

(A) WIND LOADS, THE STRUCTURAL FRAME AND EXTERIOR COMPONENTS OF ALL BUILDINGS, SIGNS, TANKS AND OTHER EXPOSED CONSTRUCTIONS SHALL BE DESIGNED TO RESIST THE PRESSURES DUE TO WIND AS PRESCRIBED IN REFERENCE STANDARD RS 9-5. WIND SHALL BE ASSUMED TO ACT FROM ANY DIRECTION, FOR CONTINUOUS FRAMING, THE EFFECTS OF PARTIAL LOADING CONDITIONS SHALL BE CONSIDERED.

(B) EARTHQUAKE LOADS, EVERY BUILDING, STRUCTURE AND PORTION THEREOF SHALL, AT A MINIMUM, BE DESIGNED AND CONSTRUCTED TO RESIST THE EFFECTS OF SEISMIC GROUND MOTIONS AS PRESCRIBED IN REFERENCE STANDARD RS 9-6.

2. UBC - UNIFORM BUILDING CODE SECTION 2312-1900, THE FOLLOWING TYPES OF CONSTRUCTION SHALL, AT A MINIMUM BE DESIGNED AND CONSTRUCTED TO RESIST THE EFFECTS OF SEISMIC GROUND MOTIONS AS PROVIDED IN THIS SECTION:

NEW STRUCTURES ON NEW FOUNDATIONS; NEW STRUCTURES ON EXISTING FOUNDATIONS; AND ENLARGEMENTS IN AND OF THEMSELVES ON NEW FOUNDATIONS. BUILDINGS CLASSIFIED IN NEW YORK CITY OCCUPANCY GROUP J-3 ACID NOT MORE THAN THREE STORIES IN HEIGHT NEED NOT CONFORM TO THE PROVISIONS OF THIS SECTION.

3. B. LIQUEFACTION  
(1) SOILS OF CLASSES 7-65, 8-65, 10-65 AND NON-COHESIVE CLASS II-65 BELOW THE GROUND WATER TABLE AND LESS THAN FIFTY FEET BELOW THE GROUND SURFACE SHALL BE CONSIDERED TO HAVE POTENTIAL FOR LIQUEFACTION.

4. FOUNDATION PLATES AND SILLS.  
FOUNDATION PLATES OR SILLS SHALL BE BOLTED TO THE FOUNDATION OR FOUNDATION WALL WITH NOT LESS THAN ONE-HALF INCH NOMINAL DIAMETER STEEL BOLTS EMBEDDED AT LEAST SEVEN INCHES INTO THE CONCRETE OF MASONRY RIBBED SPACED MORE THAN SIX FEET APART. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED WITHIN TWELVE INCHES OF EACH END OF EACH PIECE. A PROPERLY SIZED NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT TO THE PLATE.

5. FOUNDATION INTERCONNECTION OF FILE CAPS AND CAISSONS.  
INDIVIDUAL FILE CAPS AND CAISSONS OF EVERY STRUCTURE SUBJECTED TO SEISMIC FORCES SHALL BE INTERCONNECTED BY TIES SUCH TIES SHALL BE CAPABLE OF RESISTING, IN TENSION OR COMPRESSION, A MINIMUM HORIZONTAL FORCE EQUAL TO THE PRODUCT OF (2V/4) AND THE LARGER VERTICAL LOAD AT THE END OF EACH TIE.

