

BUILDING REMODEL OFFICE USER

1705 SE COMMERCIAL STREET SALEM, OREGON



275 COURT ST. NE
SALEM, OR 97301
503.390.6500
www.studio3architecture.com

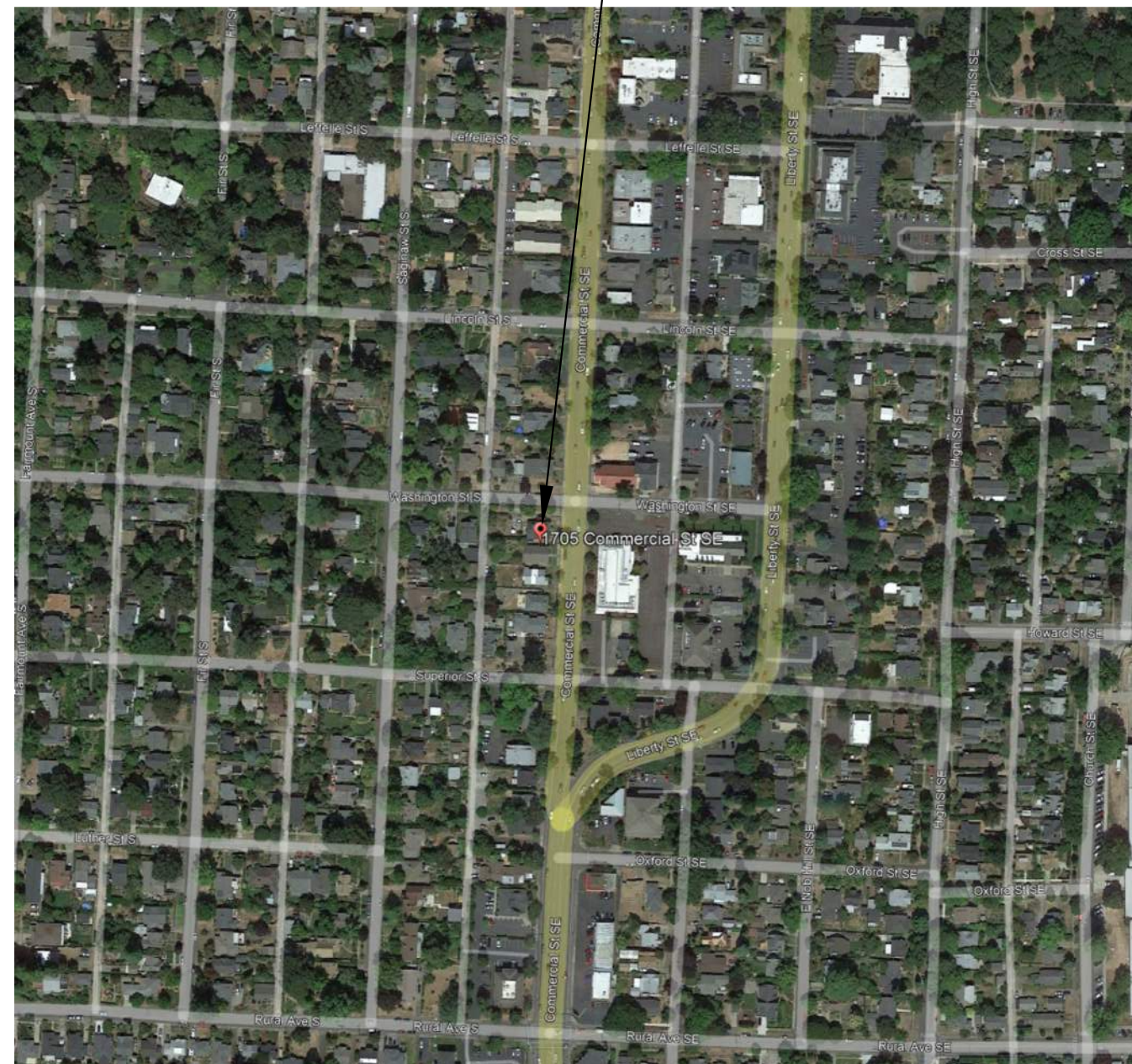


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PROJECT # 2020-048
DATE: 19 MAY 2022
REVISIONS

VICINITY GRAPHIC MAP:

PROJECT LOCATION



DRAWING LIST:

A0.0	TITLE SHEET
A0.1	GENERAL NOTES
A1.0	EXISTING SITE PLAN
A1.1	PROPOSED SITE PLAN
A2.0	BASEMENT AND FIRST FLOOR PLAN
A3.0	SECOND FLOOR PLAN
A4.0	INTERIOR ELEVATIONS
A5.0	OPENINGS SCHEDULE AND DETAILS

PERMITS BY OTHERS:

- MECHANICAL - MODIFY
- FIRE SPRINKLER - MODIFY
- FIRE ALARM - MODIFY
- ELECTRICAL - MODIFY
- PLUMBING - MODIFY

DEFERRED SUBMITTALS:

NONE

CODE REVIEW:

GOVERNING CODES:

- Structural - Life Safety: 2019 Oregon Structural Specialty Code (OSSC)
- Mechanical: 2019 Oregon Mechanical Specialty Code
- Plumbing: 2021 Oregon Plumbing Specialty Code
- Electrical: 2021 Oregon Electrical Specialty Code
- Energy: 2021 Oregon Energy Efficiency Specialty Code
- Fire Sprinklers: NFPA 13 - Standard for the Installation of Sprinkler Systems
- Fire Alarm: NFPA 72 - National Fire Alarm Code
- Fire Code: 2019 Oregon Fire Code
- Gas Code: 2019 International Fuel Gas Code

USE AND OCCUPANCY CLASSIFICATION:

- Previous use R3 Care Facility / B Office
- Proposed Use R2 Apartment and B Office

CONSTRUCTION TYPE:

- TYPE V-B WITH FIRE SPRINKLERS

OCCUPANCY SEPARATIONS: per Section 508.4:

- Between R2 and B is one hour.

ALLOWABLE AREA: R1 @ S13

Building Area = 2,919 s.f. < 7,000 s.f. Permitted

ACTUAL AREAS:

Basement Apartment Unit = 963 sf / 200 = 5 Occup
First Floor Office = 1,103 sf / 150 = 7 Occup
Second Floor Office = 688 sf / 150 = 5 Occup

TOTAL OCCUPANT LOAD: 17 Occupants

FIRE PROTECTION SYSTEMS:

- Automatic Sprinkler System required and existing, verify condition.
- Portable Fire Extinguishers required per OSSC 2019
- Fire Alarm System and Smoke Alarms required and existing, verify condition.

ACCESSIBILITY:

Allocation for accessibility shall be 25%, assume \$200,000
Add accessible parking stall and provide direct access from parking \$35,000
Modify door widths to 36" \$25,000
Modify bathroom into accessible restroom \$30,000

PROJECT TEAM:

OWNER:

WALTER SCHULZ
HEIDI SCHULZ
1705 COMMERCIAL STREET SE
SALEM, OR 97301

ARCHITECT:

STUDIO 3 ARCHITECTURE, Inc.
Gene Bolante, AIA
275 Court St. NE Salem, OR 97301
503-390-6500
gene@studio3architecture.com

GENERAL CONTRACTOR:

REMODEL 1705 COMMERCIAL STREET SE SALEM, OREGON

SHEET

A0.0

GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 OREGON STRUCTURAL SPECIALTY CODE. CONSTRUCTION SHALL COMPLY WITH ANY TITLES/RULES/LAWS THE LOCAL JURISDICTION ENFORCES UP TO AND BEYOND THE 2019 OREGON STRUCTURAL SPECIALTY CODE. ACCESSIBILITY SHALL COMPLY WITH THE ANSI/ICC A117.1-2009.
- CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENT AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
- WORK SHOWN ON THESE DRAWINGS IS TO BE SUPPLIED, FURNISHED, CONSTRUCTED, INSTALLED ALL AS PER THE GENERAL CONDITIONS AND THE SPECIFICATIONS: EXCEPTIONS AS DESCRIBED BY THE FOLLOWING ABBREVIATIONS:
 - CFCI CONTRACTOR FURNISHED - CONTRACTOR INSTALLED
 - OFCI OWNER FURNISHED - CONTRACTOR INSTALLED
 - OFOI OWNER FURNISHED - OWNER INSTALLED
 - NIC OR N.I.C. NOT IN CONTRACT OR NOT A PART OF THIS CONTRACT.
- DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY. ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE, UNLESS OTHERWISE NOTED, THOSE INDICATED AS CLEAR SHALL BE FROM FINISH.
- THESE DRAWINGS HAVE BEEN ASSEMBLED FOR USE AT THEIR CURRENT SIZE AND SCALE. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR WORK NOT CONFORMING TO THESE DOCUMENTS DUE TO THE USE OF REDUCED SCALE DRAWINGS FOR ESTIMATING OR CONSTRUCTION PURPOSES.
- WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE WORK SHALL BE EXECUTED CONSISTENT WITH THE INTENT DEMONSTRATED BY DETAILS PROVIDED FOR OTHER WORK. IF QUESTIONS REMAIN ABOUT INTENT, CONTACT THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- ALL SURFACES AND MATERIALS SHALL BE THOROUGHLY PREPARED SMOOTH, CLEAN, LEVEL AND EVEN. BY COMMENCING FINISH INSTALLATION, THE FINISH CONTRACTOR SIGNIFIES ITS ACCEPTANCE OF THE SUBSTRATE AND THEREBY ASSUMES RESPONSIBILITY FOR THE QUALITY OF THE INSTALLATION.
- WHERE DEVICES OR ITEMS OR PARTS THEREOF ARE REFERRED TO IN SINGULAR, IT IS INTENDED THAT SUCH SHALL APPLY TO AS MANY SUCH DEVICES, ITEMS, OR PARTS AS ARE REQUIRED TO PROPERLY COMPLETE THE WORK.
- THE CONTRACTOR SHALL LAYOUT THE WORK PRIOR TO PROCEEDING. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES WITH THE LAYOUT. SUCH INSPECTION SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO CONFORM TO THE INTENT OF THE CONTRACT DOCUMENTS.
- UNLESS OTHERWISE NOTED, DIMENSIONS, PLACEMENTS AND ALIGNMENTS SHOWN ARE CRITICAL FOR THE INSTALLATION OF FURNITURE AND EQUIPMENT AS WELL AS FOR THE USE OF THE SPACE BY OCCUPANTS. FINISHED DIMENSIONS MAY VARY UPWARD BY 1/4" BUT MAY NOT VARY DOWNWARD. WHERE +/- IS INDICATED VARIATION OF UP TO 3% SHALL BE ALLOWABLE. ALIGNMENTS OF NEW AND EXISTING CONDITIONS SHALL BE FINISHED TO A SMOOTH AND MONOLITHIC APPEARANCE (GAP SHALL BE OVERLAPPED TO AN INSIDE OR OUTSIDE CORNER WHERE PRACTICABLE TO AVOID CRACKING).
- DO NOT DEVIATE FROM THE CONSTRUCTION DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL. THE CONTRACTOR AGREES TO DEFEND INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM ANY CLAIMS ARISING AS A RESULT OF CHANGES TO THE WORK WITHOUT PRIOR APPROVAL FROM THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ANY OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.
- IF REQUIRED CONSTRUCTION BARRIERS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR, PAINTED, DETAILED, AND ILLUMINATED AS PER THE ARCHITECTS DIRECTION. NO SIGNS OTHER THAN THOSE AUTHORIZED BY THE ARCHITECT OR OWNER WILL BE PERMITTED ON THIS BARRICADE.
- NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- ALL EXISTING FACILITIES TO BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER.
- THE GENERAL CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE GENERAL CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONIUNCTION WITH THE EXECUTION OF HIS/HER WORK.
- THE GENERAL CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED BY THE LOCAL JURISDICTION, STATE AGENCY AND/OR COUNTY.
- MECHANICAL HVAC, PLUMBING, FIRE SUPPRESSION, LOW VOLTAGE AND ELECTRICAL WORK REQUIRE SEPARATE PERMITS. TRADE SUBCONTRACTORS SHALL SECURE ALL REQUIRED PERMITS AFFECTING THEIR SCOPE OF WORK.
- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING AN OCCUPANT LOAD GREATER THAN 50.
- INSTALL WALL BACKING FOR ALL WALL MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: DOOR STOPS, FIXTURES, WALL CABINETS, SHELVING, COUNTERS, TOILET ACCESSORIES, SECURITY EQUIPMENT, HAND RAILS, WINDOW COVERING TRACKS, EQUIPMENT RACKS, ETC.
- COORDINATE LOCATION OF RECESSED OR SEMI-RECESSED ITEMS TO AVOID BACK TO BACK INSTALLATION AND TO REDUCE NOISE TRANSFER THROUGH PARTITIONS.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATHTUB/SHOWER WALLS AND BATHROOM CEILINGS.
- ARCHITECT SHOWS FIRE EXTINGUISHERS IN GENERAL LOGICAL LOCATION: VERIFY REQUIREMENTS AND LOCATIONS WITH LOCAL FIRE MARSHAL. GENERAL CONTRACTOR TO PROVIDE FIRE EXTINGUISHERS AND CABINETS (WHERE CALLED OUT).
- SPECIFICATIONS OF MATERIAL AND EQUIPMENT BY THE USE OF NAME, MODEL NUMBER, AND/OR GENERAL COORDINATE INSTALLATIONS WITH EQUIPMENT DIMENSIONS, INCLUDING EQUIPMENT TO BE INSTALLED BY THE TENANT.
- ALL WORK SHALL CONFORM TO STANDARDS OF THE INDUSTRY FOR FIRST QUALITY WORKMANSHIP AND MATERIALS AND SHALL CONFORM TO MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- MATERIALS ARE SPECIFIED BY NAME, MODEL NUMBER AND DESCRIPTION WERE PRACTICABLE IN ORDER TO AVOID INACCURACIES. THE CONTRACTOR SHALL REVIEW ALL SPECIFICATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THESE DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK.
- FLOOR MATERIAL CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS EXCEPT WHERE NOTES. SEE THRESHOLD DETAILS FOR SPECIAL CONDITIONS (IF ANY).
- BLOCKING AND GROUNDS AT AREAS WHICH HAVE MILLWORK, SHELVING, AND TENANT FURNISHED FURNITURE WALL CABINETS INDICATED ON THE DRAWINGS SHALL BE INCLUDED WITH THE WORK.

