

1. THIS IS A BOUNDARY SURVEY AS DEFINED IN CHAPTER 5J-17.050(1), STANDARDS OF PRACTICE.
2. SURVEY BASED ON THE PLAT OF HOPKINS SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 18, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
3. LEGAL DESCRIPTION WAS FURNISHED BY CLIENT.
4. BEARING BASIS: A "GRID NORTH" BEARING OF S88°40'08"E ALONG THE SOUTH MAINTENANCE RIGHT OF WAY OF ORANGE AVENUE (STATE ROAD 68).
5. THIS BOUNDARY SURVEY WAS PERFORMED FOR THE PURPOSE OF FUTURE COMMERCIAL CONSTRUCTION SHOWN AND DEPICTED HEREON. I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS IS A TRUE, ACCURATE AND COMPLETE DEPICTION OF A FIELD SURVEY PERFORMED UNDER MY DIRECTION AND COMPLETED ON 12-20-23. I FURTHER CERTIFY THAT SAID DRAWING IS IN COMPLIANCE WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
6. NO UNDERGROUND UTILITIES OR IMPROVEMENTS WERE LOCATED UNLESS OTHERWISE SHOWN.
7. THIS SITE LIES WITHIN FLOOD ZONE "X", ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12111C0179 K, EFFECTIVE DATE 2-19-20.
8. FLOOD ZONE SHOWN HEREON IS AN INTERPRETATION BY THE SURVEYOR AND IS PROVIDED AS A COURTESY. THE FLOOD ZONE SHOULD BE VERIFIED BY A DETERMINATION AGENCY.
9. THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY ALEXANDER J. PIAZZA PSM, INC.
10. THE SUBJECT PROPERTY FALLS WITHIN THE COMMERCIAL/HIGH RISK CATEGORY AS CLASSIFIED IN CHAPTER 5J-17.051(2), FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES. ALL FIELD CONTROL MEASUREMENTS EXCEEDED 1:10,000 FEET ACCURACY REQUIREMENTS FOR THIS CLASSIFICATION. ALL SURVEY MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD IN FEET.
11. ALL MAPPED FEATURES SHOWN HEREON ARE UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF ALEXANDER J. PIAZZA PSM, INC.
12. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
13. ADDITIONS OR DELETIONS TO THE SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
14. THE BEARINGS SHOWN HEREON ARE RELATIVE TO THE STATE PLANE COORDINATE SYSTEM OF THE NORTH AMERICAN DATUM OF 1983 (2007 ADJUSTMENT) AND THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE REFERENCED TO THE LENGTHENAM OF FLORIDA'S L-NET GPS NETWORK DEVELOPED WHICH MEETS OR EXCEEDS THE FEDERAL GEODETIC CONTROL COMMITTEE (FGCC) GUIDELINES FOR "GEOMETRIC GEODETIC ACCURACY STANDARDS AND SPECIFICATIONS FOR USING GPS RELATIVE POSITIONING TECHNIQUES" AS WELL AS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 5J-17.051 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027 FLORIDA STATUTES. BENCHMARKS SET OR FOUND FOR THIS SURVEY ARE NOTED ON THE SKETCH.
15. THIS SURVEY IS PREPARED ONLY FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE. CERTIFIED TO: VEGAS HOME CONSTRUCTION, INC.
16. © COPYRIGHT 2023 BY ALEXANDER J. PIAZZA PSM, INC.  
THE SKETCH OF SURVEY AND SURVEY REPORT COMPRISE THE COMPLETE SURVEY.  
THIS SURVEY IS NOT VALID UNLESS THE SKETCH AND REPORT ACCOMPANY EACH OTHER.  
REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY ALEXANDER J. PIAZZA PSM, INC.

ALEXANDER J. PIAZZA PSM, INC.  
 Alexander J. Piazza  
 Digitally signed by Alexander J. Piazza  
 DN: cn=Alexander J. Piazza,  
 o=Qualtrics-2001410000000179035DE7  
 2020.012228.05-Alexander J. Piazza  
 Date: 2023.03.08 08:25:22 -0400

ALEXANDER J. PIAZZA  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA CERTIFICATE NO. 6330

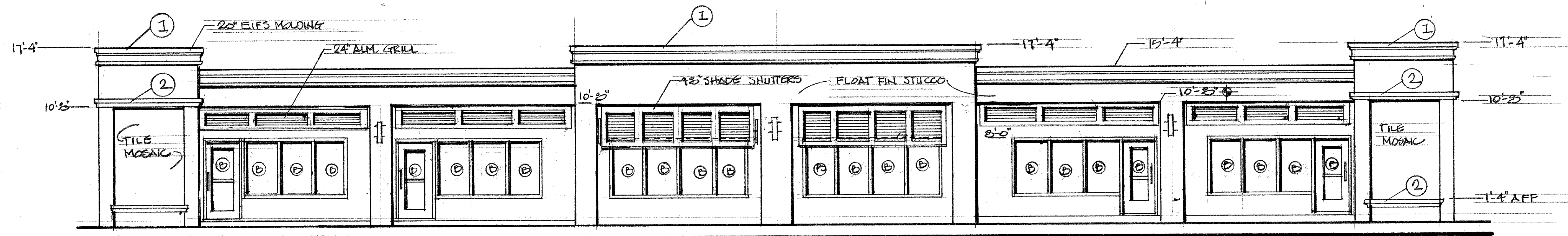
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CKD	AJP	SHEET 1 OF 1	DWG	D-1060

DATE:	REVISIONS:	BY:

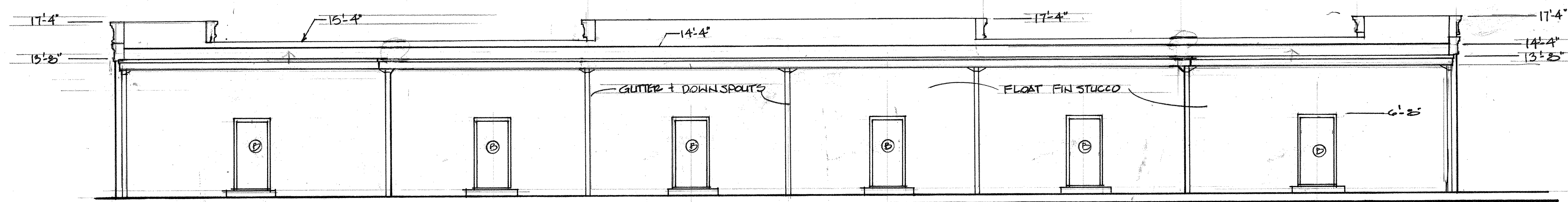
**ALEXANDER J. PIAZZA PSM, INC.**  
Surveying • Mapping • Consulting  
619 SW Biltmore Street  
Port St. Lucie, Florida 34983  
Phone: (772) 340-7770  
Fax: (772) 340-2250

**BOUNDARY TOPOGRAPHIC SURVEY**  
**12229 ORANGE AVENUE**  
 SEC 9, TWP 35S, RGE 40E  
 AS PREPARED FOR  
**VEGAS HOME CONSTRUCTION, INC.**

