

Sec. 42-231. - Permitted uses.

Permitted principal uses in all business districts shall be limited to those uses specified in the master business list. Any use not specifically listed herein, but which is commercial in nature, shall be determined by the city administrator or designee to be permitted in the zoning district specifying the most similar use thereto. Refer to article II of this chapter, this division and division 2 of this article, for use restrictions.

Master Business List														
P = Permitted C = Conditional A = Accessory use only SE = Special Exception														
Use	B-1	B-2	B-3	C-1	OP	TOC	TOC-3	TOC-2	TOC-1	M-1	M-2	I-1	C-F	S-2
Accessory dwelling	A	A	A	A		A	A	A		P	P	A	A	
Adult entertainment establishment										P	P			
Adult video store										P	P			
Amusement center		P	P			P		P						
Ammunition reloading (handguns)										P	P			
Appliance store (major)		P	P	P		P	P	P						

Archery range														P
Assembly (premanufactured components)										P	P			
Auction house			P	P		SE	SE	SE						
Auditorium				P		P	P	P					P	
Automatic teller machines (ATM) (incorporated into principal structure)						A	A	A						
Automobile, truck and recreational vehicle accessories (sales and installation)		P	P	P						P	P			
Automobile, truck and equipment auctions											P			
Automobile detailing or cleaning, other than automated carwash			SE	SE		SE		SE		P	P			

Automobile repair garage, mechanical			SE	SE		SE				P	P			
Automobile paint and/or body shop				SE		SE				P	P			
Automobile storage or transport facility (operable vehicles)										P	P			
Aviation related uses (sales of planes, parts, ground support equipment, repairs and maintenance)											P			
Awning and canvas shop				P		P		P		P	P			
Bank or financial institution	P	P	P		P	P	P	P	P					
Bar, lounge, tavern or pub		SE	SE	SE		SE	SE	SE						
Barbershop, beauty salon, nail salon	P	P	P			P	P	P	P					

Bakery, retail	P	P	P			P	P	P	P					
Billiard center or pool hall		SE	SE			SE		SE						
Bingo hall		P	P	P		SE		SE						
Blood bank			P	P		SE		SE						
Boarding or breeding kennel			P	P		SE	A	SE		P	P			
Boat building, repair and dry storage ¹				P		SE				P	P			
Boating														P
Boat sales ¹			P	P		SE				P	P			
Botanical garden														P
Breweries and bottling facilities						A	A	A			P			
Bridle, foot or bicycle path														P
Bookstore, newsstand	P	P	P			P	P	P	P					
Bottled gas storage, filling or distribution ¹				P		SE		SE						
Bowling center		P	P	P		P	P	P						

Bus terminal		P	P	P		P	A	P						
Cabinet or carpenter shop				P		P		P		P	P			
Carwash, self-service or automated		P	P	P		SE		SE						
Catering or food delivery service	P	P	P	P		P	P	P	P	P	P			
Cemeteries													P	
Child care center, preschool or adult day care	P	P	P			P	P	P	P			P	P	
Civic and cultural centers						P	P	P	P			P	P	
Clothing store	P	P	P			P	P	P						
Clothing manufacturing										P	P			
Club, private bottle			SE	SE		SE								
Club, private fraternal or lodge			P	P		P	P	P	P					
College or university						SE	SE	SE				P	P	

Coin laundry	SE	SE	SE			SE		SE						
Commercial vehicle storage yard (nonaccessory)				P										
Community residential facilities						SE						P	P	
Concrete batching or mixing											P			
Concrete products manufacturing											P			
Contractor's shops				P		SE		SE		P	P			
Contractor's shop and storage yard											P			
Convenience store	P	P	P	P		P	A	SE						
Country club														P
Courts facilities													P	
Cosmetics and pharmaceuticals manufacturing										P	P			

Courier service		P	P	P		P	P	P	P	P	P			
Crematory for human or animal remains (no medical wastes)												P		
Dance club			P			SE								
Dance studio or club						P	P	P	P					
Delicatessen	P	P	P			P	P	P	P					
Department store		P	P			P	P	P						
Dinner theater		P	P			P	P	P						
Dry cleaning or laundry drop-off and pickup	P	P	P	P		P	SE	SE						
Dry cleaning and laundry plant											SE			
Electronics sales or repair	P	P	P	P		P		P		P	P			
Employment agency, business and professional		P	P			P	P	P						
Employment agency, day labor			P	P		SE				P	P			

Equipment sales and rental ¹ (construction, industrial, agricultural)				P		SE				P	P			
Escort or dating service			SE			SE								
Essential services and utilities	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Fabrics (canvas, textiles and vinyl) manufacturing											P			
Fairground														P
Fertilizer, compost and mulch compounding, storage and distribution											P			
Fire protection facilities												P	P	
Fishing pier or dock														P
Flea market, indoor			SE			SE		SE						

