



VICINITY MAP

DENSITY BONUS / AH/OP RELIEF ITEMS:

PROVISIONS :

UNITS		SPACES
1. PARKING: (2) 1--BEDRM	1/UNIT	2
(17) 2/3--BEDRM	2/UNIT	34

(CARPORT COVERED PARKING SPACES)

2. BUILDING HEIGHT 41'-3" FROM FACE OF STREET CURB

CONCESSION ITEMS :

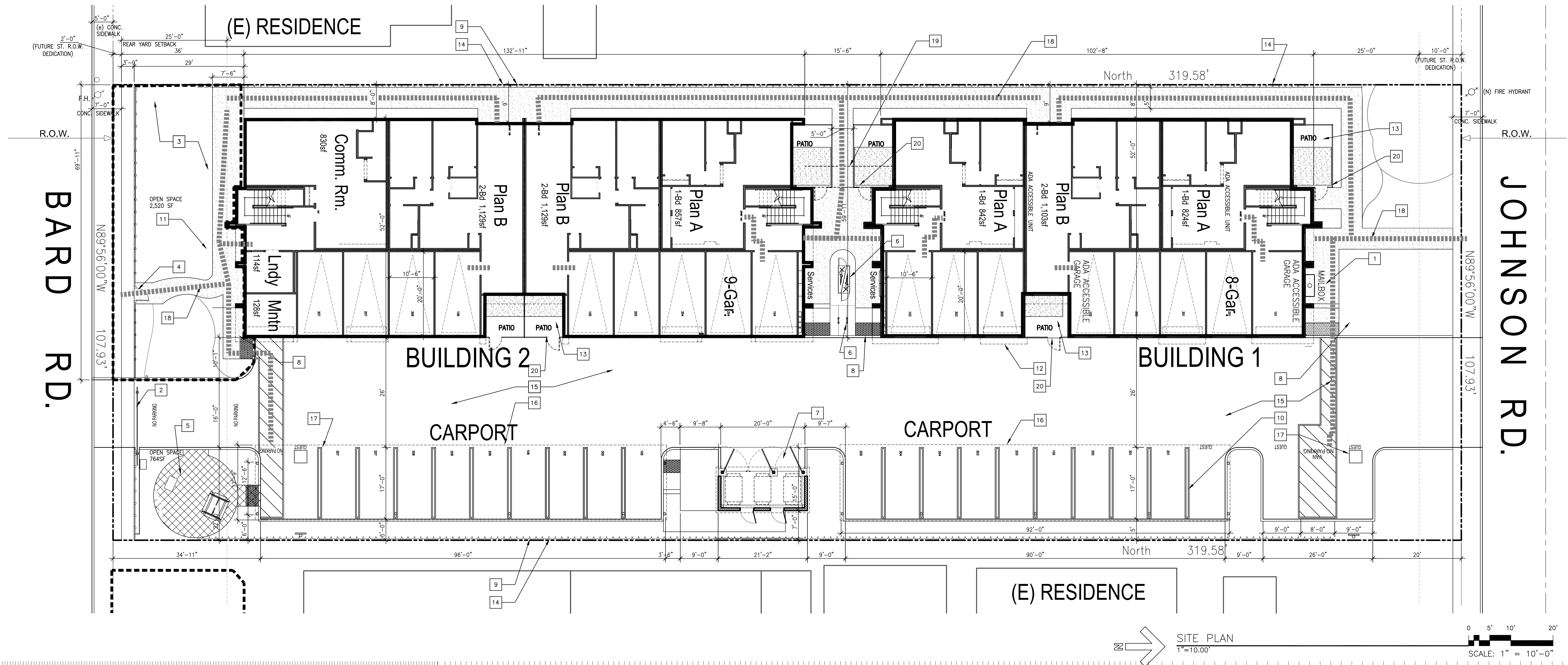
1. PART 4 C(4) OF THE AH/OP ORD. 2870 TO INCLUDE :

1.1. REAR YARD SETBACK TO 9' MIN. FOR BALCONY AND PATIO DEPTH.

VICINITY MAP

The vicinity map shows a street grid. Johnson Rd. runs horizontally across the top. E. Bard Rd. runs horizontally across the bottom. A vertical street, Samuels Rd., is on the left. A vertical street, Davis Ct., is on the right. A horizontal street, Columbia Pl., branches off Johnson Rd. to the right. A curved street, Justin Way, branches off Johnson Rd. to the right. A shaded rectangle representing the project is located between Johnson Rd. and E. Bard Rd., and between Davis Ct. and Samuels Rd. A north arrow is in the bottom right corner.

- ## KEY NOTES
- | | |
|----|---|
| 1 | MAILBOXES WALL MOUNTED UNIT TO BE APPROVED BY POST MASTER. |
| 2 | 42" HIGH W.I. SLIDING GATE W/ RADIO INITIATED ACCESS CODE OPERATED, CLICK 2 ENTRY OR SIMILAR FOR EMERGENCY AND TRASH ACCESS ONLY. SIGN ON GATE TO READ "RESTRICTED FOR TRASH SERVICES AND EMERGENCY VEHICLES" |
| 3 | OPEN SPACE PLAY AREA |
| 4 | 42" HI WROUGHT IRON FENCE W/ PEDESTRIAN GATE AND LOCKED ACCESS HARDWARE. |
| 5 | CONC. PATIO AREA WITH BBQ AND CONC. PICNIC BENCH AMENITY. |
| 6 | BICYCLE RACK (SHORT TERM), BICYCLE STORAGE UNIT (LONG TERM PARKING. |
| 7 | TRASH ENCLOSURE |
| 8 | CONCRETE RAMP, 4' MIN WIDTH, SLOPE NO GREATER THAN 8.33% WITH 36" WIDE TRUNCATED DOME MAT AT EXIT PATH TO VEHICULAR WAY |
| 9 | PROPERTY LINE |
| 10 | 3" PAINTED PARKING STALL STRIPING PER DETAILS, TYP FOR EVERY STALL LOCATION |
| 11 | OUTDOOR OPEN SPACE, TURF AND LANDSCAPE AREA PER LANDSCAPE PLANS |
| 12 | DASHED LINE INDICATES EXTENTS OF BUILDING ABOVE, SEE 2ND AND 3RD FLOOR PLANS. |
| 13 | TENANT PATIO W/ 9' X 9' MIN. COMPACTED DECOMPOSED GRANITE PATIO AREA. |
| 14 | REMOVE EXISTING FENCE AND RECONSTRUCT A NEW 6' HIGH X 6' MASONRY WALL AT PROPERTY LINE. |
| 15 | ASPHALT DRIVEWAY WITH STRIPED PARKING |
| 16 | LINE OF CARPORT COVER ABOVE WITH SECURITY LIGHTING UNDER EAVES. |
| 17 | HANDICAP ASSESSABLE PARKING SPACES |
| 18 | 4' WIDE MIN. CONC. SIDEWALK WITH 2% SLOPE MAX. |
| 19 | CONNECTING BRIDGE ABOVE |
| 20 | 5' HIGH REDWOOD FENCING ENCLOSURE W/ 36" GATE WITH SELF CLOSING HINGES. |
- INDICATES ADA COMPLIANT PATH OF TRAVEL.





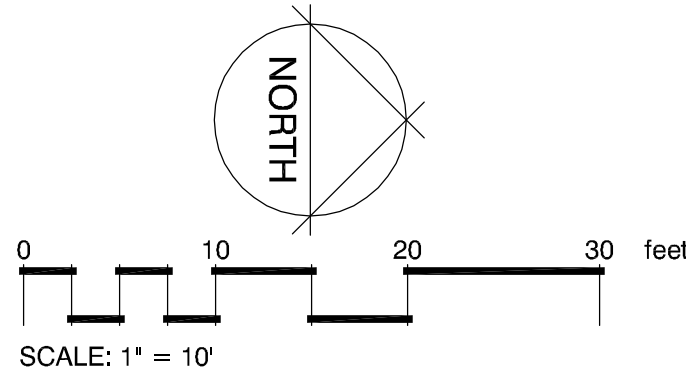
Design Works

email: Design@WVVC@lagroupinc.net



Oxnard, CA 93030

of Sheet



NOTE: ALL PLANTING AREAS TO BE MULCHED WITH 3" LAYER OF WALK-ON BARK MULCH

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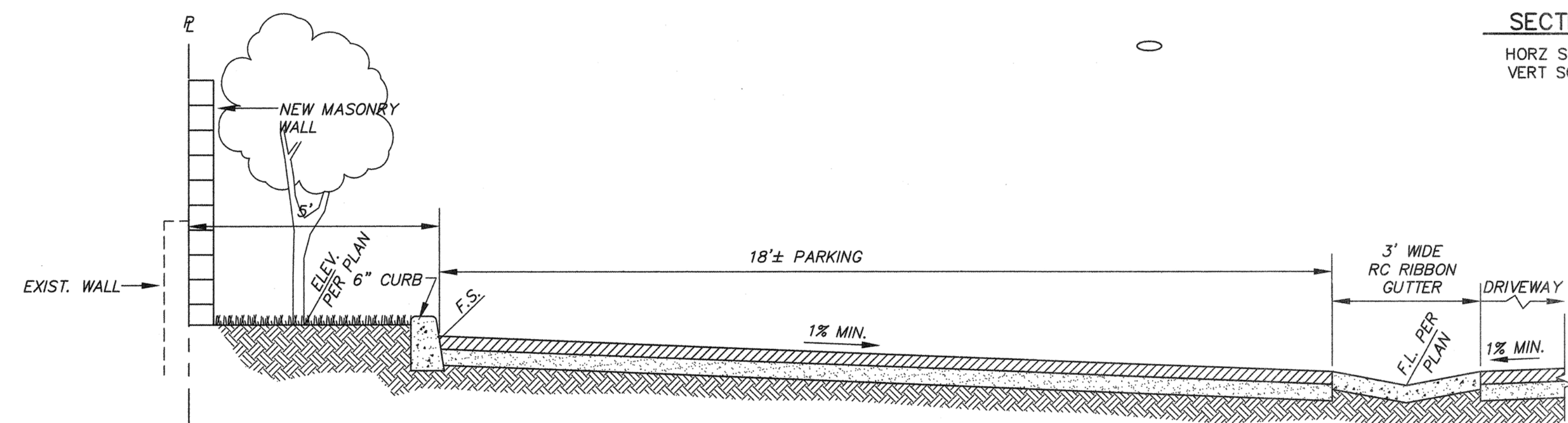


Diagram illustrating a retaining wall section. The wall is shown in cross-section, with a vertical face on the right and a sloped base. The wall is labeled "NEW MASONRY WALL". The base is labeled "BLDG." (Building). The wall height is indicated as 6.0'. The base width is indicated as 2.0'. The base slope is indicated as 1.5:1. The wall is shown with a vertical face and a sloped base. The wall is labeled "NEW MASONRY WALL". The base is labeled "BLDG." (Building). The wall height is indicated as 6.0'. The base width is indicated as 2.0'. The base slope is indicated as 1.5:1.