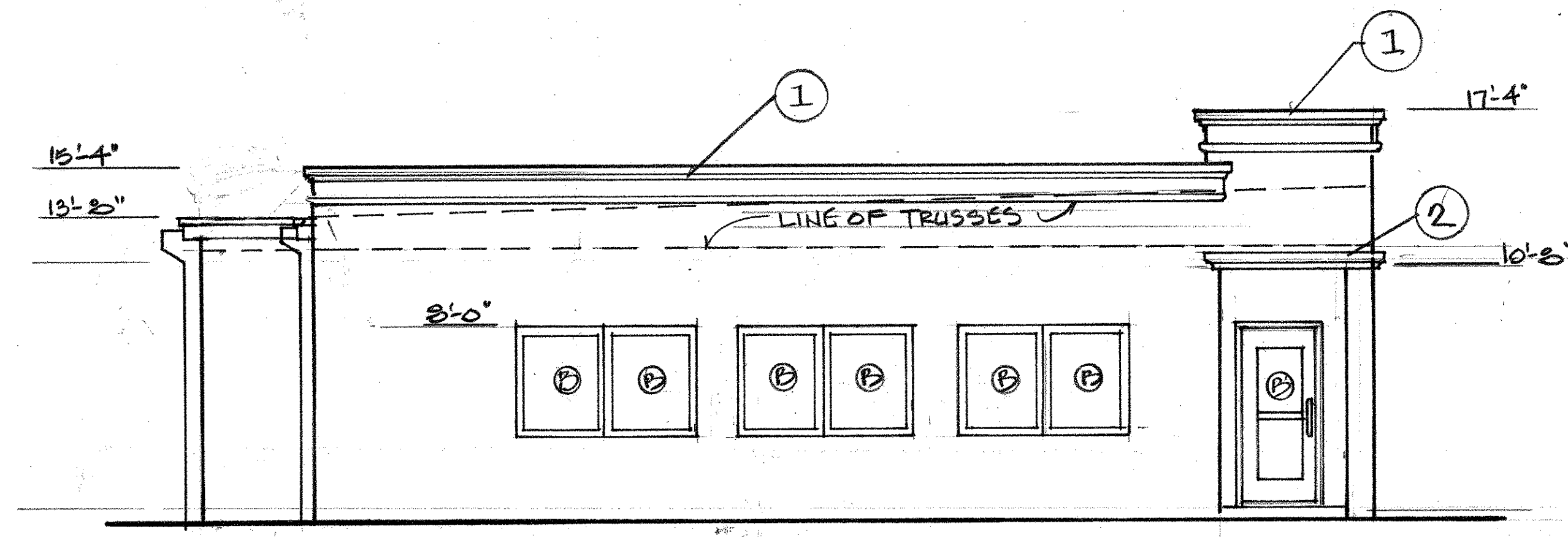




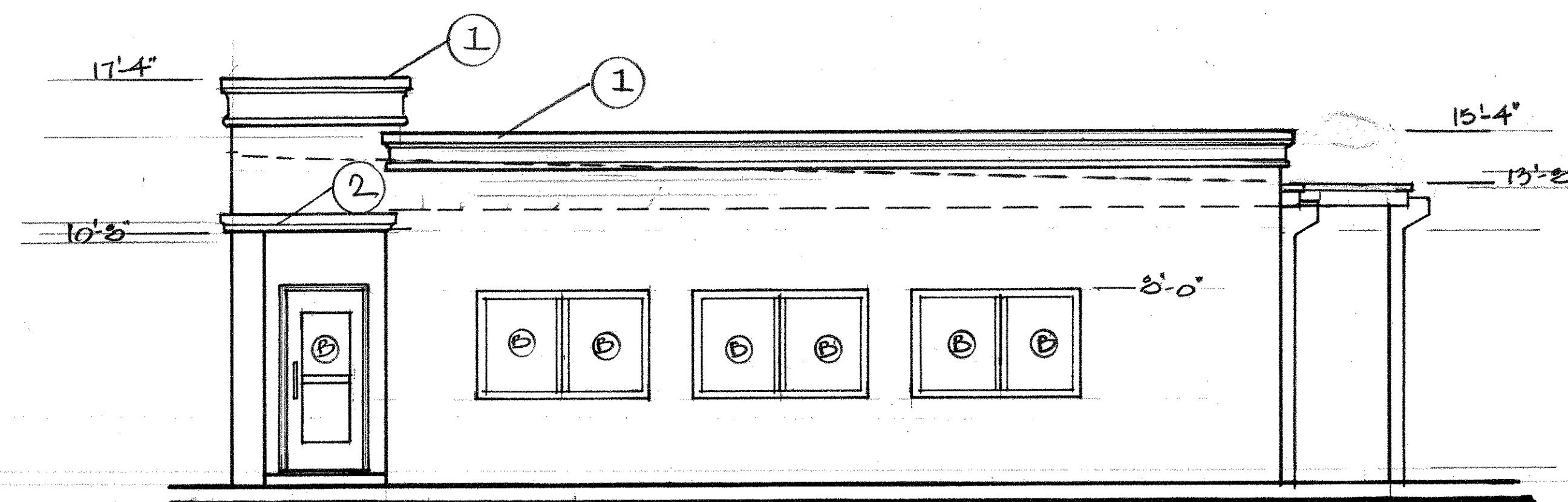
FRONT ELEVATION: 3/16" = 1'



REAR ELEVATION: 3/16" = 1'



LEFT ELEVATION: 3/16" = 1'



RIGHT ELEVATION: 3/16" = 1'

C & C Vault		WALL & WIND PRESSURES	
FLAT ROOF SLOPES			
160 MPH	"B"	RISK CAT II	HEIGHT <
(A)	10 SF = 26.4 / -28.7	(E)	10 SF = 27.6 / - 37
(B)	20 SF = 26.4 / -28.7	(D)	20 SF = 26.4 / -34.5
(C)	50 SF = 24.8 / -27.1	(E)	50 SF = 24.8 / -31.2
(D)	100 SF = 23.5 / -25.8	(F)	100 SF = 23.5 / -28.7

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(772) 785-9888: Pwelchinc@aol.com  
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General Commercial  
Orange Ave & 13<sup>TH</sup> Street  
Fort Pierce, Florida

CONTRACTOR:

ENGINEER:  
Paul Welch Engineer, Inc  
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# CONCRETE:

- ALL CONCRETE WORK SHALL CONFORM TO ALL RECOMMENDATIONS AND REQUIREMENTS OF ACI 318.
- CONCRETE FOR HOUSE SLABS AND TIE BEAMS, SHALL BE A MINIMUM OF 2,500 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED. ALL FLAT WORK SHALL BE A MIN OF 2,500 PSI CONCRETE.
- 6 MIL VAPOR BARRIERS ARE REQUIRED BENEATH SLABS THAT ARE UNDER ROOF COVER.

# EARTHWORK:

- PERFORM ALL EARTHWORK IN CONFORMANCE WITH THE FINAL SOILS, COMPACTION AND GEOLOGICAL REPORTS.
- FOUNDATIONS SHALL BE MONOLITHIC OR SPREAD FOOTINGS BASED ON A SOIL BEARING CAPACITY OF 2500 PSF. FINAL WRITTEN VERIFICATION SHALL BE PRESENTED TO THE BUILDING DEPARTMENT PRIOR TO CONCRETE PLACEMENT.
- SOIL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557) TO A DISTANCE OF 5 FT BEYOND ALL BUILDING EDGES. AT LEAST ONE FIELD DENSITY TEST SHALL BE PERFORMED FOR EACH 2500 SF OF AREA. DENSITY TEST ARE TO BE MADE 12 INCHES BELOW THE COMPACTED SURFACES.
- FILL SHALL BE CLEAN AND FREE OF VEGETATION.
- TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 1816 OF THE FLORIDA BUILDING CODE.
- FINAL GRADE SHALL ENSURE THAT WATER DRAINS AWAY FROM THE BUILDING TO THE PROPERTY LINES. WATER MAY NOT DRAIN AND SETTLE ONTO ADJACENT PROPERTY. VERIFY WITH LOCAL AGENCY DIRECTION OF WATER FLOW. IN THE ABSENCE OF APPROVED DRAINAGE PLAN, CONTRACTOR TO PREPARE FINAL GRADE TO ENSURE WATER FLOWS TO AWAY FROM THE BUILDINGS AND IMPROVEMENTS AND DIRECT WATER TO FRONT AND SIDE SWALES AND WATER COLLECTION AREAS.

# REINFORCING STEEL:

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE MANUAL OF STANDARDS PRACTICE DETAILING REINFORCED CONCRETE STRUCTURES, PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE.
- MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL:
  - SLAB ON VAPOR BARRIER 1 1/2"
  - BEAMS AND COLUMNS 1 1/2"
  - FORMED CONCRETE BELOW GRADE 2"
  - UNFORMED BELOW GRADE 3"
  - FOOTINGS: 3" CLEAR AT BOTTOM & SIDES, 2" CLEAR OF TOP.
  - WALLS: 2" CLEAR OUTSIDE FACE, 1 1/2" CLEAR INSIDE
  - SLABS: 1" CLEAR AT TOP (INTERIOR) 1 1/2" CLEAR AT TOP (EXTERIOR)
  - BEAMS 1 1/2" CLEAR OF STIRRUPS
  - COLUMNS: 1 1/2" CLEAR TO TIES
- REINFORCING MESH: ON GRADE BUILDINGS SLABS SHALL BE ACI-318 ELECTRICALLY WELDED WIRE MESH FABRIC SIZES AND GAUGES AS SHOWN ON THE DRAWINGS.
- MINIMUM REINFORCING BAR LAPS SHALL BE MIN 48 BAR DIAMETER LAP. MIN LAP FOR 5/8" RE-BAR SHALL BE MIN 30".
- TIE BEAM DEPTHS ARE MINIMUM AND MAY BE INCREASED TO FIT THE BLOCK WORK AND WINDOW AND DOOR HEADS.
- DROP BOTTOM OF TIE BEAMS, AS REQUIRED, AT WINDOW AND DOOR HEADS, (23" MAXIMUM BEAM DEPTHS) AND ADD 2 #5 BOTTOM IF DROP EXCEEDS 8".
- ALL ADDED LONGITUDINAL BEAM REINFORCING SHALL EXTEND 6" MINIMUM INTO SUPPORT UNLESS NOTED OTHERWISE.

# TRUSSES:

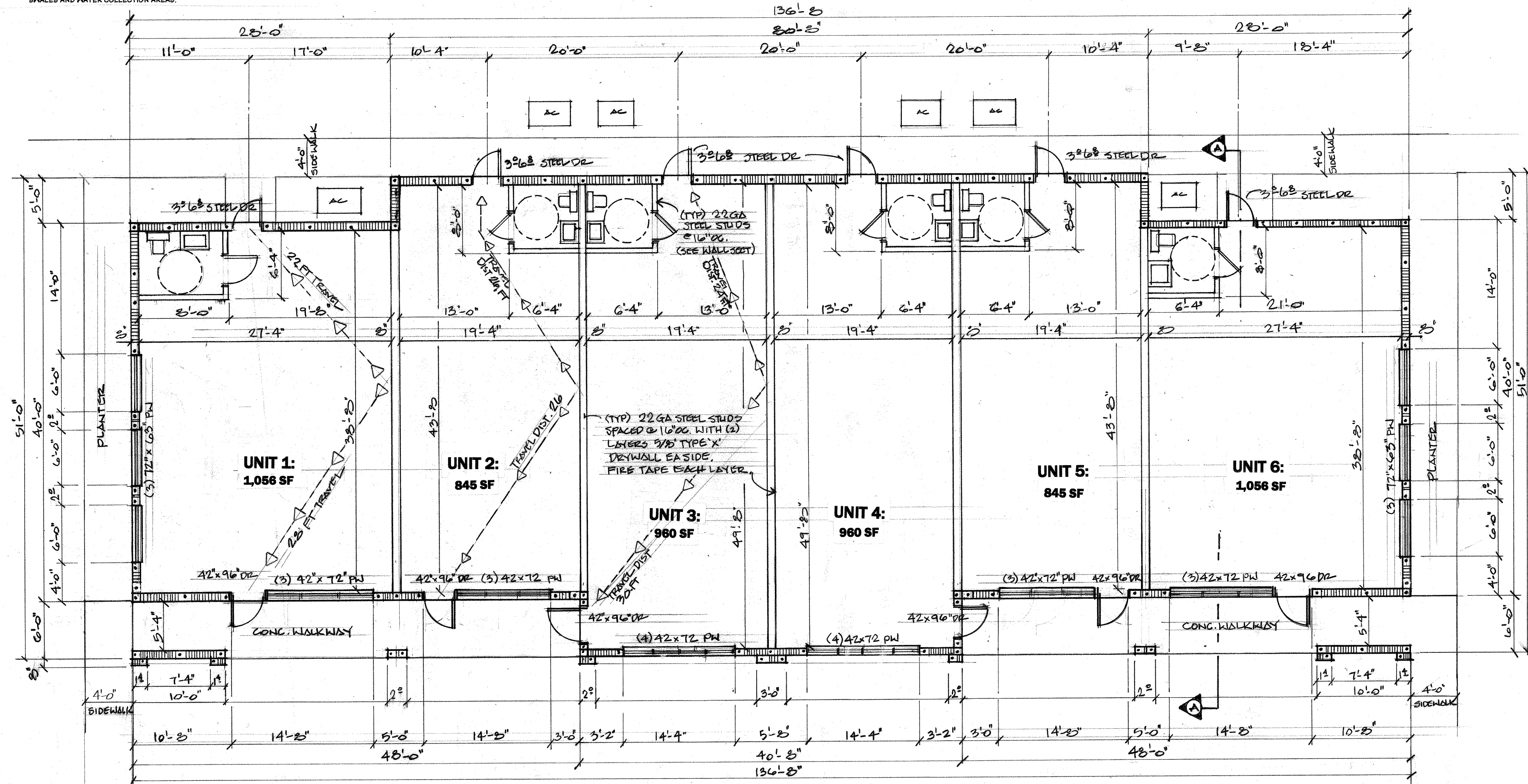
- THE TRUSS LAYOUT SHOWN ON CONSTRUCTION DOCUMENTS IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL THE FINAL TRUSS MFG. LAYOUT. THIS FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND MAKE STRUCTURAL REVISIONS ACCORDINGLY. FINAL SIGNED AND SEALED ENGINEERING TRUSS DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO POURING THE FOUNDATION.