Flooring store (carpet, tile, etc.)		P	P	P		P	P	P						
Florist	P	P	P			P	P	P	SE					
Food processing, packaging and distribution, including meat packing (no slaughtering)										P	P			
Foot or bicycle path						P	P	P	P					
Funeral home, mortuary		SE	SE	SE		SE		SE						
Furniture store		P	P			P	P	P						
Furniture manufacturing										P	P			
Gasoline station		SE	SE	SE		SE								
Glass and mirror shop			P	P		P		P		P	P			
Golf course														P
Golf driving range			P											P
Golf, miniature			P			SE	SE	SE						P

Gym or fitness center		P	P			P	A	P						
Hardware store	P	P	P	P		P	P	P						
Health clinics												P	P	
Hobby or craft store	P	P	P			P	P	P						
Holiday wayside stand		C	C	C		C	C	C						
Home improvement center			P	P										
Home improvement center up to 50,000 sq. ft.						P								
Hospitals						SE						P	P	
Hotel or motel			P			P	P	P						
Institutions for the homeless or indigent													P	

Kiosk, including automatic sales of goods and merchandise (inside principal structure)						A								
Laboratory (medical, dental, research and development)		P	P	P	P	SE		SE		P	P			
Laundry drop-off and pickup						P	P	P						
Lawn and garden shop	P	P	P	P		P		P						
Library, museum, art gallery and other such exhibitions		P	P			P	P	P	P			P	P	
Lumberyard ¹				P		SE				P	P			
Machine shop											P			
Medical marijuana dispensaries	C					P								
Marijuana farm														
Marijuana treatment center						SE								

Medical waste transfer station										SE			
Mobile collection center ¹		P	P	P		SE				P	P		
Motor freight terminal or moving and storage company										P			
Mobile food unit			C	C		C	C	C		C	C		
Nature trail													P
Nightclub		SE	SE			SE							
Nonprofit neighborhood social and recreational facilities												P	P
Nursing homes												P	
Offices (business, professional or showroom)	P	P	P	P	P	P	P	P		P	P		
Offices (medical, dental, psychiatric or chiropractic)	P	P	P		P	P	P	P					
Outdoor event	C	C	C	C		C	C	C				C	C

Package delivery service			P	P		P	P	P	P	P	P			
Package liquor, beer or wine		SE	SE	SE		SE								
Paint, sealant, coating or adhesive manufacturing											P			
Paper and cardboard products manufacturing (from premanufactured paper or cardboard)										P	P			
Parks, public and private						P	P	P	P					P
Parts store, vehicles or boats		P	P	P		P		P		P	P			
Pawnshop ^{1, 2} (See Footnotes 1 and 2 below for applicability.)			SE	SE										
Penal institutions													SE	

Personal service shops (other than those specified herein)			P	P		SE	SE	SE						
Pest control service			P	P		P	P	P		P	P			
Petroleum products and bottled gas bulk storage											SE			
Pharmacy	P	P	P			P								
Picnic area						P	P	P	P					P
Plastic and vinyl product manufacturing (from premanufactured plastic or vinyl)										P	P			
Places of worship	P	P	P			SE	SE	SE				P	P	
Plant or produce sales		P	P	P		P	P	P						
Playground (children's)														P
Police protection facilities												P	P	

Post office	P	P	P		P	P	P	P	P					
Photocopy or small job printing shop	P	P	P	P	P	P	P	P						
Printing and engraving, bookbinding						P	P	P		P	P			
Recording or broadcasting studio (music, radio, television, film)		P	P	P	P	P	P	P		P	P			
Rehabilitation centers													P	
Repair shop, household and personal items	P	P	P	P		P	P	P		P	P			
Residential (townhouses, garden apartments and mid-rise units)						P	P	P	P					
Residential, single-family ³						P ³	P ³	P ³	P ³					
Restaurant, fast-food		P	P	P		P		P		SE	SE			

Restaurant, full-service	P	P	P	P		P	P	P						P
Restaurant, take-out	P	P	P	P		P	P	P		SE	SE			P
Retail store	P	P	P	P										
Retail store up to 50,000 square feet						P	P	P						
School, commercial (art, music, theatrical, business, technical)		P	P			SE		SE						
School, public, private or parochial												P	P	
School, trade or vocational			P	P		SE				P	P			
Secondhand dealers ²		SE	SE	SE		SE								
Shopping center		P	P			P	P	P						
Sign manufacturing and painting										P	P			

Skateboard facility		P	P			SE								
Skating rink		P	P			SE								
Soft drink bottling				P		SE								
Storage yards (operable vehicles, usable equipment or other items)										P				
Supermarket	P	P	P											
Supermarket up to 50,000 square feet						P	A	P						
Swap meet or outdoor flea market			SE	SE		SE								
Swimming pool														P
Swimming pool supplies and chemicals		SE	SE	SE		SE		SE		SE	SE			
Target range				SE		SE								
Tattoo shop			SE	SE		SE								
Tennis court														P

