



Medical Office FOR LEASE

**274 Walnut Street, Unit
3, Shrewsbury, MA,
01545**

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274 WALNUT STREET



KW COMMERCIAL NORTH CENTRAL

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274 WALNUT STREET



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Each Office Independently Owned and Operated

PRESENTED BY:

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PROPERTY DESCRIPTION

274 WALNUT STREET



Welcome to 274 Walnut street, unit#3, Shrewsbury, MA, USA, a premier medical office building ideally located in the heart of Shrewsbury. This meticulously maintained building offers an unparalleled opportunity for healthcare professionals seeking a modern and efficient workspace. With its convenient location, ample parking, and state-of-the-art facilities(to be build for specifications), this property is sure to impress both practitioners and patients alike. It can also be build for non-medical offices.

Taxes \$2.22/rsf/yr and CAM1.55/rsf/yr = \$3.77/rsf/yr

Period	Base NNN	2024 Tax Est	2024 CAM Est	2024 Actual	Comments
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PROPERTY PHOTOS

274 WALNUT STREET



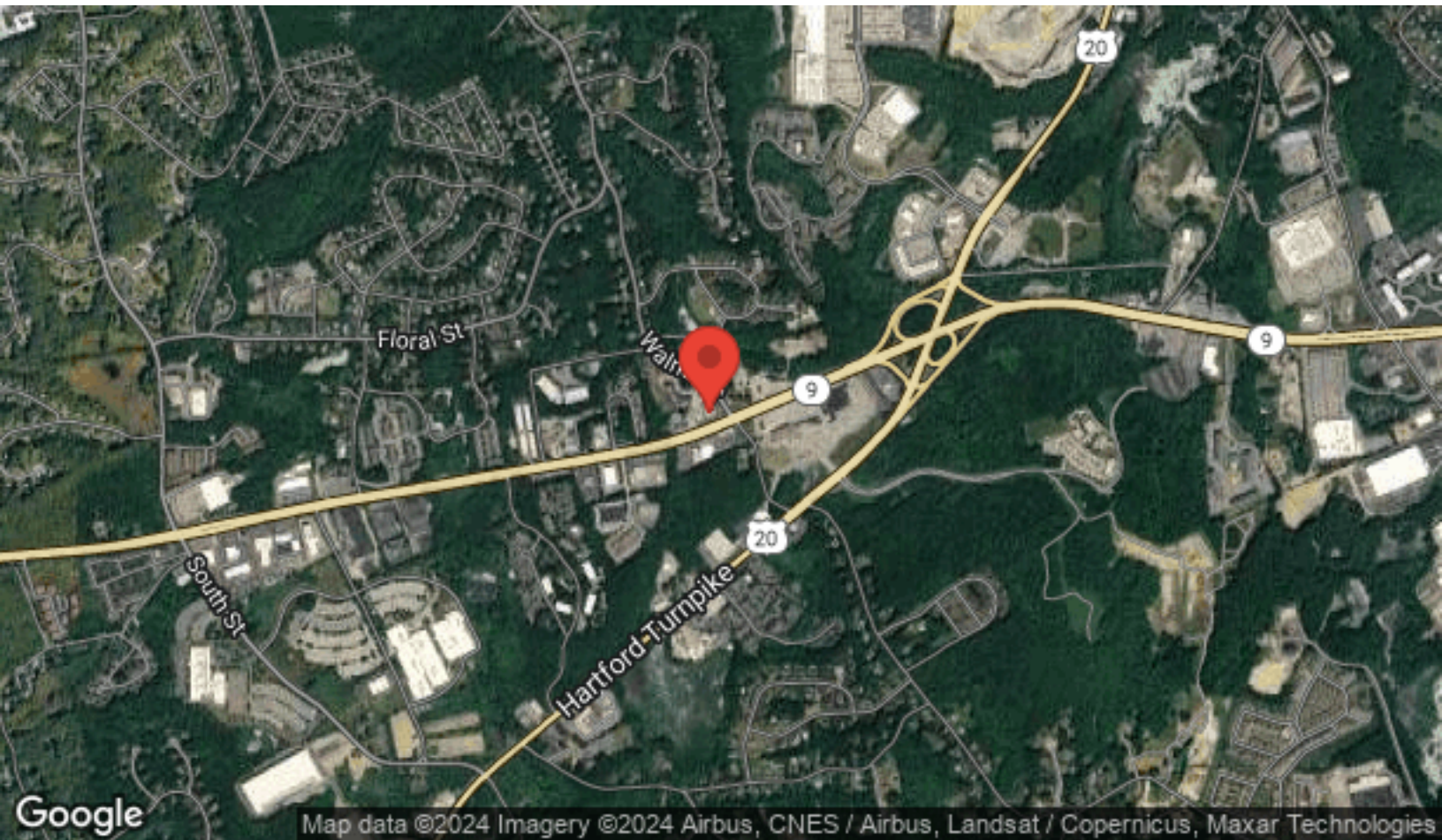
PROPERTY PHOTOS

274 WALNUT STREET



LOCATION MAPS

274 WALNUT STREET



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Map data ©2024

ASSESSORS MAP

274 WALNUT STREET



PROPERTY SUMMARY

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Property Summary

Building SF:	6,400
Lease Rate:	\$28/Sq Ft/Yr
Parking:	40
Year Built:	2022

Property Overview

Prime Location: Situated in a bustling commercial district, this medical office building enjoys high visibility and easy access from major thoroughfares, Route 9 and Route 20.