# CONCRETE MASONRY UNITS:

- COORDINATE WITH ALL OTHER TRADES WHOSE WORK RELATES TO BLOCK MASONRY INSTALLATION FOR PLACING OF ALL REQUIRED BLOCKING, SUB FRAMING, BACKING, FURRING ETC., TO INSURE PROPER LOCATIONS.
- PLACEMENT OF ITEMS FURNISHED BY OTHER TRADES; PLACE ANCHORS, BOLTS, PIPES, SLEEVES, NAILERS, BLOCKOUTS, REGLETS, FITTINGS, CONDUITS ETC., PROVIDED BY OTHER TRADES WITHIN MASONRY.
- MORTAR MIX: MORTAR SHALL COMPLY WITH ASTM C-270. NO MORTAR THAT HAS STOOD LONGER THAN 1 HOUR SHALL BE USED.
- BLOCK MASONRY UNITS: HOLLOW LOAD BEARING UNITS PER ASTM C-90. ALLOWABLE STRESS TO BE 1750 PSI.
- CLEAN OUT OPENINGS SHALL BE PROVIDED AT BOTTOM OF GROUTED CELLS. SEAL AFTER CLEANING AND INSPECTION.
- WEEP HOLES SHALL BE PLACED MAX 12" BENEATH PRECAST LINTEL BEARING ENDS, TO INSURE CMU COLUMNS ARE PROPERLY FILLED WITH CONCRETE.

# ROUGH CARPENTRY:

- TIMBER DESIGN BASED ON USE OF #2 SURFACE DRY OR GREEN. USED AT MAXIMUM 19% MOISTURE CONTENT.
- LUMBER USED FOR LOAD SUPPORTING SHALL HAVE GRADE MARKS COMPLYING WITH AND PROCEDURES AND AGENCIES APPROVED BY U.S. PROCEDURES PS 20-14.
- PLYWOOD: PRODUCT STANDARDS PS-1-13 AND RULES FOR DFFA GRADE TRADEMARKS OF THE AMERICAN PLYWOOD ASSOCIATION.
- ALL STRUCTURAL LUMBER SHALL HAVE A MINIMUM FIBER STRESS OF 1,200 PSI. A MINIMUM E=1,600,000 PSI AND A MINIMUM FV=90 PSI UNLESS OTHERWISE NOTED.
- FLOOR JOISTS, HEADERS, LINTELS, CEILING JOISTS, AND RAFTERS SHALL BE S4S SEASONED SYP #2, UNLESS OTHERWISE NOTED ON DRAWINGS.
- ALL STUDDING, BLOCKING, FURRING AND PLATES SHALL BE S4S SEASONED STUD SYP #2, DRY, UNLESS OTHERWISE NOTED ON DRAWINGS.
- EXTERIOR PLYWOOD SHEATHING SHALL BE GROUP 1 STANDARD (C-D) EXT-DFFA, (C-C) EXT-DFFA, STRUCTURAL 1 (C-D) EXT-DFFA OR STRUCTURAL 1 (C-C) EXT-DFFA.



**FLOOR PLAN: 3/16" = 1'**  
**LIFE SAFETY PLAN:**

**AIR CONDITIONED AREA 6,110 sf**  
**COVERED WALKWAY 575 sf**  
**TOTAL BUILDING AREA 6,685 sf**

REVISIONS	BY

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OF SHEETS







AIR CONDITIONED AREA	6,110 sf	
COVERED WALKWAY	575 sf	
TOTAL BUILDING AREA	6,685 sf	

TOTAL LAND AREA	27,665 sf	
NON-PERVIOUS AREA	16,805 sf	61 %
PERVIOUS AREA	10,860 sf	39%

PARKING SPACES:	
HANDI CAPP SPACES	2 SPACES
9 ft x 18 ft SPACES-	30 SPACES
STREET PARKING	6 SPACES
REQUIRED PARKING:	
1 SPACE PER 200 sf BUILDING AREA	33 SPACES
25% REDUCTION FOR HISTORICAL DESIGNATION	(8) SPACES
PARKING SPACES PROVIDED	38 SPACES
PARKING REQUIRED AFTER CREDIT	25 SPACES

FLORIDA BUILDING CODE - FBRC 2023	
CONSTRUCTION TYPE VB	OCCUPANCY R-3
DESIGN PARAMETERS: A.S.C.E. 7-16	
ULTIMATE WIND SPEED	160 MPH
NOMINAL WIND SPEED	124 MPH
DESIGNED AS:	ENCLOSED
WIND EXPOSURE	"B"
PLUMBING CODE -	2023
NAT'L ELECTRIC CODE -	2023
MECHANICAL CODE -	2023
TOTAL ROOF LOAD	38 psf
TOTAL ROOF DEAD LOAD	25 psf
TOTAL ROOF LIVE LOAD	13 psf
STORAGE TRUSSES	NA
ROOF OVERHANG	NA
ROOF PITCH	1.3" PER 10 FT / FLAT
MEAN ROOF HEIGHT	15 FT
MIN. SOIL BEARING CAPACITY	2500 PSI
IMPACT ASSEMBLY	YES: IMPACT GLASS

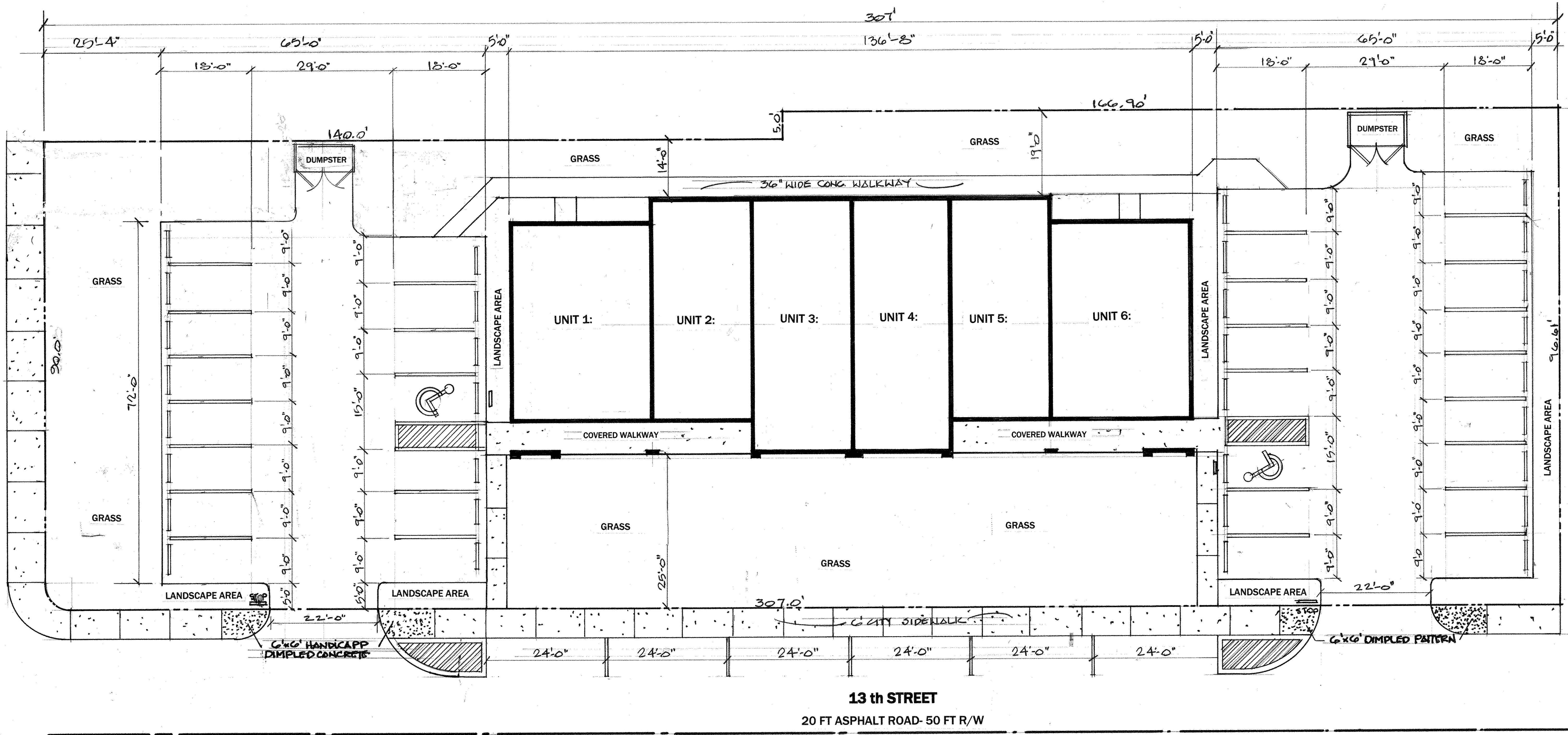
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CAST CRETE- PRECAST LINTELS						
SAFE LOAD TABLES FOR PRECAST LINTELS						
ORANGE AVE AND 13th STREET						
MARK ID	LENGTH	COMPOSITE BEAM	SAFE LOAD / LF	APPLIED LOAD/ LF	SAFE UPLIFT / LF	APPLIED UPLIFT/ LF
L-1	7'-6"	8F88 1T	3685	NA	3228	NA
L-2	6'-6"	8F80 1T	5061	NA	3712	NA
L-3	17'-4"	8F40 1T/1B	2047		1473	
L-4	4'-6"	8RF112 1T	6094	NA	4943	NA
L-5	13'-4"	8F112 1T/1B	2883	NA	1323	NA
L-6	19'-4"	8F80 1T/1B	1716	NA	1227	NA
L-7	9'-4"	8F80 1T	3302	NA	2500	NA
L-8	19'-4"	8F56 1T/1B	1716	NA	1227	NA
L-9	19'-4"	8F56 1T/1B	1716	NA	1227	NA
L-10	4'-4"	8RF54 1T	7567		5140	
L-11	4'-4"	8RF54 1T	7567		5140	
L-12	4'-4"	8RF54 1T	7567		5140	
L-13						

