

January 15, 2026

VIA EMAIL: PLANNING@WORCESTERMA.GOV

Division of Planning & Regulatory Services
City Hall Room 404
455 Main Street
Worcester, MA 01608
Attn: Michelle Smith, Assistant Chief Development Officer

Re: 342 West Boylston LLC – Applications to Worcester Planning Board for Definitive Site Plan Approval and CCOD Special Permit for a Multifamily Development Project at 342 West Boylston Street, Worcester, Massachusetts (the “Property”)

Dear Ms. Smith:

This firm represents 342 West Boylston LLC (the “Applicant”) in its applications to the Worcester Planning Board (the “Board”) for definitive site plan approval and CCOD special permit in connection with the development of a new 4-story multifamily building with 24 residential units (consisting of 10 Group 2 accessible units), 16 surface parking spaces (including 1 van accessible space), interior and covered exterior bicycle storage, outdoor recreational space, walkways, a retaining wall and other site improvements at the Property. The residential units are intended to be condominium ownership units restricted to households earning 70% of AMI or less.

We hereby submit the following items for filing with the Board:

1. Zoning Determination Form;
2. Definitive Site Plan Approval Application;
3. CCOD Special Permit Application;
4. Project Impact Statement and Statement in Support;
5. Photographs of the Property;
6. Plan Set;
7. Drainage Report (to be filed under separate cover letter);
8. Architectural Floor Plans and Elevations;
9. Rendering of the Proposed Building;
10. Traffic & Parking Assessment Report; and
11. Certified List of Abutters.

▶ PRINCE LOBEL

We will coordinate with staff to facilitate the submission of the addressed envelopes, the filing fees payable to the City of Worcester and necessary copies of the above.

Kindly file these Applications with the City Clerk and schedule these Applications to be presented and discussed at the Board's next available meeting, which is scheduled to occur on **February 18, 2026**. Please let me know if you have any questions concerning the enclosed.

Thank you for your assistance with this matter.

Sincerely,



Mark A. Borenstein,

Enclosures

cc: Project Team



The City of Worcester

Department of Inspectional Services

Department of Inspectional Services

25 Meade Street

P | 508-799-1198 F | 508-799-8544

Inspections@WorcesterMA.gov

Zoning Determination Form

To obtain a building permit, you are required to file the following Board application(s):

Property Address(es): 342 West Boylston Street

Submitted Plan Date: 12/3/2024

Zoning District(s): Business, Limited (BL-1.0)

Overlay District(s): Commercial Corridors Overlay District - Elsewhere (CCOD-E)

Project Description (attach supplemental narrative as needed):

Planning Board: (indicate all that apply)

Site Plan

Preliminary Definitive

Trigger(s):

15% Slope 5+ Units Airport
 Cluster GFA Lodging House
 National Register Subdivision

Special Permit(s)

ADU AROD AUM CCOD CCRC
 Cluster WRPOD IZ

Other _____

Subdivision

Preliminary Definitive Frontage (Definitive)

Parking Plan

ANR

More than One Building on a Lot (residential)

81G Street Opening or Ch. 12 Sec. 12 Review

Other Filings: (either Board)

Amendment to: _____

Extension of Time for _____

Other: _____

For Official Use Only:

 TAM DCH Date 1/15/25

ISD Authorized Signature Required: TAM DCH Date

Zoning Board of Appeals: (indicate all that apply)

Variance(s)

Dimension	Requirement	Provided	Relief Requested
Gross Area (SF)			
Frontage (ft.)			
Setback (ft.)	Front		
	Side		
	Exterior Side		
	Rear		
	Accessory Structure		
Height (ft.)	3+ Stories/50 ft	5 Stories/64 ft	2 Stories/14 ft
Floor to Area Ratio			
Parking (spaces)	26 Spaces	16 Spaces	8 Spaces**
Other			

Special Permit(s)

Use Allowed by Special Permit #: _____

Expansion/Change of privileged nonconforming

Structure Use To a Use of a Similar Nature

Mod. Dimensional Requirements for Residential Conversion

Modify Parking/Loading/Layout/Landscaping

Maximum Front Yard Relief in CCOD (Article IX, Section 6.A.6) and New Multifamily Use in CCOD (Not Permitted by Right in BL-1.0)

Other: (Article IX, Section 5.B) _____

Administrative Appeal (ZBA)

* 2 Spaces of Relief are being sought pursuant to Article IX, Section 7.C.1 and C.3.

City of Worcester Planning Board



DEFINITIVE SITE PLAN APPLICATION

Division of Planning & Regulatory Services

City Hall, 455 Main Street, Room 404, Worcester, MA 01608

Phone: (508) 799-1400 x 31440 – Fax: (508) 799-1406 – E-mail: planning@worcesterma.gov (preferred)

1. PROPERTY INFORMATION

- a. 342 West Boylston Street
Address(es) – please list all addresses the subject property is known by
b. 12-007-00009
Parcel ID or Map -Block -Lot (MBL) Number
c. Worcester District Registry of Deeds, Book 69909 Page 65
Current Owner(s) Recorded Deed/Title Reference(s)
d. Business, Limited (BL-1.0) and Commercial Corridors Overlay District - Elsewhere (CCOD-E)
Zoning District and all Zoning Overlay Districts (if any)

2. APPLICANT INFORMATION

- a. 342 West Boylston LLC
Name(s)
b. 40 Jackson Street, Suite 1000, Worcester, MA 01608
Mailing Address(es)
c. c/o Mark A. Borenstein, mborenstein@princelobel.com and (508) 688-9136
Email and Phone Number (s)
d. Owner
Interest in Property (e.g., Lessee, Purchaser, etc.)

I certify that I am requesting the Worcester Planning Board grant the Definitive Site Plan as described below 342 West Boylston LLC

By: [Signature]
Signer ID: XLVSWZNY14...
Steven M. Rothschild, Manager

3. OWNER OF RECORD INFORMATION (IF DIFFERENT FROM APPLICANT)

- a. N/A
Name(s)
b.
Mailing Address(es)
d.
Email and Phone Number

Division of Planning & Regulatory Services
455 Main St., 4th Floor, Worcester, MA 01608
Office 508-799-1400 – Fax 508-799-1406

Planning@worcesterma.gov

4. REPRESENTATIVE INFORMATION

a. Mark A. Borenstein

Name(s)

b. Signature(s)



c. Prince Lobel Tye LLP, One Mercantile Street, Suite 220, Worcester, MA 01608

Mailing Address(es)

d. c/o Mark A. Borenstein, mborenstein@princelobel.com and (508) 688-9136

Email and Phone Number

e. Attorney

Relation to Project (Architect/Attorney/Engineer/Contractor, etc.)

5. AUTHORIZATION

Authorization I, N/A, Owner of Record of the property listed with the

Assessing Division of the City of Worcester, Massachusetts as Map _____ Block _____ Lot(s) _____, do hereby

authorize _____ to file this application with the Division of Planning & Regulatory

Services of the City of Worcester on this the _____ day of _____, 20_____.

On this _____ day of _____, 20_____, before me personally appeared

_____, to me known to be the person described in and who executed the foregoing

instrument and acknowledged that they executed the same as their free act and deed.

NOTARY PUBLIC

My Commission Expires: _____

(If there is more than one owner of the land to be considered in this application, a notarized authorization is required for each owner .)

6. **PROVIDE THE FOLLOWING ITEMS, 1 DIGITAL COPY IN PDF FORMAT VIA EMAIL TO PLANNING@WORCESTERMA.GOV AND CONFIRM WITH STAFF BEFORE SUBMISSION OF 1 PHYSICAL COPY BY HAND DELIVERY OR MAIL:**

- Zoning Determination Form** obtained from the Inspectional Services Division (email inspections@worcesterma.gov or call 508 – 799 – 1198 for more information)
- Completed Site Plan Application, signed by all parties involved.
- Completed **Tax Certification** for the X Applicant and Owner (if different) are attached (page 4)
- If the applicant is NOT the Owner, the **Owner(s) Authorization** for the applicant to apply is attached (page 2)
- A **Certified Abutters List(s)** issued within 3 months of this application’s filing date which includes all properties affected and includes any contiguous, commonly owned property(s). This can be obtained from the Assessor’s Office and includes all abutters and abutters to abutters within 300’ of the edge of the land owner’s property.
Note: if the property(s) is within 300 ft. of another town an abutters list from that town may be required
- Project Impact Statement** describing the proposed project and analyzing how the project and site layout were designed with consideration for and to be compatible with the review criteria in the Zoning Ordinance .
- Site Plan** showing the full project scope and all elements listed in Item 11 of this application, stamped and signed by all applicable professionals
- Architectural drawings** showing exterior elevation, height in feet and stories, exterior materials for all structures, and corresponding floor plans stamped and signed by all applicable professionals
- Stormwater Report** demonstrating compliance with Massachusetts Stormwater Standards for the project, as applicable based on project type and scope *(contact staff to confirm)*
- Traffic Study** , if necessary based on expected traffic generation *(contact staff to confirm)*

7. **PROVIDE 1 PHYSICAL COPY OF THE FOLLOWING ITEMS:**

- One stamped (i.e. postage paid) pre-addressed envelope for *each* party on the Abutters List and the applicant (if different from the owner), with the following return address:

Division of Planning and Regulatory Services
455 Main Street (City Hall), Room 404
Worcester, MA 01608

- Filing Fee** of \$_____ is enclosed *(see fee schedule or contact staff to confirm amount)* .

8. TAX CERTIFICATION

This certification must be completed by all applicants and owners of the property, certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a completed certification shall result in the application being deemed incomplete.

If a Single Owner or Proprietorship:

- a. _____
Name
- b. _____
Signature certifying payment of all municipal charges
- c. _____
Mailing Address
- d. _____
Email and Phone Number

9. IF A PARTNERSHIP OR MULTIPLE OWNERS:

- e. _____
Names
- f. _____
Signatures certifying payment of all municipal charges
- g. _____
Mailing Address
- h. _____
Email and Phone Number

Applicant, if different from owner:

- i. N/A
Printed Name & Signature of Applicant, certifying payment of all municipal charges

If a Corporation or Trust:

- j. 342 West Boylston LLC
Full Legal Name
- k. Massachusetts 40 Jackson Street, Suite 1000, Worcester, MA 01608
State of Incorporation Principal Place of Business
- l. 40 Jackson Street, Suite 1000, Worcester, MA 01608
Mailing Address or Place of Business in Massachusetts
- m. 342 West Boylston LLC
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- n. By:  Steven M. Rothschild, Manager
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- o. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- p. _____
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges

10. PROJECT TYPE AND DESCRIPTION

a. Existing Conditions. Describe the current/existing use of the property

The property is an approximately 20,098 square foot lot occupied by a partially constructed restaurant building, two curb-cuts, an unstriped parking area, retaining wall and other site improvements as shown on the enclosed existing conditions plan.

b. Proposed Conditions. Check the box for **all of the categories** that describe the proposed project:

Proposed Project Type			
Residential	<input checked="" type="checkbox"/>	New Construction	<input checked="" type="checkbox"/>
Industrial/manufacturing	<input type="checkbox"/>	Rehabilitation/Renovation	<input type="checkbox"/>
Business	<input type="checkbox"/>	Expansion/Addition	<input type="checkbox"/>
Mixed Use	<input type="checkbox"/>	Change of use	<input type="checkbox"/>
Subdivision	<input type="checkbox"/>	Drive-through	<input type="checkbox"/>
		Gas station	<input type="checkbox"/>
		Lodging House	<input type="checkbox"/>
		Historic Property	<input type="checkbox"/>
		Abuts Historic Property	<input type="checkbox"/>
		Billboard	<input type="checkbox"/>
		Airport Environs Overlay	<input type="checkbox"/>
		≥15% Slope Disturbed	<input checked="" type="checkbox"/>

c. Describe the proposed use of the property (attach separate narrative if needed)

The Applicant is proposing to construct a 4-story multifamily building with 24 residential units and 16 surface parking spaces and construct associated site improvements as more particularly provided in the enclosed statement in support.

d. Fill in all information relevant to the proposed project

All Projects	Existing	Change +/-	Total
Overall lot size in square feet	20,098 SF	N/A	20,098 SF
Number of buildings	1 Building	N/A	1 Building
Total square footage of building(s)	1,685 SF	+2,485 SF	4,170 SF
Number of stories of building(s)	1 Story	+ 3 Stories	4 Stories
Number of parking spaces	Unstriped	+ 16 Spaces	16 Spaces
Number of loading spaces	0	0	0
Changes to on-street parking	N/A	N/A	N/A
Total vehicle daily trips. <i>Please consult staff for specific thresholds requiring review.</i>	788	-679	109
Square feet of wetlands	0 SF	0 SF	0 SF
Square feet of surface (open) water	0 SF	0 SF	0 SF
Square feet of area vegetated/wooded	5,335 SF	1,315 SF	6,650 SF
Number of trees over 9" in caliper	TBD	TBD	TBD
Cubic yards of fill material to be imported/exported	N/A Studios	- 350 CY	350 CY export
Square feet of property in floodplain	0 SF	0 SF	0 SF
Length of roadway (in feet or miles)	0 ft	0 ft	0 ft
Residential	Existing	Change +/-	Total
Number of units	0 Units	+ 24 Units	24 Units
If multi-family, number of bedrooms per unit	0 BR	Studios	Studios
Number of accessible units	0 BR	+ 10 Units	10 Units
Number of affordable units	0 Units	24 Units	24 Units
Business/ Industrial	Existing	Change +/-	Total
Gross square feet of floor area	+/- 3,600 SF	- 3,600 SF	0 SF

11. ZONING

If this project has already been granted Zoning Relief by the Zoning Board of Appeals, please list the relief below:

Type of Relief	Date Approved
Variances for Height and Parking (ZB-2025-006)	January 27, 2025

12. PERMITS REQUIRED

List any **Federal, State, or City of Worcester** agencies from which permits or other actions have been or will be sought. Please continue list on an attached sheet if needed.

Agency Name	Permit Type	Date Filed	File Number
Inspectional Services	Building Permit	TBD	

13. PLAN REQUIREMENTS

The following information is required of all applications submitted for Site Plan Review. If you are not providing one of these, please check “waiver requested” next to the item.

Feature	Waiver Requested	Location in Set (Sheet/ page #)
a. Site Plan at a minimum 1" = 40'-0" scale, legend, & properly oriented north arrow	<input type="checkbox"/>	2&4
b. Locus plan with zoning information shown	<input type="checkbox"/>	1
c. Existing and proposed utilities	<input type="checkbox"/>	5
d. Existing and proposed grading, using differing line types, showing 2' contours	<input type="checkbox"/>	2
e. Soil types identified on the plan (including test-pit/boring locations for infiltration)	<input type="checkbox"/>	5
f. Architectural elevations and/or renderings (including exterior materials)	<input type="checkbox"/>	
g. Location of all trees over 9" caliper inches on existing conditions plan	<input checked="" type="checkbox"/>	
h. Landscape plan including plantings (location, species, & size), and details for all landscape and hardscape elements	<input type="checkbox"/>	6
i. Shade trees to reduce heat island effect. Parking lots >16 spaces: 1 tree per 10 interior surface spaces located to maximize shading effect (Zoning Ordinance, Article IV, Section 7, Table 4.4, Note 6). <i>Landscaping Notes: 1 tree in the front-yard per lot or 1 tree every 50' along street frontage (Subdivision Regulations Section X, J.1.). Trees (3-3.5" caliper) planted every 20-25' where parking areas along a sidewalk or side lot line abutting a residential use, street or public park (Zoning Ordinance, Article IV, Section 5, C. 1.b., 1b.i).</i>	<input type="checkbox"/>	n/a
j. Stormwater mitigation measures for the 2, 10, 25, & 100-year design storm. Provide a stamped Stormwater Checklist & Calculations. <i>All projects shall comply with Massachusetts Stormwater Standards, as applicable to project scale.</i>	<input type="checkbox"/>	5
k. For new residential uses in BO, BL, BG-2 and BG-3 Zoning Districts, 10% of lot area has been provided for recreation (Zoning Ordinance Article IV, Section 2, Table 4.2, footnote 3).	<input type="checkbox"/>	6

14. REVIEW STANDARDS

The following standards shall be used by the Planning Board in reviewing all applications for site plan review. These standards are intended to provide a frame of reference for the applicant in development of applications. These standards shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention or innovation. Applicants are encouraged to evaluate the extent to which the site plan, its immediate and general locus and the City more generally can tolerate the development being proposed and adjust their proposals accordingly.

Applicants should additionally provide a narrative “project impact statement” summarizing how the proposed project has been designed with the following criteria in mind by evaluating their proposal on the basis of the following 16 review standards, as outlined in the Zoning Ordinance per Article V, Section 5, B.

Provide the following information about the proposed project in relation to the review standards. If you are not providing one of these features please check “none” next to the item.

1. Adequacy and arrangement of pedestrian traffic access and circulation, walkway structures, control of intersections with vehicular traffic and overall pedestrian convenience.

Feature	None	Page/ sheet #
a. Pedestrian pathways internal to the site, with dimensions of path widths	<input type="checkbox"/>	4
b. Pedestrian pathways connecting to sidewalks or nearby amenities	<input type="checkbox"/>	4
c. Doors/egress to all existing and proposed buildings	<input type="checkbox"/>	4
d. Pedestrian paving and surface treatment details	<input type="checkbox"/>	7
e. Safe, ADA accessible pedestrian crossings at driveways and intersections	<input type="checkbox"/>	4&5

2. Adequacy and arrangement of vehicular traffic access and circulation including intersections, road widths, pavement surfaces, dividers and traffic controls.

Feature	None	Page/ sheet #
a. Driveway layout & materials	<input type="checkbox"/>	4&8
b. Dimensions of all drives and curb cut widths, minimizing the number and width of curb-cuts (see Note 5 to Table 4.4)	<input type="checkbox"/>	4
c. Access control and directional signage (e.g. gates, pavement markings, etc.)	<input checked="" type="checkbox"/>	
d. Pavement and curb details, including level sidewalks at driveways	<input type="checkbox"/>	8
e. Permeable or porous paving, and/ or cool pavements/ treatments	<input checked="" type="checkbox"/>	

3. Location, arrangement, appearance and sufficiency of off-street parking and loading.

Feature	None	Page/ sheet #
a. Number of parking spaces provided (9 x 18)	<input type="checkbox"/>	1&4
b. Number of compact parking spaces (8 x16)	<input type="checkbox"/>	1&4
c. ADA parking spaces	<input type="checkbox"/>	1&4
d. Parking aisle width (24 feet for 90° parking; see policy for angled spaces)	<input type="checkbox"/>	4
e. Parking is outside front & exterior side yard/setback (except residential drives)	<input type="checkbox"/>	4
f. Loading spaces or docks (see Table 4.5 and related notes)	<input checked="" type="checkbox"/>	
g. Screen planting between parking and edge of property or pedestrian paths	<input type="checkbox"/>	6
h. Number of electric vehicle charging stations or “ready” (conduit run) spaces	<input type="checkbox"/>	4
i. Bicycle parking (is it covered, or provided inside the building? Circle: YES NO)	<input type="checkbox"/>	4

4. Location, arrangement, size, design and general site compatibility of buildings, lighting and signs.

Feature	None	Page/ sheet #
a. Building entrance fronting on the sidewalk	<input type="checkbox"/>	4
b. Front façade with features to add visual interest and activate street (e.g., window placement, variation of materials, reduction in massing, etc.)	<input type="checkbox"/>	
c. Green roof, blue roof, rooftop solar, or use of high-albedo roof treatments	<input type="checkbox"/>	
d. Light levels appropriate for safety (1 foot candle) where pedestrians and vehicles will meet	<input type="checkbox"/>	
e. Parking and circulation directional signage	<input checked="" type="checkbox"/>	
f. Signage facing the street	<input type="checkbox"/>	

5. Adequacy of stormwater and drainage facilities.

Feature	None	Page/ sheet #
a. Flood Zones, wetlands, watercourses, and water quality and wellhead protection areas	<input checked="" type="checkbox"/>	
b. Bioswale or other open stormwater infiltration area planted with native vegetation (rain garden, etc.)	<input checked="" type="checkbox"/>	
c. Infiltration of clean runoff to maintain groundwater supply	<input type="checkbox"/>	5
d. Overflow or other connection to City stormwater infrastructure***	<input type="checkbox"/>	5

***Contact DWP&P to determine any applicable sewer connection or use change fees.

6. Adequacy of water supply and sewerage disposal facilities.

Feature	None	Page/ sheet #
a. Connections to or extensions of city sanitary sewer and water utilities. <i>Contact DWP&P to determine any applicable sewer connection or use change fees.</i>	<input type="checkbox"/>	5
b. Connections to or extensions of city storm drainage infrastructure	<input type="checkbox"/>	5
c. Footing or foundation drainage for a proposed structure or wall	<input type="checkbox"/>	5

7. Adequacy, type and arrangement of trees, shrubs and other landscaping elements in accordance with the Landscaping Design Standards set forth in Article V, Section-5(C).

Feature	None	Page/ sheet #
a. Walls, including height (show top & bottom elevations at highest and all intersecting points, minimize height whenever possible), materials, and related drainage.	<input type="checkbox"/>	4&5
b. Engineered slopes (rip-rap is not recommended)	<input type="checkbox"/>	3&9
c. Planted buffers between parking facilities and adjacent properties or roads	<input type="checkbox"/>	6
d. Proposed plantings and areas to be seeded (number, species or mix, size)	<input type="checkbox"/>	6
e. Fencing, including information on material, height, and style (including gates)	<input type="checkbox"/>	4
f. Planted buffers along rear and side yard setbacks	<input type="checkbox"/>	6

8. In the case of an apartment complex or other multiple dwelling, the adequacy of useable common property or open space. Note: for residential uses in Business Districts see Article IV, Section 2, Table 4.2, footnote 3.

Feature	None	Page/ sheet #
a. Outdoor seating (i.e. benches, seat walls, picnic tables, etc.)	<input type="checkbox"/>	6
b. Recreation or play area (Is it designed for children/ families? Circle: YES NO)	<input type="checkbox"/>	6
c. Raised beds for a community garden or other urban agriculture provisions	<input checked="" type="checkbox"/>	
d. Paved pedestrian plaza area (includes patios) or deck	<input checked="" type="checkbox"/>	
e. Interior common space and amenities or balconies	<input type="checkbox"/>	

9. Protection of adjacent or neighboring properties against noise, glare, unsightliness or other objectionable features.

	Feature	None/	Page/ sheet #
a.	Plan locating all existing (to remain) & proposed light fixtures	<input checked="" type="checkbox"/>	
b.	Details of all proposed light fixtures: showing max temperature of 4,000K, dark-sky compliant, and with shielding to prevent light spillover	<input type="checkbox"/>	to be provided
c.	Photometric plan for parking lots with ≥ 12 new spaces	<input type="checkbox"/>	to be provided
d.	Opaque fencing or evergreen planting to screen trash or utility areas (including siting and screening of roof-top equipment, as applicable)	<input type="checkbox"/>	4&8
e.	Sound attenuation at loading, utility, and other noise generating areas with particular attention to sensitive neighbors	<input checked="" type="checkbox"/>	
f.	Limit of clearing, with mature vegetation protected where possible	<input type="checkbox"/>	6

10. Adequacy of fire lanes and other emergency zones and the provisions of fire hydrants.

	Feature	None	Page/ sheet #
a.	Diagram of fire truck access path (applicant should coordinate turning radius and access requirements with the Fire Department)	<input type="checkbox"/>	7
b.	Clearly marked fire or emergency loading areas	<input checked="" type="checkbox"/>	
c.	Fire hydrants and/or FDC connections	<input type="checkbox"/>	7

11. Special attention to the adequacy of structures, roadways and landscaping in areas with susceptibility to ponding, flooding and/or erosion.