(E) R

SIDEWALK DRAIN
PIPE PER CITY
STD. PLATE 122

NEW R

1.5'±

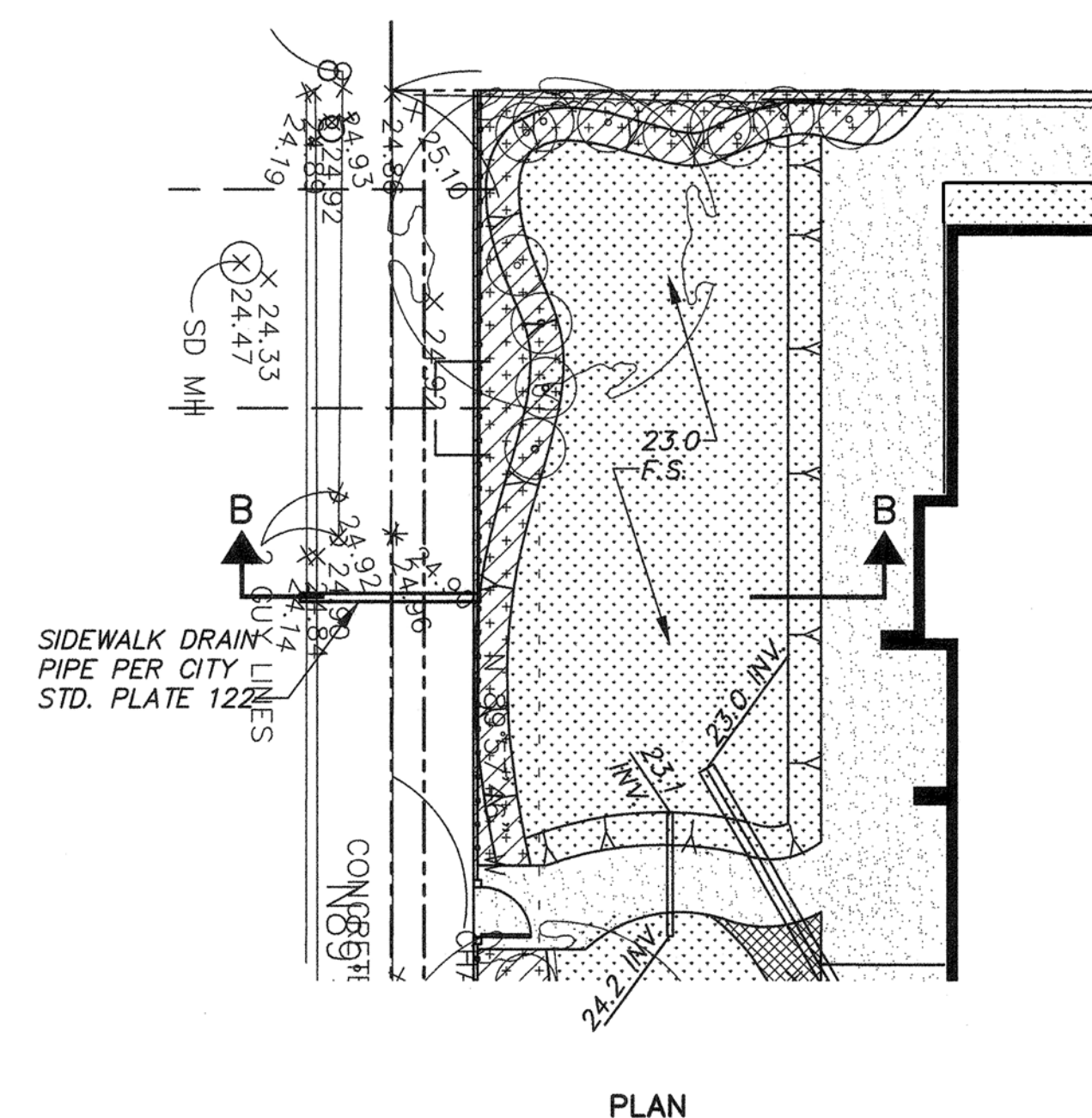
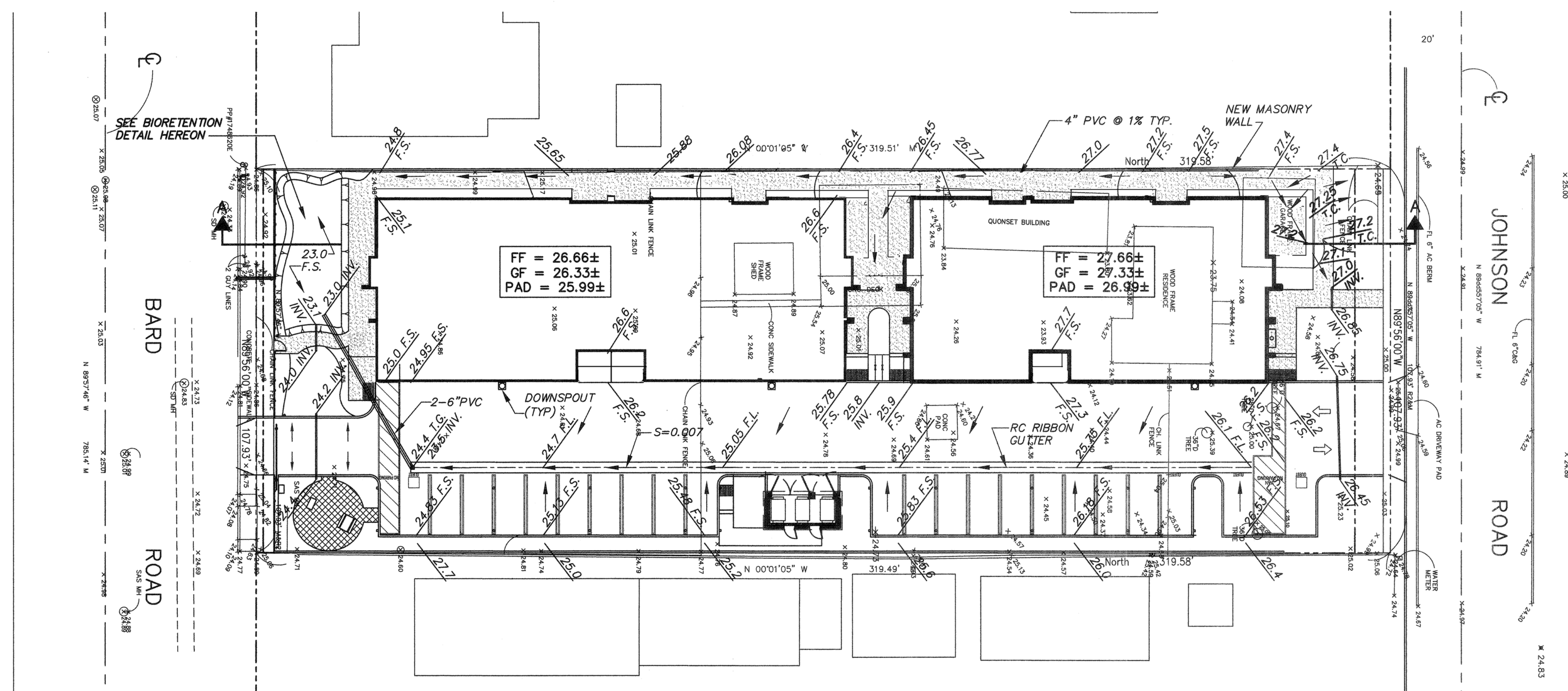
23.0'± F.S.

GEOMEMBRANE

1' GRAVEL

2' MODIFIED
PLANTER MIX

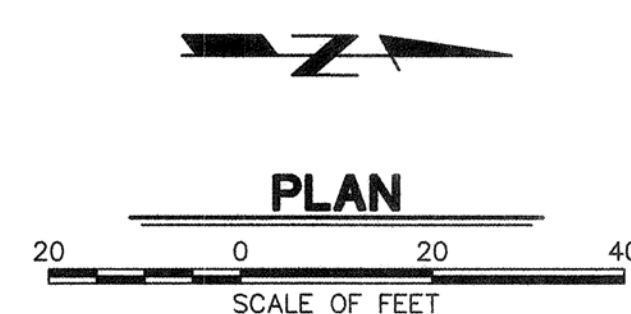
SECTION B-B



BIORETENTION DETAIL

NOT TO SCALE

SURFACE AREA = 634 S.F.
(533 S.F. NEEDED)



PREPARED BY: **VCE, Services**

* 1591 Los Angeles Ave., Suite 2 * Ventura, California * 93004 *
* Phone (805) 659-4005 *

 18481 3/2/16

REGISTERED CIVIL ENGINEER R.C.E. NUMBER DATE

JOB FILE:

REVIEWS				CITY OF CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT	
MARK	DATE	DESCRIPTION	BY	DRAINAGE PLAN 234 JOHNSON ROAD, OXNARD, CA 93030	
				APPROVED: _____ Date	
REVIEWED BY: _____ DATE DATE				SCALE: HORIZ. <u>AS SHOWN</u> VERT. <u>AS SHOWN</u> SHEET No. <u>1</u> OF <u>1</u> DRAWN BY: T. Fraser CHECKED BY: B. Wong DRAWING NUMBER _____	