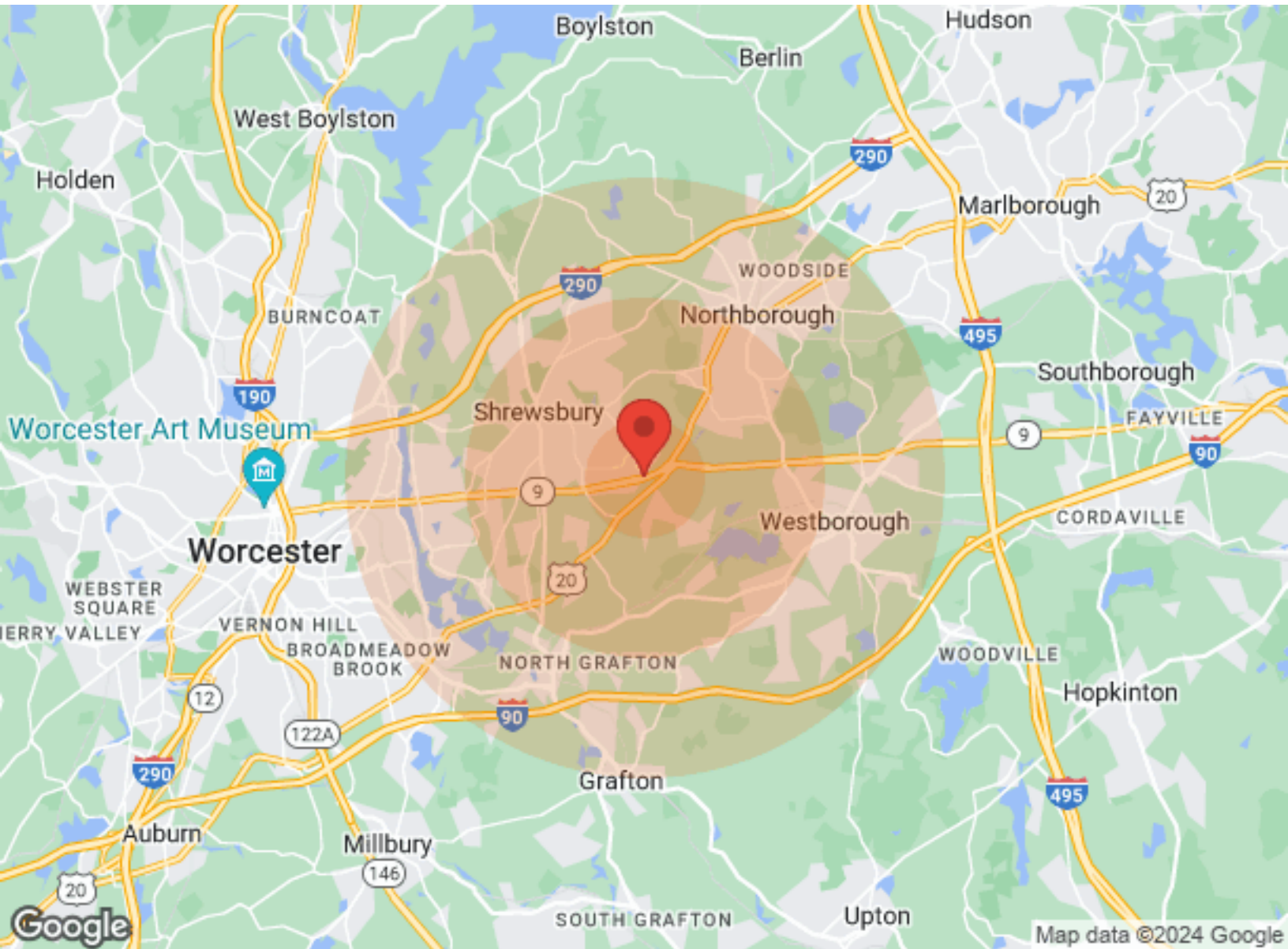
Modern Design: The building interior can be build to boasts a contemporary design and attractive facade, creating a welcoming atmosphere for patients and visitors.

Spacious Floor Plan: Spanning 2,700 square feet on a single floor, the building can be build with a flexible layout suitable for a variety of medical practices and specialties.

Location Overview

DEMOGRAPHICS

274 WALNUT STREET



	1 Mile	3 Miles	5 Miles		1 Mile	3 Miles	5 Miles
Population				Income			
Male	745	17,346	44,811	Median	\$84,260	\$90,488	\$83,582
Female	787	17,382	46,509	< \$15,000	20	508	2,144
Total Population	1,532	34,728	91,320	\$15,000-\$24,999	45	646	2,375
				\$25,000-\$34,999	34	543	1,701
Age				\$35,000-\$49,999	108	1,368	4,084
Ages 0-14	338	6,711	16,204	\$50,000-\$74,999	96	1,978	5,382
Ages 15-24	213	5,166	12,532	\$75,000-\$99,999	150	2,143	5,455
Ages 25-54	707	12,925	34,757	\$100,000-\$149,999	111	3,023	7,131
Ages 55-64	161	4,738	12,799	\$150,000-\$199,999	54	1,386	3,451
Ages 65+	113	5,188	15,028	> \$200,000	23	1,094	3,490
				Housing			
Race				Total Units	704	13,883	38,432
White	875	28,307	76,987	Occupied	689	13,292	36,649
Black	77	382	1,589	Owner Occupied	188	9,979	25,686
Am In/AK Nat	N/A	6	8	Renter Occupied	501	3,313	10,963
Hawaiian	N/A	N/A	N/A	Vacant	15	591	1,783
Hispanic	76	661	2,602				
Multi-Racial	250	1,414	4,374				