.
DETAIL 6 – ACCESSIBLE RAMP
NOT TO SCALE



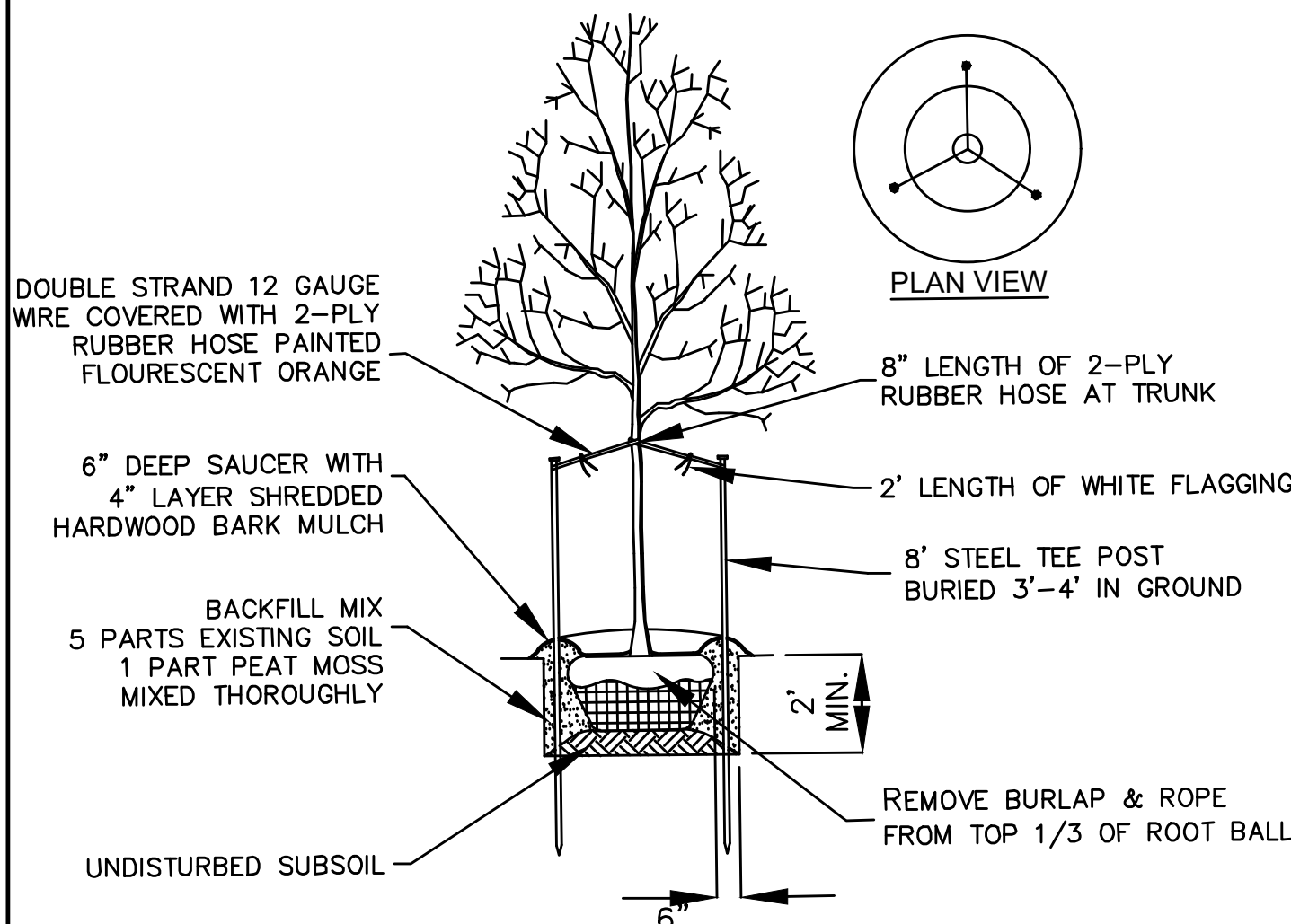
NOTES:
1. INSTALL DUMMY JOINTS AT 5'-0" C/C AND 1/2"
2. EXPANSION JOINTS AT 30'-0" C/C AND AT TERMINATIONS AGAINST SIDEWALK INTERSECTIONS UNLESS NOTED OTHERWISE BY ARCHITECT. SEE SITE PLAN FOR FINISH REQUIREMENTS
DETAIL 7 – 4" THICKENED EDGE CONCRETE SIDEWALK
NOT TO SCALE



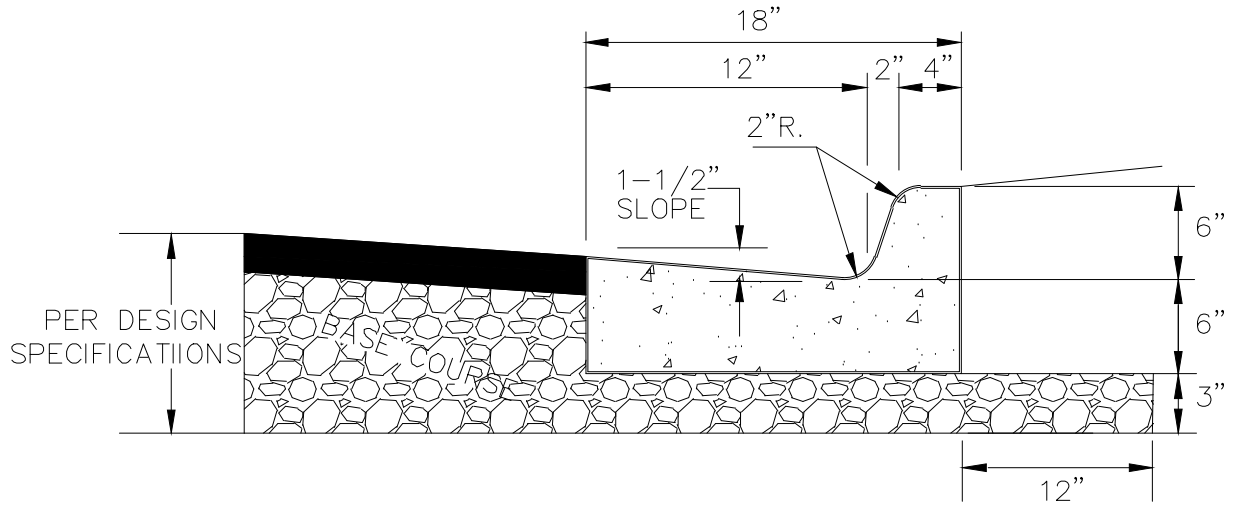
DETAIL 8 – HEAVY DUTY CONCRETE SECTION
NOT TO SCALE