PERMITS BY OTHERS:

- PERMITS BY OTHERS - ELECTRICAL/MECHANICAL/PLUMBING/SPRINKLER/FIRE ALARM
- DESIGN/BUILD SERVICES SHALL BE REQUIRED OF THE CONTRACTOR FOR THE ELECTRICAL, MECHANICAL, PLUMBING, FIRE ALARM AND SPRINKLER PORTIONS OF THE WORK. ALL SYSTEMS NEW AND EXISTING SHALL BE DESIGNED, MODIFIED, PROVIDED AND/OR INSTALLED AS REQUIRED BY THE NEW LAYOUT. CONTRACTOR SHALL SUBMIT DESIGN DRAWINGS AND PRODUCT SUBMITTALS FOR ALL DESIGN/BUILD SYSTEMS TO THE DESIGNER AND THE BUILDING FOR REVIEW AND APPROVAL.
- CONFORM TO APPLICABLE CODES, ORDINANCES, SPECIFIC BUILDING STANDARDS AND INDUSTRY STANDARDS FOR FIRST CLASS INSTALLATIONS OF ALL SYSTEMS. COMPLY WITH BUILDING AND LEASE SPECIFIC REQUIREMENTS FOR EMERGENCY LIGHTING, ELECTRICAL SERVICE AND SUB-METERING (CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ADEQUACY OF SERVICE AND PANEL SPACE). CONTRACTOR SHALL FIELD VERIFY AND CONFIRM WITH THE BUILDING PRIOR TO SUBMITTING THEIR BID FOR THE WORK.
- CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DESIGN AND DOCUMENTATION (INCLUDING REQUIRED DESIGN DOCUMENTS PROFESSIONALLY SEALED BY AN ENGINEER WHERE AND AS REQUIRED BY THE LOCAL JURISDICTION) AS MAY BE REQUIRED FOR THE FULL AND COMPLETE INSTALLATION OF POWER, LIGHTING AND SPRINKLER SYSTEMS, AS WELL AS APPLYING AND OBTAINING ALL PERMITS, APPROVALS, INSPECTIONS AND CERTIFICATES REQUIRED FOR THE COMPLETION OF THE PROJECT FOR OCCUPANCY.
- FIRE SUPPRESSION SYSTEM: CONTRACTOR SHALL MODIFY EXISTING FIRE SUPPRESSION SYSTEM CONSISTENT WITH REQUIREMENTS OF CODE, NEW USE, NFPA, AND OWNERS INSURANCE UNDERWRITER. SUBMIT SHOP DRAWINGS FOR APPROVAL OF BUILDING'S ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE AS-BUILT DOCUMENTS AT THE COMPLETION OF THE PROJECT AND SHALL SUBMIT REPRODUCIBLE COPIES TO THE OWNER FOR THEIR RECORDS.

REFLECTED CEILING PLAN GENERAL NOTES:

- LIGHT FIXTURES, EXIT SIGNS AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN CENTER OF INDIVIDUAL CEILING PLANE OR TILE UNLESS NOTED OTHERWISE OR AS DIRECTED BY ARCHITECT.
- PROVIDE CEILING ACCESS AS REQUIRED FOR EQUIPMENT AND SYSTEMS MAINTENANCE. VERIFY MANUFACTURER RECOMMENDATIONS.
- ELECTRICAL CONTRACTOR TO PROVIDE ALL SWITCHES, DIMMERS AND PLATES AS REQUIRED BY DESIGN, MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND FURNISHED WITH ONE COVER PLATE.
- THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING TYPES, CEILING FIXTURES LIGHT SWITCHES AND ASSOCIATED ITEMS.
- CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICT OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, ETC. PRIOR TO INSTALLATION.
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL DUCTS, STRUCTURAL ELEMENTS AND ANY AND ALL OTHER APPLICABLE ITEMS. INSTALL NEW PLUMBING, MECHANICAL FANS, DUCTS, CONDUITS, AND OTHER RELATED ITEMS SO AS TO NOT CONFLICT WITH LIGHTS AND ANY UNIQUE FIELD CONDITIONS.
- FURNISH AND INSTALL UNDERWRITERS LABORATORY, INC. (UL) LABELED DEVICES THROUGHOUT.
- ANY LIGHTING CONTROL SYSTEMS WHICH UTILIZE AN AUTOMATIC TIME SWITCH, OCCUPANT-SENSING DEVICE, AUTOMATIC DAYLIGHT CONTROL DEVICE, LUMEN MAINTENANCE CONTROL DEVICE OR INTERIOR PHOTOCELL SENSOR, SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTION.
- AUTOMATIC DAYLIGHT CONTROL DEVICES AND LUMEN MAINTENANCE CONTROL DEVICES SHALL ONLY CONTROL LUMINARIES IN THE DAY LIT AREA AND HAVE PHOTOCELL SENSORS THAT ARE EITHER CEILING MOUNTED OR LOCATED SO THAT THEY ARE ACCESSIBLE ONLY TO AUTHORIZED PERSONNEL.

FIRE SUPPRESSION SYSTEM GENERAL NOTES:

CONTRACTOR QUALIFICATIONS:

- ESTABLISHED FIRE PROTECTION CONTRACTOR REGULARLY ENGAGED IN THE DESIGN AND INSTALLATION OF AUTOMATIC FIRE SPRINKLER SYSTEMS.
- EMPLOY WORKERS EXPERIENCED AND SKILLED IN THIS TRADE.
- SYSTEM DESIGNER: QUALIFIED AND CERTIFIED FOR THE DESIGN OF FIRE PROTECTION SPRINKLER SYSTEMS. NICET LEVEL III OR IV TECHNICIAN OR PROFESSIONAL ENGINEER EXPERIENCED IN THE DESIGN OF SPRINKLER SYSTEMS.

GOVERNING AGENCY: ALL WORK IN ACCORDANCE WITH AND ACCEPTED BY THE FOLLOWING HEREAFTER REFERRED TO GOVERNING AGENCIES:

- STATE OF OREGON FIRE MARSHAL.

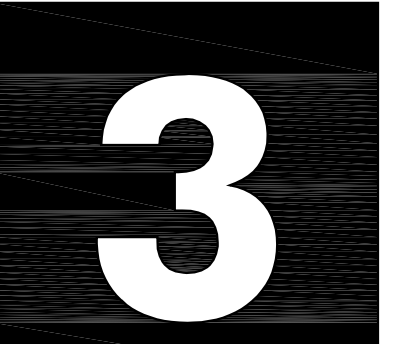
DESIGN REQUIREMENTS:

- COMPLY WITH THE LATEST ISSUE OF NFPA STANDARD 13R.
- DESIGN, LAY OUT AND INSTALL HYDRAULICALLY CALCULATED WET AND DRY PIPE SYSTEMS, INCLUDING STANDPIPES, UTILIZING CODE APPROVED AUTOMATIC DEVICES DESIGNED PARTICULARLY FOR USE IN THIS TYPE OF SYSTEM.
- PROVIDE HYDRAULIC CALCULATION METHODS DESIGN DATA INFORMATION IN ACCORDANCE WITH NFPA 13R. INCLUDE ALL FRICTION LOSSES FROM POINT OF FLOW TEST TO REMOTE SPRINKLER AREA.
- FIRE SPRINKLER COVERAGE: AS REQUIRED BY THE GOVERNING AGENCY AND INCLUDING FIRE PROTECTION OF ALL AREAS INCLUDING THE FOLLOWING:
 - EXTERIOR CANOPIES OF COMBUSTIBLE CONSTRUCTION.
 - COVERED DECKS AND PATIOS.
 - ATTIC SPACES OF COMBUSTIBLE CONSTRUCTION.
- OCCUPANCY HAZARD: OCCUPANCY HAZARD DESIGNATION IN ACCORDANCE WITH THE GOVERNING AGENCY REQUIREMENTS.
- SEISMIC RESTRAINT: INCLUDE LOAD CALCULATIONS FOR SEISMIC RESTRAINTS.
- CONTRACTOR SHALL REVIEW ALL DRAWINGS AND DETERMINE WHERE UNHEATED SPACES, CONCEALED COMBUSTIBLE SPACES, OVERHEAD DOORS, OR SIMILAR SPECIAL CONDITIONS EXIST AND PROVIDE SPRINKLER PROTECTION AS REQUIRED.
- REVISIONS TO THE CONTRACTOR'S DESIGN REQUIRED BY THE GOVERNING AGENCY SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ANY INSTALLATION DETAILS FOR FIRE PROTECTION SYSTEMS ARE FOR REFERENCE ONLY. WITH FINAL INSTALLATION REQUIREMENTS TO BE DETERMINED DURING THE TRADE PLAN REVIEW PROCESS AT THE FIRE MARSHAL'S OFFICE.