GENERAL NOTES FOR INSTALLATION OF SMOKE DETECTORS

- Each dwelling unit shall be equipped with an approved type smoke detector device receiving primary power from the building wiring with no switches in the circuit other than current device protecting the branch circuit, as per Section C27-381.
- Smoke detectors must be either the ionization chamber type or the photo-electric detector type, as per Section C27-381 (New Code) (Sub-Division "B" and R6, 17-11 and R6, 17-12).
- All smoke detectors must be installed within 15'-0" of the entrance of any sleeping room, wall or ceiling mounted as indicated on plan, as per NFPA #74/1980.
- A Certificate of Satisfactory Installation for Smoke Detectors must be filed with the Division of Code Enforcement, H.P.D., (ten (10) days after installation).
- M.E.A. 37-94-E, ADA Approved - Audio & Visual Unit - "BRK Elect." Model 1005 (Required in all multiple family dwellings).
- In all occupancy groups approved and operational devices required in mechanical rooms, electrical switch gear rooms, electric and telephone closets over 75 square feet 3/4 section 27-979 (b) 6.
- All devices shall be accepted by the department of buildings or be listed by nationally accepted independent laboratory as meeting nationally recognized standards and as maintained by periodic follow up service to ensure continued compliance.

WALL LEGEND

XXXXXXXX DENOTES TWO HR RATED INTERIOR PARTITION CONSTRUCTED OF 22 GA. (20 GA. JAMBS AT ALL OPENINGS) 3-5/8" MTL. STUDS AT 16" O.C. WITH TWO LAYERS 5/8" G.W.B. TYPE 'X' EACH SIDE. IN WET AREAS USE MR. G.W.B. (GA FILE NO. WP 1522) B.S.A. No. 301-605M

===== DENOTES FURRED OUT 12" THICK CONCRETE FOUNDATION WALL WITH 3-5/8" MTL. STUDS AT 16" O.C. WITH ONE LAYER 5/8" G.W.B. OVER # 3 1/2" BATT INSULATION THROUGH-OUT STUD CAVITY

===== DENOTES NON-RATED NON BEARING PARTITION CONSTRUCTED OF 22 GA. 3-5/8" MTL. STUDS AT 16" O.C. WITH 1 LAYER 5/8" G.W.B. EACH. IN WET AREAS (BATH, KITCHEN AND LAUNDRY) USE MR. G.W.B. B.S.A. No. 171-529M

===== DENOTES FURRED OUT 4" BRICK # 4" 75% SOLID CMU EXTERIOR WALL, PROVIDED WITH TRUSS TYPE GALV. REINFORCING AT 16" O.C. VERTICALLY, # FURRED OUT W/22 GA. 3-5/8" MTL. STUDS AT 16" O.C. WITH 1 LAYER 5/8" G.W.B. EACH. IN WET AREAS (BATH, KITCHEN AND LAUNDRY) USE MR. G.W.B.

===== DENOTES FURRED OUT 4" BRICK # 8" 75% SOLID CMU EXTERIOR WALL, PROVIDED WITH TRUSS TYPE GALV. REINFORCING AT 16" O.C. VERTICALLY, # FURRED OUT W/22 GA. 3-5/8" MTL. STUDS AT 16" O.C. WITH 1 LAYER 5/8" G.W.B. EACH. IN WET AREAS (BATH, KITCHEN AND LAUNDRY) USE MR. G.W.B.

===== DENOTES EXISTING EXTERIOR WALL TO REMAIN

===== DENOTES EXISTING OPENING TO BE SEALED AND NEW FINISH TO BE MATCHED WITH EXISTING FINISH

CONTROLLED INSPECTION ITEMS:

ALL MATERIALS DESIGNATED FOR "CONTROLLED INSPECTION" SHALL BE INSPECTED AND/OR TESTED TO VERIFY COMPLIANCE WITH CODE REQUIREMENTS, UNLESS OTHERWISE SPECIFICALLY PROVIDED BY CODE PROVISIONS. ALL REQUIRED INSPECTIONS AND TESTS OF MATERIAL SHALL BE MADE AND/OR WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER

- RETAINED BY OR ON BEHALF OF THE OWNER OR LESSEE.
- BORINGS C27-720
- SUB-GRADE C27-723
- FIRESTOP C27-345
- MECHANICAL VENTILATION C27-779
- MASONRY UNITS RS 10-3 3.2
- CONCRETE TEST CYLINDERS C27-607A (1)
- STRUCTURAL STABILITY MEMO DATED OCTOBER 15, 1982.

LOT AREA : 13843.12 SQ. FT.