DETAIL 9 – PRECAST CONCRETE WHEEL STOP
NOT TO SCALE



DETAIL 10 – TREE PLANTING
NOT TO SCALE

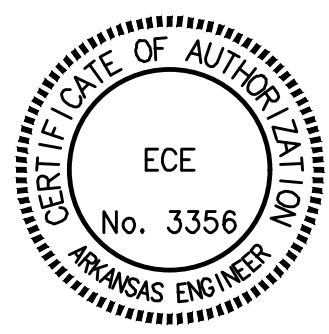


NOTES:
1. USE CONCRETE MIX FOR CURB AND GUTTER WITH 28 DAY CRUSHING STRENGTH AT 3500 P.S.I. MAXIMUM ALLOWABLE SLUMP IS 4".
2. PROVIDE 1/2" THICK PREFORMED BITUMINOUS EXPANSION JOINT AT A MAXIMUM SPACING OF 200 FEET.
3. PROVIDE A SAWED OR FORMED CONTRACTION JOINT EVERY 15 FEET. THE SAWED JOINT SHOULD BE 1-1/2" DEEP AND 1/4" WIDE.
DETAIL 11 – CURB AND GUTTER
NOT TO SCALE



Know what's below.
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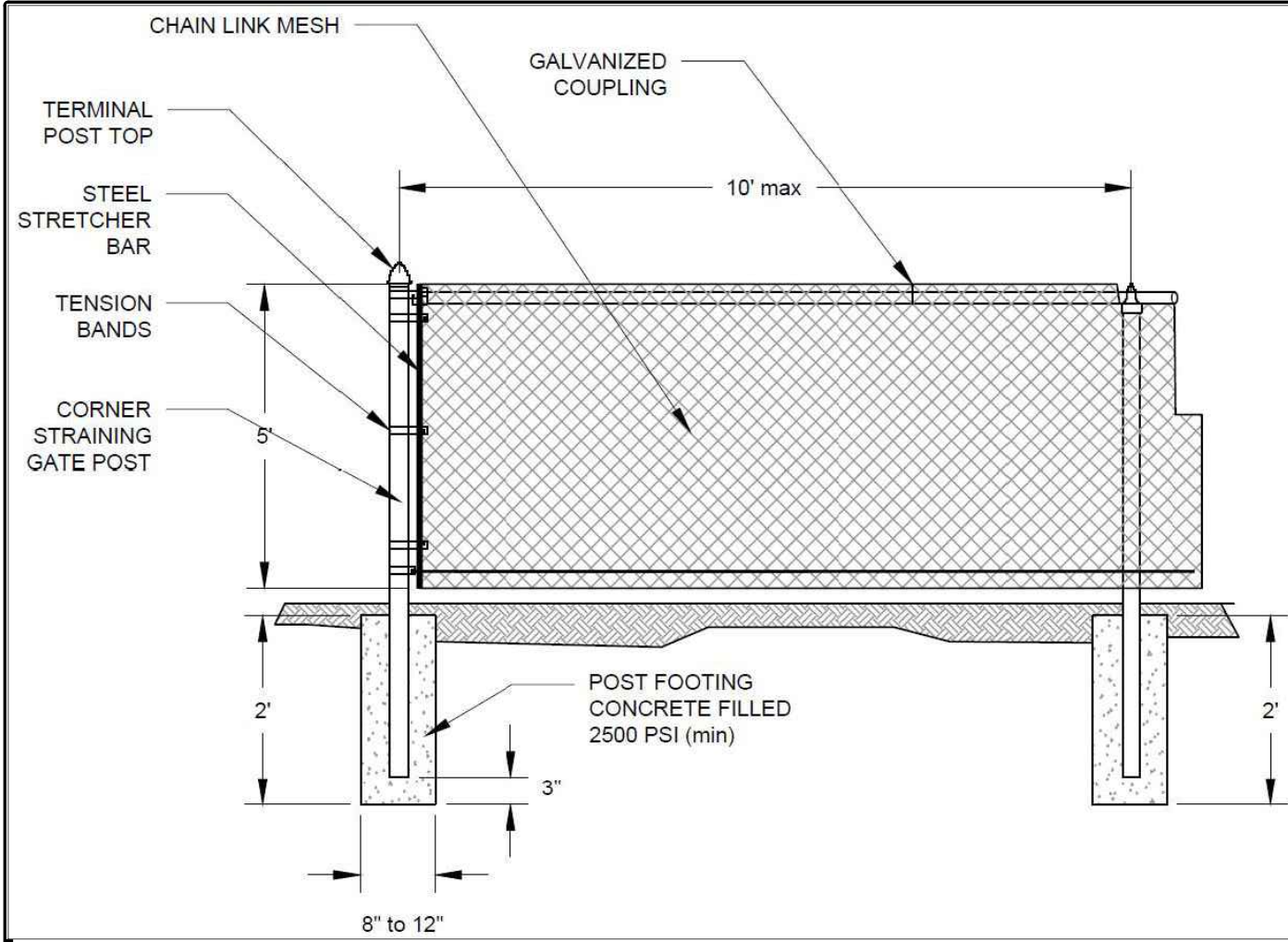
LAUNDRY LIST: DROP & GO
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CENTERTON, AR
JOSEPH SWARENGIN
13729 N MOUNT OLIVE RD, GRAVETTE, AR 72736

3000 SUITES US DR, STE B
BELLA VISTA, AR 72714
P: (479) 364-0028
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EMAIL: jason@eece-plc.com

