

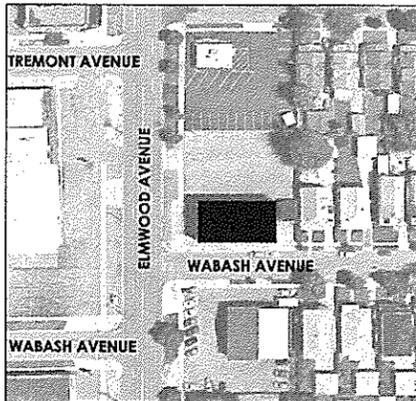
NORTHWEST COMMUNITY MENTAL HEALTH CENTER

2495 ELMWOOD AVENUE, KENMORE, NEW YORK 14217

RENOVATION

eco logic
2495 MAIN ST.
SUITE 431
BUFFALO, NY 14214
716.834.9588

studio T3
engineering PLLC



LOCATION PLAN
N.T.S.



PHOTO: ELMWOOD & WABASH

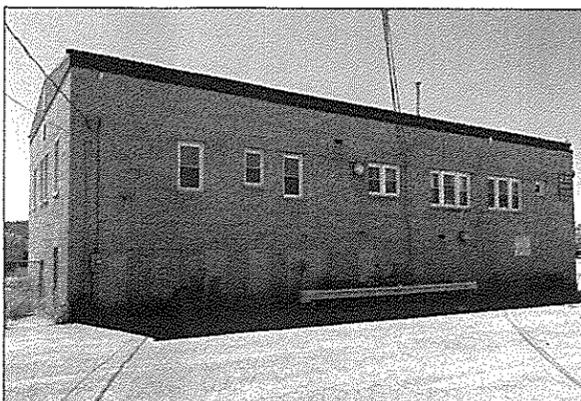
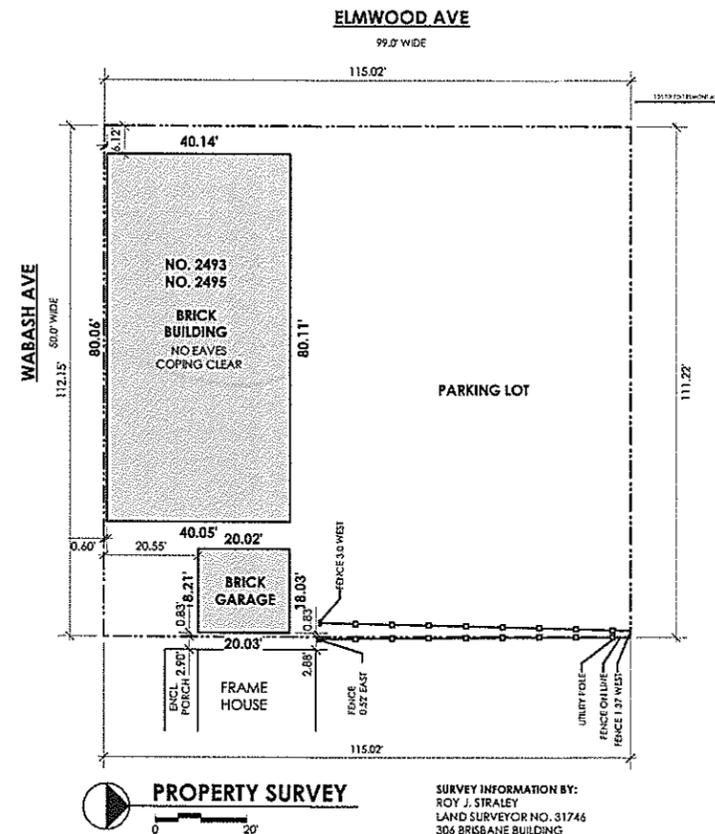


PHOTO: VIEW FROM PARKING LOT



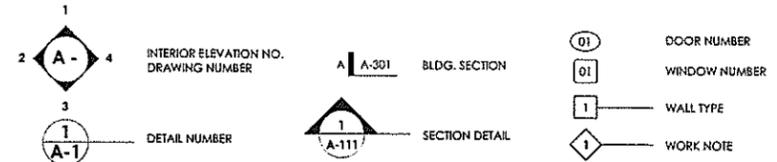
PROPERTY SURVEY

SURVEY INFORMATION BY:
ROY J. STRALEY
LAND SURVEYOR NO. 31746
306 BRISBANE BUILDING
BUFFALO, NEW YORK

CODE SUMMARY

EXISTING:
CONSTRUCTION TYPE = TYPE III B, TWO STORY
AREA = 40' X 80' GROSS = 3,200 SF.
38' X 78' NET = 2,964 SF. (PER FLOOR)
USE = GROUP B (BUSINESS) OFFICE & CLINIC (OUTPATIENT)
PROPOSED:
USE = GROUP B (BUSINESS) OFFICE & CLINIC (OUTPATIENT)
[NO CHANGE OF USE]
WORK CLASSIFICATION = ALTERATIONS - LEVEL 3
[WORK AREA EXCEEDS 50 PERCENT OF THE BLDG. AREA]
-COMPLY WITH EBC CHAPTERS 7, 8 & 9.
OCCUPANCY FOR BUSINESS AREAS (100 GROSS) = 30 OCCUPANCY PER FLOOR.
ALLOWABLE AREA = FOR 6 2 STORIES/ 19,000 SF.
-THEREFORE NON SEPARATED USE IS ALLOWABLE.

SYMBOLS INDEX



GENERAL REQUIREMENTS:

1. CONTRACTOR TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
2. CONTRACTOR TO COMPLY WITH NFPA 70 AND NFPA 72 AS REQUIRED.
3. CONTRACTOR TO MAINTAIN INSURANCE AS REQUIRED BY NEW YORK STATE AND THE CITY OF BUFFALO.
4. CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
5. CONTRACTOR IS TO REVIEW AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND SCOPE OF WORK PRIOR TO CONSTRUCT. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
6. NO SUBSTITUTIONS ARE TO BE MADE WITHOUT THE AUTHORIZATION OF THE OWNER AND ARCHITECT.
7. PROVIDE ALL NECESSARY TEMPORARY SUPPORT OR ENCLOSURE TO PROPERLY PROTECT AND COMPLETE THE WORK.
8. PROPERLY DISPOSE OF AND REMOVE DEBRIS FROM THE WORK SITE DAILY OR STORE IN APPROPRIATE CONTAINER.
9. COMPLY WITH MANUFACTURERS' WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF PRODUCTS SPECIFICALLY CALLED OUT.
10. ALL COLORS AS INDICATED OR AS SELECTED BY ARCHITECT.
11. PROVIDE SUBMITTALS TO OWNER/ARCHITECT OF PRODUCTS, FINISHES, AND MATERIALS WHICH REQUIRE APPROVAL OF OWNER/ARCHITECT.
12. WHERE MATERIALS ARE TO MATCH EXISTING, USE MATERIALS THAT VISUALLY MATCH ADJACENT SURFACES TO THE FULLEST EXTENT POSSIBLE. WHERE MATCHING MATERIALS ARE NOT AVAILABLE, PROVIDE MATERIALS AS APPROVED BY ARCHITECT.
13. CONTRACTOR TO PROVIDE AND MAINTAIN TEMPORARY FENCING, BARRICADES, SIGNS, SAFETY LIGHTS, ETC. TO PROTECT THE WORK AND MAINTAIN PUBLIC SAFETY AND ACCESS AT ALL TIMES DURING CONSTRUCTION.
14. WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT UNITS AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS.
15. CONTRACTOR TO SUBMIT PRODUCT DATA, SHOP DRAWINGS, SAMPLES, AND SUBSTITUTION REQUESTS TO THE ARCHITECT FOR APPROVAL. CONTRACTOR TO REVIEW, COORDINATE, AND VERIFY THAT SUBMITTALS MEET SPECIFIED REQUIREMENTS PRIOR TO SUBMISSION.
16. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS REQUIRED FOR THE WORK AND THEIR ASSOCIATED FEES UNLESS RESPONSIBILITY OF OWNER.
17. CONTRACTOR SHALL KEEP AND MAINTAIN AS-BUILT DOCUMENTATION OF THE CONSTRUCTION AT THE PROJECT SITE IN A PROFESSIONAL AND READABLE MANNER AND SUBMIT TO OWNER AT SUBSTANTIAL COMPLETION.
18. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY UTILITIES AND FACILITIES TO PERFORM THE WORK.
19. CONTRACTOR TO REQUEST FINAL INSPECTION BY ARCHITECT PRIOR TO ISSUE OF FINAL CERTIFICATE OF PAYMENT AND COMPLETE OR CORRECT WORK NOTED BY ARCHITECT. UPON COMPLETION OF WORK IDENTIFIED IN PREVIOUS INSPECTIONS, THE CONTRACTOR WILL REQUEST A REINSPECTION BY ARCHITECT.
20. CONTRACTOR TO SUPPLY OWNER WITH OPERATIONS AND MAINTENANCE MANUAL AND WARRANTIES OF ALL PRODUCTS AND SYSTEMS AT CLOSEOUT.
21. VERIFY IN FIELD AND REMOVE IN DEMOLITION WORK AREA ONLY. ALL EXISTING LIGHTING, OUTLETS AND ASSOCIATED WIRING AND SWITCHING. VERIFY IN FIELD EXISTING CIRCUITS AND MODIFY AS REQUIRED FOR DEMO REMOVALS AND EXISTING TO REMAIN. AT ALL AREAS DISTURBED DURING THE DEMOLITION, ADJACENT EXISTING FINISHES TO REMAIN ARE INTENDED TO BE PATCHED TO MATCH THE EXISTING AND AS REQUIRED FOR THE NEW WORK. PROTECT EXISTING AS REQUIRED.

SUBMITTALS:

1. CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTALS AND SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION OF ANY NEW WORK. PROVIDE FOR ALL ARCHITECTURAL AND ENGINEERING PRODUCTS SHOWN ON DRAWINGS INCLUDING BUT NOT LIMITED TO, DOORS AND HARDWARE, ELECTRICAL FIXTURES, MECHANICAL EQUIPMENT, PLUMBING FIXTURES, ALL FLOOR, WALL AND CEILING FINISHES, AND PRODUCT COLOR SELECTIONS.