	Feature	None	Page/ sheet #
a.	All buildings and utilities are located at or above the 500-year flood elevation	<input type="checkbox"/>	5
b.	Drainage infrastructure is designed to reduce ponding and slow runoff	<input type="checkbox"/>	5

12. Adequacy of erosion and sedimentation control measures to be utilized during and after construction.

	Feature	None	Page/ sheet #
a.	Erosion control plan narrative sequence (including perimeter controls and temporary stormwater management) for construction activities	<input type="checkbox"/>	3
b.	Plans for securing of any stockpiles on site during construction	<input type="checkbox"/>	3
c.	Temporary and permanent slope stabilization/designs for slopes greater than 3H:1V; (note: loam and seed is not sufficient)	<input type="checkbox"/>	3
d.	Slopes $\geq 2.5H:1V$ are engineered (note: loam and seed is not sufficient)	<input type="checkbox"/>	3
e.	Temporary sediment basins and other means of stormwater velocity attenuation or conveyance proposed during construction	<input type="checkbox"/>	3

13. Conformance and compatibility of the site plan design with structures listed in the most recent State Register of Historic Places.

	Feature	None	Page/ sheet #
a.	Protection of existing historic architectural or site features	<input checked="" type="checkbox"/>	
b.	Historically-sensitive façade, window, and roof treatments	<input checked="" type="checkbox"/>	

14. Adequacy and impact on the regional transportation system.

	Feature	None	Page/ sheet #
a.	Bus service within ¼ mile (indicate number of stops and route numbers)	<input type="checkbox"/>	
b.	Improvements to neighborhood walk/bike-ability or public transportation	<input type="checkbox"/>	

15. Adequacy of plans and protective measures to ensure minimal risk of contamination to surface or ground water.

	Feature	None	Page/ sheet #
a.	Snow storage locations (outside of basins and required parking/landscape buffer)	<input type="checkbox"/>	4
b.	Water quality structures to remove total suspended solids (TSS) from runoff	<input type="checkbox"/>	5
c.	Water quality structures to remove pollutants from runoff (i.e. oil/ water separators, etc.)	<input checked="" type="checkbox"/>	
d.	Plan for mitigation of any contaminated soils (include RTN, RAM Plan, AUL)	<input checked="" type="checkbox"/>	
e.	Locations of material to cut or filled (including the location of the source material if fill)	<input checked="" type="checkbox"/>	
f.	Dewatering plans	<input checked="" type="checkbox"/>	

16. Conformance of the site design with the purposes and intent of the Worcester Zoning Ordinance.

	Feature	None	Page/ sheet #
a.	Minimum yard setbacks (for front, side, and rear)	<input type="checkbox"/>	4
b.	Property and right-of-way boundary lines (include the status of ways)	<input type="checkbox"/>	2
c.	Easements for any utilities, public access, or adjacent properties	<input type="checkbox"/>	2
d.	Regularity factor for all lots	<input type="checkbox"/>	2
e.	% paving within the front-yard for residential uses	<input checked="" type="checkbox"/>	
f.	Height of all structures in feet and stories	<input type="checkbox"/>	4

CITY OF WORCESTER PLANNING BOARD



SPECIAL PERMIT APPLICATION FOR COMMERCIAL CORRIDOR OVERLAY DISTRICT

Division of Planning & Regulatory Services
City Hall, 455 Main Street, Room 404, Worcester, MA 01608
Office 508-799-1400 Ext. 31440 – Fax 508-799-1406

1. Street Address of the Property in this Application: 342 West Boylston Street

Assessor's Map, Block & Lot: 12-007-00009

2. Name of Applicant: 342 West Boylston LLC

3. Address of Applicant: 40 Jackson Street, Suite 1000, Worcester, MA 01608

4. Telephone: c/o Mark A. Borenstein, (508) 688-9136

5. E-mail: c/o Mark A. Borenstein, mborenstein@princelobel.com

6. Interest in Property:

- A. Owner B. Developer C. Other

7. Owner of Record, if different from Applicant: N/A

8. Address of Owner of Record: _____

9. *If the applicant is different from the owner, fill out the following:*

AUTHORIZATION: I, N/A, Owner of Record of the property listed with the Assessing Division of the City of Worcester, Massachusetts as Map _____ Block _____ Lot(s) _____, do hereby authorize _____ to file this application with the Division of Planning & Regulatory Services of the City of Worcester on this the _____ day of _____, 20____.

On this _____ day of _____, 20____, before me personally appeared N/A, to me known to be the person described in and who executed the foregoing instrument and acknowledged that he/she executed the same as his/her free act and deed.

NOTARY PUBLIC

My Commission Expires: _____

(If there is more than one owner of the land to be considered in this application, a notarized authorization is required for each owner.)

10. What CCOD Special Permit/s Are You Applying For? (check all that apply):

- CCOD Special Permit for Motor Vehicle Related Uses:** To allow certain automobile-related uses within the CCOD under Article IX Section 5.A.1.a
- CCOD Special Permit for Residential Conversion:** To allow conversion of existing buildings to multi-family residential uses, mixed-use buildings with a residential component, or a loft, creative entrepreneurs use where not allowed as of right in the underlying zoning district under Article IX Section 5.B.
- CCOD Special Permit for Drive-Through:** To allow Drive-Through Facilities and Services under Article IX Section 5.C.
- CCOD Special Permit for Building Setback:** For relief from the Building Front Yard Setback Maximum Dimensional Requirements under Article IX Section 6.A.6.
- CCOD Special Permit to Reduce Parking Requirements for Conversion or Reuse of Existing Buildings:** To reduce minimum parking requirements for non-residential change of use or building reuse under Article IX Section 7.B.3.c.ii.
- CCOD Special Permit to Reduce Parking Requirements for Mixed Use:** To reduce minimum parking requirements through credit for Mixed Use Development under Article IX Section 7.C.2.b.
- CCOD Special Permit to Exceed Parking Maximums:** To exceed the maximum parking limits specified in the CCOD under Article IX Section 7.E.
- CCOD Special Permit for Modification of Parking Dimensional Requirements:** For relief from parking dimensional requirements under Article IX Section 7.E.

11. Zoning Classification(s):

Business, Limited (BL-1.0) and Commercial Corridors Overlay District - Elsewhere (CCOD-E)

12. Present Use:

The subject property is an approximately 20,09 square foot lot occupied by a partially constructed 1-story fast food restaurant building, 2 curbs-cuts along West Boylston Street, 1 partially open curbs-cut along Andover Street, an unstriped parking area, retaining wall and other site improvements.

13. Describe Proposed Use/General Description of Proposed Development of Property (include information about buildings (area, etc.) to be retained and proposed uses (in SF) of all buildings on site). Attach additional sheets if necessary:

The Applicant is proposing to demolish the existing structure and construct a new 4-story, approximately 15,977 square foot, multifamily high-rise building with 22 residential units, 16 surface parking spaces and other site improvements.

14. Land Use Approvals / Relief Previously Granted by other land use Boards:

Variations for Height and Parking (ZB-2025-006)

15. SPECIAL PERMIT FINDINGS OF FACT

The Board will make findings based on the criteria below to determine whether or not to approve the Special Permit. The Board may choose to adopt the findings of fact provided by the applicant or modify them based on public or staff comments, or Board discussion as needed.

In the spaces below, explain how the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations per Article II, Section 6(A)(2) of the Zoning Ordinance. (Attach additional supporting documentation as necessary.)

- a. Social, economic or community needs that are served by the proposal:

Please see attached Statement in Support.

- b. Traffic flow and safety, including access, parking and loading areas:

Please see attached Statement in Support.

- c. Adequacy of utilities and other public services:

Please see attached Statement in Support.

- d. Neighborhood character and social structure:

Please see attached Statement in Support.

- e. Impacts on the natural environment:

Please see attached Statement in Support.

- f. Potential fiscal impact, including city services needed, tax base, and employment:

Please see attached Statement in Support.

16. SUPPLEMENTARY SPECIAL PERMIT FINDINGS OF FACT

Complete the requested additional information for the Special Permit(s) requested. Attach additional documentation as necessary. Only complete the sections which pertain to the Special Permit(s) you are applying for.

a. CCOD Special Permit for Motor Vehicle Related Uses:

If applying for a Special Permit to allow certain automobile-related uses within the CCOD under Article IX Section 5.A.1.a, complete the following:

- i. In the space below explain whether an existing building retains physical features, such as repair bays and/or specialized built-in equipment, and whether these characteristics are unique and central to the proposed use:

N/A

b. CCOD Special Permit for Residential Conversion

Not applicable. No supplemental findings of facts are required.

c. CCOD Special Permit for Drive-Through

If applying for a Special Permit to allow Drive-Through Facilities and Services under Article IX Section 5.C, complete the following:

- i. Describe the proximity to residential uses and potential impacts to residents resulting from proposed drive-through design and operating characteristics.

N/A

- ii. Explain whether the proposed site layout will have a detrimental effect on the street facade, require excessive driveway curb cuts, or adversely impact the pedestrian environment.

N/A

- iii. Describe screening of the drive-through service and lanes from the fronting street.

N/A

d. CCOD Special Permit for Building Setback

If applying for relief from the building front yard setback maximum dimensional requirements under Article IX Section 6.A.6, complete the following:

- i. Describe how the proposed project has unique architectural or functional aspects that warrant greater setback.

The setback is required to provide safe access sight lines for the reconfigured driveway entrance. Landscaping and other site improvements have been modified to ensure visibility.

- ii. Explain how the proposed setback will not detract from the pedestrian environment or character of the neighborhood.

The New Building will have a wide MAAB and ADA walkway within the front yard setback which provide MAAB and ADA accessible access. The front of the New Building will ensure an attractive streetscape through variations in textures and materials. Landscaping will add additional visual interest to the front yard.

- iii. Explain how the front yard setback will be used for appropriate landscaping, pedestrian facilities or open spaces, and not for parking, loading or storage.

The front yard setback will be landscaped and have outdoor seating areas which will activate the area. There will also be a MAAB and ADA accessible walkway that will provide a connection to other recreational areas and the parking areas to the south and east of the New Building.

e. CCOD Special Permit to Reduce Parking Requirements for Conversion or Reuse of Existing Buildings

If applying to reduce minimum parking requirements for non-residential change of use or building reuse under Article IX Section 7.B.3.c.ii., complete the following:

- i. Explain how the site has sufficient access in the form of public on-street or off-street parking, transit service, or proximity to complementary uses.

N/A

- ii. Explain how physical constraints on the property would not reasonably allow for provision of required parking.

N/A

f. CCOD Special Permit to Reduce Parking Requirements for Mixed Use:

To reduce minimum parking requirements through credit for Mixed Use Development under Article IX Section 7.C.2.b, please complete the following:

- i. Explain how the site has sufficient access in the form of public on-street or off-street parking, transit service, or proximity to complementary uses.

N/A

**g. CCOD Special Permit to Exceed Parking Maximums OR
CCOD Special Permit for Modification of Parking Dimensional Requirements**

If applying to exceed the maximum parking limits specified in the CCOD under Article IX Section 7.E, or for relief from parking dimensional requirements under Article IX Section 7.E, complete the following:

- i. Explain whether the resulting development with the modifications proposed is substantially consistent with the purposes and intent of the Commercial Corridors Overlay District.
The Project provides the requisite number of parking spaces to meet peak demands. One of the purposes and intent of the CCOD is to avoid over-dedication of land to surface parking. The Project will promote mulitmodal transportation in order to achieve the goals of the CCOD.
- ii. Explain the relationship of the modification to other planning considerations for the immediate area and within the Commercial Corridors Overlay District as a whole, including the plans, programs, policies and public investments of the various departments and agencies of the City of Worcester and the State of Massachusetts.
The Project will provide new homeownership opportunities which will include accessible and affordable units. These new housing types and the increase of density at the Property is consistent with the purposes and intent of the Worcester Now Next Plan. Furthermore, the implementation of the transportation management plan and promotion of the multimodal transportation is consistent with the Vision Zero Safety Action Plan and the City's Complete Streets Prioritization Plan.
- iii. Explain whether the pedestrian environment provided on site and its connection to, and interaction with, the public right of way(s) is designed using best practices within the site's context.
The pedestrian environment will be improved through the construction of the Project through the closure of existing curb-cuts and the construction of new sidewalk areas and walkways.
- iv. Explain the impact of the modifications on neighboring properties.
The proposed modifications will not negatively impact the neighboring properties because the Project will meet the peak demand for parking, loading will be addressed programmatically on site and certain landscape areas will not be noticeable given the differences in grade at the Property.

**CERTIFICATION OF COMPLIANCE WITH
WORCESTER REVISED ORDINANCES GOVERNING REVENUE COLLECTION**

***Note: This form must be completed and signed by both the applicant(s) and owner(s) of the property certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a fully completed certification form with the application shall result in the application being deemed incomplete and ineligible for further processing by the Zoning Board of Appeals.**

Pursuant to Massachusetts General Law, Chapter 40, Section 57 and the City of Worcester General Revised Ordinance, Chapter 11, Section 26-28, the undersigned applicant and all parties having an ownership interest therein, hereby certify, under the pains and penalties of perjury, that the applicant(s) and owner(s) have complied with the laws of the Commonwealth of Massachusetts and the City of Worcester regarding payment of all local taxes, fees, assessments, betterments or any other municipal charges of any kind.

(Give first and last names in full. In case of a corporation give names of President, Treasurer and Manager; and in case of firms, give names of individual members.)

(1) If a Proprietorship or Single Owner of residential property:

Name of Owner _____

Business Address _____

Home Address _____

Business Phone _____ Home Phone _____

Signature of owner (certifying payment of all municipal charges):

_____ Date: _____

(2) If a Partnership or Multiple Owners of residential property:

Full names and address of all partners

Printed Names

Addresses

Business Address _____

Business Phone _____

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

_____ Date: _____
_____ Date: _____
_____ Date: _____
_____ Date: _____

(3) If a Corporation:

Full Legal Name 342 West Boylston LLC

State of Incorporation Massachusetts

Principal Places of Business 40 Jackson Street, Suite 1000, Worcester, MA 01608

Place of Business in Massachusetts 40 Jackson Street, Suite 1000, Worcester, MA 01608

Printed Names of Officers of Corporation:	Title
_____	_____
_____	_____
_____	_____

Owners of Corporation:		
Printed Names	Address	% of stock
_____	_____	_____
_____	_____	_____
_____	_____	_____

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

<u>342 West Boylston LLC</u>	Date: _____
By: _____	Date: <u>01/14/2026 PST</u>
<small>Signer ID: XLVSWZNY14</small> <u>Steven M. Rothschild, Manager</u>	Date: _____
_____	Date: _____

(4) If a Trust:

Name of Trust _____

Business Address _____

Printed Names of Trustees:	Address
_____	_____
_____	_____
_____	_____

Printed Names of Beneficiaries:	Address
_____	_____
_____	_____
_____	_____

Signature of trustees of property (certifying payment of all municipal charges -attach multiple pages if necessary)

_____	Date: _____

(5) Signature of Applicant (if different from owner, certifying payment of all municipal charges):

Printed Name of Applicant: N/A

Signature of Applicant: _____ Date: _____

**Project Impact Statement and Statement in Support of 342 West Boylston LLC
Application to City of Worcester Planning Board for Definitive Site Plan Approval and
CCOD Special Permit for a Multifamily Development at
342 West Boylston Street, Worcester, Massachusetts**

I. Background and Project Scope.

The property known and numbered as 342 West Boylston Street, Worcester, Massachusetts (the “Property”) consists of an approximately 20,098 square foot lot occupied by a partially constructed 1-story fast food restaurant building, 2 curb-cuts along West Boylston Street, 1 partially open curb-cut along Andover Street, an unstriped surface parking area, retaining wall and other site improvements. The Property is a corner lot bound by West Boylston Street to the west, Andover Street to the south, a mixed-use building to the north and a three-family building to the east. The surrounding area consists of a mix of commercial, industrial and residential uses, including a large condominium building located at 25 Andover Street.

The Property is located entirely within the Business, Limited (“BL-1.0”) zoning district and the Commercial Corridors Overlay District-Elsewhere Subarea (“CCOD-E”). The Worcester City Council unanimously ordained a zoning amendment on July 16, 2024 to establish the CCOD-E at the Property to facilitate the redevelopment of the Property for a multifamily use.

The owner of the Property, 342 West Boylston LLC (the “Applicant”), is seeking definitive site plan approval and a CCOD special permit in connection with the demolition of the existing structure and the development of a new 4-story, approximately 15,977 square foot, multifamily high-rise building (the “New Building”) with 24 residential units (consisting of 10 Group 2 accessible units and 14 studio units), 16 surface parking spaces (including 1 van accessible space), interior and covered exterior bicycle storage, outdoor recreational space, walkways, a retaining wall and other site improvements at the Property (collectively, the “Project”). The residential units are intended to be condominium units which will provide home ownership opportunities, and all 24 residential units will be affordable to households with incomes at 70% AMI or less, which exceeds the minimum affordability requirements set forth in Article VII - Inclusionary Zoning Ordinance.

II. Requirement for Definitive Site Plan Approval and CCOD Special Permit.

The development of 5 or more dwelling units and/or the alteration of slopes of 15% or greater require site plan review approval by the Worcester Planning Board (the “Board”) pursuant to Table 5.1 of Article V of the City of Worcester Zoning Ordinance (the “Zoning Ordinance”). Given that the Project will result in the construction of 24 dwelling units and will include the alteration of slopes of greater than 15%, the Project requires site plan review pursuant to Article V of the Zoning Ordinance.

The Applicant is seeking a CCOD special permit for: (i) a multifamily development use in the CCOD; (ii) relief from the minimum off-street parking, loading and landscaping requirements; and (iii) relief from the maximum front yard setback requirements.

Multi-family dwelling, high-rise uses, like proposed for the Project, are generally prohibited in the Property's underlying BL-1.0 zoning district pursuant to Article IV, Table 4.1 of the Zoning Ordinance. However, Article IX, Section 5.B of the Zoning Ordinance allows for multi-family dwelling uses in the CCOD by special permit. Therefore, the Project will require a CCOD special permit in accordance with Article IX, Section 5.B of the Zoning Ordinance for the proposed multi-family dwelling, high-rise use.

Article IX, Section 7.C.3 of the Zoning Ordinance provides that the Board shall be the special permit granting authority for parking and loading relief under Article IV, Section 7.A.2 of the Zoning Ordinance when such relief is petitioned for concurrent with site plan review. Article IX, Section 7, Table 9.1 requires 1 resident parking space per residential unit and 1 guest space per 10 residential units in the CCOD-E. The Project will have 24 residential units which would generally require 27 parking spaces (24 resident spaces and 3 guest spaces) in the CCOD-E. The Project will result in the construction of 16 surface parking spaces. The Applicant obtained a variance from the Zoning Board of Appeals to provide 9 spaces of relief from the minimum off-street parking requirements, resulting in a deficiency of 11 parking spaces. The Applicant intends to seek an administrative reduction of 1 parking space based on the provision of at least 2 bicycle parking spaces as permitted in the CCOD-E in accordance with Article IX, Section 7.C.1. The Project will therefore require 1 parking space of relief by CCOD special permit from the Board pursuant to Article IV, Section 7.A.2 and Article IX, Section 7.C.3 of the Zoning Ordinance.

Article IV, Section 7.A.6 and Table 4.5 of the Zoning Ordinance require 1 loading space for multi-family dwelling, high-rise uses with gross floor areas of 10,001 square feet to 50,000 square feet. The New Building will have a gross floor area of approximately 15,977 square feet. The Project is not proposing any dedicated loading area that complies with the requirements of Article IV, Table 4.5 of the Zoning Ordinance. Article IV, Section 7.A.2 of the Zoning Ordinance allows for relief from the minimum loading requirements by special permit, which may be granted by the Board when sought in connection with site plan review in accordance with Article IX, Section 7.C.3. Therefore, the Project will require relief from the minimum loading requirements by CCOD special permit in accordance with Article IV, Section 7.A.2 and Article IX, Section 7.C.3 of the Zoning Ordinance.

Article IX, Section 6.F of the Zoning Ordinance requires landscaping buffer areas with a minimum of 3 feet in width with a minimum of 5 feet by 5 feet tree parking areas for required tree plantings. The Project's proposed surface parking lot maintains a 3-foot buffer area. However, the certain portions of the buffer area are not landscaped and cannot accommodate 5 feet by 5 feet tree planting areas. Article IV, Section 7.A.2 of the Zoning Ordinance allows for

relief from the minimum parking landscaping requirements by special permit, which may be granted by the Board when sought in connection with site plan review in accordance with Article IX, Section 7.C.3 of the Zoning Ordinance. Therefore, the Project will require relief from the minimum landscaping requirements by CCOD special permit in accordance with Article IV, Section 7.A.2 and Article IX, Section 7.C.3 of the Zoning Ordinance.

Article IX, Section 6.A.1.a of the Zoning Ordinance requires a maximum 15-foot front yard setback for buildings with ground floor residences. Article IX, Section 6.A.6 of the Zoning Ordinance provides that the Board may authorize a greater front yard setback in the CCOD by special permit. The New Building will have ground floor residences and will exceed the maximum front yard setback of 15 feet. Therefore, the Project will require a special permit from the Board to exceed the maximum front yard setback requirement in accordance with Article IX, Section 6.A.6 of the Zoning Ordinance.

III. Reasons for Approval of Definitive Site Plan.

The Project satisfies the site plan review criteria as set forth in Article V, Section 5.B for the following reasons:

- 1. Adequacy and arrangement of vehicular traffic access and circulation including intersections, road widths, pavement surfaces, dividers and traffic controls; adequacy and arrangement of pedestrian traffic access and circulation, walkway structures, control of intersections with vehicular traffic and overall pedestrian convenience; location, arrangement, appearance and sufficiency of off-street parking and loading.**

The Project will provide a safe, adequate and efficient layout and design for vehicular and pedestrian traffic along West Boylston Street and Andover Street. The proposed driveway, parking areas, drive aisles, curb cuts and building entrances will not cause any nuisance or hazard to vehicles or pedestrians within or off Property.

The main entrance to the New Building will be located on West Boylston Street which will be accessed by a new MAAB and ADA accessible walkway adjacent to existing sidewalk along West Boylston Street. The Project will also include the construction of a new MAAB and ADA accessible concrete walkway along the rear and southerly side of the New Building which will provide safe pedestrian connections between the proposed parking area, the rear entrance of the New Building, outdoor amenity areas and West Boylston Street. The Project will result in the elimination of the existing southerly curb-cut on West Boylston Street and the existing curb-cut on Andover Street and the construction of new sidewalk areas which will improve pedestrian safety along West Boylston Street and Andover Street. The northerly curb-cut will be reconfigured with the sidewalk continuing at grade through the curb-cut to provide a safe crossing for pedestrians.

According to the Traffic & Parking Assessment Report prepared by Stonefield Engineering dated December 3, 2024 (the “Traffic Report”), traffic generated and patterns of access and egress will not cause congestion, hazard or a substantial change to the neighborhood character, and the Project will not result in a substantial increase in trip generation levels to and from the Property. According to the Traffic Report, the Project will result in approximately 9 to 10 total trips during peak weekday morning and evening hours, respectively, and a total of 109 trips daily, which is considered an insignificant traffic impact to the local roadway network based on the City of Worcester’s guidelines and the standards published by the Institute of Traffic Engineers (“ITE”). Vehicular access and egress will be provided via the northerly reconfigured driveway which will provide the maximum achievable separation from the adjacent intersection and provide safe sight lines to support full-movement in accordance with applicable standards, as more particularly described in the Traffic Report. The proposed drive aisles will provide sufficient widths and turning radii necessary to provide for safe and efficient travel for passenger vehicles. Two-way vehicular circulation will be facilitated on site via the 22-foot wide drive aisles in compliance with the Zoning Ordinance.

As provided above, the Project will consist of approximately 24 residential units. Under Article IX, Table 9.1, the Project would generally be required to provide 27 resident parking spaces (1 per dwelling unit) and 3 visitor spaces (1 per 10 units). The Applicant is proposing 16 parking spaces (inclusive of 1 van accessible space). The Applicant obtained a variance from the Zoning Board of Appeals to provide 9 spaces of relief from the minimum off-street parking requirements, resulting in a deficiency of 11 parking spaces. The Applicant intends to seek an administrative reduction of 1 parking space based on the provision of at least 2 bicycle parking spaces as permitted in the CCOD-E in accordance with Article IX, Section 7.C.1. Concurrently with the site plan approval application, the Applicant has applied to the Board for 1 parking space of relief by CCOD special permit pursuant to Article IV, Section 7.A.2 and Article IX, Section 7.C.3 of the Zoning Ordinance. According to the Traffic Report, the ITE Parking Generation Manual, 6th Edition, recommends 0.68 vehicles per bedroom for multifamily housing and 0.55 vehicles per bedroom for affordable housing to meet peak demands. By applying these standards to the Project’s proposed 24 studios, the peak demand for the Project would be 13 to 16 parking spaces. Therefore, the Project’s proposed 16 parking spaces meets the expected peak demand without taking into consideration reductions for the affordable units in the development. Loading for the Project will be accommodated programmatically by the Applicant in coordination with the residents. Given that the Project will have ownership units, there is not anticipated to be the need for the level of loading experienced in rental residential developments.