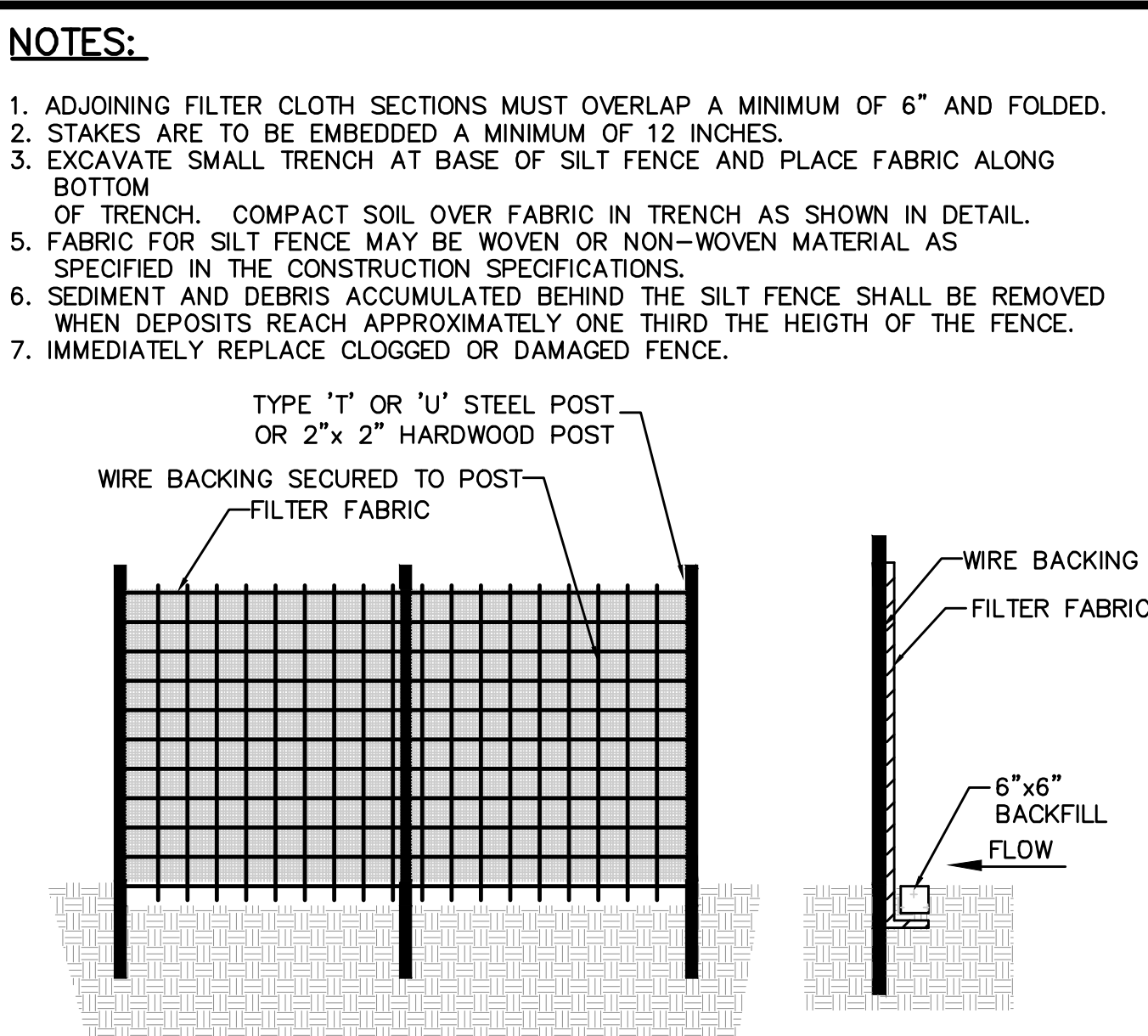


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CHECKED BY:	JEI
DATE	4/24/2023
JOB NUMBER	23-1002
SHEET NAME	DETAILS
File No.	23-1002.dwg