4760
WILDLIFE SERIES
LINEAR AREA LED



1

TWH LED
LED Wall Luminaire



2



P5674 SERIES



3



4

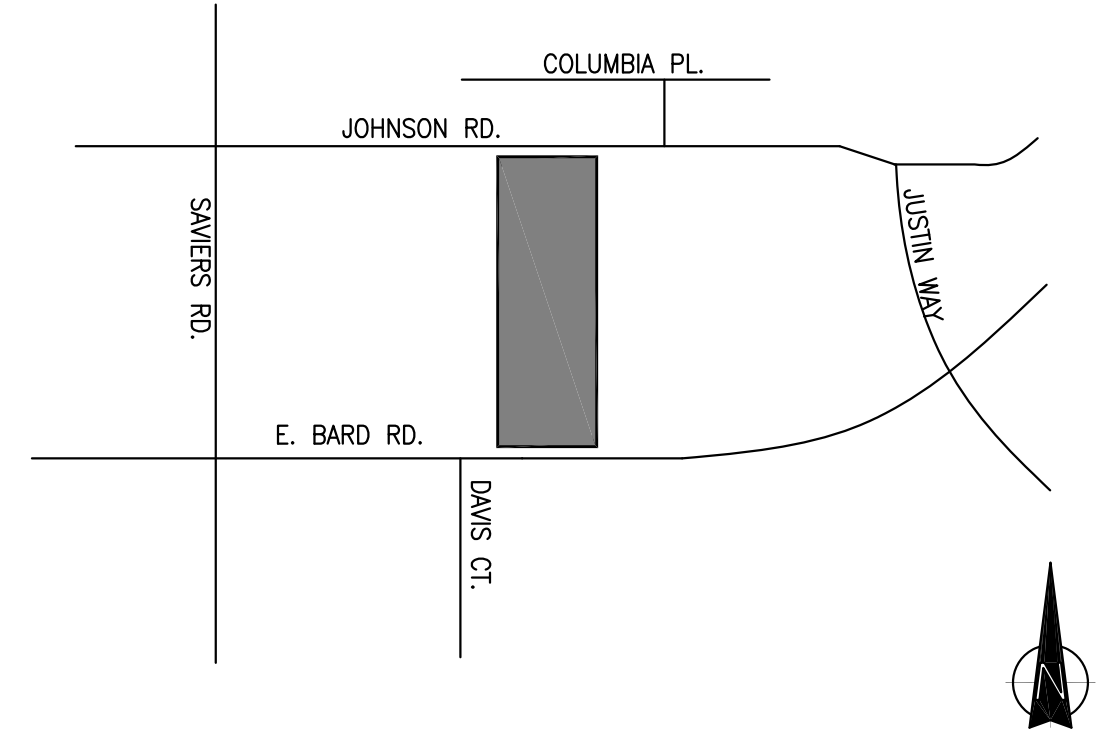


5

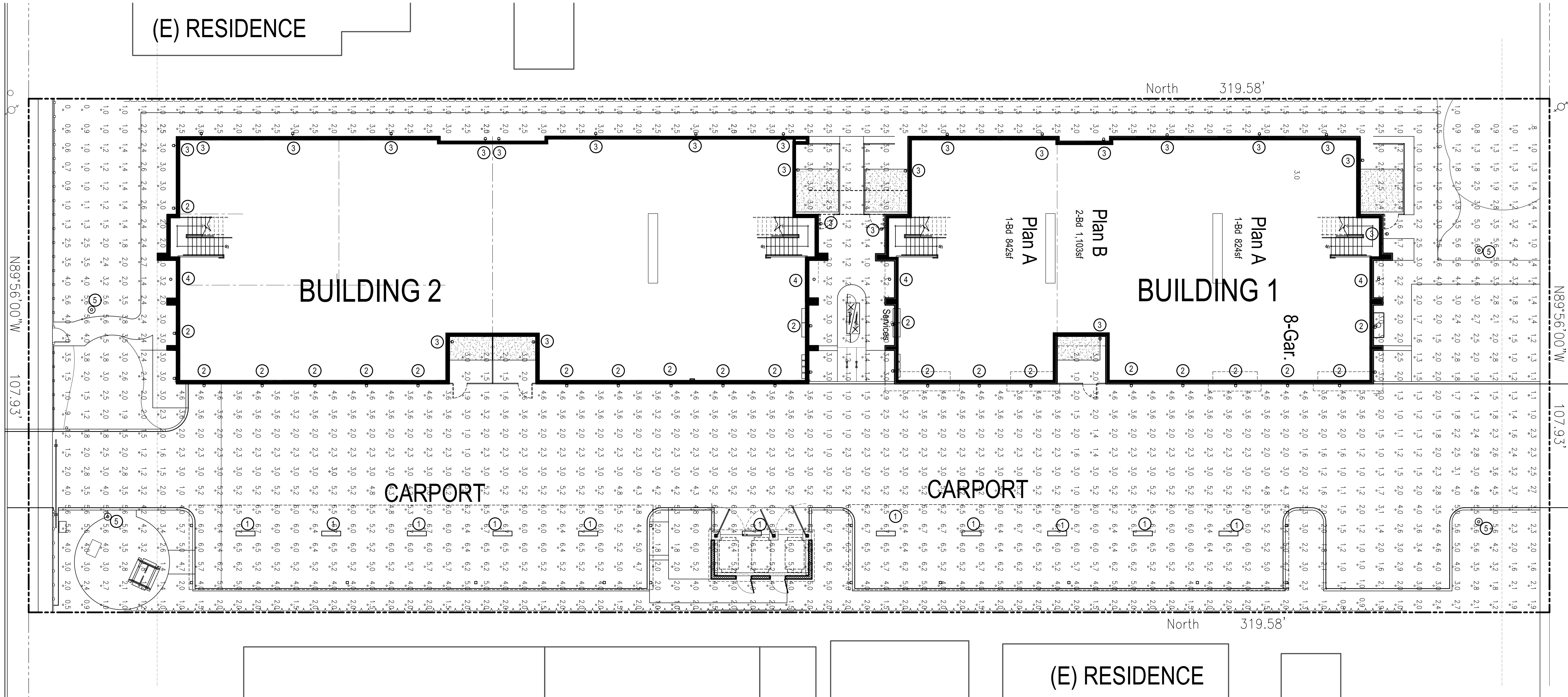
EXTERIOR LIGHT FIXTURE

- CARPOR LIGHT: ACUTY BRANDS 4760 WILDLIFE SERIES LED IP64
- GARAGE LIGHT: LITHONIA LIGHTING TWH 20C 40K LED WALL LUMINAIRE
- WALL SCONCE AT UNIT ENTRY DOORWAYS: ENERGY STAR PROGRESS LIGHTING P5674 SERIES, LED 3000K, BLACK
- STAIR ENTRY: PROGRESS LIGHTING 6" DIA. 7813801EN-10 CEILING FLUSH MOUNT, LED 2700K, BLACK
- POST LIGHTING : EVOLVE BY GE, LED POST TOP CONTEMPORARY TWIN SUPPORT- EPTC, 12' POLE

VICINITY MAP



BARD RD.



JOHNSON RD.

(E) RESIDENCE

SITE PLAN
1"=10.00'

0 5' 10' 20'
SCALE: 1" = 10'-0"

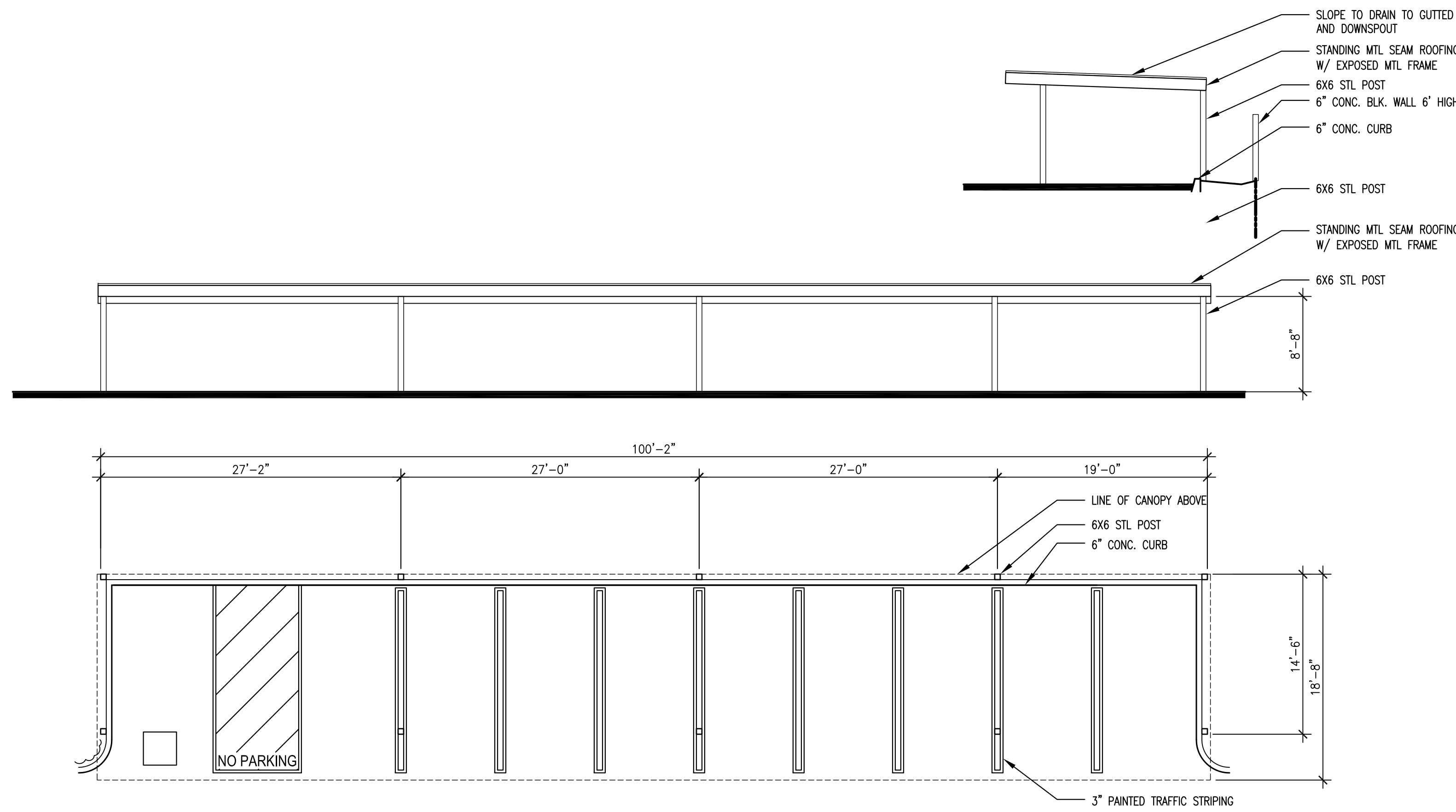
OxnardJohnson, LLC
750 S. B STREET OXNARD CA 93030