ELECTRICAL GENERAL NOTES:

- ELECTRICAL WORK FOR THIS PROJECT IS SHOWN FOR DESIGN-BUILD GUIDANCE.
- LIGHT FIXTURES AND ELECTRIC HEATING DEVICES ARE LOCATED ON DRAWINGS FOR GENERAL LOCATION ONLY. SIZING OF LUMEN OUTPUT AND POWER CONSUMPTION IS THE RESPONSIBILITY OF THE DESIGN BUILD CONTRACTOR. CONFIRM FIXTURE SELECTION WITH OWNER PRIOR TO INSTALLATION.
- CONTRACTOR AND SUBCONTRACTORS ARE REQUIRED TO REVIEW THE DRAWINGS FOR ALL DIVISIONS OF WORK. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THIS WORK AND THE WORK OF ALL SUBCONTRACTORS WITH ALL DIVISIONS OF WORK INCLUDING ELECTRICAL DEMOLITION. IT IS THIS CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL THE SUBCONTRACTORS WITH A COMPLETE SET OF BID DOCUMENTS.
- CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
- ELECTRICAL INFORMATION PROVIDED ON ARCHITECTURAL FLOOR PLANS IS FOR REFERENCE ONLY, ELECTRICAL DESIGN BUILD SUB-CONTRACTOR TO CONFIRM AND COORDINATE ALL WORK.
- PLACEMENT OF LIGHT FIXTURES IN CEILING PLANES TAKES PRECEDENCE OVER ALL OTHER SERVICES INCLUDING FIRE PROTECTION OR SUPPRESSION DEVICES.
- PLACEMENT OF RECEPTACLES, CONVENIENCE OUTLETS, SWITCHES, SMOKE DETECTORS, ETC MUST MEET ELECTRICAL CODE REQUIREMENTS, ACCESSIBILITY REQUIREMENTS AND AND MUST BE RATIONALLY LAID OUT IN THE SPACE AVAILABLE.
- CIRCUITING INDICATED ON PLAN IS PARTIALLY DIAGRAMMATIC FOR CLARITY. CIRCUITING SHALL BE "THRU-WIRING" WHERE AND WHENEVER POSSIBLE.
- FIELD VERIFY EXACT LOCATION AND ELECTRICAL REQUIREMENTS OF ALL HVAC EQUIPMENT WITH MECHANICAL CONTRACTOR PRIOR TO ORDERING RELATED ELECTRICAL EQUIPMENT.
- COORDINATE WITH TENANTS EQUIPMENT POWER REQUIREMENTS.
- ELECTRICAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS REQUIRED FOR A FULLY COMPLETE AND OPERABLE SYSTEM.
- ALL STUB-UP DIMENSIONS FROM FINISHED FLOOR TO CENTER OF BOX.
- EQUIPMENT LISTED ON EQUIPMENT SCHEDULE WILL BE UNCRATED AND SET IN PLACE ONLY. ROUGH IN AND FINAL HOOKUP WILL PERFORMED BY THE ELECTRICAL CONTRACTOR.
- ALL ELECTRICAL OUTLETS AND CONNECTIONS TO BE GROUNDED TYPE.
- ELECTRICAL CONTRACTOR TO FURNISH DISCONNECTS WHERE CODE REQUIRES.
- EQUIPMENT LISTED ON THE EQUIPMENT SCHEDULE DOES NOT INCLUDE ELECTRICAL FITTINGS SUCH AS RELAYS OR DISCONNECTS TO THE ELECTRICAL SERVICE.
- PLUGS SHOULD ENTER RECEPTACLE FROM THE DIMENSION SIDE OF SYMBOLS UNLESS NOTED OTHERWISE.

STUDIO



ARCHITECTURE
INCORPORATED

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REVISIONS

R E M O D E L L E D
1705 COMMERCIAL STREET SE
S A L E M , O R E G O N

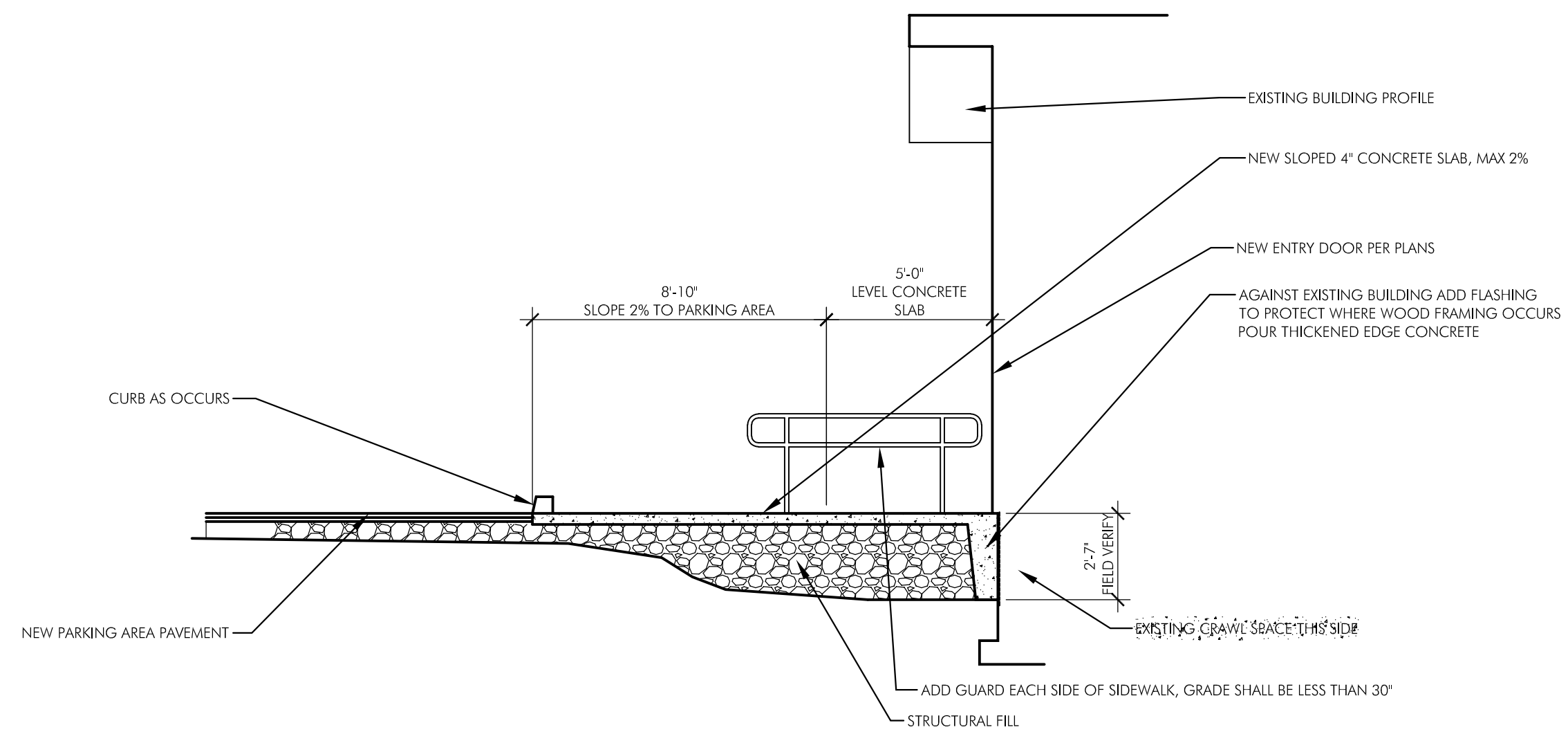
SHEET

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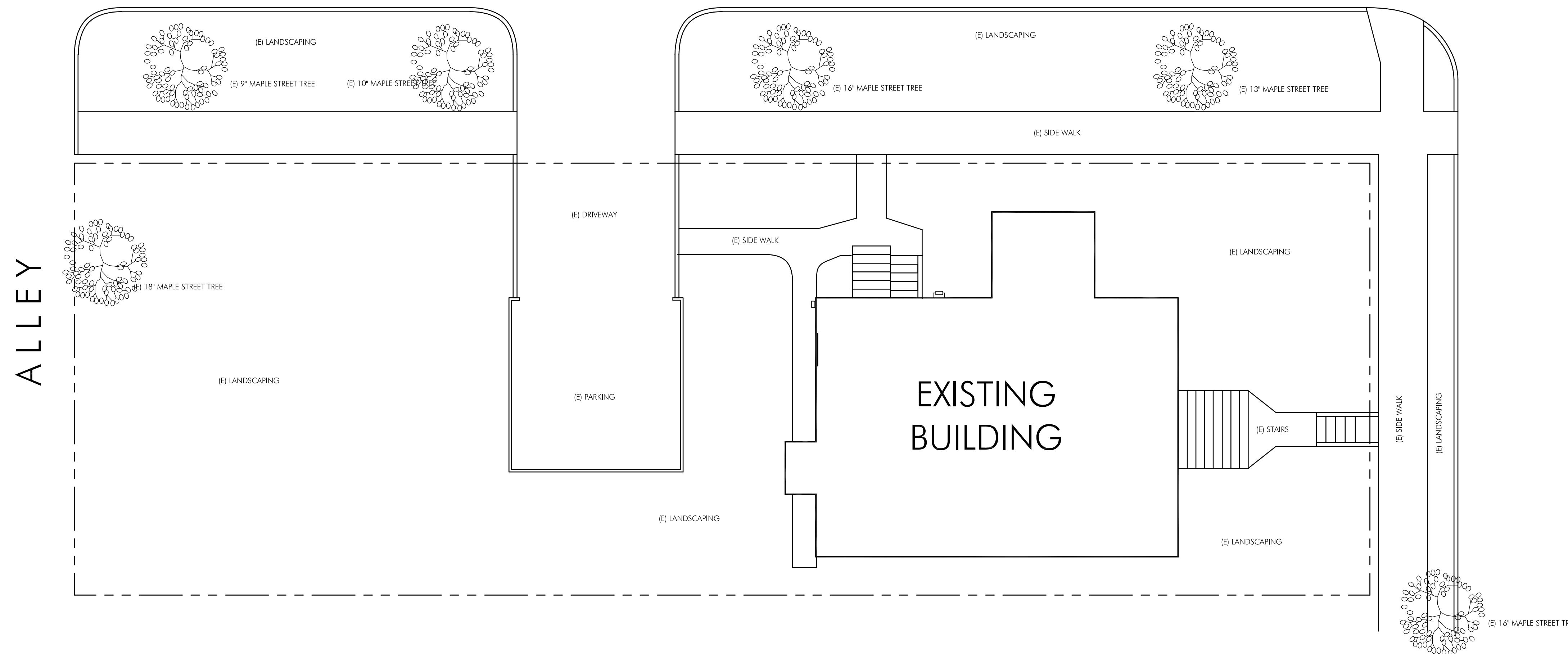
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2 SIDEWALK SECTION

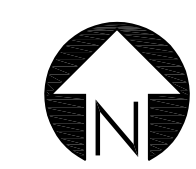
0' 1' 2' 4' 8' 12' 1/4" = 1'-0"

WASHINGTON STREET SE



1 EXISTING SITE PLAN

0' 2' 4' 8' 16' 24' 1/8" = 1'-0"



COMMERCIAL STREET SE

REGISTERED ARCHITECT
GENE F. BOLANTE
SALEM, OREGON
NO. 4449

REMOVAL OF
1705 COMMERCIAL STREET SE
SALEM, OREGON

SHEET
A1.0

SUMMARY TABLE:

SITE AREA: 7,500 SF

BLDG FOOTPRINT: 1,375 SF 18%

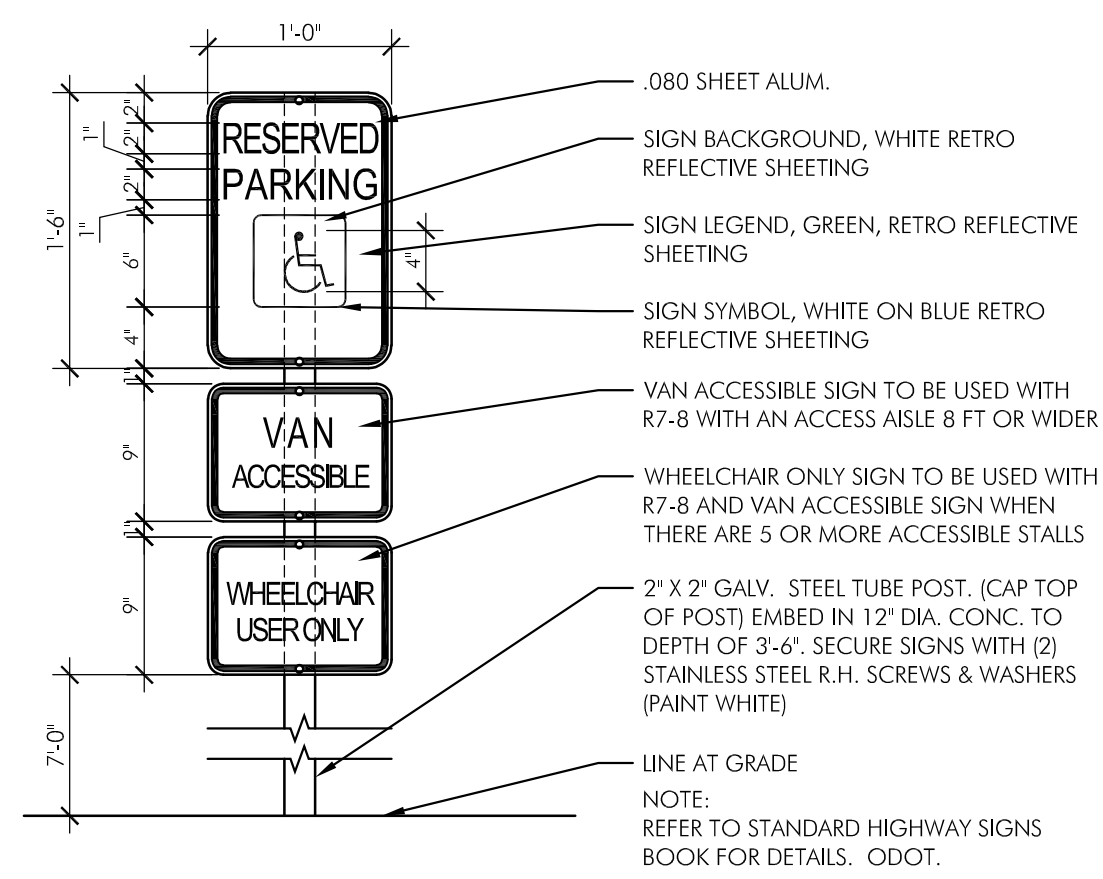
LANDSCAPE: 3,996 SF 53%

PAVEMENT: 2,129 SF 29%

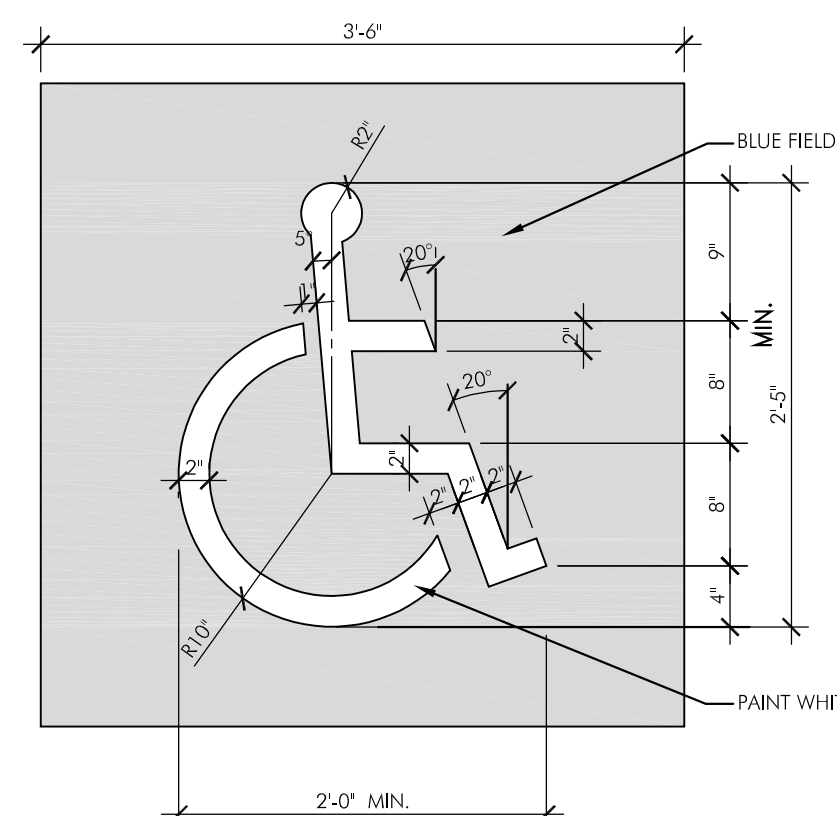
BLDG AREA: BASEMENT - 963 SF FIRST FLOOR - 1,103 SF SECOND FLOOR - 688 SF

USE BASEMENT - DWELLING UNIT - 963 SF FIRST AND SECOND FLOOR OFFICES - 1,791 SF

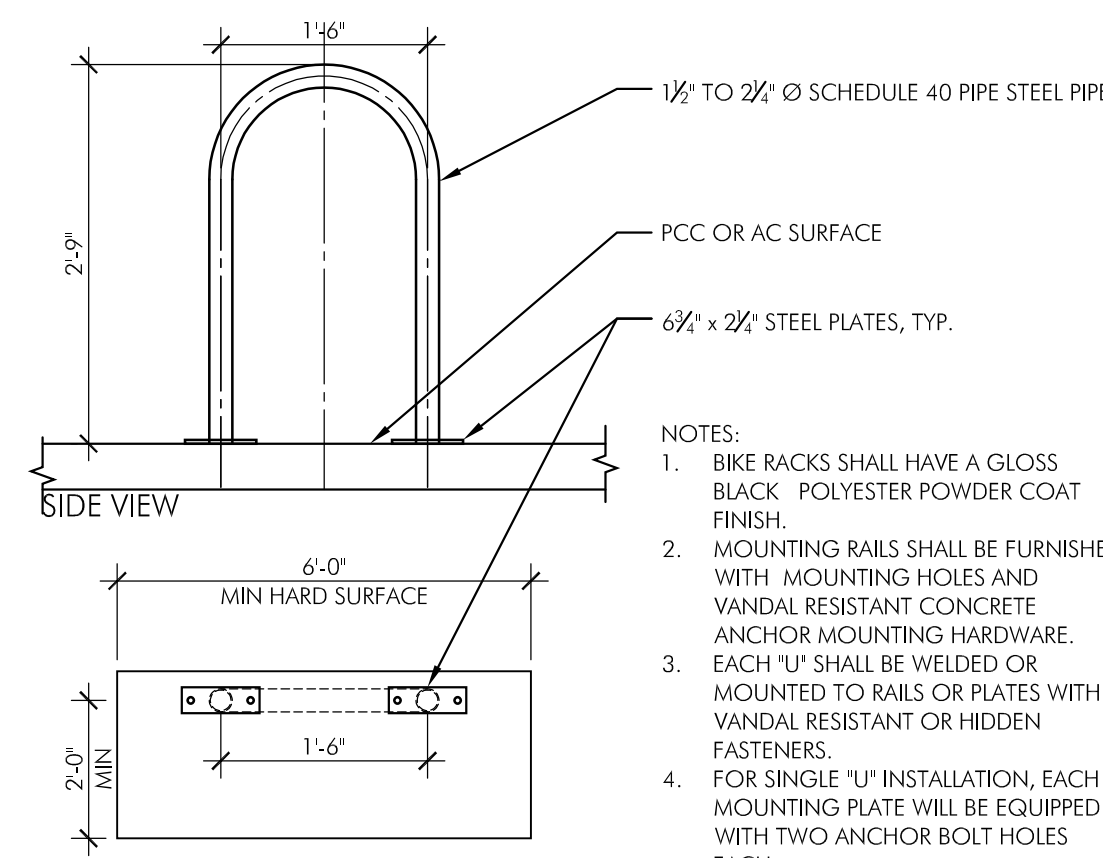
PARKING: OFFICE 1,791 SF / 350 = 5 SPACES DWELLING UNIT = 0