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- T-100 COVER, TITLE SHEET
- C-100 SITE PLAN
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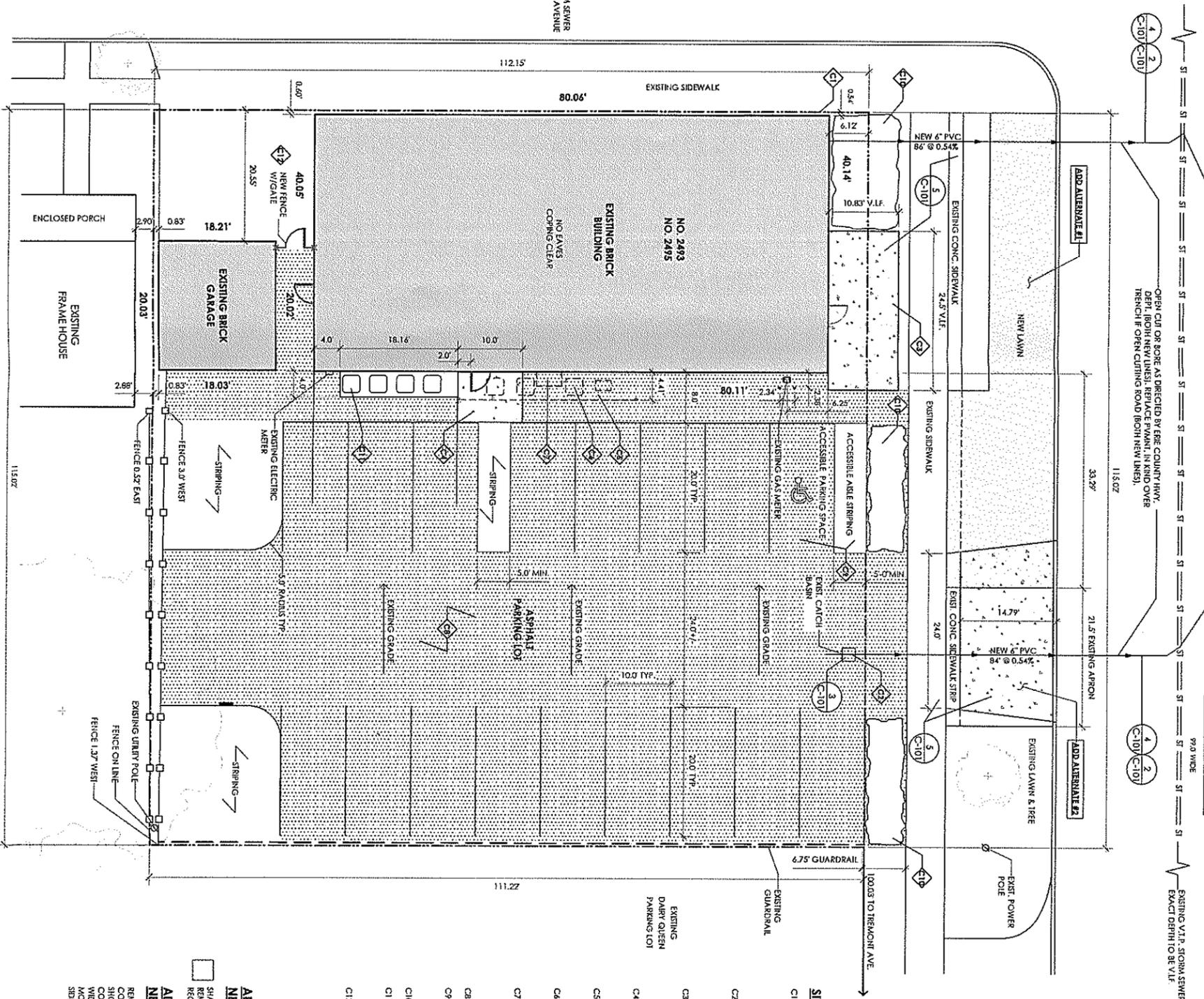
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2495 Elmwood Avenue
Buffalo, NY 14217
RENOVATION

Project # 1648.2
DRAWN BY: aq. lrs
26 January 2018

COVER, TITLE SHEET
DWG. NO. ELMWOOD
T-100

NOTE:
THERE IS NO STORM SEWER
BENEATH WABASH AVENUE

WABASH AVENUE
50.0 WIDE



SITE WORK NOTES:

- C1. DOWNSPOUT DRAINAGE TO BE MODIFIED AS REQUIRED TO CONNECT TO STORM SEWER. DISCONNECT FROM EXISTING SANITARY SEWER AS REQUIRED. SEE DETAILS 2 & 4. DRAWING C-101. PATCH CONCRETE SIDEWALK TO MATCH EXISTING AS REQUIRED.
- C2. EXISTING CATCH BASIN DRAINAGE TO BE MODIFIED AS REQUIRED TO CONNECT TO STORM SEWER. SEE DET. 3/C-101. PATCH ASPHALT PAVING TO MATCH EXISTING AS REQUIRED. REMOVE EXIST. DRAIN CONNECTION TO SANITARY SEWER.
- C3. REMOVE EXISTING AREA OF CONCRETE SIDEWALK. REMOVE AT EXISTING CORNER JOINTS (V.L.F.). PROVIDE NEW CONCRETE LANDING AND SURROUNDING SIDEWALK SLOPED UP TO DOOR LANDING. SEE SIDEWALK DETAIL 5/C-101. NEW CONCRETE LANDING AT NEW SIDE DOOR. SLOPE ASPHALT PAVING UP TO LANDING ELEVATION. SEE SIDEWALK DETAIL 5/C-101.
- C4. EXISTING GUARDRAIL TO BE REMOVED. ASPHALT PAVING TO BE PATCHED TO MATCH EXISTING AT REMOVED GUARDRAIL AND AREA OF REMOVED MECHANICALS, V.L.F.
- C5. EXISTING EXTERIOR MECHANICAL EQUIPMENT TO BE REMOVED AND RELOCATED OR REPLACED PER MECHANICAL DWGS. INCLUDE ALL ASSOCIATED ELECTRICAL AND CONDURERS.
- C6. EXISTING EXHAUST PLenum ENCLOSURE TO BE REMOVED IN ITS ENTIRETY. INRILL WALL OPENING WITH MASONRY AND FILL WITH COMPACTED STONE. PATCH TO MATCH EXISTING ASPHALT PAVING. SEE PLANS.
- C7. ENTIRE PARKING LOT TO BE SEALED AND STRIPPED AS SHOWN.
- C8. PROVIDE ACCESSIBLE PARKING SPACE, STRIPPED AREA, AND SIGNAGE AS SHOWN. SIGNAGE TO BE MOUNTED AT BUILDING.
- C9. FUTURE PLANTING AREA (REFERENCE ONLY)
- C10. REMOVE AREA OF ASPHALT AND PROVIDE NEW 4" THICK CONCRETE MECHANICAL PAD FOR NEW OUTDOOR CONDENSING UNIT. (SEE MECHANICAL PLANS.)
- C12. PROVIDE NEW SECTION OF 6" H. GALV. CHAIN LINK FENCE AND 3" W. GATE WITH SCHEDULE 40 GALV. PIPE POSTS SET IN CONCRETE FOOTINGS. GATE SHALL HAVE LATCH AND HINGES. PATCH EXISTING PAVING TO MATCH.

ADD ALTERNATE #1

SHADED AREA DENOTES EXISTING ASPHALT PAVING TO BE REMOVED FOR NEW TOPSOIL AND LAWN. COORDINATE AS REQUIRED WITH ADD ALT. # 2.

ADD ALTERNATE #2

REMOVE EXISTING CONCRETE APRON IN ITS ENTIRETY. FOR NEW CONCRETE APRON CENTERED ON PARKING LOT. HATCHED AREA SHOWS DEMONIES NEW APRON. INCLUDE REMOVAL OF ADJACENT CONC. SIDEWALK STRIP BETWEEN APRON AND MAIN SIDEWALK. WIDTH TO MATCH PARKING LOT AISLE WIDTH. RADIOS AT STREET AND MODIFIED CURB CUT AS REQUIRED. REGRADE FROM EXISTING SIDEWALK TO STREET AS REQUIRED.

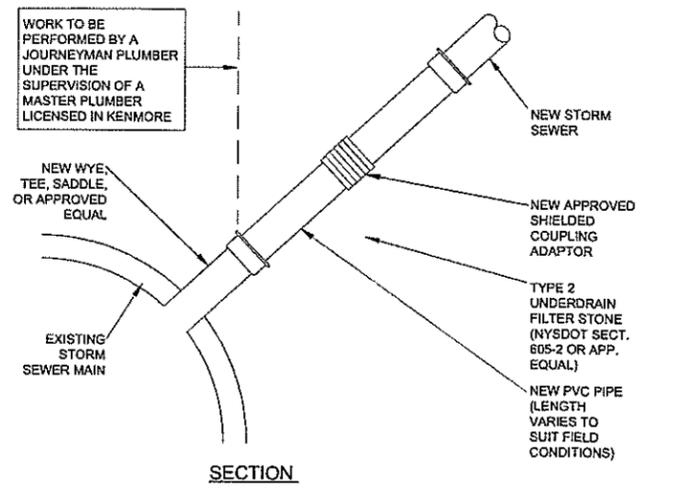
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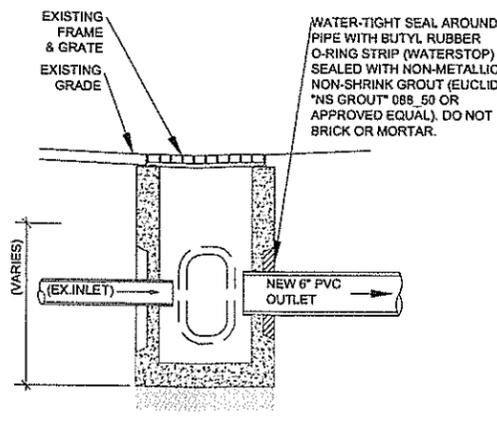
SITE PLAN