Johnson Rd. Housing
234 Johnson Rd Oxnard, CA

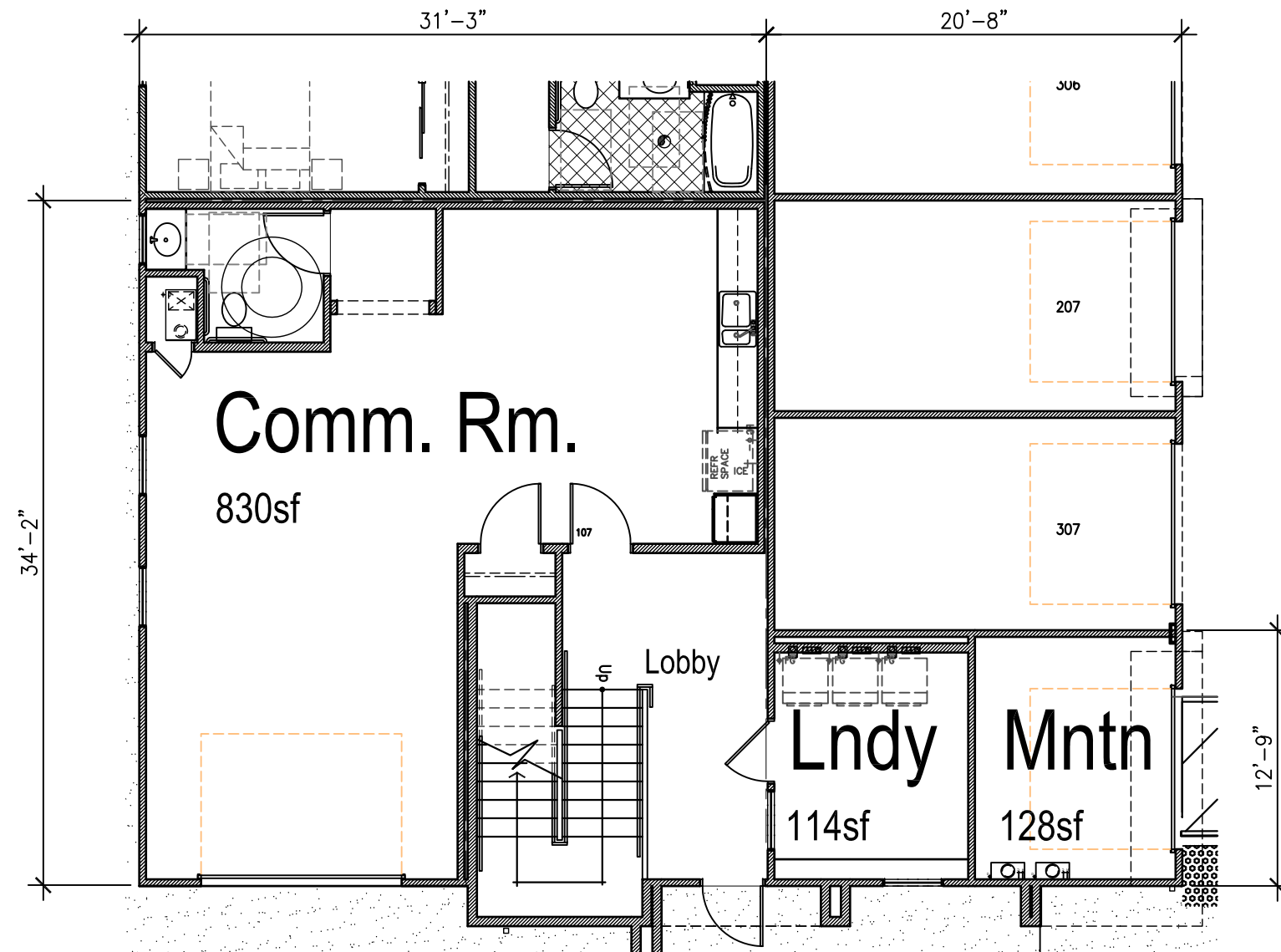
Jan. 02, 2017
PHOTOMETRIC PLAN

PH1

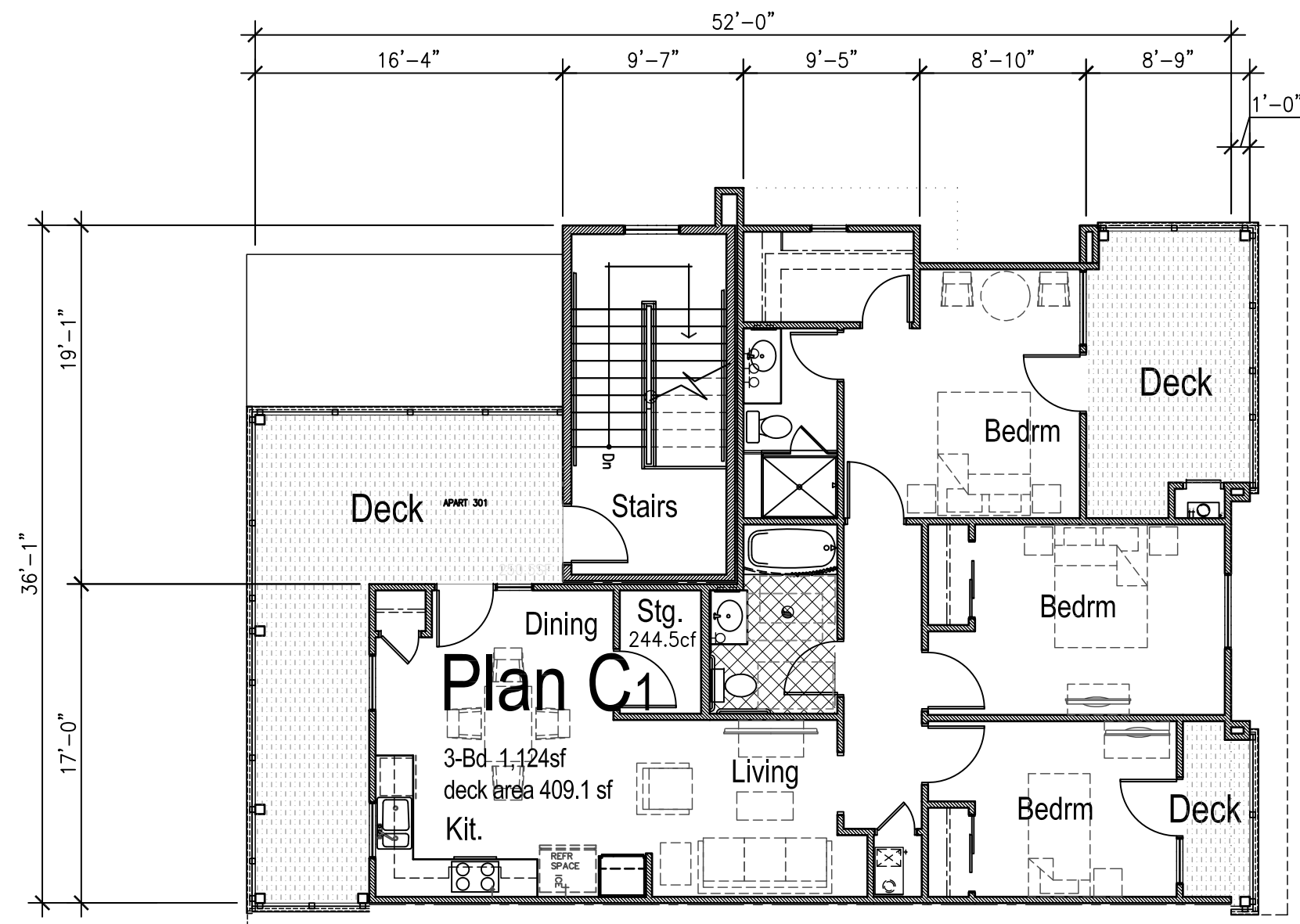




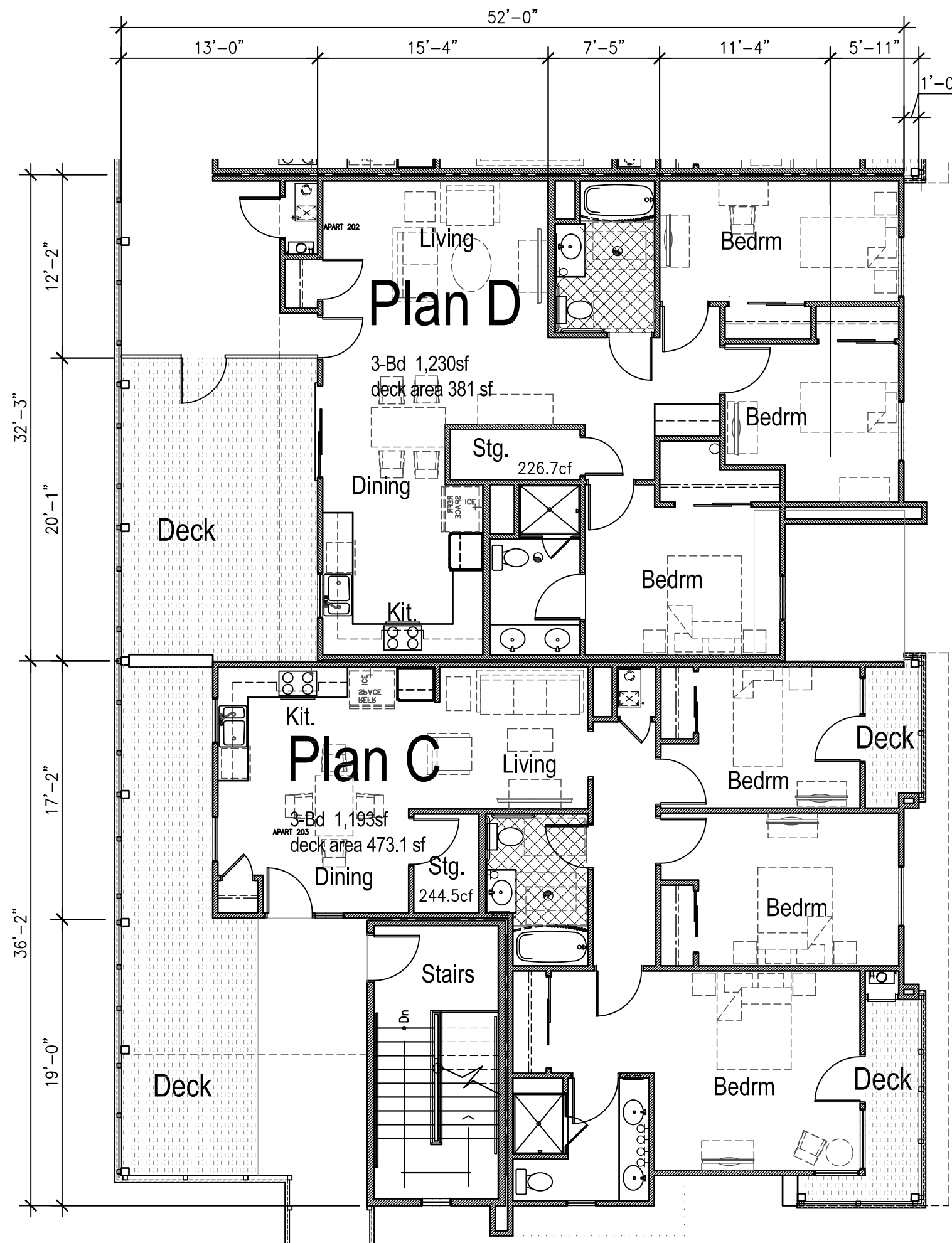
5 CARPORT FLOOR PLAN / ELEVATIONS
1/8"=1'-0"



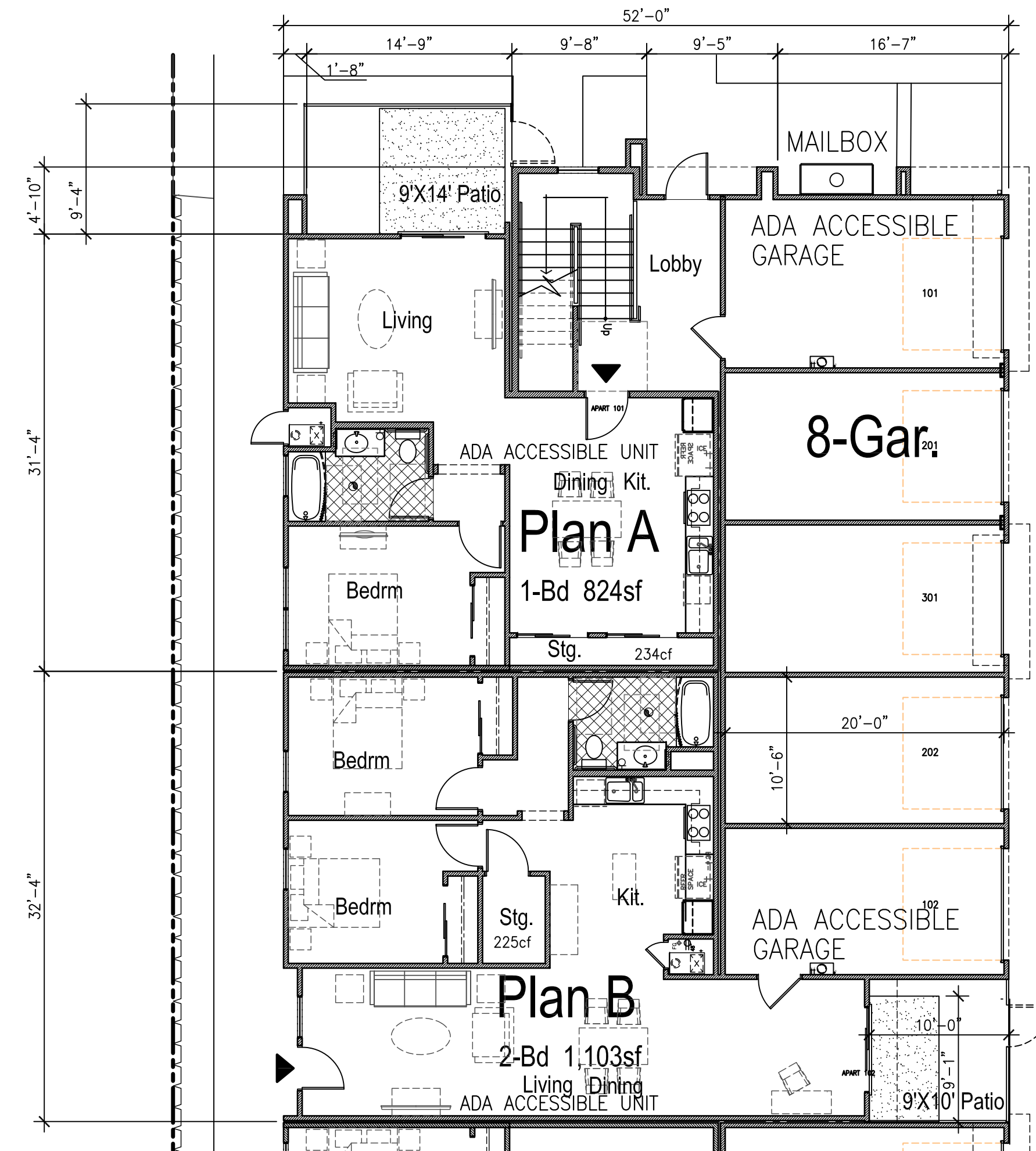
6 COMMUNITY ROOM - FIRST FLOOR PLAN
1/8"=1'-0"



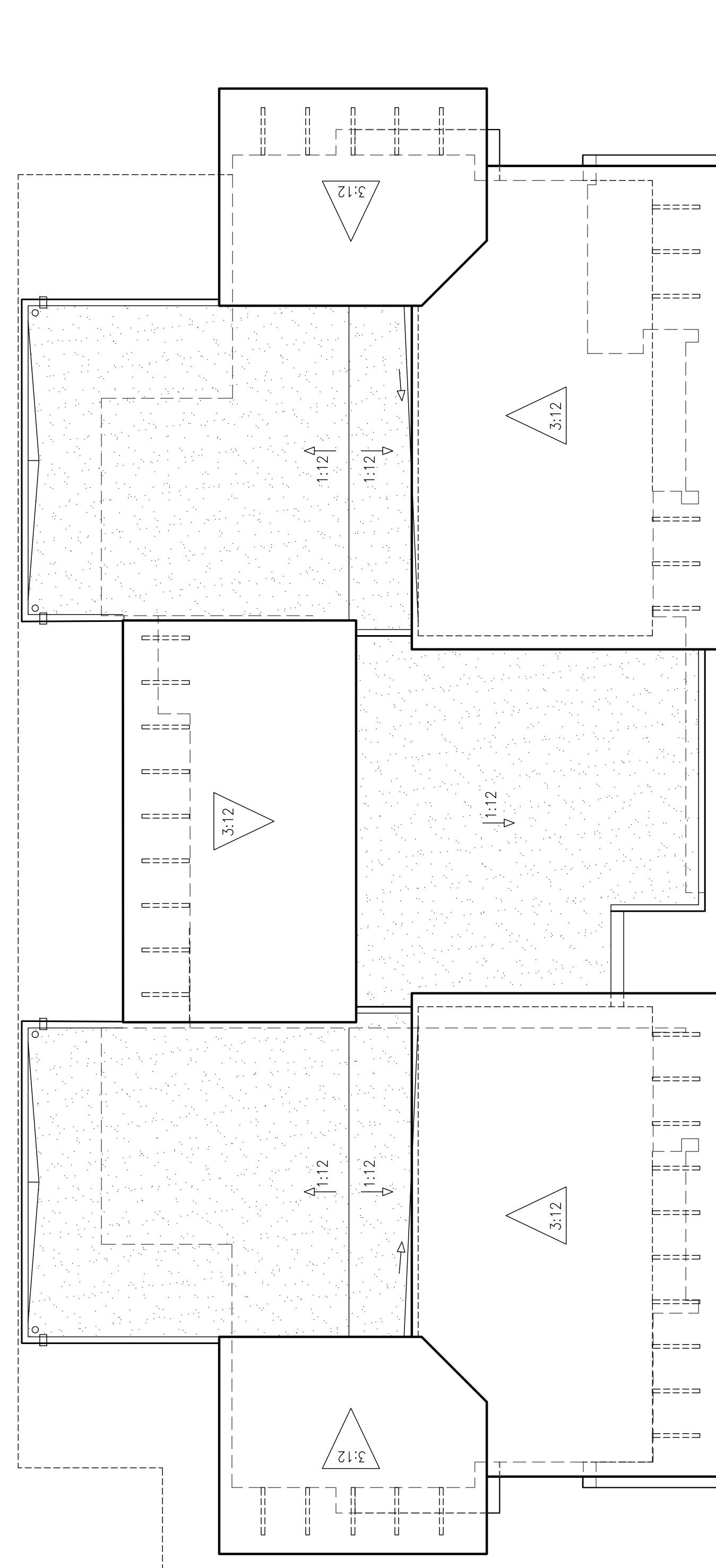
3 THIRD FLOOR PLAN
1/8"=1'-0"