Furthermore, the Project will have interior and exterior bicycle parking and the Property is located in close proximity to multiple WRTA bus stops. The Applicant will be implementing a transportation management plan which will encourage multimodal transportation and promote less vehicle dependency at the Property.

2. Location, arrangement, size, design and general site compatibility of buildings, lighting and signs; protection of adjacent or neighboring properties against noise, glare, unsightliness or other objectionable features.

The Project will improve the aesthetic appeal, design quality and economic vitality of the neighborhood. The Property is currently blighted with a partially constructed restaurant building which has not been used in over 14 years since the former D'Angelo restaurant closed.

The kind, size, height and nature of the New Building will be consistent with other newly constructed 4-story multi-family buildings in the City and will be functionally and aesthetically compatible with the surrounding buildings. The New Building will be situated at a lower grade than the adjacent properties and therefore the height of the New Building will not be significantly higher than adjacent buildings to the north and east of the Property. The property directly to the east, 9 Andover Street, is approximately 16 feet higher than the base grade of the Property, and is occupied by a three-family building which sits prominently above the Property. The property directly to the north, 352 West Boylston Street, is occupied by a 4-story mixed-use building which is partially located approximately 10 feet above the Property. These multi-storied buildings and elevated grades will reduce the perceived height and massing of the New Building. Furthermore, the New Building will be set back approximately 50.8 feet from 9 Andover Street and approximately 48.1 feet from 352 West Boylston Street which will provide ample space between the existing buildings and the New Building, which will ensure the Project fits cohesively within the area. In addition, the Applicant is proposing a white roof to reflect sunlight and reduce the heat island effect at the Property. All signage will comply the applicable Zoning Ordinance requirements.

The Project will not result in any increase in noise levels that would be noticeable at any abutting properties. The proposed outdoor lighting, which includes wall-mounted lighting, will be adequate for safe and secure access to and from the New Building. The proposed lighting will be shielded fixtures and appropriately arranged with directional shields so as to minimize light from shining and/or spilling onto abutting properties or streets and will not have a deleterious effect on neighboring properties.

The proposed trash and recycling area will be located along the rear portion of the Property and will be screened from view.

3. Adequacy of stormwater and drainage facilities; adequacy of water supply and sewerage disposal facilities; adequacy of plans and protective measures to ensure minimal risk of contamination to surface or ground water.

Structural and non-structural Best Management Practices (“BMPs”) for stormwater are incorporated in the design of the Project, and will be adequate to manage stormwater runoff generated by the Project and to satisfy the requirements of the Zoning Ordinance, the Worcester Department of Public Works & Parks and Massachusetts Stormwater standards. The BMPs will provide stormwater peak mitigation, quality treatment and conveyance. The BMPs include deep sump hooded catch basins, drainage basins, and proprietary water quality units. The stormwater

management system's BMPs will remove 80% of annual post-construction load of Total Suspended Solids (TSS).

New water and sewer connections, and electric service facilities and infrastructure will be required for the New Building. The Applicant is in the process of confirming with the City of Worcester Department of Public Works & Parks and the applicable utility companies that sufficient utility lines and infrastructure are available to service the Project in West Boylston Street.

4. Adequacy, type and arrangement of trees, shrubs and other landscaping elements in accordance with the Landscaping Design Standards set forth in Article V, Section 5.C.

The Property is primarily impervious, occupied by an existing surface parking area and partially constructed building. The Project will result in the installation of new grass areas to the west and north of the New Building and landscaping including deciduous and evergreen species of trees, shrubs, groundcovers and perennials which will improve the natural condition of the property. All of the trees will have a minimum caliper of 3-3.5". All new trees will be Asian Long-Horned Beetle and Emerald Ash Borer resistant. A new retaining wall will be constructed along the rear portion of the Property in conformance with the Zoning Ordinance.

5. Adequacy of useable common property or open space.

The Project will provide an approximately 2,051 square foot exterior recreation space for residents which will include covered and uncovered seating areas and other amenities such as grilling stations. The New Building will also have an approximately 370 square foot interior amenity space/common area for residents on the second floor. Collectively, these recreational areas exceed the minimum recreational area requirements for residential uses set forth in the Zoning Ordinance.

6. Adequacy of fire lanes and other emergency zones and the provisions of fire hydrants.

There is no special emergency zone noted on the plans. However, the configuration of the New Building will facilitate efficient site circulation for fire trucks and other emergency vehicles. Emergency vehicles will also be able to access the New Building from West Boylston Street and Andover Street. There are existing fire hydrants along West Boylston Street and Andover Street proximate to the Property.

7. Special attention to the adequacy of structures, roadways and landscaping in areas with susceptibility to ponding, flooding and/or erosion; adequacy of erosion and sedimentation control measures to be utilized during and after construction.

The Project's site design and proposed drainage will reduce any susceptibility of ponding, flooding and erosion. The Property is located outside of the Floodplain District and ecologically sensitive areas, and there are no wetland resource areas on or adjacent thereto. During construction, appropriate measures will be taken to control erosion, sedimentation and pollution. The Property will remain stabilized upon completion of the construction phase.

8. Conformance of site design with the purposes and intent of the Worcester Zoning Ordinance.

The Project is in conformance with the purposes and intent of the Zoning Ordinance, as it will create housing of the type, size and cost suitable for meeting the current and future needs of the City including the provision of affordable and accessible units. Moreover, the Project will encourage the most appropriate use of the land in a manner that protects architectural, scenic and aesthetic qualities of the community and protects against the uses of land which are incompatible with nearby uses, undue intensity of noise and danger and congestion in travel and transportation.

The Project's thoughtful site planning and building design will satisfy the purposes and intent of the CCOD by creating a compact development with a compatible land use at an urban density, reusing and redeveloping an existing lot, contributing to a high-quality, pedestrian-scale environment by providing an aesthetically pleasing pedestrian environment that is accessible, compact and inviting, and avoiding over-dedication of land to surface parking. While the New Building will not have commercial ground floor uses, the Project will comply with the CCOD design guidelines set forth in Article IX, Section 6.B by ensuring that the New Building sits adjacent to the abutting streets and sidewalks, has an accessible primary entrance along West Boylston Street, presents an active façade with windows, changes in materials and modulation of the façade and front yard landscaping.

9. Conformance and compatibility of the site plan design with structures listed in the most recent State Register of Historic Places.

The Project will enhance the existing aesthetics and character of the neighborhood, and the Property, including the New Building, will be compatible with other historic and non-historic structures in the neighborhood.

10. Adequacy and impact on the regional transportation system.

The Project will not materially impact the regional transportation system as there will not be a significant increase in traffic resulting from the Project and the neighborhood is transit-oriented (i.e., WRTA bus stops are located close to the Property). There exist many commercial establishments within walking distance from the Property. The installation of new accessible

walkways and bike storage areas will assist in promoting walkability and bikeability to and from the Property.

IV. Reasons for Approval of Special Permit.

The Project satisfies the following special permit criteria as set forth in Article II, Section 6.A.2 for the following reasons:¹

1. Social, economic or community needs that are served by the proposal.

The Project will convert a blighted, unoccupied property into much-needed and in-demand home ownership units to support the City's critical housing stock. In particular, the Project will include 10 Group 2 accessible units, and all the residential units will be affordable to households earning 70% AMI or less.

2. Traffic flow and safety, including access, parking and loading areas.

The Project will provide a safe, adequate and efficient layout and design for vehicular and pedestrian traffic along West Boylston Street and Andover Street. The proposed and reconfigured driveways, parking areas, drive aisles, curb cuts and building entrances will not cause any nuisance or hazard to vehicles or pedestrians within or off Property. Traffic generated and patterns of access and egress will not cause congestion, hazard or a substantial change to the neighborhood character, and the Project will not result in a substantial increase in trip generation levels to and from the Property.

The Project's will consist of approximately 24 residential units, which under Article IX, Table 9.1, would generally require to provide 27 resident parking spaces (1 per dwelling unit) and 3 visitor spaces (1 per 10 units). The Applicant is proposing 16 parking spaces (inclusive of 1 van accessible space). The Applicant obtained a variance from the Zoning Board of Appeals to provide 9 spaces of relief from the minimum off-street parking requirements, resulting in a deficiency of 11 parking spaces. The Applicant intends to seek an administrative reduction of 1 parking space based on the provision of at least 2 bicycle parking spaces as permitted in the CCOD-E in accordance with Article IX, Section 7.C.1. The Applicant is seeking 1 parking space of relief by CCOD special permit pursuant to Article IV, Section 7.A.2 and Article IX, Section 7.C.3 of the Zoning Ordinance. According to the Traffic Report, the ITE Parking Generation Manual, 6th Edition, recommends 0.68 vehicles per bedroom for multifamily housing and 0.55 vehicles per bedroom for affordable housing to ensure adequate parking for peak demands. By applying these standards to the Project's proposed 24 studios, the peak demand for the Project would be 13 to 16 parking spaces. Therefore, the Project's proposed 16 parking spaces will meet the expected peak demand without taking into consideration reductions for the affordable units in the development. Loading for the Project will be accommodated programmatically by the Applicant in coordination with the residents. Given that the Project will have ownership units, there is not anticipated to be the need for the level of loading experienced in rental residential developments.

¹ CCOD Special Permit Criteria is set forth on the CCOD Special Permit Application

Furthermore, the Project will have interior and exterior bicycle parking and the Property is located in close proximity to multiple WRTA bus stops. The Applicant will be implementing a transportation management plan which will encourage multimodal transportation and promote less vehicle dependency at the property.

3. Adequacy of utilities and other public services.

Structural and non-structural BMPs for stormwater are incorporated in the design of the Project, and will be adequate to manage stormwater runoff generated by the Project and to satisfy the requirements of the Zoning Ordinance, the Worcester Department of Public Works & Parks and Massachusetts Stormwater standards. The BMPs will provide stormwater peak mitigation, quality treatment and conveyance. The BMPs include deep sump hooded catch basins, drainage basins, and proprietary water quality units. The stormwater management system's BMPs will remove 80% of annual post-construction load of TSS.

New water and sewer connections, and electric service facilities and infrastructure will be required for the New Building. The Applicant is in the process of confirming with the City of Worcester Department of Public Works & Parks and the applicable utility companies that sufficient utility lines and infrastructure are available to service the Project in West Boylston Street.

4. Neighborhood character and social structure.

The Project will improve the aesthetic appeal, design quality and economic vitality of the neighborhood. The Property is currently blighted with a partially constructed restaurant building which has not been used in over 14 years since the former D'Angelo restaurant closed.

The kind, size, height and nature of the New Building will be consistent with other newly constructed 4-story multi-family buildings in the City and will be functionally and aesthetically compatible with the surrounding buildings. The New Building will be situated at a lower grade than the adjacent properties and therefore the height of the New Building will not be significantly higher than adjacent buildings to the north and east of the Property. The property directly to the east, 9 Andover Street, is approximately 16 feet higher than the base grade of the Property, and is occupied by a three-family building which sits prominently above the Property. The property directly to the north, 352 West Boylston Street, is occupied by a 4-story mixed-use building which is partially located approximately 10 feet above the Property. These multi-storied buildings and elevated grades will reduce the perceived height and massing of the New Building. Furthermore, the New Building will be set back approximately 50.8 feet from 9 Andover Street and approximately 48.1 feet from 352 West Boylston Street which will provide ample space between the existing buildings and the New Building, which will ensure the Project fits cohesively within the area.

The Project will not result in any increase in noise levels that would be noticeable at any abutting properties. The proposed outdoor lighting, which includes wall-mounted lighting, will be adequate for safe and secure access to and from the New Building. The proposed lighting will be shielded fixtures and appropriately arranged with directional shields so as to minimize light from shining and/or spilling onto abutting properties or streets and will not have a deleterious effect on neighboring properties.

The proposed trash and recycling area will be located along the rear portion of the Property and will be screened from view.

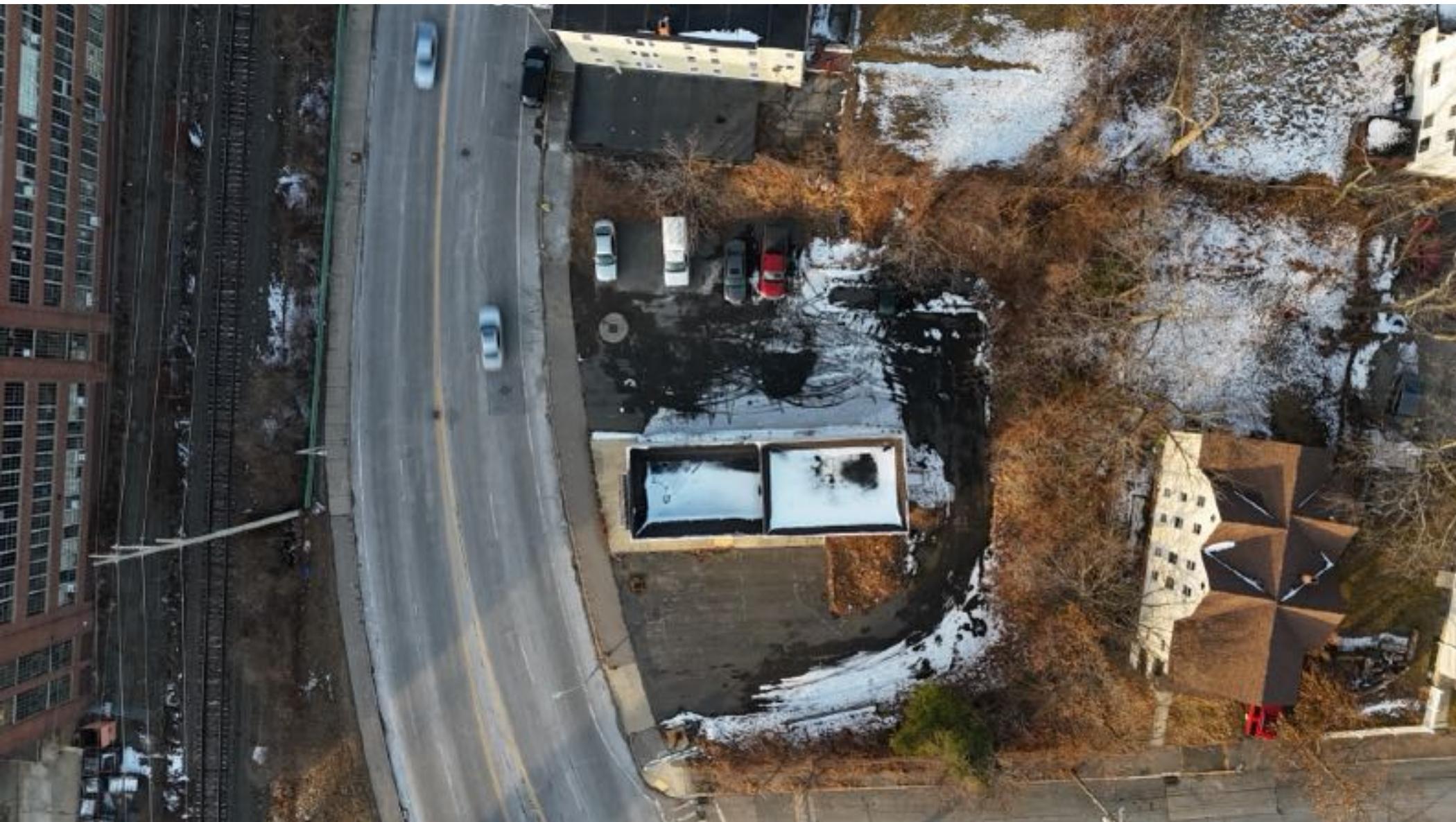
5. Impacts on natural environment.

The Project will provide enhanced green space by way of an improved lawn area and landscape buffers that will contain a variety of aesthetically appealing native trees, shrubs and groundcover/perennial plantings, which will dramatically improve the natural condition of the Property. The Property is outside of the Floodplain and Water Resources Protection Overlay Districts and ecologically sensitive areas, and there are no wetland resource areas on the Property.

6. Potential fiscal impact, including city services needed, tax base, and employment.

The Project will sustain and create new construction jobs and will generate additional fees for the City. The Project will also contribute to the long-term economic stability of the neighborhood by providing new housing units. The Project will improve the economic vitality of the neighborhood and surrounding areas by increasing the number of residents in the area who will rely on businesses and services in and around the neighborhood.





PERMIT SITE PLAN

342
WEST
BOYLSTON

342 West Boylston Street
Worcester, Massachusetts

342 WEST BOYLSTON STREET

WORCESTER, MASSACHUSETTS 01606

FOR

342 WEST BOYLSTON LLC



VICINITY MAP

SCALE: 1"=500'

OWNER:

342 WEST BOYLSTON LLC
40 JACKSON STREET, SUITE 100
WORCESTER, MASSACHUSETTS 01608

APPLICANT:

342 WEST BOYLSTON LLC
40 JACKSON STREET, SUITE 100
WORCESTER, MASSACHUSETTS 01608

GENERAL NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
- SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND / OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
- THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SUBSURFACE DRAINAGE TO PREVENT INTERIOR FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
- ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
- RIM ELEVATIONS SHOWN FOR NEW STRUCTURES ARE APPROXIMATE AND ARE PROVIDED TO ASSIST CONTRACTOR WITH MATERIAL TAKEOFFS. FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH OWNER REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- PROPOSED BUILDING FOUNDATION CONFIGURATION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE VERIFIED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS AND ZONING ORDINANCES PRIOR TO CONSTRUCTION.
- SILT FENCE SHOWN HEREON SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS, AND SHALL SERVE AS THE LIMIT OF WORK.

REGULATORY NOTES

- CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
- ALL WORK WITHIN THE RIGHT OF WAY OF THE CITY OF WORCESTER SHALL CONFORM TO THE CITY OF WORCESTER'S STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS PUBLISHED BY THE CITY OF WORCESTER'S DEPARTMENT OF PUBLIC WORKS.

PROJECT TEAM

CIVIL ENGINEERS
LAND SURVEYORS:

HANCOCK ASSOCIATES
34 CHELMSFORD STREET
CHELMSFORD, MASSACHUSETTS 01824

ARCHITECTS:

DIXON SALO ARCHITECTS, INC.
300 MAIN STREET, FLOOR 1
WORCESTER, MASSACHUSETTS 01608

ASSESSORS

PARCEL ID: MAP 12 007 00009

RECORD OWNER

342 WEST BOYLSTON LLC
40 JACKSON STREET SUITE 100
WORCESTER, MA

ZONING

BUSINESS LIMITED - BL-1.0
COMMERCIAL CORRIDORS OVERLAY DISTRICT
-ELSEWHERE (CCOD-E)

DIMENSIONAL REQUIREMENTS

UNDERLYING DISTRICT - BL-1.0	REQUIRED
MIN. LOT AREA	5,000 SF
MIN. FRONT YARD	10FT
MAX. FRONT YARD	N/A
MIN. SIDE YARD	10FT
MIN. REAR YARD	20FT
MAX. HEIGHT ¹	40FT
MAX. STORIES	3+
MAX. FAR	1.0
MIN. RECREATION AREA ²	2,010 SF

- 3+ INDICATES 3 STORIES PLUS ATTIC LEVEL
- "FOR BRAND NEW RESIDENTIAL USES, AT LEAST 10% OF THE LOT AREA MUST BE SET ASIDE FOR RECREATIONAL PURPOSES."

OVERLAY DISTRICT - CCOD-E

	REQUIRED	PROPOSED
MIN. FRONT YARD ¹	5FT	16FT
MAX. FRONT YARD	15FT	19FT
MIN. SIDE YARD (BDG)	10FT	12FT
MIN. SIDE YARD (WALL)	5FT	5FT
MIN. REAR YARD (BDG)	20FT	51FT
MIN. REAR YARD (WALL)	5FT	9FT
MAX. HEIGHT	50FT	44FT (PRINCIPAL ROOF) / 54FT (ELEVATOR ENCLOSURE)
MAX. STORIES ²	3+	4
MAX. FAR	2.0	0.8±
MIN. RECREATION AREA ³	2,010 SF	2,265±SF

- MINIMUM FRONT YARD SETBACK IS 5 FEET FOR USES WITH GROUND FLOOR RESIDENCES.
- 3+ INDICATES 3 STORIES PLUS ATTIC LEVEL
- "FOR BRAND NEW RESIDENTIAL USES, AT LEAST 10% OF THE LOT AREA MUST BE SET ASIDE FOR RECREATIONAL PURPOSES."