DWG. NO. **ELMWOOD C-100**

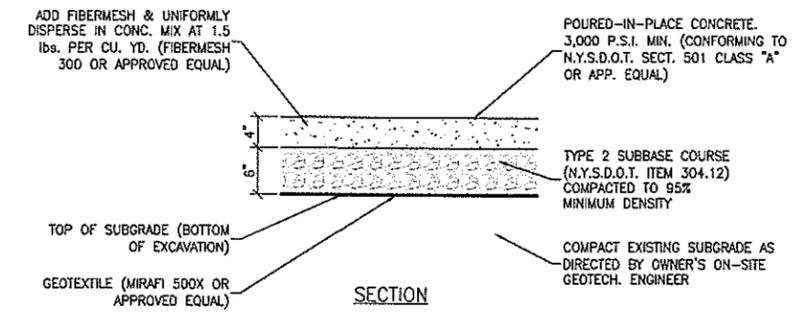
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SEWER CONNECTION DETAIL
 SECTION 1
 SCALE: 3/4" = 1'-0"

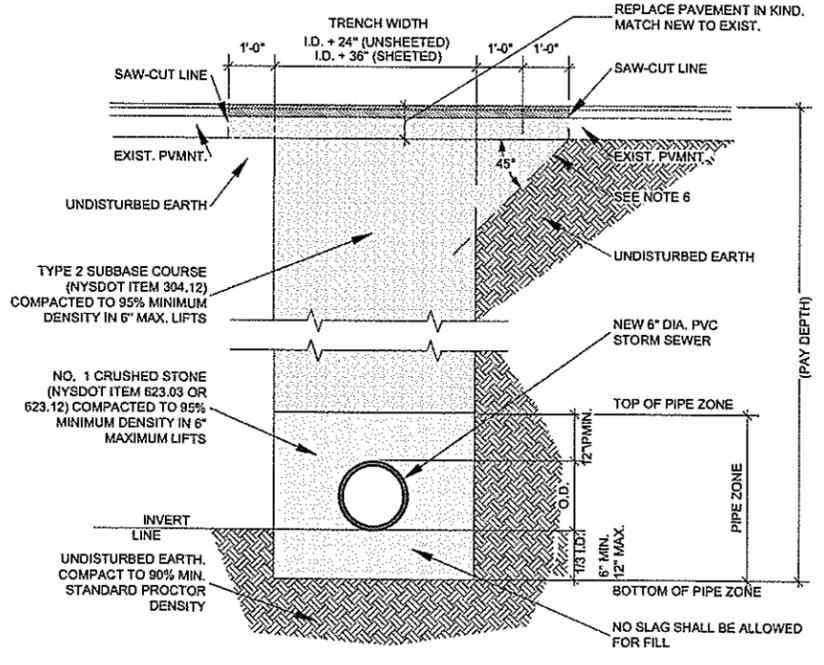


CATCH BASIN DETAIL
 SECTION 3
 SCALE: 1/2" = 1'-0"



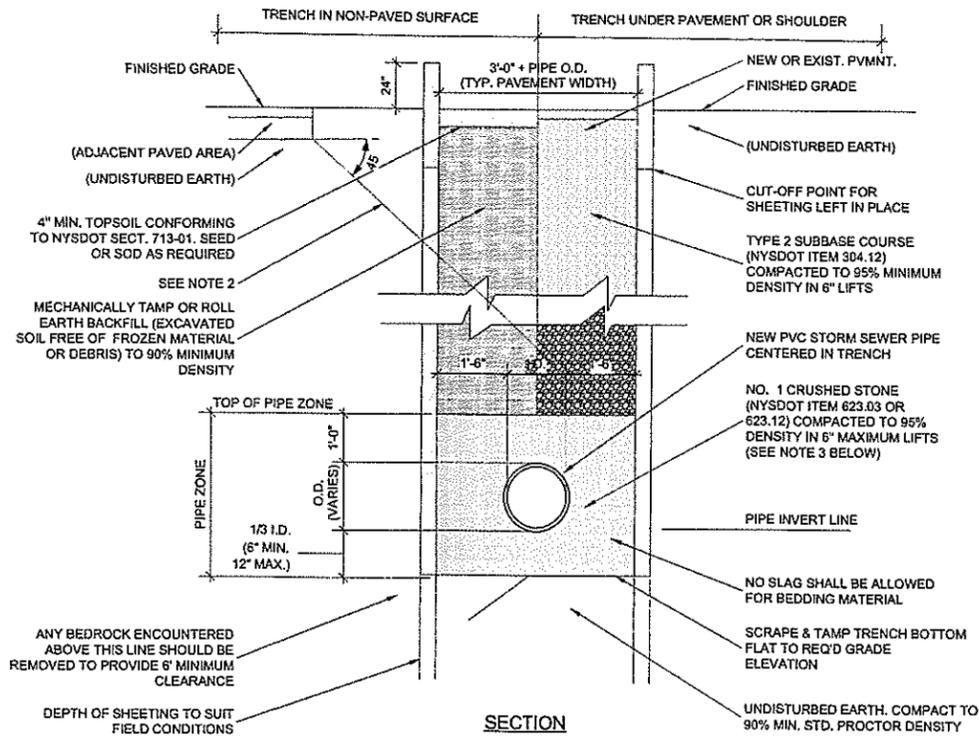
SIDEWALK / CONCRETE PAD DETAIL
 SECTION 5
 SCALE 1" = 1'-0"

- NOTES:
1. ALL CONCRETE FOR SIDEWALKS SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 501. CONSTRUCTION SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 608-3.
 2. ALL CONCRETE AREAS SHALL BE SCORED 5' ON CENTER (OR AS NOTED ON SHEET C-1.1) WITH SAW-CUT CONTROL JOINTS 1-1/2 INCHES DEEP. ALL SCORED JOINTS SHALL BE SAW-CUT WITHIN 24 HOURS OF POURING CONCRETE.
 3. EXPANSION JOINTS IN CONCRETE AREAS SHALL BE NO MORE THAN 25' ON CENTER AND IT INTERFACES BETWEEN DRIVEWAYS, SIDEWALKS, SLABS, AND FOUNDATIONS. ALL SIDEWALK EDGES SHALL BE TOOLED WITH A 1/4" EDGE RADIUS WITHIN 24 HOURS OF POURING CONCRETE. INSTALL FELT BOARD EXPANSION JOINT. SCORE FELT AND REMOVE TO DEPTH OF 1/2" BELOW SLAB. PROVIDE SEAL WITH 1/2" INCH PRE-MOLDED RESILIENT JOINT FILLER AT ALL EXPANSION JOINTS.
 4. PROVIDE DOWELS @ 12" C-C INTO FOUNDATION WHERE SIDEWALK ABUTS BUILDING WALLS AT DOOR ENTRANCES ONLY TO PREVENT FROST HEAVING. AT OTHER AREAS WHERE SIDEWALK ABUTS BUILDING WALLS PROVIDE 1/2" PRE-MOLDED EXPANSION JOINT WITH BACKER ROD AND SEALANT.
 5. IN DRIVEWAY AREAS CONCRETE THICKNESS SHALL BE INCREASED TO 6 INCHES MINIMUM.
 6. CONCRETE SHALL HAVE A SLUMP OF NO MORE THAN 5" AND AN AIR ENTRAINMENT OF 4-6%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN CONFORMANCE WITH ALL A.C.I. REQUIREMENTS.



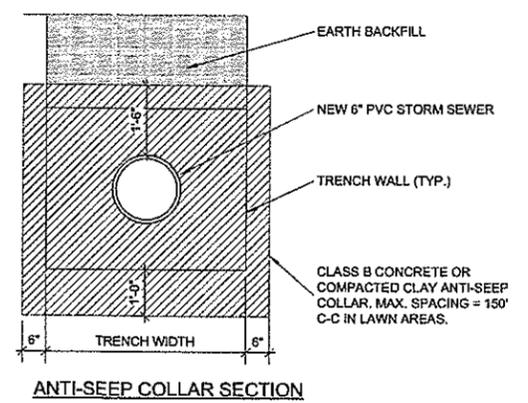
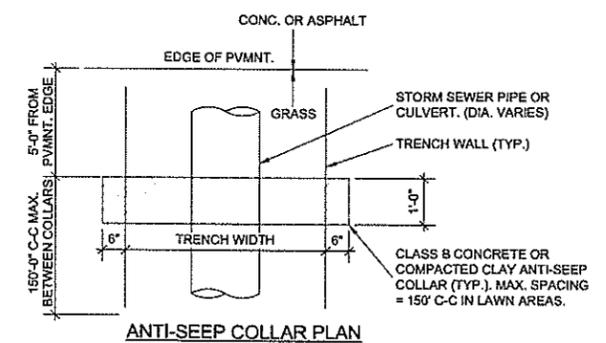
PAVEMENT REPLACEMENT DETAIL
 SECTION 2
 SCALE: 1/2" = 1'-0"

- NOTES
1. IF CONSTRUCTION IS PERFORMED BETWEEN OCTOBER 1 AND APRIL 1, THE CONTRACTOR IS REQUIRED TO PROVIDE 4" OF COLD PATCH FOR ALL PAVEMENT CUTS.
 2. ALL OPEN CUTS WITHIN 50' OF AN INTERSECTION SHALL BE TOPPED WITH 4" OF COLD PATCH REGARDLESS OF THE TIME OF YEAR.
 3. ALL ROAD CUTS ON HEAVILY TRAVELED HIGHWAYS ROADWAYS WILL REQUIRE 4" OF COLD PATCH (GENERALLY STATE AND COUNTY HIGHWAYS).
 4. ALL TEMPORARY PAVEMENT PATCHES SHALL BE MAINTAINED BY THE CONTRACTOR.
 5. SHEETING OR SHORING SHALL BE REQUIRED PER O.S.H.A. STANDARDS FOR WORKER SAFETY AND PROTECTION OF TRENCH AREA. ALL SHORING AND TRENCHING SHALL BE DONE AS DIRECTED BY THE OWNER'S ON-SITE GEOTECHNICAL ENGINEER AND SHALL REMAIN IN PLACE UNTIL ALL TRENCHING OPERATIONS ARE COMPLETED.
 6. SELECT FILL (NYS DOT ITEM 304.12) IS REQUIRED BENEATH NON-PAVED AREAS ADJACENT TO PAVED AREAS IF THE 45° LINE SHOWN ABOVE INTERCEPTS THE TRENCH ABOVE THE PIPE ZONE.
 7. PIPE BEDDING AND MATERIAL AROUND THE PIPE ("NO. 1 CRUSHED STONE") SHALL CONFORM TO NYSDOT TABLE 703-4, SIZE DESIGNATION 1, MATERIAL DESIGNATION 702-0201. OPTIONAL: PIPE BEDDING MATERIAL SHALL CONFORM TO CLASS I, II, OR III AS PER ASTM D 2321.
 8. PAVEMENT CUTS BY THE CONTRACTOR WILL BE MADE WITH A SAW, PNEUMATIC SPADE OR OTHER ACCEPTED MEANS PRIOR TO EXCAVATION.
 9. FINAL PAVEMENT RESTORATION: THE CONTRACTOR WILL BE RESPONSIBLE TO SAW CUT AN ADDITIONAL 12" ON EACH SIDE OF THE DISTURBED TRENCH AREA, SO AS TO PROVIDE A UNIFORM STRAIGHT EDGE. THE CUT EDGE WILL THEN BE COATED WITH A BITUMINOUS SEAL COAT AND REPLACED IN THE MANNER DESCRIBED ABOVE.