Theater		P	P			P	A							
Tool rental (small tools and equipment)		P	P	P		P		P		P	P			
Transportation facilities (airport, heliport, shipping port, etc.)										P	P			
Trash transfer station											P		P	
Upholstery shop		P	P	P		P		P		P	P			
Union hall			P	P		P		P		P	P			
Used vehicle sales			SE	SE						SE	SE			
Vehicle sales, rental or leasing (autos, trucks, recreational)			SE	SE		SE				SE	SE			
Veterinary clinic and hospital		SE	SE	SE		SE		SE		SE	SE			
Video store	P	P	P			P								
Warehouse, self-storage			P	P		SE				P	P			
Warehouse, distribution						SE				P	P			

Water area (lake, pond)														P
Water sports														P
Water and wastewater treatment plans and pumping stations													P	
Welding and sheet metal shops, machine shops											P			
Wholesale stores and warehouses										P	P			
Wireless communication facilities	P	P	P	P	P	P	P	P	P	P	P	P	P	P

¹ These uses shall not have street frontage onto State Road 7, Hallandale Beach Boulevard or Pembroke Road.

² Not permitted within 1,000 feet of any other pawnshop or secondhand dealers.

³ Single-family housing units only allowed on plots within the TOC District that were zoned R-18, R-1C, R-2, or RSO prior to adoption of Ordinance 2019-04.

(Ord. No. 2007-02, Exh. A, § 106, 2-21-2007; Ord. No. 2007-05, § 3, 5-1-2007; Ord. No. 2007-11, § 7, 8-1-2007; Ord. No. 2009-05, § 4, 6-17-2009; Ord. No. 2012-06, § 3, 6-20-2012; Ord. No. 2018-10, § 3, 9-19-2018; Ord. No. 2019-04, § 2(Exh. A), 8-21-2019; Ord. No. 2019-10, § 3, 1-15-20)

DIVISION 5. - TRANSIT-ORIENTED CORRIDOR

Subdivision I. - In General

Sec. 42-288. - Scope.

The provisions of this division apply to the Transit Oriented Corridor (TOC).

Sec. 42-289. - Definitions.

The following words, terms and phrases, when used in this division, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Arcade means a series of arches supported on columns along the primary building facades, creating cover for pedestrians.

Awning means a roof-like cover of canvas extending over a window, doorway or deck, providing protection from the elements.

Balcony means an elevated platform projecting from the wall of a building and enclosed by a railing or parapet.

Colonnade means the same as arcade, but not necessarily having arches.

Entry means the portion of a building that provides public access, preferably with notable form for easy identification.

Facade means the front of a building or any of its sides facing a public way or space, especially one distinguished by its architectural treatment.

Flat roof means a slightly pitched roof that is hidden by parapets on the front and sides, and possibly the on back of the building.

Gable roof means a roof sloping downward in two parts, so as to form a gable at both ends.

Hip roof means a roof having sloping ends and sides at an inclined projecting angle.

Parapet means a low protective wall that rises above the edge of a flat or gable roof, often unimportant part of the facade.

Primary frontage means the main facade of a building which faces State Road 7, Hallandale Beach Boulevard, or Pembroke Road. If the development does not abut one of these rights-of-way, the roadway with the largest width shall be the primary frontage. The city administrator or designee will determine the primary frontage on rights-of-way with the same width.

Redevelop means to demolish existing buildings or to increase overall floor area existing on a property; or both, irrespective of whether a change occurs in land use.

Residential, single-family within the TOC means a plot of land with one housing unit either constructed or to be constructed on the plot. Within the TOC district, this use shall only be allowed on plots that were zoned R-18, R-1C, R-2, or RSO prior to the adoption of Ordinance 2019-04.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

Sec. 42-290. - Intent.

The Transit-Oriented Corridor District is established to include a rich mix of residential, retail, restaurant, service, and small employment uses within a pedestrian village format. The purpose of this district is to promote redevelopment along State Road 7 (SR7), Hallandale Beach Boulevard and Pembroke Road, along with previously-zoned residential, commercial and industrial districts adjacent to these corridors with a quality mixed-use environment. Land consuming uses, such as large lot housing and large retail outlets are excluded from this district. The TOC district is gridded on developable and redevelopment parcels generally found within one-quarter of mile of the SR7 Hallandale Beach Boulevard and Pembroke Road. Nothing in these regulations shall preclude application for expansion of the TOC beyond those areas, when site-specific development plans demonstrate efficient resident access. The district is intended to serve a residential population of sufficient size to constitute an origin and destination for purposes of rapid transit service along SR7, with enhanced transit service along Hallandale Beach Boulevard, and Pembroke Road.