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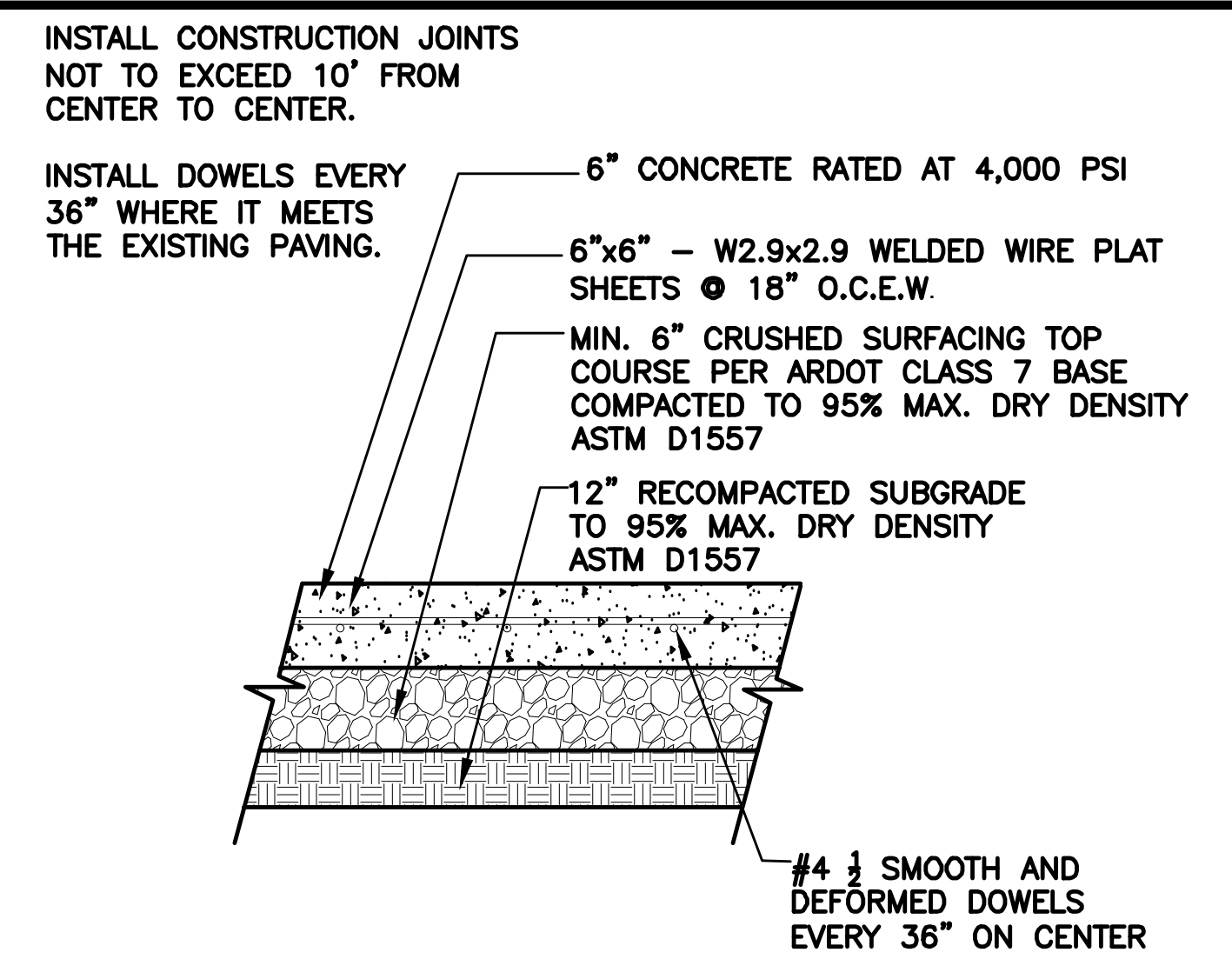
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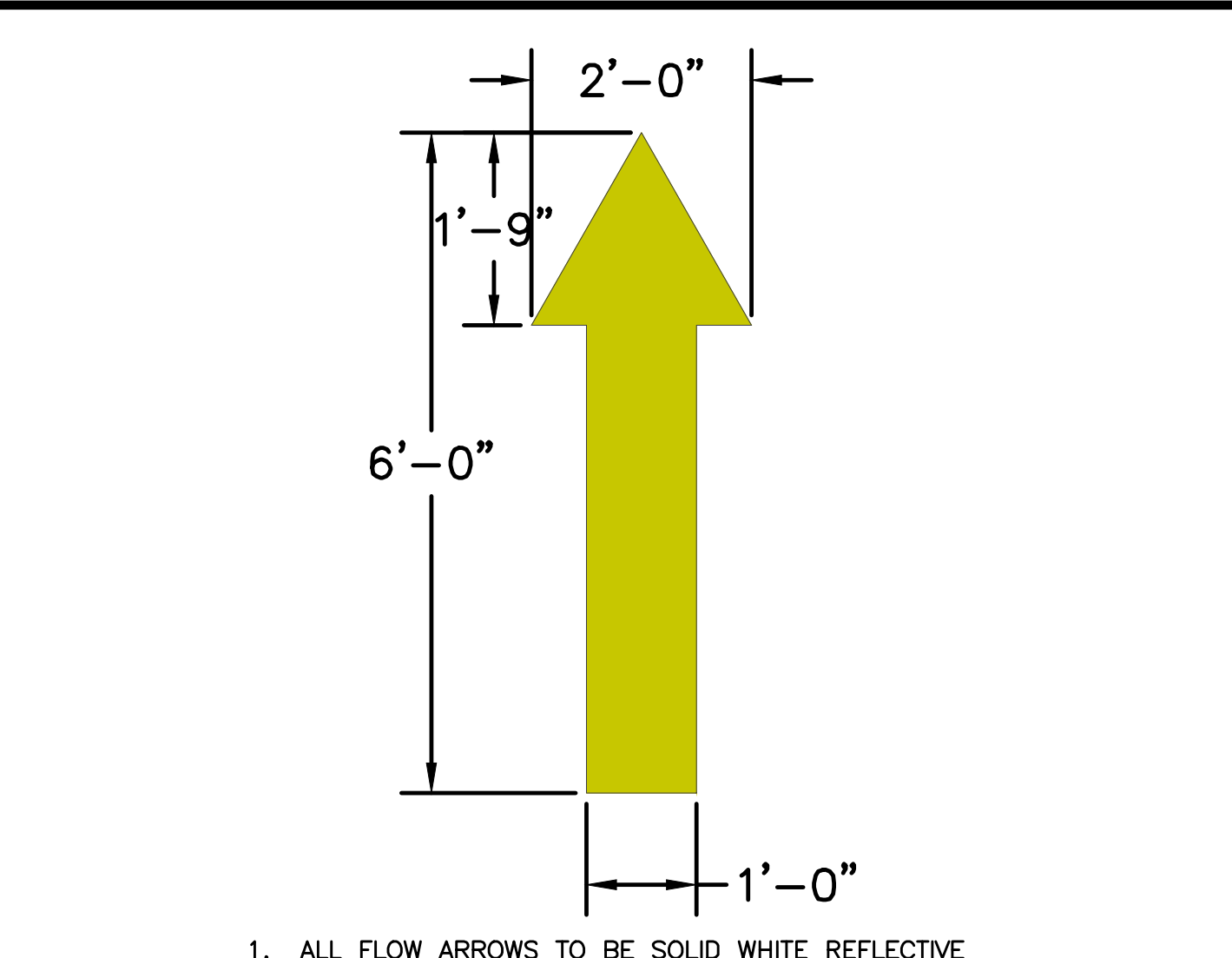
DETAIL 12 – 5' CHAINLINK FENCE
NOT TO SCALE