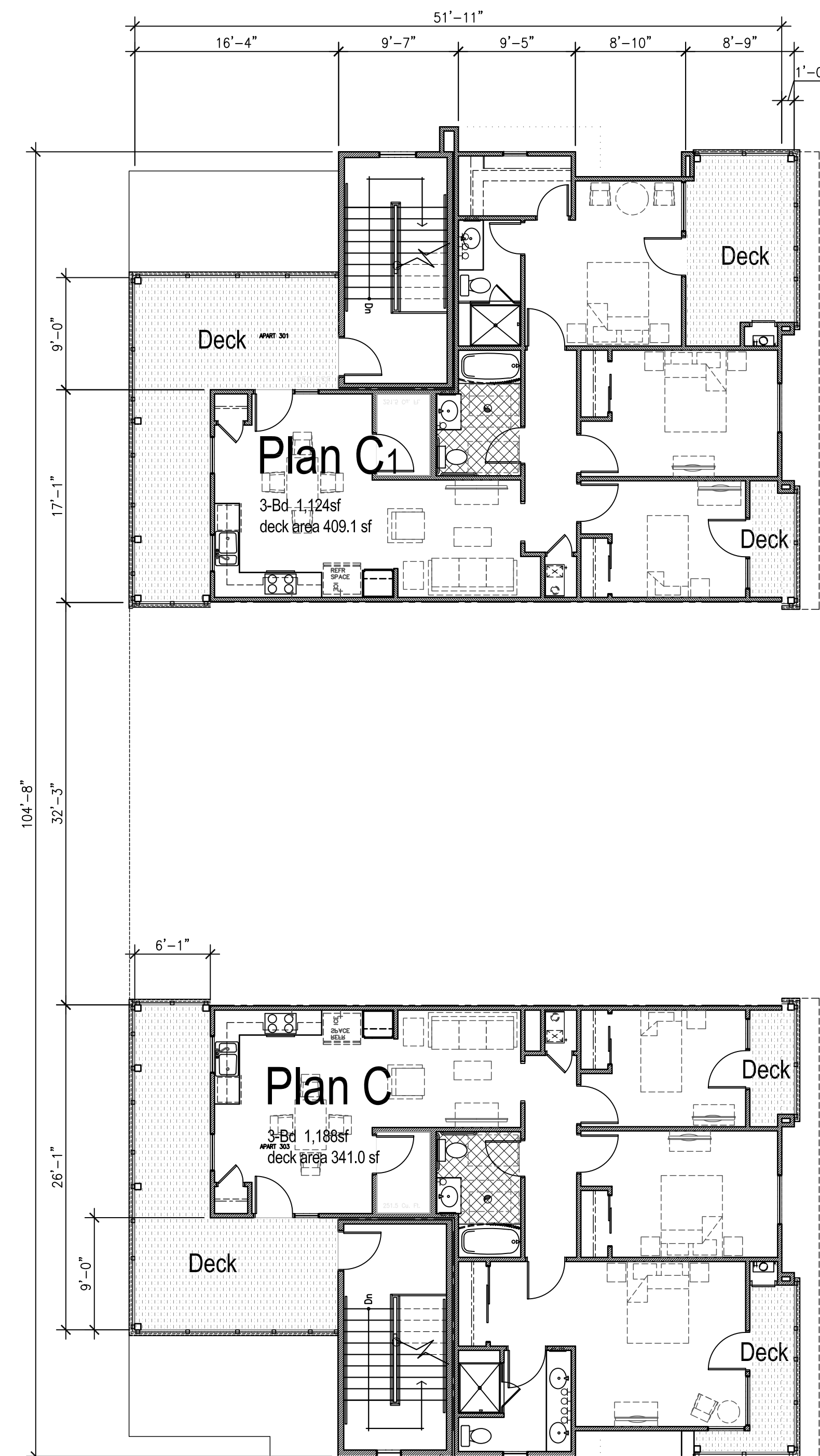
2 SECOND FLOOR PLAN
1/8"=1'-0"



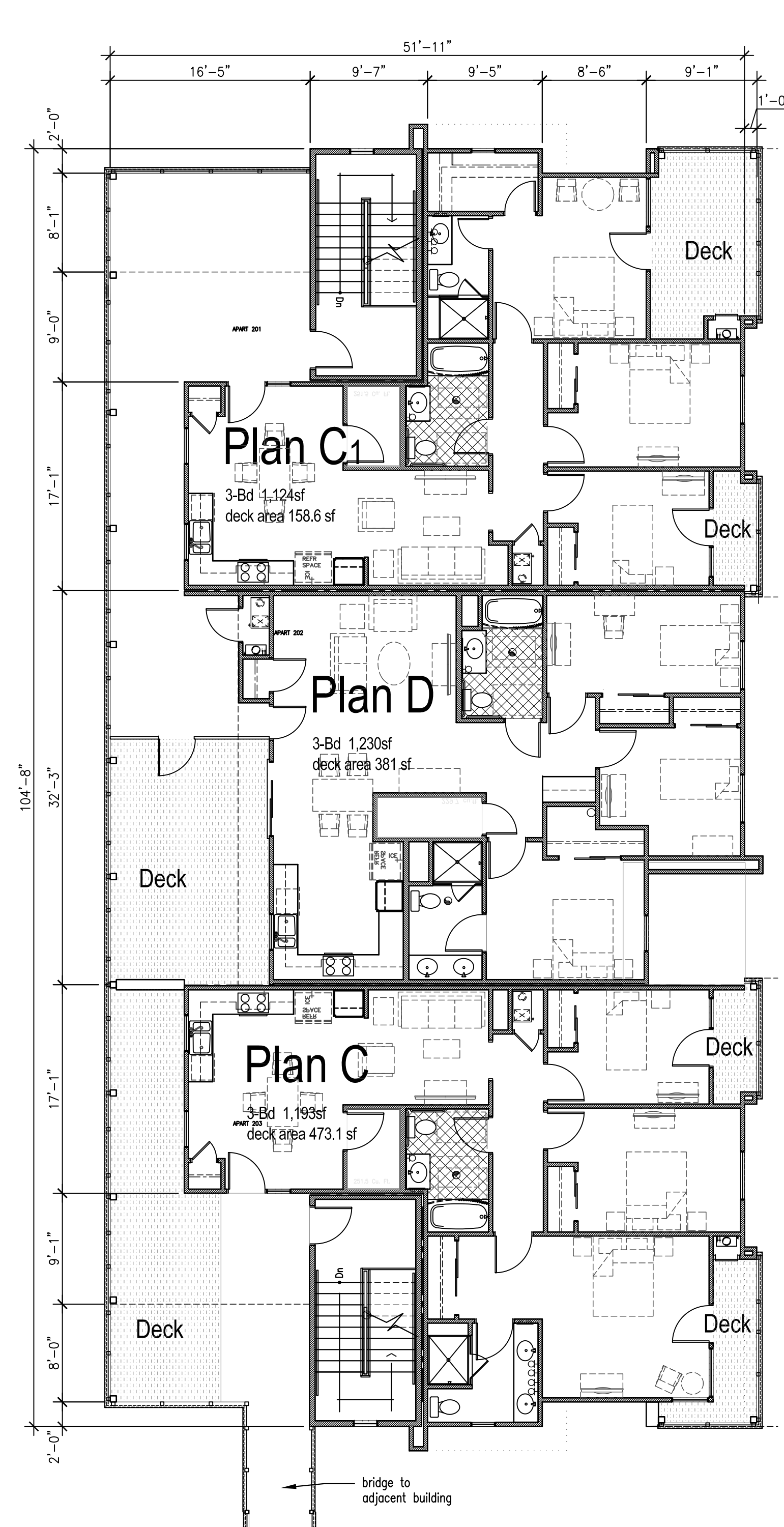
1 FIRST FLOOR PLAN
1/8"=1'-0"



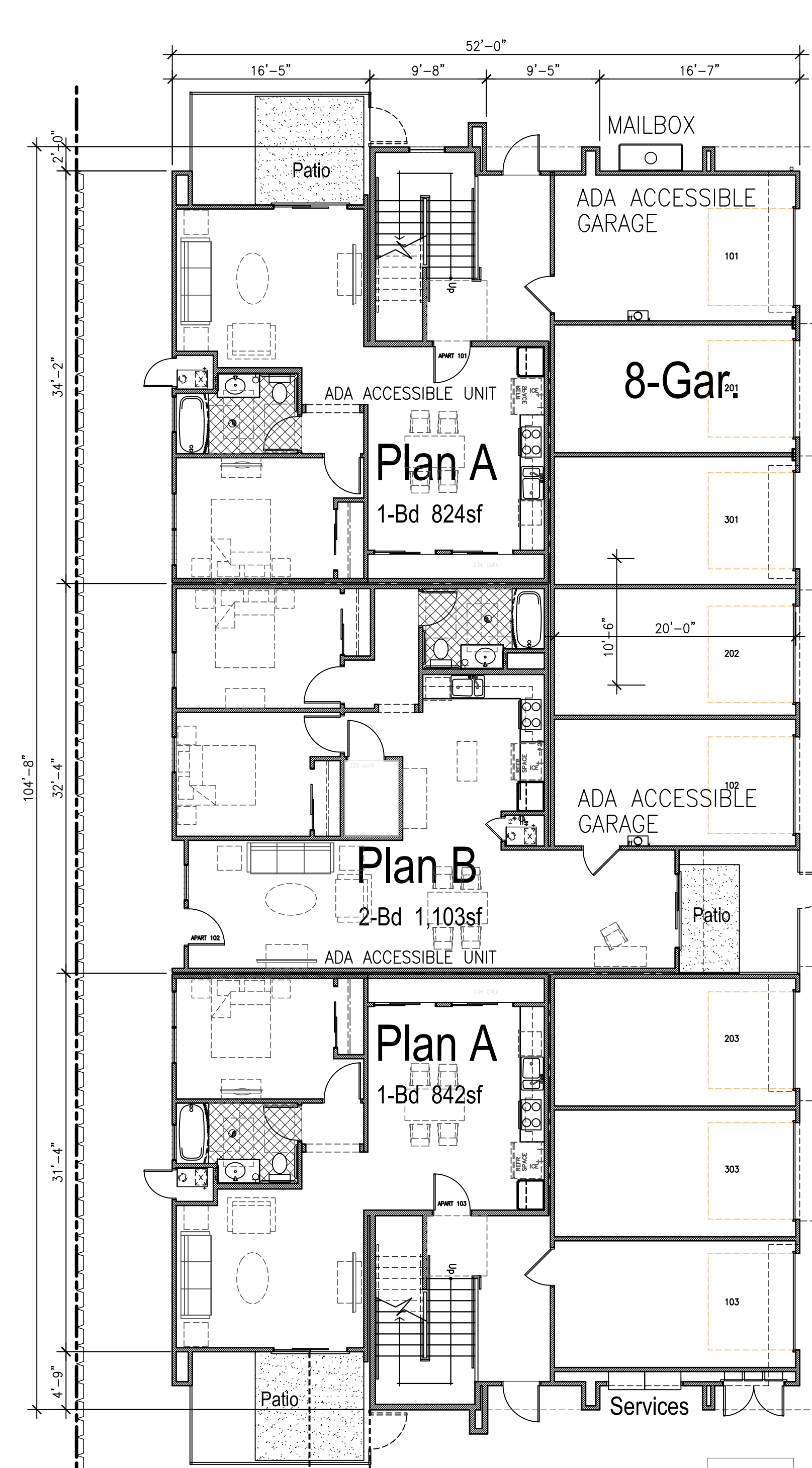
4 ROOF PLAN
1/8"=1'-0"



