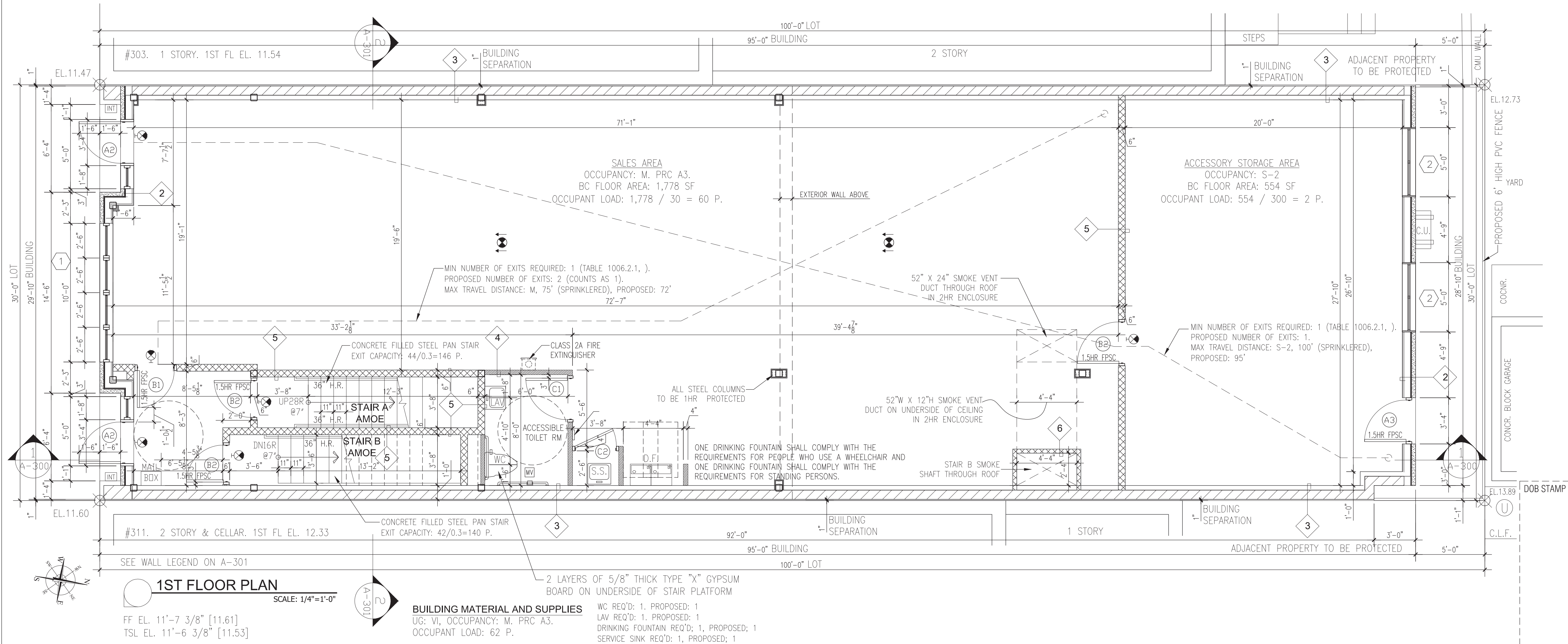
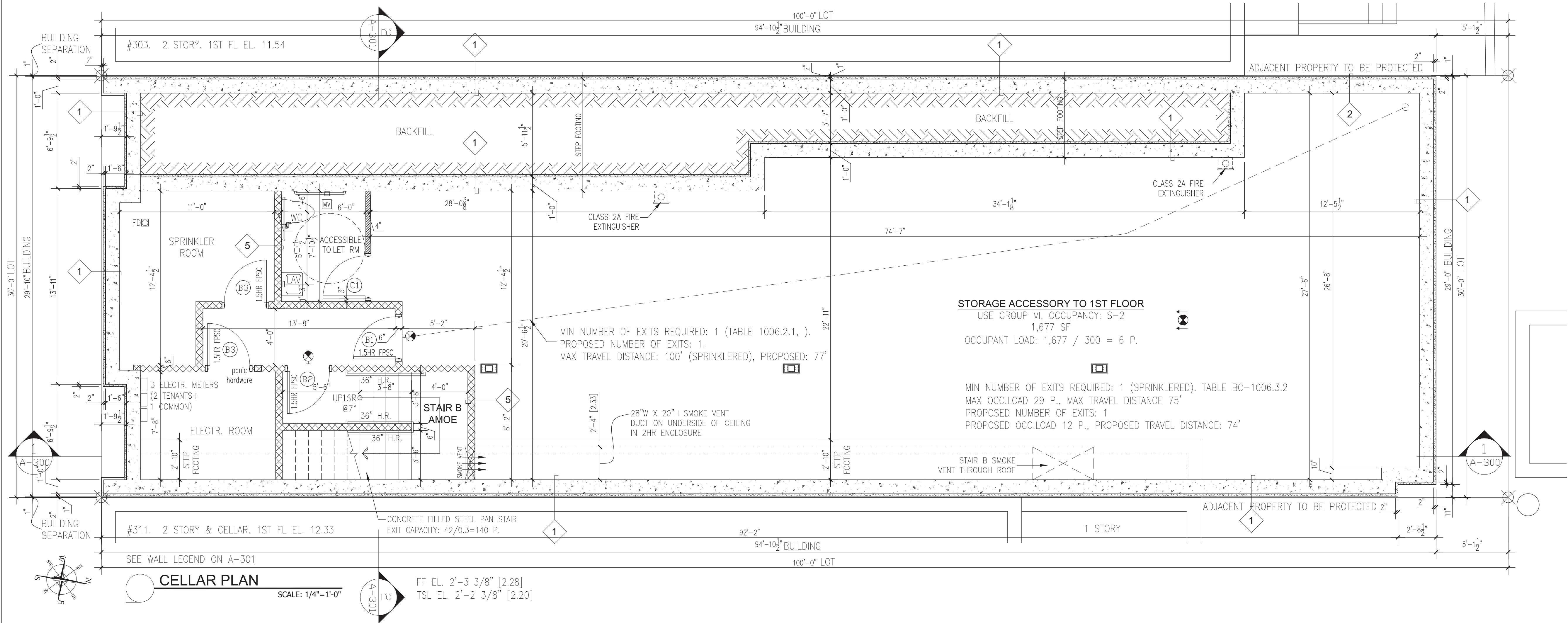


