

1832 AVONDALE AVE, SUITE 4  
SACRAMENTO, CA 95825

FOR SALE  
\$250,000



**Property Highlights:**

- 1,095 s.f. office condominium
- Recently renovated medical office
- Located within a business park
- Features five rooms, two with plumbing
- Business Professional zoning
- Garden Office bldg with landscaped, skylit courtyard
- Centrally located off Arden Way, between Fulton & Watt
- Vicinity of Restaurants, shopping and Arden Fair Mall
- Near public transportation
- Easy freeway access from Highways 50 and Bus.80

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The information contained herein including square footage has been obtained from sources deemed to be reliable. RE/MAX Gold has not verified and makes no guarantees, warranties or representations regarding the accuracy of the information. You need to conduct a careful, independent evaluation of the property to establish its suitability for your purposes.



# EXECUTIVE SUMMARY

1832 AVONDALE AVE, STE 4/D  
SACRAMENTO, CA 95825

RE/MAX Gold is pleased to present the opportunity to acquire a fee simple interest in the property located at 1832 Avondale Avenue, Suite 4/D, Sacramento, CA 95825. The property is located within a four-building business park, with each building divided into medical/dental or general professional use condominiums. Each of the buildings sits on its own separate parcel and is managed independently. The property is centrally located off Arden Way, a major regional arterial road, between two other major arteries, Watt and Fulton Avenues. With easy access to both the major freeways in the area, I-80 and highway 50, this is an outstanding opportunity for a medical or other professional to acquire a property for their own use at a location that is central to the entire metropolitan area.

1832 Avondale features four office condominiums on either side of a skylit and landscaped breezeway. Located on one side of the breezeway, the subject property is a 1,095 sf office condominium that is built out as a medical office. It is a recently renovated office condominium featuring five examination rooms/private offices (two of which have sinks), a lab area, ADA restroom, front office and waiting area.

1832 Avondale Avenue, Sacramento, CA is zoned Business Professional, which allows a variety of uses such as Office, medical and others. This is an outstanding opportunity for a medical or general professional to own a property for their business, instead of leasing.