PARKING REQUIREMENTS

MULTI-FAMILY RESIDENTIAL USE

PROPOSED DWELLING UNITS = 24

MIN. PARKING: (CCOD-ELSEWHERE: TABLE 9.1)
1 SPACE PER DU = 24 SPACES
1 GUEST SPACE PER 10 DU
MIN. TOTAL = 1/DU + 1 GUEST/10 SPACES = 27 SPACES
PROPOSED = 6 SPACES - STANDARD
= 9 SPACES - COMPACT
= 1 SPACES - ACCESSIBLE
= 16 SPACES - TOTAL

PARKING BUFFER = 3 FEET
LANDSCAPING BUFFERS FOR PARKING AREAS SHALL BE A MINIMUM OF THREE (3) FEET IN WIDTH WITH MINIMUM FIVE (5) FEET BY FIVE (5) FEET TREE PLANTING AREAS FOR REQUIRED TREE PLANTINGS. (ARTICLE IX, §6(F))

SHEET INDEX

- SHEET 1..... TITLE SHEET
SHEET 2..... EXISTING CONDITION PLAN
SHEET 3..... EROSION AND SEDIMENTATION CONTROL PLAN
SHEET 4..... LAYOUT & MATERIALS PLAN
SHEET 5..... GRADING, DRAINAGE, AND UTILITIES PLAN
SHEET 6..... LANDSCAPE AND LIGHTING PLAN
SHEET 7..... SWEEP PATH ANALYSIS
SHEET 8..... SITEWORK DETAILS
SHEET 9..... SITEWORK DETAILS

PREPARED FOR:

Steven
Rothschild

40 Jackson Street, Suite 100
Worcester, Massachusetts 01608

HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Environmental
Consultants

34 CHELMSFORD ST., CHELMSFORD, MA 01824
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NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 01/15/26 DESIGN BY: MJS
SCALE: AS SHOWN DRAWN BY: MJS
APPVD BY: BGG CHECK BY: JP

TITLE SHEET

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LAYOUT: 1-TS01
SHEET: 1 OF 9
JOB NO.: 27639

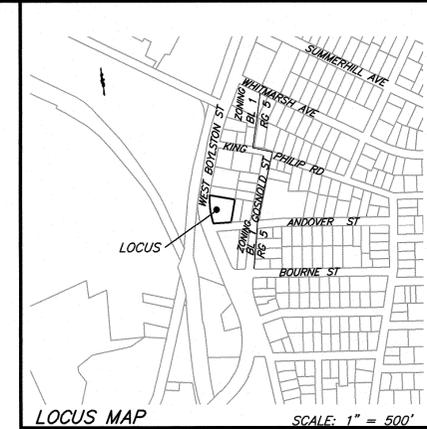
P-1

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Civil Engineers
Land Surveyors
Wetland Specialists

206 WORCESTER RD
PO BOX 97, PRINCETON, MA 01541
PH (978)464-5890, FAX (978)464-5383
DWANDRYSICK@HANCOCKASSOCIATES.COM
WWW.HANCOCKASSOCIATES.COM



OWNER OF RECORD:
342 WEST BOYLSTON LLC
40 JACKSON STREET SUITE 100
WORCESTER, MA
MAP 12 007 00009

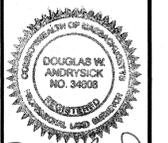
DEED REFERENCE:
DEED BK 69909 PG 65

PLAN REFERENCE:
PLAN BK 12 PLAN 33
PLAN BK 26 PLAN 72
PLAN BK 28 PLAN 67
PLAN BK 298 PLAN 42
PLAN BK 922 PLAN 67
PLAN 924 PLAN 68
WORCESTER COUNTY HIGHWAY LAYOUT WEST
BOYLSTON STREET PLAN BK 92 PLAN 37
CITY ENGINEER 1907 LAYOUT SHEET GOSNOLD AVE
2745-H-5

ZONING REFERENCE:
BL 1 LIMITED BUSINESS USE
NON RESIDENTIAL
AREA = N/A
FRONTAGE = N/A

SETBACKS:
FRONT = 10 FT
SIDE = 10 FT
REAR = 20 FT

- NOTES:**
- 1) THE HORIZONTAL DATUM FOR THIS SURVEY IS THE MASSACHUSETTS COORDINATE SYSTEM, NAD 1983, MAINLAND ZONE. THE VERTICAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). SAID DATUMS WERE ESTABLISHED VIA GPS OBSERVATIONS UTILIZING NAD83 (NA2011) EPOCH 2010.00 (MYCS2) AND GEOID 18.
 - 2) SITE IS NOT LOCATED IN A FEMA FLOOD PLAIN ZONE PER FEMA MAP 25027C0616E DATED JULY 4, 2011.
 - 3) UTILITY INFORMATION PROVIDED BY CITY OF WORCESTER ENGINEERING DEPARTMENT AND UTILITY COMPANIES



Douglas W. Andrysick
3/22/24

BY	APP	DATE	ISSUE/REVISION	DESCRIPTION

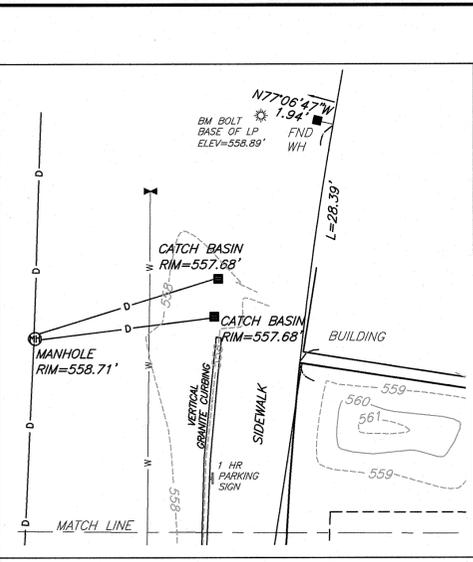
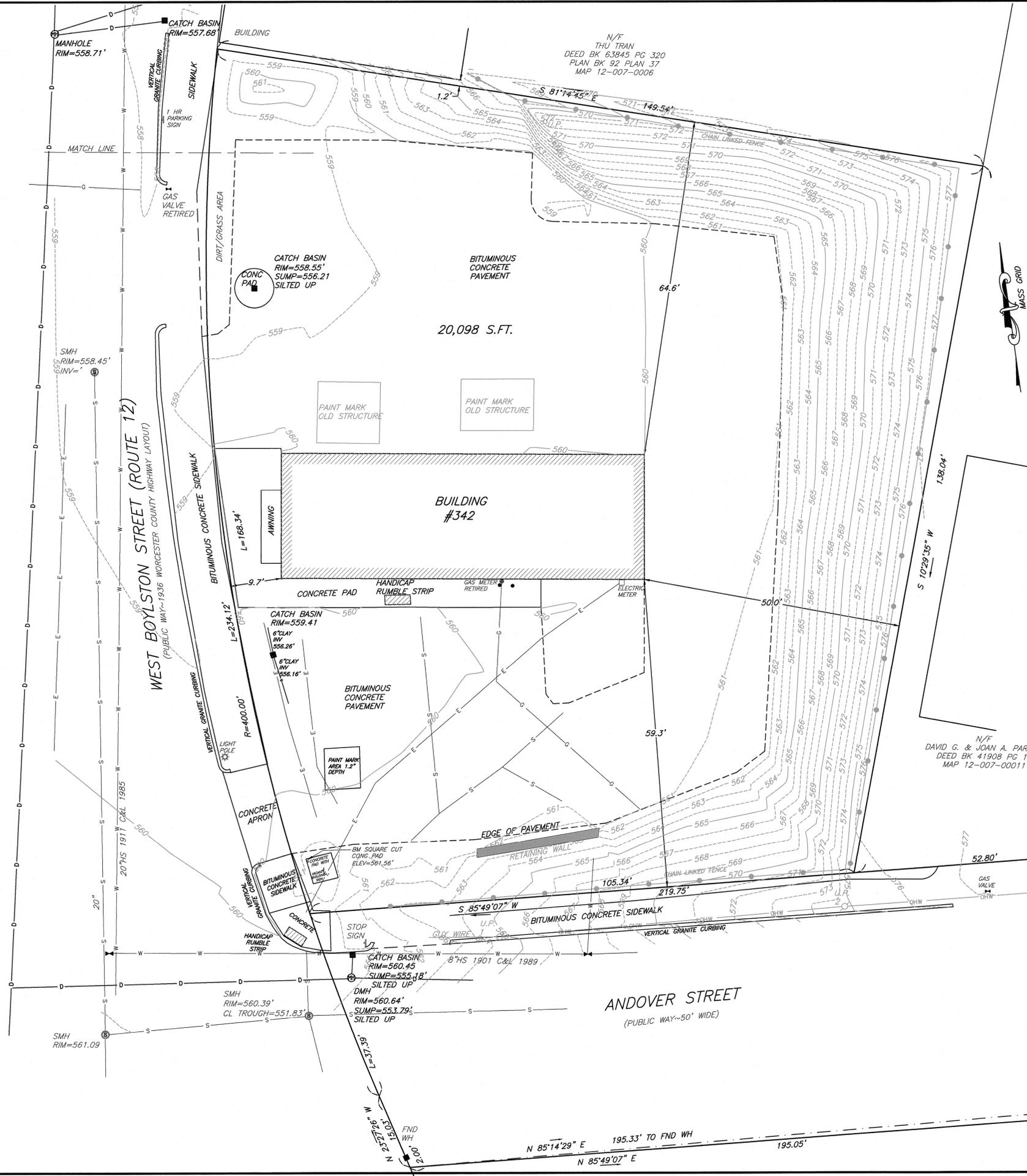
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APPRVD. BY: DWA CHECK BY: DWA

PLAN OF LAND
IN
WORCESTER, MA

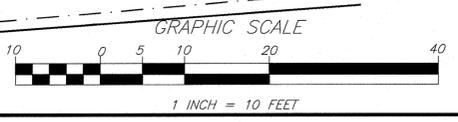
342 WEST BOYLSTON ST
WORCESTER, MA
MAP 177 PARCL 7

PREPARED FOR:
342 WEST BOYLSTON LLC
40 JACKSON STREET,
SUITE 100
WORCESTER, MA

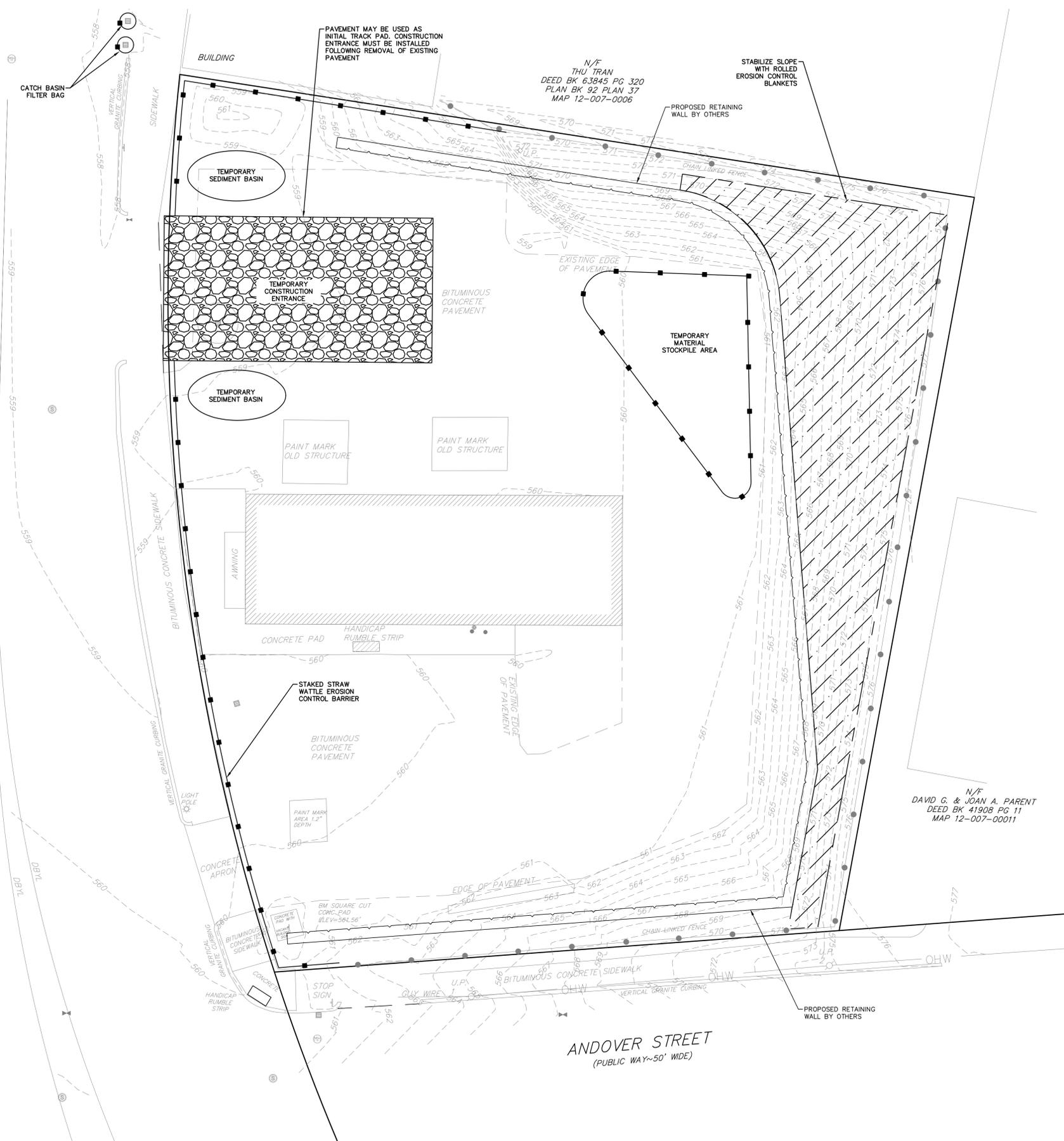
DWG: 27639-BASE
LAYOUT: EC
SHEET: 1 OF 1
PROJECT NO.: 27639



- LEGEND**
- PROPERTY LINE
 - 574 — 1' CONTOUR MINOR
 - 575 — 5' CONTOUR MAJOR
 - OHW — OVERHEAD WIRES
 - GRANITE CURBING
 - S — SEWER LINE
 - D — DRAINAGE LINE
 - E — ELECTRIC LINE
 - G — GAS LINE
 - W — WATER LINE
 - — EDGE OF PAVEMENT
 - — CHAIN LINKED FENCE
 - — FOUND WORCESTER HIGHWAY BOUND
 - ☀ — LIGHT POLE
 - ⊙ — UTILITY POLE
 - ⊕ — CATCH BASIN
 - ⊕ — DRAIN MANHOLE
 - ⊕ — SEWER MANHOLE
 - ⊕ — GAS/WATER VALVE
 - — SIGN



WEST BOYLSTON STREET (ROUTE 12)
(PUBLIC WAY~1336 WORCESTER COUNTY HIGHWAY LAYOUT)



EROSION CONTROL NOTES:

BEST MANAGEMENT PRACTICES (BMP) FOR EROSION AND SEDIMENTATION CONTROL ARE STAKED SILT FENCE, HYDRO SEEDING, AND PHASED DEVELOPMENT. MANY STORMWATER BMP TECHNOLOGIES (E.G., INFILTRATION TECHNOLOGIES) ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF AND MUST BE PROTECTED FROM CONSTRUCTION-RELATED SEDIMENT LOADINGS. CONSTRUCTION BMP'S MUST BE MAINTAINED.

IN DEVELOPING THE PROPOSED PROJECT CERTAIN MEASURES WILL BE IMPLEMENTED TO MINIMIZE IMPACTS EROSION AND SEDIMENTATION COULD HAVE ON SURROUNDING AREAS. THIS SECTION ADDRESSES ITEMS THAT INVOLVE PROPER CONSTRUCTION TECHNIQUES, CLOSE SURVEILLANCE OF WORKMANSHIP, AND IMMEDIATE RESPONSE TO EMERGENCY SITUATIONS. THE DEVELOPER MUST BE PREPARED TO PROVIDE WHATEVER REASONABLE MEASURES ARE NECESSARY TO PROTECT THE ENVIRONMENT DURING CONSTRUCTION AND TO STABILIZE ALL DISTURBED AREAS AS SOON AS CONSTRUCTION ENDS.

ANY PROPOSED SEDIMENTATION CONTROL DEVICES WITHIN THE TOWN'S RIGHT OF WAY MUST BE MAINTAINED, INSPECTED, CLEANED, AND REPLACED AS NECESSARY TO PREVENT POSSIBLE FLOODING ISSUES DURING RAIN EVENTS. ONCE ALL SITE WORK IS DONE AND APPROVAL IS GRANTED BY THE DPW, ANY SEDIMENTATION CONTROL DEVICES MUST BE REMOVED BY THE APPLICANT AS SOON AS POSSIBLE.

PRE-CONSTRUCTION

1. PRIOR TO CLEARING, EXCAVATION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY REQUIRING A PERMIT, THE APPLICANT, THE APPLICANT'S TECHNICAL REPRESENTATIVE, THE GENERAL CONTRACTOR, PERTINENT SUBCONTRACTORS, AND ANY PERSON WITH AUTHORITY TO MAKE CHANGES TO THE PROJECT SHALL MEET WITH THE TOWN'S DESIGNATED AGENT AND TO REVIEW THE PERMITTED PLANS AND PROPOSED IMPLEMENTATION.
2. ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY EARTH MOVING ACTIVITIES.
3. THE CONTRACTOR SHALL KEEP ON SITE, AT ALL TIMES, ADDITIONAL SILTATION FENCING, FILTER FABRIC, STRAW WATTLES, AND CRUSHED STONE FOR INSTALLATION AS DIRECTED BY THE TOWN TO MITIGATE ANY EMERGENCY CONDITIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED ON THE PLAN OR IN THE DECISIONS.

PRELIMINARY SITE WORK

1. MATERIALS SUCH AS GRAVEL TO BE REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROL SHALL BE UTILIZED ALONG THE DOWN SLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN FOR MORE THAN THREE WEEKS.
2. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL STRAW BALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE CONSIDERED.

SITE INSPECTIONS, DURING/POST CONSTRUCTION

1. DURING CONSTRUCTION, THE PERMITEE OR HIS/HER AGENT SHALL CONDUCT AND DOCUMENT INSPECTIONS OF ALL CONTROL MEASURES NO LESS THAN WEEKLY OR AS SPECIFIED IN THE PERMIT, AND PRIOR TO AND FOLLOWING ANTICIPATED STORM EVENTS. THE PURPOSE OF SUCH INSPECTIONS WILL BE TO DETERMINE THE OVERALL EFFECTIVENESS OF THE EROSION AND SEDIMENTATION CONTROL PLAN, AND THE NEED FOR MAINTENANCE OR ADDITIONAL CONTROL MEASURES.
2. THE ENGINEER-OF-RECORD SHALL WITNESS THE INSTALLATION OF ANY SUBSURFACE INFILTRATION SYSTEM. IF SUBSURFACE SOIL CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, THE DESIGN SHALL BE MODIFIED AND RESUBMITTED TO THE TOWN FOR APPROVAL PRIOR TO CONTINUING INSTALLATION.
3. UPON COMPLETION OF ALL SITE WORK, THE CONTRACTOR SHALL INSPECT ALL ON-SITE AND OFF-SITE CATCH BASINS (THAT RECEIVE CATCH BASIN PROTECTION) AND DRAINAGE MANHOLES AND REMOVE ALL SEDIMENT AND DEBRIS THAT HAS ACCUMULATED DURING THE COURSE OF CONSTRUCTION.

LANDSCAPING/SEEDING

1. LANDSCAPING/SEEDING SHALL OCCUR AS SOON AS POSSIBLE AND NO LONGER THAN 30 DAYS UPON COMPLETION OF WORK IN A DISTURBED AREA TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
2. IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH STRAW, WOOD CHIPS WEIGHED WITH SNOW FENCE OR BRANCHES, OR OTHER METHODS SHALL BE PROVIDED.
3. A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
4. HERBICIDES ARE NOT TO BE USED ON SITE.
5. HYDRO SEEDING IS ENCOURAGED FOR STEEP SLOPES. APPLICATION RATES ON SLOPES GREATER THAN 3:1 SHALL HAVE A MINIMUM SEEDING RATE OF 5-LBS/1000 SF. A LATEX OR FIBER TACKIFIER SHALL BE USED ON THESE SLOPES AT A MINIMUM RATE OF 50 LBS. OF TACKIFIER PER 500 GALLONS OF WATER USED.

CONSTRUCTION WASTE NOTES:

- 1) ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURE METAL DUMPSTER.
- 2) ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR AS FREQUENT AS SITE CONDITIONS REQUIRE. NO CONSTRUCTION MATERIALS WILL BE BURIED ON-SITE.
- 3) ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL.
- 4) ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED.
- 5) GOOD HOUSEKEEPING AND SPILL CONTROL PRACTICES WILL BE FOLLOWED DURING CONSTRUCTION TO MINIMIZE STORM WATER CONTAMINATION FROM PETROLEUM PRODUCTS, PAINTS, AND CONCRETE.
- 6) ALL VEHICLES ON SITE WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
- 7) PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS, WHICH, ARE CLEARLY LABELED.
- 8) SPILL KITS WILL BE INCLUDED WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES.
- 9) ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION.
- 10) ALL PAINT CONTAINERS AND CURING COMPOUNDS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWERS, BUT WILL BE PROPERLY DISPOSED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- 11) MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE TEMPORARY MATERIAL STORAGE TRAILER ON-SITE. EQUIPMENT WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAW DUST, AND PLASTIC AND METAL TRASH CONTAINERS.
- 12) ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILLS LARGE ENOUGH TO REACH THE STORM SEWERS WILL BE REPORTED TO THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION NORTHEAST REGIONAL OFFICE AT 1-888-304-1133.
- 13) CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.
- 14) WHEN TESTING/CLEANING OF WATER SUPPLY LINES, THE DISCHARGE FROM THE TESTED PIPE WILL BE COLLECTED AND CONVEYED TO A COMPLETED STORM WATER PIPE SYSTEM FOR ULTIMATE DISCHARGE INTO THE SEDIMENTATION BASIN.

342 WEST BOYLSTON

342 West Boylston Street
Worcester, Massachusetts

PREPARED FOR:

Steven Rothschild
40 Jackson Street, Suite 100
Worcester, Massachusetts 01608

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Environmental Consultants

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VOICE (978) 244-0110, FAX (978) 244-1133
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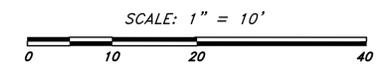
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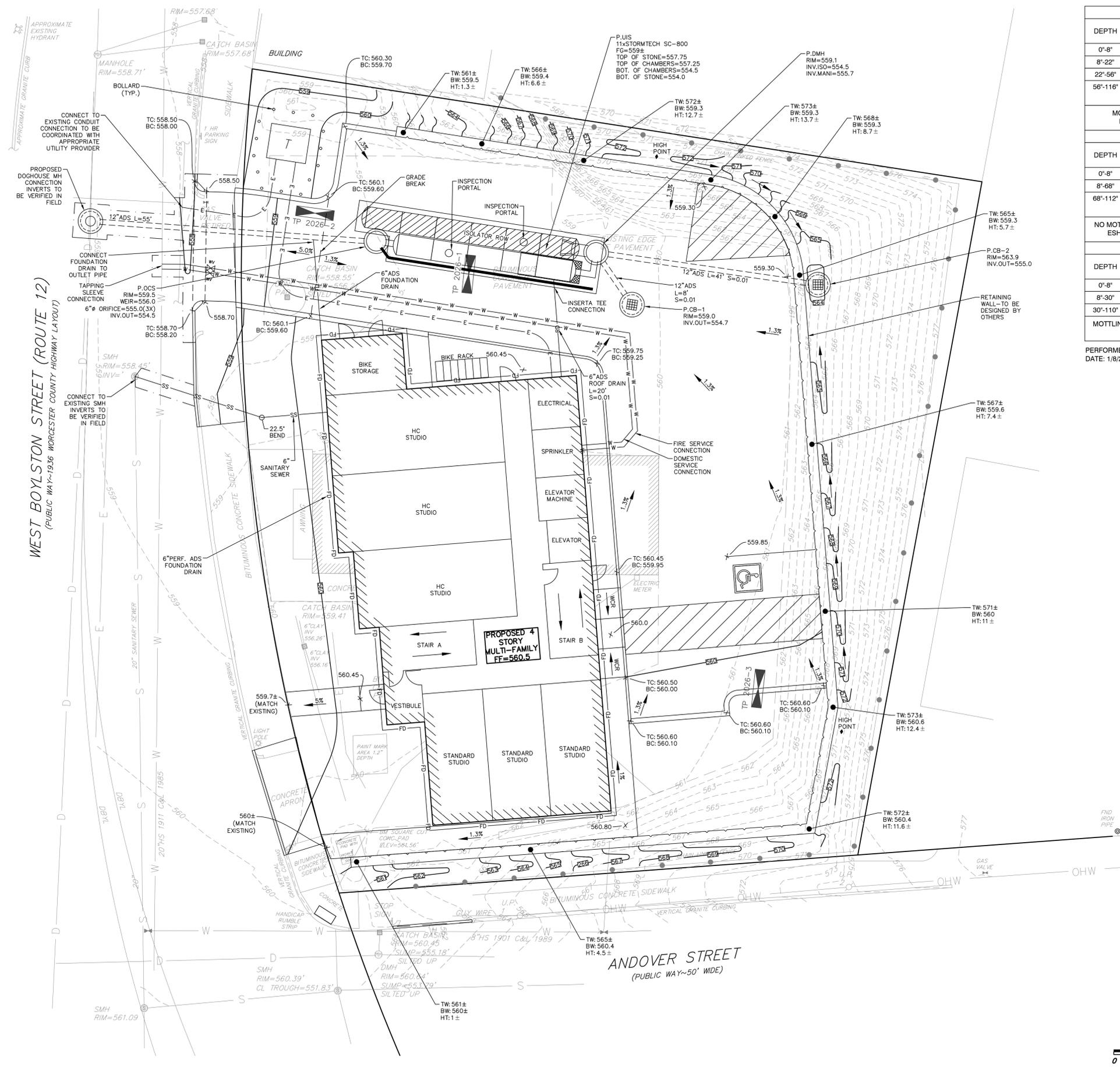
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SCALE: AS SHOWN DRAWN BY: MJS
APPVD BY: BGG CHECK BY: JP

EROSION AND SEDIMENTATION CONTROL PLAN

DWG: 27639-SP2.dwg
LAYOUT: 3-EC01
SHEET: 3 OF 9
JOB NO.: 27639

P-3





TEST PIT 2026-1 (EL. 559.2±)			
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES
0'-8"	PAVE	--	NONE
8'-22"	FILL	--	NONE
22'-56"	C1	LOAMY SAND	NONE
56'-116"	C2d	FINE SANDY LOAM W/ GRAVEL	94"

MOTTLING AT 94', STANDING @ 116', NO REFUSAL
ESHWT=94' (EL. 551.4±) BASED ON MOTTLING

TEST PIT 2026-2 (EL. 558.6±)			
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES
0'-8"	PAVE	--	NONE
8'-68"	FILL	--	NONE
68'-112"	Cd	FSL W/ STONES & BOULDERS	NONE