The TOC contains four different districts ranging from TOC-1 which provides for uses consistent with adjacent residential districts to TOC which allows for more uses and larger structures primarily along SR7. Specific information for each TOC District is identified below:

TOC: This district consists of the TOC areas which were adopted into the City's Land Development Code in 2007 and includes additional parcels in proximity to SR7. This district has the largest number of permitted uses and allows for mixed-use developments up to 65 feet in height.

TOC - 3: This district is located along Hallandale Beach Boulevard and Pembroke Road at the main entry points into the city's neighborhoods. This district has proposed uses that are suited to more pedestrian-related uses utilized by the surrounding community. The maximum height of structures in this district is 35 feet.

TOC - 2: This district includes properties along Hallandale Beach Boulevard and Pembroke Road and includes most of the uses allowed in TOC-3, as well as many of the uses in the TOC district. The TOC-2 district has a maximum height of 35 feet.

TOC - 1: This district is located between the other TOC districts (TOC, TOC-3 and TOC-2) and the city's residential districts. The type of uses permitted in this district are based on compatibility with the existing community. The TOC-1 district has a maximum height of 25 feet.

(Ord. No. 2007-05, Exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

Sec. 42-291. - Modifications.

All new construction shall conform to the design provisions of this division. The city administrator or designee may approve minor variations to the provisions of this division, provided similar materials, configurations, and/or techniques are used that fulfill the intent of this division. Major variation to the requirements due to unique building use requirements may be approved by the city commission, provided the overall pedestrian nature of the street is maintained in accordance with all other standards. All variations shall be noted on the final approved plan.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007)

Sec. 42-292. - Design guideline principles.

- (a) The transit-oriented corridor along SR7, Hallandale Beach Boulevard and Pembroke Road shall include amenities to serve the residents, visitors and employees within the development that encourage a pedestrian-friendly, transit-oriented environment, such as benches, street furniture, shade structures and landscaping, light fixtures, trash receptacles and bicycle parking. This may also include other amenities within public places, such as plazas that include fountains, sculptures and green space.
- (b) Streets will include pedestrian and transit amenities such as street trees, bus shelters and information kiosks to serve the residents and employees within. Properties adjacent to transit amenities and, where appropriate, throughout the corridor, shall provide these features.
- (c) The scale, organization and style of architectural components will contribute to a sense of place for this urban village. At the street, buildings will be proportioned for pedestrian orientation. Buildings will front the street with minimal setbacks, creating continuity of streetscape interest through continuous storefronts and direct visual connections to building entries. Architecture will also be used to create attractive landmarks and gateways to the development.
- (d) Parking will primarily be in structures or located in the rear of the properties, with additional curbside parking on the side streets, where feasible, with the approval of the city administrator or designee. Parking garages will be well integrated into the streetscape. Bus shelters and limited surface parking will encourage the transit environment and support transit usage. Furthermore, the buildings, rather than the parking, will front the street. This will also encourage residents, employees and visitors to utilize transit.
- (e) Developments directly abutting existing residential districts and uses require a landscape buffer to provide a visual screen between the existing residential community. This requirement can only be waived by the city manager or designee if the primary frontage faces residential and the design criteria of the proposed development is consistent with requirements set forth in this division.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

Sec. 42-293. - Prohibited uses and structures.

Any use or structure not specifically, provisionally or by reasonable implication permitted in this chapter is prohibited.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007)

Secs. 42-294—42-319. - Reserved.

Subdivision II. - Design Standards

Sec. 42-320. - Purpose.

- (a) In order to create a built environment that is compact and within a pedestrian scale, the standards in this subdivision are provided. Blocks of buildings are encouraged with the mass located towards the street and the sides and rear spaces for courtyards and public spaces to increase the amount of open space opportunities throughout the corridor. Setbacks are minimal in order to promote a compact urban setting. The setbacks are landscape buffers, which include shade trees for the transit amenities.

Minimum Lot Area	Setbacks *			Setbacks Adjacent to Residential **
	Minimum Front	Minimum Rear	Minimum Side	Minimum
None	10 feet	10 feet	10 feet	25 feet

See section 42-321, public plazas, courtyards and open spaces, for setback reduction bonuses.

* If consisting a single-family unit on a plot, designated setbacks shall follow the requirements set forth in Sec. 42-199 for the R-2 zoning district.

** For any front, rear or side yard setback for non-residential, mixed-use or multi-family residential adjacent to residential uses or a residential zoning district, development shall provide a 25-foot setback from the property line. A 25-foot landscape buffer is required if rear or side setback faces residential uses.

- (b) Building heights are a critical factor in creating a livable, walkable community. The heights of buildings affect how pedestrians will relate to an area and contribute to its character. Along with height, the building frontage provides interest to a corridor. The buildings shall be placed at the front of the property in order to create a visual edge. This will encourage either structured parking internally or parking in the rear.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

Sec. 42-321. - Public plazas, courtyards and open spaces.

