

FOR SALE

TURN-KEY INDUSTRIAL STRATA WAREHOUSE + OFFICE

UNIT G - 2610 PROGRESSIVE WAY, ABBOTSFORD BC

3,084 SF

WAREHOUSE + OFFICE

12' X 14' GRADE DOOR



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OPPORTUNITY

Marcus & Millichap is pleased to offer the opportunity to purchase Unit G – 2610 Progressive Way, Abbotsford.

Business-Ready

Boasting an oversized 12' x 14' oversized grade loading door and a functional, efficient combination of warehouse and fully permitted office buildout, Unit G can be immediately operationalized.

Capital Improvements

Membrane roofing is less than 4-years old. Mechanical systems (furnace and hot water tank) upgraded Spring 2025. Professional office buildout. The subject property is a low-maintenance, high-value opportunity for an owner/user.

Optimal Size and Zoning

1,962 SF floorplate and flexible I-2 (Light Industrial) zoning represent an excellent opportunity for small to mid-sized owner/users in trades, warehousing, research and development or manufacturing.



Marcus & Millichap

OFFERING HIGHLIGHTS



Possession
Immediate



Loading
1 (12' x 14') Grade Loading Door



Zoning
I-2 (Light Industrial) allows for a wide variety of light industrial and commercial uses



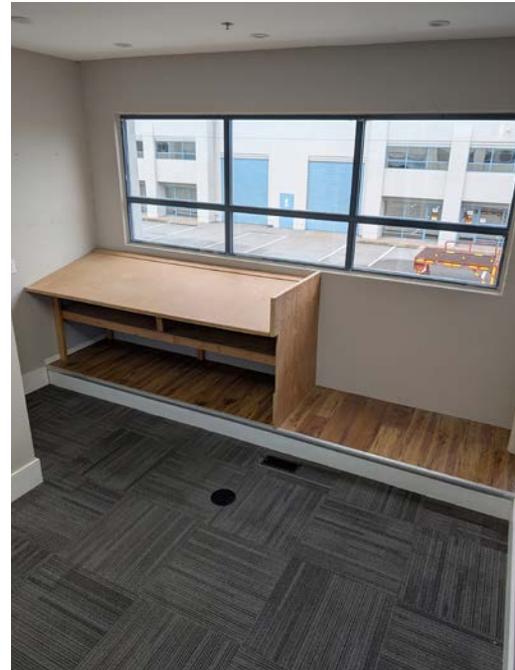
Turn Key
Efficient warehouse + fully permitted office buildout ready for immediate use



Prime Location
Abbotsford's industrial hub is home to the Fraser Valley's premiere industrial operations and minutes from Highway 1 and the Mt. Lehman interchange



Asking Price
\$950,000





BUILDING DETAILS

Address **Unit G – 2610 Progressive Way, Abbotsford BC**

Building Size	Main Floor (Warehouse + Office)	1,962 SF
	Mezzanine (Office + Storage)	1,122 SF
	Total	3,084 SF

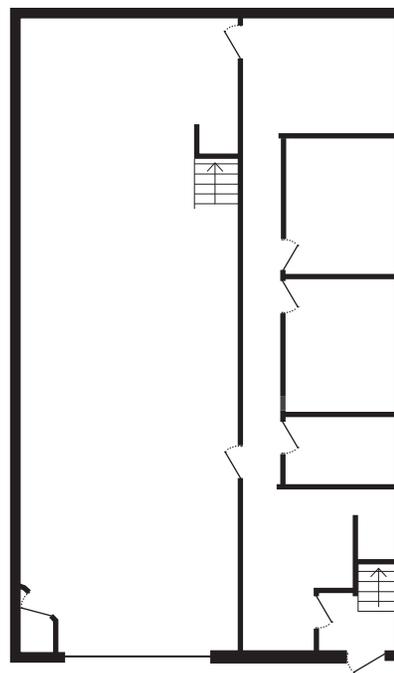
Clear Height 19'

Loading 12' x 14' Grade Loading Door

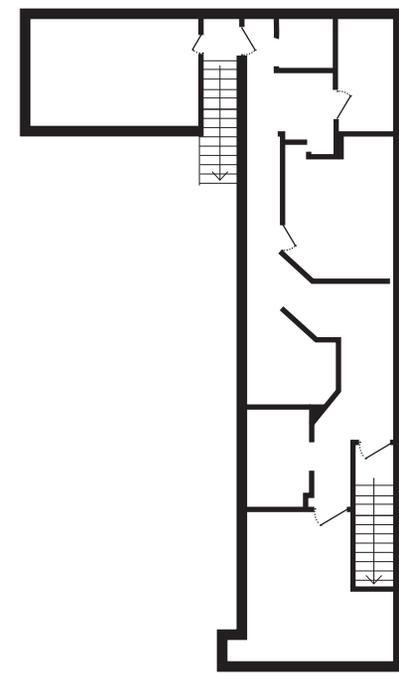
Electrical Service Single Phase 120/ 240V/ 200A

Strata Fee \$399.57/month

FLOOR PLAN



MAIN FLOOR



MEZZANINE



VANCOUVER
DRIVE TIME 1H (65KM)

CHILLIWACK
DRIVE TIME 25MIN (40KM)



LOCATION OVERVIEW

The subject property is centrally located just east of Mt. Lehman Road and south of Highway 1 in Abbotsford's Peardonville industrial hub. Home to many of the Fraser Valley's most prominent industrial operations, this planned, purpose-built business park is easily accessible and accommodates larger vehicles. Abbotsford is known for being one of the fastest-growing communities in the province and provides the essential infrastructure, skilled workforce and economic growth for businesses to flourish.

**ABBOTSFORD
AUTOMALL**

**XCHANGE
BUSINESS PARK**

**HIGHSTREET
SHOPPING CENTRE**

**MANITOULIN
TRANSPORT**

MT. LEHMAN RD

HIGHWAY 1

**FRASERWAY RV
ABBOTSFORD**

**BE POWER
EQUIPMENT LTD.**

**LOUDMOUTH
BREWING CO.**

PROGRESSIVE WY

SUBJECT PROPERTY



**DYNAMIC
FENESTRATION**

**APEX FOOD
SOURCE**



ALDERGROVE BORDER
DRIVE TIME 15MIN (14KM)

SUMAS BORDER
DRIVE TIME 15MIN (15KM)



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