F.A.R. : 165 (RESIDENTIAL INFILL)

F.A.R. : 100 (COMMUNITY FACILITY)

F.A.R. : 200 (RESIDENTIAL + COMMUNITY FACILITY)

MAX. ALLOWABLE LOT COVERAGE : 55% (RESIDENTIAL)

MAX. ALLOWABLE F.A. (COMMUNITY FACILITY) = 13843.12 X 100 = 13843.12 SQ. FT.

MAX. ALLOWABLE F.A. (RESIDENTIAL) : 228415 SQ. FT.

EXISTING F.A. (COMMUNITY FACILITY)

FIRST FL. : 3407.58

PROPOSED F.A. (COMMUNITY FACILITY)

FIRST FL. : 5338.40

TOTAL EXISTING & PROPOSED F.A. (COMMUNITY FACILITY)

3407.58 + 5338.40 = 8805.98 < 13843.12 = OK

PROPOSED F.A. (RESIDENTIAL)

FIRST FL. : 0

SECOND FL. : 5253.25

THIRD FL. : 4513.58

FOURTH FL. : 4513.58

FIFTH FL. : 3304.71

TOTAL PROPOSED F.A. (RESIDENTIAL) : 17589.12 < 228415 SQ. FT. - OK

TOTAL PROPOSED F.A. (COMMUNITY FACILITY & RESIDENTIAL) = 263951 < 27686.24 SQ. FT. - OK

MAX. ALLOWABLE LOT COVERAGE : 13843.12 X 55 = 7613.71 SQ. FT.

ACTUAL LOT COVERAGE : 5253.25 < 7613.71 = OK

YARD REQUIREMENTS

FRONT YD. : NONE REQ'D AS PER ZR 35-51

SIDE YD. : NONE REQ'D AS PER ZR 35-52

REAR YD. : NONE REQ'D WITHIN 100'-0" OF CORNER AS PER ZR 23-541

HEIGHT REQUIREMENTS

MAX. HEIGHT OF BUILDING : SEE SKY EXPOSURE PLANE

PARKING REQUIREMENTS

66% OF TOTAL D.U.

TOTAL NO. OF D.U. : 17

17 X .66 = 11.22 = 11 PARKING SPACES REQ'D

ACTUAL NO. OF PARKING SPACES : 13 SPACES = OK

OPEN SPACE CALCULATIONS

MIN REQ'D OPEN SPACE : 45% = 6229.40 SQ. FT.

ACTUAL OPEN SPACE : 8589.86

TOTAL AREA OF PARKING & DRIVEWAY : 4087.48 SQ. FT.