- (a) Public plazas, courtyards or open spaces may be provided in lieu of setbacks, which may be reduced to

zero feet along the rear and side yards, if not adjacent to a residentially-zoned district, subject to the approval of the city administrator or designee and shall meet the criteria listed in subsection (b) of this section. The landscaped courtyards, open spaces or plazas shall provide equal square footage to the setbacks.

- (b) In addition to setback reductions, public plazas, courtyards or open spaces, may be used to meet pervious area requirements, if a permeable surface, such as pavers, is utilized in the construction. Pavers or other permeable surfaces used in the public plazas, courtyards or open spaces may be used towards a maximum of ten percent of the pervious area requirement. To qualify for this benefit, the following criteria must be met:
- (1) The minimum size of a public plaza, courtyard or open space area shall be at least 1,000 square feet.
 - (2) All public plazas, courtyards or open space areas shall be accessible directly from an adjoining public sidewalk. Driveways or vehicular accessways may not be counted as providing access.
 - (3) All public plazas, courtyards or open space areas shall be accessible to the public at all times.
 - (4) All public plazas, courtyards or open space areas shall provide a minimum of one linear foot of seating for each 30 square feet of public plaza. Moveable seating shall not exceed 50 percent of the total required. Steps shall not count towards the seating requirements.
 - (5) All public plazas, courtyards or open space areas shall provide a minimum of one tree per 300 square feet (or part thereof) of the area.
 - (6) All public plazas shall provide bicycle parking facilities.
- (c) In addition to the mandatory amenities required in subsection (b) of this section, all public plazas shall provide at least one of the following amenities:
- (1) Artwork, such as sculpture. Artwork shall be subject to approval by the city commission.
 - (2) Fountains and pools. An ornamental fountain or reflecting pool occupying an area not less than 300 square feet.
 - (3) Play equipment.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

Sec. 42-322. - Lighting.

- (a) Lighting shall meet and not exceed the recommended levels set by the Illuminating Engineering Society (IES). No light shall be emitted above the horizontal (90 degrees). Flags, statues and other items requiring uplighting shall employ a narrow cone of light to minimize spill and glare. All sign and building lighting shall be ornamental in nature and subject to the approval of the city administrator or designee.
- (b) All lighting throughout the district, including street, sign, pedestrian, parking lot and building lighting shall be of a consistent, decorative, ornamental style, pursuant to the approval of the city administrator or designee.
- (c) Site lighting shall be required to be a minimum of 15 feet from shade trees and 7.5 feet from small trees and palms.

(Ord. No. 2007-05, Exh. A, § 3, 5-1-2007)

Sec. 42-323. - Transit amenities.

Properties adjacent to transit stops shall provide features for these amenities including shelters or shade structures, benches and receptacles. These amenities shall be pursuant to the approval of the city administrator or designee and Broward County Transit.

(Ord. No. 2007-05, Exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

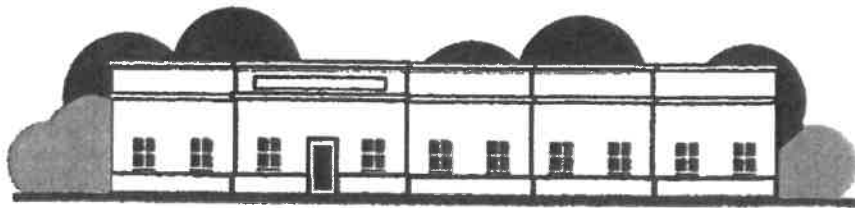
Sec. 42-324. - Building character.

(a) The required building characteristics are as follows:

District	Building Height ^{1, 2}	Encroachments ³	Frontage ⁴
TOC	25 feet minimum—45 feet maximum For buildings with ground floor retail with office and/or residential above, the maximum height may be increased to 65 feet	Balconies, major and minor focal elements, cupolas, arcades, awnings, and other similar features may encroach into the setback, pursuant to approval of the city administrator or designee	Buildings shall occupy a minimum of 70 percent of the frontage of the lot
TOC-3	25 feet minimum—35 feet maximum	Balconies, major and minor focal elements, cupolas, arcades, awnings, and other similar features may encroach into the setback, pursuant to approval of the city administrator or designee	Buildings shall occupy a minimum of 70 percent of the frontage of the lot
TOC-2	25 feet minimum—35 feet maximum	Balconies, major and minor focal elements, cupolas, arcades, awnings, and other similar features may encroach into the setback, pursuant to approval of the city administrator or designee	Buildings shall occupy a minimum of 60 percent of the frontage of the lot
TOC-1	25 feet maximum	Balconies, major and minor focal elements, cupolas, arcades, awnings, and other similar features may encroach into the setback, pursuant to approval of the city administrator or designee	Buildings shall occupy a minimum of 60 percent of the frontage of the lot