NO MOTTLING, NO GROUNDWATER OBSERVED, NO REFUSAL
ESHWT=112' (EL. 549.3±) BASED ON BOTTOM OF PIT

TEST PIT 2026-3 (EL. 561.5±)			
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES
0'-8"	PAVE	--	NONE
8'-30"	FILL	--	NONE
30'-110"	Cd	FSL W/ GRAVEL	NONE

MOTTLING @ 60', SEEPING AT 22', STANDING AT 110', NO REF.
ESHWT=22' (EL. 559.7±) BASED SEEPING

PERFORMED BY: DANIEL ROMERO (SE #14149)
DATE: 1/8/26

342 WEST BOYLSTON

342 West Boylston Street
Worcester, Massachusetts

PREPARED FOR:
Steven Rothschild
40 Jackson Street, Suite 100
Worcester, Massachusetts 01608

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Environmental Consultants

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VOICE (978) 244-0110, FAX (978) 244-1133
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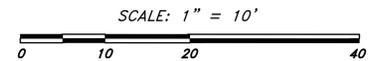
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 01/15/26 DESIGN BY: MJS
SCALE: AS SHOWN DRAWN BY: MJS
APPVD BY: BGG CHECK BY: JP

GRADING AND DRAINAGE PLAN

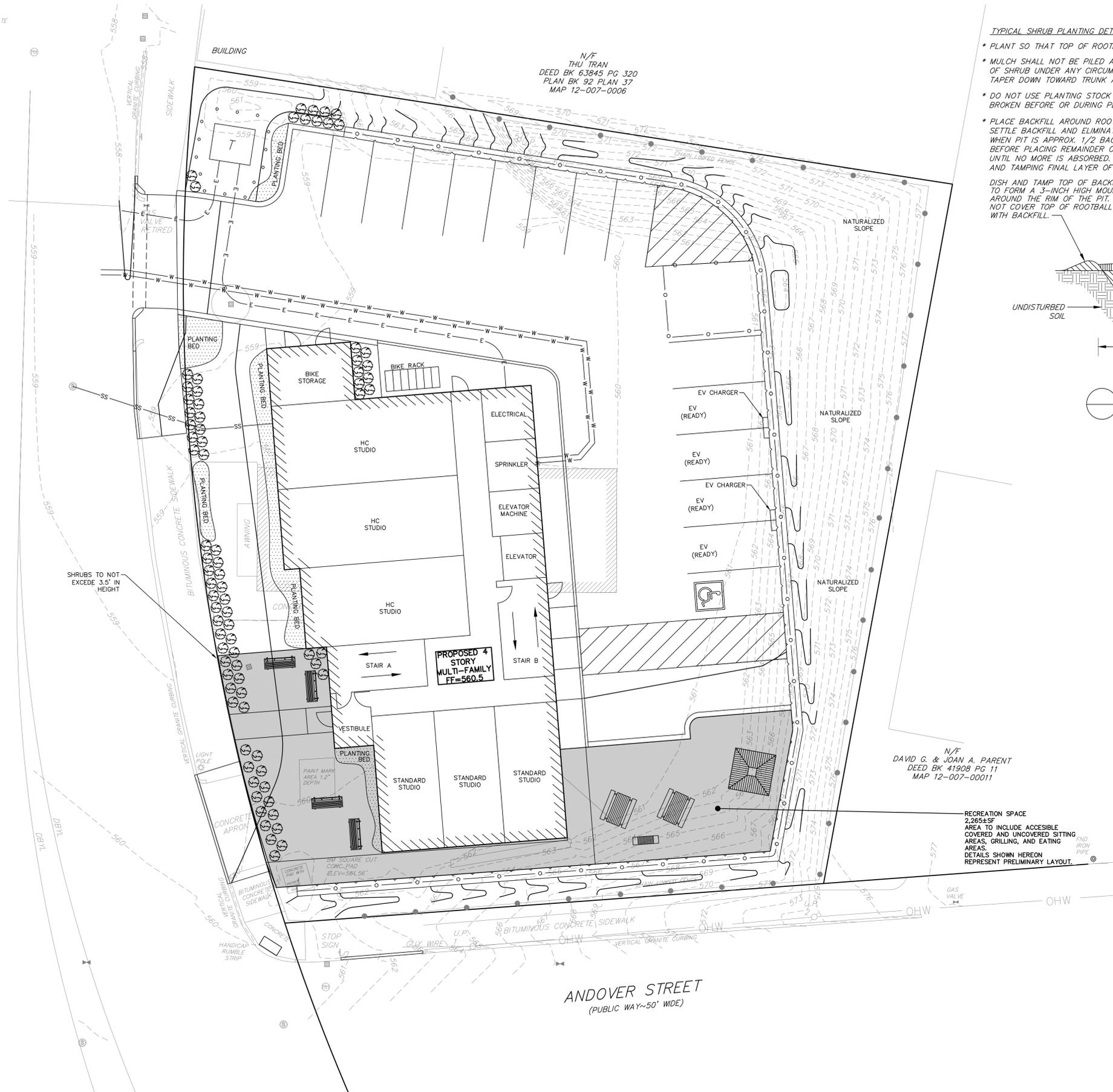
DWG: 27639-SP2.dwg
LAYOUT: 5-GDU01
SHEET: 5 OF 9
JOB NO.: 27639

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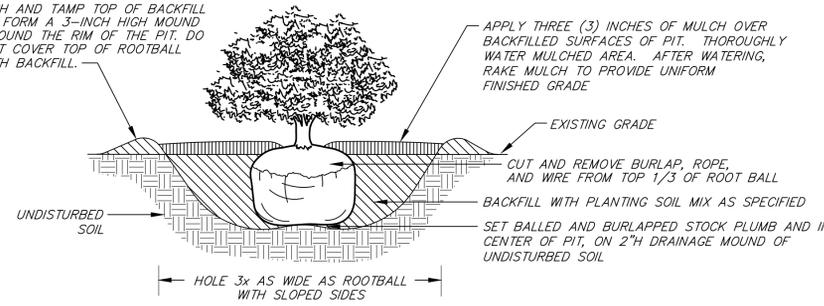


X:\27639-ROTHSCHILD-WORCESTER\ENG\DWG\27639-SP2.DWG

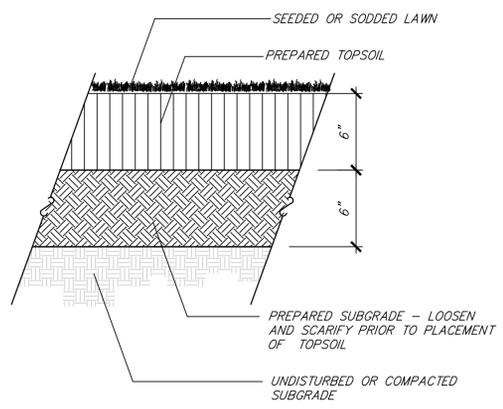
WEST BOYLSTON STREET (ROUTE 12)
(PUBLIC WAY ~ 19.36' WORCESTER COUNTY HIGHWAY LAYOUT)



- TYPICAL SHRUB PLANTING DETAIL NOTES:**
- * PLANT SO THAT TOP OF ROOTBALL IS 1-2" ABOVE SURROUNDING GRADE.
 - * MULCH SHALL NOT BE PILED AGAINST THE TRUNK OR STEMS OF SHRUB UNDER ANY CIRCUMSTANCES. MULCH LAYER SHOULD TAPER DOWN TOWARD TRUNK AS INDICATED.
 - * DO NOT USE PLANTING STOCK IF ROOTBALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING PROCESS.
 - * PLACE BACKFILL AROUND ROOTBALL IN LAYERS, TAMPING TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROX. 1/2 BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF BACKFILL.



TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



LOAM AND SEED
NOT TO SCALE

N/F
DAVID G. & JOAN A. PARENT
DEED BK 41908 PG 11
MAP 12-007-00011

RECREATION SPACE
2,265±SF
AREA TO INCLUDE ACCESSIBLE
COVERED AND UNCOVERED SITTING
AREAS, GRILLING, AND EATING
AREAS.
DETAILS SHOWN HEREON
REPRESENT PRELIMINARY LAYOUT.

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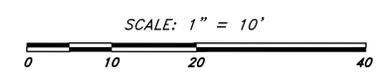


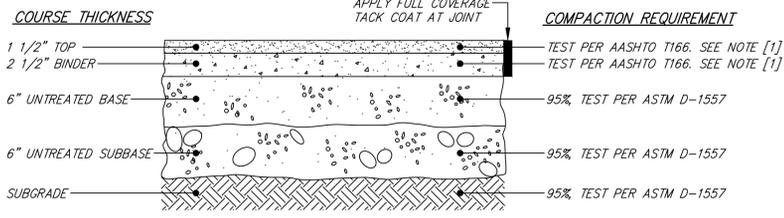
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

LANDSCAPE AND
LIGHTING
PLAN
DRAFT

DWG: 27639-SP2.dwg
LAYOUT: 6-LL01
SHEET: 6 OF 9
JOB NO.: 27639

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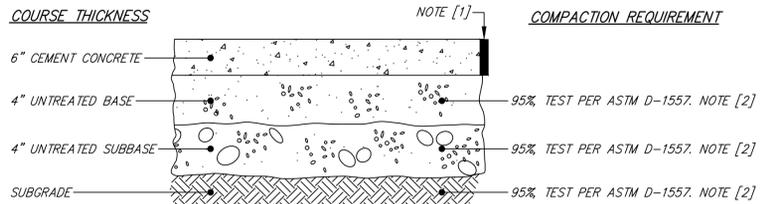




NOTES:
 [1] COMPACT TO TEST AVERAGE OF 96%, NO TEST LOWER THAN 94%

MATERIAL	SPECIFICATION	MAXIMUM AGGREGATE OR PARTICLE SIZE (IN.)
TOP - BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1/2
BINDER - BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1
BASE - GRAVEL BORROW	MHD M1.03.0 TYPE C	2
SUBBASE - GRAVEL BORROW	MHD M1.03.0 TYPE C	2
UNSUITABLE SUBGRADE - ORDINARY BORROW	MHD M1.01.0	12

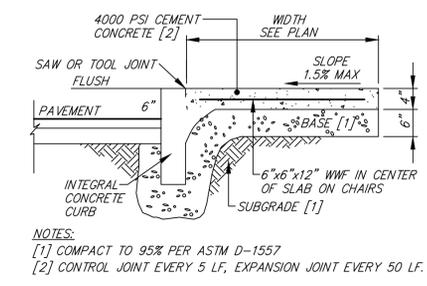
BITUMINOUS CONCRETE PAVEMENT
 TYPICAL CROSS SECTION
 NOT TO SCALE



NOTES:
 [1] CONTROL JOINT EVERY 10 FEET, EXPANSION JOINT EVERY 50 FEET.
 [2] COMPACT TO TEST AVERAGE OF 95%, NO TEST LOWER THAN 93%

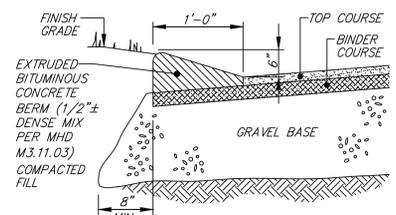
MATERIAL	SPECIFICATION	MAXIMUM AGGREGATE OR PARTICLE SIZE (IN.)
TOP - CEMENT CONCRETE	MHD M4.02.00 4000 PSI AT 28 DAYS	3/4
BASE - SAND BORROW	MHD M1.04.0 TYPE b	3/8
SUBBASE - GRAVEL BORROW	MHD M1.03.0 TYPE c	2
UNSUITABLE SUBGRADE - ORDINARY BORROW	MHD M1.01.0	12

CEMENT CONCRETE PAVEMENT
 TYPICAL CROSS SECTION
 NOT TO SCALE

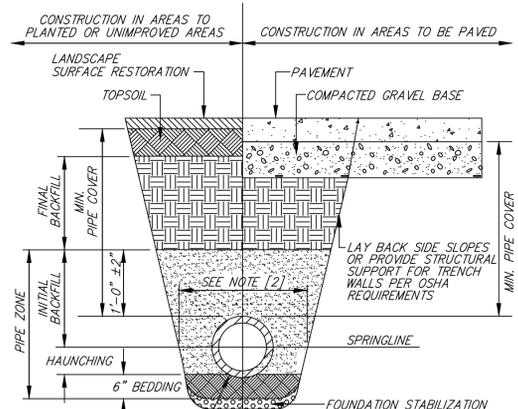


NOTES:
 [1] COMPACT TO 95% PER ASTM D-1557
 [2] CONTROL JOINT EVERY 5 LF, EXPANSION JOINT EVERY 50 LF.

CEMENT CONCRETE WALK WITH INTEGRAL CONCRETE CURB
 CROSS SECTION
 NOT TO SCALE



CAPE COD BERM
 CROSS SECTION
 NOT TO SCALE



SHAPE BEDDING BY HAND TO FIT BOTTOM OF PIPE. INSTALL PIPE ON STABLE BEDDING WITH UNIFORM BEARING UNDER FULL LENGTH OF PIPE BARREL.

FOUNDATION, BEDDING, & BACKFILL MATERIALS

PIPE MATERIAL	HDP, PVC	RC, DI
FOUNDATION STABILIZATION	[6]	[6]
BEDDING	[1]	[1]
HAUNCHING	[1]	[1]
INITIAL BACKFILL	[1]	[1]
FINAL BACKFILL	[4]	[4]
MIN. PIPE COVER	[5]	[5]

NOTES:
 [1] PLACE 3/4"± GRADED GRANULAR BACKFILL AT OPTIMUM MOISTURE IN HORIZONTAL, 8"-DEEP, LOOSE LAYERS; COMPACT TO 95% PER ASTM D-1557.
 [2] MINIMUM WIDTH OF TRENCH MEASURED AT THE SPRINGLINE OF THE PIPE, INCLUDING ANY NECESSARY SHEATHING:

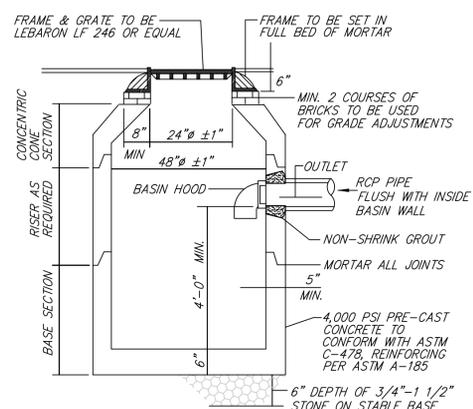
PIPE I.D.	WIDTH
LESS THAN 21"	O.D. + 12"
21" TO 42"	O.D. + 24"
GREATER THAN 42"	O.D. + 30"

[3] INSTALL PIPE IN CENTER OF TRENCH.
 [4] IN PLANTED OR UNIMPROVED AREAS, USE ON-SITE EXCAVATED MATERIAL FOR FINAL BACKFILL. COMPACT TO 95% PER ASTM D-1557. IN PAVED AREAS, OBTAIN ENGINEER APPROVAL OF ON-SITE EXCAVATED MATERIALS FOR USE AS FINAL BACKFILL.
 [5] MINIMUM COVER OVER TOP OF PIPE:

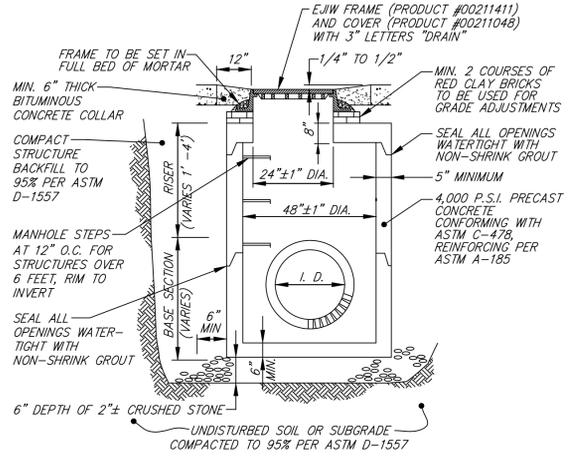
PIPE MATERIAL	HDP, PVC	RC, DI
WATER	5'-0"	5'-0"
SEWER	4'-0"	4'-0"
DRAIN	1'-6"	1'-0"

[6] FOR FOUNDATION STABILIZATION, USE 2"± CRUSHED STONE.

PIPE TRENCH
 TYPICAL CROSS SECTION
 NOT TO SCALE

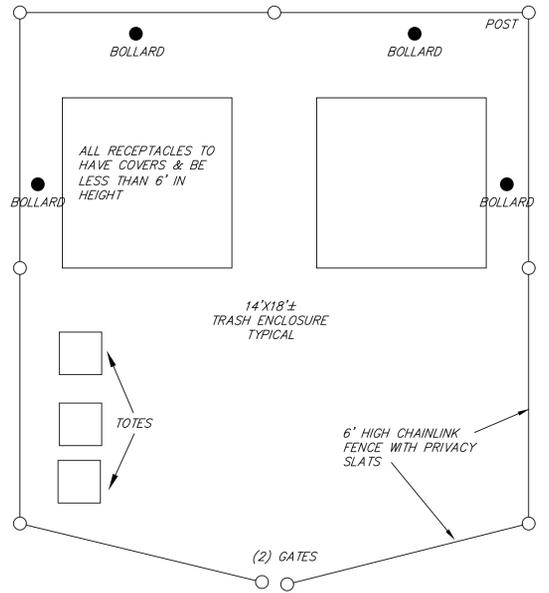


CATCH BASIN WITH HOOD
 TYPICAL CROSS SECTION - NOT TO SCALE

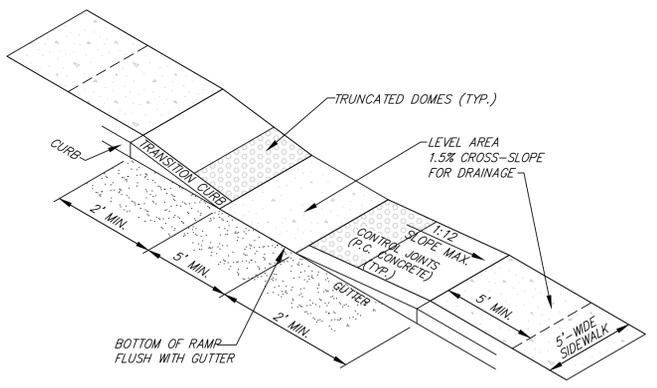


NOTE: CONICAL TOP MAY ALSO BE USED

DRAIN MANHOLE
 TYPICAL CROSS SECTION
 NOT TO SCALE



SCREENED REFUSE AREA
 NOT TO SCALE



HANDICAP RAMP - ISOMETRIC VIEW
 (NOT TO SCALE)

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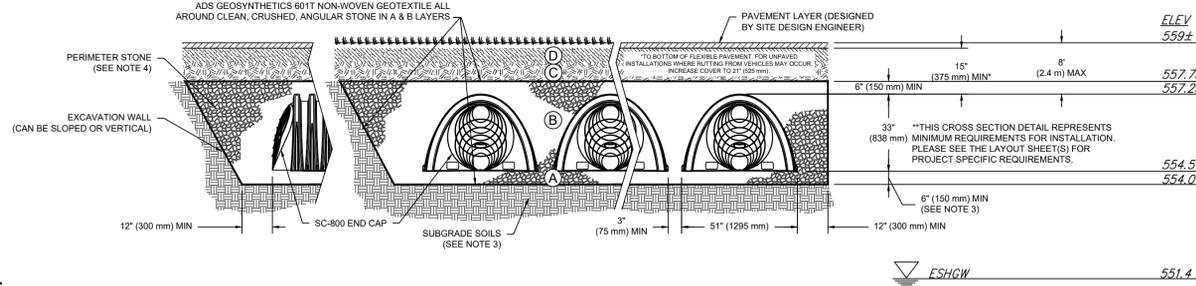
SITWORK DETAILS

DWG: 27639-SP2.dwg
 LAYOUT: 8-DET01
 SHEET: 8 OF 9
 JOB NO.: 27639

ACCEPTABLE FILL MATERIALS: STORMTECH SC-800 CHAMBER SYSTEMS

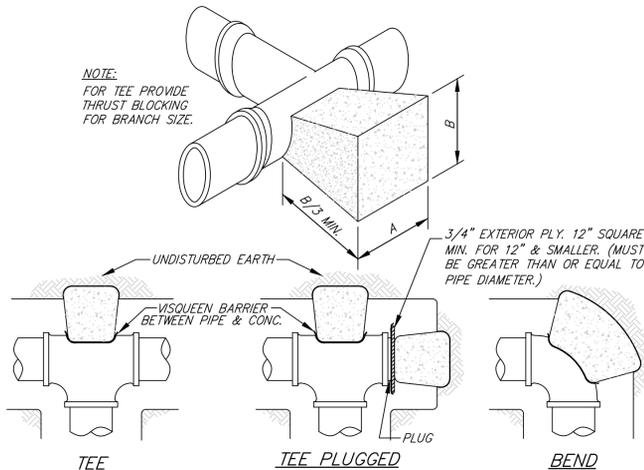
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 15" (375 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 80, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ³	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ³	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTIONED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
 5. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



NOTES:
 1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 2. SC-800 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
 4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 • TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 • TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 • TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 700 LBS/FT², AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

1 SC-800 CROSS SECTION DETAIL

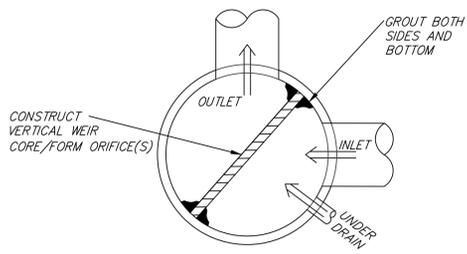


DIMENSION FOR THRUST BLOCKING

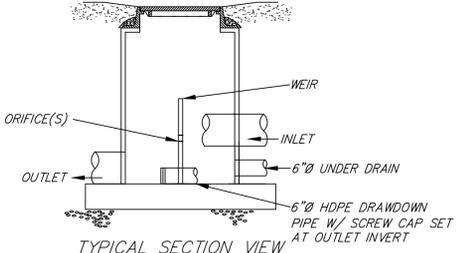
FITTING SIZES	TEES & PLUGS		90° BENDS		45° BENDS & "Y's"		22 1/2° BENDS	
	A	B	A	B	A	B	A	B
4"	1'-6"	1'-6"	1'-6"	1'-9"	1'-3"	0'-6"	1'-0"	0'-6"
6"	2'-0"	1'-0"	2'-0"	2'-0"	1'-3"	1'-6"	1'-0"	1'-5"
8"	2'-0"	1'-6"	2'-3"	2'-3"	1'-6"	1'-8"	1'-0"	1'-3"
10"	2'-6"	2'-3"	2'-9"	2'-10"	2'-3"	1'-10"	1'-3"	2'-0"
12"	3'-0"	2'-9"	3'-6"	3'-3"	2'-6"	2'-4"	2'-0"	1'-6"
14"	3'-5"	3'-0"	4'-0"	3'-8"	3'-6"	2'-4"	2'-0"	2'-3"

1. THIS TABLE IS BASED ON 200 P.S.I. MAIN PRESSURE AND 2000 P.S.F. SOIL-BEARING PRESSURE. ADJUST BEARING AREAS IN ACCORDANCE WITH SOIL CONDITIONS AND PRESSURES ENCOUNTERED.
 2. USE VISQUEEN BARRIER BETWEEN PIPE AND CONCRETE AS SHOWN IN DETAIL ABOVE.
 3. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
 4. BLOCKING SIZE/FREQUENCY SHALL BE INCREASED IF REQUIRED BY ENGINEER.