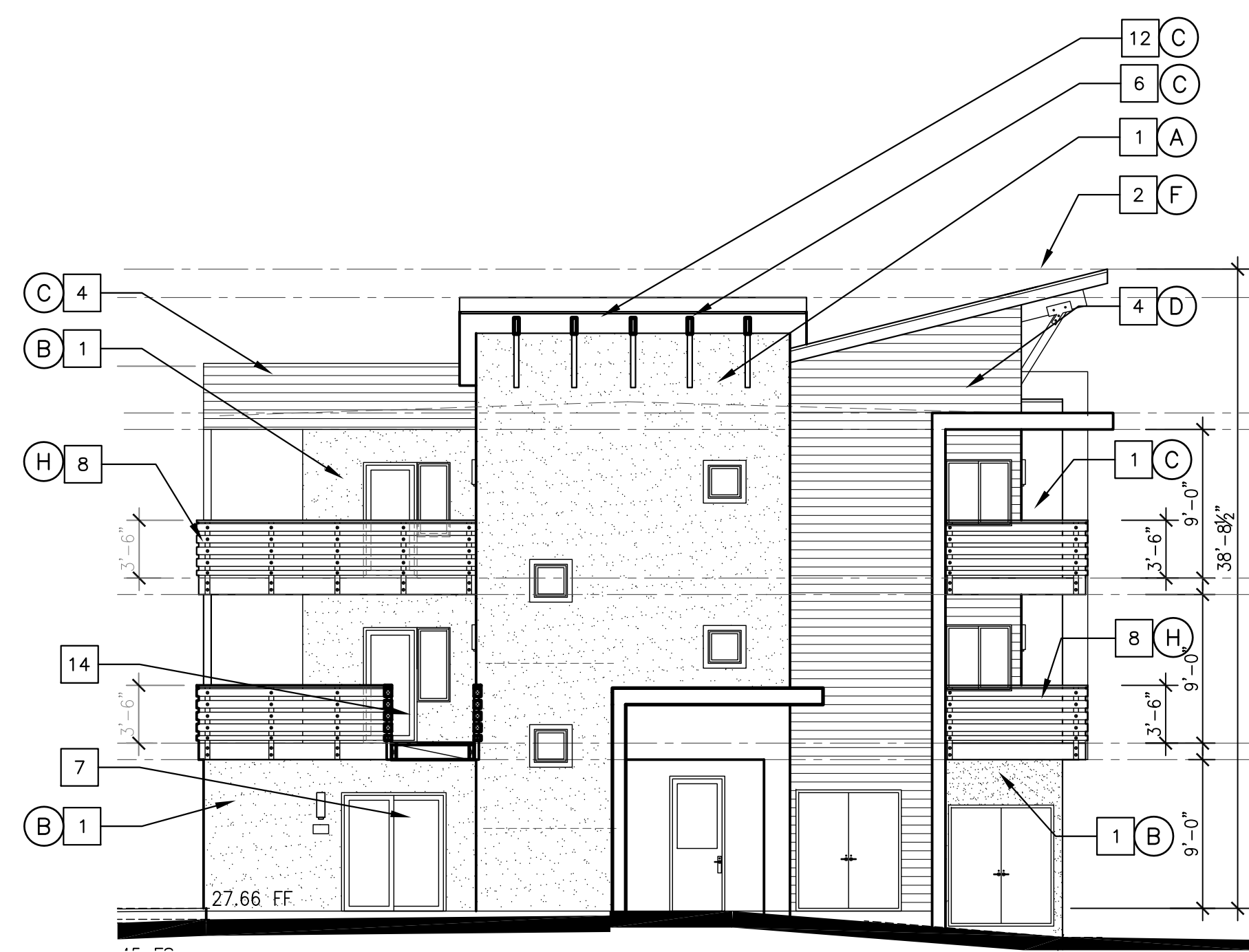
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1/8"=1'-0"



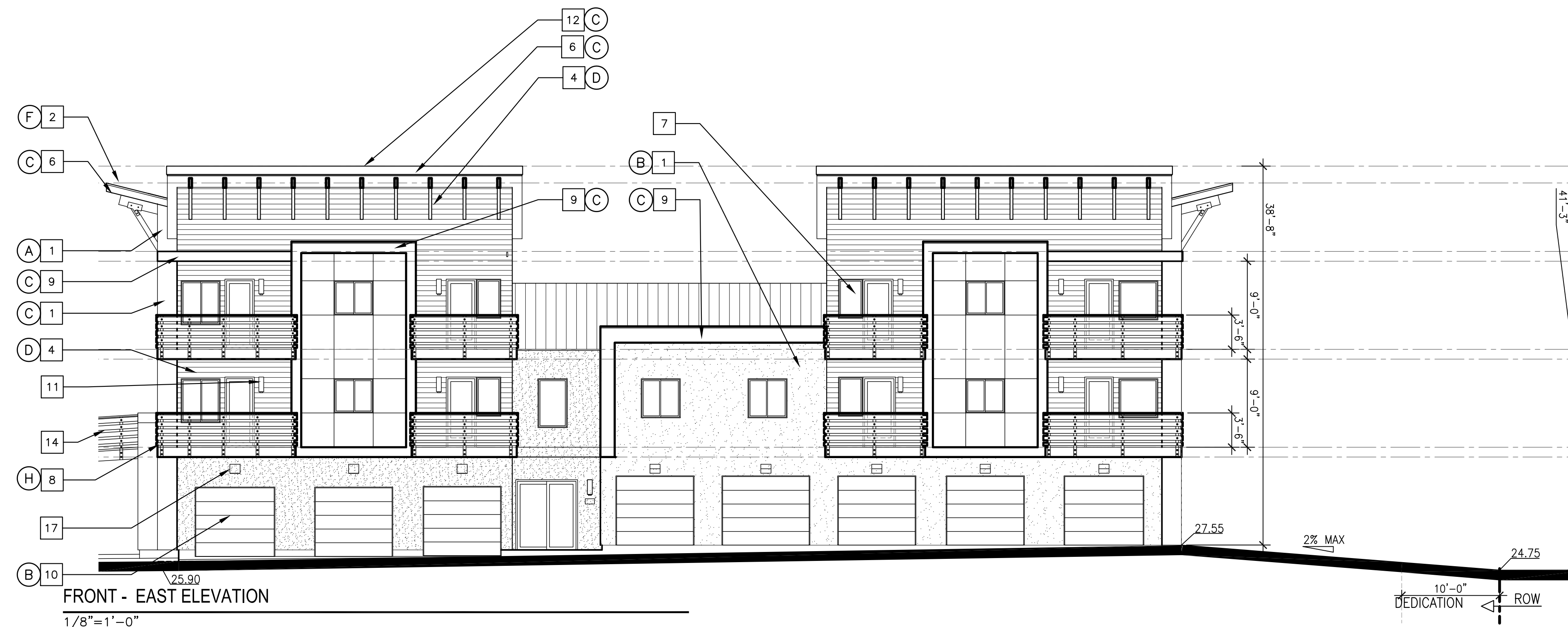
2 SECOND FLOOR PLAN
1/8"=1'-0"



1 FIRST FLOOR PLAN
1/8"=1'-0"



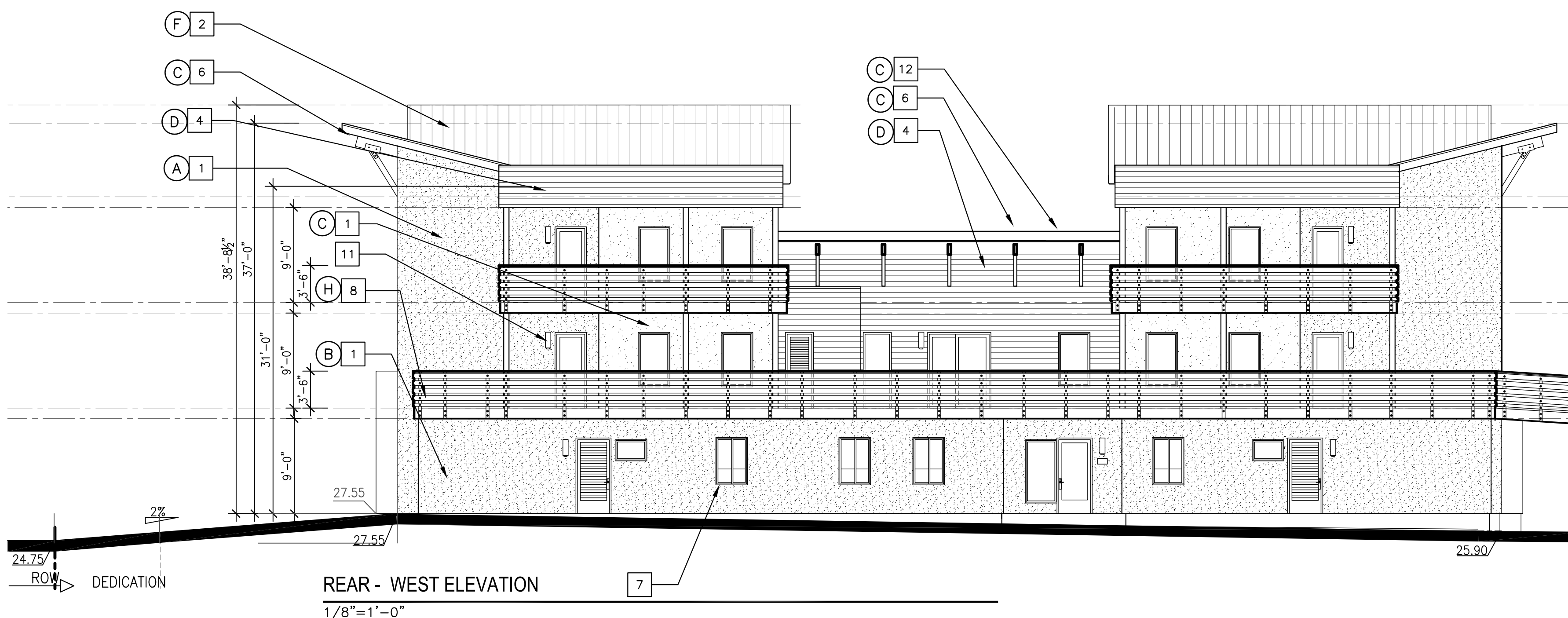
SIDE - SOUTH ELEVATION BARD RD
1/8"=1'-0"



FRONT - EAST ELEVATION
1/8"=1'-0"



SIDE - NORTH ELEVATION JOHNSON DRIVE
1/8"=1'-0"



REAR - WEST ELEVATION
1/8"=1'-0"

