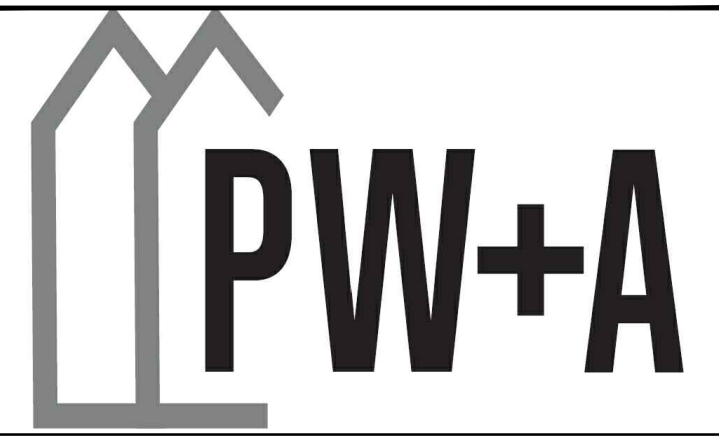


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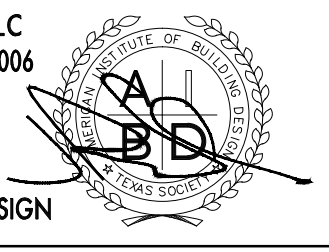
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 Jack Preston Wood PBD Certification: TX-431  
 AMERICAN INSTITUTE OF BUILDING DESIGN



REDRAW # E8005 - D1.1

DESIGNER:	DATE:	PRODUCTION 4:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1:	DATE:	SENT TO ENGINEER:	DATE:
BBB	12-19-19	XXX	X-X-XX
PRODUCTION 2:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	BBB	1-3-20
PRODUCTION 3:	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

**CODE INFORMATION**

**BUILDING CODE:** 2012 I.R.C. WITH CITY OF HOUSTON AMENDMENTS

**OCCUPANCY:** GROUP R-3  
SINGLE FAMILY HOME

**BUILDING CONSTRUCTION TYPE:** TYPE V-B NON-RATED

**FIRE PROTECTION:** GROUP R-3  
LESS THAN 4-STORIES  
NO FIRE SPRINKLER SYSTEM REQUIRED

**ALLOWABLE HEIGHT:** 2012 IBC, TABLE 503:  
3 TOTAL FLOORS WITH MAXIMUM HEIGHT OF 50'-0"

**FEMA ZONE: X**

**TABLE OF CONTENTS**

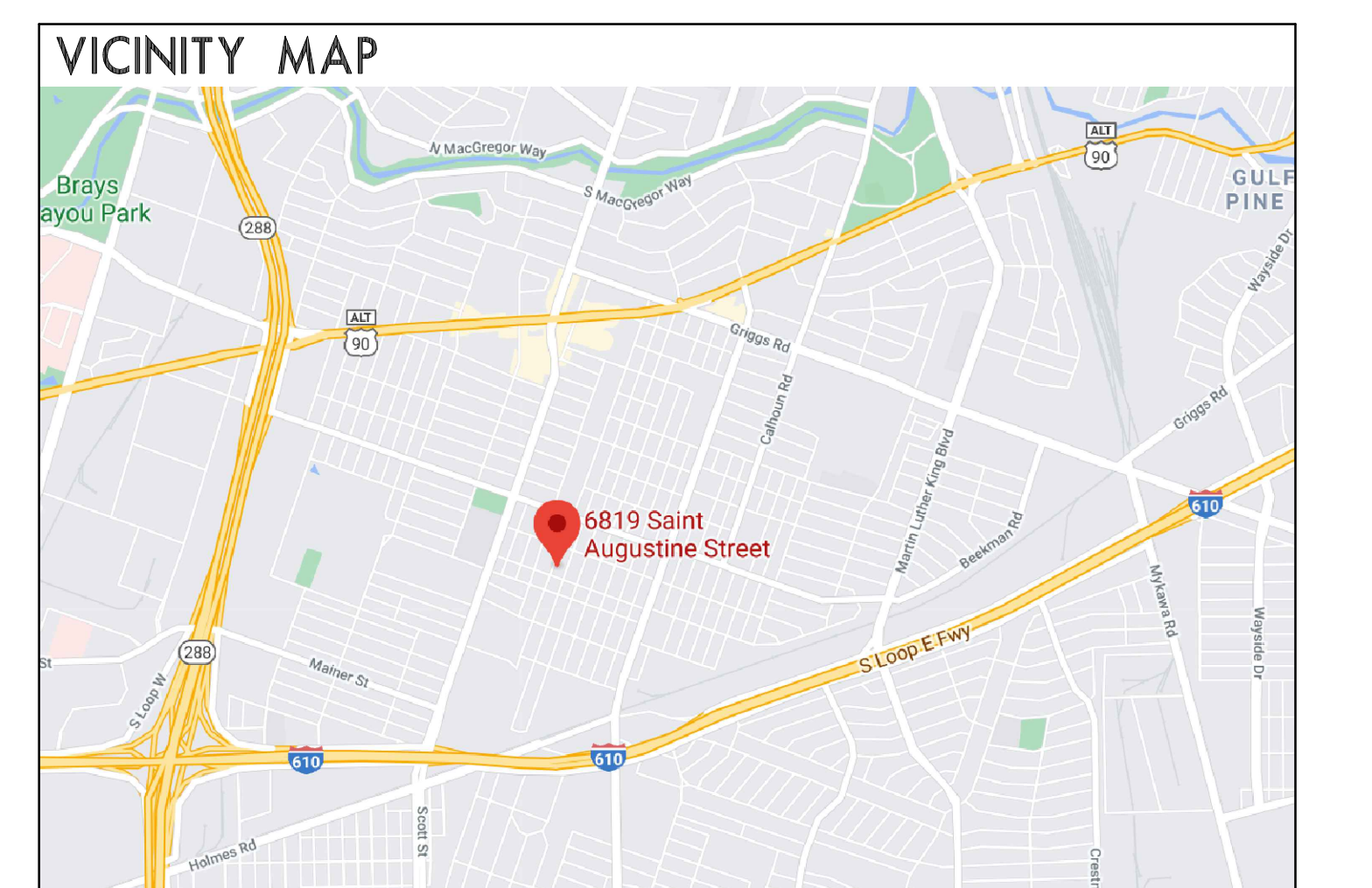
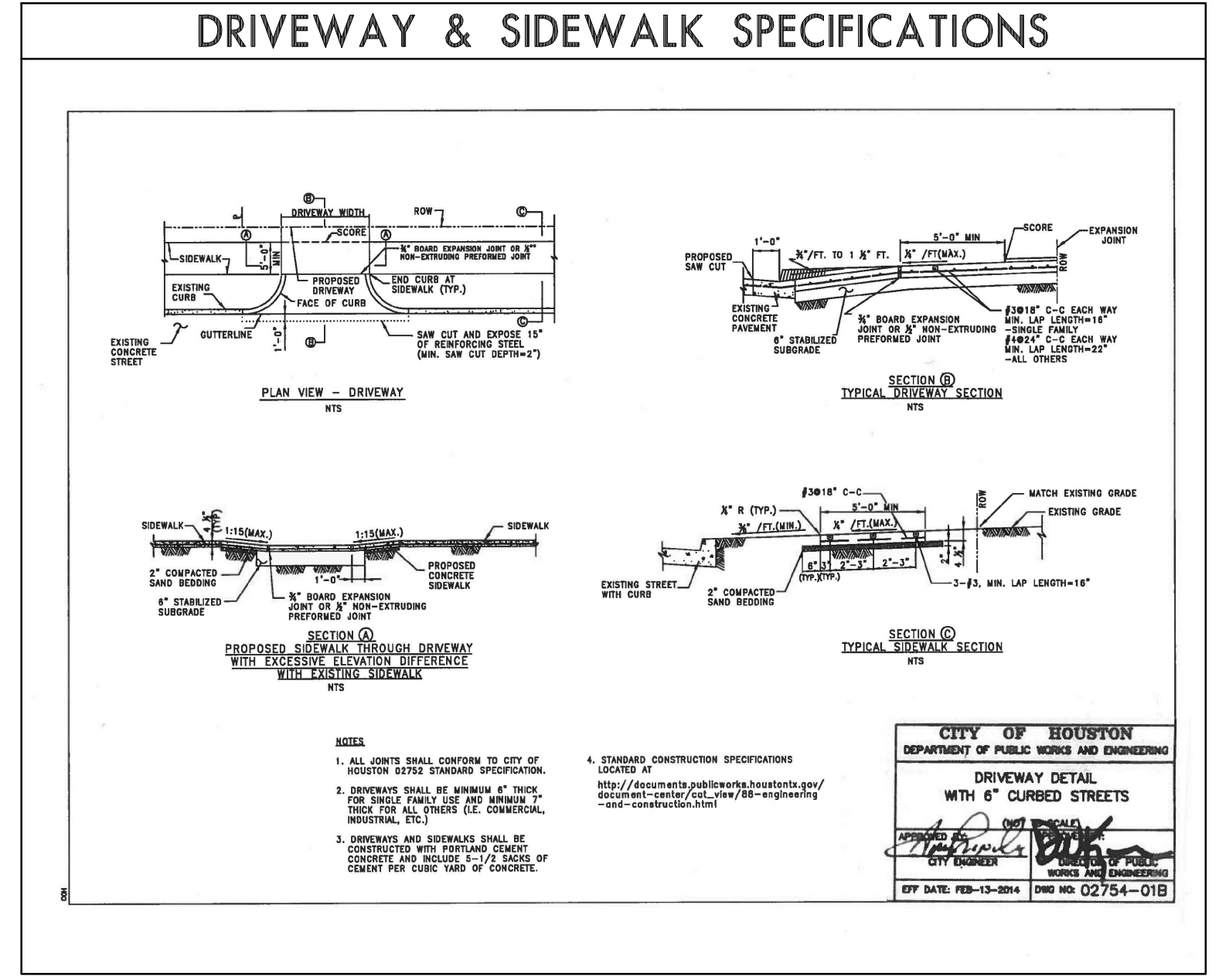
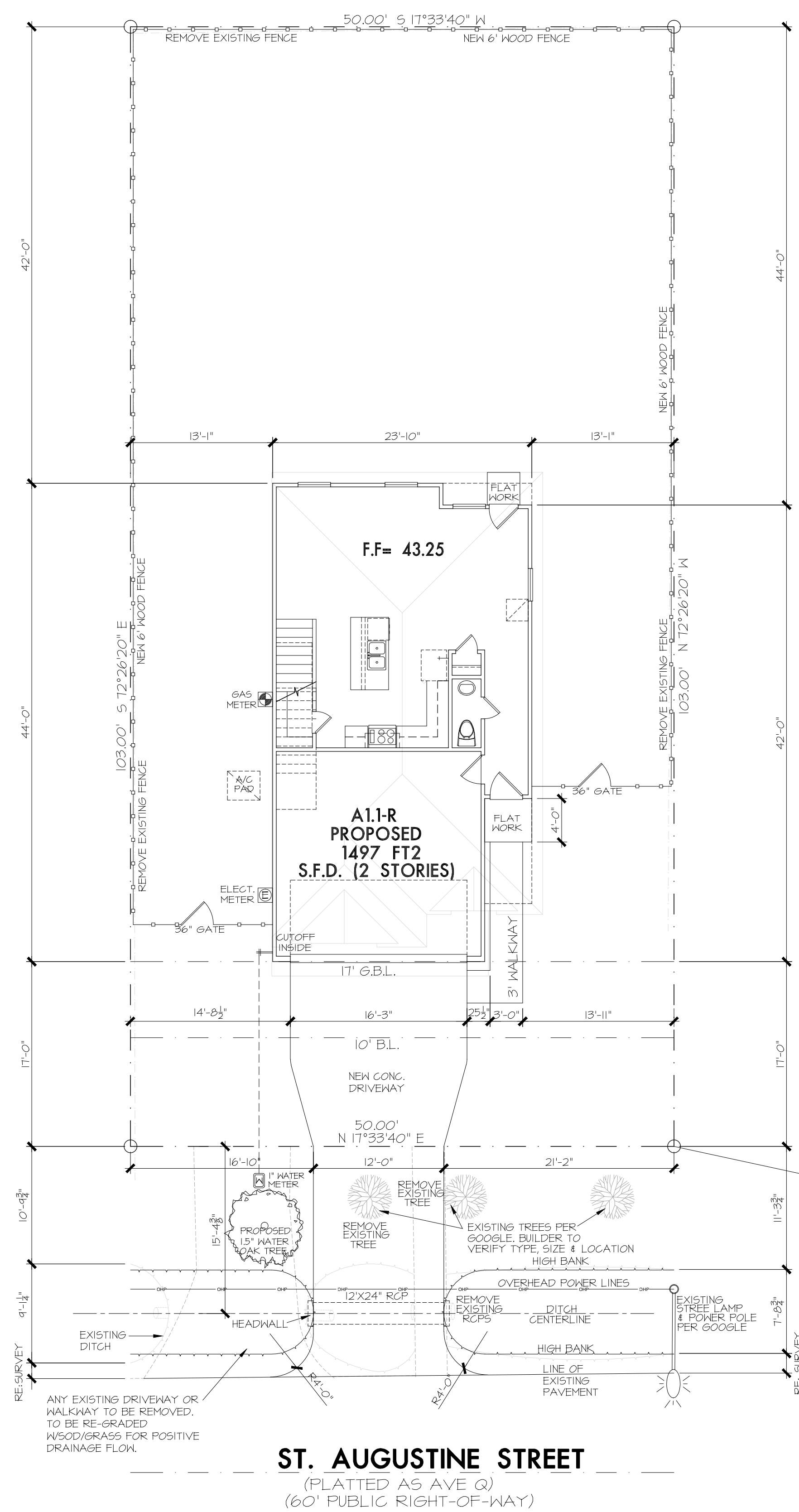
RENDERED FRONT	1
SITE PLAN	2A
GRADING PLAN	2B
FIRST & SECOND FLOOR	3
FRONT & RIGHT ELEVATIONS	4
REAR & LEFT ELEVATIONS	5
SECTIONS A-A & B-B	6
MILLWORK	7
FIRST & SECOND ELECTRICAL FLR	8
ROOF & FOUNDATION PLAN	9
DETAIL SHEET	10

**SQUARE FOOTAGES**

FIRST FLOOR:	592
SECOND FLOOR:	905
TOTAL LIVING AREA:	1497 S.F.
GARAGE:	376
TOTAL SLAB:	968 S.F.
PORCH: 40+16	56
TOTAL COVD:	1873 S.F.
TOTAL AREA:	1929 S.F.