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Architecture - Planning - Interior Design

PROJECT

NEW 2-STORY & CELLAR
COMMERCIAL BUILDING.
309 AVENUE X,
BROOKLYN NY 11223

DRAWING TITLE

CELLAR AND 1ST FLOOR PLANS

DOB JOB # B01205651-11

SEAL & SIGNATURE

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A-1

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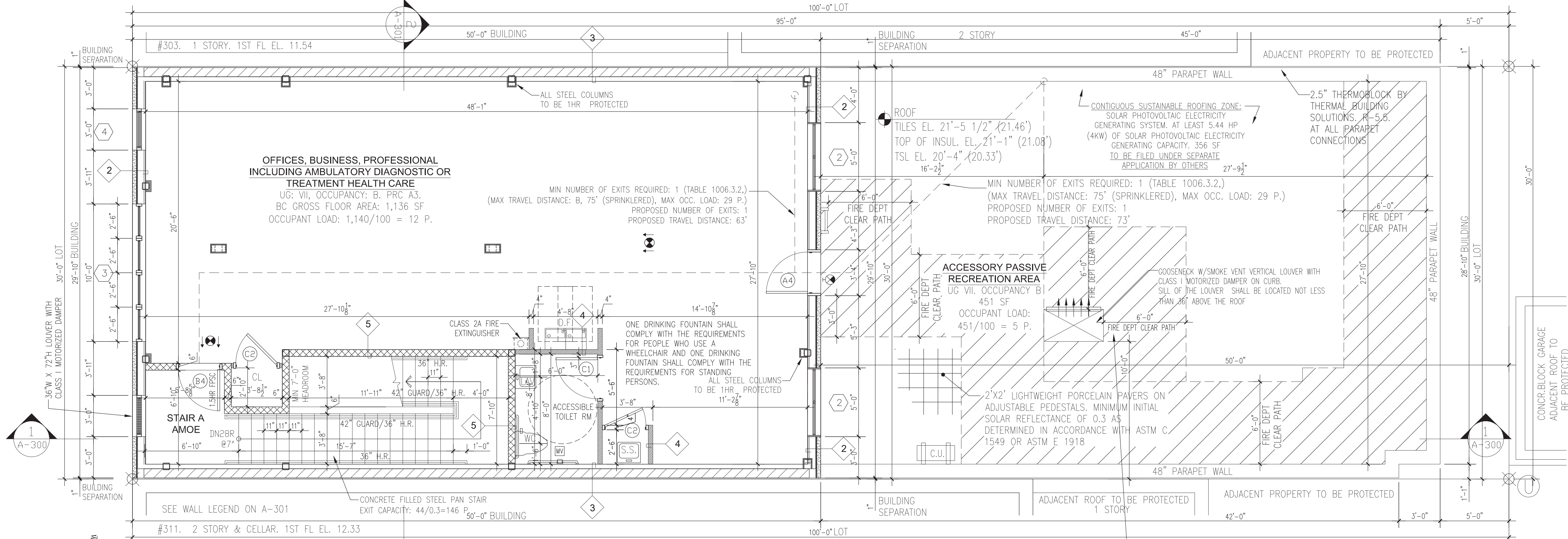
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2ND FLOOR PLAN