KEY NOTES

- 1 EXTERIOR STUCCO W/ 20/30 SAND FINISH
- 2 STANDING SEAM MTL ROOFING
- 3 MTL CAP FLASHING
- 4 HORIZONTAL FIBER CEMENT SIDING
- 5 60" TALL STUCCO PATIO PRIVACY WALL SEPARATION BETWEEN UNITS.
- 6 EXPOSED 4X 10 G-LAM BEAM STAIN GRADE W/ 4X 4 DIAG. BRACING W/ HEAVY MTL CONNECTION.
- 7 DOUBLE GLAZED VINYL WINDOW SYSTEM
- 8 COMPOSITE 2X WOOD DECK RAILING 42" HIGH.
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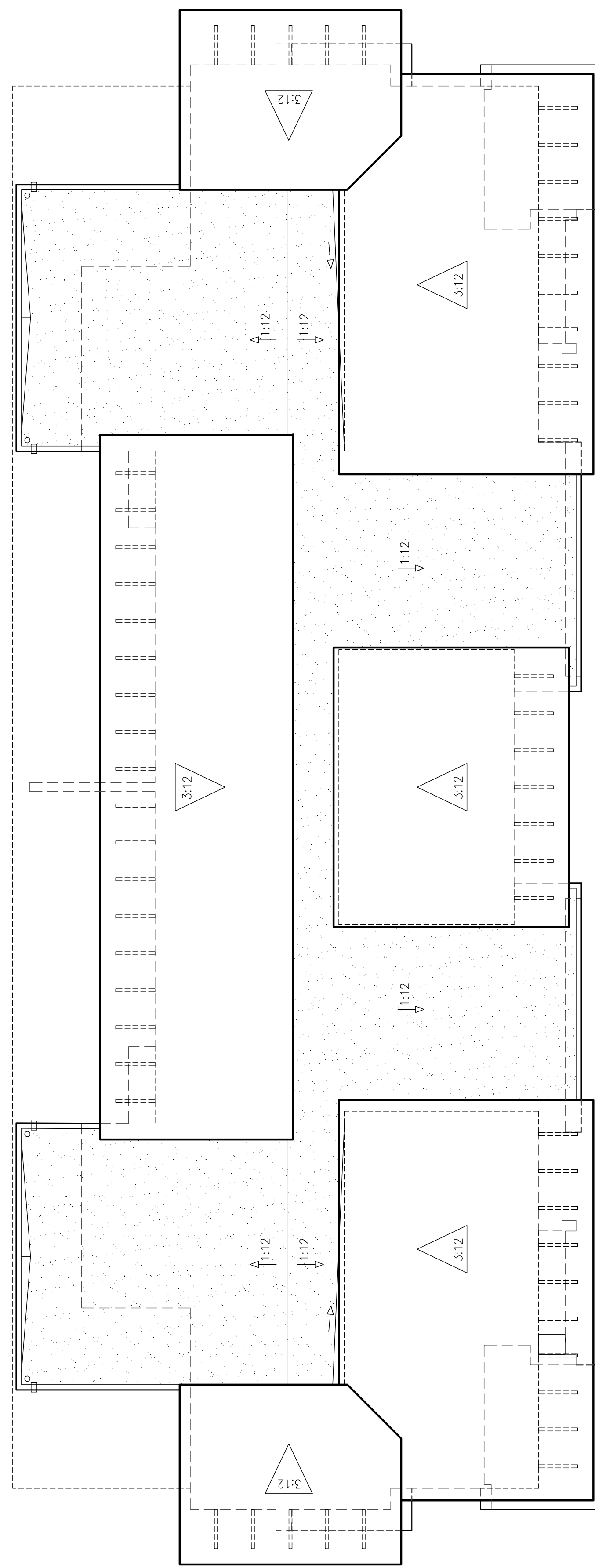
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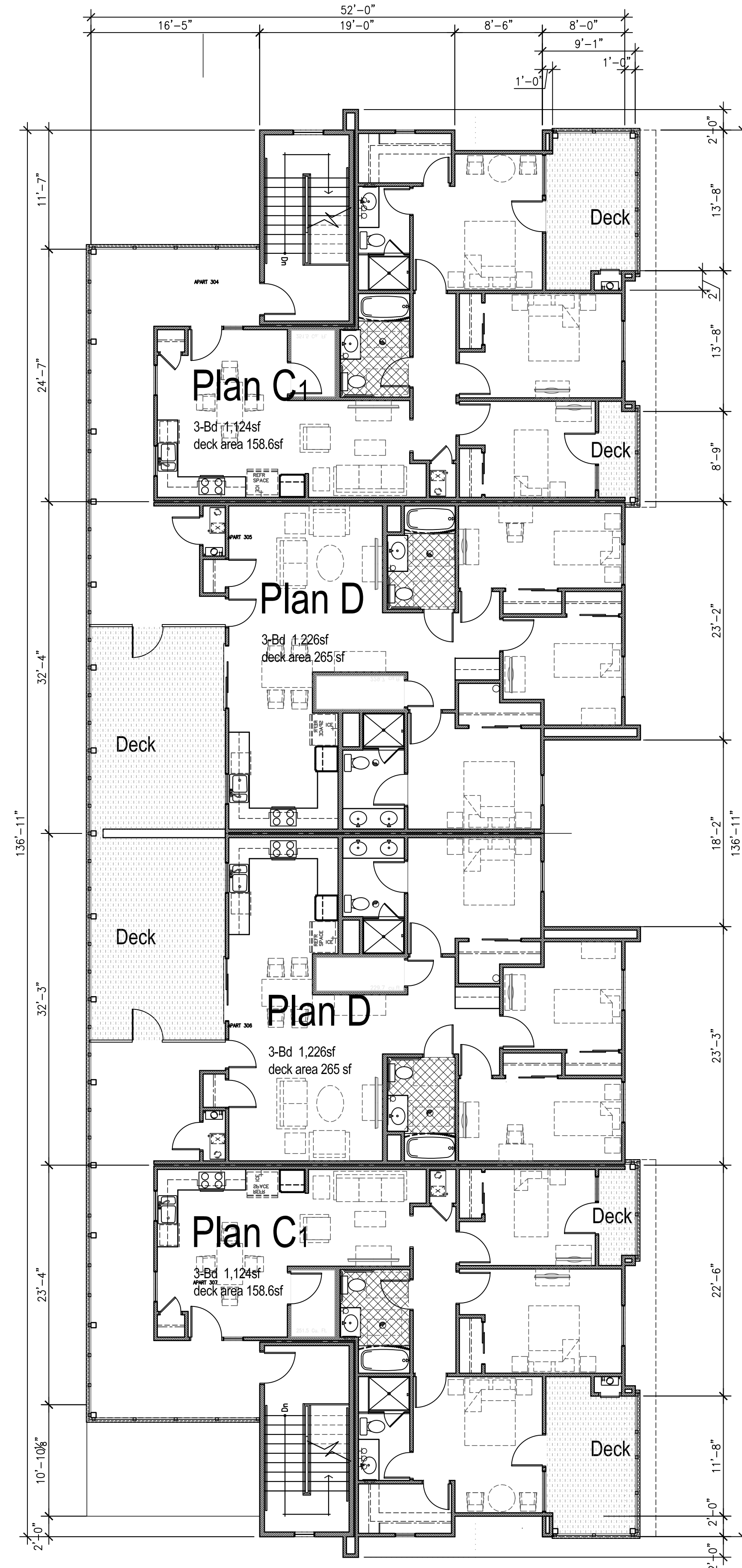
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Jan. 02, 2017
EXTERIOR ELEVATION
BUILDING 1

A4

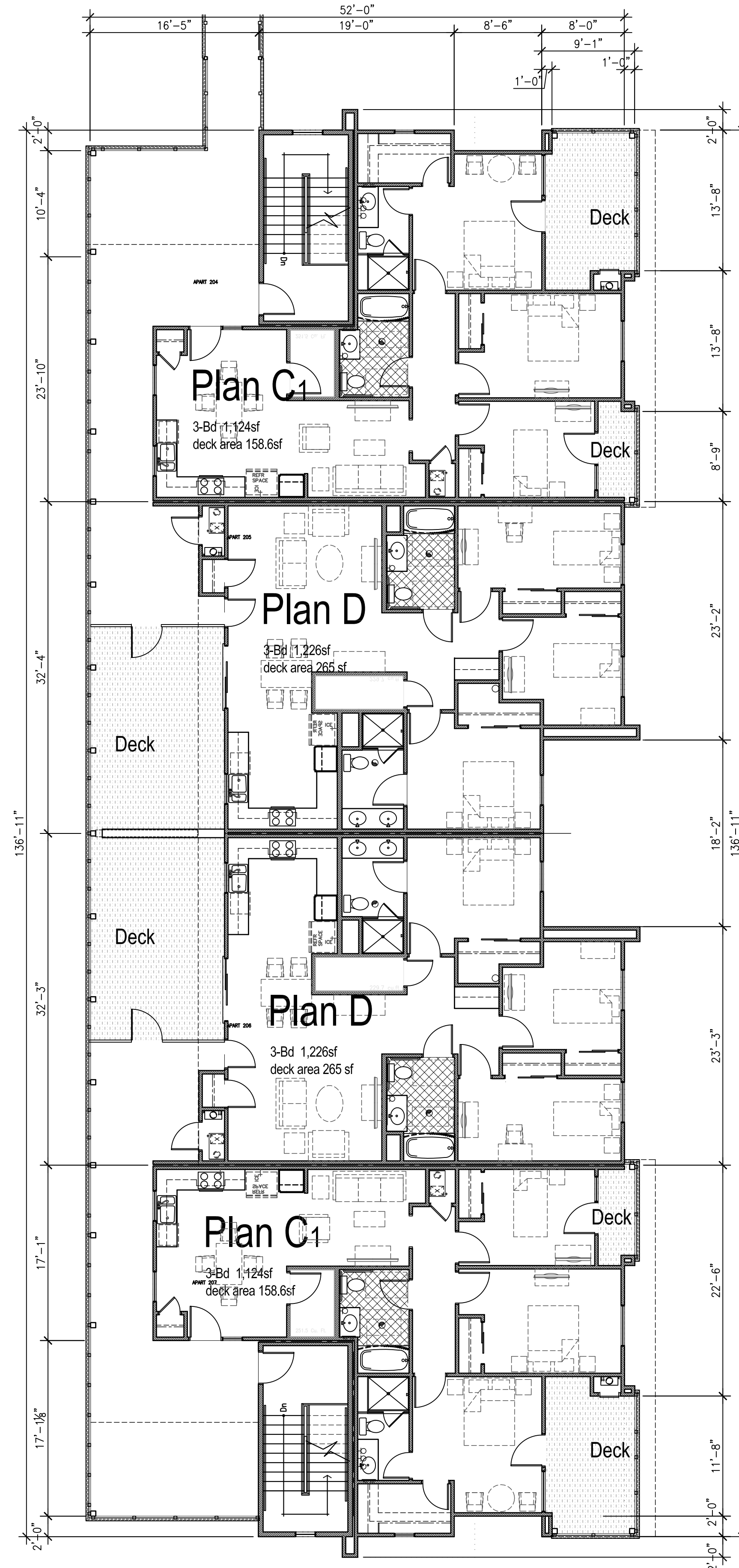
COASTAL
ARCHITECTS
900 S. 1ST ST. 2ND FL. Oxnard, CA 93030
PH: 805.985.7654 FAX: 805.201.3023 www.CoastalArch.com
Jodi D. Zuck
Principal Architect



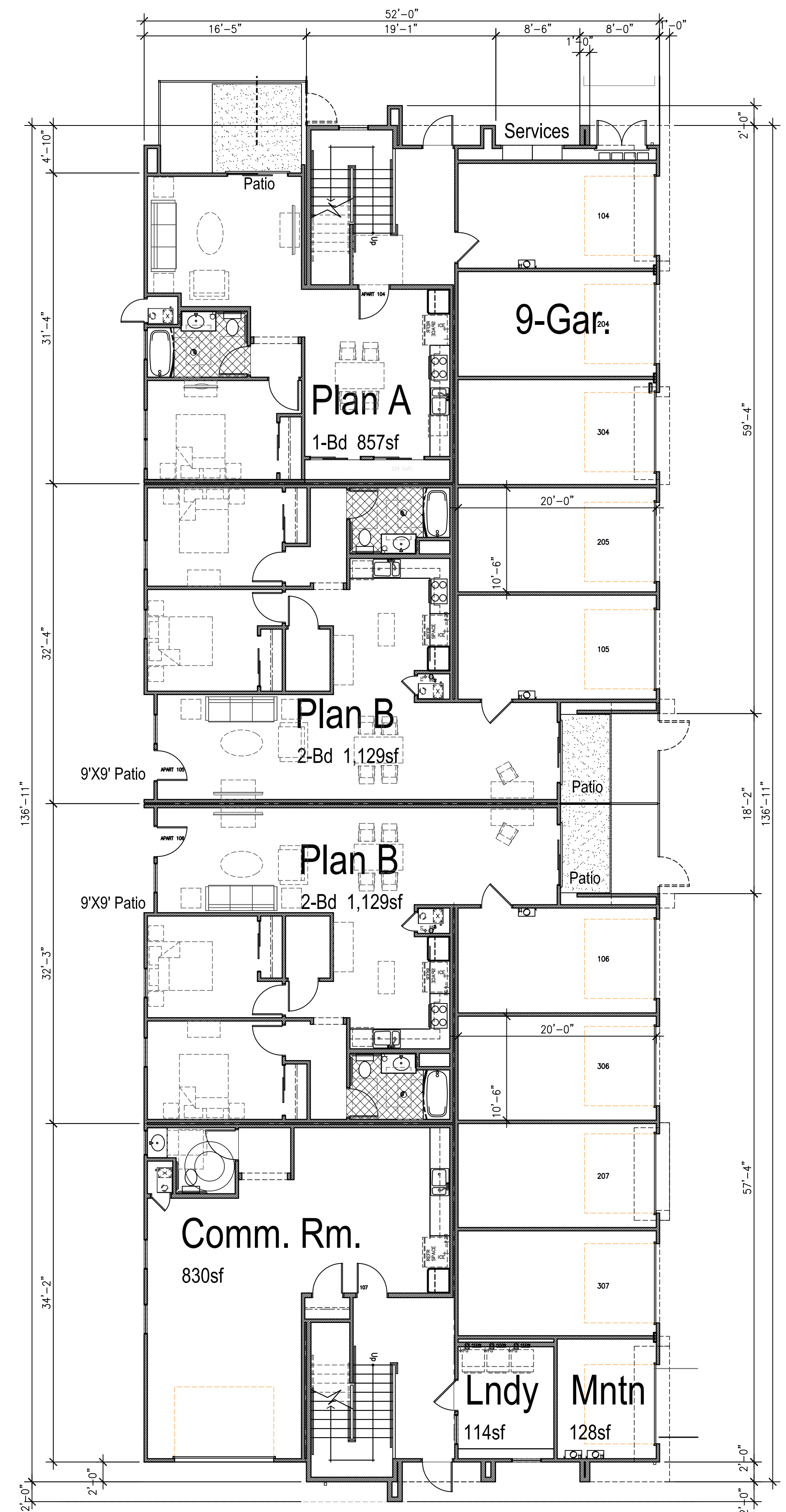
4 ROOF PLAN
1/8"=1'-0"