THRUST BLOCK SCHEDULE
NOT TO SCALE

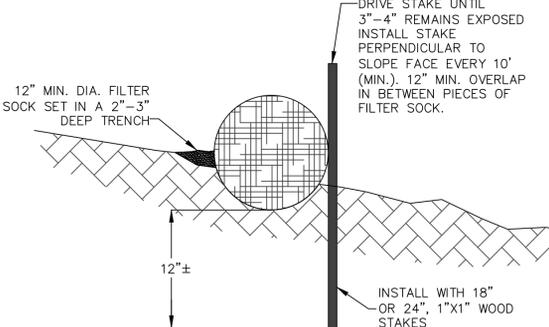


TYPICAL PLAN VIEW
SEE SITE PLAN FOR INDIVIDUAL SYSTEM LAYOUTS & INVERTS



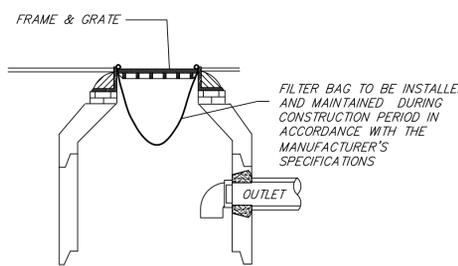
NOTE: 1. SEE DRAIN MANHOLE DETAIL FOR STANDARD MANHOLE CONSTRUCTION SPECS
2. SEE PLAN FOR INVERT ELEVATIONS

OUTLET CONTROL STRUCTURE (P.OCS)
NOT TO SCALE

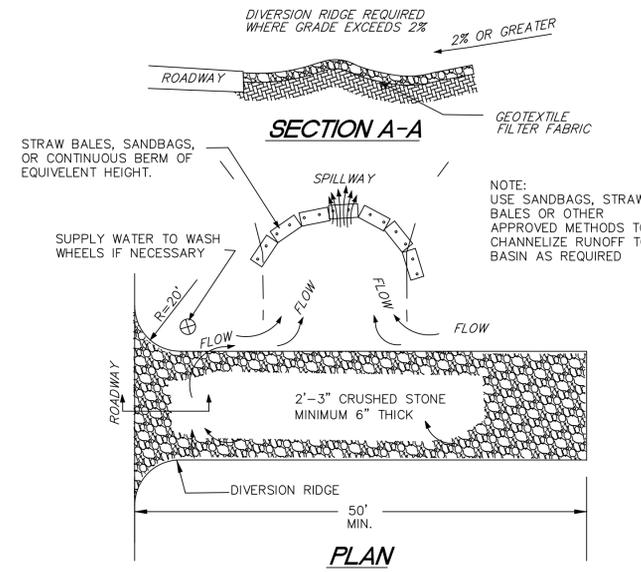


NOTES:
 1. SOCK SIZE DEPICTED IS FOR GENERAL USE. GREATER SLOPES MAY REQUIRE LARGER SOCK.
 2. COMPOST MATERIAL MAY BE DISPERSED ON SITE AT THE DISCRETION OF THE APPROVING AUTHORITY.
 3. PRIOR TO SETTING THE SOCK REMOVE LOOSE LITTER, BRANCHES AND OTHER MATERIAL THAT MAY PREVENT THE SOCK FROM DIRECT CONTACT WITH SOIL.

WATTLE
NOT TO SCALE

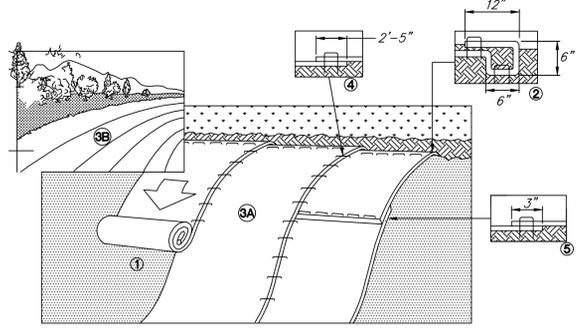


CATCH BASIN FILTER BAG
TYPICAL CROSS SECTION - NOT TO SCALE



NOTES:
 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE



INSTALLATION NOTES:
 1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S) IF NEEDED, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER THE SEED AND COMPACTED SOIL. SECURE THE RECP'S OVER THE COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE ENTIRE WIDTH OF THE RECP'S.

3. ROLL THE RECP'S (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2'-5" OF OVERLAP DEPENDING ON THE RECP'S TYPE.
 5. CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS THE ENTIRE RECP'S WIDTH. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

SLOPE STABILIZATION
ISOMETRIC VIEW
NOT TO SCALE

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X:\27639-ROTHSCHILD-WORKSHEET\DWG\27639-SP2.DWG

NEW CONSTRUCTION: RESIDENTIAL BUILDING

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LIST OF DRAWINGS

T-1.0	TITLE SHEET
T-1.1	GENERAL NOTES & DETAILS
ARCHITECTURAL	
A-1.1	PROPOSED FIRST FLOOR PLAN
A-1.2	PROPOSED SECOND FLOOR PLAN
A-1.3	PROPOSED THIRD FLOOR PLAN
A-1.4	PROPOSED FOURTH FLOOR PLAN
A-1.5	PROPOSED ROOF PLAN
A-2.1	PROPOSED FRONT ELEVATION
A-2.2	PROPOSED LEFT SIDE ELEVATION
A-2.3	PROPOSED REAR ELEVATION
A-2.4	PROPOSED RIGHT SIDE ELEVATION
A-3.1	TYPICAL UNIT PLANS



ARCHITECT'S STAMP:



ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

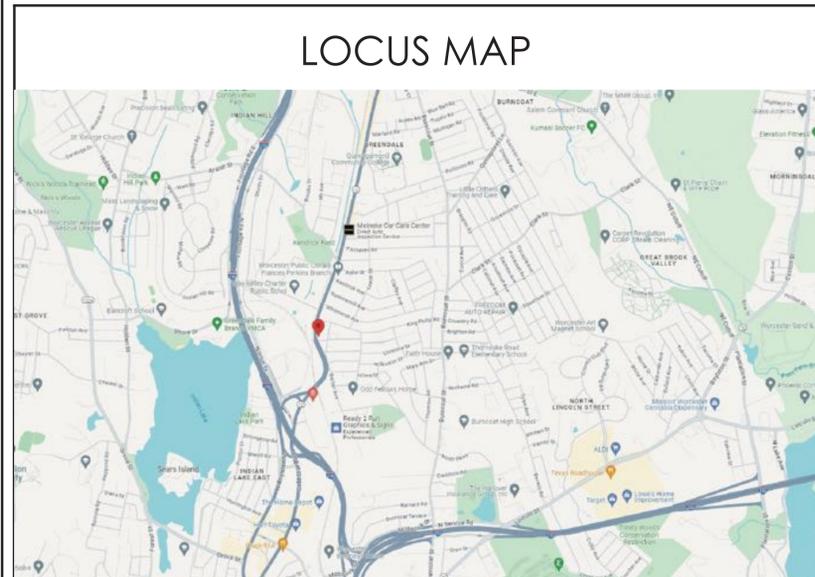
ABBREVIATIONS

A.C.T	ACOUSTICAL CEILING TILE	A.C.T	ACRYLIC	MANUFACTURED	MFD
ACST	ACOVE FINISHED FLOOR	ALUM	ALUMINUM	MAR	MARBLE
ARCH	ARCHITECT	AVG	AVERAGE	MAS	MASONRY
BEAM	BEAM	BM	BOARD	MAT	MATERIAL
BR	BRASS	BR	BRONZE	MCH	MECHANICAL
BLDG	BUILDING	BLDG	BUILDING	MIL	MIL
BLTN	BUILT-IN	BLTN	BUILT-IN	M	METER
CAB	CABINET	CAB	CABINET	MIS	MISCELLANEOUS
CLG	CEILING	CLG	CEILING	MULL	MULLION
CL	CENTER LINE	CL	CENTER LINE	NAT	NATURAL
CM	CENTIMETER	CM	CENTIMETER	NOM	NOMINAL
CER	CERAMIC	CER	CERAMIC	NC	NOT IN CONTRACT
CLR	CLEAR	CLR	CLEAR	NIS	NOT TO SCALE
CW	COLD WATER	CW	COLD WATER	OC	ON CENTER
COL	COLUMN	COL	COLUMN	OP	OPENING
CONC	CONCRETE	CONC	CONCRETE	OPF	OPPOSITE
CMU	CONCRETE MASONRY UNIT	CMU	CONCRETE MASONRY UNIT	PA	PAINTED
CONSTR	CONSTRUCTION	CONSTR	CONSTRUCTION	PAR	PARTITION
CONTR	CONTRACTOR	CONTR	CONTRACTOR	PL	PLASTER
DEM	DEMOLITION	DEM	DEMOLITION	PLAM	PLASTIC LAMINATE
DET	DETAIL	DET	DETAIL	PLY	PLYWOOD
DIA	DIAMETER	DIA	DIAMETER	PT	PRESSURE TREATED
DM	DIMENSION	DM	DIMENSION	QTY	QUANTITY
DR	DOOR	DR	DOOR	QT	QUANTITY
DN	DOWN	DN	DOWN	R	RADIUS
DRWG	DRAWING	DRWG	DRAWING	REF	REFERENCE
DF	DRINKING FOUNTAIN	DF	DRINKING FOUNTAIN	RENF	REINFORCE
EA	EACH	EA	EACH	RMV	REMOVE
ELEC	ELECTRIC	ELEC	ELECTRIC	REQD	REQUIRED
EW	ELECTRIC WATER COOLER	EW	ELECTRIC WATER COOLER	REV	REVISION
EQ	EQUAL	EQ	EQUAL	RBR	ROUGH OPENING
EQUIP	EQUIPMENT	EQUIP	EQUIPMENT	SCH	SCHEDULE
EST	ESTIMATE	EST	ESTIMATE	SECT	SECTION
EXT	EXISTING	EXT	EXISTING	SH	SHEET
EXTR	EXTERIOR	EXTR	EXTERIOR	SIM	SIMILAR
FAB	FABRICATE	FAB	FABRICATE	SIM	SIMILAR
OR FT	FEET	OR FT	FEET	SP	SOLID CORE
FR	FRISH	FR	FRISH	SPEC	SPECIFICATIONS
FRSH	FINISHED ALL OVER	FRSH	FINISHED ALL OVER	SF	SQUARE FEET
FRFR	FRESH	FRFR	FRESH	SQ IN.	SQUARE INCHES
FLR	FLOOR	FLR	FLOOR	SS	STAINLESS STEEL
FLOR	FLORESCENT	FLOR	FLORESCENT	STD	STANDARD
FS	FULL SIZE	FS	FULL SIZE	ST	STEEL
FURN	FURNISH	FURN	FURNISH	STL	STRUCTURAL
GA	GAUGE	GA	GAUGE	SUSP	SUSPENDED
GEN	GENERAL	GEN	GENERAL	SYS	SYSTEM
GLASS	GLASS	GLASS	GLASS	TEL	TELEPHONE
GYP	GYPSUM BOARD	GYP	GYPSUM BOARD	TEMP	TEMPERATURE
HW	HARDWARE	HW	HARDWARE	T&G	TONGUE & GROOVE
HW	HARDWOOD	HW	HARDWOOD	TREAD	TREAD
HT	HEIGHT	HT	HEIGHT	TR	TYPICAL
HWC	HOLLOW CORE	HWC	HOLLOW CORE	UNF	UNFINISHED
HOR	HORIZONTAL	HOR	HORIZONTAL	URN	URN
HW	HOT WATER	HW	HOT WATER	UR	URINAL
INS	INSULATION	INS	INSULATION	UR	URINAL
IN	INCH	IN	INCH	UR	URINAL
INT	INTERIOR	INT	INTERIOR	UR	URINAL
JBOX	JUNCTION BOX	JBOX	JUNCTION BOX	UR	URINAL
LAV	LAVATORY	LAV	LAVATORY	UR	URINAL
LIC	LIGHT	LIC	LIGHT	UR	URINAL
LIC	LIGHTING	LIC	LIGHTING	UR	URINAL
LN	LINEAR	LN	LINEAR	UR	URINAL
LN	LINE	LN	LINE	UR	URINAL
LN	LINEUM	LN	LINEUM	UR	URINAL
MFR	MANUFACTURER	MFR	MANUFACTURER	UR	URINAL
GAUV	GALVANIZED	GAUV	GALVANIZED	UR	URINAL
GWB	GYPSUM WALL BOARD	GWB	GYPSUM WALL BOARD	UR	URINAL
YD	YARD	YD	YARD	UR	URINAL

LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS
	EARTH - LOAM	
	EARTH - FILL	
	GRAVEL	
	SAND	
	CONCRETE	
	CONCRETE MASONRY	
	BRICK	
	BITUMINOUS CONCRETE	
	BATT INSULATION	
	RIGID INSULATION	
	WOOD - FRAMING	
	WOOD - FINISH	
	PLYWOOD - SMALL SCALE	
	ACOUSTICAL TILE	
	STEEL	
	ALUMINUM	

LOCUS MAP



	SCHEMATIC	01.12.2026
	DESIGN DEVELOPMENT	
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

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REVISION DATE	

DATE:	01.12.2026
SCALE:	AS NOTED
PROJECT:	- -
DRAWN:	JGH
CHECKED:	JGH

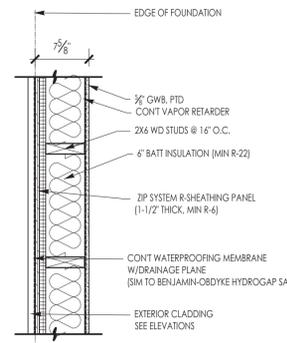
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RESIDENTIAL BUILDING
342 WEST BOYLSTON STREET
WORCESTER, MA 01606

SHEET TITLE:
TITLE SHEET

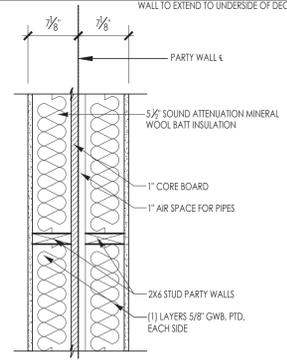
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GENERAL CONSTRUCTION NOTES

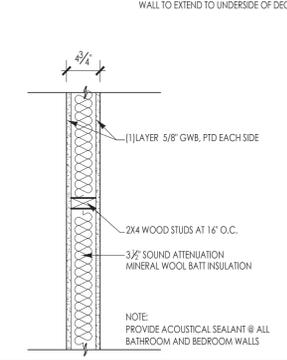
- ALL WORK IS TO BE PERFORMED IN PROFESSIONAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & STATE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), THESE INCLUDE, BUT ARE NOT LIMITED TO, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), MASS STATE BUILDING CODE, THE AMERICAN NATIONAL STANDARD (ANSI), THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), THE NATIONAL ELECTRIC CODE (NEC), THE INTERNATIONAL PLUMBING CODE (IPC), THE INTERNATIONAL MECHANICAL CODE (IMC), AND THE NATIONAL FIRE PROTECTION STANDARDS, AS WELL AS ALL LOCAL REGULATIONS GOVERNING THE PROJECT.
- CONTRACTOR TO VISIT SITE AND TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND REPORT ALL DISCREPANCIES TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK.
- ALL MATERIALS USED ON THIS PROJECT SHALL BE IN COMPLIANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE, AND SHALL SUBMIT ACCURATE AS-BUILT DRAWINGS TO ARCHITECT AND OWNER AT END OF PROJECT.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAVE FAMILIARIZED THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, & SHORING, AND FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND PATCHING FOR THEIR OWN TRADE, UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
- THE CONTRACTOR SHALL KEEP THE WORKSITE CLEAN AND TIDY, AND AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR TRASH CAUSED BY THEIR OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES AND SHALL MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCES OF THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
- WEATHER PROTECTION:** THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- DAMAGE: ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP UNTIL THE DATE OF OWNER'S ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF THEIR WORK.
- ALL FINISHES SHALL COMPLY WITH THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN THE APPLICABLE INTERNATIONAL BUILDING CODE.
- ALL DEMOLITION AND RELOCATING OF EXISTING MEP SYSTEMS EFFECTING NEW PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH RESPECTIVE SUBCONTRACTORS. RELOCATE/REWORK ALL ACTIVE MECHANICAL AND ELECTRICAL LINES WHERE REQUIRED DUE TO REMOVALS AND NEW LAYOUT. MODIFICATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTORS SHALL COORDINATE WITH PROPERTY MANAGER AS REQUIRED WHEN ITEMS OF NEW PLUMBING WORK REQUIRE ACCESS TO ADJACENT COMMON AREAS, AND TENANT SPACES OUTSIDE AREA OF WORK. REPLACE AND RESTORE FINISHES TO MATCH AFTER COMPLETION OF WORK.
- PROVIDE ALL BLOCKING REQUIRED TO INSTALL MILLWORK, EQUIPMENT, CASEWORK, GRAB BARS, RAILINGS, ETC. TYPE AND LOCATION SHALL BE SUBJECT TO REVIEW BY ARCHITECT.
- FOAM IN PLACE INSULATION FOR SMALL GAPS AND VOIDS.
- CAULK ALL JOINTS OF DISSIMILAR MATERIALS.
- PLAN DIMENSIONS ARE TO FACE OF PARTITION AT INTERIOR AND FACE OF FOUNDATION AT EXTERIOR, UNLESS OTHERWISE NOTED.
- REFER TO OWNERS ENVIRONMENTAL REPORT REGARDING CONTAMINANTS AND ASBESTOS ON THE PROJECT SITE/BUILDING.



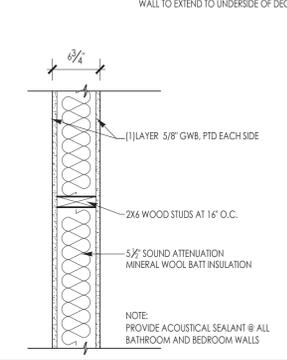
A1 EXTERIOR WALL ASSEMBLY
SCALE: 1" = 1'-0"
1-HOUR RATED



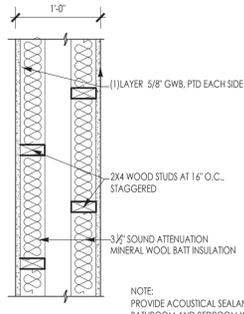
B1 PARTY WALL ASSEMBLY
SCALE: 1" = 1'-0"
1-HOUR RATED



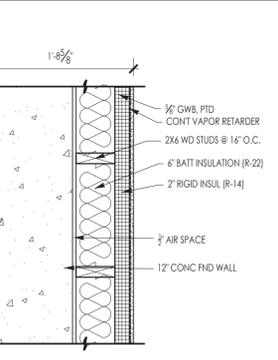
C4 INTERIOR WALL ASSEMBLY
SCALE: 1" = 1'-0"
WALL TO EXTEND TO UNDERSIDE OF DECK



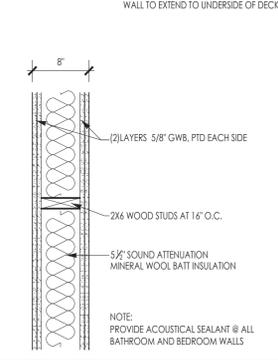
C6 INTERIOR WALL ASSEMBLY
SCALE: 1" = 1'-0"
1-HOUR RATED
SIM UL U419



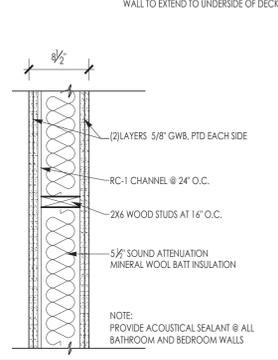
D INTERIOR + PLUMBING WALL ASSEMBLY
SCALE: 1" = 1'-0"
1-HOUR RATED



E EXTERIOR WALL ASSEMBLY
SCALE: 1" = 1'-0"
1-HOUR RATED



F1 INTERIOR WALL ASSEMBLY
SCALE: 1" = 1'-0"
1-HOUR RATED
STC: 51
SIM UL U419



F2 INTERIOR WALL ASSEMBLY
SCALE: 1" = 1'-0"
2-HOUR RATED
STC: 52
SIM UL U411

LINT COUNT BREAK DOWN
TOTAL UNITS: 24
STANDARD STUDIO: 12
HC STUDIO: 10
STUDIO PLUS: 2

MINIMUM ENERGY CODE VALUES (10% BETTER THAN 2021 IECC REQUIRED FOR CREDITS)	
GROUP R USES	
ROOF TO BE SOLAR READY	
HERS RATING (MIXED-FUEL)	42
ROOF	
INSULATION ABOVE DECK	R-33 CI
ATTIC INSULATION	R-66
WALLS ABOVE GRADE	
WOOD FRAMED	R-22 +R-5.5 CI
WALLS BELOW GRADE	
MASS	R-15 CI
FLOORS	
JOISTS/FRAMING	R-33
SLAB ON GRADE FLOORS	
UNHEATED SLAB	R-22 FOR 2'4" BELOW
HEATED SLAB	R-16.5 FOR 3'6" BELOW AND R-6 FULL SLAB
FENESTRATION	
FIXED	U-0.30
OPERABLE	U-0.32
ENTRANCE DOORS	U-0.42
SHGC, FIXED	PF<0.2 0.38
	0.2+PF<0.5 0.46
	PF>0.5 0.61
SHGC, OPER	PF<0.2 0.33
	0.2+PF<0.5 0.40
	PF>0.5 0.53
SKYLIGHTS	U-0.45
	SHGC 0.40

ARCHITECT:



ARCHITECT'S STAMP:



ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

■	SCHEMATIC	01.12.2026
■	DESIGN DEVELOPMENT	
■	BID	
■	PERMIT	
■	CONSTRUCTION	
■	EXISTING CONDITIONS	

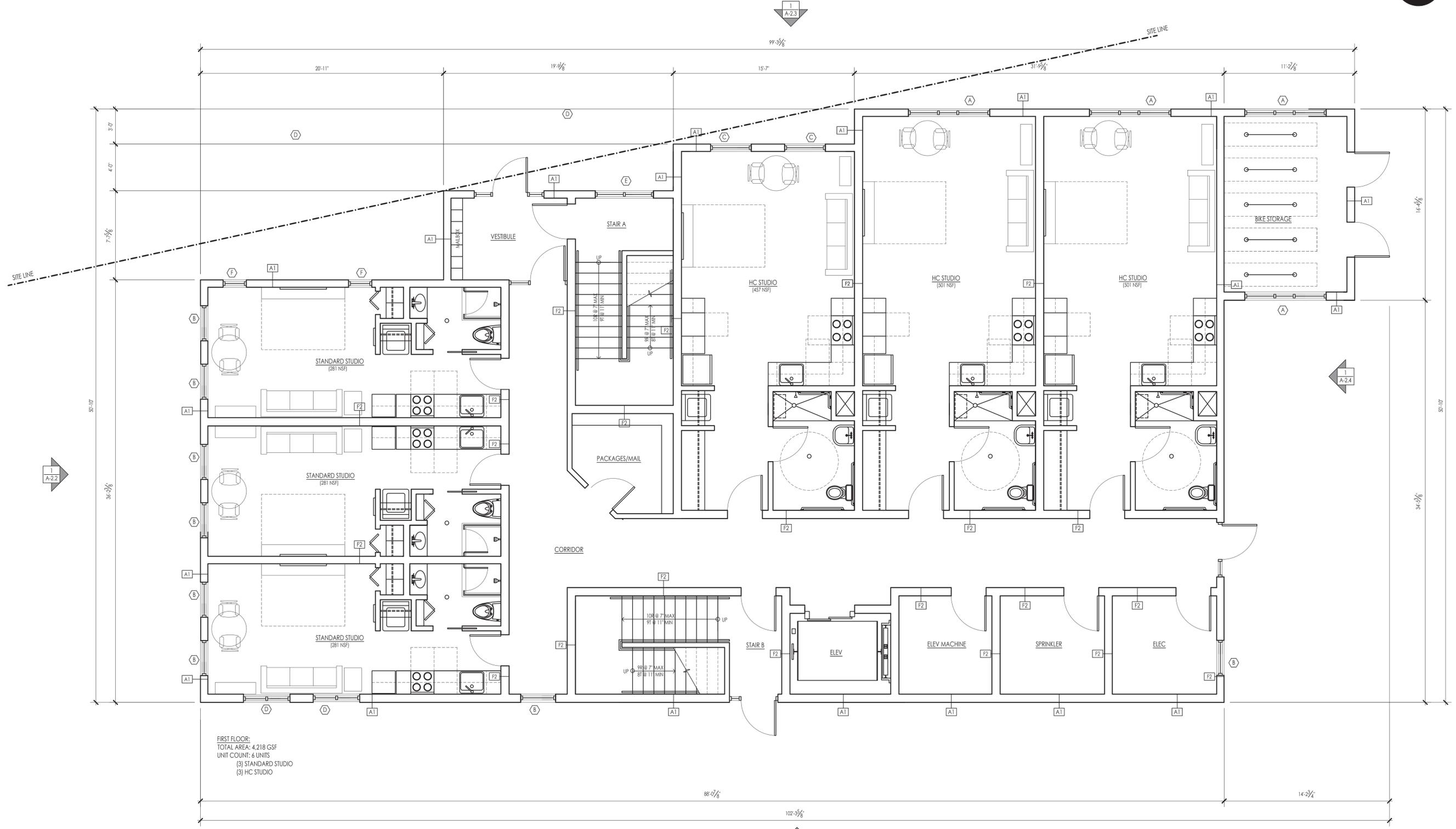
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REVISION DATE	