SCALE: 1/4"=1'-0"

FF EL. 27'-11 3/8" [27.95]
TSL EL. 27'-10 3/8" [27.86]
WC REQ'D: 1, PROPOSED: 1
LAV REQ'D: 1, PROPOSED: 1
DRINKING FOUNTAIN REQ'D: 1, PROPOSED: 1
SERVICE SINK REQ'D: 1, PROPOSED: 1

STAIR "A" SHAFT VENT CALCULATION

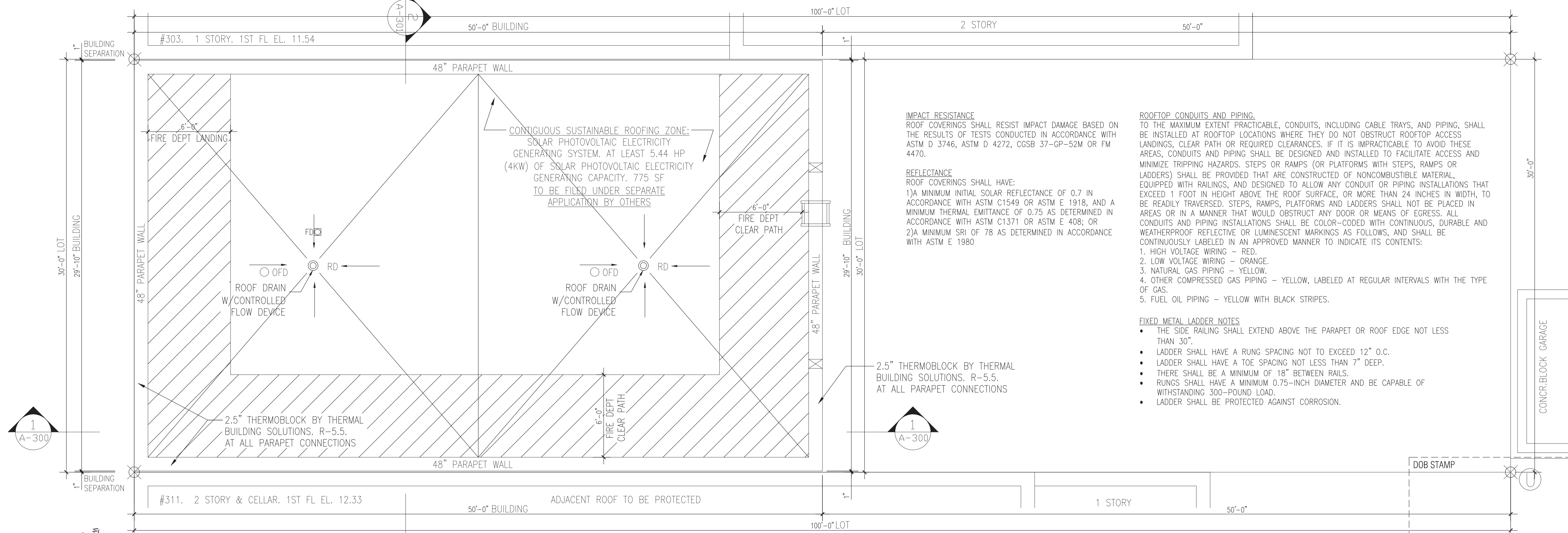
STAIR SHAFT AREA: 207 SF. MIN VENTING AREA REQ'D: 182 X 3.5% = 6.4 SF.
PROPOSED: 36"W X 72"H LOUVER. FREE AREA: 8.44 SF PER SPECS
MODEL: 2000 LOUVER WITH CONCEALED MOTOR. EXTRUDED ALUMINUM W/SCREEN.
MAKE: VENTPRODUCTS OR APPROVED EQUAL
VENT SHALL AUTOMATICALLY OPEN UPON DETECTION OF SMOKE IN THE ELEVATOR LOBBIES OR HOISTWAY, UPON POWER FAILURE OR UPON ACTIVATION OF A MANUAL OVERRIDE CONTROL. THE MANUAL OVERRIDE CONTROL SHALL BE CAPABLE OF OPENING AND CLOSING THE VENTS AND SHALL BE LOCATED IN AN APPROVED LOCATION.