3 THIRD FLOOR PLAN
1/8"=1'-0"



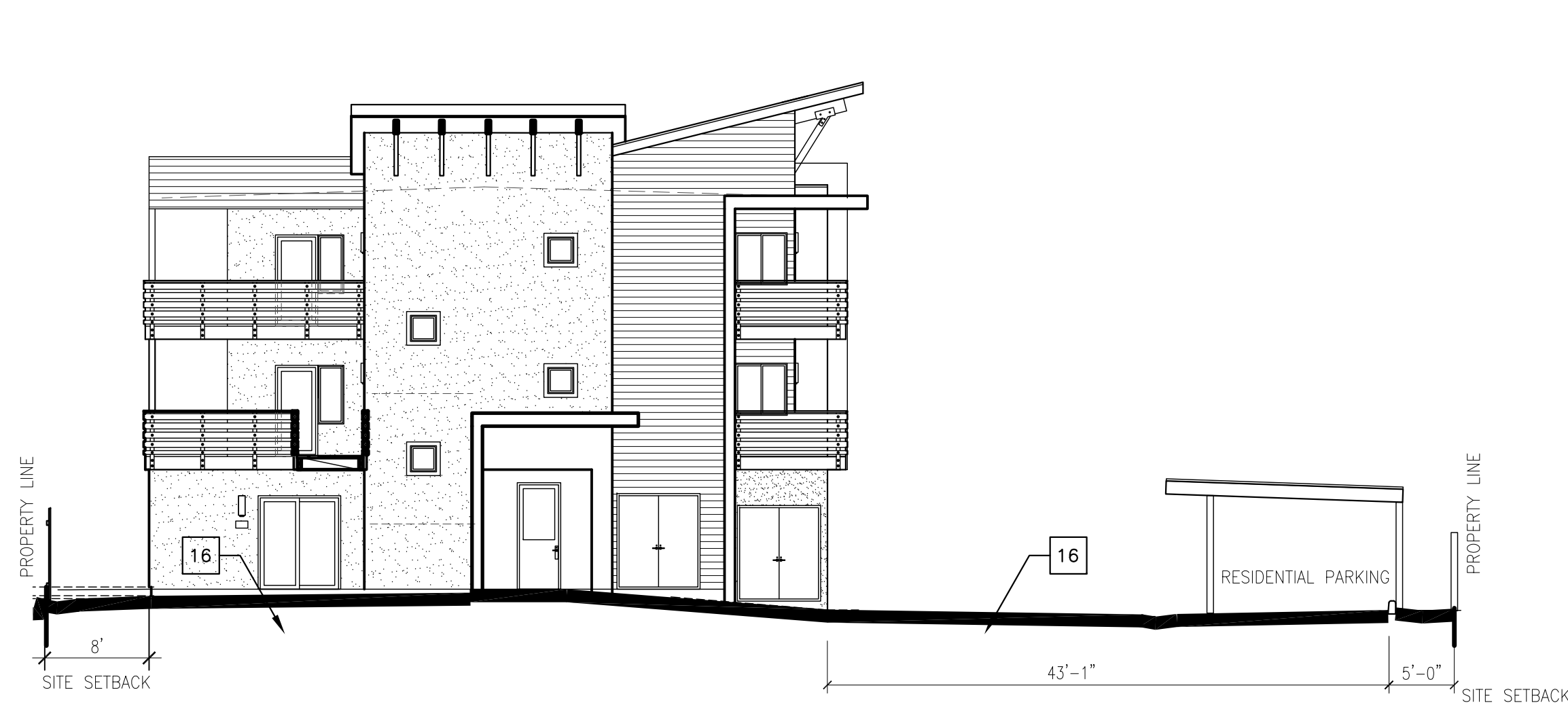
2 SECOND FLOOR PLAN
1/8"=1'-0"



1 FIRST FLOOR PLAN
1/8"=1'-0"



FRONT - LONGITUDE ELEVATION
1"=10'-0"



SIDE - LATITUDE ELEVATION
1"=10'-0"



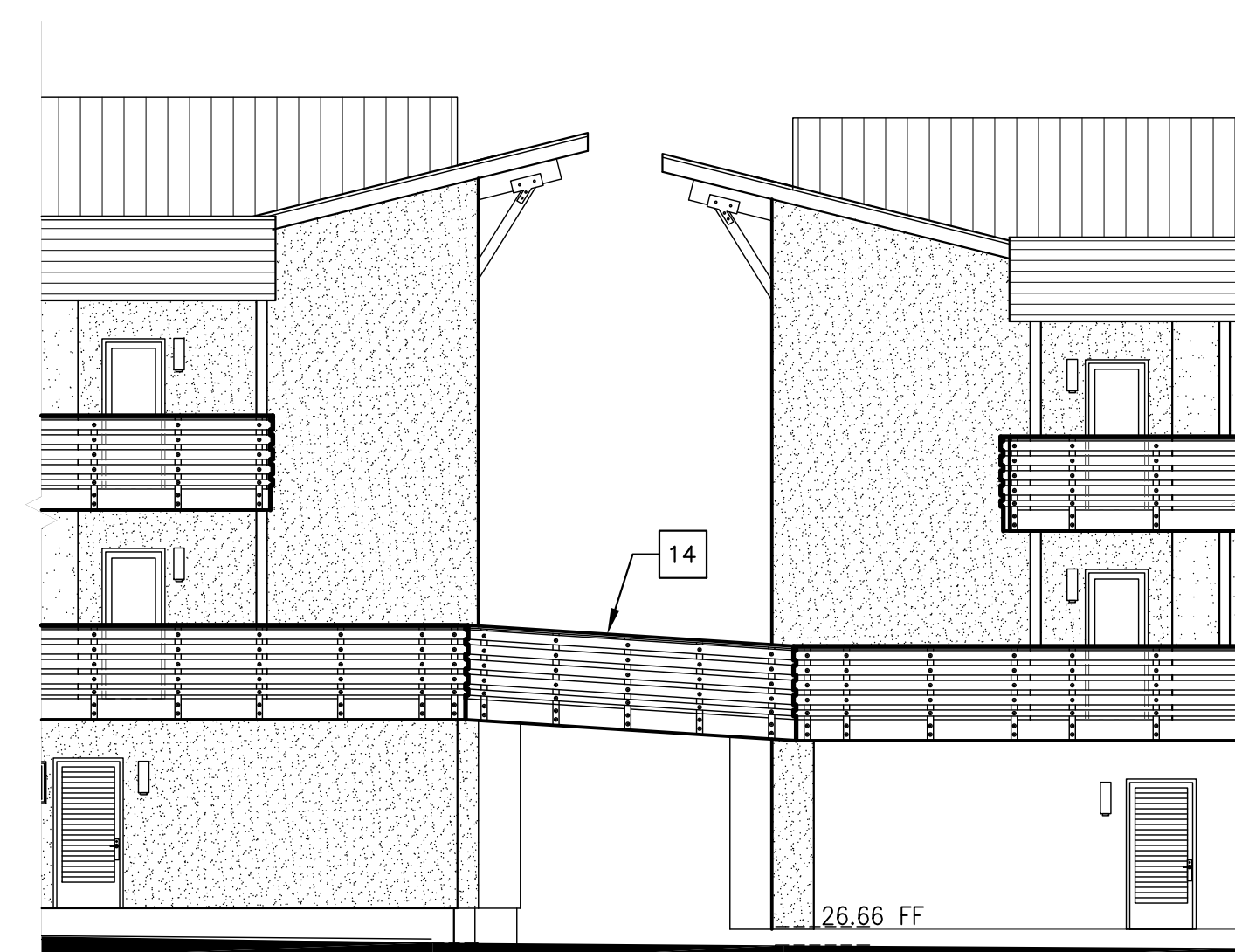
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- H TREX WOOD RAILING - COLOR: SPICE RUM TRENSCEND

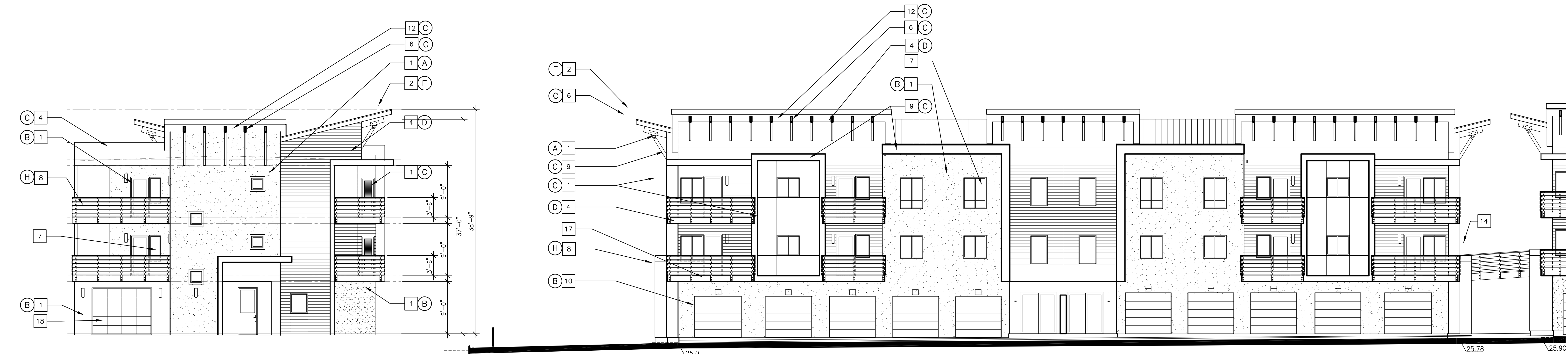
NOTES

- A. SEE GENERAL NOTES FOR ROOF NOTES.
- B. CONTRACTOR SHALL VERIFY VENTILATION AREA OF ALL ATTIC VENTS WITH MANUFACTURER.
- C. CONTRACTOR SHALL COORDINATE WITH ROOF TRUSS MFR. TO PROVIDE A CLEAR INSTALLATION SPACE FOR ALL MECHANICAL EQUIPMENTS.
- D. ALL ROOF SHEATHING EDGES SHALL BE BLOCKED AND NAILED PER STRUCTURAL PLANS IN ADDITION, CONTRACTOR SHALL ALSO PROVIDE MIN. BLOCKING AND NAILING AS REQUIRED BY ROOFING MANUFACTURER.
- E. PROVIDE ATTIC & SOFFIT VENTILATION AS PER C.B.C.
- F. MINIMUM ROOF SLOPE IS NOT TO BE LESS THEN 1/2" PER 12".
- G. ROOFING: SINGLE PLY MEMBRANE ROOFING WITH PVC RIBS HOTAIR WELDED AT 12" O.C. O/ GYPSUM-FIBER ROOF BOARD INSULATION. INSTALL PER MANUFACTURES SPECIFICATIONS. COOL ROOF, FIBERTILE 8552 SM DC-972/247. ENERGY STAR RATED OR EQUAL.
- H. ALL MECHANICAL EXHAUST VENTS INCLUDING DIRECT VENT, IN-LINE FRAMING EXHAUSTED VENT SYSTEMS ARE TO BE INSTALLED PER MANUFACTURE SPECIFICATIONS.
- I. GRAFFITI PROTECTION SHALL BE PROVIDED ON ALL EXTERIOR WALL, WINDOW AND VENEER SURFACES UP TO 9' ABOVE FINISH GRADE. PROVIDE CLEAR FILM PROTECTION ON WINDOWS.
- J. ALL ROOF HEATING AND COOLING SYSTEMS AND OTHER EXTERIOR MECHANICAL EQUIPMENT SHALL BE SCREENED FROM ADJOINING PROPERTIES AND PUBLIC STREETS. PLUMBING VENTS, DUCTS AND OTHER APPURTENANCES PROTRUDING FROM THE ROOF OF THE STRUCTURES SHALL BE PLACED SO THAT THEY WILL NOT BE VISIBLE FROM THE FRONT OF THE PROPERTY OR OTHER MAJOR PUBLIC VANTAGE POINTS AND BE PAINTED TO MATCH ROOF COLOR. ROOF PENETRATIONS SHALL BE GROUPED WHENEVER POSSIBLE.

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Johnson Rd. Housing
234 Johnson Rd Oxnard, CA

150904
Jan. 02, 2017
BRIDGE ELEVATION
& SECTION
A6.1
COASTAL ARCHITECTS
300 S. 1st St. 2nd Fl. Oxnard, CA 93030
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