2 ACCESSIBLE PARKING SIGN DETAIL R7-8

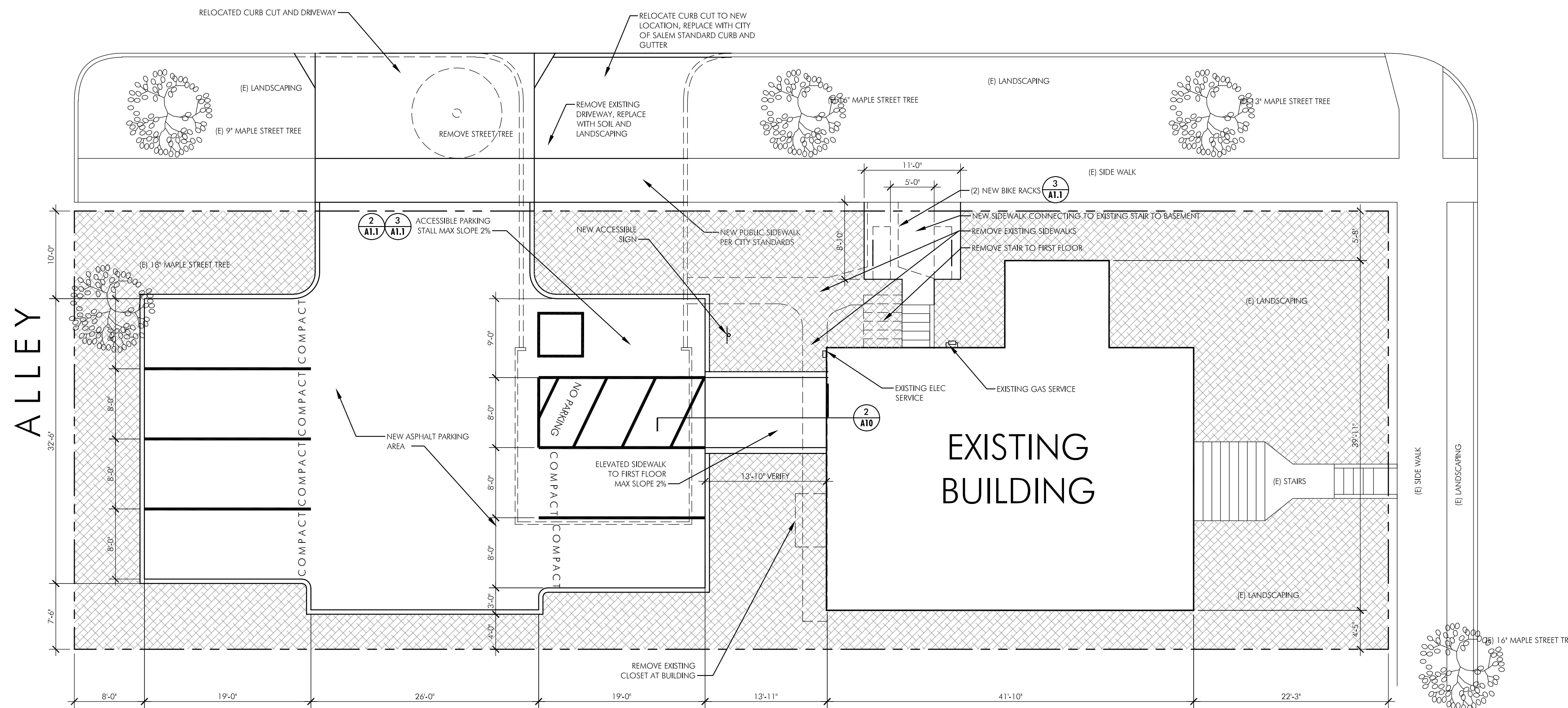


3 HANDICAPPED PARKING SYMBOL DETAIL



4 INVERTED U BIKE RACK DETAIL

WASHINGTON STREET SE



1 PROPOSED SITE PLAN

COMMERCIAL STREET SE

REMODEL 1705 COMMERCIAL STREET SE SALEM, OREGON



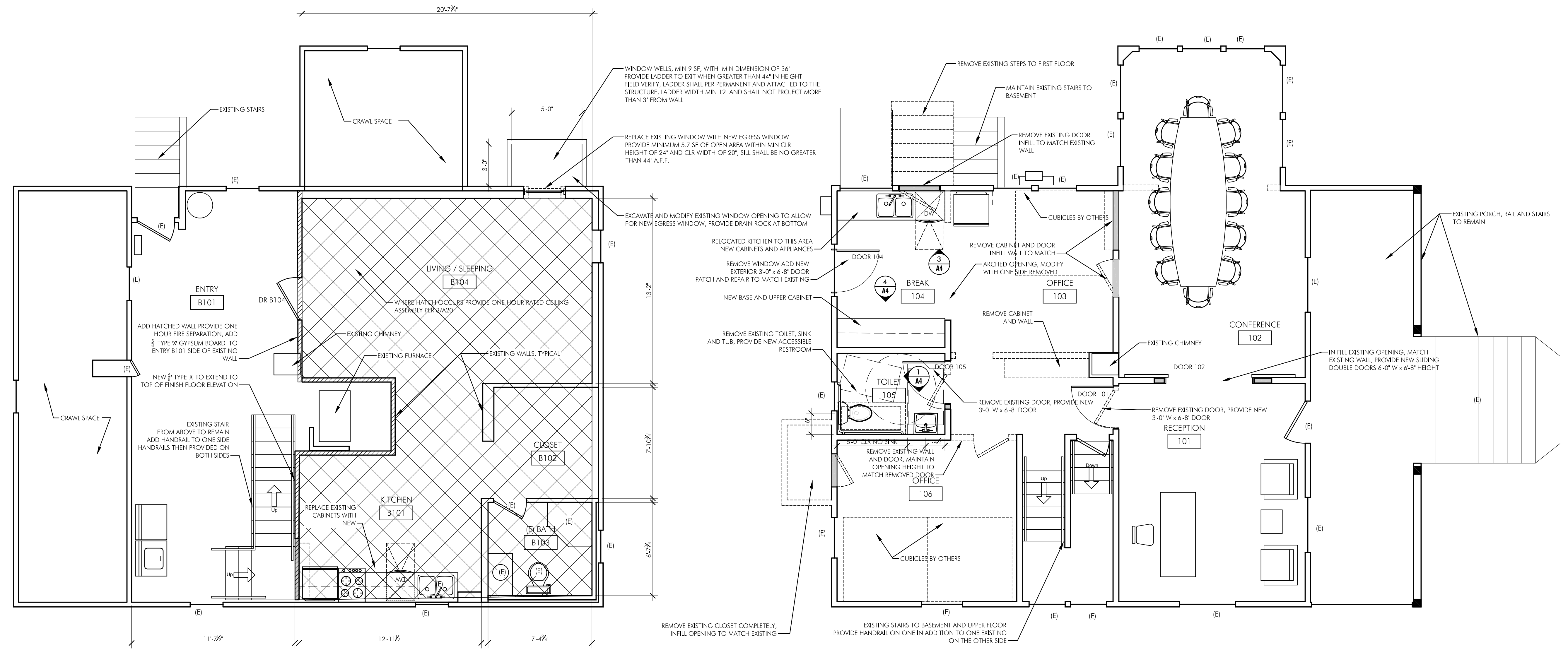


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 S A L E M , O R E G O N

SHEET
A2.0



1 BASEMENT LEVEL
1/4" = 1'-0" @ 22 x 34

2 MAIN LEVEL
1/4" = 1'-0" @ 22 x 34

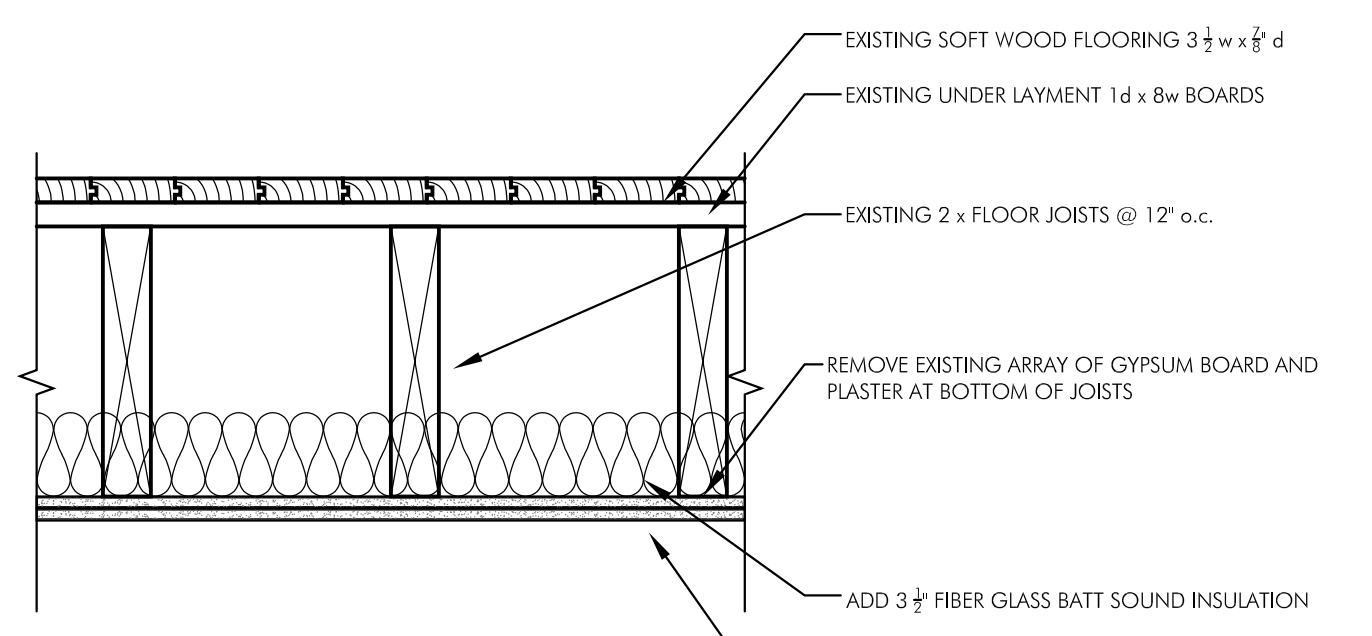


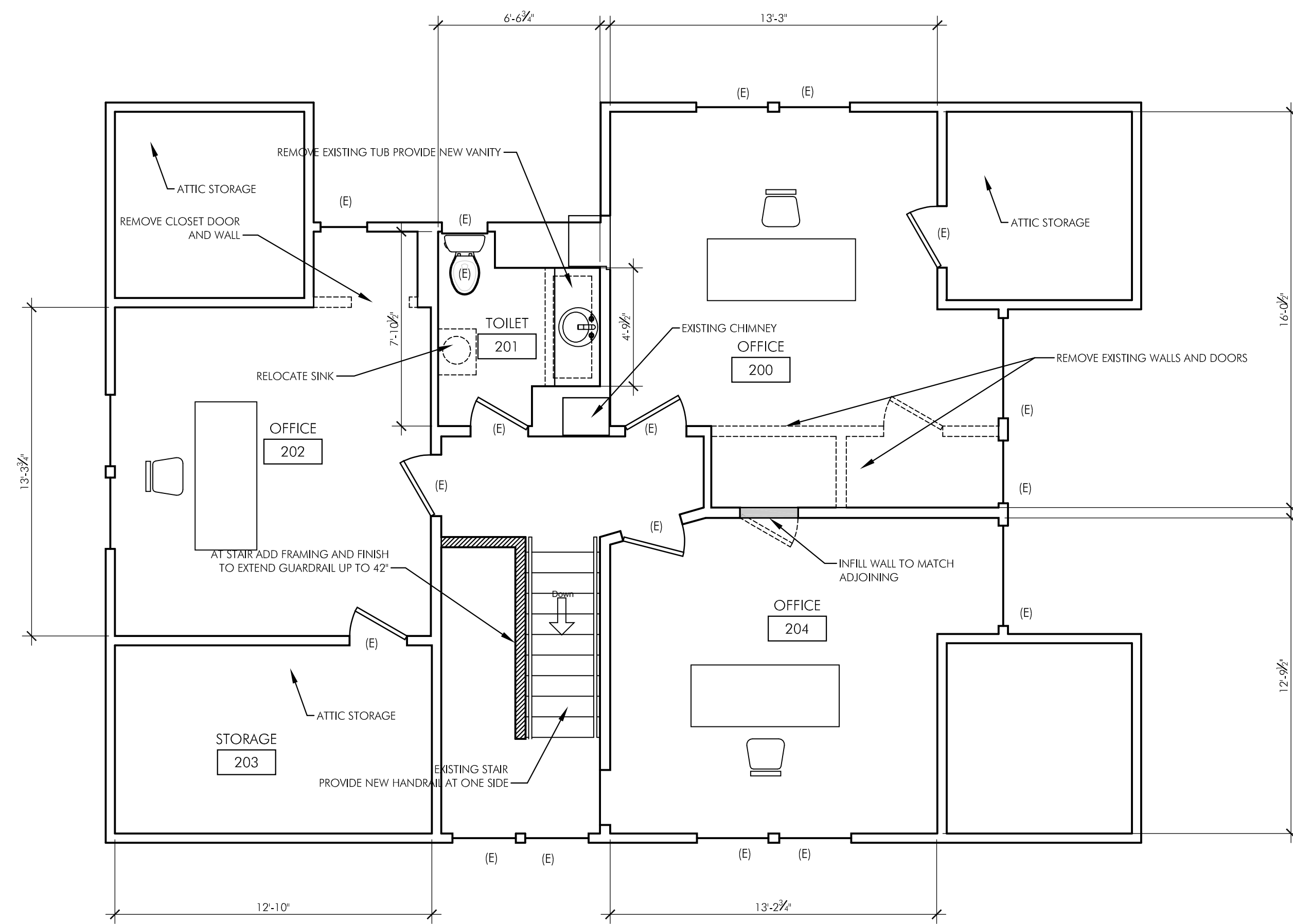
TABLE 721.1 (3) RATING OF FLOOR ASSEMBLY
(13) DOUBLE WOOD FLOOR OVER WOOD JOISTS SPACED 16" o.c.
UTILIZE 13-1.4 (2) LAYERS FOR 1 HOUR PROTECTION

3 ONE HOUR SEPARATION PER TABLE 712.1(3)
1 1/2" = 1'-0" XY One Hour Existing Upgrade



IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2020-048
DATE: 19 MAY 2022
REVISIONS