**KIMBERLY LANE PROPERTIES**  
 6819 ST. AUGUSTINE STREET  
 HOUSTON, TX 77021

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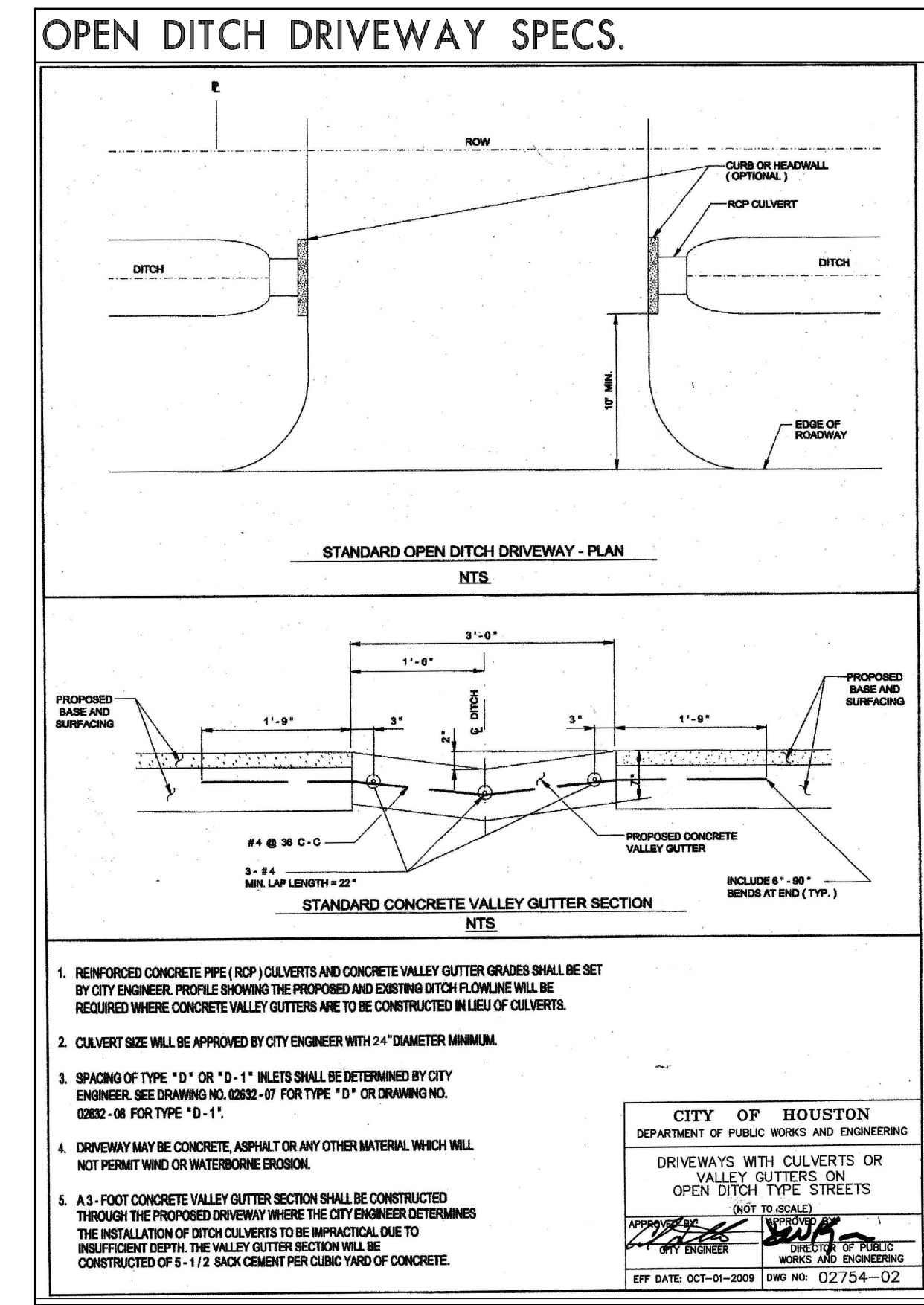
**SANITARY MANHOLE**  
RIM-42.21  
NE 10" RCP-34.36  
SE 12" RCP-30.71  
NW 12" RCP-30.76

TOP OF SLAB ELEVATIONS TO BE A MINIMUM OF 1'-0" ABOVE NEAREST SANITARY MANHOLE SERVICING THIS PROPERTY  
TOP OF EXISTING SAN. MANHOLE COVER ELEV: 42.21 M.S.L.

### TREE PROTECTION NOTES

\*REMEMBER TO INFORM SUBCONTRACTORS (INCLUDING PAINTERS AND DELIVERY PEOPLE) OF THE FOLLOWING:

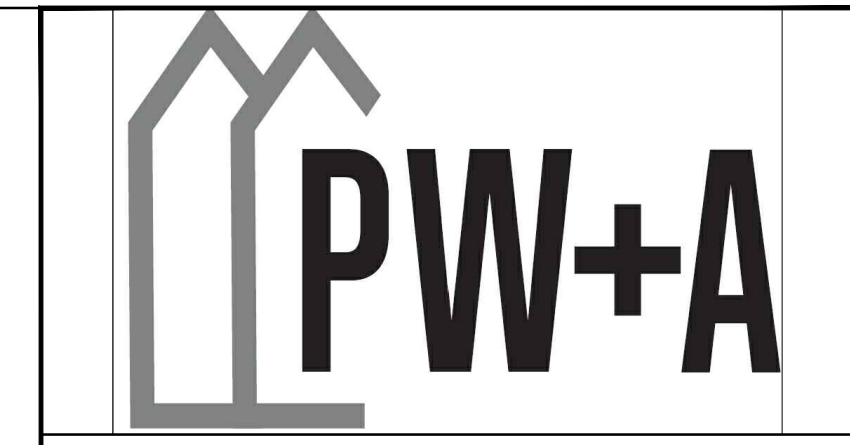
- PROTECTIVE TREE FENCING REGULATIONS-DO NOT REMOVE!!
- HAND DIG IN AREAS WITH TREE ROOTS, DO NOT CUT ROOTS LARGER THAN 1" IN DIAMETER - ALTER ROUTE OR BORE UNDER.
- DO NOT WASH CONCRETE, CHEMICALS OR PAINTS OUT IN TREE CRITICAL ROOT ZONES.
- PLACE PLASTIC UNDER NEW CONCRETE (I.E. SIDEWALKS AND DRIVEWAYS) TO PREVENT CHEMICAL LEACHING.
- NO HEAVY EQUIPMENT TRAFFIC IN TREE CRITICAL ROOT ZONES!
- NOTE ANY SPECIAL INSTRUCTIONS TO PROTECT TREES DURING CONSTRUCTION.
- REMOVE EXCESS SOIL PROMPTLY (I.E. FROM FOUNDATION PAD AND DRIVEWAY, SIDEWALK EXCAVATION) - DO NOT SPREAD OUT IN TREE CRITICAL ROOT ZONE.



### WATER-SUPPLY FIXTURE-UNIT VALUES

FIXTURE GROUP OR TYPE OF FIXTURE	VALUE	QTY.	TOTAL
FULL-BATH GROUP WITH BATHTUB OR SHOWER STALL (3 TOTAL FIXTURES)	3.6	2	7.2
HALF-BATH GROUP (2 FIXTURES)	2.6	1	2.6
KITCHEN GROUP (SINK AND D.W.)	2.5	1	2.5
LAUNDRY GROUP (WASHER AND SINK)	2.5	0	0
BATHTUB	1.4	0	0
BIDET	0.7	0	0
CLOTHES WASHER	1.4	1	1.4
DISHWASHER	1.4	0	0
HOSE BIB / LANDSCAPE SPRINKLER	2.5	3	7.5
KITCHEN SINK	1.4	0	0
LAVATORY	0.7	1	0.7
LAUNDRY TUB	1.4	0	0
SHOWER STALL	1.4	1	1.4
WATER CLOSET (TANK TYPE)	2.2	0	0
<b>TOTAL W.S.F.U.</b>			<b>23.3</b>
<b>WATER METER SIZE:</b>			<b>1"</b>
<b>WATER LINE SIZE:</b>			<b>1"</b>

2012 IRC TABLE P2403.6



**PRESTON WOOD & ASSOCIATES, LLC**  
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phone: 713.522.2724  
www.jackprestonwood.com  
Jack Preston Wood PBD Certification: TX-431  
AMERICAN INSTITUTE OF BUILDING DESIGN

REDRAW #

DESIGNER:	DATE:	PRODUCTION 4:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1:	DATE:	SENT TO ENGINEER:	DATE:
XXX	9-15-2011	XXX	X-X-XX
PRODUCTION 2:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 3:	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

- ### SITE NOTES
- ALL DRAWINGS PRESENTED HERE REFERENCES THE 2012 IRC AND 2012 IBC BUILDING CODES HIGHLY OF HOUSTON AMENDMENTS.
  - FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 12" ABOVE THE TOP OF THE NEAREST SANITARY SEWER MANHOLE COVER. QUALIFIED ENGINEER TO DETERMINE FINAL SLAB ELEVATION AND PROVIDE A SITE GRADING PLAN OR PER LOCAL AUTHORITY.
  - ELEVATION OF THE NEAREST SANITARY SEWER MANHOLE COVER IS ASSUMED TO BE 100.0'. CURB ELEVATION (AS REFERENCED) TAKEN FROM TOP OF THE CURB.
  - BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING, BLOCK FACE, AND SETBACK LINES PRIOR TO CONSTRUCTION.
  - PLUMBER TO CONNECT INTO EXISTING SANITARY SEWER. PIPING TO BE SCH. 40 P.V.C. (OR EQ.) INSIDE PROPERTY, AND CONCRETE PIPING IN THE R.O.W. OR EASEMENT. SEE PLAN FOR SIZES.
  - PLUMBER TO DETERMINE LOCATION OF WATER METER AND TO CONTACT THE LOCAL AUTHORITY TO CONNECT WATER PIPE AND METER SIZES TO CONFORM WITH 2012 U.P.C. PIPING TO BE SCH. 40 P.V.C. (OR EQ.) SEE PLAN FOR SIZES. ABOVE GRADE "ELBOWS" ALLOWED FOR WATER AND GAS LINES ENTERING THE BUILDING PROPER (ONLY).
  - ELECTRICIAN TO RUN THREE UNDERGROUND CONDUITS FROM SOURCE POLE OR TRANSFORMER TO GARAGE FOR: A) ELECTRIC SERVICE, B) COMMUNICATION SERVICE, C) ENTERTAINMENT SERVICE. AT THE SAME LOCATION PROVIDE CONDUITS IN SLAB PRIOR TO POUR, TO MINIMIZE ABOVE GRADE "ELBOWS" ENTERING THE BUILDING PROPER.
  - ALL DRAINAGE AND RUNOFFS SHALL BE COLLECTED ON SITE IN AN UNDERGROUND SYSTEM OR DIRECTED ON THE SURFACE TO THE STREET DRAINAGE AND RUNOFF ARE NOT ALLOWED TO BE DIRECTED ONTO ADJACENT PROPERTIES. SEE SHALE DETAIL. DRAIN PIPING TO BE SCH. 40 P.V.C. (OR EQ.) WHEN AREA DRAINS.
  - PROVIDE ONE QUALIFIED TREE PER 5000 SQ. FT. OF LOT SIZE OR ONE QUALIFIED TREE PER FAMILY.
  - SHADED AREAS DESIGNATES MINIMUM COMMON AREAS AND/OR PRIVATE UTILITY EASEMENTS (PER APPLICATION). THIS PLAN IS USED AS A GUIDE FOR THE DRAFTING OF THE REQUIRED COMMON AREA AGREEMENT LETTER. THE REQUIRED COMMON AREA AGREEMENT LETTER TAKES PRECEDENCE.
  - ALL WATER, SANITARY SEWER, STORM, ELECTRICAL PIPING, AND PAVING LOCATED IN THE COMMON AREAS) ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
  - SIMILAR LINES (ELECTRIC, WATER, COMMUNICATION, ENTERTAINMENT) OF EACH TYPE CAN BE LOCATED IN THE SAME DITCH PROVIDED ALL LINES ARE SLEEVED THE ENTIRE RUN OR MAINTAIN MINIMUM 36 INCH SPACING BETWEEN ALL LINES.
  - ALL PIPING IN THE R.O.W. SHALL BE REINFORCED CONCRETE.
  - PROVIDE MINIMUM 12" CLEARANCE OF A/C PADS TO ANY VERTICAL SURFACE WITH MINIMUM 18" BETWEEN A/C PADS, AND A 30" MINIMUM SERVICE AREA.
  - ALL FENCING ALONG PROJECT BOUNDARY, AGAINST AN ADJACENT PROPERTY, TO BE MIN. 6 FOOT HOOD FENCE. ANY FENCE SHOWN AGAINST THE R.O.W. TO BE METAL AND CAN BE PLACED AGAINST THE PROPERTY LINE PROVIDED THE 6 FOOT MIN. METAL FENCE IS 25% OR LESS OBSCURE (3/4 INCH BARS OR TUBES PLACED 4 TO 5 INCHES ON CENTER), OTHERWISE PLACE FENCE A MINIMUM OF 2 FOOT AWAY FROM THE PROPERTY LINE THAT IS AGAINST THE R.O.W.

**FEMA ZONE: X**

C.O.H. RESIDENTIAL TREE REQUIREMENTS:  
LOTS < 5000 S.F. - 1 TREE REQUIRED  
LOTS > 5000 S.F. - 2 TREE REQUIRED  
1 TREE MINIMUM REQUIRED IN R.O.W.

**COMMON DRAINAGE AGREEMENT BY OTHERS. IF REQUIRED**

### SITE SYMBOLS

⊕ ELEVATION MARK	▣ SITE AREA DRAIN
⊖ ELECTRICAL METER	▼ PHONE STUB
⊗ WATER METER	⊙ SEWER CLEAN OUT
⊕ GAS METER	⊕ HOSE BIB
⊕ FIRE WALL (TYPE)	⊕ A/C PAD
	⊕ POOL EQUIP.