CONDENSING UNITS SHALL BE MOUNTED ON VIBRATION ISOLATORS PROVIDING A MINIMUM ISOLATION EFFICIENCY OF 90 PERCENT AT FAN ROTOR RPM WITH A MAXIMUM STATIC DEFLECTION OF 4 INCHES. EACH ISOLATOR SHALL INCORPORATE A LEVELING DEVICE AND A RESILIENT PAD HAVING A MINIMUM THICKNESS OF 1/4 INCH. VIBRATION CUTOFF SWITCHES SHALL BE PROVIDED ON EVAPORATIVE CONDENSERS.

EQUIPMENT AND APPLIANCES INSTALLED ON ROOFTOPS OF BUILDINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK CITY FIRE CODE REGARDING ROOFTOP ACCESS AND OBSTRUCTIONS, AND SHALL NOT OBSTRUCT OR INTERFERE WITH FIREFIGHTING OPERATIONS OR THE OPERATION OF ANY DOORS, WINDOWS, FIRE ESCAPES, OR OTHER MEANS OF EGRESS OR OTHER BUILDING COMPONENTS REQUIRING OPERATION OR ACCESS

STAIR "B" SHAFT VENT CALCULATION

STAIR SHAFT AREA: 101 SF. MIN VENTING AREA REQ'D: 101 X 3.5% = 3.5 SF.
PROPOSED GOOSENECK DUCT W/ 52"W X 28"H LOUVER. FREE AREA: 3.58 SF PER SPECS
MODEL: 2000 LOUVER WITH CONCEALED MOTOR. EXTRUDED ALUMINUM W/SCREEN.
MAKE: VENTPRODUCTS OR APPROVED EQUAL
VENT SHALL AUTOMATICALLY OPEN UPON DETECTION OF SMOKE IN THE ELEVATOR LOBBIES OR HOISTWAY, UPON POWER FAILURE OR UPON ACTIVATION OF A MANUAL OVERRIDE CONTROL. THE MANUAL OVERRIDE CONTROL SHALL BE CAPABLE OF OPENING AND CLOSING THE VENTS AND SHALL BE LOCATED IN AN APPROVED LOCATION.



ROOF PLAN

SCALE: 1/4"=1'-0"

FF EL. 40'-2 3/8" [40.20]
TSL EL. 39'-5 3/8" [39.45]

STAIRWAY TO ROOF AND ROOF ACCESS NOT REQUIRED (BC-1011.12).
BUILDING IS NOT FOUR OR MORE STORIES OR MORE THAN 40 FEET IN HEIGHT

IMPACT RESISTANCE

ROOF COVERINGS SHALL RESIST IMPACT DAMAGE BASED ON THE RESULTS OF TESTS CONDUCTED IN ACCORDANCE WITH ASTM D 3746, ASTM D 4272, CGSB 37-GP-52M OR FM 4470.

REFLECTANCE

ROOF COVERINGS SHALL HAVE:
1) A MINIMUM INITIAL SOLAR REFLECTANCE OF 0.7 IN ACCORDANCE WITH ASTM C1549 OR ASTM E 1918, AND A MINIMUM THERMAL EMITTANCE OF 0.75 AS DETERMINED IN ACCORDANCE WITH ASTM C1371 OR ASTM E 408; OR
2) A MINIMUM SRI OF 78 AS DETERMINED IN ACCORDANCE WITH ASTM E 1980

ROOFTOP CONDUITS AND PIPING

TO THE MAXIMUM EXTENT PRACTICABLE, CONDUITS, INCLUDING CABLE TRAYS, AND PIPING, SHALL BE INSTALLED AT ROOFTOP LOCATIONS WHERE THEY DO NOT OBSTRUCT ROOFTOP ACCESS LANDINGS, CLEAR PATH OR REQUIRED CLEARANCES. IF IT IS IMPRACTICABLE TO AVOID THESE AREAS, CONDUITS AND PIPING SHALL BE DESIGNED AND INSTALLED TO FACILITATE ACCESS AND MINIMIZE TRIPPING HAZARDS. STEPS OR RAMPS (OR PLATFORMS WITH STEPS, RAMPS OR LADDERS) SHALL BE PROVIDED THAT ARE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL, EQUIPPED WITH RAILINGS, AND DESIGNED TO ALLOW ANY CONDUIT OR PIPING INSTALLATIONS THAT EXCEED 1 FOOT IN HEIGHT ABOVE THE ROOF SURFACE, OR MORE THAN 24 INCHES IN WIDTH, TO BE READILY TRAVERSED. STEPS, RAMPS, PLATFORMS AND LADDERS SHALL NOT BE PLACED IN AREAS OR IN A MANNER THAT WOULD OBSTRUCT ANY DOOR OR MEANS OF EGRESS. ALL CONDUITS AND PIPING INSTALLATIONS SHALL BE COLOR-CODED WITH CONTINUOUS, DURABLE AND WEATHERPROOF REFLECTIVE OR LUMINESCENT MARKINGS AS FOLLOWS, AND SHALL BE CONTINUOUSLY LABELED IN AN APPROVED MANNER TO INDICATE ITS CONTENTS:
1. HIGH VOLTAGE WIRING - RED.
2. LOW VOLTAGE WIRING - ORANGE.
3. NATURAL GAS PIPING - YELLOW.
4. OTHER COMPRESSED GAS PIPING - YELLOW, LABELED AT REGULAR INTERVALS WITH THE TYPE OF GAS.
5. FUEL OIL PIPING - YELLOW WITH BLACK STRIPES.