STORM SEWER TRENCH
 SECTION 4
 SCALE 1/2" = 1'-0"

- NOTES
1. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 2. SELECT FILL (NYS DOT ITEM 304.12) IS REQUIRED BENEATH NON-PAVED AREAS ADJACENT TO PAVED AREAS IF THE 45° LINE SHOWN ABOVE INTERCEPTS THE TRENCH ABOVE THE PIPE ZONE.
 3. PIPE BEDDING AND MATERIAL AROUND THE PIPE ("NO. 1 CRUSHED STONE") SHALL CONFORM TO NYSDOT TABLE 703-4, SIZE DESIGNATION 1, MATERIAL DESIGNATION 702-0201. OPTIONAL: PIPE BEDDING MATERIAL SHALL CONFORM TO CLASS I, II, OR III AS PER ASTM D 2321.
 4. COMPACTED CLAY OR CLASS B CONCRETE ANTI-SEEPAGE COLLARS SHALL BE USED IN GRASS AREAS TO ELIMINATE THE POSSIBILITY OF PIPE UNDERMINING DUE TO SEEPAGE THROUGH THE PIPE ZONE. (SEE DETAIL RIGHT).
 5. IF SOFT MATERIALS OR POOR LOAD-BEARING QUALITY ARE FOUND AT THE BOTTOM OF THE TRENCH, STABILIZATION SHALL BE ACHIEVED BY EXCAVATING A MINIMUM OF TWO PIPE DIAMETERS AND BACKFILLING TO THE PIPE INVERT WITH PIPE BEDDING AND COMPACTING TO 95% DENSITY AS IN NOTE 3 ABOVE.



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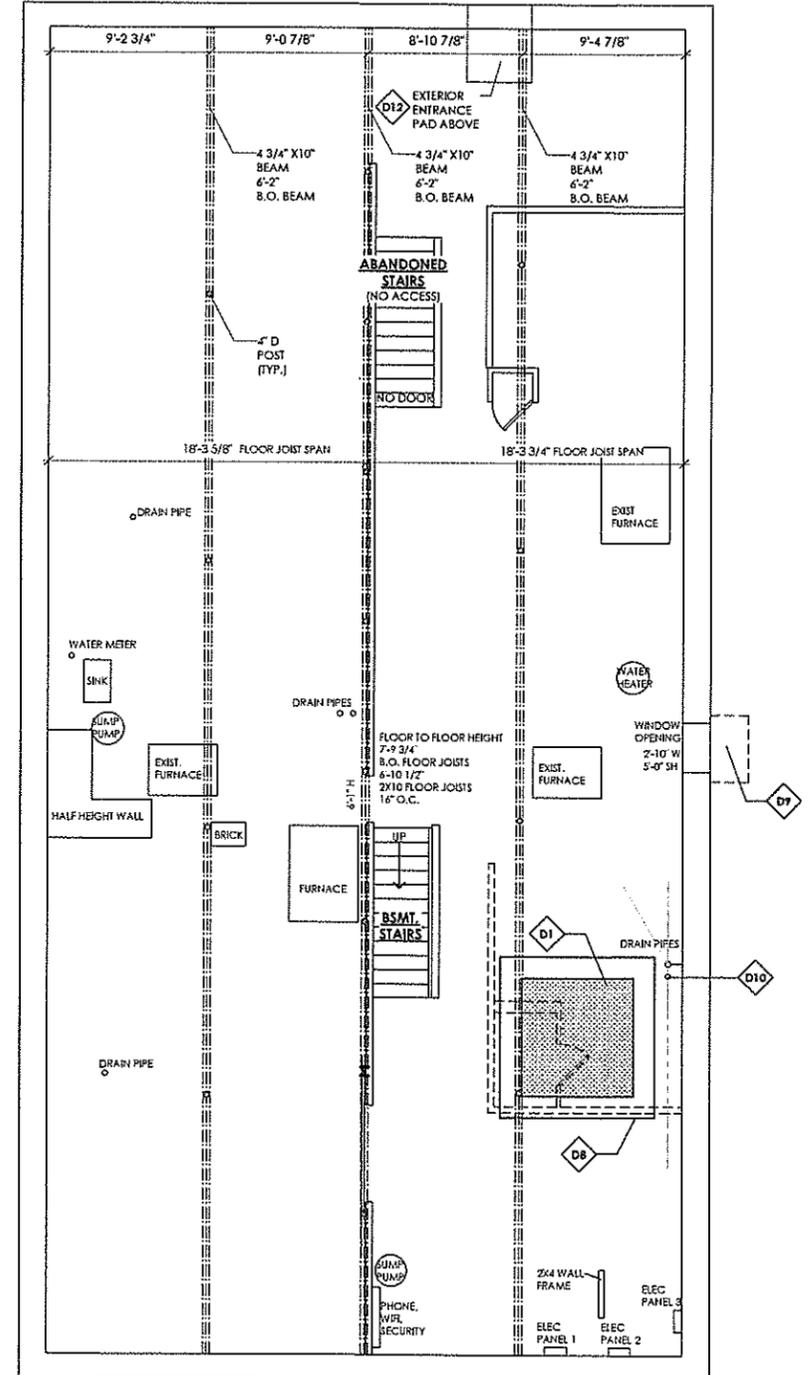
ELMWOOD AVENUE

ASBESTOS ABATEMENT NOTES:

THE FOLLOWING ROOMS & SURFACES HAVE EXIST. ASBESTOS CONTAINING MATERIALS (ACM)

ACM	LOCATION	APPROXIMATE QUANTITY
STUCCO	2ND FLOOR OFFICE, REAR STAIRWELL HALL	2,000 SF.
FLOORING AND MASTIC	1ST FLOOR FRONT	3,600 SF.
FLOORING	2ND FLOOR OFFICE	400 SF.
PIPE INSULATION	BASEMENT	< 10 L.F.

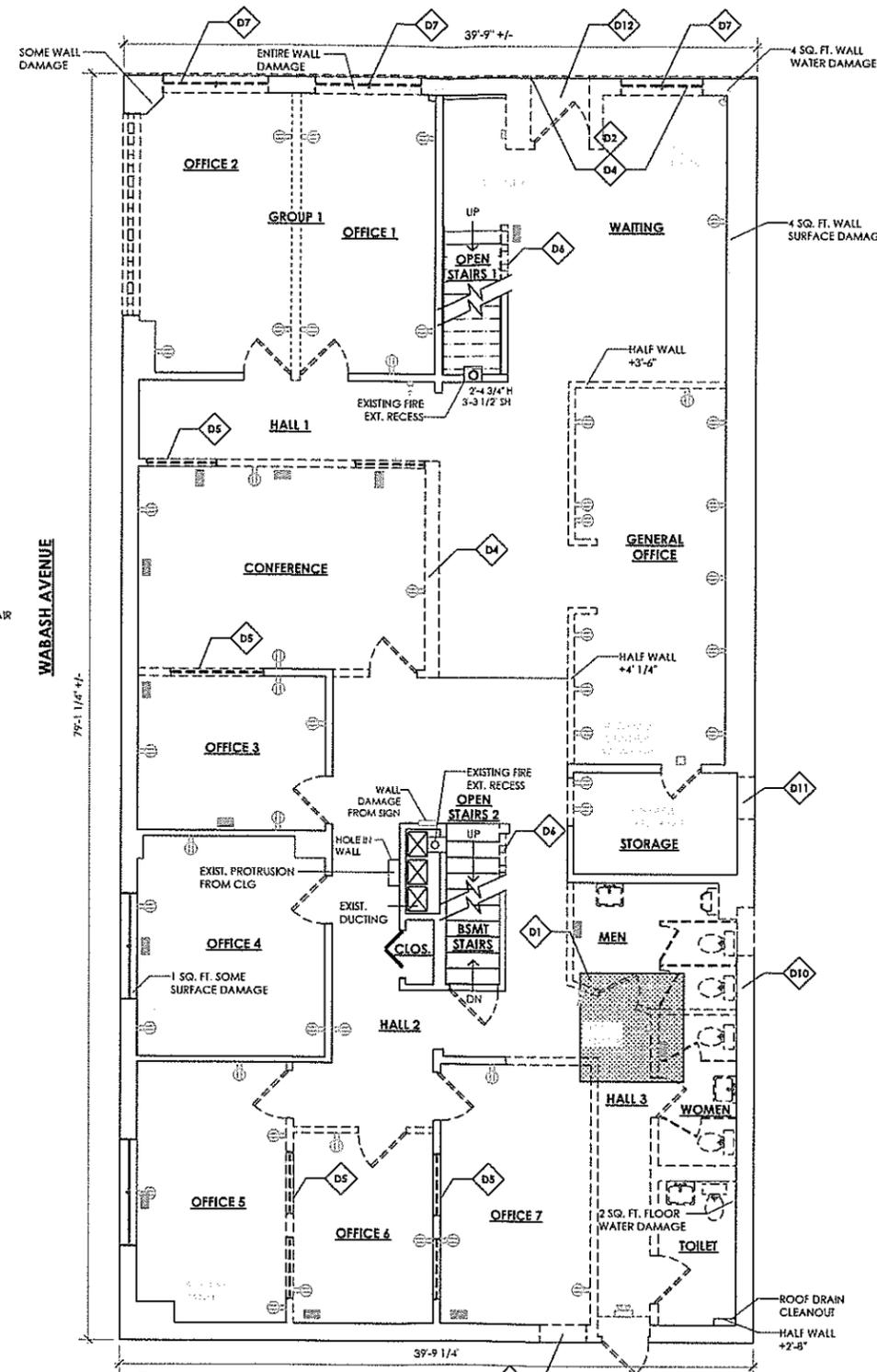
ALL INFORMATION ABOVE IS FOR REFERENCE ONLY AS TAKEN FROM THE ASBESTOS ABATEMENT REPORT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASBESTOS ABATEMENT WORK AS NOTED IN THE ASBESTOS SAMPLING REPORT DATED 11 DECEMBER 2017 BY S6 SERVICES.