1 UPPER LEVEL
0' 1' 2' 4' 8' 12' 1/4" = 1'-0" @ 22 x 34

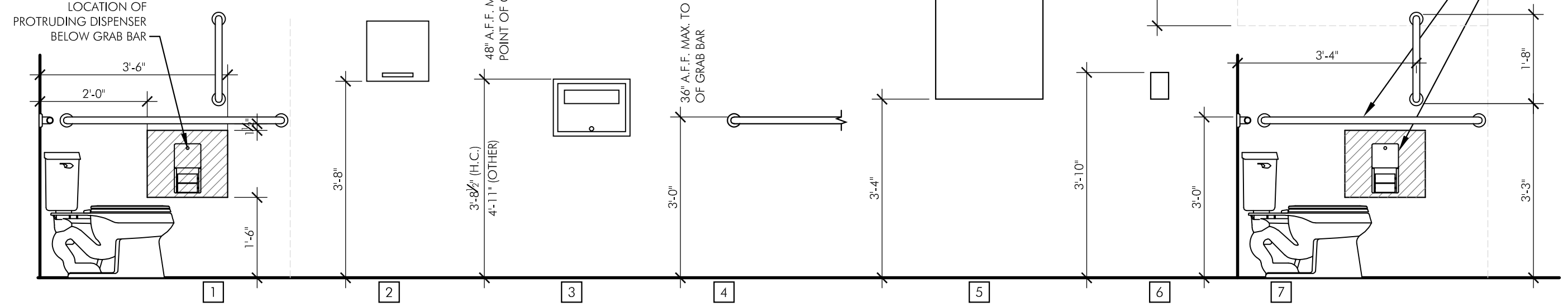


R E M O D E L :
1705 COMMERCIAL STREET SE
S A L E M , O R E G O N

SHEET
A3.0

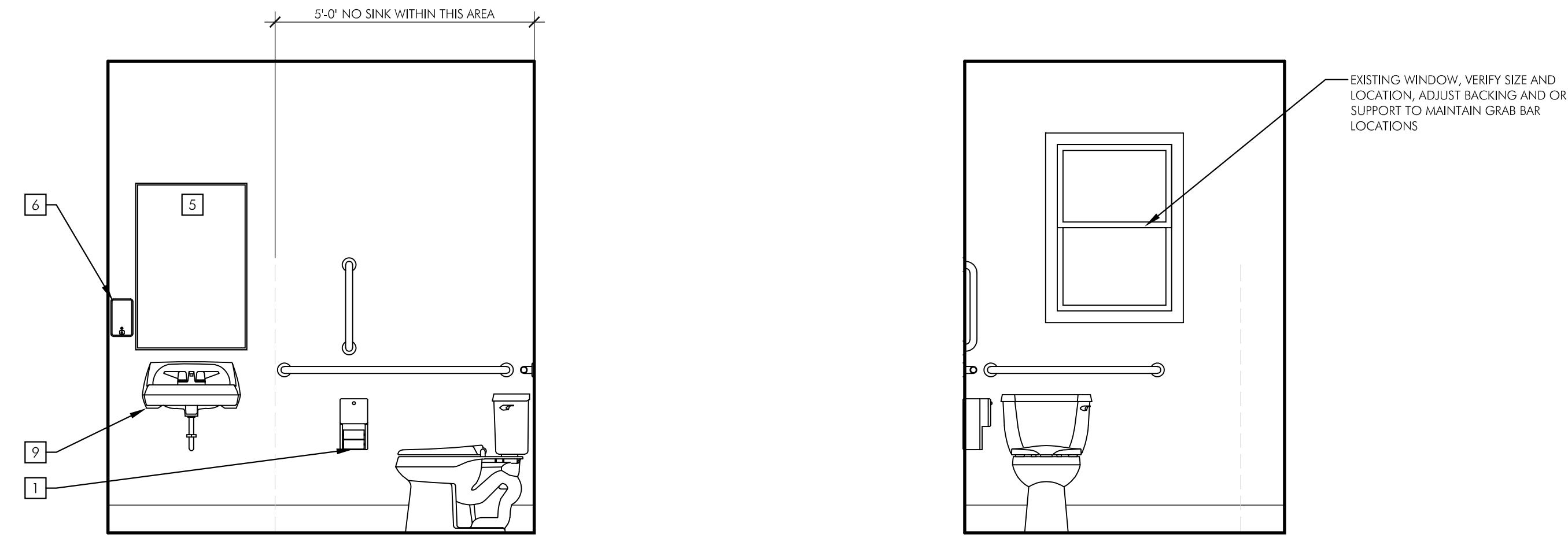
TOILET ACCESSORIES NOTES

- 1 PROTRUDING TOILET PAPER DISPENSER
- 2 PAPER TOWEL DISPENSER
- 3 SEAT COVER DISPENSER
- 4 GRAB BAR
- 5 3'-0" HIGH MIRROR 24" WIDE
- 6 FOAM HAND SOAP DISPENSER
- 7 HANDICAPPED TOILET PLAN & PROFILE W/ GRAB BAR MOUNTING HEIGHT AND DISPENSER LOCATION
- 8 NOT USED
- 9 WRAP PIPES UNDER SINK

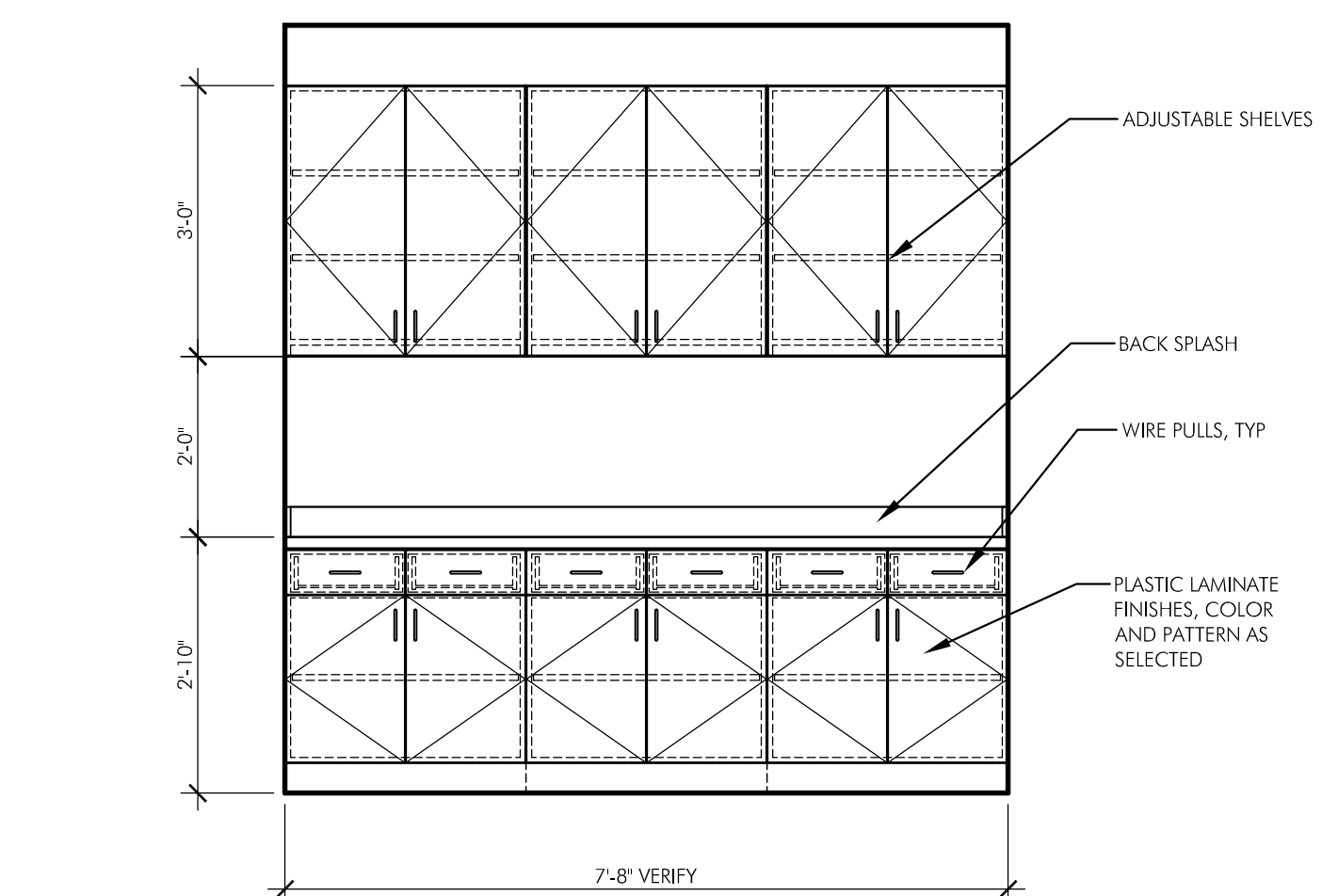


2 TOILET ACCESSORIES MOUNTING HEIGHTS DETAIL

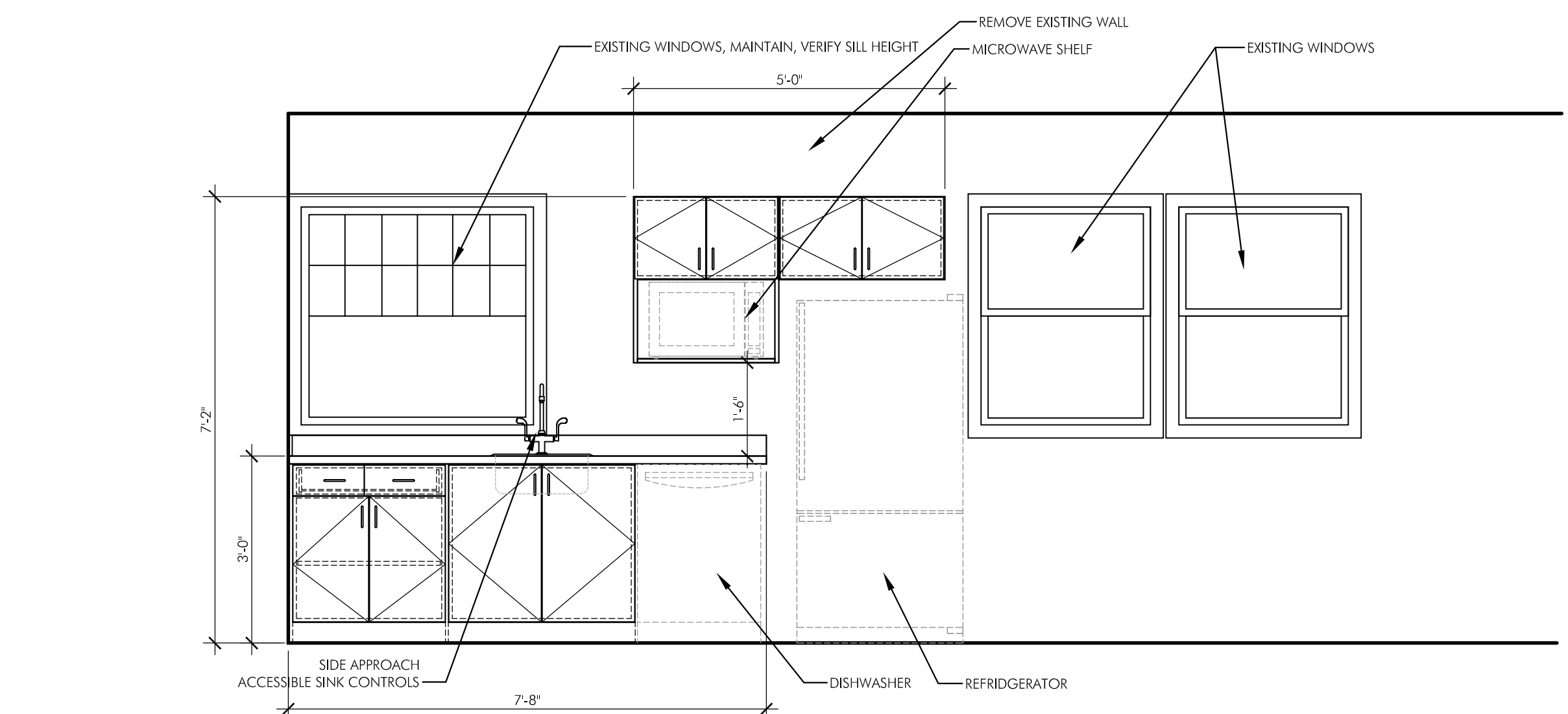
X-Restroom Fixture Heights.dwg



1 INTERIOR RESTROOM ELEVATIONS



4 BREAK ROOM INTERIOR ELEVATION



3 BREAK ROOM INTERIOR ELEVATION

GLAZING TYPES:

Type IG-1 - Sealed Insulating Glass Units: Vision glazing
Application(s): All exterior glazing unless otherwise indicated.

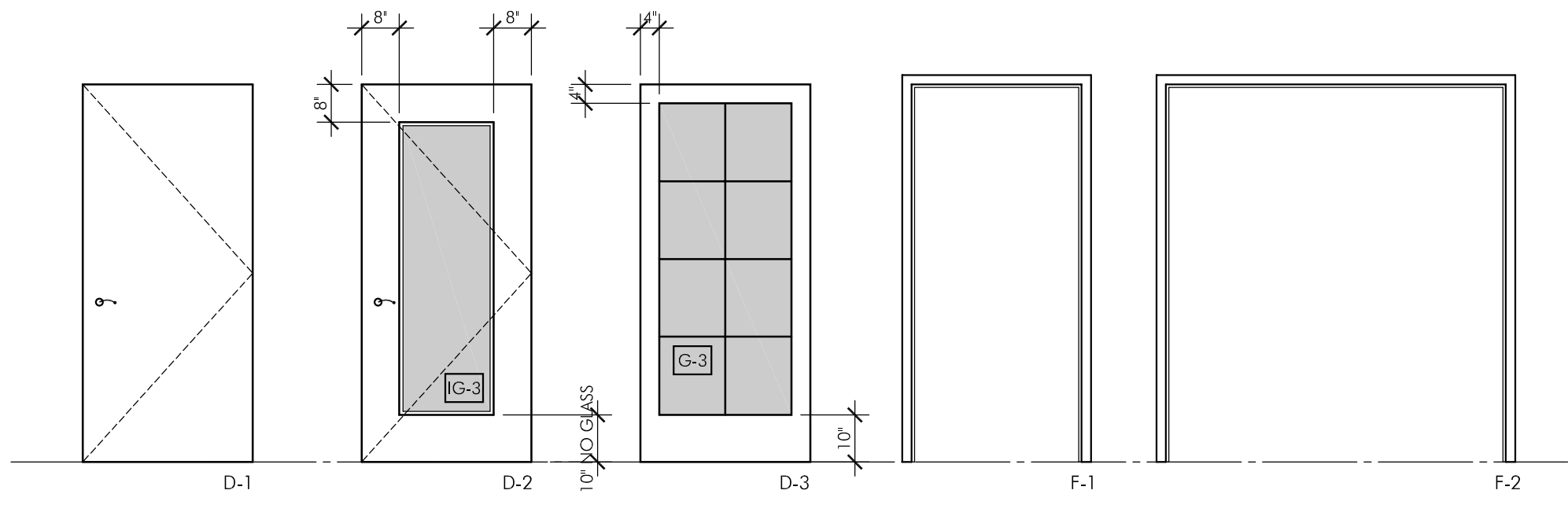
- Outboard Lite: Annealed float glass, 1/4 inch thick, minimum.
- Tint: Clear.
- Coating: Low-E type, on #2 surface.
- Inboard Lite: Annealed float glass, 1/4 inch thick, minimum.
- Air Space: fill cavity between inboard and outboard lites with argon or argon/krypton gas to improve winter U-value.
- Tint: Clear.
- Winter Night-time U-value: 0.30
- Solar Heat Gain Coefficient, (SHGC): 0.40
- Total Thickness: 1 inch.