FIXED METAL LADDER NOTES

- THE SIDE RAILING SHALL EXTEND ABOVE THE PARAPET OR ROOF EDGE NOT LESS THAN 30".
- LADDER SHALL HAVE A RUNG SPACING NOT TO EXCEED 12" O.C.
- LADDER SHALL HAVE A TOE SPACING NOT LESS THAN 7" DEEP.
- THERE SHALL BE A MINIMUM OF 18" BETWEEN RAILS.
- RUNGS SHALL HAVE A MINIMUM 0.75-INCH DIAMETER AND BE CAPABLE OF WITHSTANDING 300-POUND LOAD.
- LADDER SHALL BE PROTECTED AGAINST CORROSION.

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DRAWING TITLE

2ND FLOOR AND ROOF PLANS

DOB JOB # B01205651-I1

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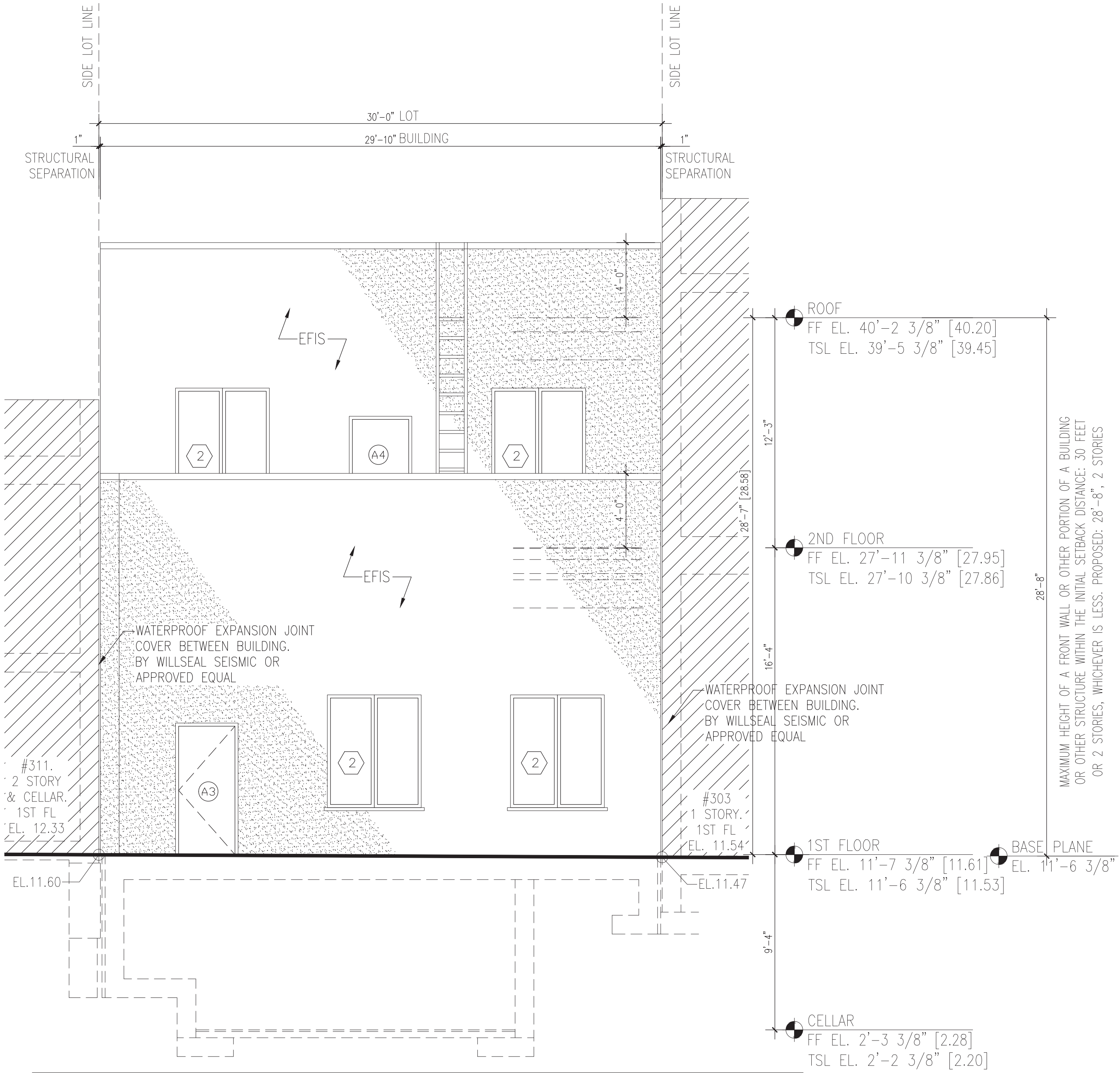
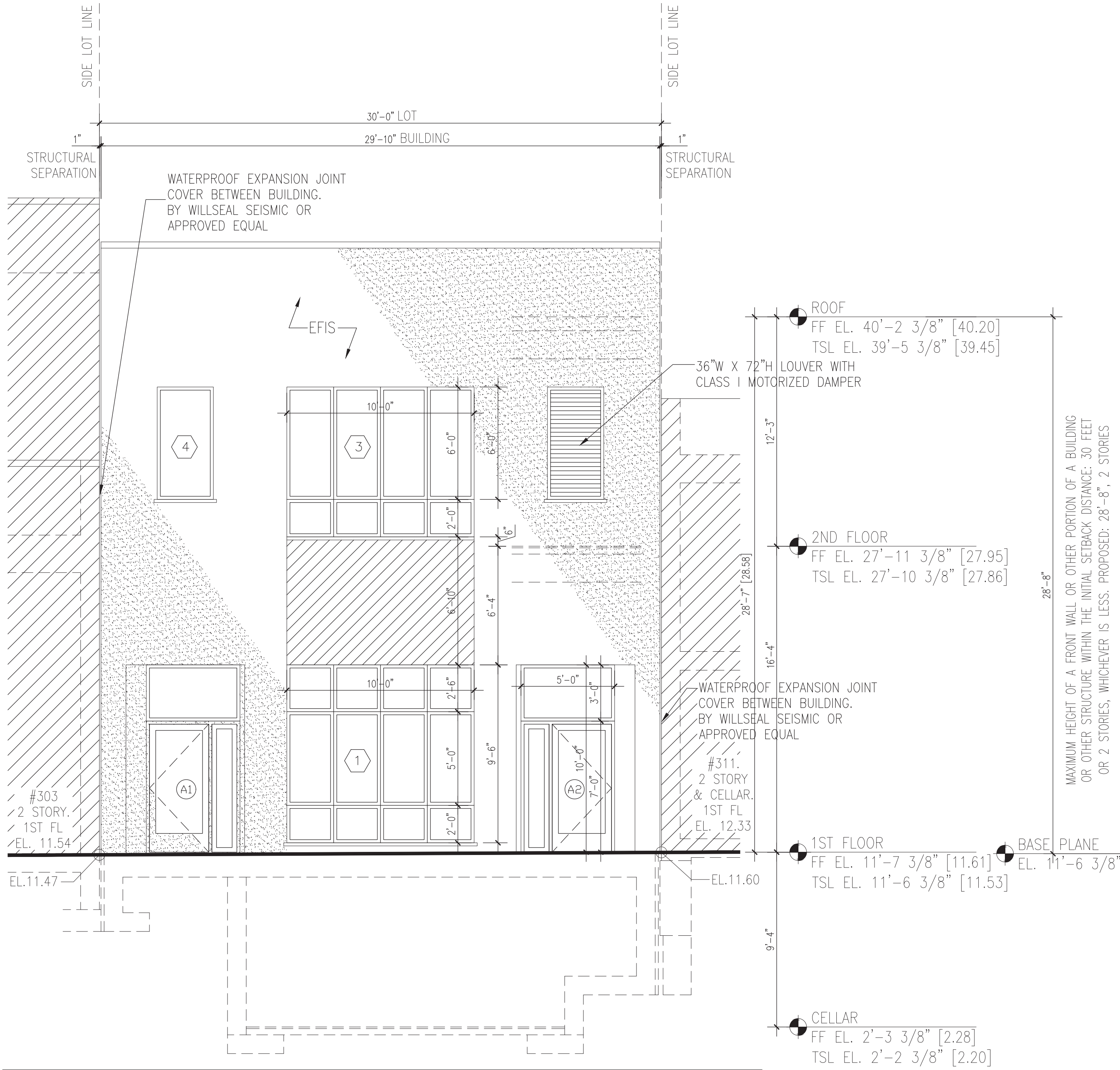
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NEW 2-STORY & CELLAR
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309 AVENUE X,
BROOKLYN NY 11223