	LINTEL LOADS NOT SHOWN ARE LESS THAN 750 PLF
	UPLIFTS NOT SHOWN ARE LESS THAN 750 PLF.
	LINTEL DEPTHS MAY BE INCREASED AS NEEDED TO ACCOMMODATE ROUGH OPENING SIZE, W/ NO ADDITIONAL STEEL REINFORCEMENT.
	ALL RE-BAR TO BE #5 ASTM GRADE 60.
	MINIMUM LINTEL BEARING IS 4"

**CONTRACTOR NOTICE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. DESIGNER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS CONCERNING DIMENSIONS. CONTRACTOR TO CONFIRM ALL ROUGH OPENINGS FOR DOORS AND WINDOWS WITH SPECIFIC MANUFACTURER, PRIOR TO COMMENCEMENT, AND ENSURE ALL TRADES ARE INFORMED OF THESE OPENING REQUIREMENTS. CONTRACTOR TO VERIFY PLACEMENT OF VERTICAL STEEL RE-BAR AND CONFIRM PROPER PLACEMENT AS NEEDED TO MEET EXTERIOR ROUGH OPENING SPECIFICATIONS.**

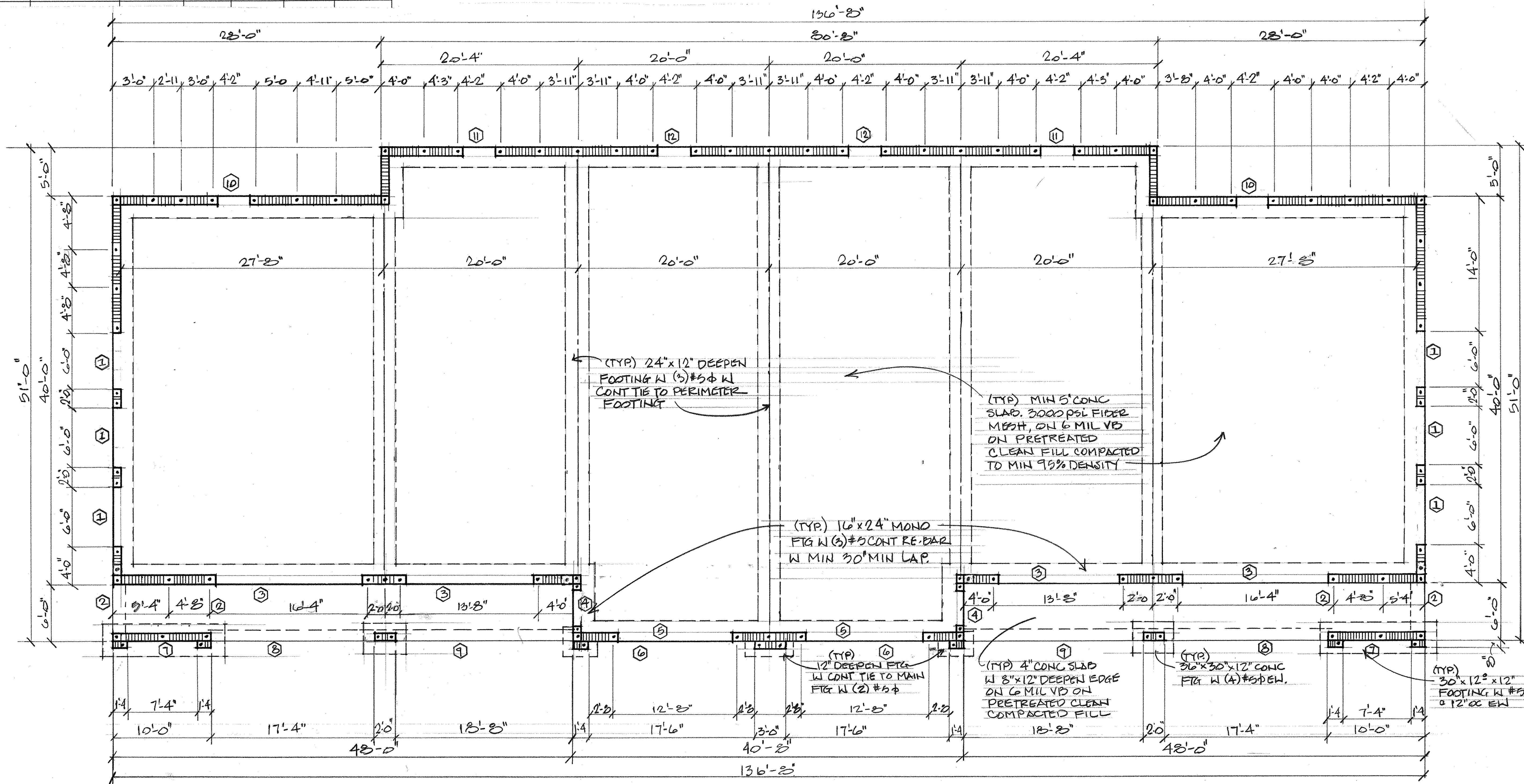
- A. CONSTRUCTION SHALL FOLLOW THE FL. BUILDING CODE AS ADOPTED BY THE COUNTY / MUNICIPALITY AND ALL APPLICABLE AMENDMENTS.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND THEIR RESPECTIVE COSTS.
- C. BUILDER SHALL COORDINATE ALL THE WORK WITH ALL TRADES.
- D. BUILDER SHALL REVIEW THE DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK. THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS AND/OR OMISSIONS NOT REPORTED TO Terry J Brinson LLC, DESIGNER.
- E. DO NOT SCALE DRAWINGS
- F. THESE PLANS ARE DRAWN TO COMPLY WITH THE BUILDING ENVELOPE ENERGY RATING METHOD OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE GOVERNING CODE AND BUILD IN ACCORDANCE WITH THIS CODE.

A. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTAL OF BID AND/OR CONTRACT NEGOTIATIONS & SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE DESIGNERS ATTENTION IN WRITING FOR VERIFICATION. BACKCHARGES WILL NOT BE ACCEPTED BY THE DESIGNER.

B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS.

C. IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND/OR AS AN ADDITION OR ALTERATION(S), TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH REFERENCE TO ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE DESIGNERS ATTENTION, IN WRITING, SO CHANGES CAN BE MADE AS NEEDED. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS, SUBCONTRACTORS, AND OTHER PROVIDERS TO INSURE THAT THE WORK WHEN COMPLETED WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

D. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL AND NON STRUCTURAL MEMBERS DURING CONSTRUCTION



**FOUNDATION PLAN & LINTEL SCHEDULE: 3/16" = 1'**

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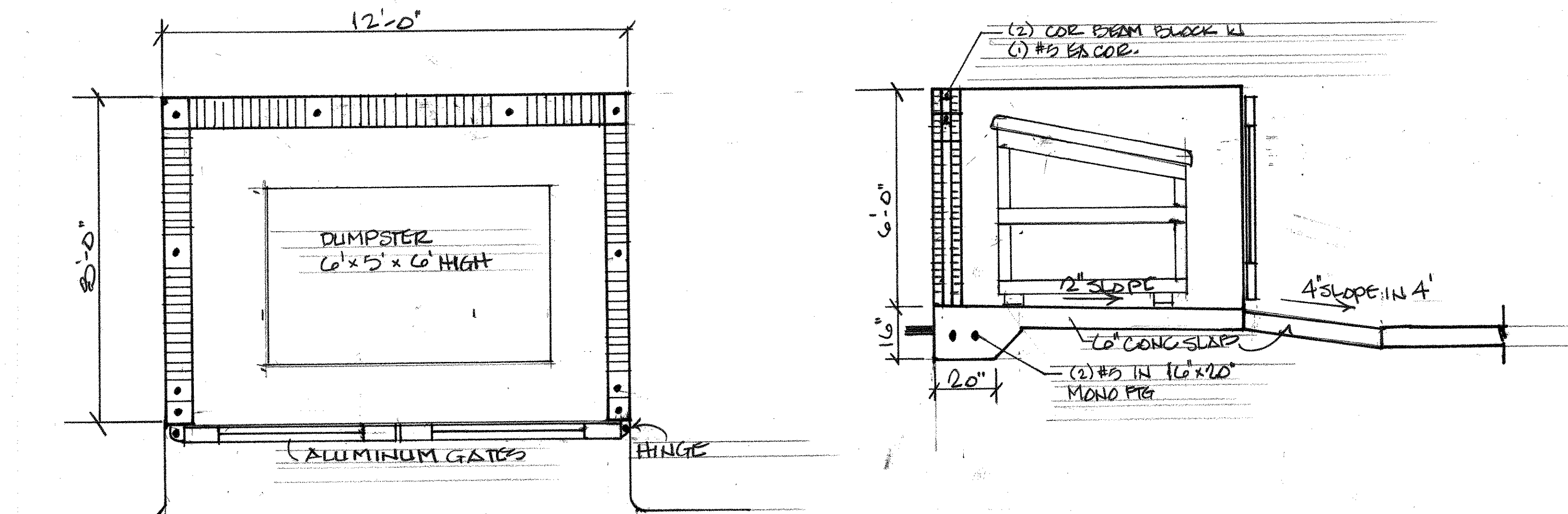
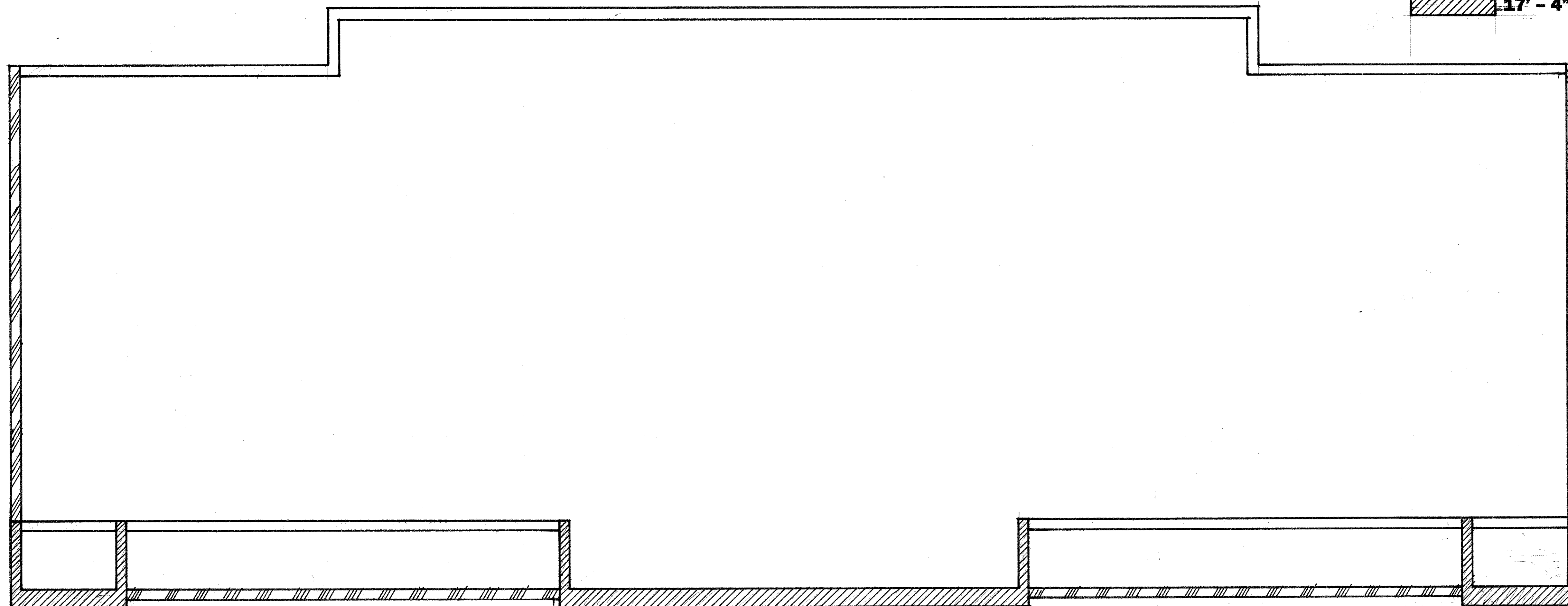
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**DUMPSTER DETAILS; 3/8" = 1'**