### LOT AREA & COVERAGE

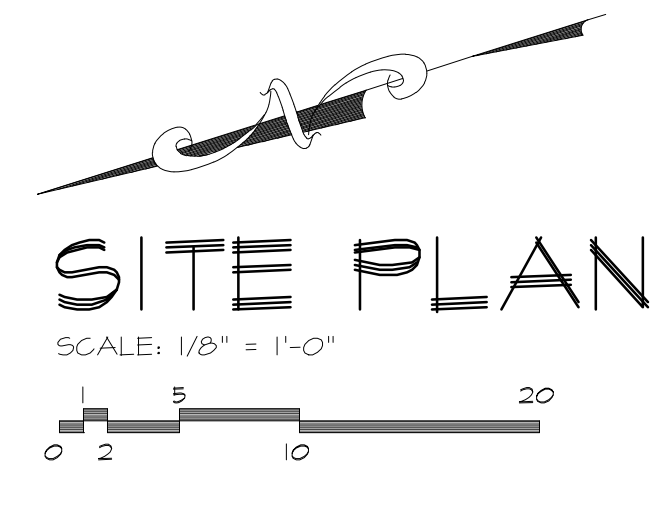
LOT SIZE	5150 S.F.
BUILDING COVERAGE	968 S.F.
% COVERAGE	18.8%
MAXIMUM ALLOWABLE COVERAGE IS 60%	
FLATWORK	323 S.F.
IMPERVIOUS AREA	1291 S.F.
% IMPERVIOUS COVER	25.1%
SHEET FLOW IS PERMITTED IF TOTAL IMPERVIOUS COVER IS LESS THAN 60%	

**KIMBERLY LANE PROPERTIES**  
6819 ST. AUGUSTINE STREET  
HOUSTON, TX 77021

JOB #  
**F0200-SITE-V1**

PERMIT SET

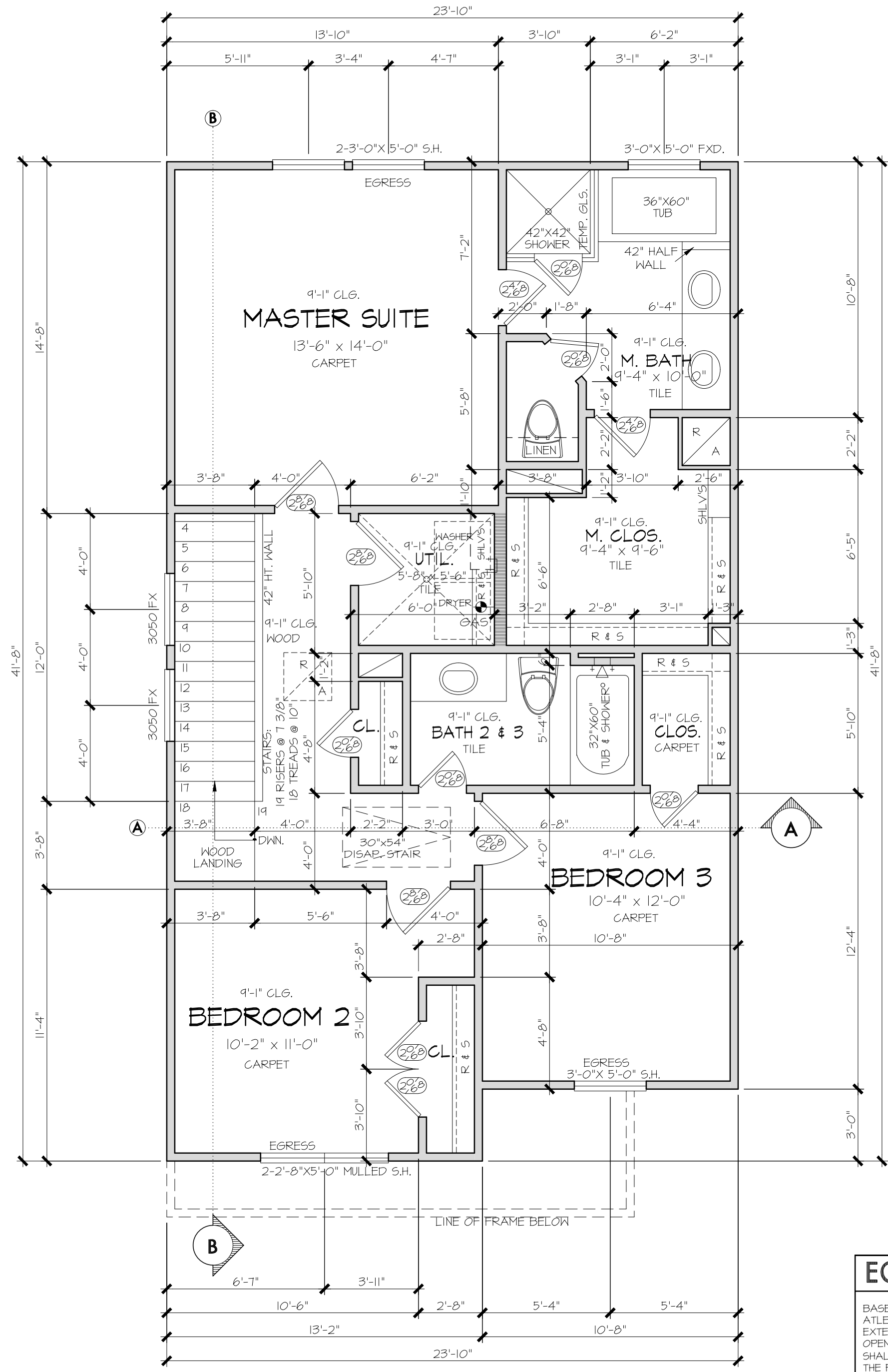
ISSUE DATE: **28 August 2020**



NOTE! BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING LINES AND SETBACK LINES PRIOR TO CONSTRUCTION



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**EGRESS REQUIREMENTS** 2012 I.R.C.

R301.1 IRC 2012 EMERGENCY ESCAPE AND RESCUE REQUIRED BASEMENTS W/ HABITABLE SPACE AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR EXTERIOR DOOR OPENING FOR EMERGENCY ESCAPE AND RESCUE. WHERE OPENINGS ARE PROVIDED AS A MEANS OF ESCAPE AND RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1130mm) ABOVE THE FLOOR.

R301.1 IRC 2012 MINIMUM OPENING AREA ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. (0.530 m<sup>2</sup>).

R301.2 IRC 2012 MINIMUM OPENING HEIGHT THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610 mm).

R301.3 IRC 2012 MINIMUM OPENING WIDTH THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508 mm).

R301.4 IRC 2012 OPERATIONAL CONSTRAINTS EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS. OPERABLE WINDOW SILL HEIGHT - A MINIMUM OF 20" OFF OF FINISH FLOOR HEIGHT AT SECOND FLOOR AND ABOVE.

## SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

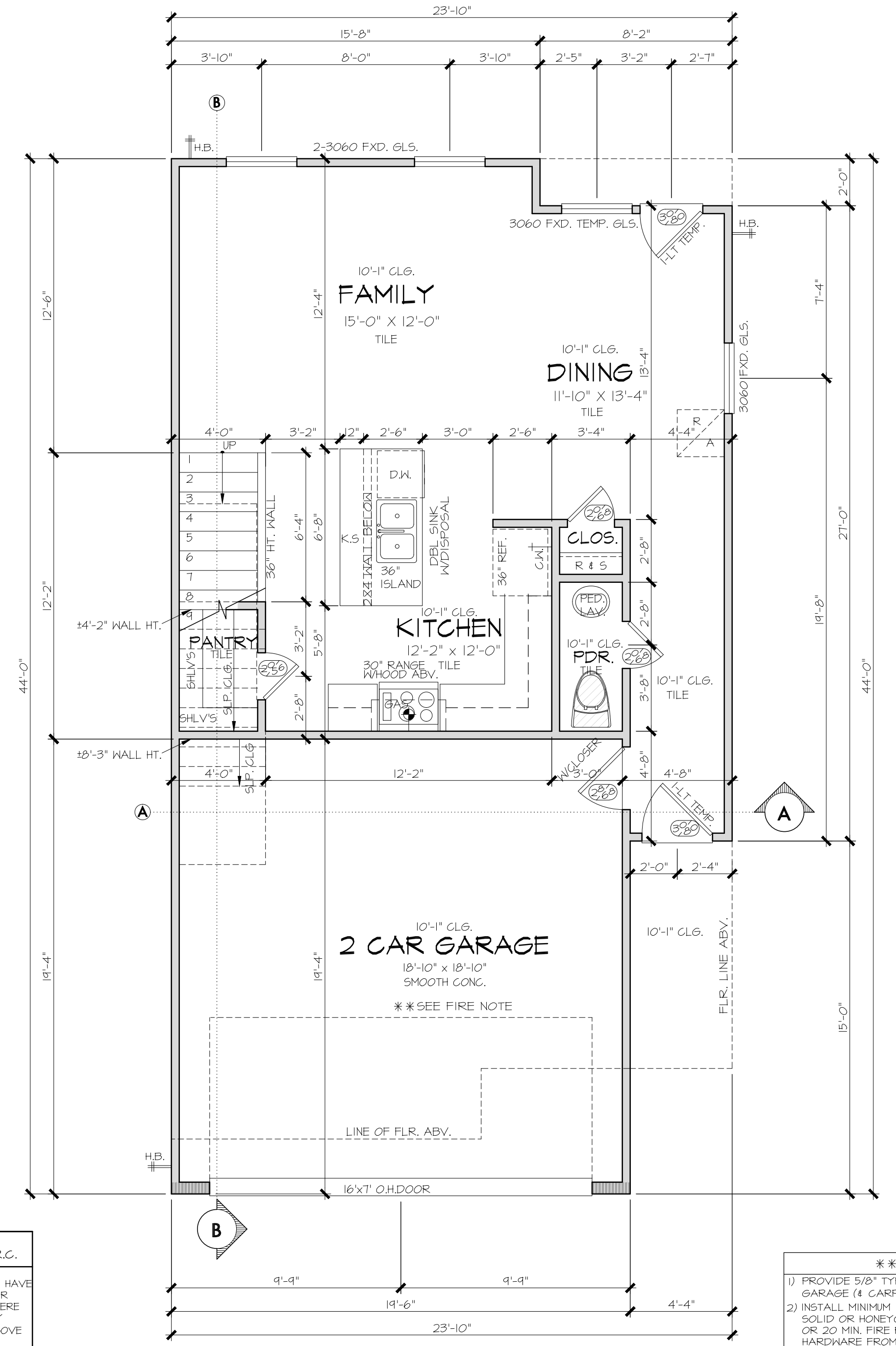
9'-1" STUD HT. WITH 2 X 4'S @ 16" O.C. TYPICAL. U.N.O. (UNLESS NOTED OTHERWISE.)

PRIMARY FLOOR COVERING: CARPET U.N.O.

SUGGESTED FLOOR SYSTEM: 18" OPEN WEB TRUSSES

\*BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE.

PROVIDE METAL PAN W/2" DRAIN TO OUTSIDE IN UTILITY



**\*\* FIRE NOTE**

- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD TO THE GARAGE (4 CARPORT) SIDE OF STUDS AND JOISTS.
- INSTALL MINIMUM 1-3/8 IN SOLID CORE DOOR, OR SOLID OR HONEYCOMB STEEL DOOR 1-3/8 IN THICK, OR 20 MIN FIRE RATED DOOR WITH SELF CLOSING HARDWARE FROM GARAGE AREA TO CONDITIONED AREA. (R304.1)
- UNRATED DISAPPEARING STAIRS IN GARAGES TO HAVE MIN. 3/8" THICK FIRE RETARDANT PLYWOOD OR MIN. 16 GA. SHEET METAL.
- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD TO ENCLOSED AREAS LOCATED UNDER ALL STAIRS.

## FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

9'-1"/10'-1" STUD HT. WITH 2 X 4'S @ 16" O.C. TYPICAL. U.N.O. (UNLESS NOTED OTHERWISE.)

PRIMARY FLOOR COVERING: TILE U.N.O.

WATER HEATER LOCATED IN ATTIC

VERIFY TRANSOM IN FIELD



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DESIGNER:	DATE:	PRODUCTION 4:	DATE:
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XXX	X-X-XX	XXX	1-3-20
PRODUCTION 3:	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

**SCHEDULES** BUILDER AND/OR OWNER TO FILL OUT THE FOLLOWING:

DOOR SCHEDULE: SIZE AS NOTED ON PLANS.  
 EXTERIOR DOORS ARE 1 3/4" SOLID CORE.  
 INTERIOR DOORS ARE 1 3/8" SOLID OR HOLLOW CORE.  
 DOOR GLAZING TO BE SAFETY GLASS.  
 WINDOW SCHEDULE: SIZE AS NOTED ON PLANS.  
 FRAME TYPE:  
 GLAZING:  
 EXTERIOR TRIM:  
 INTERIOR TRIM:

ROOM FINISH SCHEDULE  
 TILE FLOORS AT ALL NET AREAS, TILE WALLS AT TUB, FULL TILE WALLS AND FLOORS IN SHOWER STALL. SYNTHETIC MARBLE OR SIM. COUNTER TOPS AND SPLASHES.  
 ALL CASED OPENINGS TO HAVE SHEETROCK RETURNING.  
 RE: BUILDER/OWNER FOR USE OF WOOD CO. RETURNING.  
 - O - AS NOTED ON PLANS.  
 - R - AS NOTED IN DETAILED SPECS. BETWEEN OWNER 4 BUILDER.

- PLAN NOTES** REFERENCING THE 2012 IRC WITH CITY OF HOUSTON AMENDMENTS
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY PRESTON WOOD & ASSOCIATES, L.L.C. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS. PRESTON WOOD & ASSOCIATES, L.L.C. WILL NOT BE HELD RESPONSIBLE FOR THE CONTENTS PRESENTED BY THIRD PARTY CONSULTANTS (M.E.P., CIVIL, STRUCTURAL, ETC.).
  - ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILLED ON THE LAST SHEET OF THESE DRAWINGS.
  - CEILING HEIGHTS TAKEN FROM WHERE THE NOTE IS LOCATED ON THE PLAN.
  - ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF LINE TO OUTSIDE OR STORM SEWER (DO NOT CONNECT TO SANITARY SEWER).
  - PROVIDE PLUMBING ACCESS PANEL AT ALL BATHTUBS PER IRC 2012 SECT. P2104.1.
  - ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC 2012 SECT. R308.
  - SEE STAIR NOTES AND DETAILS - LAST SHEET. CONFORM TO IRC 2012, SECTIONS R301.5.2 AND IRC 2012, CITY OF HOUSTON AMENDMENTS, SECTION 1003.3.3.U, EXCEPTION 4. PROVIDE CONTINUOUS RAILING WHEN THERE ARE 4 OR MORE RISERS.
  - PROVIDE ATTIC ACCESS WITH A MINIMUM CLEAR OPENING OF 22"x30". PROVIDE MINIMUM HEAD CLEARANCE OF 30". WHERE SERVICING MECHANICAL EQUIPMENT, THE MINIMUM SIZE OF A FULL-DOWN STAIRS IS 30"x54", AND HAVE A MINIMUM LOAD CAPACITY OF 350 LBS. SEE IRC 2012 SECT. R301 AND SECT. M305.13.
  - LOCATE WATER HEATER(S) IN ATTIC ABOVE A LOAD BEARING PARTITION IN A PAN WITH A RELIEF LINE TO OUTSIDE OR STORM SEWER LINE. INSTALLATION TO CONFORM WITH IRC 2012 SECT. F2B03.
  - LOCATE H.V.A.C. EQUIPMENT IN ATTIC.
  - PROVIDE 24" WIDE PLYWOOD WALKWAY TO ACCESS ALL MECHANICAL EQUIPMENT LOCATED IN ATTIC. MAXIMUM DISTANCE FROM ATTIC ACCESS TO EQUIPMENT SHALL NOT EXCEED 20'-0". PROVIDE A 30" WIDE SERVICE PLATFORM AT SERVICE SIDE OF ALL EQUIPMENT IN ATTIC.
  - ALL INSULATION SHALL HAVE A FLAME SPREAD RATINGS NOT TO EXCEED 25 AND A SMOKE DENSITY RATINGS NOT TO EXCEED 450. SEE IRC 2012 SECT. R320.1.
  - PROVIDE ADEQUATE FURRING SO VENT AND SOIL PIPES DO NOT PENETRATE PLATES. ALL PLUMBING VENTS SHALL EXIT THROUGH A ROOF PLANE THAT SLOPES TO THE BACK.