DRAWING TITLE

FRONT & REAR ELEVATIONS

DOB JOB # B01205651-11

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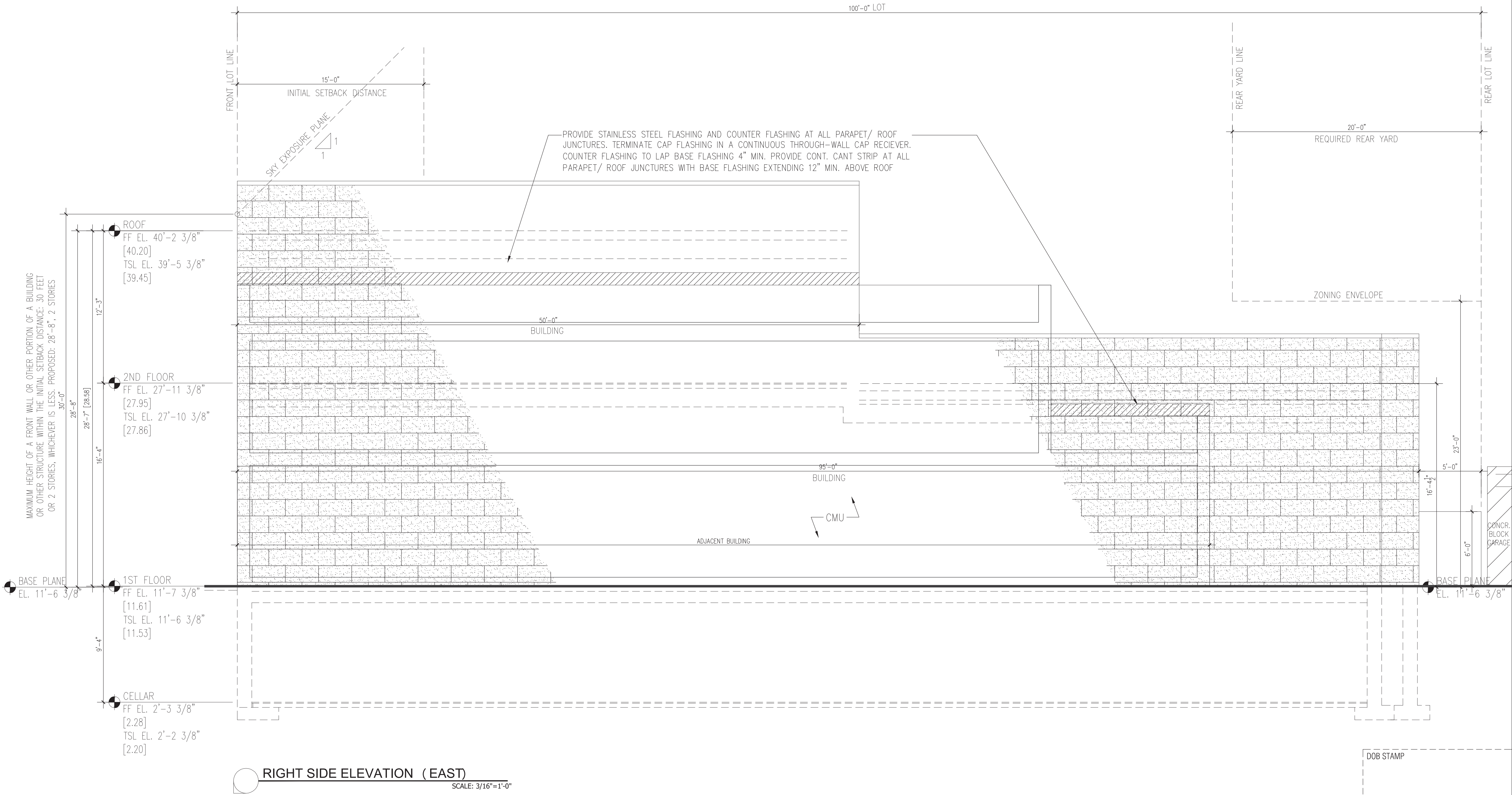
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NEW 2-STORY & CELLAR
COMMERCIAL BUILDING.
309 AVENUE X,
BROOKLYN NY 11223