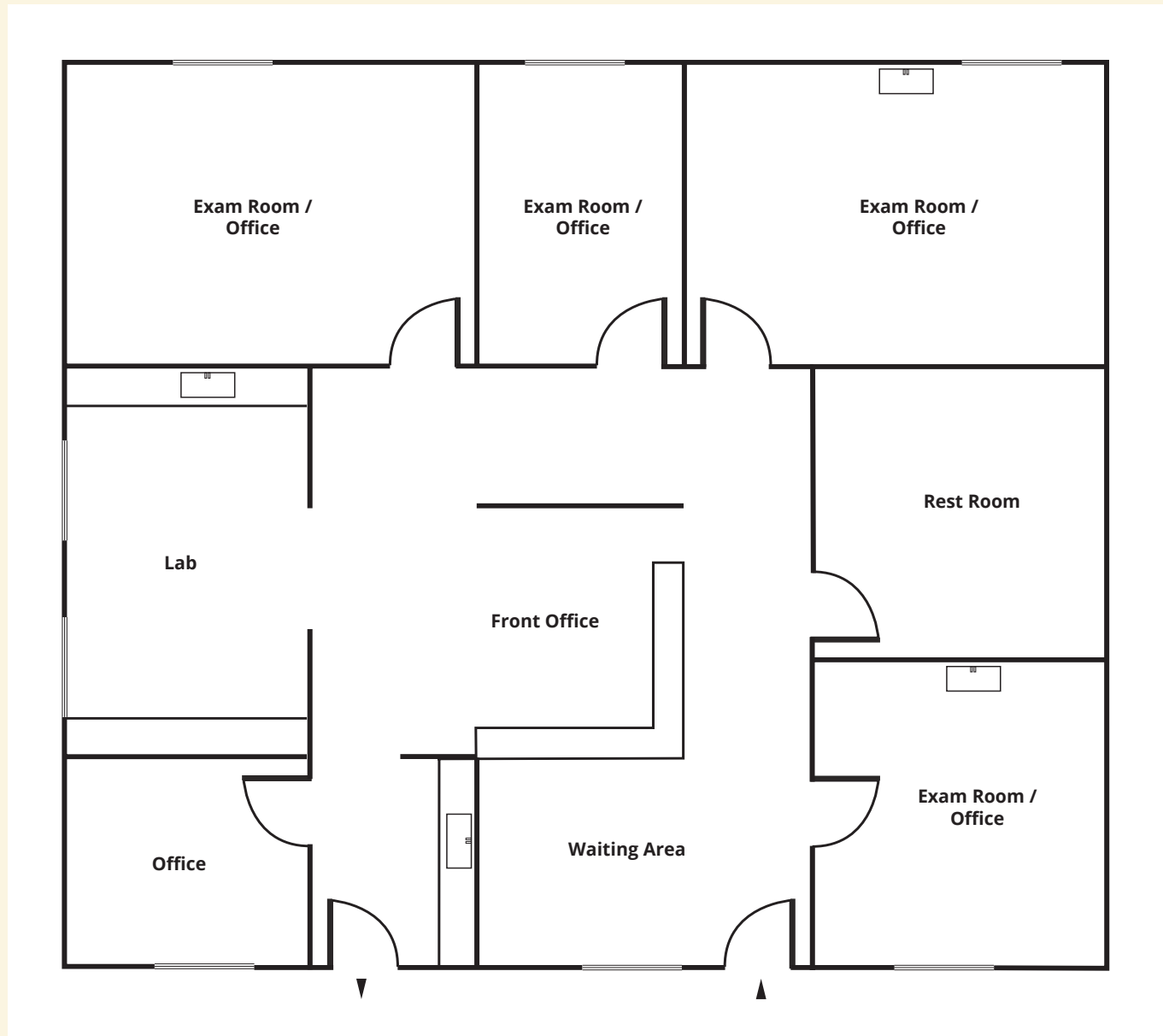
# INDOOR PICTURES

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# FLOOR PLAN

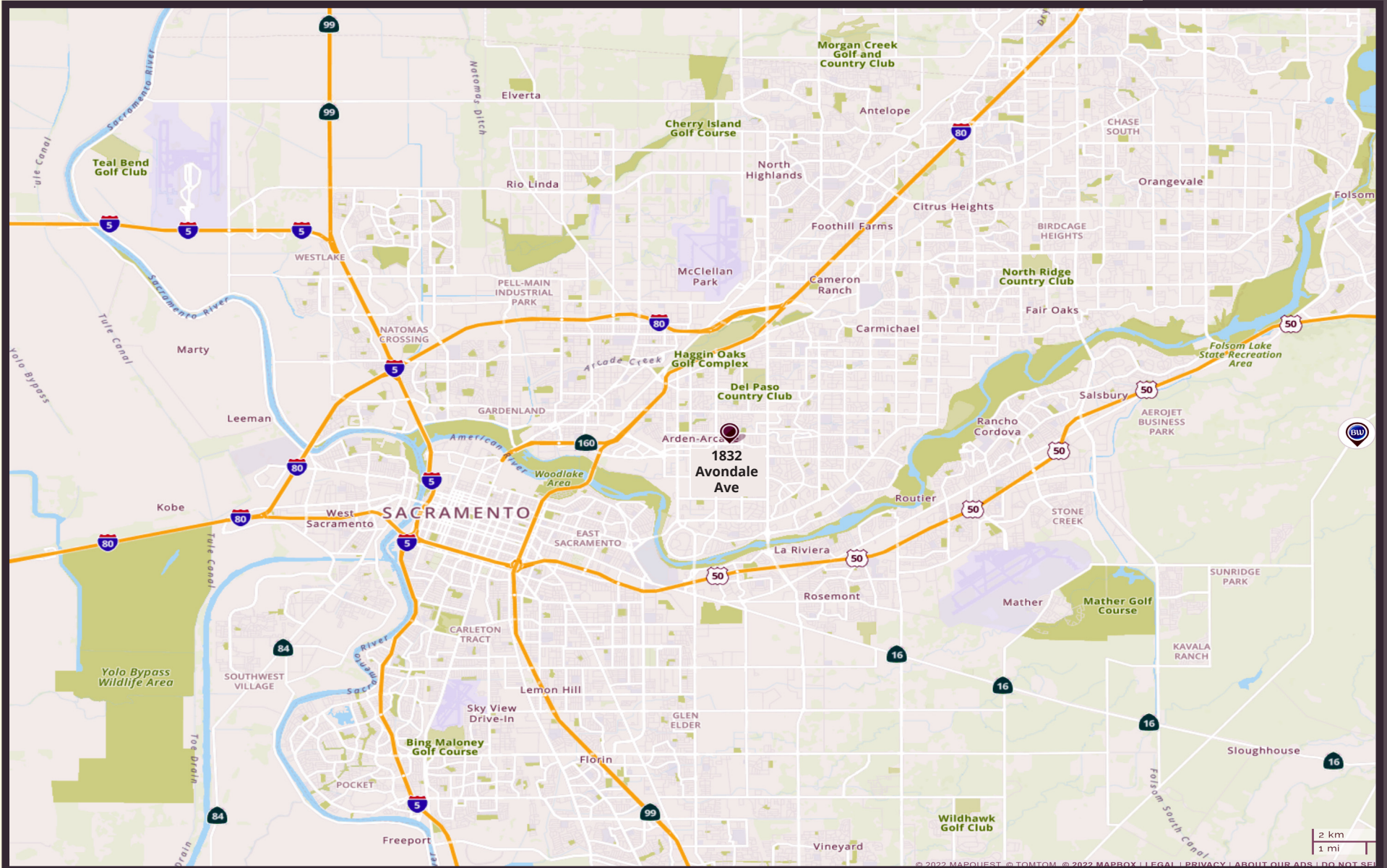
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Thumbnail Sketch for informational purposes only, not to scale