EXISTING BASEMENT PLAN DEMOLITION

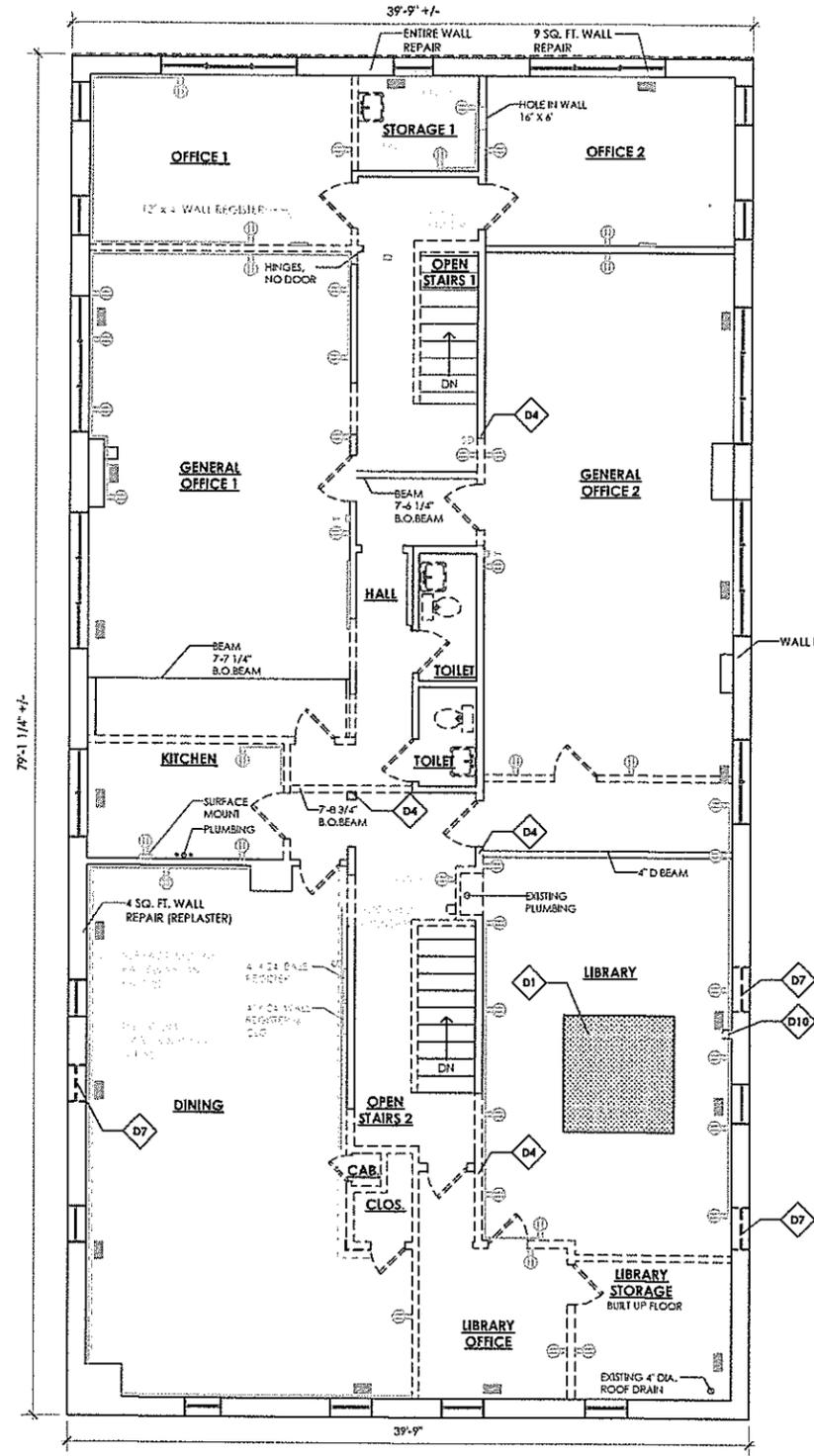
LEGEND

	EXISTING PARTITION TO REMAIN		EXISTING DOOR TO REMAIN
	EXISTING PARTITION TO BE REMOVED		EXISTING DOOR TO BE REMOVED
	NEW PARTITION		NEW DOOR
	CONSTRUCTION ABOVE		



EXISTING FIRST FLOOR DEMOLITION

- D1. SHADED AREAS DENOTES LOCATION OF NEW EULA ELEVATOR AND ELEVATOR SHAFT. CONTRACTOR TO INVESTIGATE SECTIONS OF ALL FLOORS AND ORIGINAL ROOF CONSTRUCTION THAT ARE TO BE REMOVED FOR THE NEW ELEVATOR SHAFT. COORDINATE ANY DISCREPANCIES WITH ARCHITECT PRIOR TO NEW WORK. ALSO SEE BUILDING SECTION DRAWING. REMOVE SECTIONS OF FLOOR AND ROOF CONSTRUCTION AS REQUIRED FOR THE NEW WORK. PROVIDE SHORING AS REQUIRED.
- D2. CAREFULLY REMOVE SECTION OF EXTERIOR WALL FOR NEW STOREFRONT WITH ENTRANCE DOOR. NOTIFY ARCHITECT UPON REMOVALS TO COORDINATE FULL EXTENT OF DEMOLITION AND THE HEAD, JAMB, SKL DETAILS OF THE NEW OPENING REQUIRED FOR THE NEW WORK.
- D3. REMOVALS FOR THE NEW EXTERIOR DOOR LOCATIONS ONLY TO BE COMMENCED ONCE ELEVATOR SHAFT AND NEW FLOOR PLAN LAYOUT VERIFIED IN FIELD. REMOVE EXTERIOR WALL CONSTRUCTION TO THE CLOSEST BRICK JOINT AT EXTERIOR. COORDINATE LOCATIONS WITH ARCHITECT AS REQUIRED.
- D4. PRIOR TO FULL DEMOLITION, VERIFY IN FIELD IF EXISTING WALL IS BEARING, OR IF STRUCTURAL COLUMNS OR HEADER EXIST WITHIN WALL. NOTIFY ARCHITECT AS REQUIRED.
- D5. DENOTES EXISTING BORROWED LITE TO BE REMOVED. (TYPICAL)
- D6. REMOVE EXISTING EXPOSED WOOD STUD WALL AT SIDE OF OPEN STAIR. VERIFY IF STUDS ARE BEARING PRIOR TO REMOVAL. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- D7. REMOVE EXISTING EXTERIOR WINDOW PER EXISTING/DEMO ELEVATIONS D-103.
- D8. REMOVE SECTION OF CONC. FLOOR SLAB AS REQUIRED FOR NEW ELEVATOR SHAFT FOUNDATION. SEE BUILDING SECTION A-301.
- D9. EXISTING EXHAUST PLENUM AT EXTERIOR TO BE REMOVED. SEE MECHANICAL DRAWINGS.
- D10. EXISTING PLUMBING STACK TO BE REMOVED FROM BASEMENT TO ROOF. SEE PLUMBING DRAWINGS. REMOVE SECTIONS OF WALL AS REQUIRED TO ACCESS STACK REMOVAL. V.I.F. ALL LOCATIONS INCLUDING ORIGINAL ROOF AND NEW ROOF PENETRATIONS. PATCH ALL DISTURBED AREAS AND REMAINING OPENINGS AS REQUIRED TO MATCH EXISTING.
- D11. REMOVE SECTION OF EXTERIOR WALL FOR NEW ENTRANCE DOOR.
- D12. EXTERIOR ENTRANCE PAD TO BE REMOVED AS REQUIRED FOR NEW VESTIBULE FLOOR. V.I.F. EXISTING MUD SET TILE AND FLOOR FRAMING FOR PROPER REMOVALS.