**SYMBOLS**

	<b>SECTION CUTS</b>		<b>CABINET &amp; WALL ELEVATIONS</b>		<b>FIRE WALL TYPE</b>
	<b>SHEET LOCATION</b>		<b>SHEET LOCATION</b>		<b>DETAIL LOCATED LAST SHEET (U.N.O.)</b>

**LINE LEGEND**

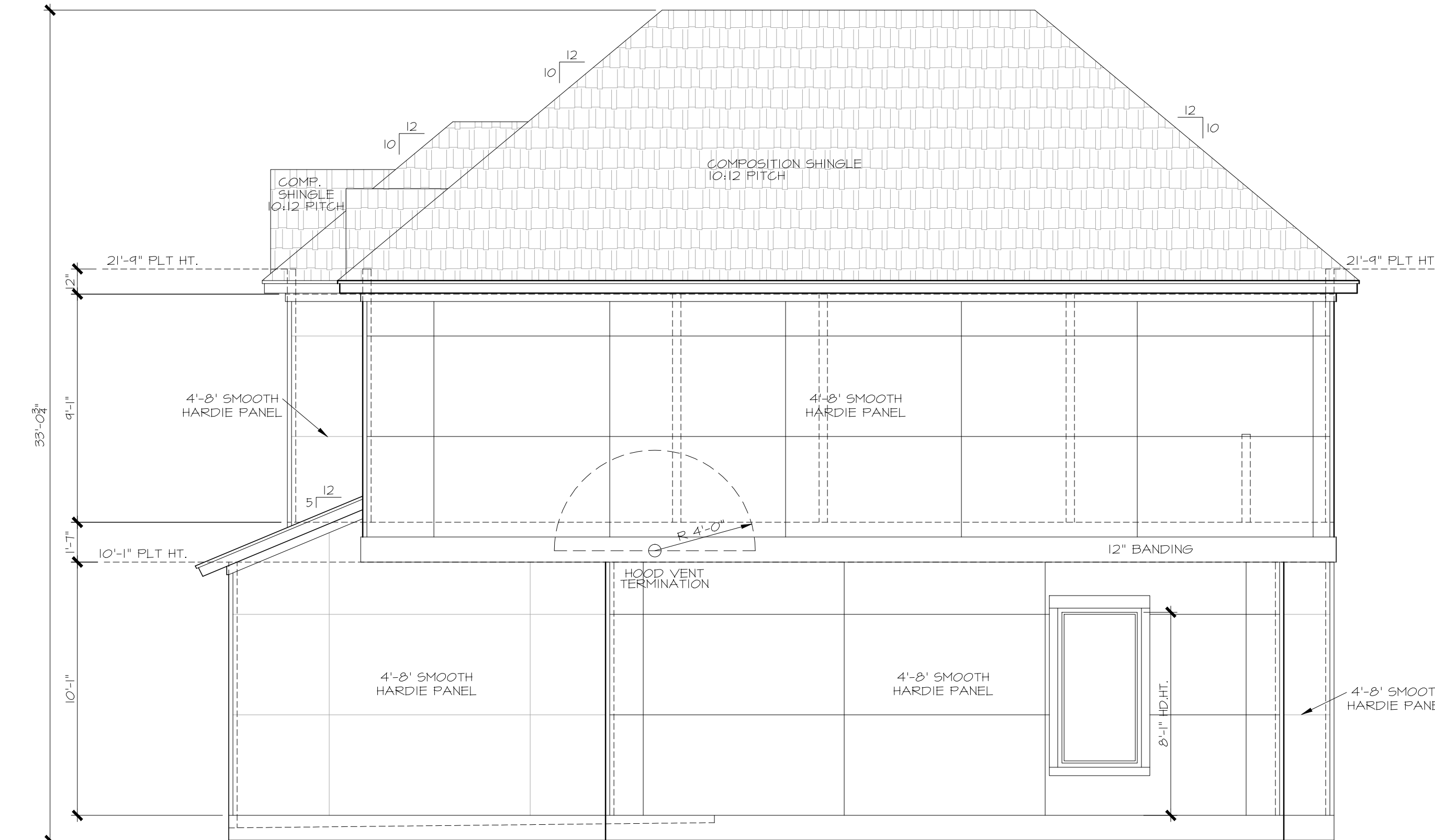
	<b>WALLS:</b>		<b>CLOSETS:</b>
4" STUD WALL		ROD & SHELF	
6" STUD WALL		WALL	
	<b>CEILING:</b>		<b>CABINETS:</b>
DESIGNATION FOR FURRED DOWN CLG.		DOUBLE ROD & SHELF	
DESIGNATION FOR OPEN FRAMING ABOVE (STAIR VOIDS & OPENINGS).		UPPER CABINET	
		18" ABOVE COUNTERTOP TYP.	
		COUNTERTOP @ 36" HT. TYP.	

**SQUARE FOOTAGES**

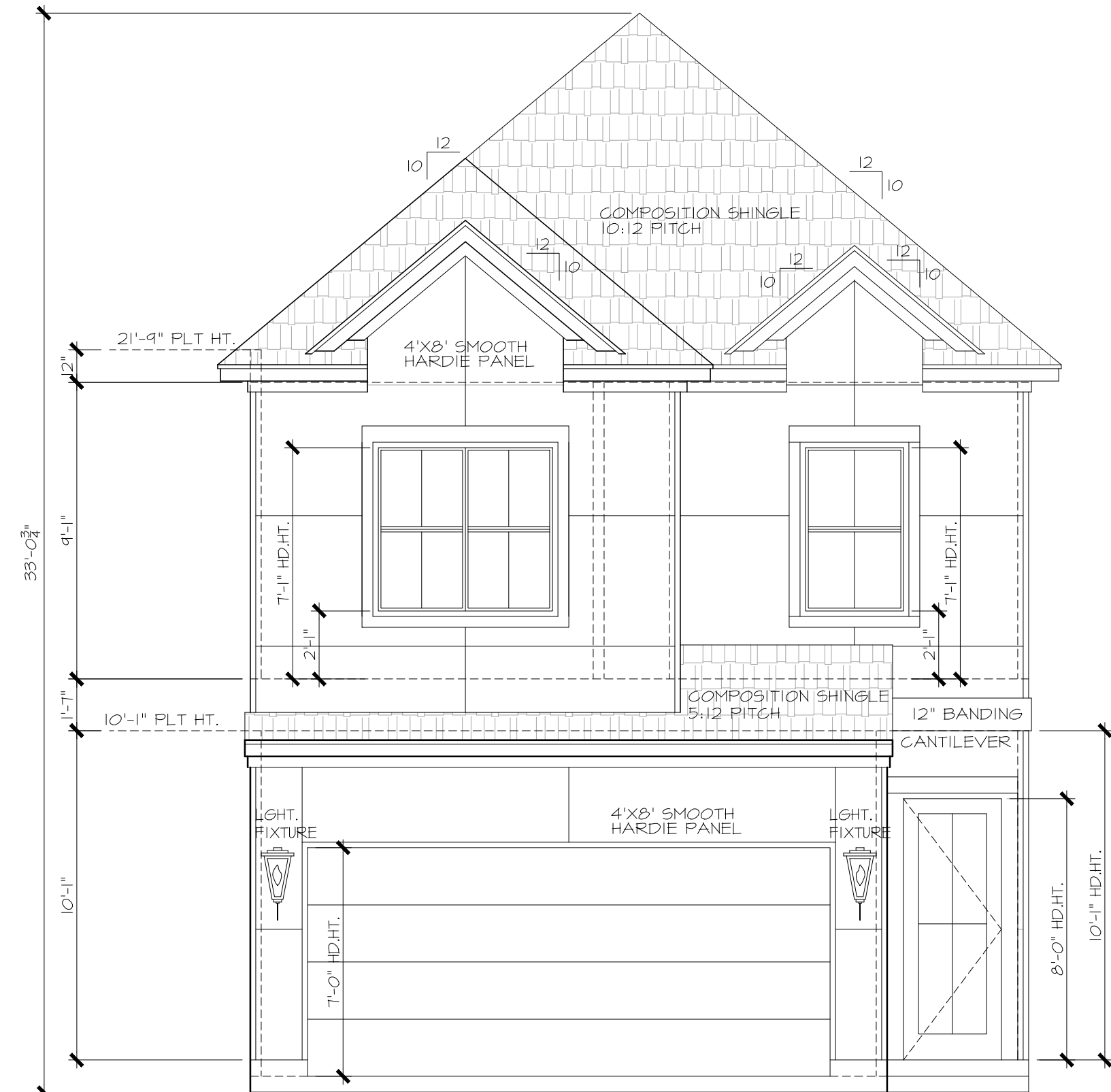
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 HOUSTON, TX 77021

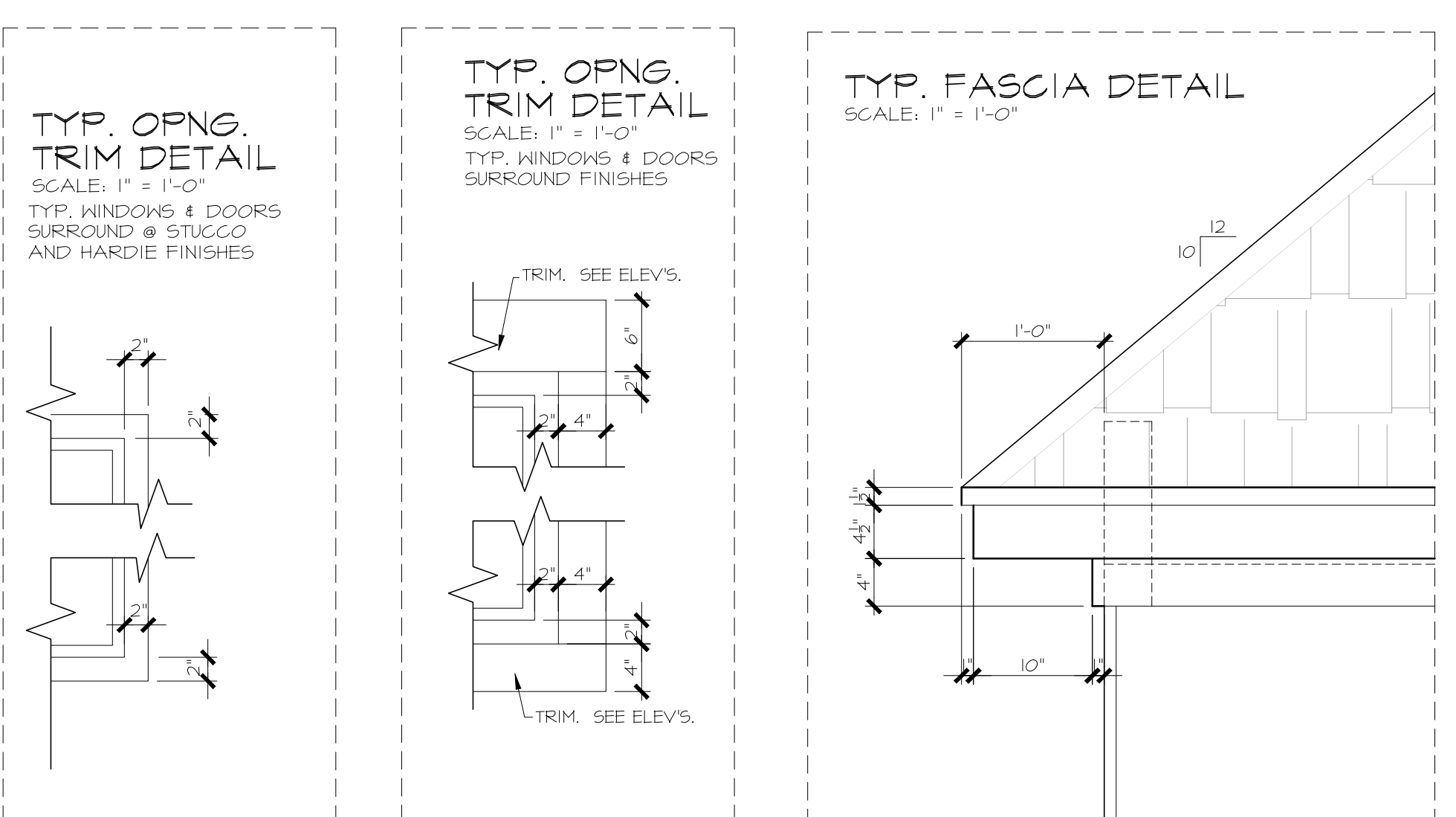
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**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



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REDRAW # E8005 - D1.1			
DESIGNER:	DATE:	PRODUCTION 4:	DATE:
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XXX	X-X-XX	XXX	X-X-XX