MIN. REQ'D OPEN SPACE NOT TO BE USED FOR PARKING : .66

6229.40 X .66 = 4111.40 SQ. FT.

ACTUAL OPEN SPACE NOT USED FOR PARKING : 8589.86 - 4087.48 = 4502.38 > 4111.4 = OK

DENSITY ANALYSIS ZR 23-20

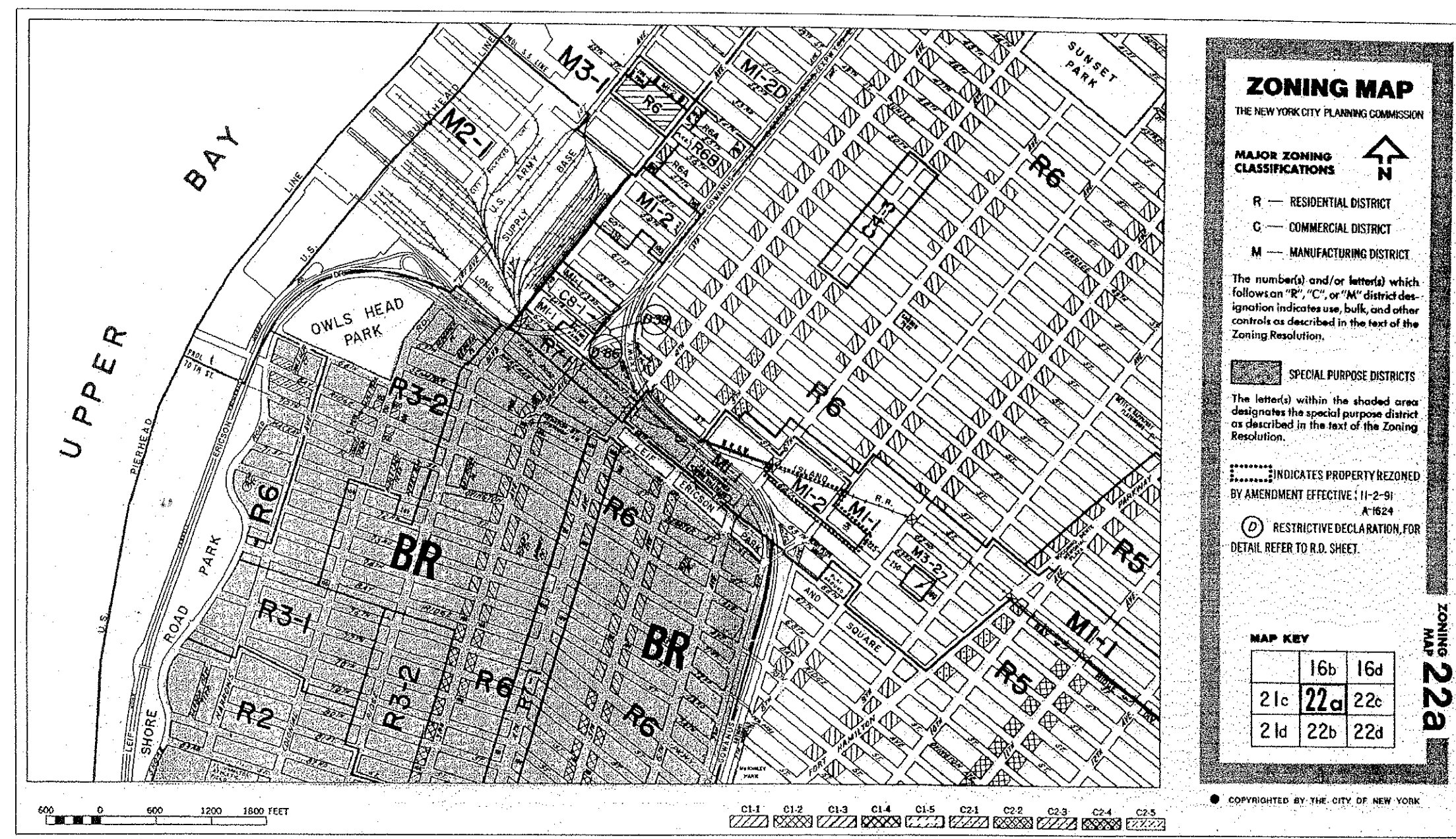
MAX. ALLOWABLE F.A. (RESIDENTIAL) : 21686.24 SQ. FT.