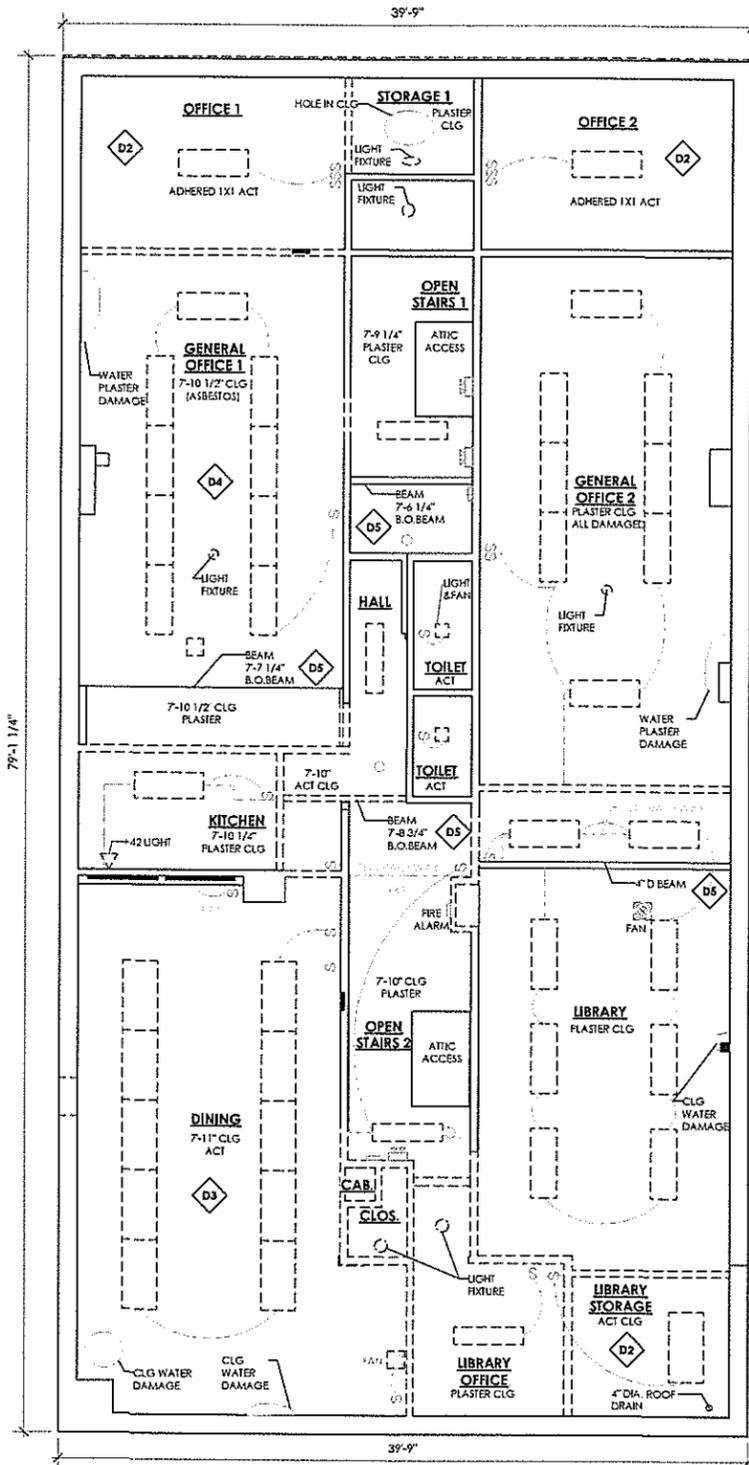


EXISTING SECOND FLOOR DEMOLITION

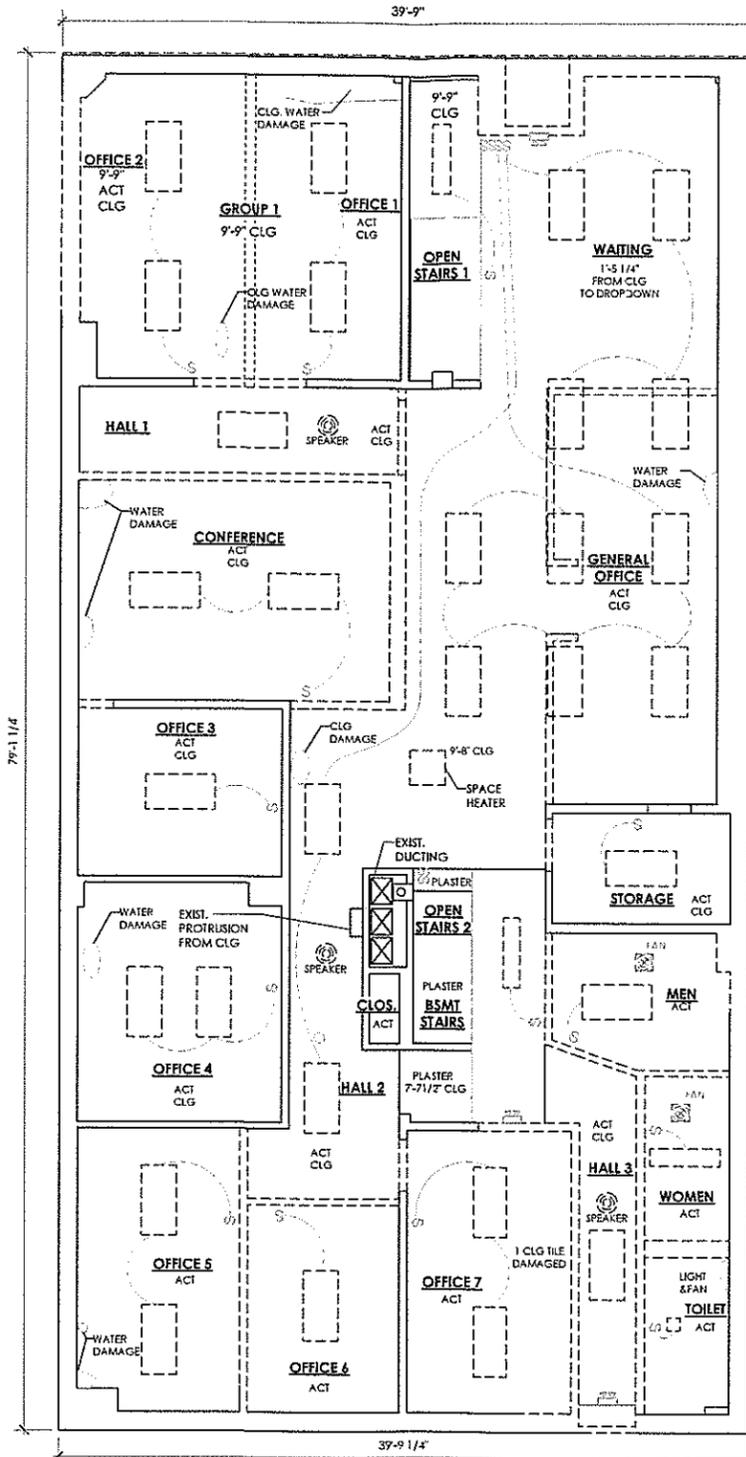
- DEMOLITION NOTES**
- GENERAL:**
- EXISTING OUTLETS, SWITCHES, WALL REGISTERS, FLOOR REGISTERS, RACEWAY, AND OTHER MISC. ITEMS SHOWN FOR REFERENCE. REMOVE AS REQUIRED FOR PARTITIONS TO BE REMOVED. OTHERWISE EXISTING TO REMAIN. ALSO SEE MECH. ELEC DWGS FOR COMPLETE SCOPE OF WORK.
 - VERIFY IN FIELD ALL EXISTING CONDITIONS PRIOR TO DEMOLITION WORK.
 - ENTIRE FIRST FLOOR FLOORING IS CARPET WITH EXCEPTION OF TOILET ROOMS. REMOVE ALL CARPET IN ITS ENTIRETY.
 - TOILET ROOM PLUMBING FIXTURES AND FINISHES TO BE REMOVED IN THEIR ENTIRETY AS SHOWN ON DRAWINGS.
 - CARPET ON STAIRS TO BE REMOVED IN ITS ENTIRETY.

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EXISTING/DEMO FLOOR PLANS
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EXISTING SECOND FLOOR RCP DEMOLITION D1



EXISTING FIRST FLOOR RCP DEMOLITION D1 D3

REFLECTED CEILING PLAN NOTES: D4

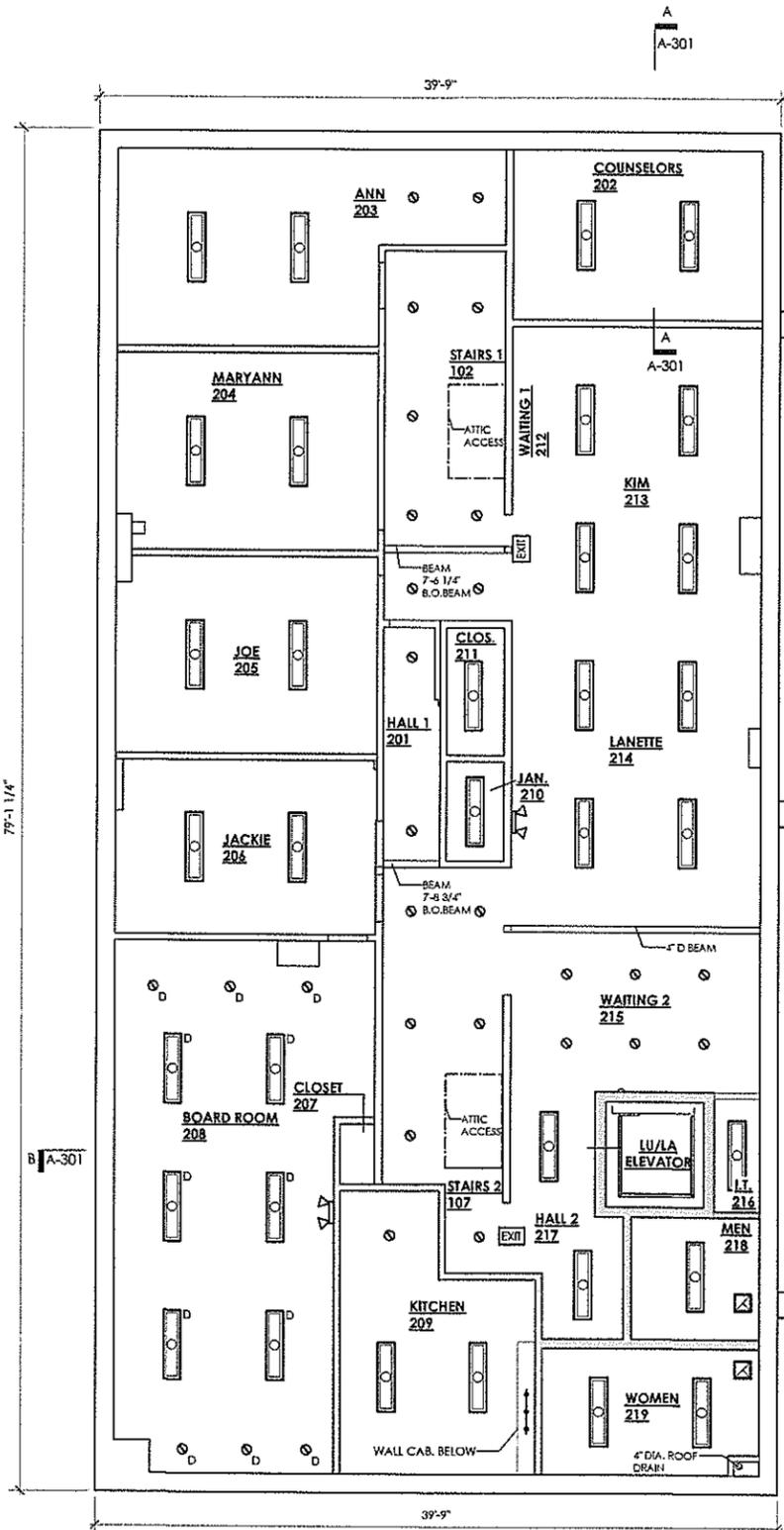
- D1. EXISTING LIGHT FIXTURES AND ASSOCIATED WIRING AND SWITCHES TO BE REMOVED AS REQUIRED FOR NEW WORK. SEE ELEC. DWG.
- D2. REMOVE ADHERED 1X1 ACT BY ITS ENTIRETY.
- D3. REMOVE SUSPENDED 2X4 ACT CEILING AND GRID IN ITS ENTIRETY.
- D4. EXISTING CEILING STUCCO CONTAINS ASBESTOS. ANY REMOVAL FOR REPAIRS SHALL BE PER ASBESTOS ABATEMENT CONTRACT.
- D5. VERIFY IN FIELD IF EXISTING BEAM IS FAUX, STRUCTURAL, OR REQUIRED OF CEILING MATERIAL CHANGE. REMOVE EXISTING FINISHES AS REQUIRED. NOTIFY ARCHITECT FOR REVIEW TO DETERMINE FULL WORK SCOPE.