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- ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THIS DOCUMENT.
- ALL EGRESS WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR. MINIMUM WINDOW OPENINGS ARE 24" HIGH, 20" WIDE AND MINIMUM 5.7 SQ. FT. NET CLEAR OPENING. WHERE DOORS ARE USED AS EGRESS KEY LOCKING HARDWARE MAY BE USED (2012 IRC CITY OF HOUSTON AMENDMENTS, R308.2).
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  - TOP EDGE OF A PANE IS GREATER THAN 36" FROM FLOOR (WHEN BOTTOM OF THIS SAME PANE IS LOWER THAN 36" FROM THE FLOOR).
  - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
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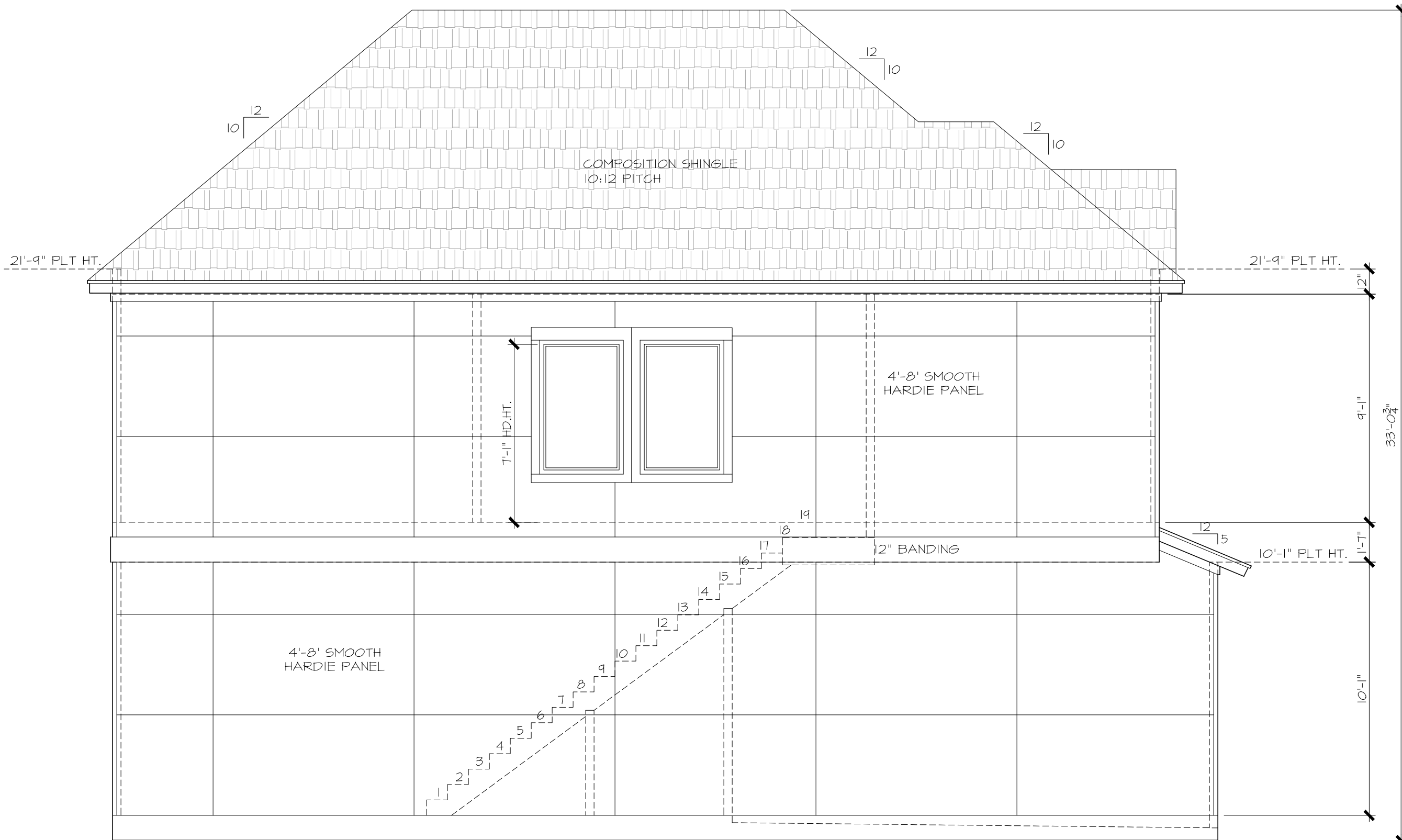
PRIMARY EXTERIOR MATERIAL: 4X8 HARDIE  
 SECONDARY EXTERIOR MATERIAL: 8" SIDING  
 ROOF MATERIAL: COMPOSITION SHINGLE  
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**SQUARE FOOTAGES**

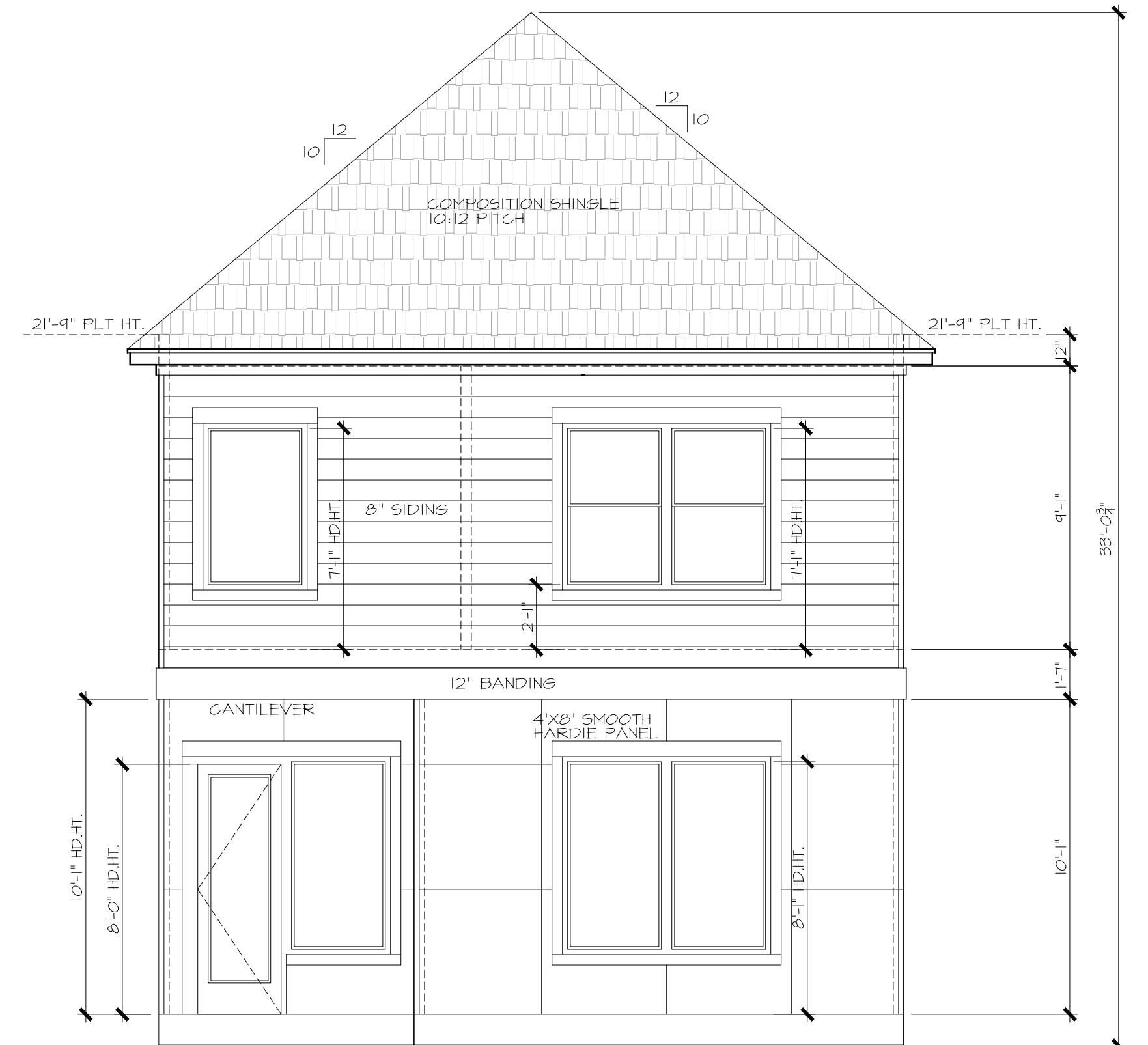
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**KIMBERLY LANE PROPERTIES**  
 6819 ST. AUGUSTINE STREET  
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**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**BACK ELEVATION**



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PRIMARY EXTERIOR MATERIAL:	8" SIDING
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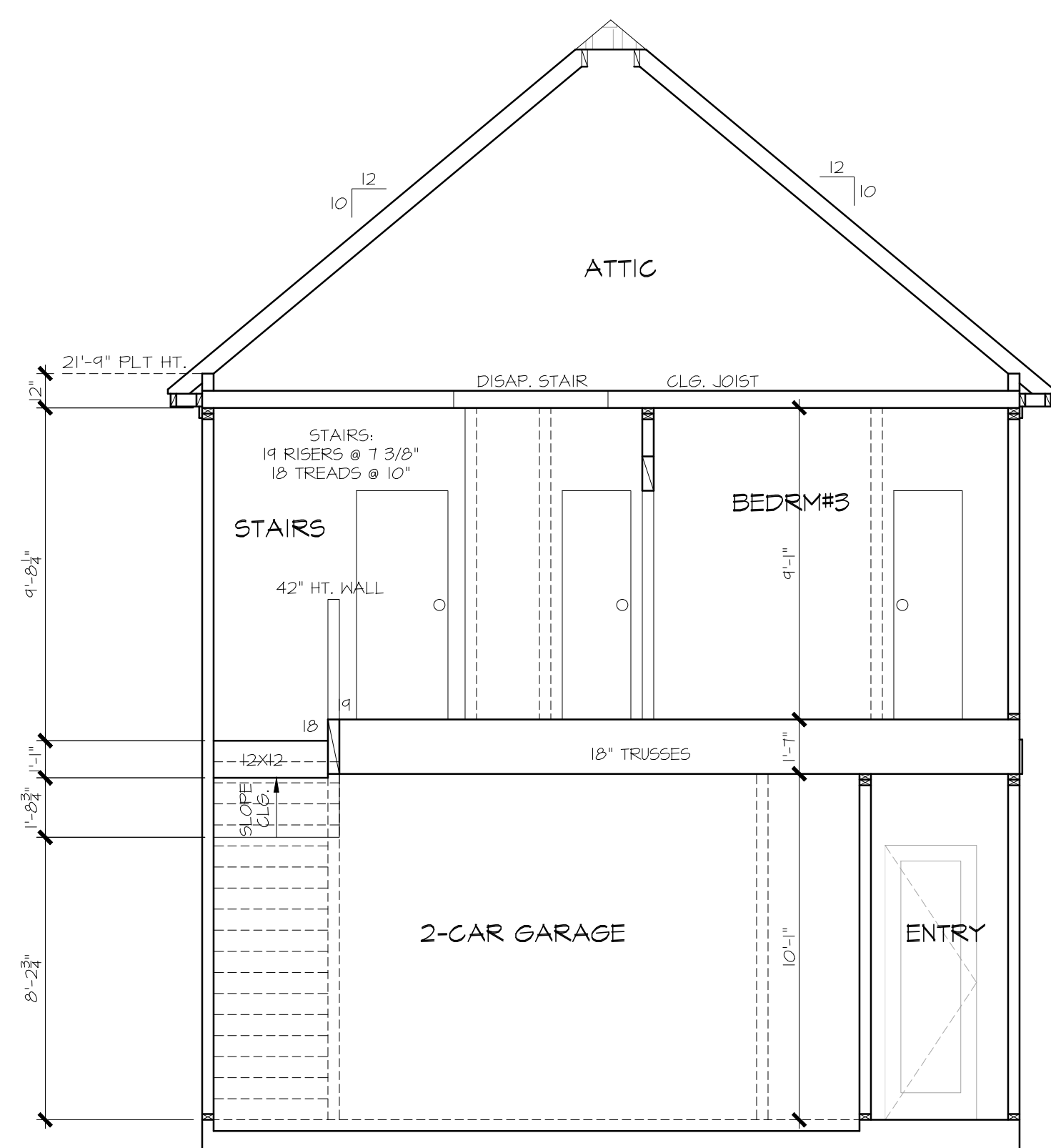
**SQUARE FOOTAGES**

FIRST FLOOR:	592
SECOND FLOOR:	905
TOTAL LIVING AREA:	1497 S.F.
GARAGE:	376
TOTAL SLAB:	968 S.F.
PORCH: 40+16	56
TOTAL COVD:	1873 S.F.
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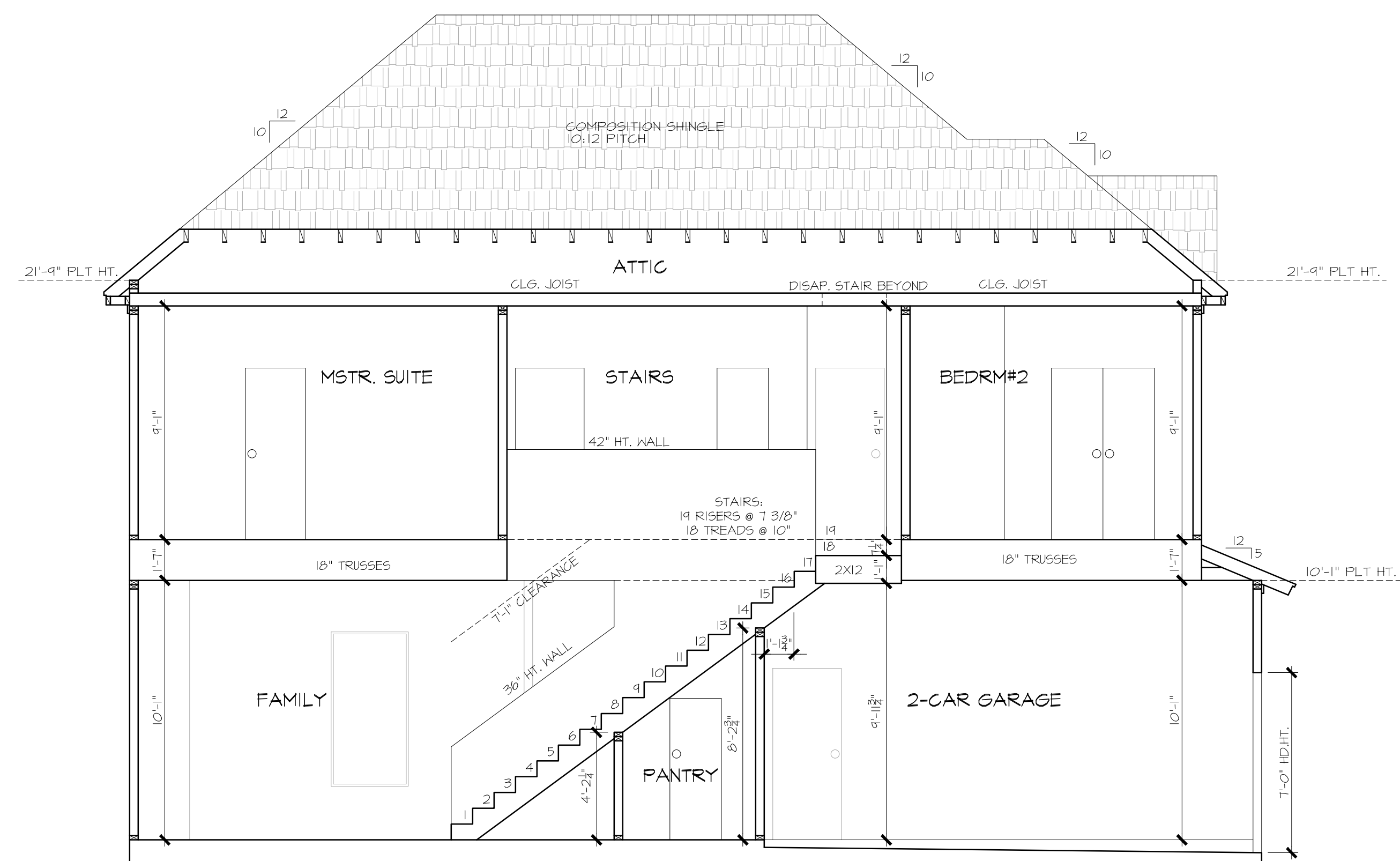
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### SECTION A-A

SCALE: 1/4" = 1'-0"  
 SUGGESTED FLOOR AND CEILING SYSTEM AS NOTED ON DRAWING.