DATE:	01.12.2026
SCALE:	AS NOTED
PROJECT:	- -
DRAWN:	JGH
CHECKED:	JGH
PROJECT TITLE:	RESIDENTIAL BUILDING 342 WEST BOYLSTON STREET WORCESTER, MA 01606

SHEET TITLE:
GENERAL NOTES & DETAILS

SHEET NUMBER:

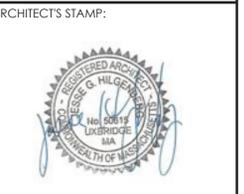
T-1.1



FIRST FLOOR:
 TOTAL AREA: 4,218 GSF
 UNIT COUNT: 6 UNITS
 (3) STANDARD STUDIO
 (3) HC STUDIO



ARCHITECT:
dha
DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET, SUITE 100
 WORCESTER, MA 01608
 (508) 755-0333 (F) 508-372-3368
 ADMIN@DIXONSALOARCHITECTS.COM



ARCHITECT'S STAMP:
 ENGINEER:
 ENGINEER'S STAMP:

GENERAL INFORMATION:

■	SCHEMATIC	01.12.2026
□	DESIGN DEVELOPMENT	
□	BID	
□	PERMIT	
□	CONSTRUCTION	
□	EXISTING CONDITIONS	

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	REVISION DATE

DATE: 01.12.2026
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 RESIDENTIAL BUILDING
 342 WEST BOYLSTON STREET
 WORCESTER, MA 01606

SHEET TITLE:
 PROPOSED FIRST FLOOR PLAN

SHEET NUMBER:
A-1.1

PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



ARCHITECT'S STAMP:



ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	01.12.2026
	DESIGN DEVELOPMENT	
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

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	REVISION DATE

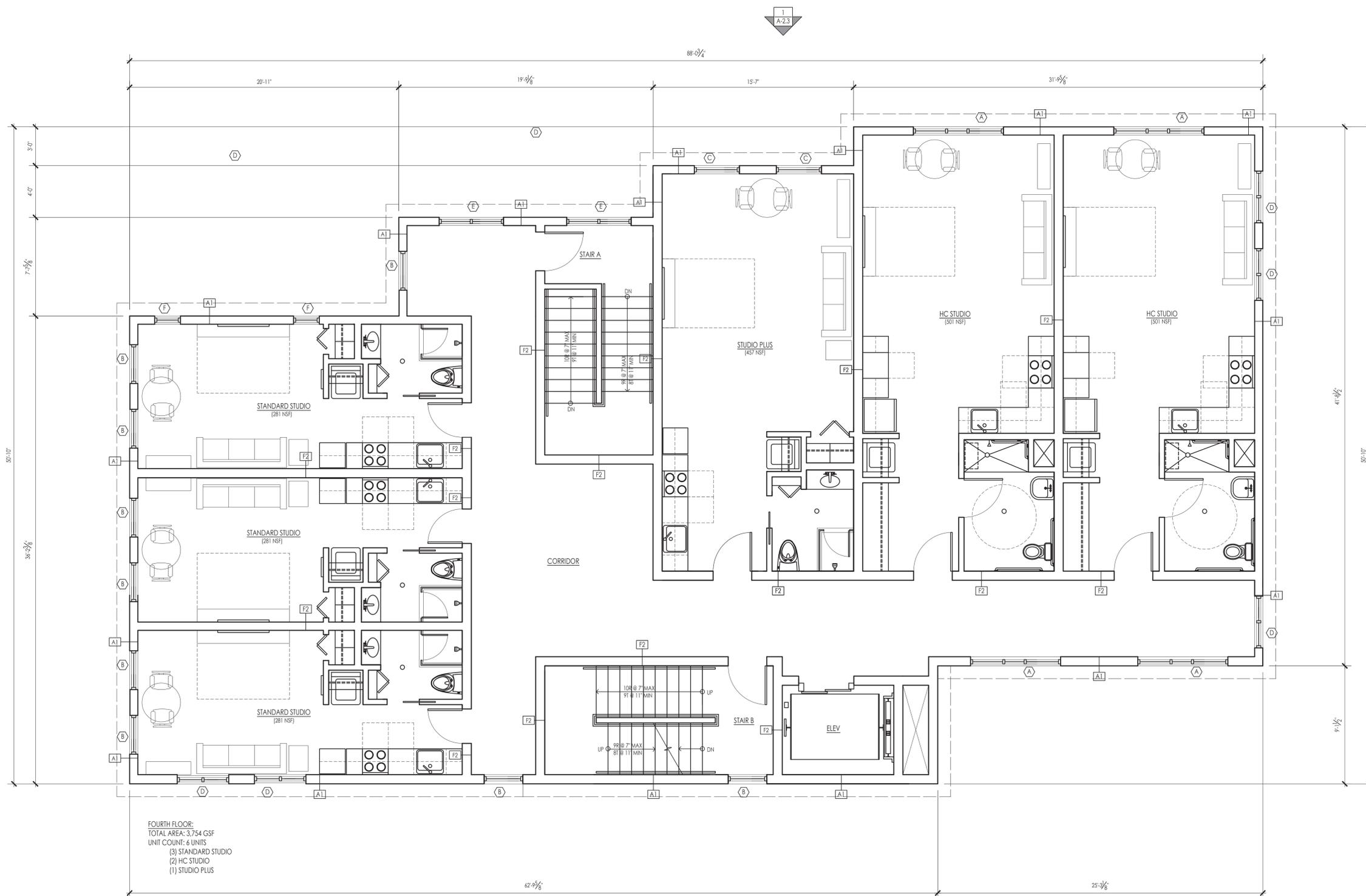
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CHECKED:	JGH

PROJECT TITLE:
 RESIDENTIAL BUILDING
 342 WEST BOYLSTON STREET
 WORCESTER, MA 01606

SHEET TITLE:
 PROPOSED FOURTH FLOOR PLAN

SHEET NUMBER:

A-1.4



FOURTH FLOOR:
 TOTAL AREA: 3,754 GSF
 UNIT COUNT: 6 UNITS
 (3) STANDARD STUDIO
 (2) HC STUDIO
 (1) STUDIO PLUS



ARCHITECT:

DIXON SALO ARCHITECTS
 INCORPORATED
 300 MAIN STREET, FIRST FLOOR
 WORCESTER, MASSACHUSETTS 01508
 (508) 752-5333 (F) 508-372-3368
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECTS STAMP:



ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	01.12.2026
	DESIGN DEVELOPMENT	
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

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	REVISION DATE

DATE: 01.12.2026

SCALE: AS NOTED

PROJECT: - -

DRAWN: JGH

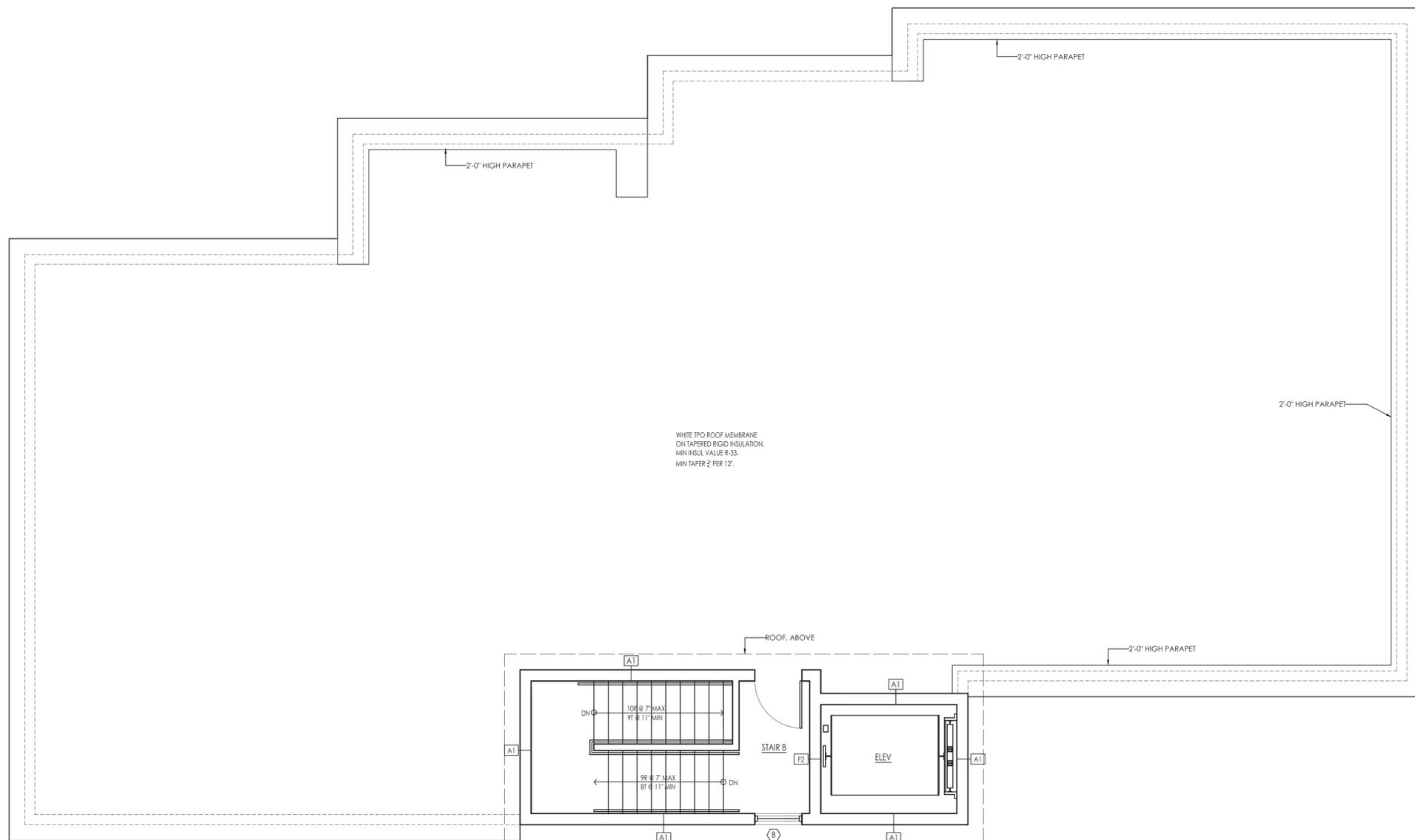
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PROJECT TITLE:
 RESIDENTIAL BUILDING
 342 WEST BOYLSTON STREET
 WORCESTER, MA 01606

SHEET TITLE:
 PROPOSED ROOF PLAN

SHEET NUMBER:

A-1.5



ROOF LEVEL
 TOTAL AREA: 266 GSF

NOTE:
 1. ROOF TO BE SOLAR READY (10 PSF MAX)

-  SCHEMATIC 01.12.2026
-  DESIGN DEVELOPMENT
-  BID
-  PERMIT
-  CONSTRUCTION
-  EXISTING CONDITIONS

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DATE: 01.12.2026
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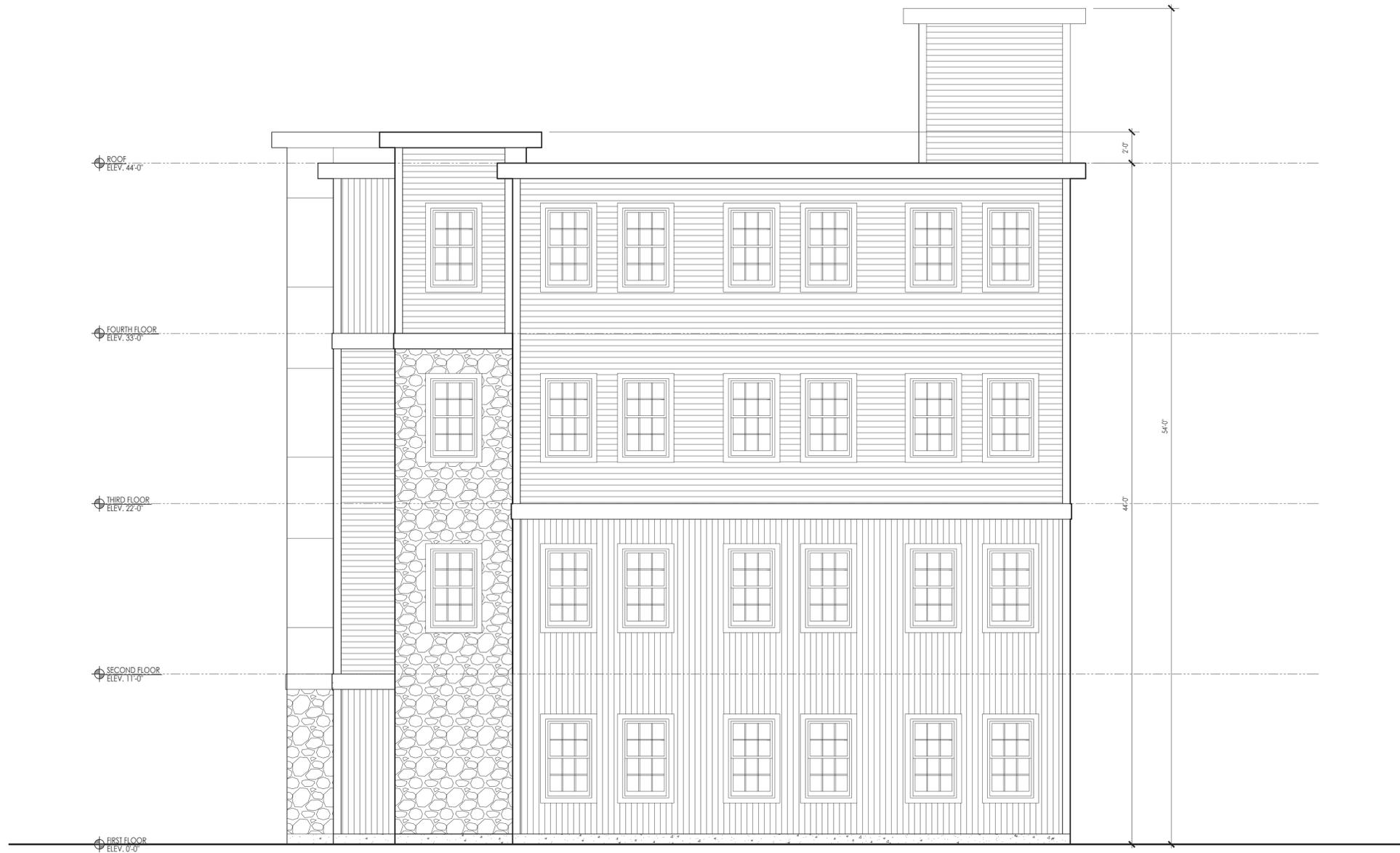
PROJECT TITLE:
 RESIDENTIAL BUILDING
 342 WEST BOYLSTON STREET
 WORCESTER, MA 01606

SHEET TITLE:
 PROPOSED WEST ELEVATION

SHEET NUMBER:
A-2.1



PROPOSED WEST ELEVATION
 SCALE: 1/2" = 1'-0" 



PROPOSED SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET, SUITE 200
 WORCESTER, MASSACHUSETTS 01608
 (508) 755-0333 (F) 508-372-3368
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:


ENGINEER:

ENGINEER'S STAMP:

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REVISION	DATE
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 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 RESIDENTIAL BUILDING
 342 WEST BOYLSTON STREET
 WORCESTER, MA 01606

SHEET TITLE:
 PROPOSED SOUTH ELEVATION

SHEET NUMBER:
A-2.2



ROOF
ELEV. 44'-0"

FOURTH FLOOR
ELEV. 33'-0"

THIRD FLOOR
ELEV. 22'-0"

SECOND FLOOR
ELEV. 11'-0"

FIRST FLOOR
ELEV. 0'-0"

ARCHITECT:

DIXON SALO ARCHITECTS
 INCORPORATED
 300 MAIN STREET, SUITE 200
 WORCESTER, MA 01608
 (508) 755-0333 (F) 508-372-8368
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECTS STAMP:


ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC
 DESIGN DEVELOPMENT
 BID
 PERMIT
 CONSTRUCTION
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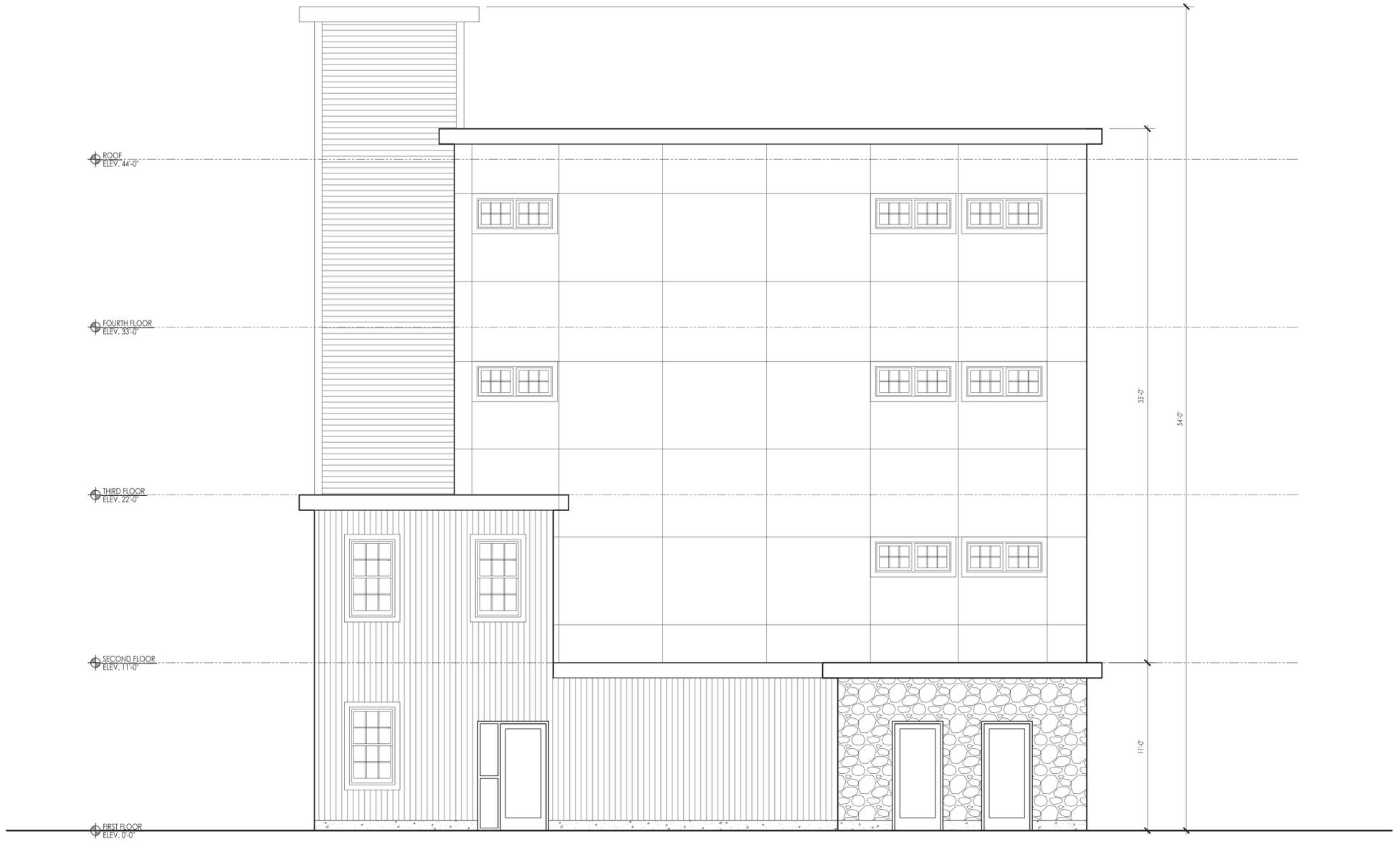
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PROJECT TITLE:
 RESIDENTIAL BUILDING
 342 WEST BOYLSTON STREET
 WORCESTER, MA 01606

SHEET TITLE:
 PROPOSED EAST ELEVATION

SHEET NUMBER:
A-2.3

PROPOSED EAST ELEVATION
 SCALE: 1/2" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/2" = 1'-0" 1
A-2.4

ARCHITECT:

DIXON SALO ARCHITECTS
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 (508) 755-0333 (F) 508-372-3368
 ADMIN@DIXONSALOARCHITECTS.COM