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**NORTHWEST
 COMMUNITY
 MENTAL HEALTH CENTER**
 2495 Elmwood Avenue
 Buffalo, NY 14217
RENOVATION
 Project # 1648.2
 DRAWN BY: aq, lrs
 26 January 2018
 EXISTING/DEMO
 RCP
 DWG. NO. ELMWOOD
D-102

LEGEND

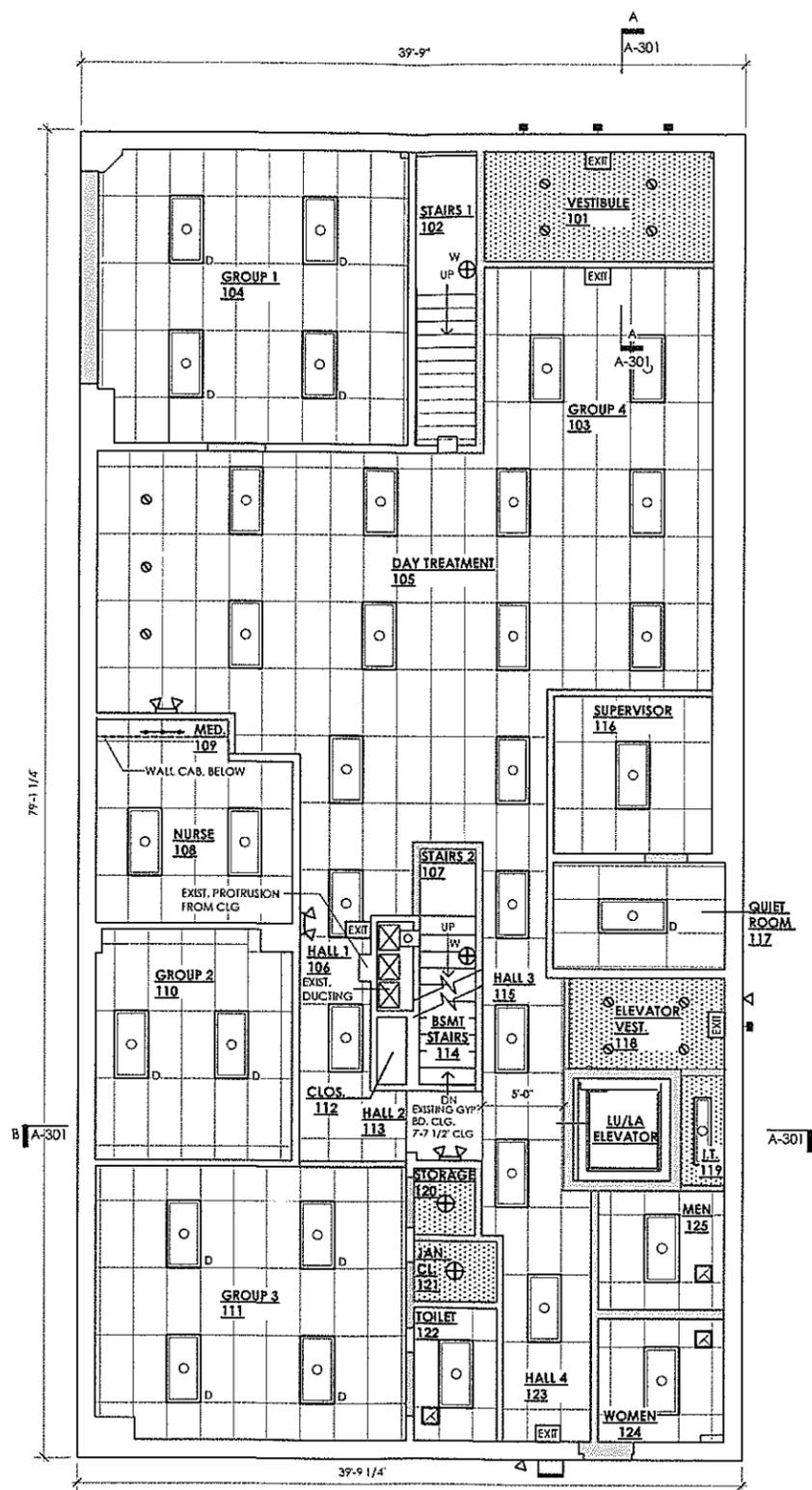
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- NEW PARTITION
- DAMAGE



SECOND FLOOR

**ADD ALTERNATE #4
 SECOND FLOOR CEILING REPLACEMENT**

PROVIDE THE COST FOR COMPLETE REMOVAL OF THE EXISTING SECOND FLOOR CEILING, AND REPLACING WITH NEW 5/8" GYPSUM BOARD CEILING ATTACHED TO THE EXISTING CEILING JOISTS. EXISTING CELLULOSE CEILING CAVITY INSULATION TO BE REMOVED IN ITS ENTIRETY WITH EXISTING CEILING REMOVAL. NEW BLOWN IN CELLULOSE INSULATION TO BE PROVIDED WITH NEW CEILING.



FIRST FLOOR

REFLECTED CEILING PLAN NOTES:

BASEMENT

- EXISTING ELECTRICAL TO REMAIN UNLESS OTHERWISE NOTED ON ELECTRICAL DRAWINGS.
- PROVIDE NEW ELECTRICAL AND LIGHTING FOR LU/LA ELEVATOR AND MACHINE ROOM. SEE ELECTRICAL DRAWINGS E-100 & E-101.

FIRST FLOOR

- PROVIDE NEW 2'x4' ACOUSTICAL TILE CEILING AND METAL GRID AS SHOWN.
- CEILING HEIGHT SHALL BE 8'-3" +/- A.F.F., AT ALL ROOMS, AND SHALL ACCOMMODATE SPACE ABOVE FOR MECHANICALS AS REQUIRED. SEE MECHANICAL DRAWINGS.
- ALL GYPSUM BOARD CEILINGS SHOWN TO BE PAINTED.

SECOND FLOOR

- SEE ALTERNATE #4.
- ALL EXISTING CEILINGS TO BE PATCHED TO MATCH EXISTING AND PAINTED.
- CEILING HEIGHT SHALL BE AS PER EXISTING HEIGHT.

SYMBOL LEGEND

SYMBOL	MEANING
⊕	LED LOW PROFILE ROUND FLUSH MOUNT SUFFIX 'W' DENOTES WALL MOUNTED
⊙	RECESSED DOWNLIGHT
○	2'x4' LIGHT FIXTURE AS PROVIDED BY OWNER SUFFIX 'D' DENOTES DIMMABLE
◻	1'x4' LIGHT FIXTURE AS PROVIDED BY OWNER SUFFIX 'D' DENOTES DIMMABLE
⌌	2'x4' SUSP ACT CEILING EXISTING MTL. GRID AT MULTI-PURPOSE ROOM TO REMAIN.
▨	GYP. BOARD
⊠	EXHAUST FAN
—	UNDER CABINET LED STRIP LIGHT FIXTURE
■	EXTERIOR LIGHT FIXTURE
EXIT	EXIT SIGNAGE
⚡	EMERGENCY EGRESS LIGHTING
□	WAL-PACK
△	REMOTE EMERGENCY HEAD