### SECTION B-B

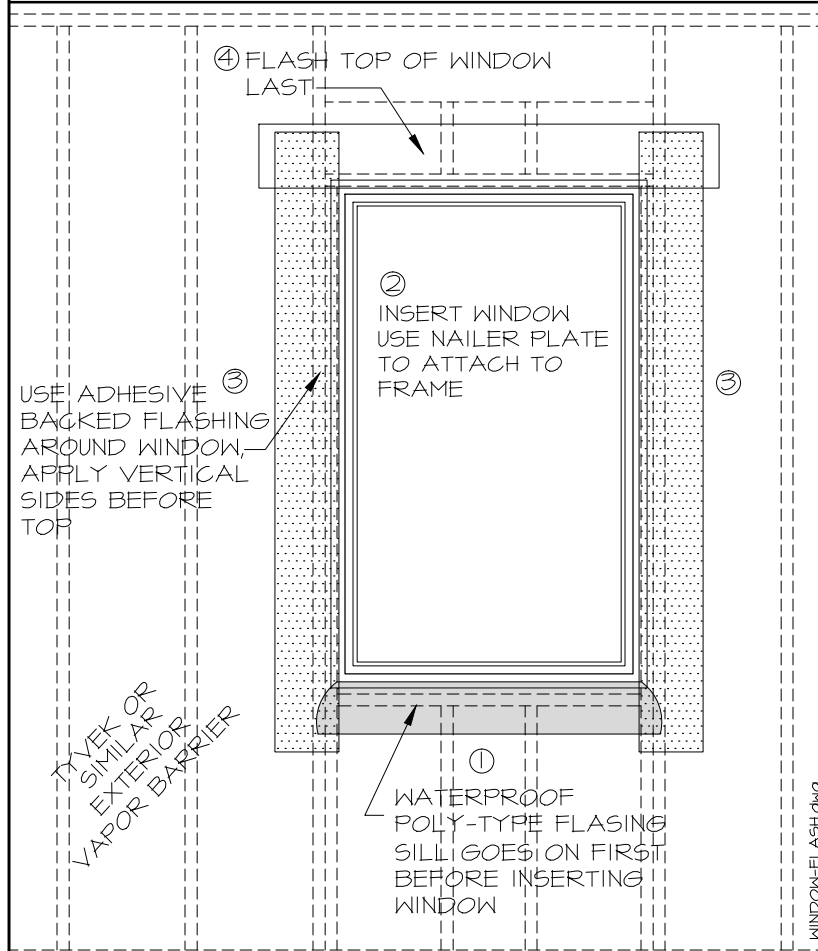
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### WINDOW FLASHING DETAIL