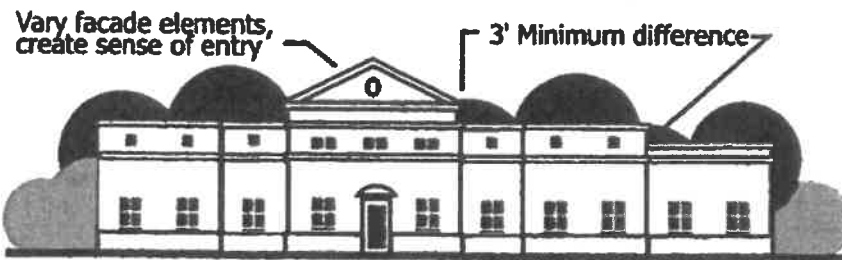
- ¹ One story buildings shall be designed so that the exterior of the building facade provides horizontal relief of three feet in elevation after 10 vertical feet (excluding single family, duplex or triplex residential developments)
- ² Maximum height of 25 feet for the first 25 feet of structure adjacent to residentially-zoned district or existing-single family use.
- ³ No encroachments in setback adjacent to residentially-zoned district or existing-single family use.
- ⁴ Primary Frontage cannot face residentially-zoned district unless approved by city manager or designee.

One-Story Building



Discouraged

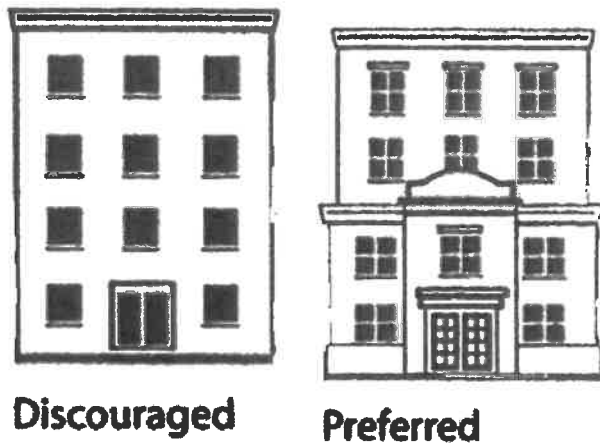
One-Story Building with Relief in Elevation



Preferred

- (b) Building massing, architectural details, entry details or changes in materials shall be used to highlight the location of building entries. A single, dominant building mass shall be avoided. Stepping the building will reduce the apparent scale of the building, providing variety and limiting the massing.

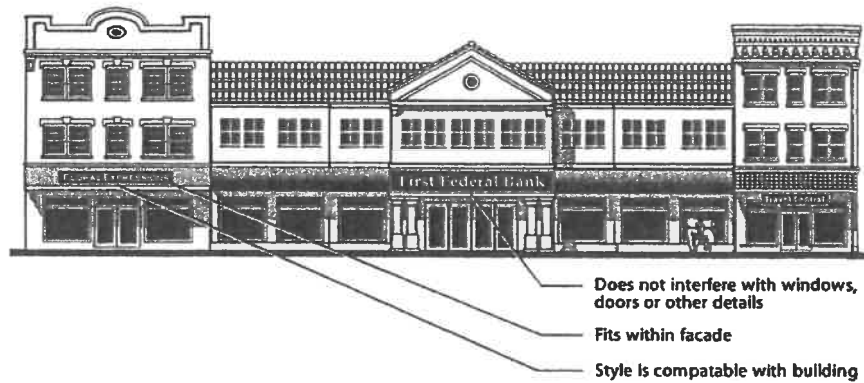
Multistory Buildings



(Ord. No. 2007-05, exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

Sec. 42-325. - Signage.

- (a) Signage for individual retail storefronts should be oriented towards the pedestrian. Small scale hanging and projecting signs that complement the building design are encouraged. These signs should not be larger than three square feet in area with a maximum letter height of six inches. The bottom of such signs shall have a minimum clearance of seven feet six inches above the sidewalk. Illuminated signs facing residentially-zoned property are discouraged.
- (b) Signs should be constructed of high quality and durable materials. Plastic panels are prohibited.
- (c) Painted signs shall not be permitted.
- (d) Awning signs should be limited to the valance drop. Lettering should not exceed eight inches in height nor exceed three square feet in area.
- (e) Rooftop signs are not permitted. Signs should not extend above the parapet and should have sufficient clearance from eave/overhang lines.
- (f) Multiple storefronts within a larger building should have signage similar in scale, proportion and placement and should reflect the overall design of the building.
- (g) Window signage should be limited to ten percent of the window or storefront area.
- (h) All other signage types shall comply with regulations outlined in this chapter.



(Ord. No. 2007-05, exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

Sec. 42-326. - Covered walkways.