**BEAM ELEVATIONS:**

	11' - 4"
	15' - 4"
	17' - 4"

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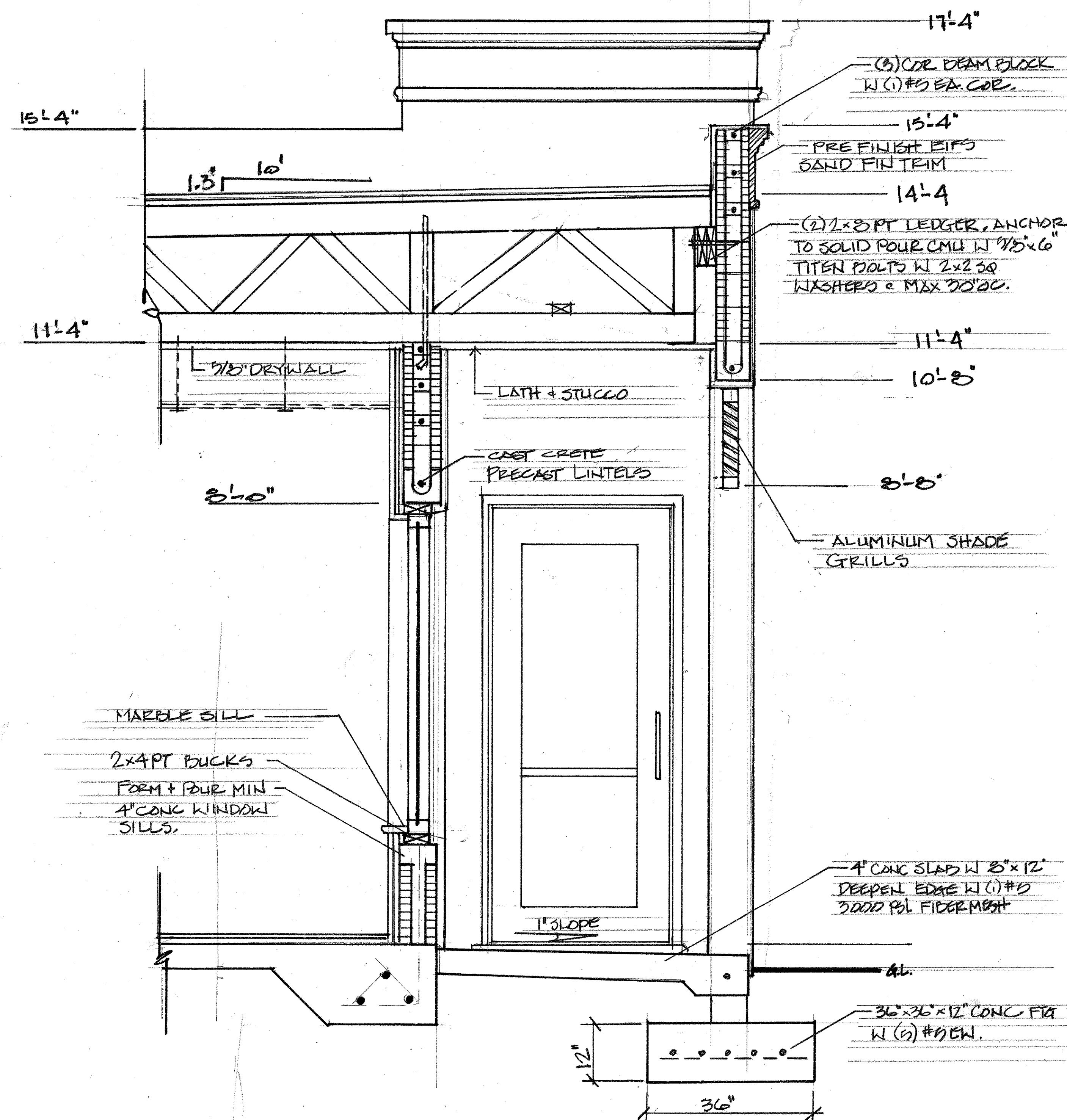
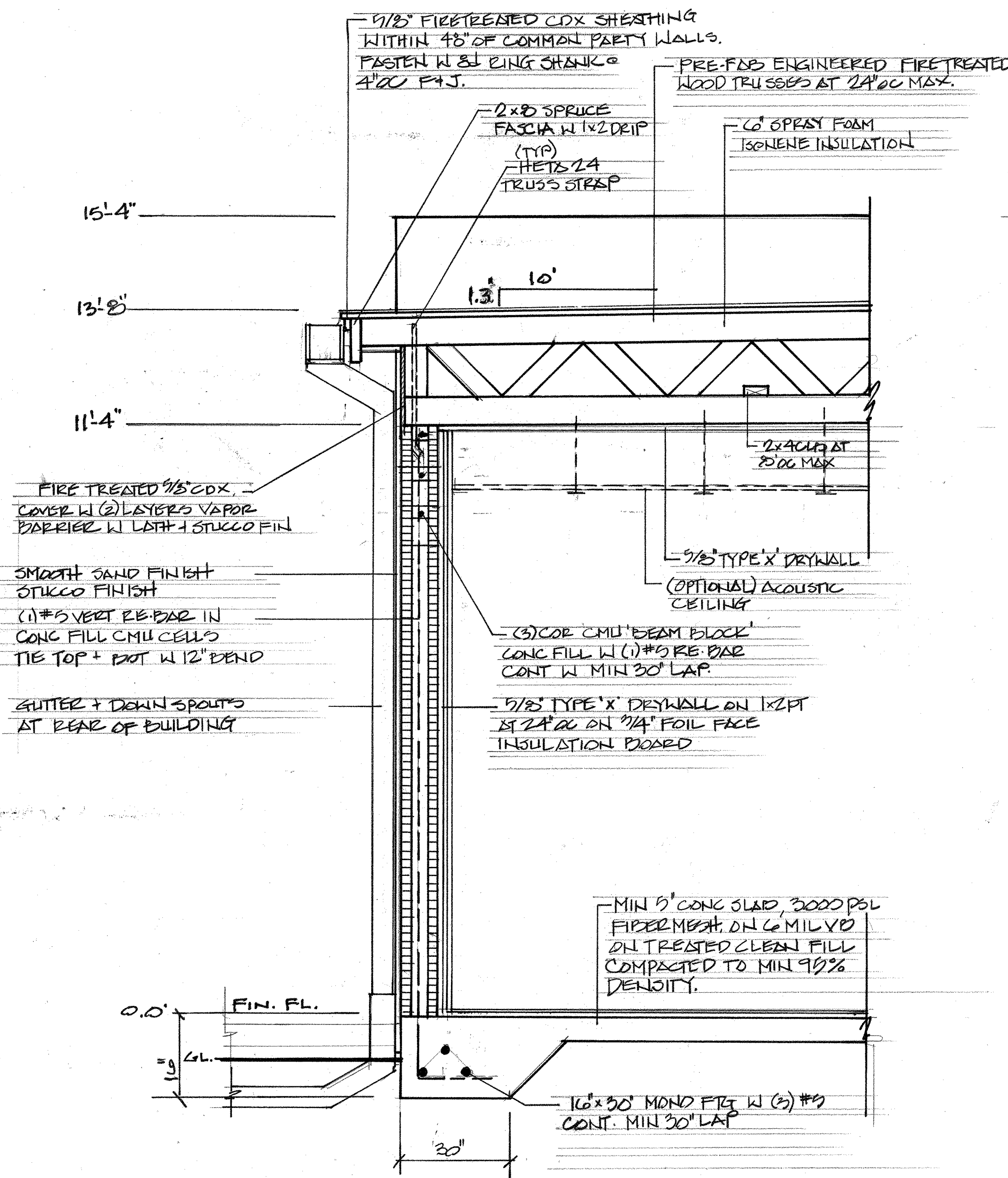
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MARBLE SILL

2x4 PT BUCKS  
FORM + POUR MIN  
4" CONC WINDOW  
SILLS.