# LOCATION MAP

1832 AVONDALE AVE, STE 4/D  
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# VICINITY MAP

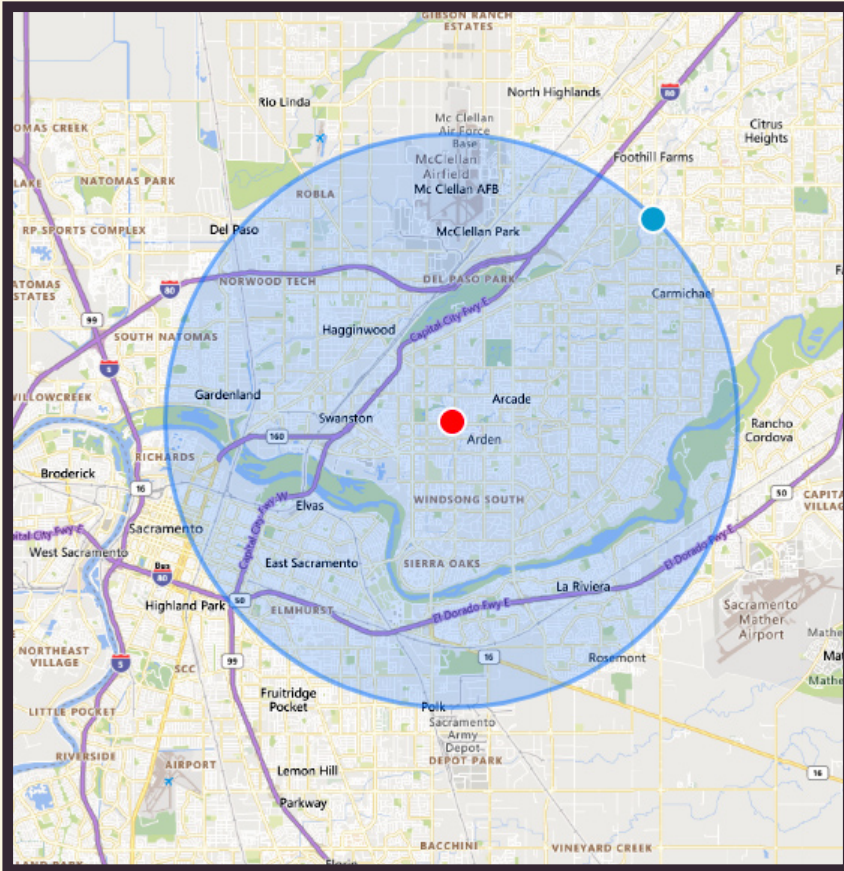
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# DEMOGRAPHICS

1832 AVONDALE AVE, STE 4/D  
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## Key Facts 5-mile Radius



**375,100**  
Total Population (2024)



**28,255**  
# Businesses



**199,458**  
Daytime Employees



**\$94,797**  
Average Household Income



**68,167**  
Owner Occupied Households



**\$458,718**  
Median Home value

Data obtained from CoStar