Buildings along SR7 Hallandale Beach Boulevard and Pembroke Road are encouraged to provide covered walkways, arcades, awnings or colonnades along the side of the building facing the corridor. A walkway shall not impede safe pedestrian movement along the sidewalk and shall be constructed within the property line of the owner, not within the property of the state department of transportation. Covered walkways, arcades, awnings or colonnades shall conform to the following:

- (1) All covered walkways shall provide a width of six feet.
- (2) All covered walkways shall be lighted to illumination levels equal to those on surrounding sidewalks. Downlighting shall be utilized. Backlighting is prohibited.
- (3) Awnings shall be fabric or metal. Plastic awnings shall be prohibited.
- (4) All covered walkways, arcades, awnings or colonnades shall be consistent on multiple storefronts within a larger building.
- (5) All covered walkways and/or awnings shall be located outside or not extend into the landscape buffers.



(Ord. No. 2007-05, exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

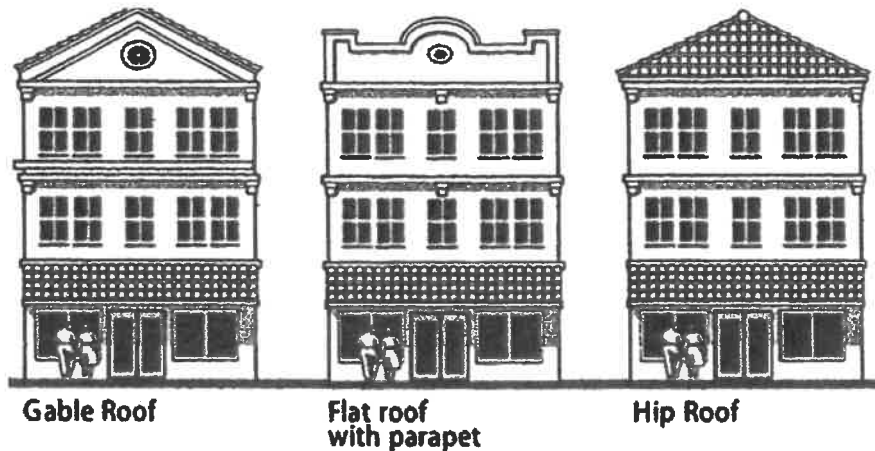
Sec. 42-327. - Service areas and mechanical equipment.

- (a) Service bays, mechanical equipment and delivery areas, to the greatest extent possible, shall be fully enclosed, screened or located within the interior of the building. These areas shall not be visible from streets or properties with adjacent residential or hotel uses.
- (b) Central air conditioning is required.
- (c) It is preferred that all exterior equipment be placed on the roof and shall be architecturally screened. If not architecturally screened, then landscape screening to the height of the element shall be required.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007)

Sec. 42-328. - Roofs.

Roofs shall be gable, hip and flat with a parapet or a combination of these types.



(Ord. No. 2007-05, exh. A, § 3, 5-1-2007)

Sec. 42-329. - Exterior materials and color palette.

- (1) Painting of the exterior walls of new buildings or any painting involving the exterior walls of an existing roofed structure shall require a paint registration application.
- (2) All paint colors used for exterior walls of a new or an existing building within the transit oriented corridor (TOC) shall be from the city's adopted color palette. In addition, property owners performing rehabilitation to 50 percent or more of any building or structure within the TOC shall be required to repaint the exterior of the building or structure using the adopted color palette for the TOC.
- (3) At least two colors from the approved transit oriented corridor (TOC) color palette must appear on each frontage. Similar colors may be approved by the city administrator or designee.
- (4) Stucco shall be the primary approved wall surface material.
- (5) Accent materials and colors may be used. The use of tile, wood, brick and finished concrete shall be used

as design accents only.

- (6) Registration applications. The registration application shall be submitted to the city administrator or designee prior to commencement. In addition to other requirements that may be imposed by the city administrator, the application shall include the following:
- (a) The name of the owner;
 - (b) The address of the property;
 - (c) Paint brand code and color name;
 - (d) Contractor, if applicable;
 - (e) Photographs of the property; and
 - (f) An administrative fee approved by the city commission.
- (7) The applicant may appeal the decision of the city administrator or his designee. An appeal shall be heard at the next available city commission meeting.

(Ord. No. 2012-02, § 3, 3-21-2012)

Secs. 42-330—42-359. - Reserved.

Subdivision III. - Development Regulations

Sec. 42-360. - Maximum square footage, units or rooms.

The following are maximum limits allowed for items enumerated:

- (1) Office/flex space: 575,000 square feet.
- (2) Commercial: 1,247,800 square feet.
- (3) Hotel rooms: 200.
- (4) Residential 2,323 units consisting of:
 - a. Mid-rise units: 955.
 - b. Garden apartments: 570.
 - c. Townhouses: 303.
 - d. Single-family units: 495.
- (5) Institutional: 34,800 square feet.
- (6) Industrial: 384,781 square feet. (Only allowed in areas zoned M-1, M-2 or C-1 prior to adoption of Ordinance 2019-04.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

Sec. 42-361. - Maximum density.