LATH + STUCCO

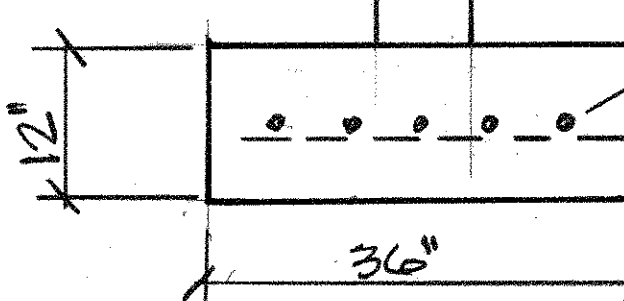
CAST CRETE  
PRECAST LINTELS

ALUMINUM SHADE  
GRILLS

4" CONC SLAB W 8"x12"  
DEEPEN EDGE W (1) #5  
3000 PSI FIBER MESH

4L.

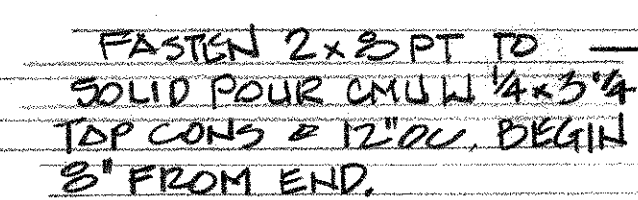
36"x36"x12" CONC. FILL  
W (2) #5 EW.













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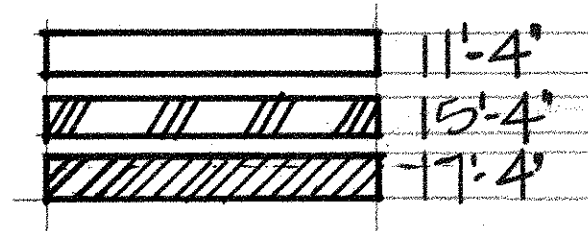
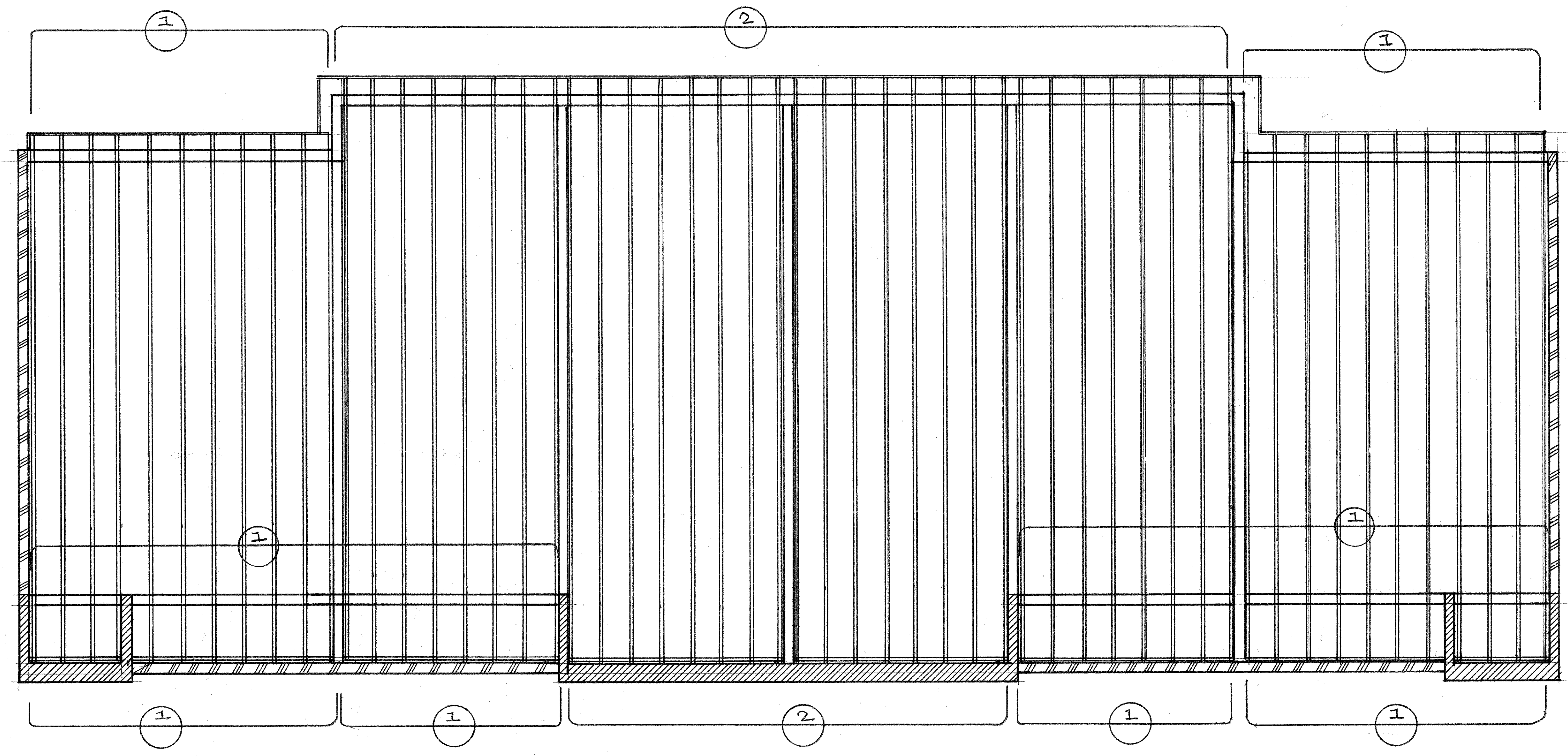
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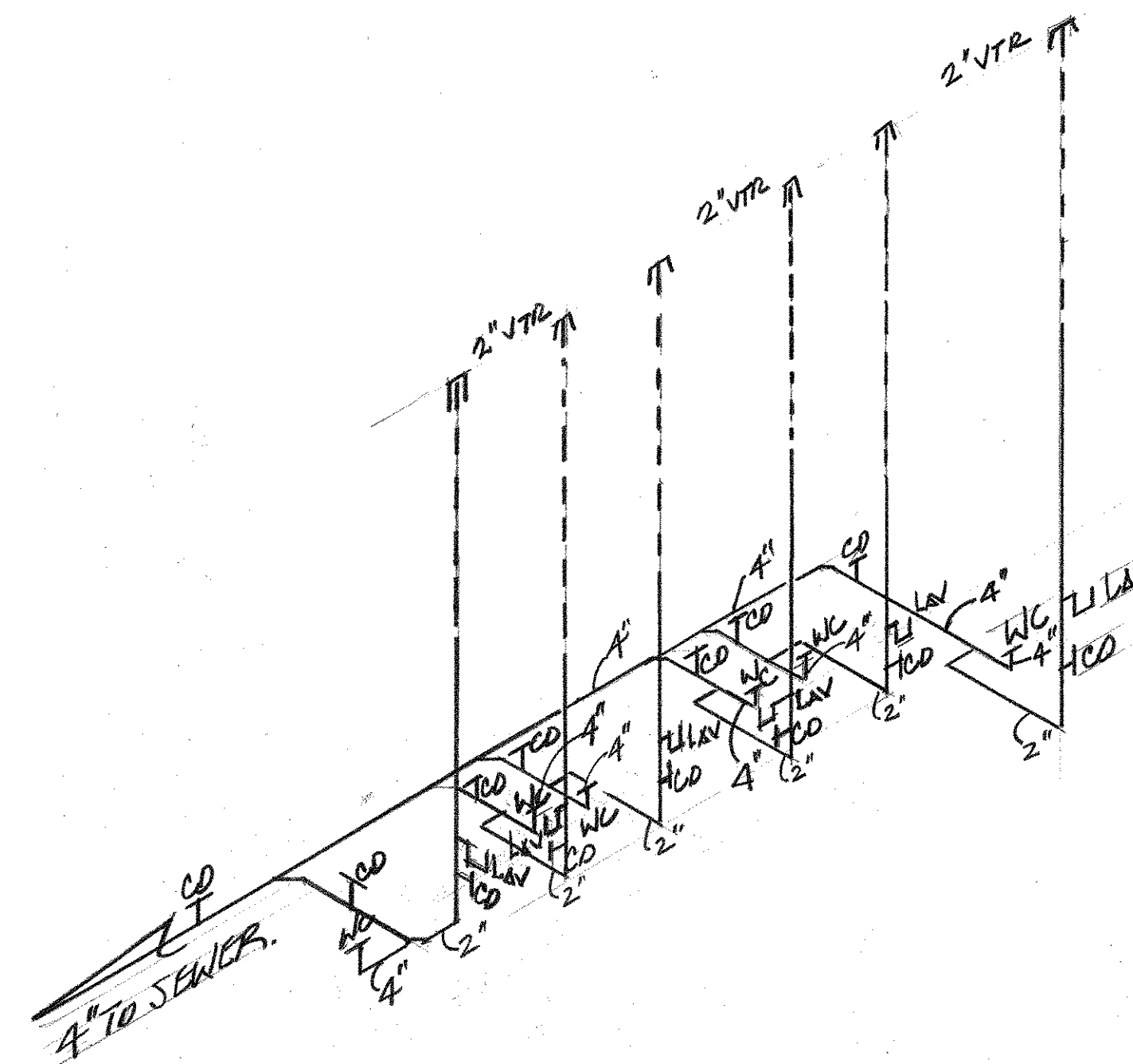
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TRUSS FASTENER SCHEDULE				
ITEM #	CONNECTION FUNCTION	SIMPSON CONNECTOR ID	ALLOWABLE UPLIFT	FASTENERS
1	TRUSS TO CONCRETE	HETA 24	1810	(9) 10 d X 1 1/2"
2	TRUSS TO CONCRETE	(2) HETA 20	2715	(16) 10 d X 1 1/2"
3	TRUSS TO CONCRETE- MISSED STRAPS	MTSM 16	860	(4) 1/4" X 1 1/2" TAP CONS & (7) 10 d X 1 1/2"
UPLIFTS NOT SHOWN ARE <750#				
UNLESS OTHERWISE NOTED, MAX SHEER IS 300 #				
ALL LATERAL LOADS ARE LESS THAN 400# UNLESS OTHERWISE NOTED				
ALL INTERIOR ARE NON BEARING UNLESS OTHERWISE NOTED				
ENTIRE ROOF TO BE NAILED WITH 8d RING SHANK NAILS AT 6" OC FIELD AND JOINT, UNLESS OTHERWISE NOTED				