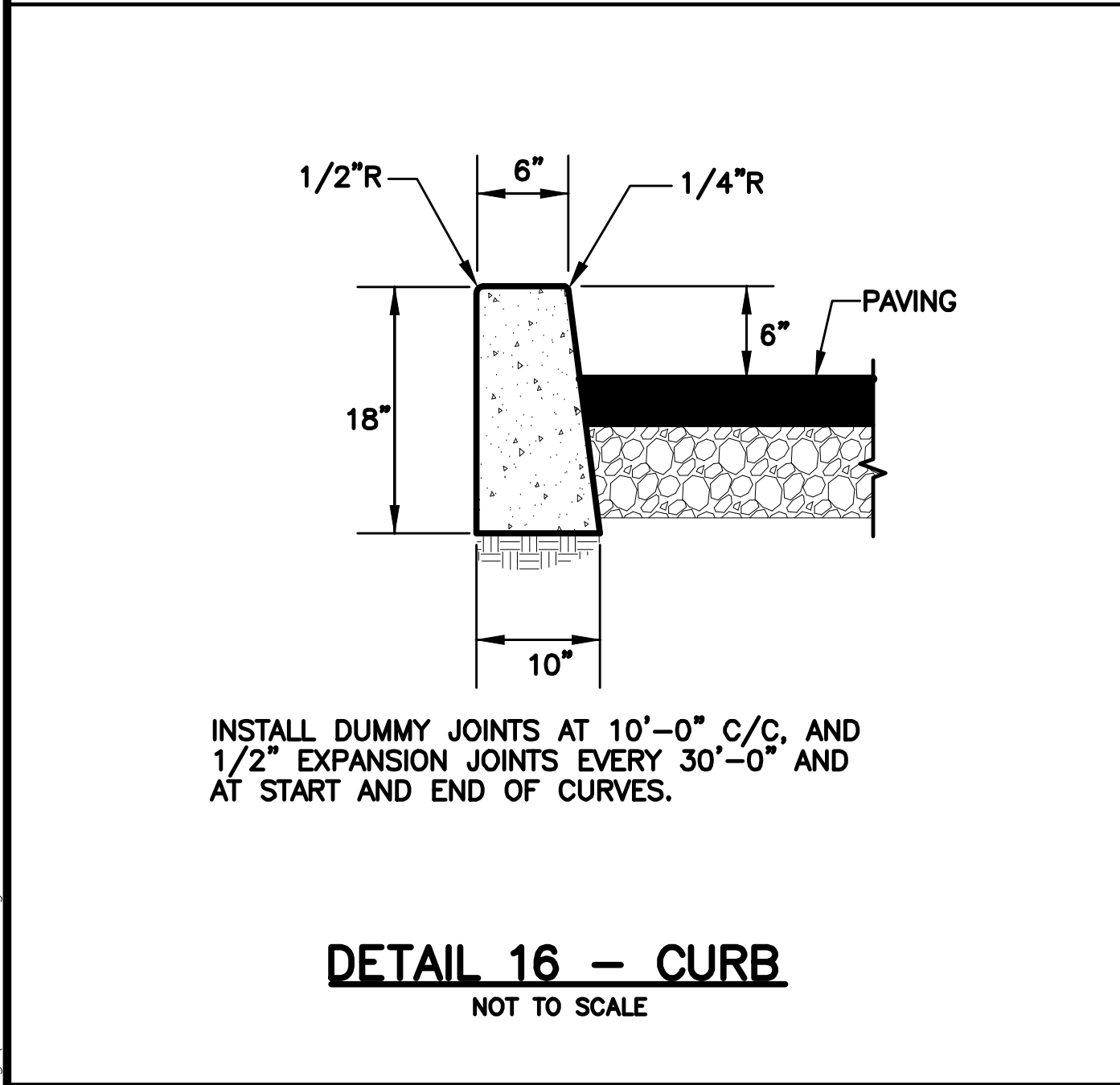
DETAIL 13 – SILT FENCING
NOT TO SCALE



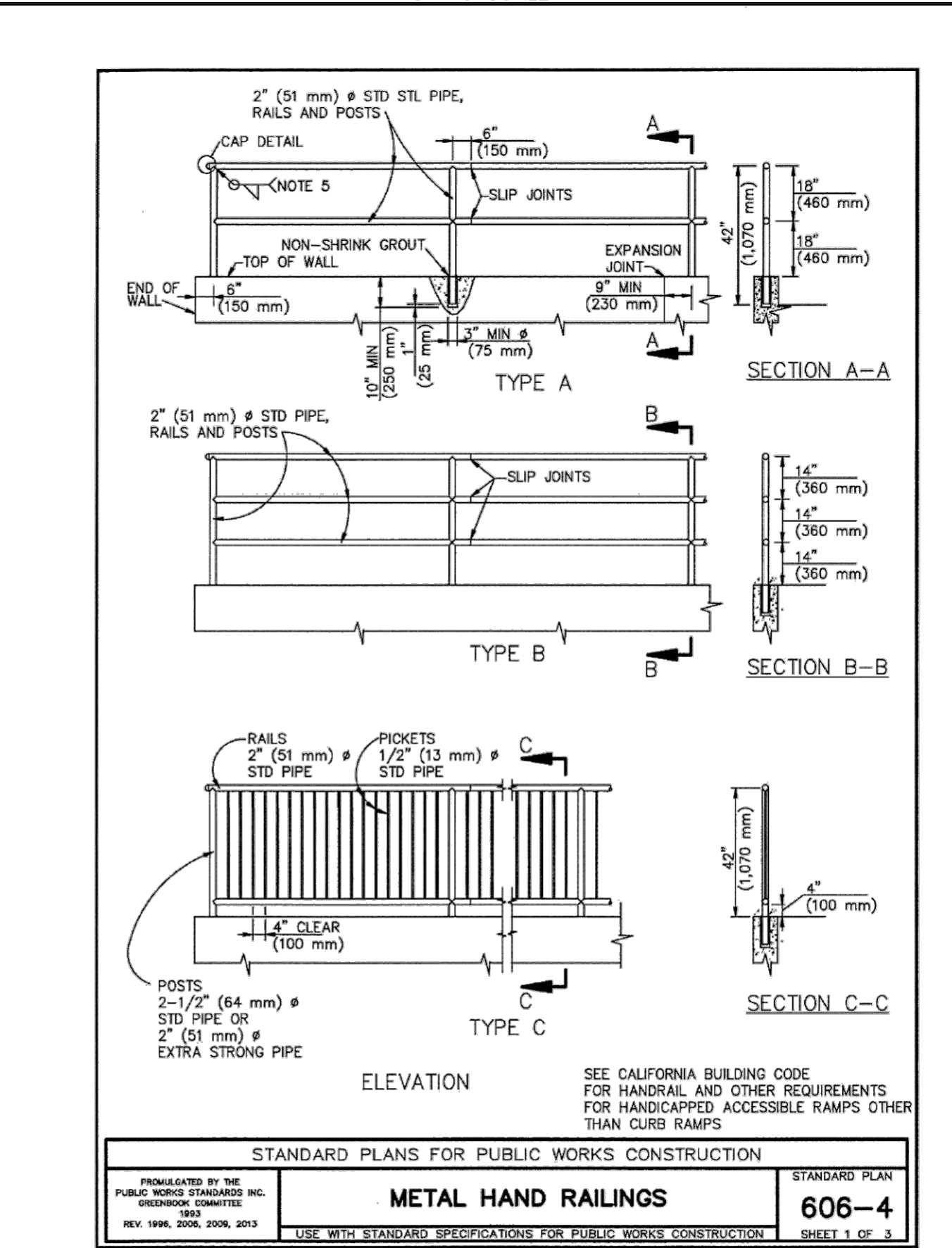
DETAIL 14 – STANDARD CONCRETE SECTION
NOT TO SCALE