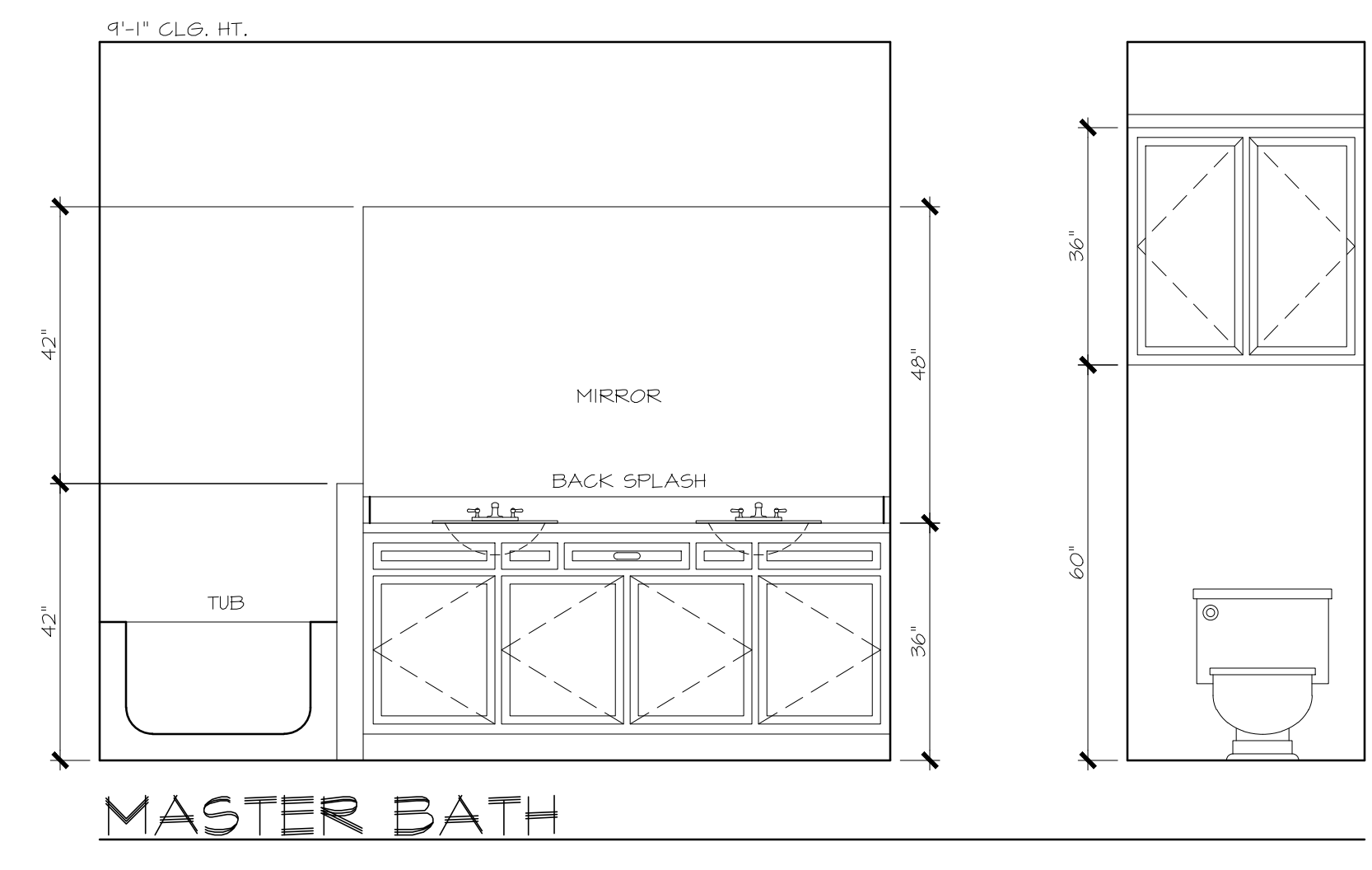
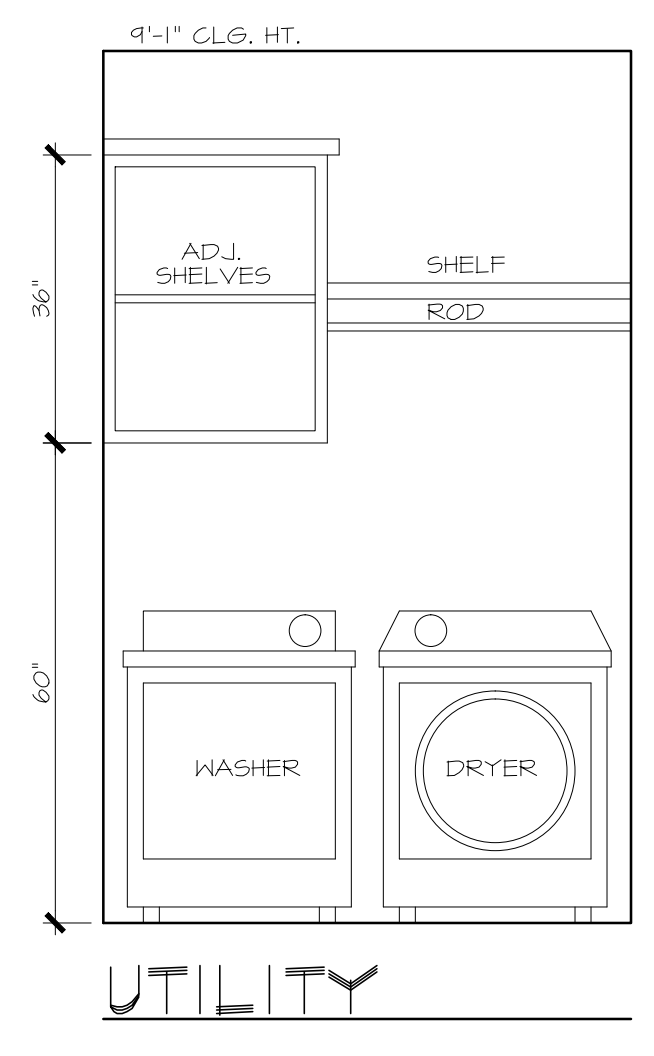
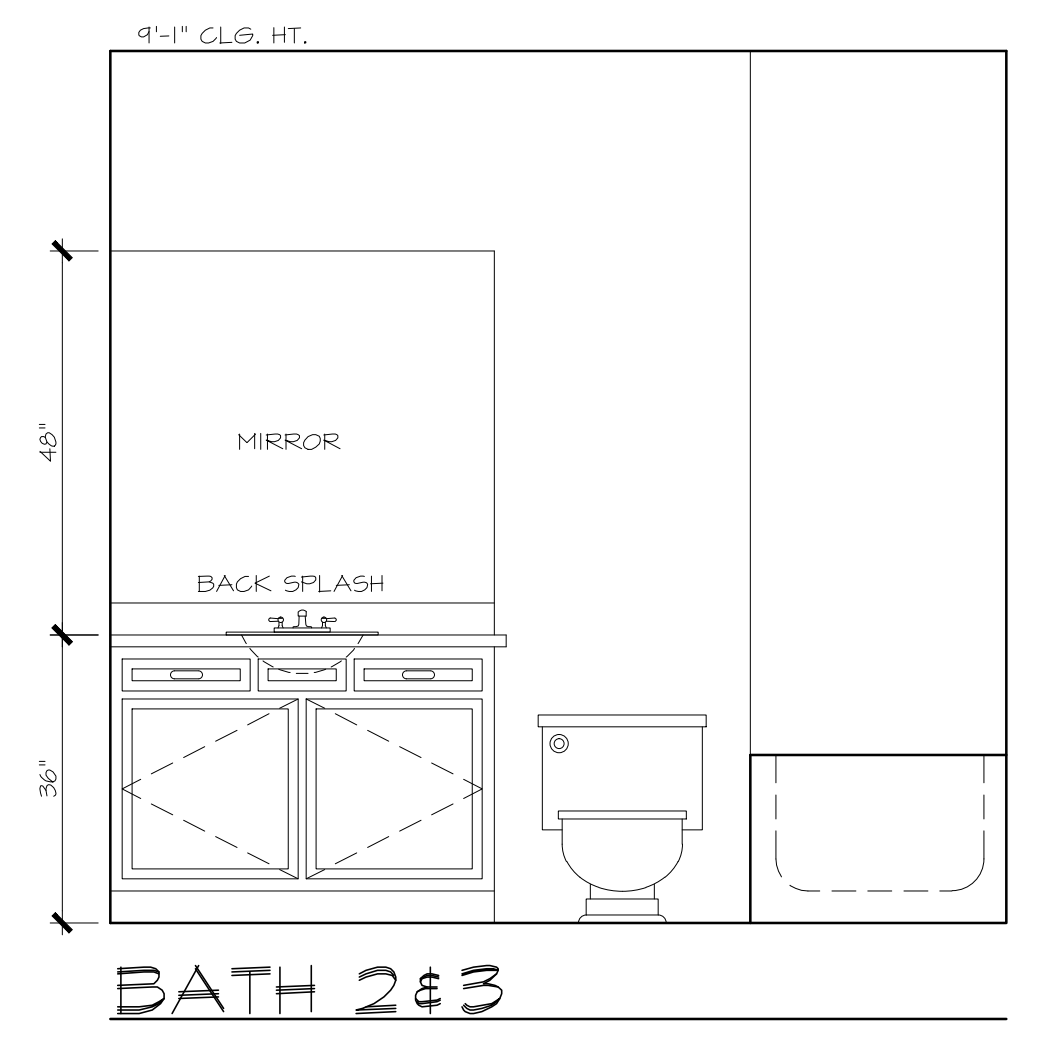
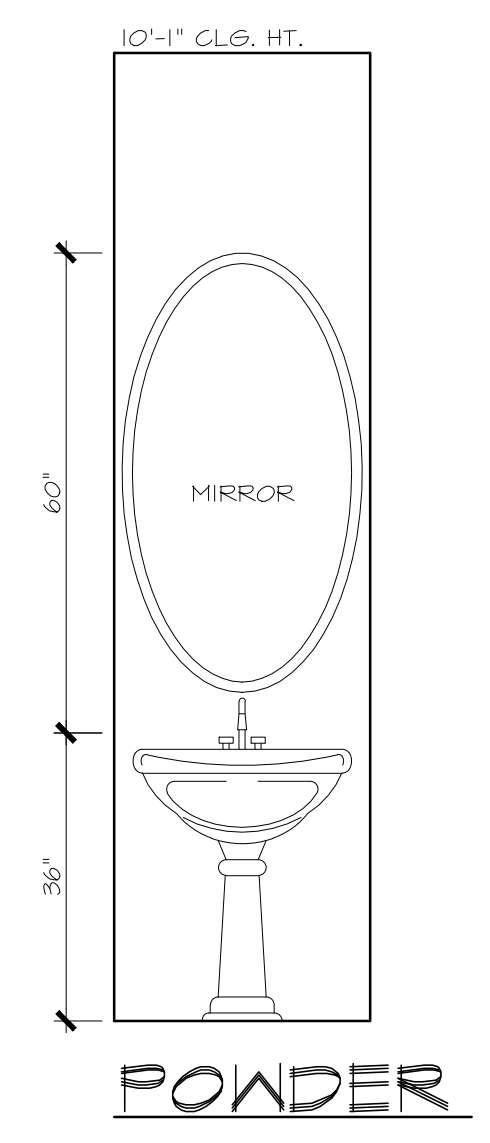
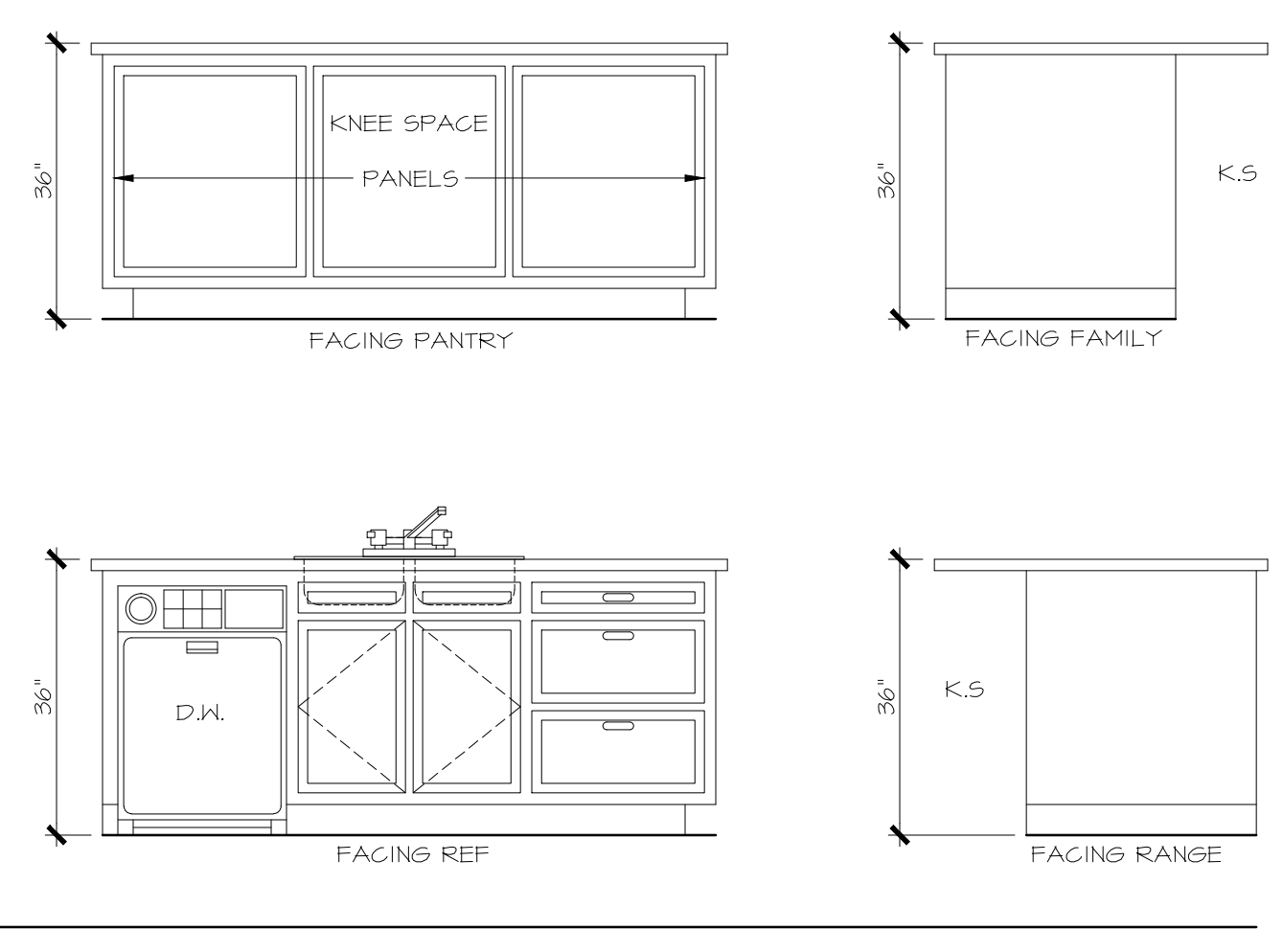
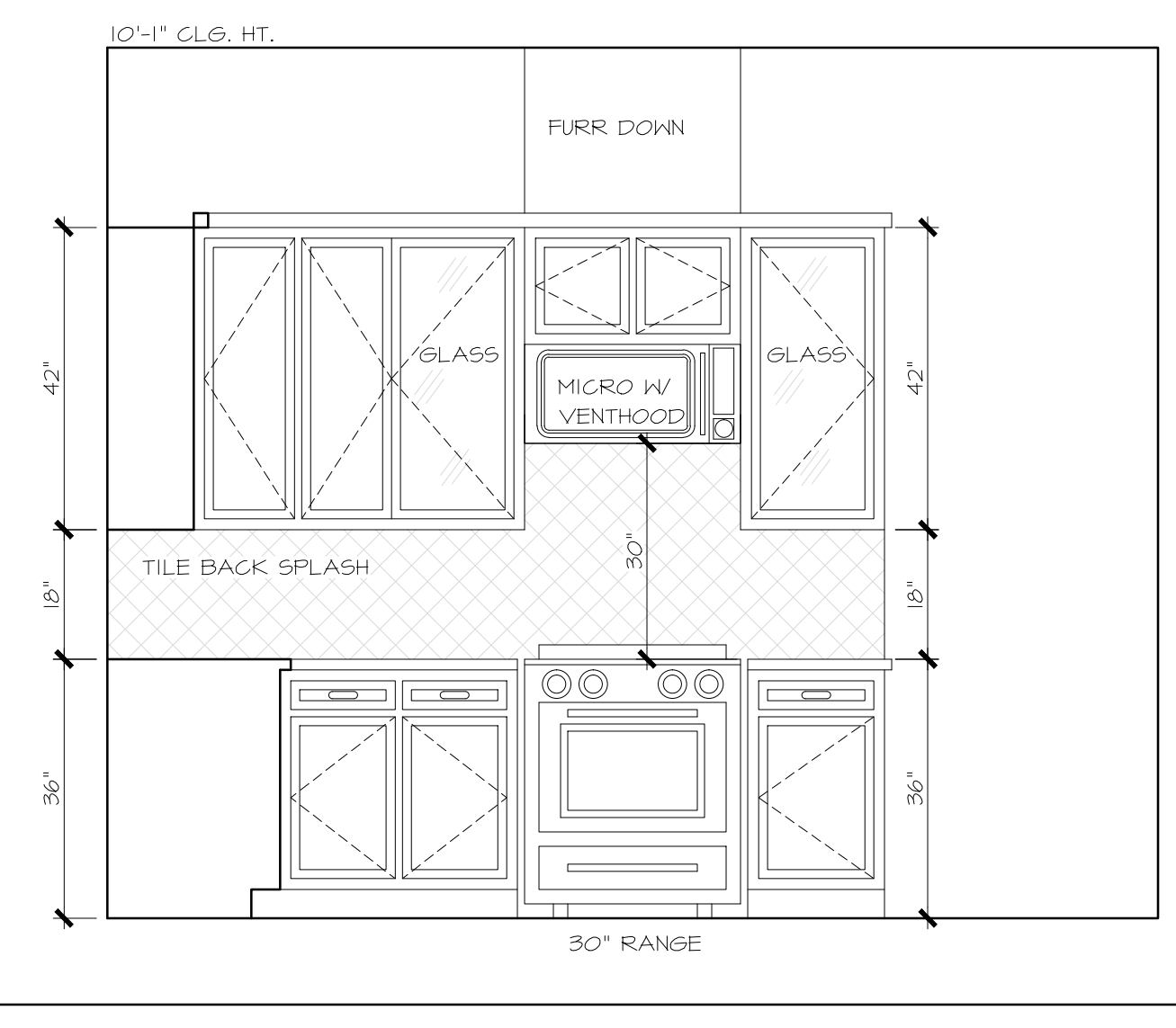
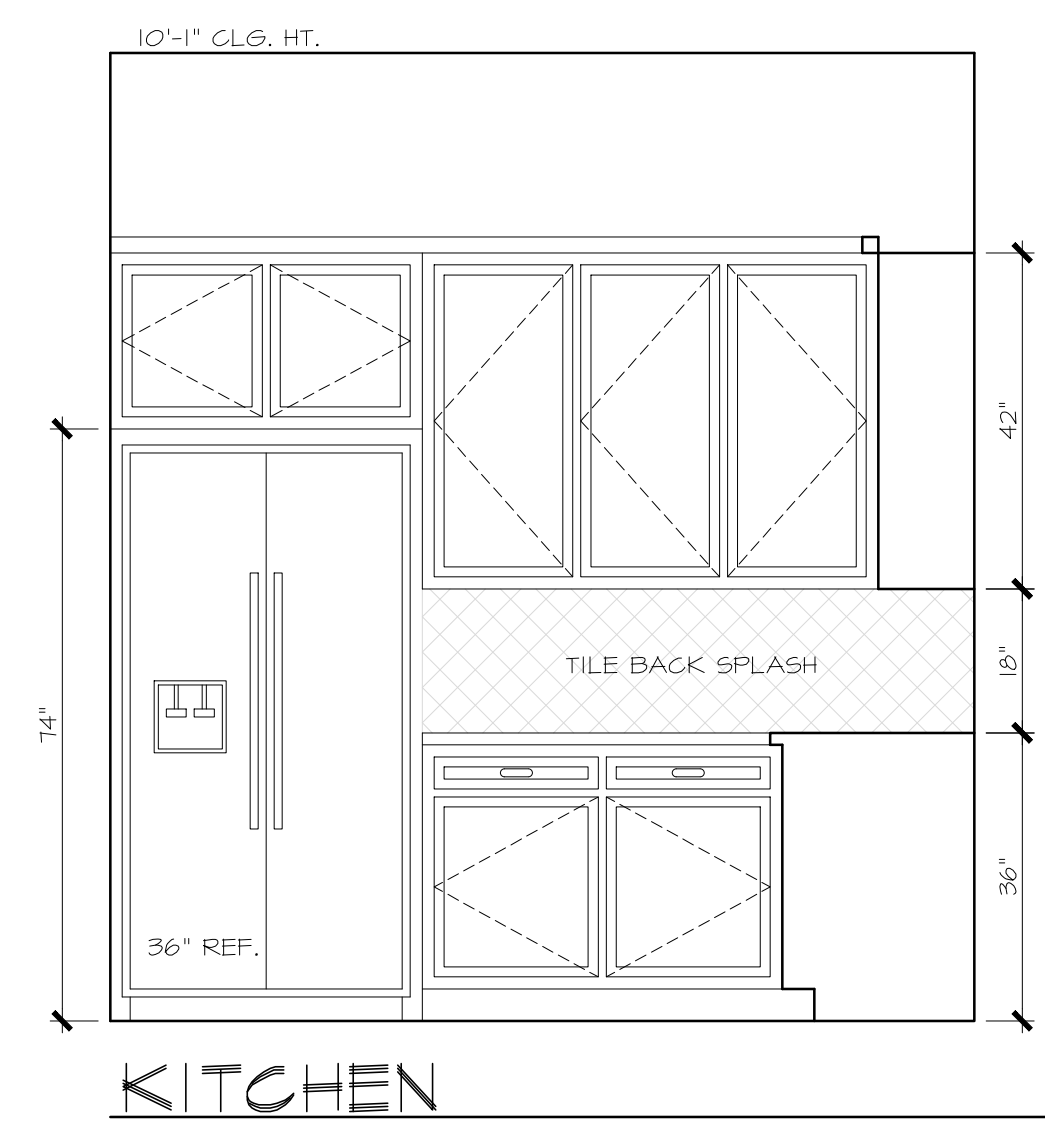
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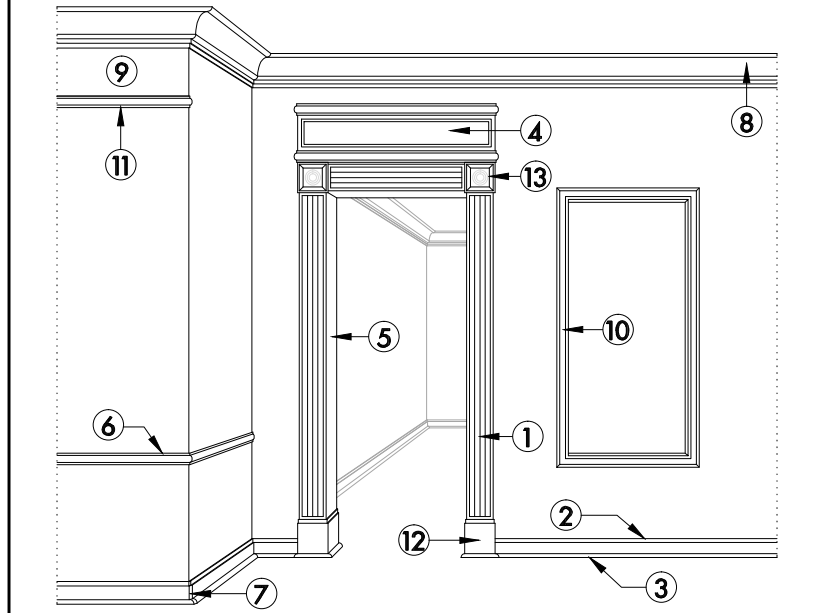
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DESIGNER: XXX	DATE: X-X-XX	PRODUCTION 4: XXX	DATE: X-X-XX
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PRODUCTION 3: XXX	DATE: X-X-XX	CHECKED: XXX	DATE: X-X-XX

**MOULDING DEFINITIONS**



1. ARCHITRAVE - THE MOULDED FRAME SURROUNDING A DOOR, WINDOW OR C.G. - ALSO CALLED CASING.
2. BASEBOARD - THE BOARD (PLAIN OR MOULDED) WHICH RUNS AROUND THE BOTTOM OF AN INTERIOR WALL AND COVERS THE JUNCTION OF THE FLOORBOARDS WITH THE WALL.
3. BASEBOARD SPACE - A THIN PIECE OF MOULDINGS USED TO CONCEAL THE GAP BETWEEN THE BOTTOM OF THE BASEBOARD AND THE FLOOR.
4. CABINET HEAD - IS THE BOXED-IN HEAD AT THE TOP OF AN ARCHITRAVE (DOOR FRAME).
5. CASING - THE INNER PART IF THE FRAME IN WHICH THE ARCHITRAVE AND OTHER TRIM DETAILS, SUCH AS STOPS ARE FIXED. THE CASING IS COMPRISED OF THE HEAD & JAMB. SEE ARCHITRAVE DEFINITION.
6. CHAIR RAIL - A HORIZONTAL PIECE (PLAIN OR MOULDED) ATTACHED 32" ABOVE THE FLOOR PARALLEL TO THE BASEBOARD.
7. CORNER BLOCK - A THIN BLOCK (PLAIN OR MOULDED) FOR INSIDE AND OUTSIDE CORNERS, USUALLY THE SAME HEIGHT AS THE BASEBOARD.
8. CROWN MOULDING - ANY MOULDING USED FOR THE CROWNING OR TOP FINISHING MEMBER OF A STRUCTURE, MOST COMMONLY USED IN HIGH CORNERS (WALL & CLG.).
9. FRIEZE - THE SPACE BETWEEN THE CEILING AND THE PICTURE RAILING (BETWEEN THE CROWN AND THE RAIL).
10. PANEL MOULDING - A DECORATIVE (PLAIN OR MOULDED) FLATBACK PIECE USED TO FRAME-OUT A RECTANGLE OR SQUARE ON A WALL.
11. PICTURE RAIL - IS A HORIZONTAL MOULDING WHICH RUNS AROUND A ROOM JUST BELOW THE CEILING.
12. FLINTH BLOCK - A BLOCK OF WOOD PLACED AT THE DOOR MOULDINGS TO SEPERATE THE BASEBOARD FROM THE ARCHITRAVE.
13. ROSETTE - A DECORATIVE (PLAIN OR MOULDED) BLOCK USED AT THE UPPER CORNER OF A DOOR, WINDOW OR C.G. ATTACHED TO THE ARCHITRAVE TO ELIMINATE THE NEED FOR MITERED ARCHITRAVE CORNERS.