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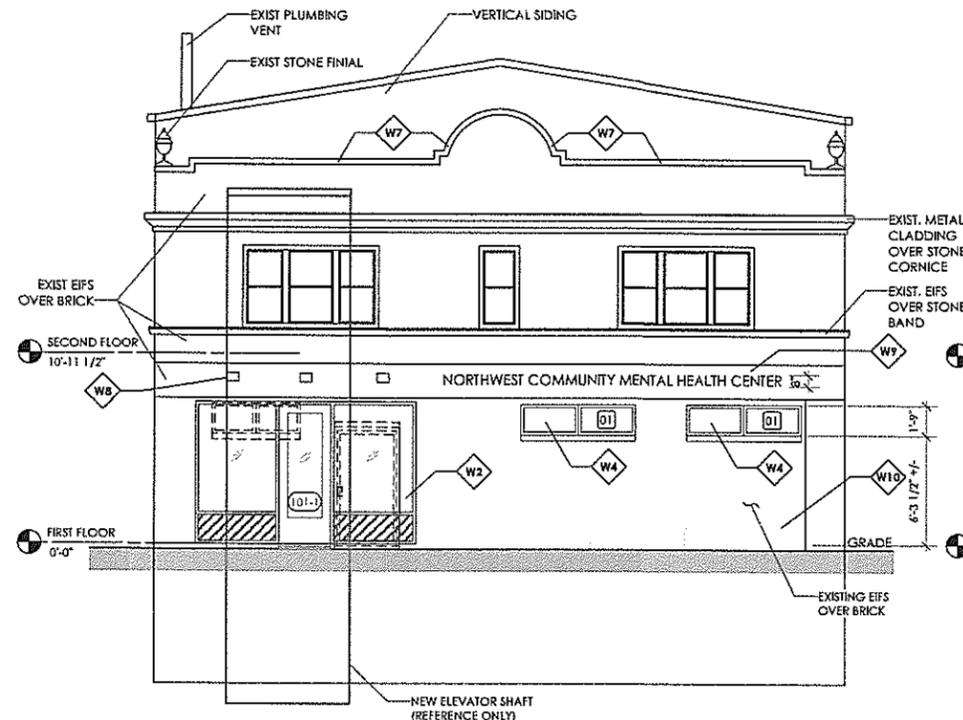
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26 January 2018

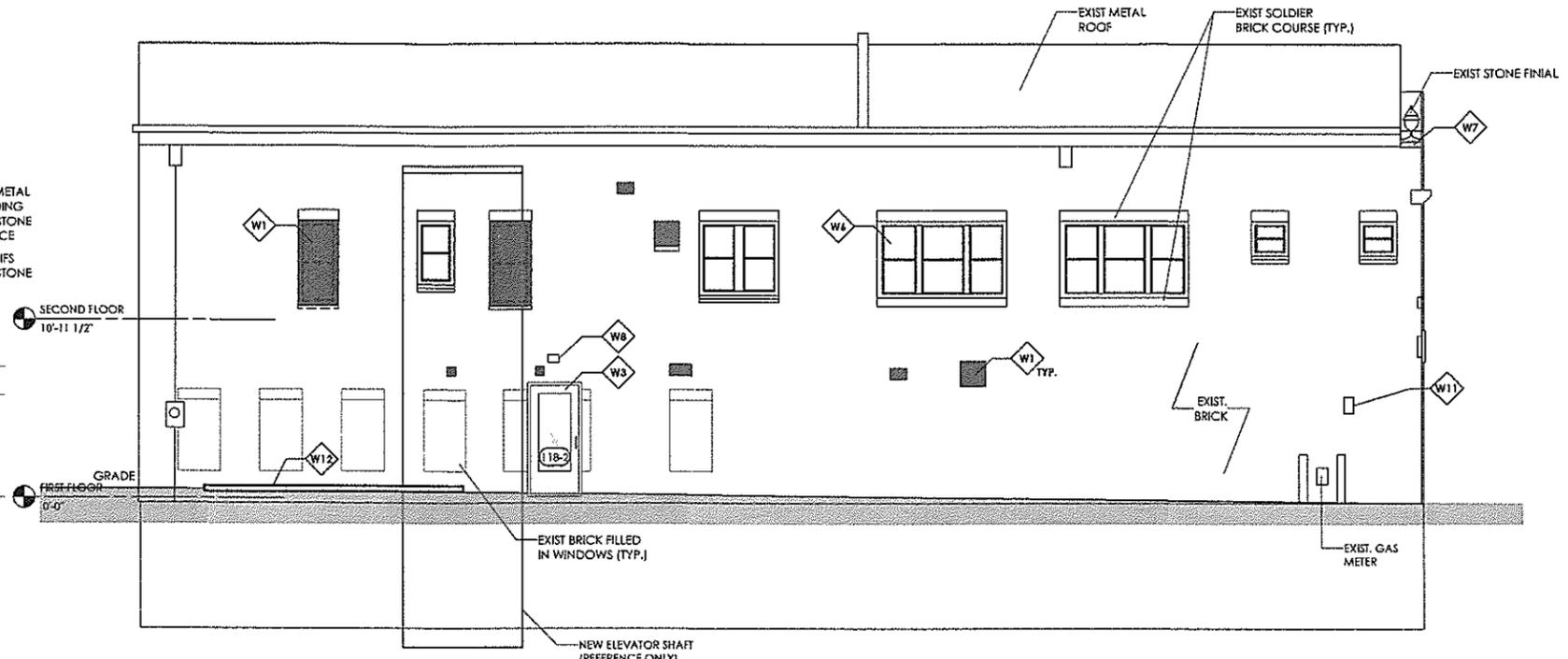
REFLECTED CEILING PLAN

DWG. NO. ELMWOOD

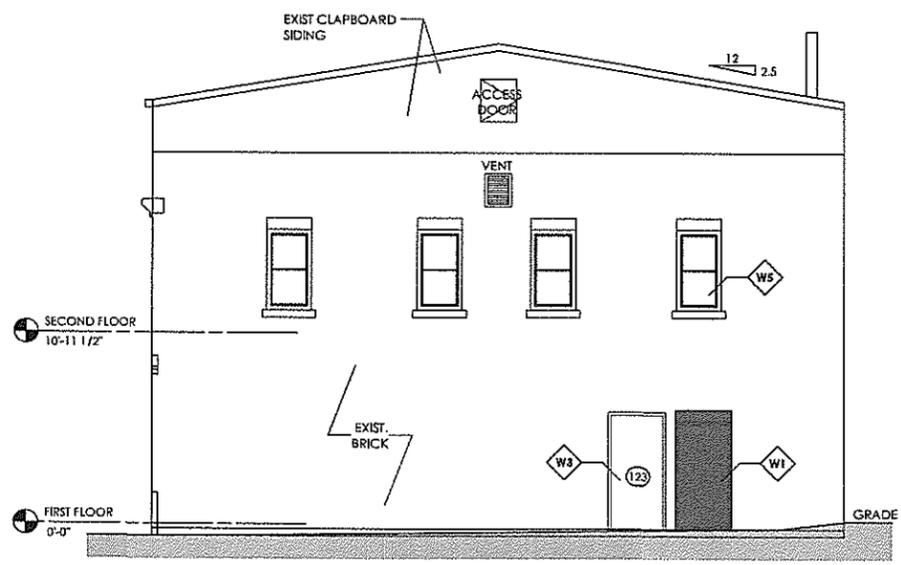
A-102



1 WEST ELEVATION
 0 2 4



2 NORTH ELEVATION
 0 2 4



3 EAST ELEVATION
 0 2 4



4 SOUTH ELEVATION
 0 2 4

**ADD ALTERNATE #5
 BRICK REPOINTING AT SOUTH ELEVATION**

PROVIDE THE COST FOR APPROX. 2,000 SF. OF BRICK REPOINTING AT EXISTING WALL AREA WHERE MORTAR HAS DETERIORATED AND RECEDED. VERIFY IN FIELD.

ALSO SEE:
 ALTERNATE #3 EIFS REMOVAL AT FRONT FACADE FOR COMPLETE INFORMATION.

WORK NOTES

- W1. HATCH DENOTES EXTERIOR WALL CONSTRUCTION INFILL TO MATCH EXISTING. V.I.F. EXISTING UPON DEMOLITION. PROVIDE BRICK VENEER, OVER AIR SPACE, OVER AIR/MOISTURE BARRIER, OVER EXTERNAL GRADE SHEATHING, OVER WOOD STUDS @ 16\" O.C. AND AS REQUIRED FOR PATCHED OPENING. PROVIDE INSULATION WITHIN STUD CAVITIES AND INTERIOR FINISH TO MATCH EXISTING - OR - AS NOTED FOR NEW WORK.
- W2. NEW STOREFRONT WITH ENTRANCE DOOR. SEE SECTION AA DRAWING A-301. SEE DOOR SCHEDULE.
- W3. NEW ENTRANCE DOOR. SEE DOOR SCHEDULE. PROVIDE NEW STEEL LINTELS FOR OPENING. (2) BACK-TO-BACK 5\" x 3-1/2\" x 5/16\" AT BACKUP WALL AND (1) 5\" x 3-1/2\" x 5/16\" AT FACE BRICK. MIN. 4\" BEARING EA. SIDE. GALVANIZE ALL STEEL. PROVIDE NEW WALL FLASHING AT WEEPS FOR PROPER DRAINAGE OVER LINTEL OF FACE BRICK. PATCH BRICK TO MATCH EXISTING. TOOTHING IN TO MATCH COURSING. VERIFY EXISTING EXTERIOR WALL CONSTRUCTION.
- W4. NEW WINDOW. SEE WINDOW SCHEDULE.
- W5. EXISTING WINDOW TO REMAIN AT NEW WOMEN'S TOILET ROOM. PROVIDE OBSCURE GLASS FILM TO INTERIOR GLASS SURFACE FOR TOP & BOTTOM SASH. V.I.F. EXISTING.
- W6. EXISTING WINDOW TO REMAIN. REPLACE BROKEN INSULATED GLASS UNIT TO MATCH EXISTING. V.I.F. AT FRONT (WEST) ELEVATION. REMOVE EXISTING MEMBRANE FLASHING AT TOP OF WALL AND PROVIDE NEW PRE-FINISHED METAL COPINGS. V.I.F. EXISTING INSTALLATION AS REQUIRED FOR WALL ELEVATION CHANGES. ORNAMENTAL STONE AND CENTRAL RADIUS WALL EXTENSION. RETURN BACK AT NORTH AND SOUTH ELEVATION AS SHOWN.
- W8. EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DWGS.
- W9. DIMENSIONAL ALUMINUM LETTERS BUILDING SIGNAGE. WALL MOUNTED [V.I.F.] WITH 1 1/4\" STANDOFFS. 8\" HEIGHT. BLUE COLOR TO CLOSELY MATCH OWNERS LOGO.
- W10. FUTURE PLANTINGS (REFERENCE ONLY)
- W11. HANDICAPPED ACCESSIBLE PARKING SIGN. WALL MOUNTED.
- W12. NEW CONCRETE MECH. PAD AND MECHANICAL AREA

LEGEND

- NEW WORK
- - - - - EXISTING TO BE REMOVED
- EXISTING TO REMAIN

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