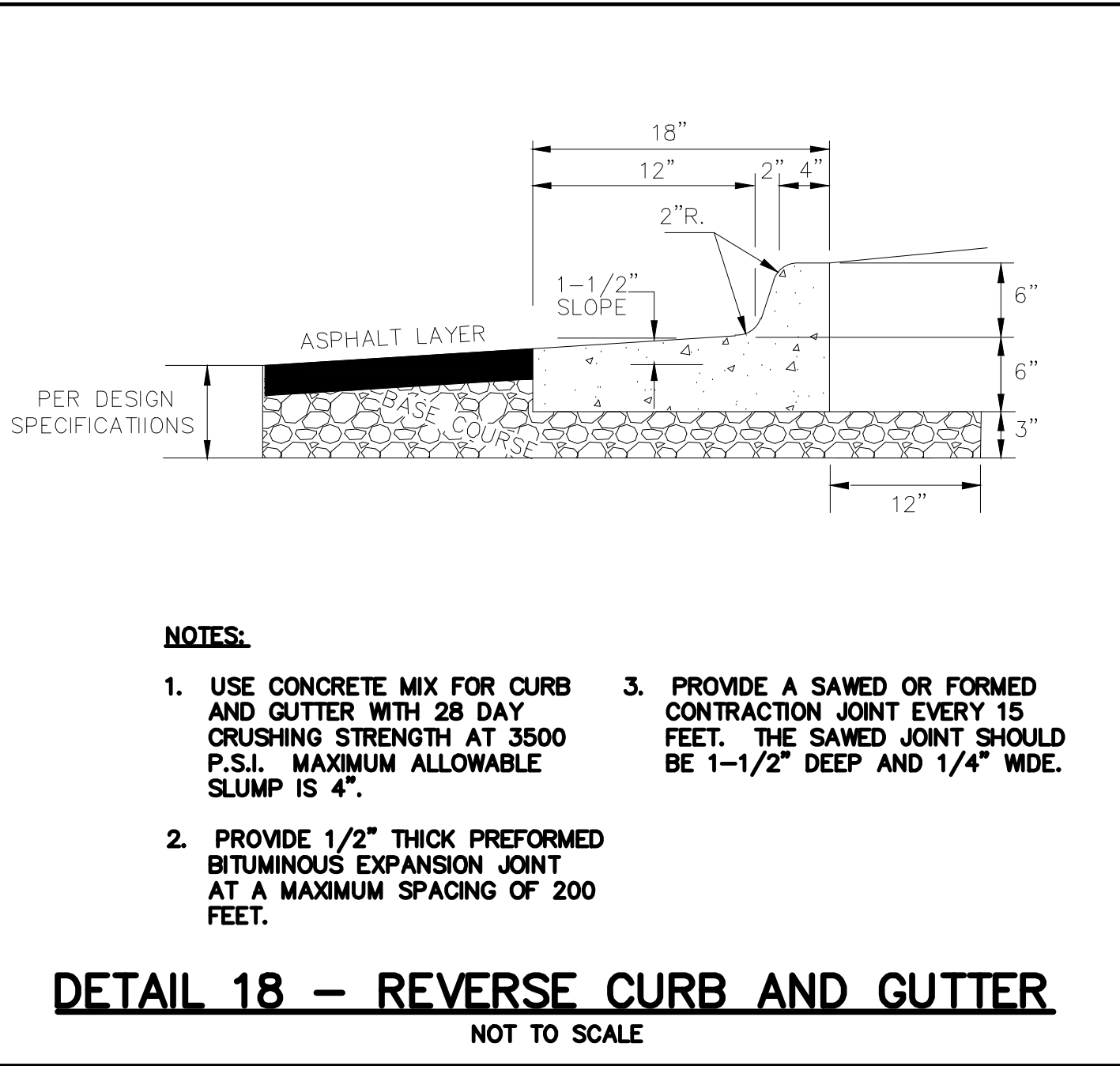
DETAIL 15 – ARROW STRIPING
NOT TO SCALE



DETAIL 16 – CURB
NOT TO SCALE



DETAIL 17 – METAL HANDRAIL
NOT TO SCALE



DETAIL 18 – REVERSE CURB AND GUTTER
NOT TO SCALE

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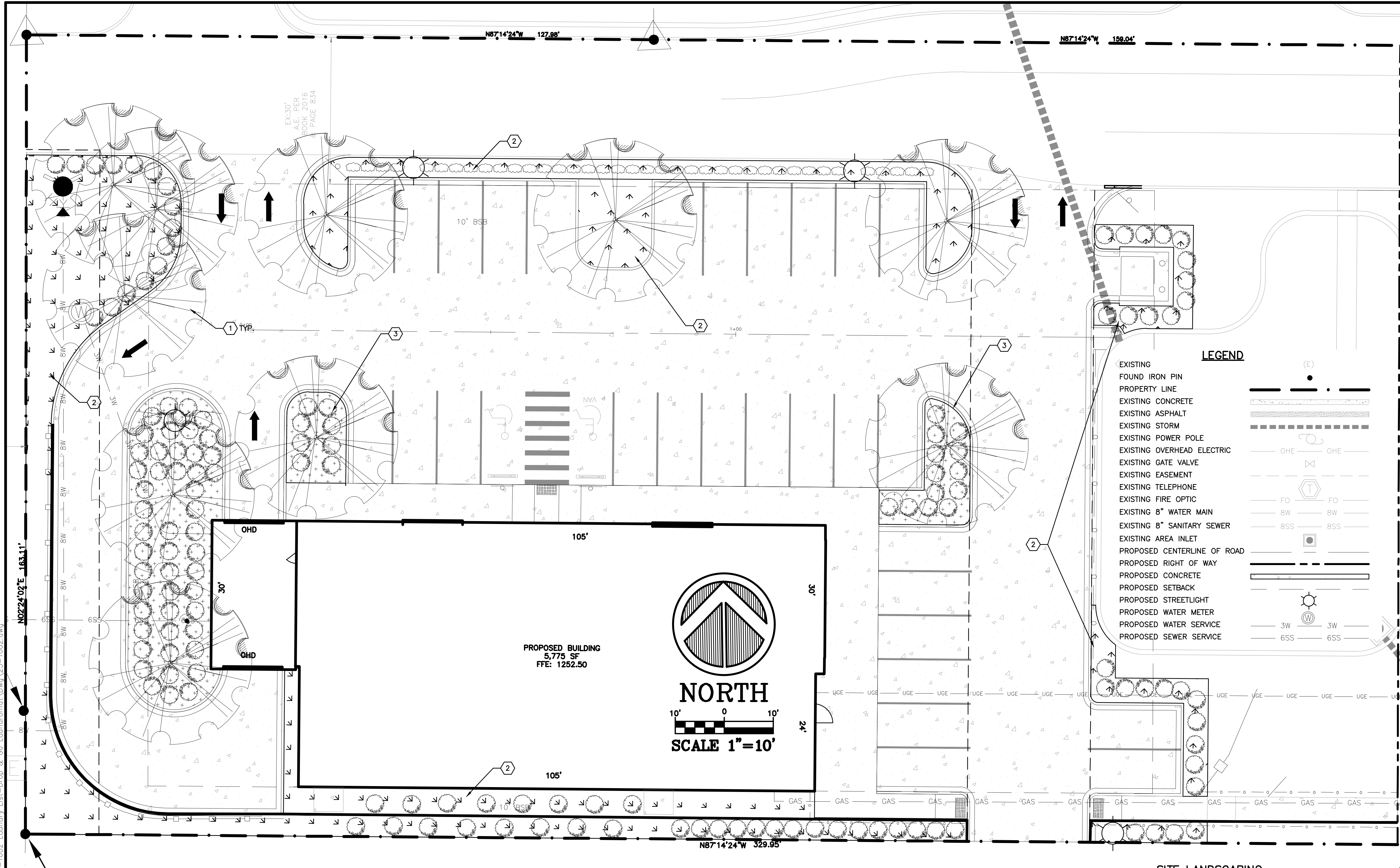
DATE:
4/24/2023

JOB NUMBER:
23-1002

SHEET NAME:
DETAILS




File No.
23-1002.dwg


C7.1



1. ALL PLANT MATERIAL SHALL BE AS SPECIFIED IN THE PLANT LIST ON THIS SHEET AND MEET THE REQUIREMENTS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN PUBLICATION "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 LATEST EDITION).
2. ALL PLANT MATERIAL SHALL BE HEALTHY AND VIGOROUS AT THE TIME OF INSTALLATION AND SHALL BE GUARANTEED FOR SURVIVAL FOR A PERIOD OF 2 YEARS FROM THE TIME OF INSTALLATION.
3. INSTALLATION AND EXECUTION OF THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT LANDSCAPE ORDINANCE FOR THE CITY OF CENTERTON
4. INSTALL A 4" LAYER OF ROCK MULCH OVER A WOVEN FABRIC WEED BARRIER IN ALL BEDS.
5. INSTALL A 3/16"x 4" STEEL EDGING TO BORDER THE MULCHED BED AREAS WHERE THEY ARE ADJACENT TO TURF AREAS.