The maximum density shall be as follows:

(1) Residential: 50 units per acre in TOC, 25 units per acre in TOC-3 and TOC-2, 16 units per acre in TOC-1.

(2) Hotel: 100 rooms per acre.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

Sec. 42-362. - Minimum unit size.

The minimum residential unit size shall be 500 square feet with a unit average of 750 square feet.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007)

Sec. 42-363. - Parking requirements.

(a) Parking requirements shall be as follows:

(1) *Residential*.

- a. Minimum: One parking space per unit, for multi-family units; For single-family, duplex, triplex, or townhome development minimum parking is two spaces per unit.
- b. Maximum: 1.5 parking spaces per unit, plus one guest space per 15 units for multi-family units.

(2) *Hotel*.

- a. Minimum: One space per room up to ten rooms; if more than ten rooms, then 0.25 spaces per room;
- b. Maximum:
 1. Up to 15 rooms, then one space per room;
 2. If more than 15 rooms and less than or equal to 40 rooms, then 0.50 spaces per room;
 3. If more than 40 rooms, then 0.25 spaces per room.

(3) *Nonresidential*. Three parking spaces per 1,000 square feet and no less than one parking space per 500 square feet.

(b) Further reduction in the number of required parking spaces may be permitted by the city after a finding that the development will be adequately served by users of public transportation.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

Sec. 42-364. - Parking facilities.

- (a) Where feasible, ingress and egress shall be from side streets or alleys.
- (b) Surface parking lots must be to the rear of buildings. Surface lots are prohibited in front of businesses.
- (c) Parking structures are strongly encouraged and shall have well-designed pedestrian walkways and connections to the sidewalk system.
- (d) If parking structure is located on the ground floor and has street frontage, ground level retail is required. Parking structures shall be designed to be compatible with adjacent buildings and architecture.
- (e) Shared parking is strongly encouraged. Cross access easements or similar mechanisms shall be used to

provide joint access between the parking areas of adjacent properties.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007)

Sec. 42-365. - Landscape standards.

- (a) Landscaping of surface parking lots, vehicular use areas, landscape buffers and open areas shall be required according to the standards set forth in this subsection. Any items not mentioned in the following standards shall comply with other provisions in this chapter:
 - (1) Ten-foot wide perimeter landscape area.
 - (2) Four-foot high ornamental fencing may be provided around parking lots and vehicular use areas; six feet high ornamental fencing may be provided around all secured areas. Fencing shall be located ten feet from the sidewalk and against the adjacent side property lines.
 - (3) Chainlink fencing is prohibited.
- (b) Parking lots shall be developed as "parking gardens" with shade trees planted in islands and circulation flanked by planted areas according to the following standards:
 - (1) Perimeter screening area shall not be applicable toward internal planting area requirements.
 - (2) 50 percent of the paved surface of the parking lot, excluding pervious areas, shall be shaded within five years.
 - (3) Use of porous or permeable paving materials for overflow parking and other low-use areas is encouraged, but cannot be utilized as pervious area.
- (c) Landscape requirements for parking structures without liner use are as follows:
 - (1) Trees, shrubs and ground covers shall be planted in all required setback areas allowable.
 - (2) Uncovered parking on the top level of a parking structure shall require rooftop planters around the entire perimeter of the top floor.
- (d) All landscape and irrigation system designs shall be consistent with the principles of the Florida Friendly Lawns and Landscapes established by the Florida Department of Environmental Protection. The solar orientation of a property and its relationship to other properties should be considered to minimize undesirable microclimatic exposure, principally heat islands.
- (e) Developments shall provide efficient irrigation systems to include:
 - (1) Irrigation systems shall be designed and constructed in accordance with the Florida Building Code and operated and maintained according to the Florida Green Industries Best Management Practices for Water Resources in Florida or the Florida Yards and Neighborhoods Program.
 - (2) The irrigation system shall be designed to correlate to the organization of plants into zones as described under the plant selection in subsection (b) of this section.
 - (3) Yard waste management, fertilizer management, pesticide management, landscape and irrigation maintenance shall be in accordance with the recommendations in the Florida Green Industries Best Management Practices for Water Resources in Florida.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007)

Sec. 42-366. - Abutting residential district.

Any portion of the zoning district that abuts a residential zoning district, the following condition shall apply:

- (1) Any portion of a structure within 25 feet of the residential zoning district shall be limited to 25 feet in height.
- (2) A ten-foot landscape buffer shall be constructed along the common boundary and shall be increased for 25 feet along a right-of-way or adjacent to any residentially-zoned district or existing single family use.

(Ord. No. 2007-05, exh. A, § 3, 5-1-2007; Ord. No. 2019-04, § 3(Exh. B), 8-21-2019)

Secs. 42-367—42-390. - Reserved.