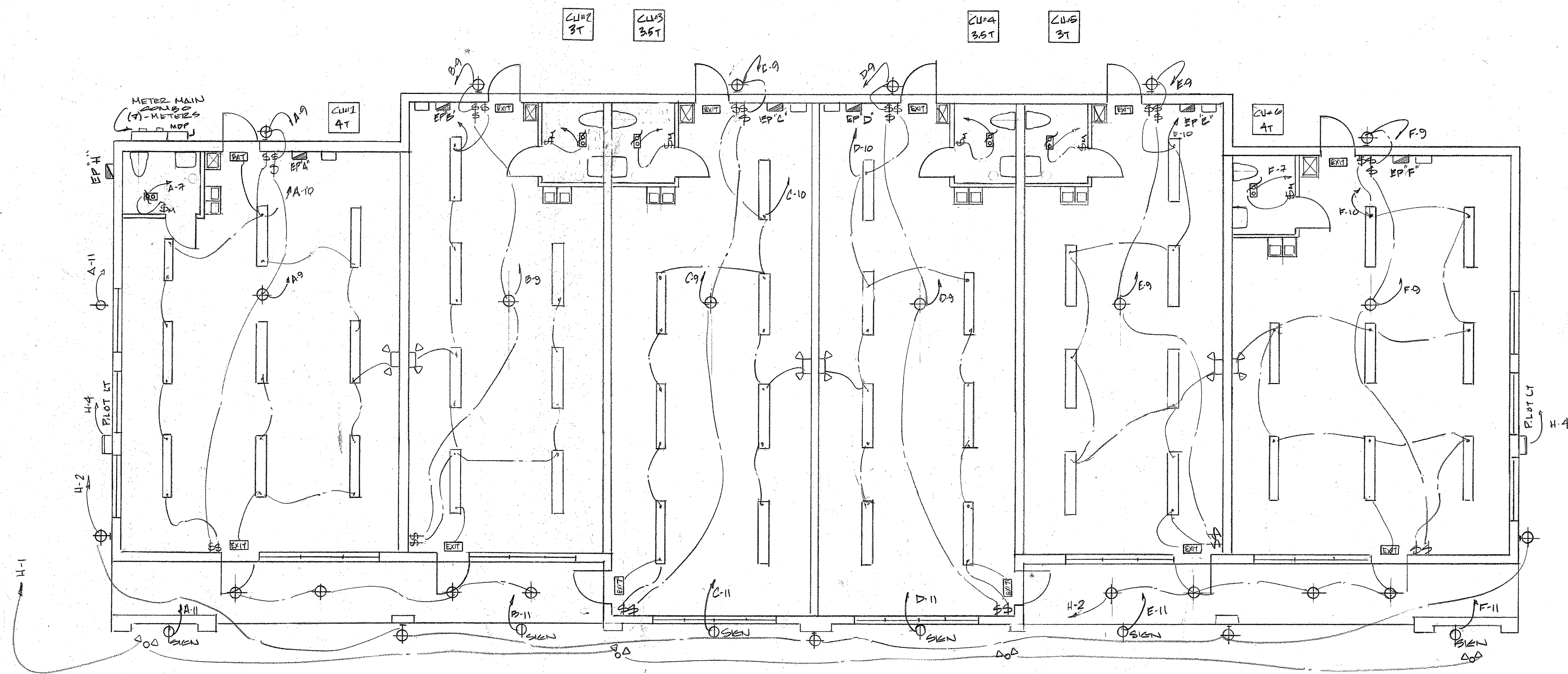






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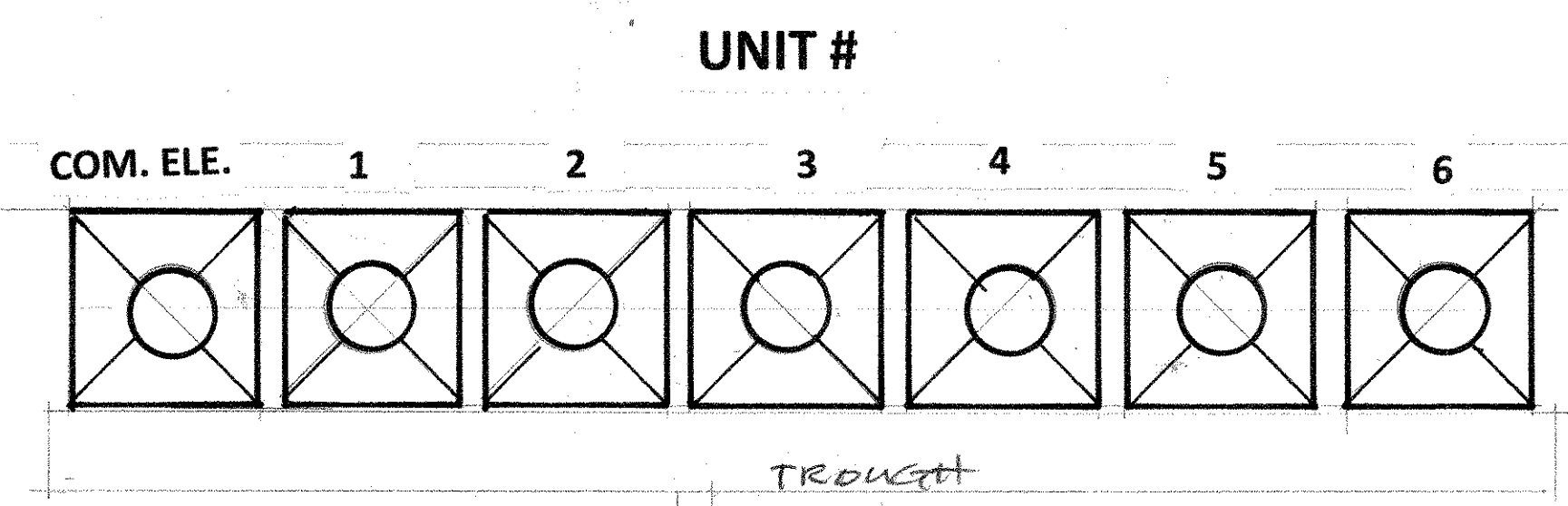




ELECTRICAL LIGHTING PLAN 3/16=11.0"

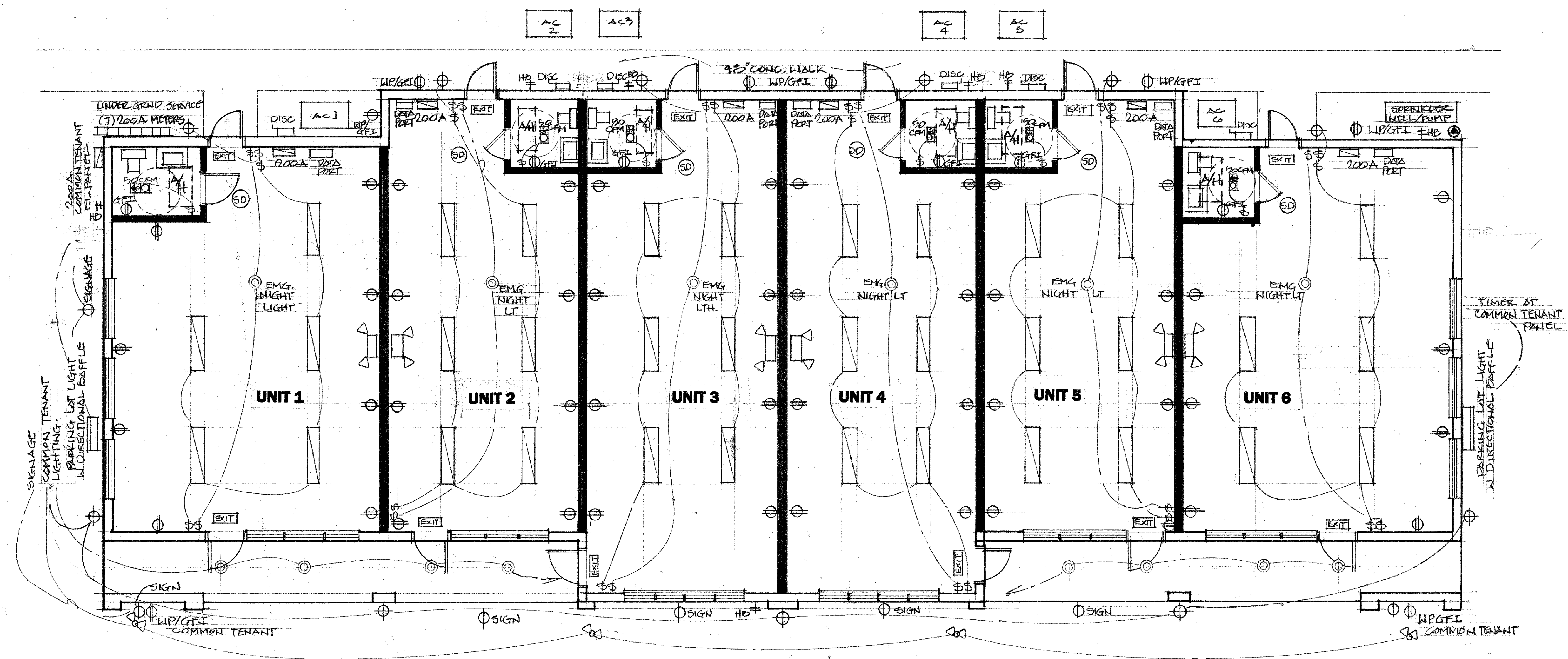


NOTES



ELECTRICAL PANEL: 200 AMPS COMMON TENANT ELE. LOADS			
CIRCUIT	BRKR	WIRE	WATTS
HALL WALKWAY LIGHTS	1P/20A	#12	.8 KW
COMMON TENANT EXTERIOR LIGHTING	1P/20A	#12	1.0 KW
PARKING LOT LIGHTING	1P/30A	#10	3.0 KW
EXTERIOR WP/GFI			1.4 KW
SIGNAGE	1P/20A	#12	1.1 KW
SPRINKLER PUMP	2P/30A	#10	2.0 KW
SPARE	1P/20A	#12	3.0 KW
TOTAL WATTS			12.30 KW
12,300 WATTS / 240 VOLTS = 52.0 AMPS			