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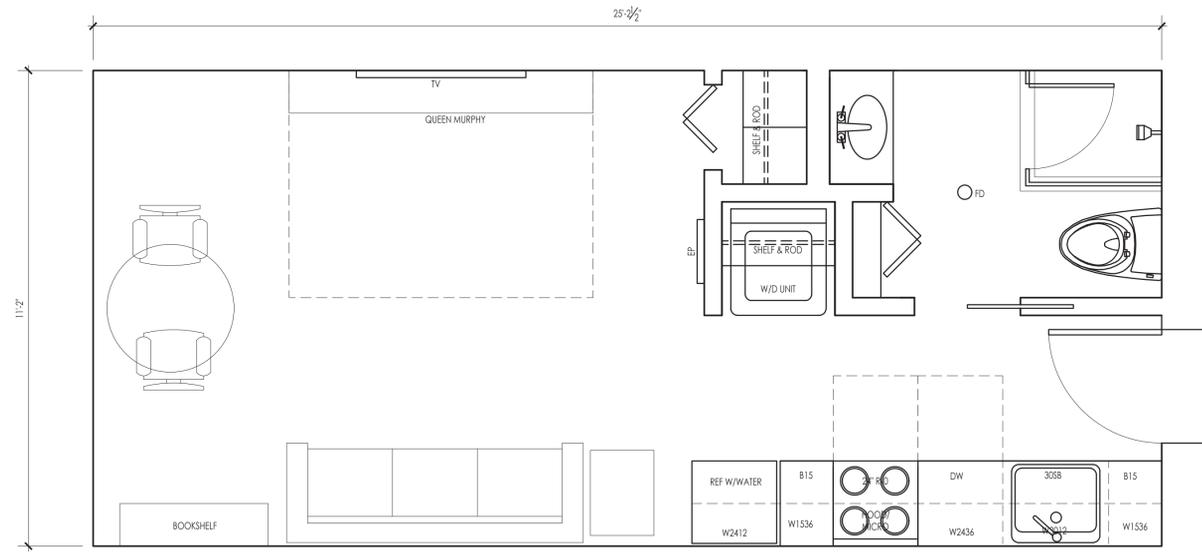
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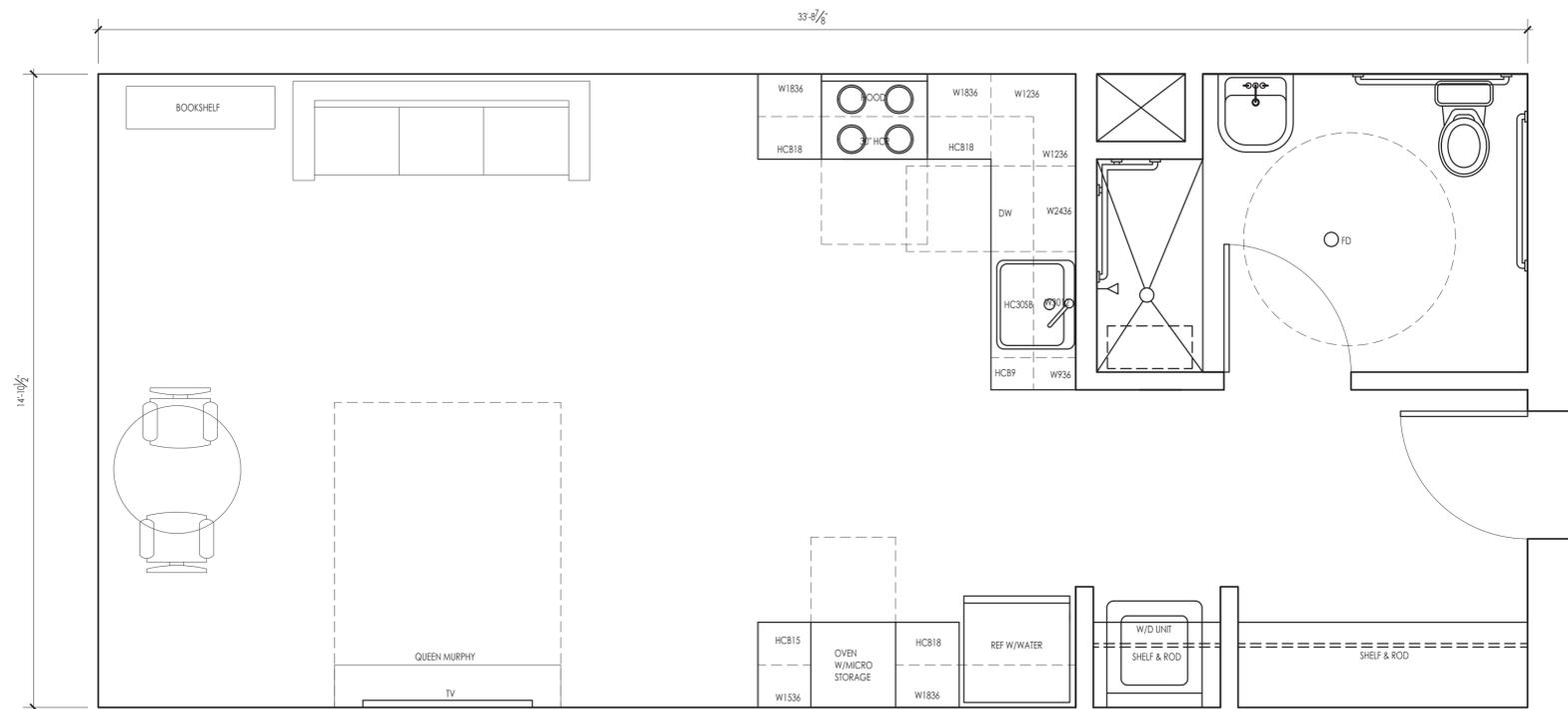
PROJECT TITLE:
 RESIDENTIAL BUILDING
 342 WEST BOYLSTON STREET
 WORCESTER, MA 01606

SHEET TITLE:
 PROPOSED NORTH ELEVATION

SHEET NUMBER:
A-2.4



PROPOSED UNIT PLAN - STANDARD STUDIO 1
A-3.1
SCALE: 1/2" = 1'-0"



PROPOSED STANDARD UNIT PLAN 2
A-3.1
SCALE: 1/2" = 1'-0"

ARCHITECT:

DIXON SALO ARCHITECTS
 INCORPORATED
 300 MAIN STREET, FIRST FLOOR
 WORCESTER, MASSACHUSETTS
 01508-7555 (TEL) 508.772.3368
 ADMIN@DIXONSALOARCHITECTS.COM



ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

- SCHEMATIC 01.12.2026
- DESIGN DEVELOPMENT
- BID
- PERMIT
- CONSTRUCTION
- EXISTING CONDITIONS

4	
3	
2	
1	
	REVISION DATE

DATE: 01.12.2026
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 RESIDENTIAL BUILDING
 342 WEST BOYLSTON STREET
 WORCESTER, MA 01606

SHEET TITLE:
 TYPICAL UNIT PLANS

SHEET NUMBER:
A-3.1



STONEFIELD

December 3, 2024

City of Worcester
Zoning Board of Appeals
455 Main Street
City Hall Room 404
Worcester, MA 01608

**RE: Traffic & Parking Assessment Report
Proposed Multifamily Residential Development
342 West Boylston Street
Parcel ID 12-007-00009
City of Worcester, Worcester County, Massachusetts
SE&D Job No. BOS-240110**

Dear Board Members:

Stonefield Engineering and Design, LLC (“Stonefield”) has prepared this analysis to examine the potential traffic and parking impacts of the proposed multifamily residential development on the adjacent roadway network. The subject property is located at the northeasterly quadrant of the intersection of West Boylston Street and Andover Street in the City of Worcester, Worcester County, Massachusetts. The subject property is designated as Parcel ID 12-007-00009 as depicted on the City of Worcester Tax Map. The site has approximately 168 feet of frontage along West Boylston Street and approximately 105 feet of frontage along Andover Street. The existing site is occupied by a vacant one (1)-story building which historically operated with a “D’Angelo Grilled Sandwiches” fast-casual restaurant tenant. The existing access is provided via two (2) driveways along West Boylston Street.

Under the proposed development program, the existing building would be razed and a five (5)-story residential building comprising of 24 studio units would be constructed. Vehicular access would be consolidated to one (1) full-movement driveway along West Boylston Street in the approximate location of the existing northerly curb cut.

Existing Conditions

The subject property is located at the northeasterly quadrant of the intersection of West Boylston Street and Andover Street in the City of Worcester, Worcester County, Massachusetts. The subject property is designated as Parcel ID 12-007-00009 as depicted on the City of Worcester Tax Map. The site has approximately 168 feet of frontage along West Boylston Street and approximately 105 feet of frontage along Andover Street. Land uses in the area are predominantly residential, commercial, and institutional.

West Boylston Street (MA Route 12) is classified as an urban minor arterial roadway with a general north-south orientation and is under the jurisdiction of the City of Worcester. Along the site frontage, the roadway provides two (2) travel lanes in each direction, carries approximately 12,302 vehicles daily, and has a speed limit of 30 mph in accordance with the City of Worcester Department of Transportation and Mobility’s (DTM) updated regulatory speed limits, dated September 25, 2024. Curb and sidewalk are provided along both sides of the roadway, shoulders are not provided along either side of the roadway, and on-street parking is generally permitted along the easterly side of the roadway in accordance with posted curbside regulations. West Boylston Street provides north-south mobility throughout the City of Worcester for primarily residential, commercial, and institutional uses along its length.

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120 WASHINGTON STREET, SALEM, MA 01970 617.203.2076 T.

Andover Street is classified as an urban collector roadway with a general east-west orientation and is under the jurisdiction of the City of Worcester. Along the site frontage, the roadway provides one (1) travel lane in each direction and has a speed limit of 25 mph in accordance with the aforementioned City of Worcester’s updated regulatory speed limits. Curb and sidewalk are provided along both sides of the roadway, shoulders are not provided along either side of the roadway, and on-street parking is permitted along both sides of the roadway. Andover Street connects West Boylston Street and Fraternal Avenue for primarily residential and institutional uses along its length.

West Boylston Street and Andover Street intersect to form an unsignalized T-intersection with the westbound approach of Andover Street operating under stop control. The westbound approach of Andover Street provides one (1) exclusive right-turn lane. The northbound approach of West Boylston Street provides one (1) exclusive through lane and one (1) shared through/right-turn lane. The southbound approach of West Boylston Street provides two (2) exclusive through lanes. A crosswalk and pedestrian ramps are provided across the easterly leg of the intersection.

The subject site is located within 700 feet (3-minute walk) of five (5) bus stops serving the Worcester Regional Transit Authority’s (WRTA) Bus Routes 30 and 31. These nearby bus stops are illustrated on appended **Figure I**. WRTA Bus Routes 30 and 31 provide direct service to the West Boylston Wal-Mart, Lincoln Plaza, Quinsigamond Community College, and the WRTA Union Station Hub, where transfer service is available to the Framingham/Worcester Line of the Massachusetts Bay Transportation Authority (MBTA) Commuter Rail, Amtrak’s Lake Shore Limited Line, and several additional WRTA bus routes. The MBTA Framingham/Worcester Line provides connection between Worcester and Boston, and the Amtrak Lake Shore Limited Line provides connection between Boston, New York City, Buffalo, and Chicago.

Trip Generation

Trip generation projections for the proposed development were prepared utilizing the Institute of Transportation Engineers’ (ITE) Trip Generation Manual, 11th Edition. Trip generation rates associated with Land Use 221 “Multifamily Housing (Mid-Rise)” were cited for the proposed five (5)-story residential building with 24 dwelling units. **Table I** provides the weekday morning peak hour, weekday evening peak hour, and weekday trip generation volumes associated with the proposed development.

TABLE I – PROJECTED TRIP GENERATION

Land Use	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Weekday		
	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
24-Unit Multifamily Housing (Mid-Rise) <i>ITE Land Use 221</i>	2	7	9	6	4	10	54	55	109

As shown in **Table I**, the proposed development is expected to generate approximately nine (9) and 10 total trips during the weekday morning and weekday evening peak hours, respectively, and a total of 109 total trips daily. Based on the City of Worcester’s Guidelines for Performing Traffic Impact Studies, an application is considered to result in an insignificant traffic impact to the local roadway network if the development is projected to generate less than 20 vehicle trip ends during the peak hour period or less than 200 vehicle trip ends per day. Additionally, based on Multimodal Transportation Impact Analysis for Site Development published by ITE, a trip increase of less than 50 vehicle trips during a single peak hour would likely not change the level of service of the roadway system or appreciably increase the volume-to-capacity ratio of an intersection approach. As such, the development is not anticipated to have a significant adverse impact on the adjacent roadway network operations based on the City of Worcester and industry standards.

It is important to note that the subject site was previously developed as a fast-casual restaurant which historically generated traffic to and from the site. Further, fast-food restaurants without a drive-through window are permitted as-of-right uses within the Business Limited (BL-1) District, where the subject site is located; therefore, it is reasonable to consider the traffic impacts associated with the existing building were it to be re-tenanted in the future and the proposed development not constructed. As such, trip generation rates associated with Land Use 933 “Fast-Food Restaurant without Drive-Through Window” were cited for the approximately 1,750-square-foot existing building. **Table 2** shows the net trip generation projection associated with the existing and proposed uses on site.

TABLE 2 – NET TRIP GENERATION – PERMITTED AS-OF-RIGHT USE

Land Use	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Weekday		
	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
Existing 1,750 SF Fast-Food Restaurant without Drive-Through Window <i>ITE Land Use 933</i>	44	32	76	29	29	58	394	394	788
Proposed 24-Unit Multifamily Housing (Mid-Rise) <i>ITE Land Use 221</i>	2	7	9	6	4	10	54	55	109
NET	-42	-25	-67	-23	-25	-48	-340	-339	-679

As shown in **Table 2**, the proposed redevelopment program results in a significant decrease in site-generated trips during the weekday morning peak hour, weekday evening peak hour, and typical weekday compared to a more intensive permitted use which could reasonably occupy the site in the future.

Site Circulation/Parking Supply

A review was conducted of the proposed residential development using the Land Development Concept Plan prepared by Hancock Associates, dated December 3, 2024. In completing this review, particular attention was focused on site access, circulation, and parking supply.

Vehicular access is proposed via one (1) full-movement driveway along West Boylston Street in the approximate location of the existing northerly curb cut. It should be noted that the subject site historically operated with two (2) driveways along West Boylston Street, and therefore the proposed consolidation to one (1) driveway is an improvement in terms of safety. Additionally, the proposed driveway will be positioned at the northernmost property extents to ensure the maximum achievable separation from the adjacent intersection in accordance with industry standards. The proposed residential building will be constructed on the southwestern portion of the site. A trash enclosure will be located at the northeast corner of the property. Two (2)-way vehicular circulation will be facilitated on site via 22-foot-wide drive aisles. Off-street parking will be provided along the northerly and easterly perimeters of the property. A pedestrian pathway will be provided along the easterly and southerly building frontages to facilitate pedestrian mobility between the public right-of-way and the proposed off-street parking lot.

The sight lines for the proposed site driveway were evaluated in accordance with the American Association of State Highway and Transportation Officials (AASHTO) standards for a conservative design speed of 37 mph based on historical speed data published by MassDOT along West Boylston Street to the north of the subject site. The sight distance calculations are based on information published in AASHTO’s A Policy on Geometric Design of Highways and Streets, 2018, 7th Edition. Based on the AASHTO standards as defined under

Case BI “Left-Turn from Stop,” a minimum intersection sight distance of 440 feet and a minimum stopping sight distance of 270 feet are required for the proposed driveway. Upon evaluation of the proposed layout plan, the sight lines at the proposed site driveway would be sufficient to support full-movement access based on AASHTO requirements for the conservative 37-mph design speed. It is important to note that the proposed layout plan would provide for improved sight line conditions compared to the existing site layout. It should also be noted that West Boylston Street is a signalized corridor, and therefore a platooning effect would be anticipated which would create natural gaps in travel along the corridor for vehicles to exit the site. The proposed development is a low traffic generator with up to seven (7) vehicles projected to exit during the critical weekday morning peak hour, which equates to approximately one (1) vehicle every 8.5 minutes. As such, it is anticipated that sufficient gaps will be available along the corridor for a vehicle to safely exit the driveway.

Regarding the parking requirements for the proposed development, City of Worcester Zoning Ordinance requires one (1) resident parking space per dwelling unit and one (1) guest/unreserved parking space per 10 units within the Commercial Corridor Overlay District (CCOD), where the subject site is located. For the proposed 24-unit residential development, this equates to 26 required spaces. The site would provide 16 total parking spaces, inclusive of one (1) ADA-accessible parking space. Therefore, this application will seek parking relief. The parking spaces would be nine (9) feet wide by 18 feet deep in accordance with City of Worcester Zoning Ordinance and industry standards.

It is important to consider the urban/suburban setting of the proposed development, the availability of nearby transit options, and the characteristics of the proposed use when assessing the adequacy of parking supply. Based on the ITE Journal article, “Do Land Use, Transit, and Walk Access Affect Residential Parking Demand,” there is a direct correlation between land use (i.e. rural/suburban/urban) and parking utilization, which “suggests that low auto ownership households often self-select locations than can support their transportation needs without a private vehicle.”

The proposed residential development is designed with a focus on affordable housing, catering to residents who fall within the 80-100% Area Median Income (AMI) bracket, a demographic less likely to own vehicles and rather commute via public transportation based on industry data. It is also important to consider the nature of the proposed development and the relationship between household size and vehicle ownership. As the proposed development will be comprised entirely of studio units, each unit would likely be occupied by a one (1) to two (2)-person household. Therefore, it is anticipated that vehicle ownership will generally be lower for future residents compared to multi-bedroom unit offerings which would typically attract families and/or larger parties that may be dependent on one (1) or more vehicles per unit.

The parking supply was evaluated with respect to data published within ITE’s Parking Generation, 6th Edition. Given limited sample sizes, data published for both Land Use 218 “Multifamily Housing – 1 BR (Mid-Rise),” and for Land Use 223 “Affordable Housing” were evaluated. The average parking demand rate during the peak weekday period for Land Use 218 “Multifamily Housing – 1 BR (Mid-Rise)” is 0.68 vehicles per unit, and for Land Use 223 “Affordable Housing” is 0.55 vehicles per bedroom. For the proposed residential development with 24 studio units, this equates to a projected peak parking demand of 13 to 16 vehicles. As such, the proposed parking supply of 16 spaces would be sufficient to support the demand of the proposed development.

It is important to note that as part of the proposed development program, the applicant will prepare a Transportation Demand Management Plan under separate cover which will inform residents of the available public transit opportunities and encourage multimodal transportation, thereby reducing vehicle dependency for future residents.

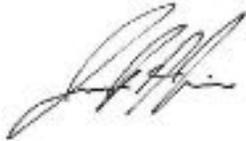
Based on nearby transit options for the site’s residents, ITE Journal article research, published ITE parking demand rates, and the characteristics of the proposed development, the proposed parking supply of 16 spaces would be sufficient to support the expected parking demand of the proposed development.

Conclusions

This report was prepared to examine the potential traffic impact of the proposed multifamily residential development. The analysis findings, which have been based on industry standard guidelines, indicate that the proposed development would not have a significant impact on the traffic operations of the adjacent roadway network. The site driveway and on-site layout have been designed to provide effective access to and from the subject property. The site's proximity to WRTA bus stops would contribute to a reduction in automobile use and the proposed development program would cater to a reduced vehicle dependency for future residents. Based on published ITE parking demand rates and local characteristics of the site and surrounding area, the parking supply would be sufficient to support this project.

Please do not hesitate to contact our office if there are any questions.

Best regards,



Joshua H. Kline, PE
Stonefield Engineering and Design, LLC



Victoria E. Epstein
Stonefield Engineering and Design, LLC



LEGEND

- WRTA Routes 30 & 31 Outbound Bus Stops
- WRTA Routes 30 & 31 Inbound Bus Stops

STONEFIELD

Proposed Residential Development
342 West Boylston Street
City of Worcester, Worcester County, Massachusetts
Traffic Assessment Report

FIGURE I
WRTA Bus Stop
Location Map

Eric D. Batista
CITY MANAGER



Timothy J. McGourthy
CHIEF FINANCIAL OFFICER

Samuel E. Konieczny
CITY ASSESSOR

CITY OF WORCESTER

ADMINISTRATION & FINANCE

Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 41

Parcel Address: 342 WEST BOYLSTON ST
Assessor's Map-Block-Lot(s): 12-007-00009

Owner: 342 WEST BOYLSTON LLC
40 JACKSON ST
SUITE 1000

Owner Mailing: WORCESTER, MA 01608

Petitioner (if other than owner): MARK A BORENSTEIN
Petitioner Mailing Address: PRINCE LOBEL TYE LLP
ONE MERCANTILE ST SUITE 220
WORCESTER, MA 01608

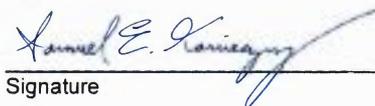
Planning: X Zoning: X Liquor License: _____ ConComm: _____
Historical: _____ Cannabis: _____ Other: _____

FIALHO, PAULO CESAR +	12-007-00012	0013 ANDOVER ST	WORCESTER, MA 01606
NEW GARDEN PARK INC	37-001-00001	0089 SHREWSBURY ST	WORCESTER, MA 01604
REHB MANAGEMENT LLC	12-007-0001B	0142 LEEDS ST	WORCESTER, MA 01606
ROBERTS, GBIDEE	12-007-00010	0029 GOSNOLD ST	WORCESTER, MA 01606
HENRIQUEZ, PAMELA	12-007-00035	0026 KING PHILIP RD	WORCESTER, MA 01606
DELUCA, MICHAEL	12-007-00013	0323 LINCOLN ST APT 2L	WORCESTER, MA 01605
PONCE, ADELA VIRGINIA CARDONA	12-007-00014	0040 GOSNOLD ST	WORCESTER, MA 01606
DANAKOS, DYNAE	12-007-00005	0033 GOSNOLD ST	WORCESTER, MA 01606
REHB MANAGEMENT LLC	12-007-0001B	0142 LEEDS ST	WORCESTER, MA 01606
WEST BOYLSTON PARTNERS LLC	12-007-00006	0017 MELVILLE ST APT 1	WORCESTER, MA 01606
342 WEST BOYLSTON LLC	12-007-00009	0040 JACKSON ST SUITE 1000	WORCESTER, MA 01608
WEST BOYLSTON PARTNERS LLC	12-007-00006	0017 MELVILLE ST APT 1	WORCESTER, MA 01606
JHS REAL ESTATE INVESTMENT LLC	12-007-00026	0038 CHESTNUT ST	WESTBOROUGH, MA 01581
GORDON, DAVID W + ANDREA M	12-007-00034	0098 PROSPECT STREET	WEST BOYLSTON, MA 01583
PARENT, DAVID G + JEAN A	12-007-00011	0012 POND ST	PAXTON, MA 01612

MWANGI,CAROL W	12-007-00021	0022 GOSNOLD ST	WORCESTER, MA 01606
O'SULLIVAN PROPERTIES LLC	12-007-00020	0042 LAWS BROOK RD	CONCORD, MA 01742
FLOOD,JOSEPH	12-007-00022	0018 GOSNOLD ST	WORCESTER, MA 01606
ROTTI,JOSEPH W + WALTER R TRUSTEES	12-007-00023	0012 GOSNOLD ST	WORCESTER, MA 01606
GREEN,SADIE	12-007-00F-1	0025 ANDOVER ST UNIT F-1F-1	WORCESTER, MA 01606
MOTTA,MARY L + RONALD A	12-007-00S-2	0025 ANDOVER ST UNIT S-4S-2	WORCESTER, MA 01606
FRANKLIN,RICHARD C JR	12-007-00S-4	0025 ANDOVER ST UNIT S-42-4	WORCESTER, MA 01606
MOORE,HAILEY C	12-007-00F-4	0025 ANDOVER ST UNIT F-4F-4	WORCESTER, MA 01606
RUSSO,MICHELLE	12-007-00F-2	26 ANDOVER ST UNIT F-4F-UNIT 2FF-2	WORCESTER, MA 01606
FALVELLA,GEORGE P	12-007-00S-3	27 ANDOVER ST UNIT F-4F- UNIT S-3S-3	WORCESTER, MA 01606
DEYETTE,MARIE	12-007-00F-3	28 ANDOVER ST UNIT F-4F- UNIT F-3F-3	WORCESTER, MA 01606
MANGAN,PATRICIA A	12-007-00G-2	29 ANDOVER ST UNIT F-4F- G-2	WORCESTER, MA 01606
GEENTY,JOSEPH	12-007-00S-1	30 ANDOVER ST UNIT F-4F- UNIT S-1S-1	WORCESTER, MA 01606
CITY OF WORCESTER CITY MANAGER	12-004-00024	31 ANDOVER ST UNIT F-4F-	WORCESTER, MA 01608
JARZINSKI,KIMBERLY ANN	12-007-00G-1	32 ANDOVER ST UNIT F-4F-#G-1G-1	WORCESTER, MA 01606
DEMARIS,MELANIE	12-007-00G-3	33 ANDOVER ST UNIT F-4F-G-3	WORCESTER, MA 01606-2341
LEONARD,DEAN	12-007-00019	34 ANDOVER ST UNIT F-4F-	WORCESTER, MA 01606
ALMSTROM,LOIS F TRUSTEE	12-007-17+18	35 ANDOVER ST UNIT F-4F-	JEFFERSON, MA 01522
FERREIRA,WERNER G + CHRISTINE A	12-007-00024	36 ANDOVER ST UNIT F-4F-	MASHPEE, MA 02649
SAINT-GOBAIN ABRASIVES INC	13-035-00001	13155 NOEL RD STE 100	DALLAS, TX 75240
ITALIANO,WILLIAM S JR	12-007-01A+2	38 ANDOVER ST UNIT F-4F-	WORCESTER, MA 01606
LAMBERT,MARK R	12-007-03+30	39 ANDOVER ST UNIT F-4F-	WORCESTER, MA 01606-2340
ITALIANO,WILLIAM S JR	12-007-00004	40 ANDOVER ST UNIT F-4F-	WORCESTER, MA 01606
BOSTON & MAINE CORPORATION	RR-ROW-000ST	41 ANDOVER ST UNIT F-4F-	NORTH BILLERICA, MA 01862-1641
MILOSH,ARTHUR P + SANDRA L	12-007-00033	42 ANDOVER ST UNIT F-4F-	WORCESTER, MA 01606-2332
PROVIDENCE & WORCESTER RAILROAD CO	RR-ROW-000PW	43 ANDOVER ST UNIT F-4F-	WORCESTER, MA 01610-1723

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 12-007-00009 as cited above.

Certified by:



 Signature

12/29/2025
 Date

Eric D. Batista
CITY MANAGER



CITY OF WORCESTER
ADMINISTRATION & FINANCE

Timothy J. McGourthy
CHIEF FINANCIAL OFFICER
Samuel E. Konieczny
CITY ASSESSOR

Abutters Map