DRAWING TITLE

RIGHT SIDE ELEVATION

DOB JOB # B01205651-11

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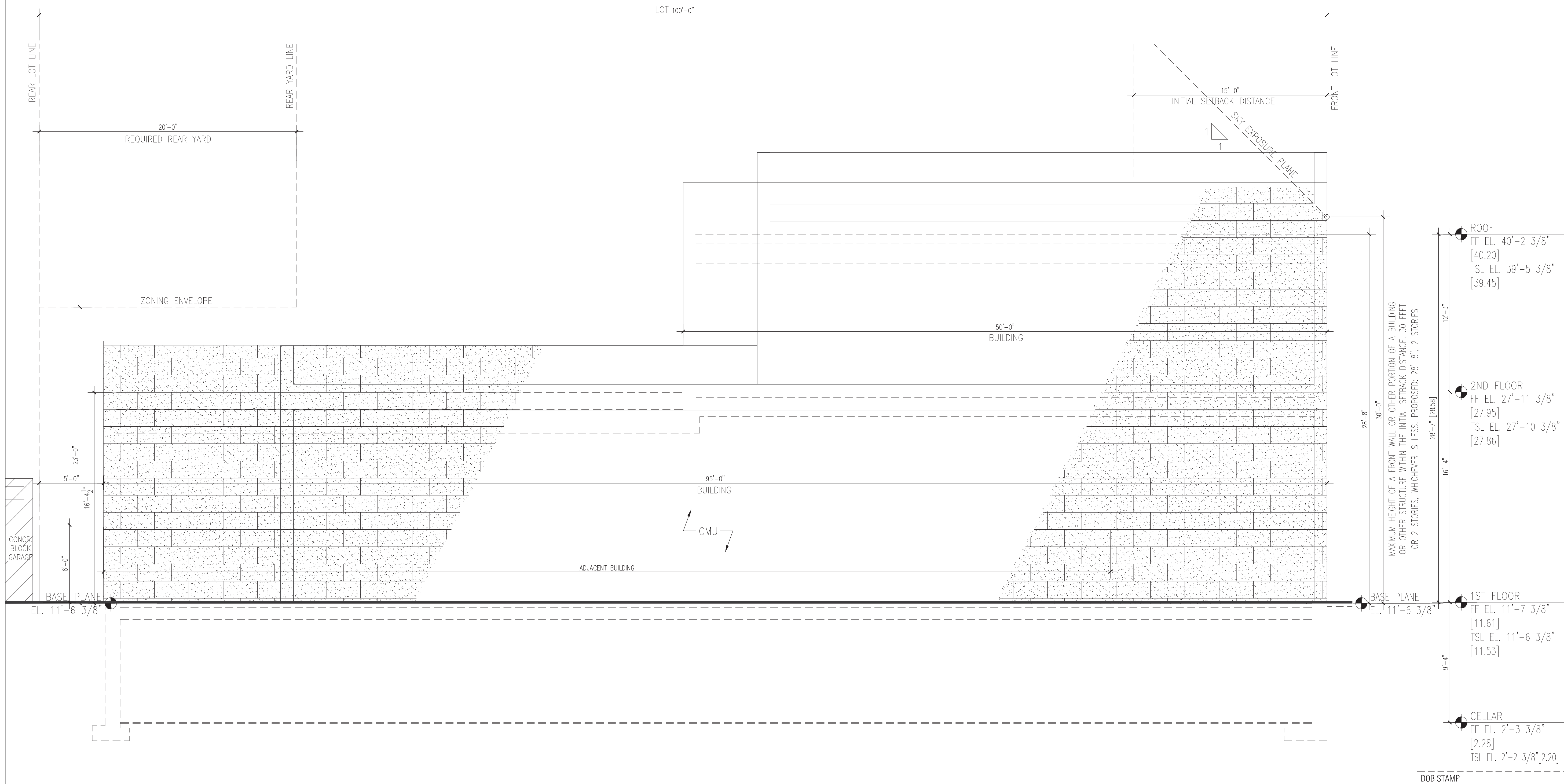
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LEFT SIDE ELEVATION (WEST)

SCALE: 3/16"=1'-0"



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PROJECT

NEW 2-STORY & CELLAR
COMMERCIAL BUILDING.
309 AVENUE X,
BROOKLYN NY 11223

DRAWING TITLE

LEFT SIDE ELEVATION

DOB JOB # B01205651-11

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