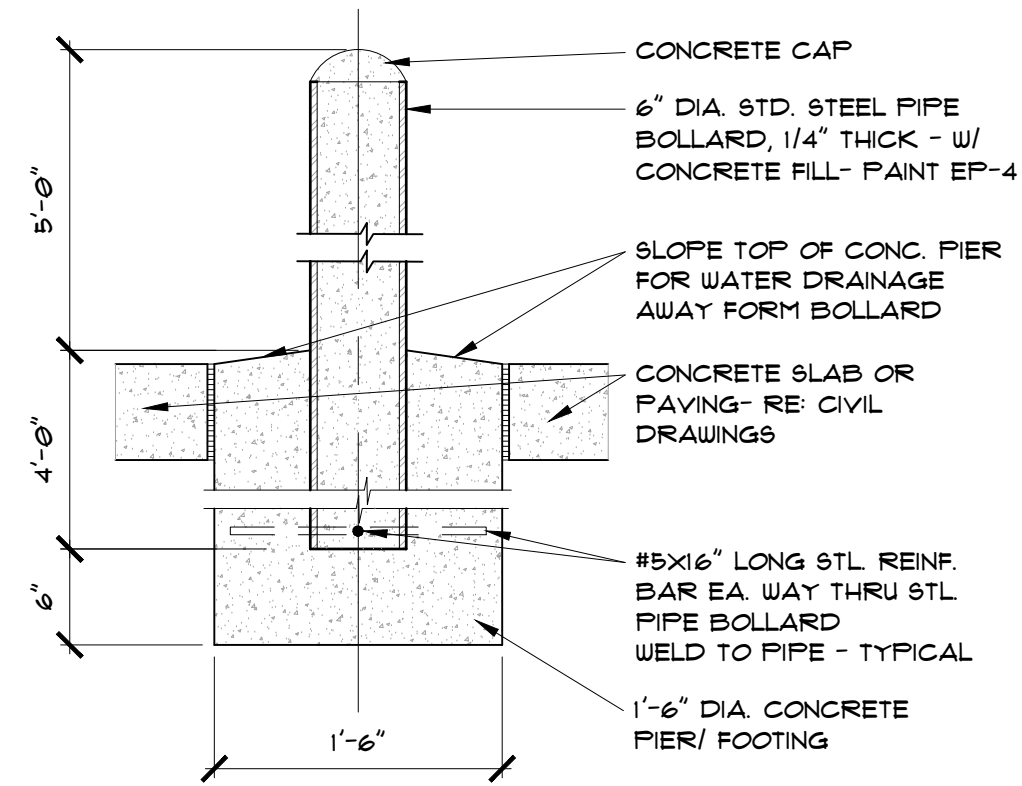
3 MULCHED AREA

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE (MIN.)	SPACING
	REDBUD	CERCIS CANADENSIS	10	2.5" CALIPER B & B MIN. 8'	30' MIN
	EUONYMUS	EUONYMUS EUROPAEUS	143	3 GALLON	
	BOXWOOD SHRUB	BUXUS	38	3 GALLON	