Type IG-3 - Sealed Insulating Glass Units: Safety glazing:

- Applications: Provide this type of glazing in the following locations:
- Glazed lites in exterior doors.
- Glazed sidelights and panels next to doors.
- Other locations required by applicable federal, state, and local codes and regulations.
- Other locations indicated on the drawings.
- Type: Same as IG-1 vision glazing except use fully tempered float glass for both outboard and inboard lites.
- Tint: Clear.

Type G-1 - Clear glazing, thickness, and configuration as required.

Type G-3 - Safety Glazing: Type, thickness, and configuration as required.

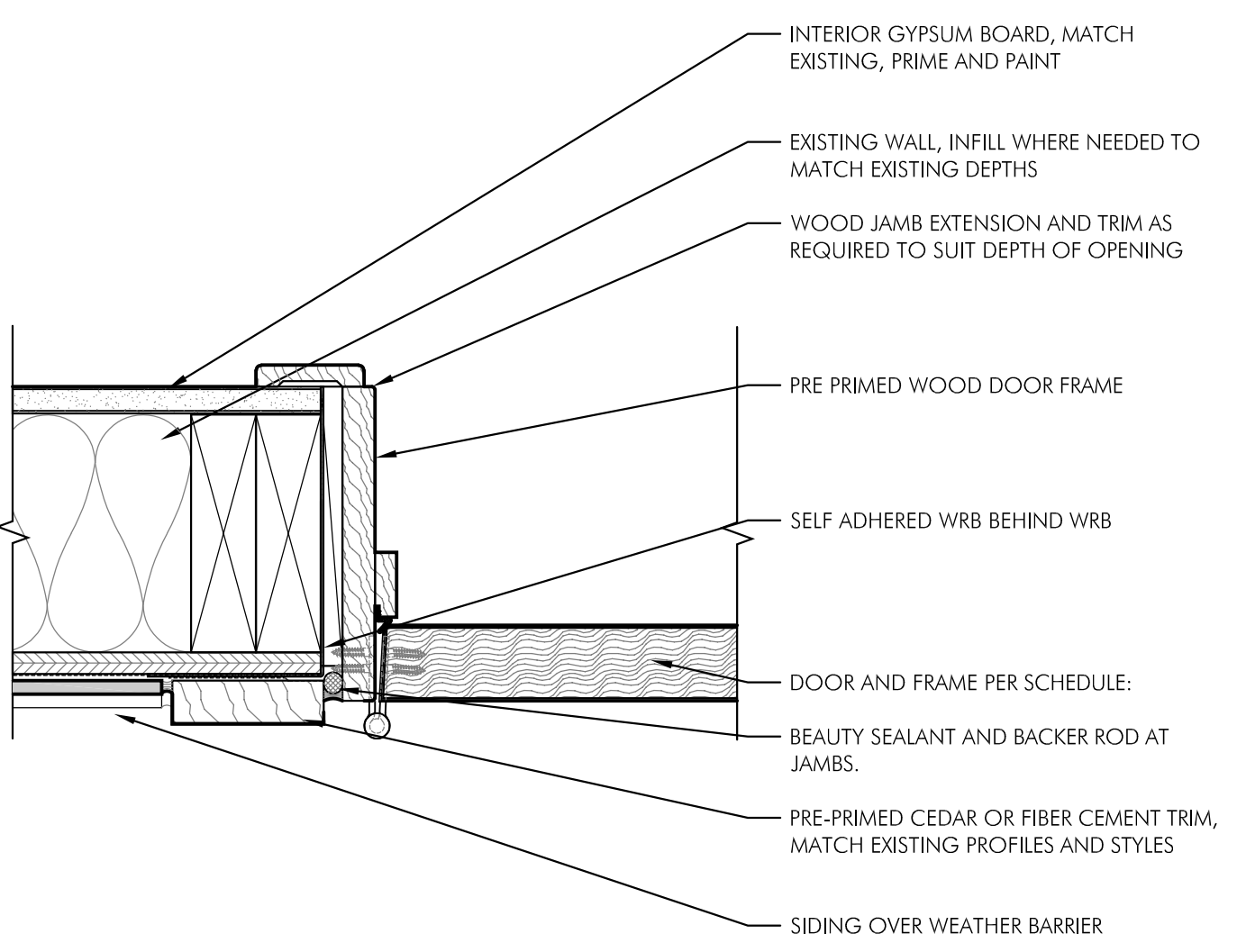


1 DOOR AND FRAME ELEVATIONS
0' 1' 2' 3' 4' 5' 3/8" = 1'-0"

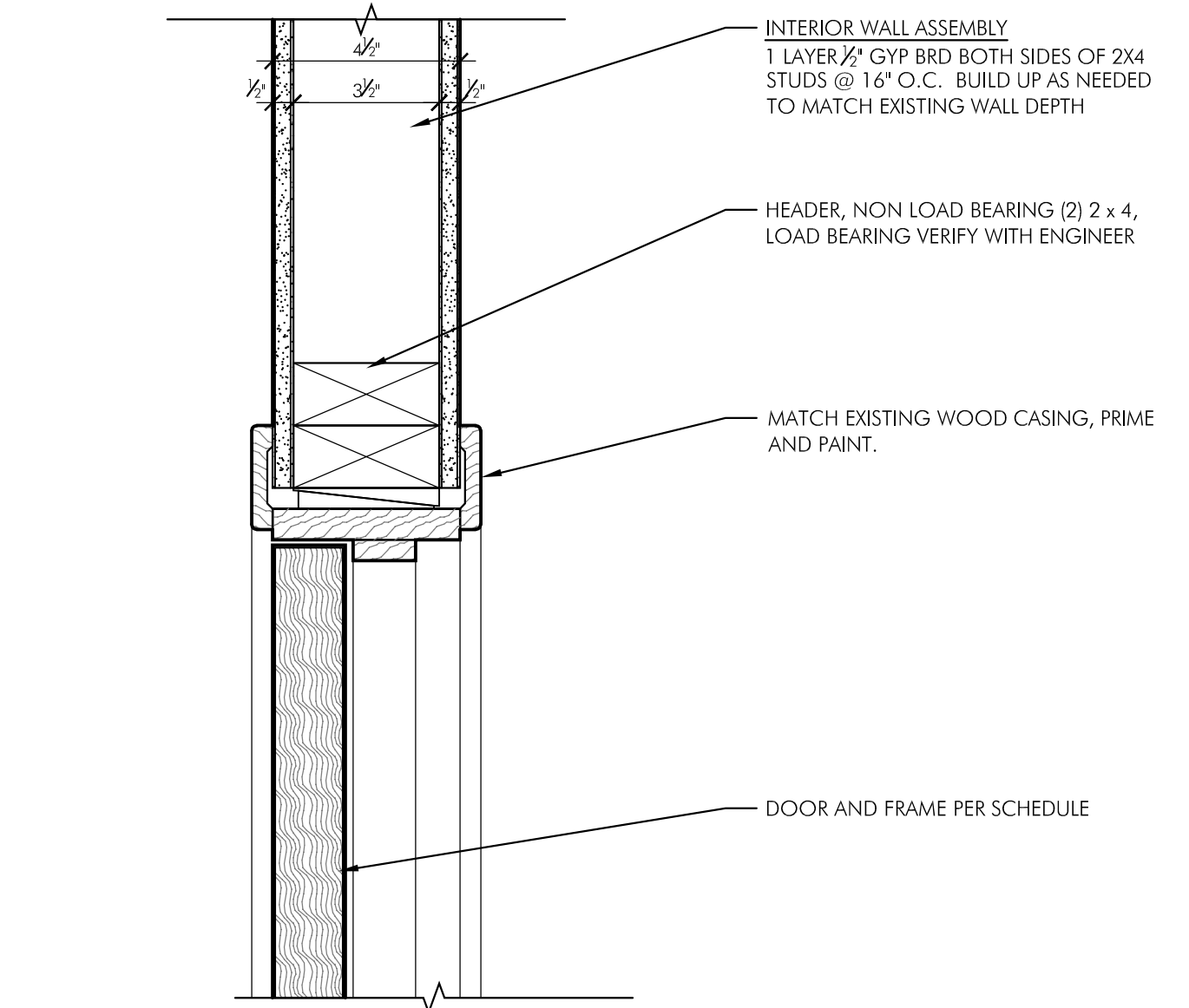
DOOR AND FRAME SCHEDULE											ALL DOORS TO BE 1 1/2" THICK UNLESS OTHERWISE NOTED.		
TYPE:	DOOR				FRAME			DETAILS			HWR. GROUP	LABEL	REMARKS
	NOMINAL SIZE	TYPE	MATL	GLASS	TYPE	MATL	GLASS	H	J	S			
DR 101	3'-0" x 6'-8"	D-1	WD	--	F-1	WD	--	2/A5	3/A5	--	HW-6	20	
DR 101	3'-0" x 6'-8"	D-1	WD	--	F-1	WD	--	2/A5	3/A5	--	HW-2	--	
DR 102	PR 3'-0" x 6'-8"	D-3	WD	TEMP	F-2	WD	--	2/A5 SIM	3/A5 SIM	--	HW-1	--	
DR 104	3'-0" x 6'-8"	D-2	WD CLAD	TEMP	F-1	WD	--	4/A5	5/A5	--	HW-3	--	
DR 105	3'-0" x 6'-8"	D-1	WD	--	F-1	WD	--	2/A5	3/A5	--	HW-4	--	

DOOR HARDWARE SCHEDULE:

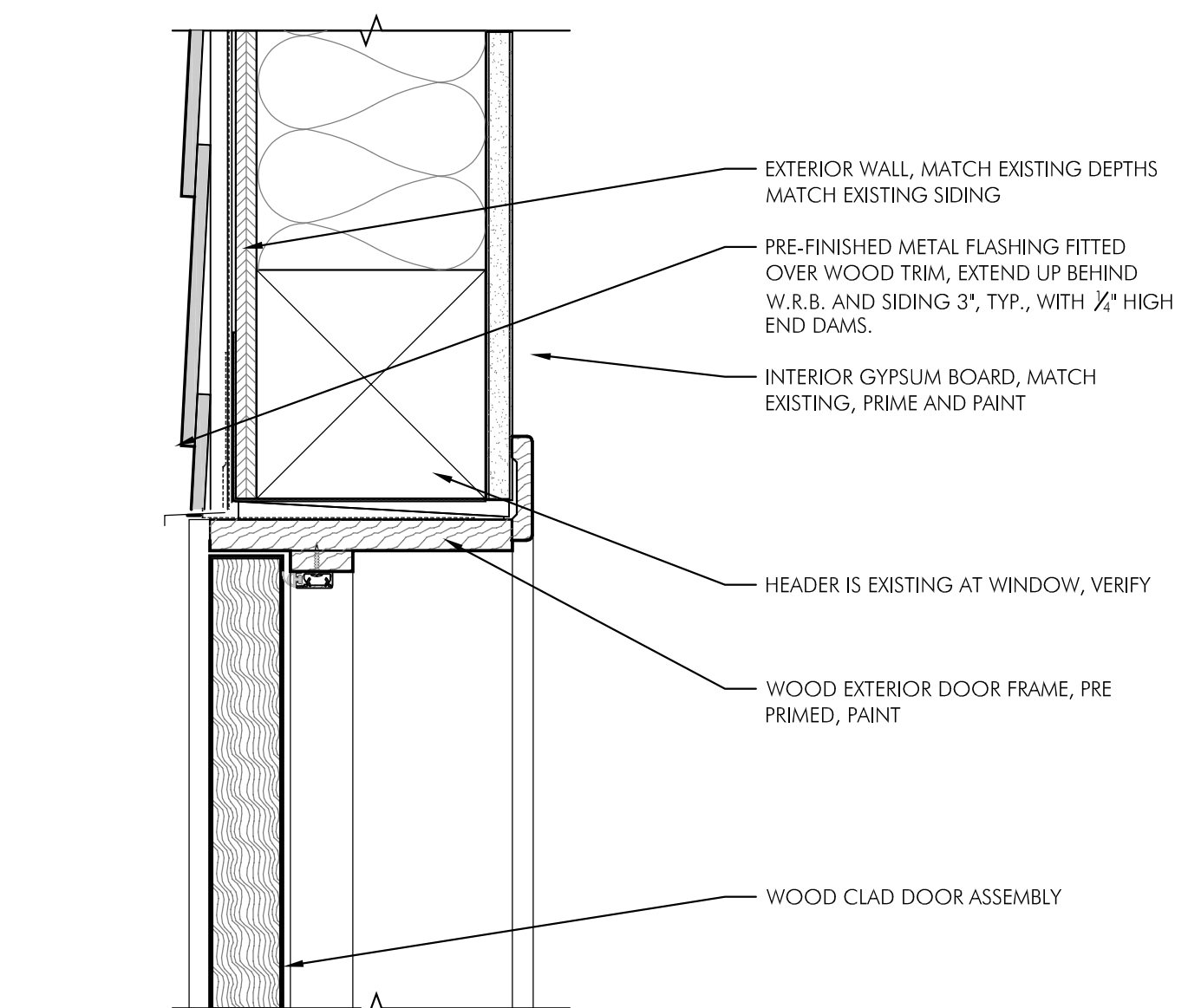
HW-1	HW-2	HW-3	HW-4
1 BARN DOOR SLIDING TRACK 1 ONE EACH PULL HANDLE 1 ONE EACH PULL HANDLE 1 DOOR BUMPER	1.5 PAIR HINGES 1 LEVER HANDLES, PASS THRU 1 FRAME SILENCERS 1 WALL STOP	1.5 PAIR HINGES 1 LEVER HANDLES, ENTRY LOCK SET 1 WEATHER STRIPPING 1 FLOOR STOP	1.5 PAIR HINGES 1 SET LEVER HANDLES WITH INTEGRAL OCCUPANCY SLIDE LOCK 1 FRAME SILENCERS 1 WALL STOP
HW-5	HW-6		
1.5 PAIR HINGES 1 SET LEVER HANDLES, OFFICE LOCKSET 1 FRAME SILENCERS 1 WALL STOP	1.5 PAIR HINGES, SELF CLOSING 1 SET LEVER HANDLES, ENTRY LOCKSET 1 SMOKE SEAL 1 WALL STOP		



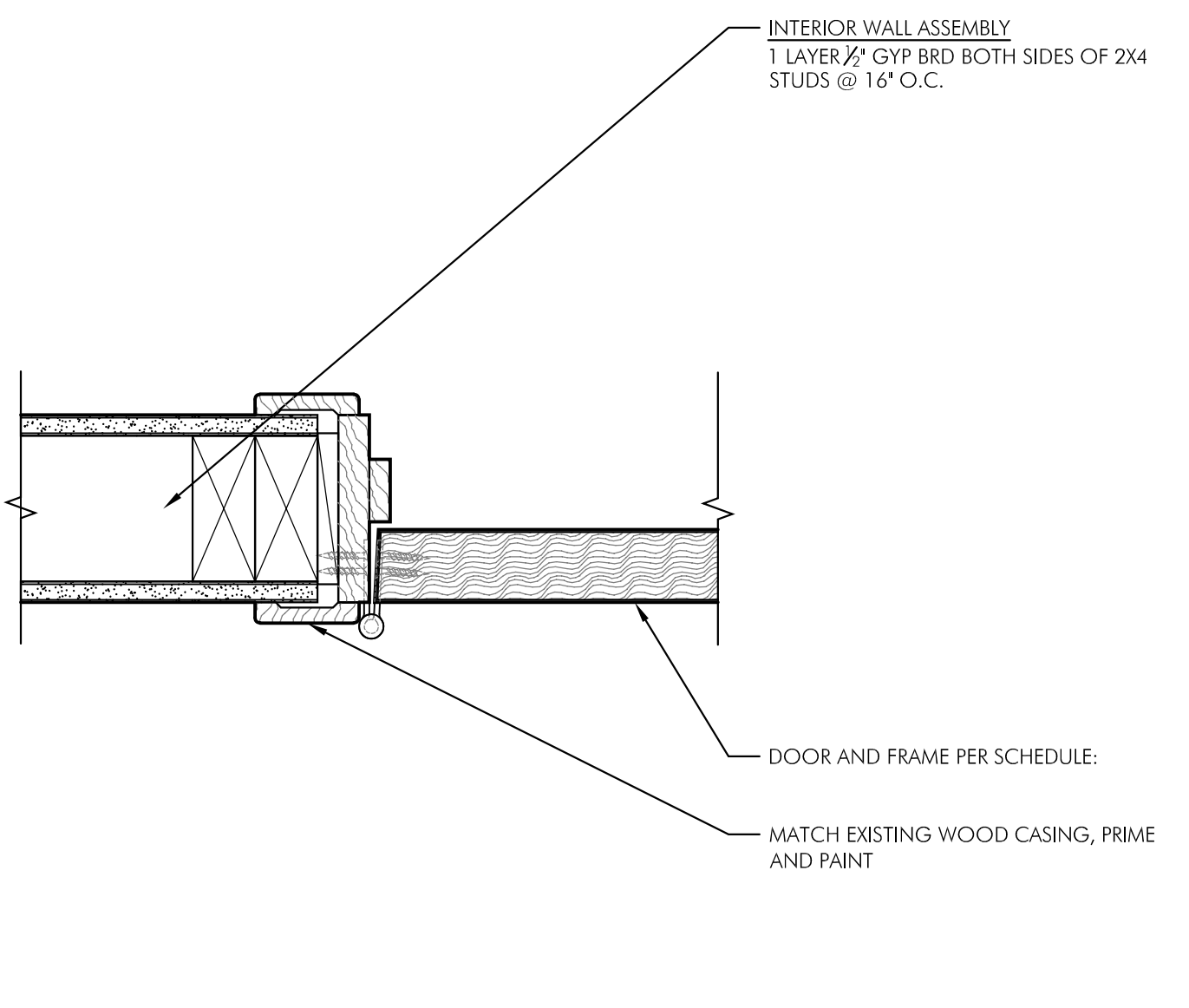
5 EXTERIOR DOOR JAMB
0' 1' 2' 4' 6' 1'-0" 3" = 1'-0"



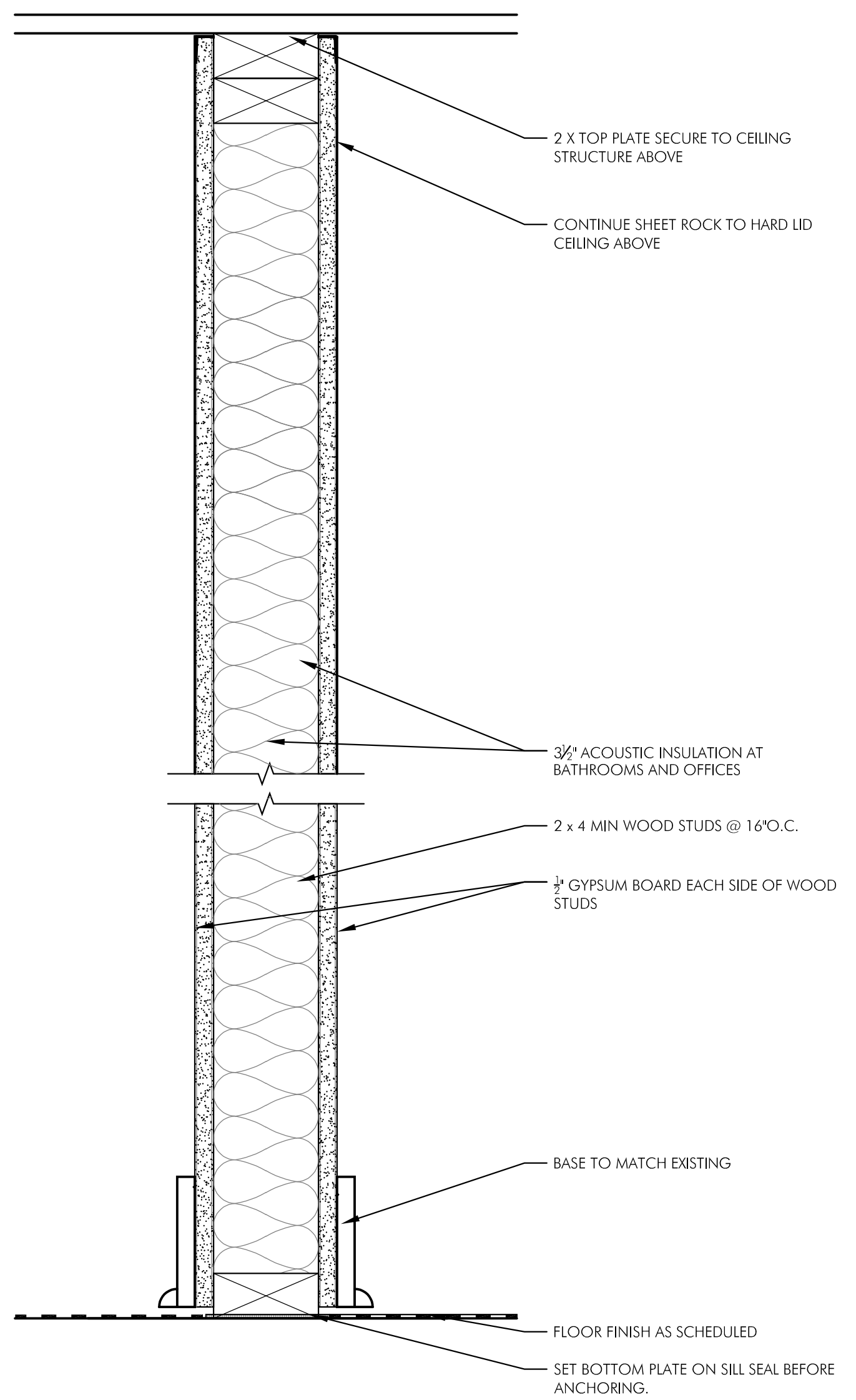
2 INTERIOR DOOR HEAD DETAIL
0' 1' 2' 4' 6' 1'-0" 3" = 1'-0" XY Int Apl Wood Door Head Wstud.wdg



4 EXTERIOR DOOR HEAD DETAIL
0' 1' 2' 4' 6' 1'-0" 3" = 1'-0"



3 INTERIOR DOOR JAMB
0' 1' 2' 4' 6' 1'-0" 3" = 1'-0" XY Int Apl Wood Door Jamb Wstud.wdg



8 PARTITION SECTION
0' 1' 2' 4' 6' 1'-0" 3" = 1'-0" X-3-5 Wdstud Partition to Hard Lid.wdg