ELECTRICAL PANEL: 200 AMPS UNITS 1 THRU 6			
CIRCUIT	BRKR	WIRE	WATTS
AIR HANDLER	2P/60A	#6	(8.0) KW
A/C COMPRESSOR	2P/40A	#8	1.5 KW
INSTANT HOT	1P/20A	#12	1.5 KW
GENERAL LIGHTING 100%	1P20A	#12	3.2 KW
SPARE	1P/20A	#12	3.0 KW
OUTLETS (10)	1P/20A	#12	2.0 KW
EMERGENCY BACKUP	1P/20A	#12	1.0 KW
TOTAL WATTS			12.20 KW
AC @ 100%			8.0 KW
ELE LOADS @ 100%			12.20 KW
TOTAL ELE. LOAD			20.20 KW
20,200 WATTS / 240 VOLTS = 85 AMPS			



ELECTRICAL PLAN: 3/ 16" = 1'

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# **HVAC SCHEDULES AND NOTES:**

NEW HVAC UNITS SHALL BE TRANE OR EQUAL SPLIT SYSTEM DX UNIT, 20.0 SEER MIN., WITH 8 KW HEAT STRIP, 208/230/1/60.

UNITS SHALL BE SPLIT SYSTEM UNITS.

UNITS 1 AND 6 TO BE: 4 TON UNIT, 2TTB3048A1000A WITH 2TEC34F48B1000A

UNITS 2 AND 5 TO BE: 3 TON UNIT 2TTB3036A1000A WITH 2TEC3F36B1000A

UNITS 3 AND 4 TO BE: 3.5 TON UNIT 2TTB3042A1000A WITH 2TEC342B1000A

MOUNT NEW UNITS ABOVE RESTROOMS WITH PAN WITH DRAIN AND FLOAT SWITCH FOR UNIT SHUT DOWN.

PROVIDE FIRE DAMPERS AT ALL FLOOR / WALL/CEILING PENETRATIONS AS MAY BE REQUIRED TO MAINTAIN FIRE RATINGS OF SAME - VERIFY REQUIREMENTS (PERTAINS TO ALL DUCTWORK PENETRATIONS).

INSTALL ALL UNITS TO BE COMPLETELY ACCESSIBLE.

REFER TO ARCHITECTURAL SECTIONS FOR CEILING HEIGHT RESTRICTIONS - ALL EQUIPMENT AND MATERIALS SHALL FIT IN THE SPACE PROVIDED. MAKE MODIFICATIONS AS REQUIRED TO ACCOMPLISH SAME.

REGISTERS/GRILLS/DIFFUSERS SHALL BE METAL/ALUMINUM CONSTRUCTION UNLESS OTHERWISE REQUIRED TO MEET FIRE RATINGS.

SAR'S (SUPPLY AIR REGISTERS) SHALL BE METAL AIR OR EQUAL.

SAD'S (SUPPLY AIR DIFFUSERS) SHALL BE SERIES 5000, M-6, S-4 D-5, OF THE SIZES SHOWN. S-1: ONE WAY; S-2: TWO WAY, ETC. UNLESS OTHERWISE NOTED, SAD'S SHALL BE 6" X 6" (UP TO 125 CFM); 9" X 9" (130 TO 290 CFM); 24" X 24" FOR 300 CFM AND LARGER. USE M-2 DIFFUSERS FOR DRY WALL CEILINGS.

RAG'S SHALL BE TYPE RHF-TB OF THE SIZES SHOWN ON THE PLANS. TG'S (TRANSFER GRILLES) SHALL BE 16/16 OR OF THE SIZES SHOWN ON THE PLANS. PROVIDE 1" T/A FILTERS.

EXHAUST FANS SHALL BE GREENHECK OR EQUAL SP SERIES WITH CFM INDICATED AT 0.25" SP. RUN 6" DIAMETER EXHAUST THRU WALL WITH WP SCUPPER. MAINTAIN 10' SEPARATION FROM ANY O/A INTAKE.

PAINT ALL HVAC GRILLES/REGISTERS/DIFFUSERS WHITE.

PROVIDE OUTSIDE MAKE UP AIR FOR EACH UNIT - SET CFM AT MANUAL "N" REQUIREMENT. MAINTAIN MINIMUM 10' SEPARATION FROM EXHAUST OPENINGS.

PROVIDE THERMOSTAT FOR EACH UNIT - HONEYWELL, TRANE OR EQUAL "ON - AUTO" FAN AND "HEAT/COOL" SETTINGS.

DUCTWORK SHALL HAVE JOINTS AND SEAMS SEALED WITH APPROVED TAPE APPLIED WITH ADHESIVE TO MAKE JOINTS AIR TIGHT. DUCTS SHALL BE REINFORCED FOIL FACED 1-1/2" FIBERGLASS INSULATION BOARD (R-6 MINIMUM) FLEX DUCT SHALL BE UL 181 THERMAFLEX OR EQUAL WITH FOIL BACK INSULATION. PROVIDE SPIN-IN CONNECTION WITH DIVERTER AND VOLUME DAMPER FOR EACH FLEX TAKE-OFF FROM THE MAIN TRUNK DUCTWORK.

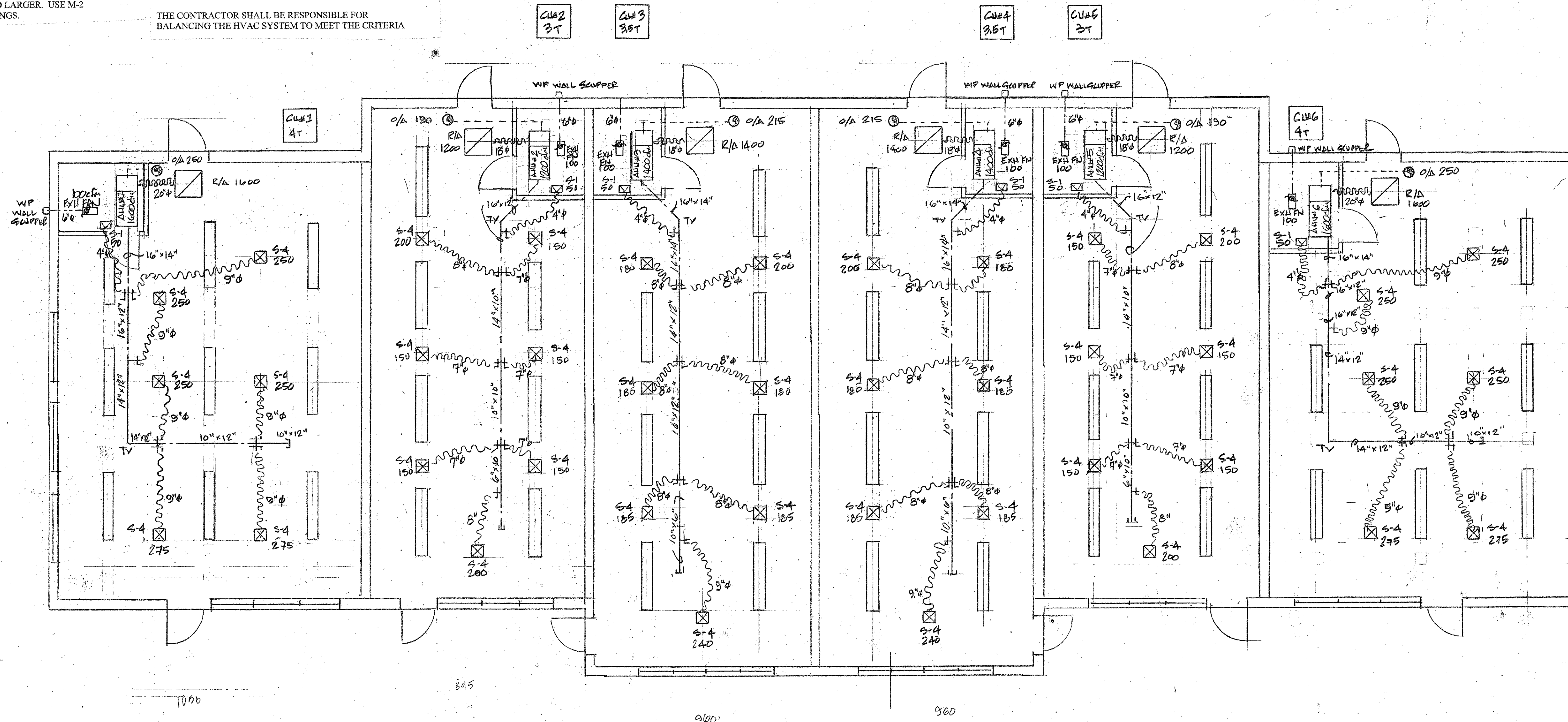
THE CONTRACTOR SHALL FURNISH A COMPLETE MATCHED COMPONENT HVAC SYSTEM IN ACCORDANCE WITH THESE DRAWINGS, LOCAL CODES, AND THE LATEST EDITIONS OF NFPA 90A & 90B, ANSI 8-9.1 MECHANICAL REFRIGERATION, SMACNA, ASHRAE, AND STATE OF FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION - FLACOM

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS FROM GOVERNING AGENCIES AND FURNISH A WRITTEN GUARANTEE THAT ALL WORK SHALL BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF EQUIPMENT START UP AND FINAL ACCEPTANCE. MANUFACTURER'S INSTRUCTIONS AND GUARANTEES SHALL BE GIVEN TO THE OWNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR BALANCING THE HVAC SYSTEM TO MEET THE CRITERIA

ON THE PLANS AND SHALL RETURN TO THE SITE TO RE-BALANCE THE HVAC SYSTEM AFTER OCCUPANCY TO SATISFY SPECIFIC INDIVIDUAL REQUIREMENTS.

PROVIDE DUCT SMOKE DETECTORS FOR ALL UNITS PER MECHANICAL AND BUILDING CODE REQUIREMENTS.



**HVAC PLAN 3/16\"**

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