**MILLWORK**  
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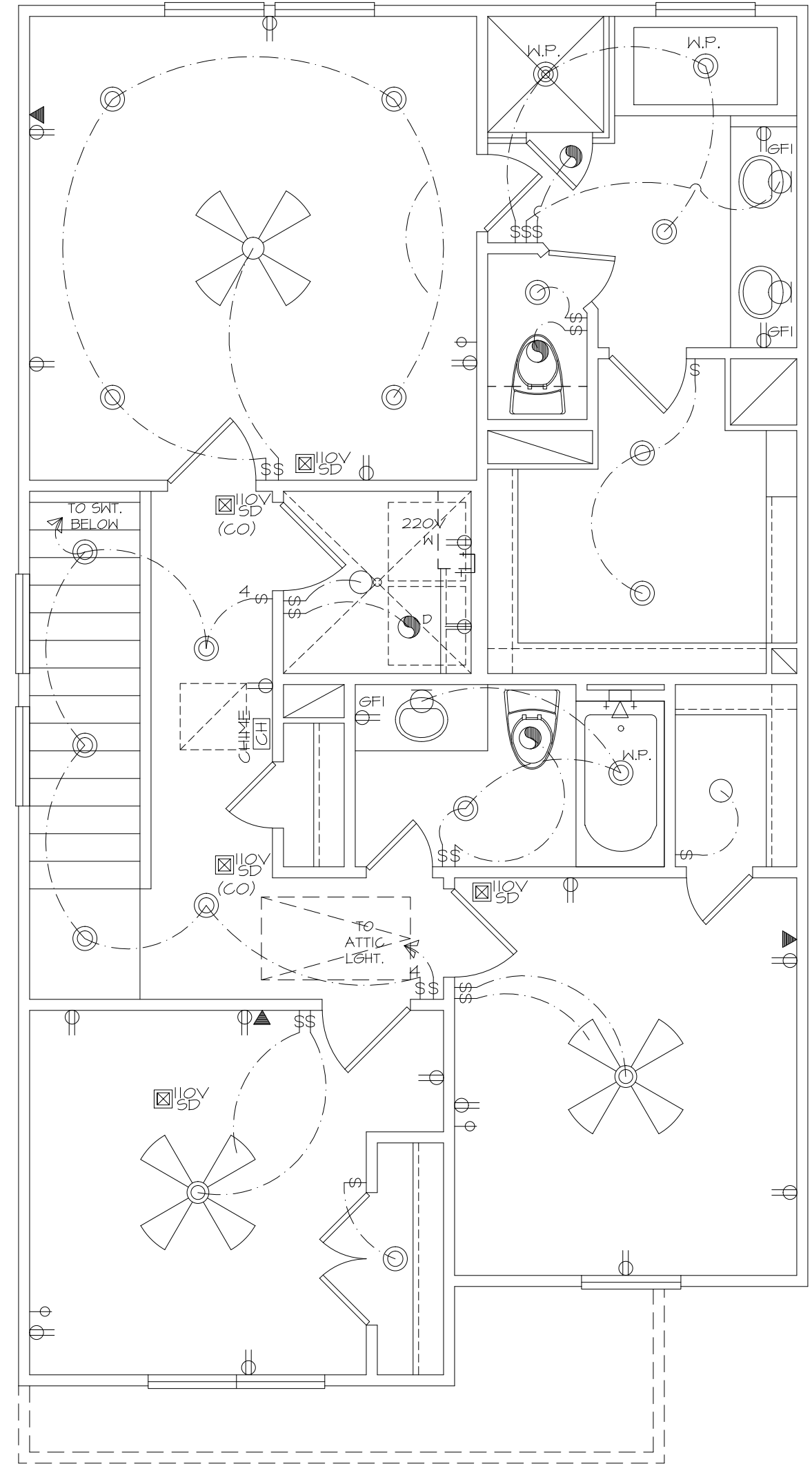
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 HOUSTON, TX 77021

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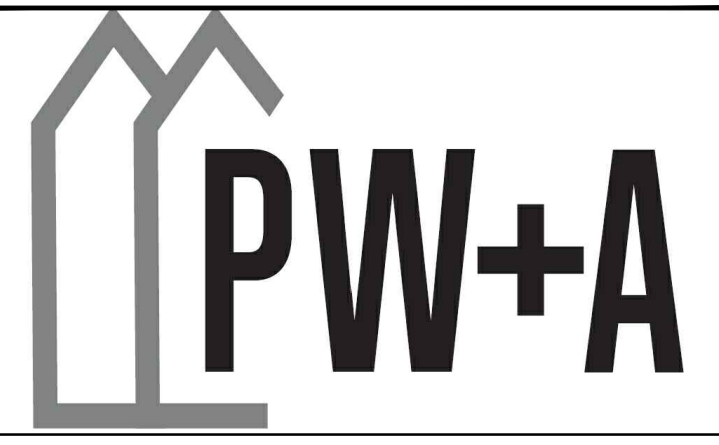
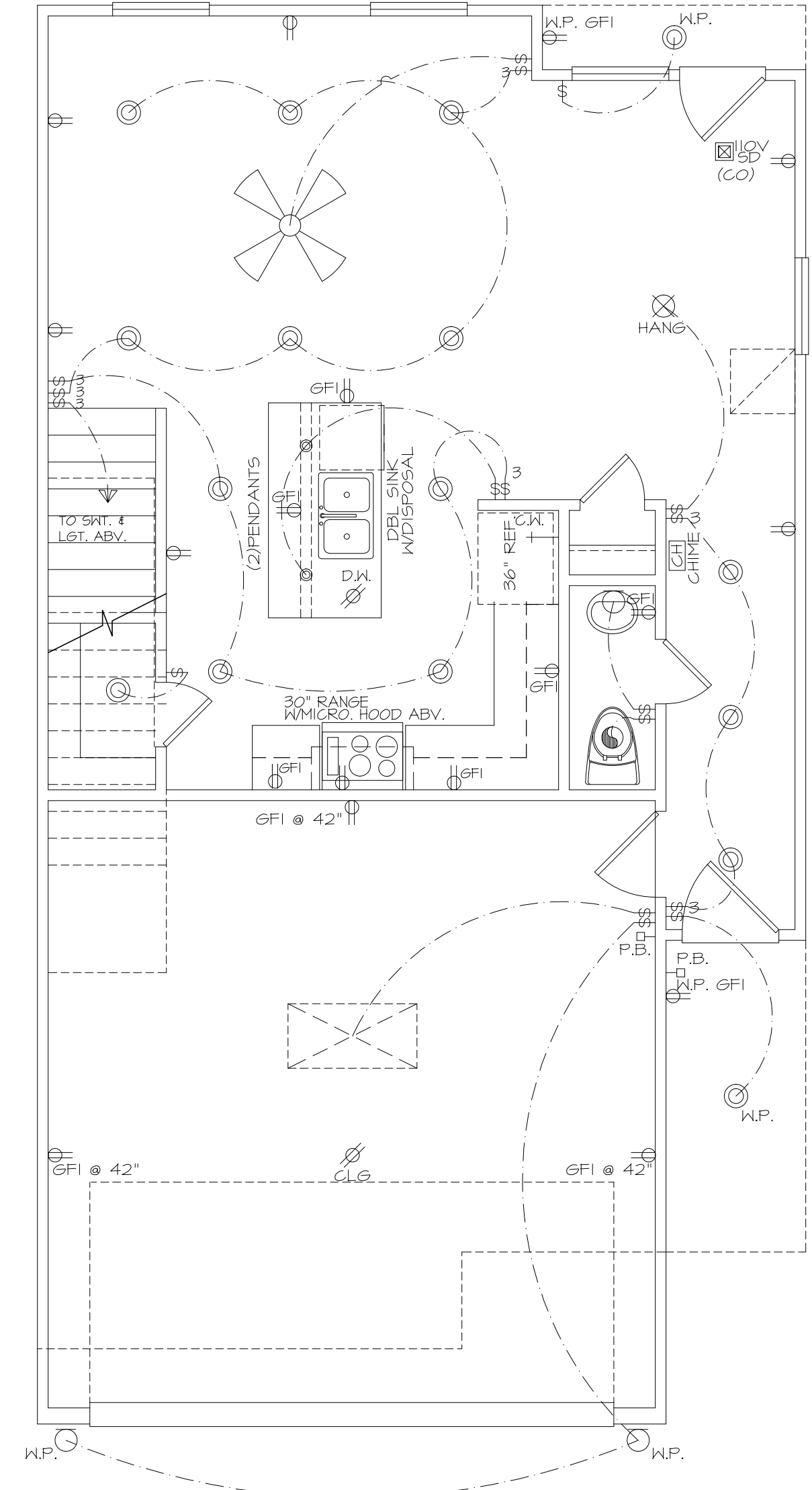
## SECOND FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"



## FIRST FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"



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 Jack Preston Wood PBD Certification: TX-431  
 AMERICAN INSTITUTE OF BUILDING DESIGN

DESIGNER:	DATE:	PRODUCTION 4:	DATE:
PRODUCTION 1:	DATE:	SENT TO ENGINEER:	DATE:
PRODUCTION 2:	DATE:	CORRECTIONS:	DATE:
PRODUCTION 3:	DATE:	CHECKED:	DATE:

### ELECTRICAL SYMBOLS & NOTES

	110 VOLT RECEPTACLE		FLOOD LIGHTS
	110 VOLT W/ GROUND FAULT INTERRUPTOR		UNDER CABINET LIGHT
	110 VOLT IN CEILING		OVER CABINET LIGHT
	WATERPROOF G.F.I.		IN CABINET LIGHT
	110 VOLT IN FLOOR		2'x4' FLUORESCENT LIGHT BOX (1'x4' AND 4'x4' SIMILAR)
	110 VOLT 1/2 SWITCHED		ELECT. PANEL
	220 VOLT RECEPTACLE		ELECT. METER
	RS-6 CABLE RECEPTACLE (TV CABLE/SATELLITE)		INTERCOM
	TELEPHONE OUTLET		SECURITY KEYPAD
	NETWORK		SECURITY CAMERA
	SINGLE POLE SWITCH		CARBON MONOXIDE/SMOKE DETECTOR W/ BATTERY BACKUP
	THREE WAY SWITCH		SMOKE DETECTOR W/ BATTERY BACKUP
	FOUR WAY SWITCH		THERMOSTAT
	DIMMER SWITCH (RHEOSTAT)		CHIMES
	PUSH BUTTON SWITCH		SPEAKER
	CARBON MONOXIDE/SMOKE DETECTOR W/ BATTERY BACKUP		CEILING MOUNTED FIXTURE
	SMOKE DETECTOR W/ BATTERY BACKUP		HANGING LIGHT
	THERMOSTAT		RECESSED CAN
	CHIMES		WATERPROOF RECESSED CAN
	SPEAKER		RECESSED EYEBALL SPOT
	CEILING MOUNTED FIXTURE		WALL MOUNTED FIXTURE
	HANGING LIGHT		PORCELAIN FIXTURE W/ PULL CORD
	RECESSED CAN		EXHAUST FAN
	WATERPROOF RECESSED CAN		PENDANT LIGHT
	RECESSED EYEBALL SPOT		CEILING LIGHT W/ OPTIONAL FAN (PREFIRE AND BLOCK)
	WALL MOUNTED FIXTURE		
	PORCELAIN FIXTURE W/ PULL CORD		
	EXHAUST FAN		
	PENDANT LIGHT		

### ELECTRICAL NOTES

- SMOKE DETECTORS REQUIRE A 110V CONNECTION TO HOUSE WITH BATTERY BACKUP. ALL SMOKE DETECTORS SHALL BE WIRED IN SERIES (INTERCONNECTED).
- PROVIDE G.F.C.I. OUTLETS WITHIN 6'-0" OF SINKS, IN GARAGES AND ALL EXTERIOR WATERPROOF OUTLETS.
- RECESS LIGHTS IN INSULATED CEILINGS TO BE LIGHTOLIER 1102 IC - 1105 OR EQUAL.
- PROVIDE 110V OUTLET AND SWITCHED LIGHT IN ATTIC NEAR H.V.A.C. EQUIPMENT. LOCATE SWITCH NEAR (IF NOT OUTSIDE) ATTIC ACCESS.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS. IF UTILITY ROOM HAS A MEANS OF NATURAL VENTILATION TO OUTSIDE, A VENT IS NOT REQUIRED.
- ALL EXHAUST VENTS SHALL EXIT THROUGH THE ROOF DECKING AT A MINIMUM DISTANCE OF 3'-0" FROM ANY PROPERTY LINE. GREYER VENTS MAY EXIT A NON-FIRE RATED EXTERIOR WALL.
- WHEN GARAGE DOOR OPENERS ARE INSTALLED, PROVIDE LOW VOLTAGE FOR SHUTOFF AND REVERSE SENSORS AT BOTH SIDES OF OVERHEAD DOOR.

ELECTRICAL NOTE:  
 ELECTRICAL PLANS ARE PROVIDED FOR DESIGN INTENT ONLY. VERIFY LOCATIONS OF FIXTURES, SWITCHES, OUTLETS AND EQUIPMENT WITH A LICENSED PROFESSIONAL ELECTRICIAN.

### SQUARE FOOTAGES

FIRST FLOOR:	542
SECOND FLOOR:	905
TOTAL LIVING AREA:	1447 S.F.
GARAGE:	376
TOTAL SLAB:	968 S.F.
PORCH: 40+16	56
TOTAL COVD:	1873 S.F.
TOTAL AREA:	1929 S.F.

**KIMBERLY LANE PROPERTIES**  
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