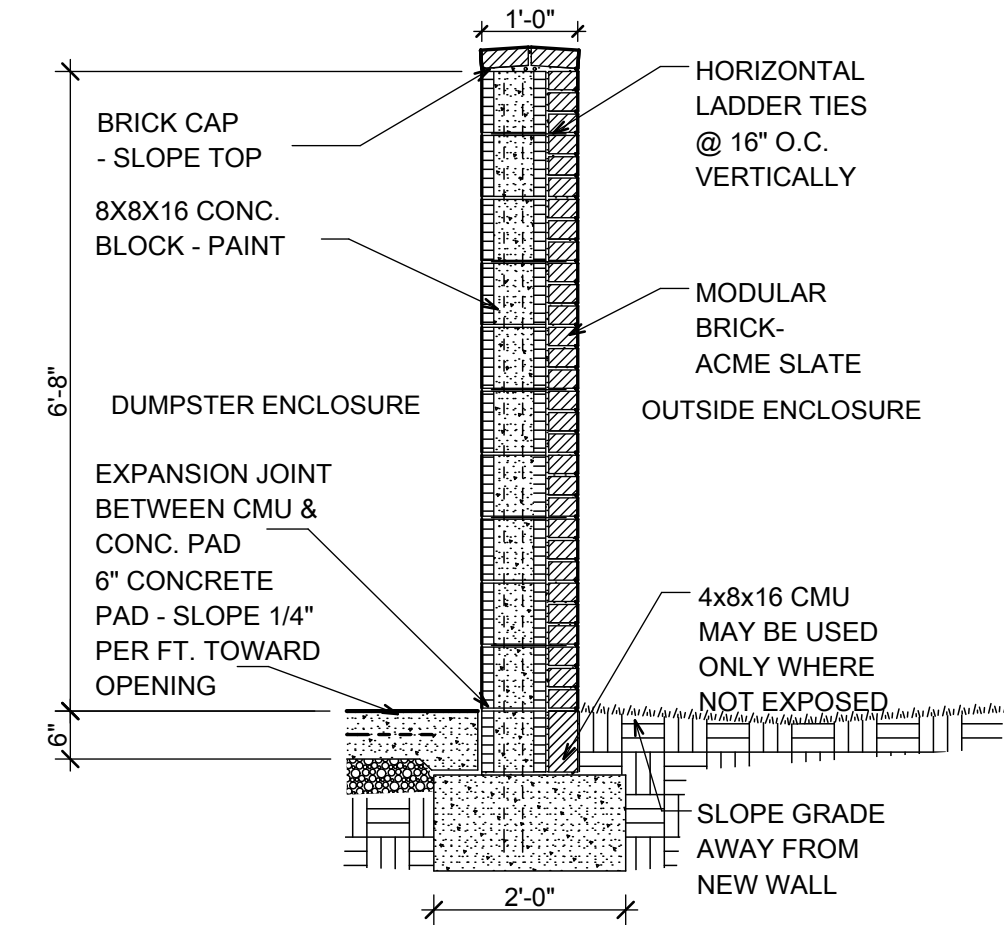


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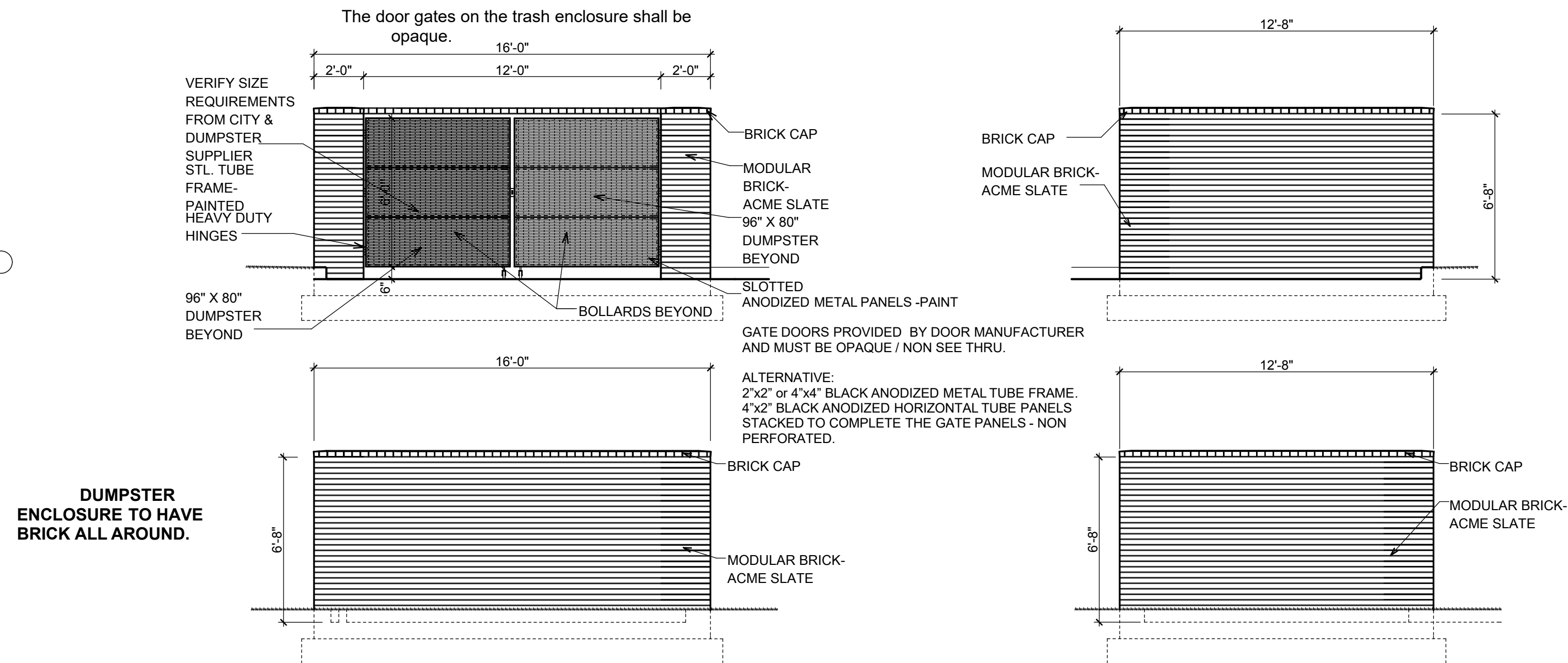
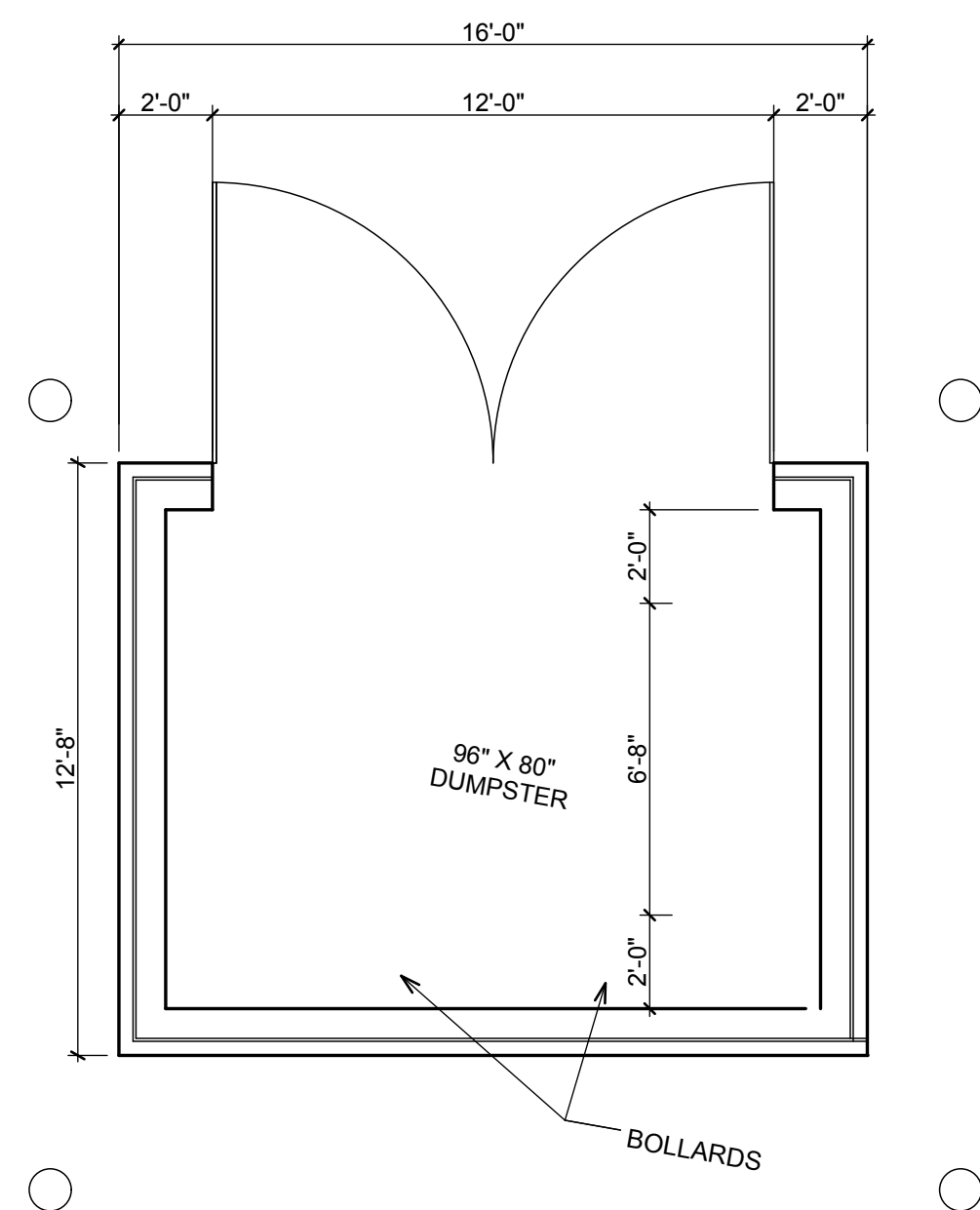
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○ TYP. BOLLARD DETAIL
1"=1'-0"



DUMPSTER WALL DETAIL
SCALE: 1/2"=1'-0"



DUMPSTER ENCLOSURE. NO ROOF

$$\underline{1/4" = 1'-0"}$$

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PROJECT

PRELIMINARY
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PROPOSED NEW LAUNDROMAT CENTER FOR:
CENTER POINT LAUNDRY

CENTER POINT LAUNDRY
TAX PARCELS# XXXXXXXXXXXXXXXXXXXX BENTON

101 GREENHOUSE RD

CENTERTON, ARKANSAS

CONSTRUCTION
DOCUMENTS

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