DENSITY FACTOR : 900

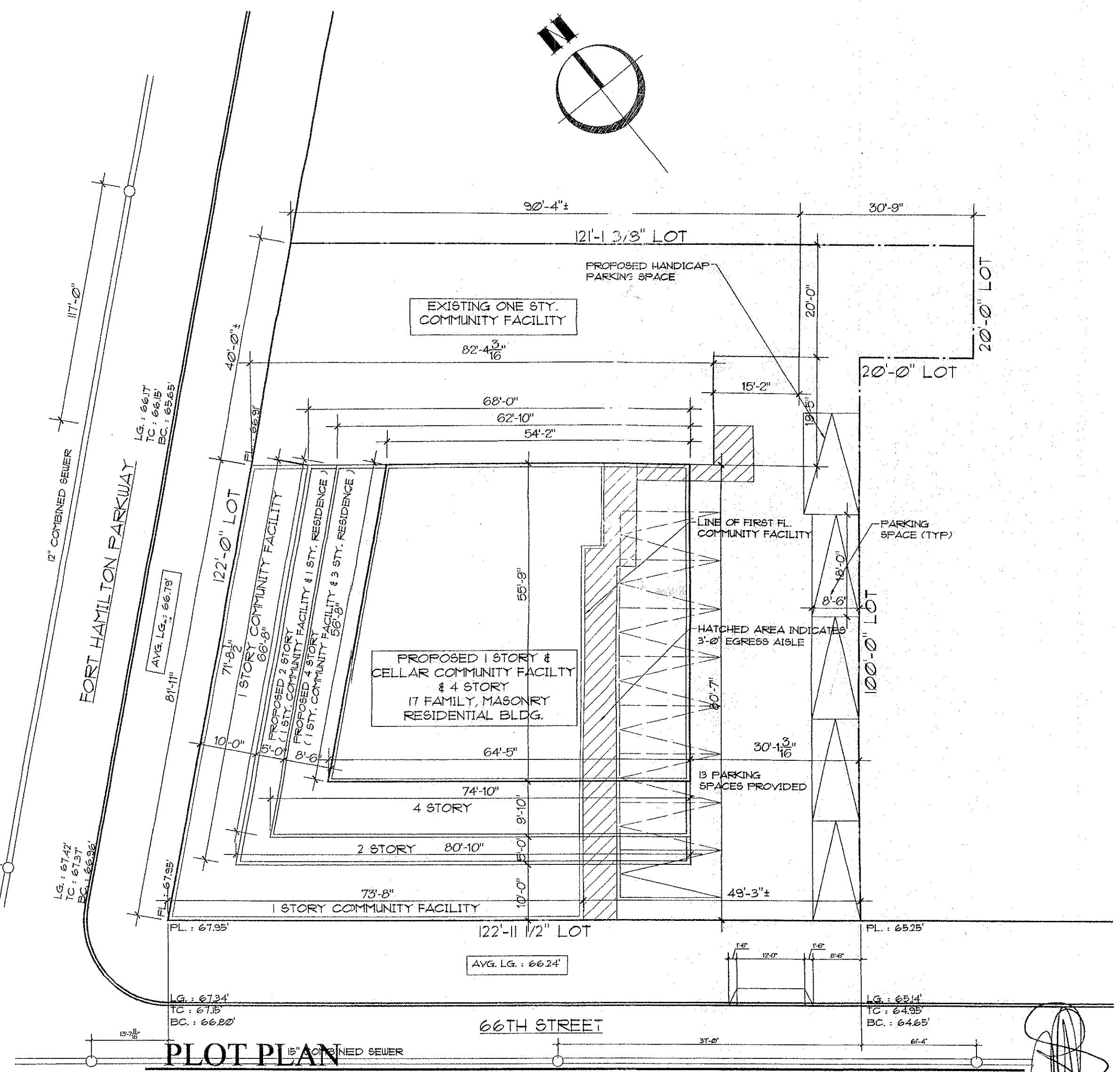
NO OF D.U. : 17

MAX. NO. OF D.U. : 21686.24/900 = 24 > 17 = OK

TABLE 3-4 CONSTRUCTION ELEMENT		CLASS I	CLASS II	CLASS III	CLASS IV	CLASS V
		Rating in Use	Rating in Use	Rating in Use	Rating in Use	Rating in Use
Exterior Wall	3'-0" or less	Non-bearing	N.P.	N.P.	N.P.	N.P.
	More than 3'-0" but less than 15'-0"	Bearing	35% steel	35% steel	35% steel	35% steel
Interior Wall	15'-0" or more but less than 30'-0"	Bearing	35% steel	35% steel	35% steel	35% steel
	30'-0" or more	Non-bearing	N.L.	N.L.	N.L.	N.L.
Interior bearing walls and bearing partitions.		See Article 5.				
Enclosure of vertical shafts, pits, corridors, elevators and stairs.		See Article 5.				
Fire divisions and fire separations.		See Article 5.				
Columns, girders, trusses (other than roof trusses)	Supporting more than one floor					
	Supporting more than one floor					
Structural members supporting a wall.		See Article 5.				
Floor construction including beams.		See Article 5.				
Roof construction including beams, trusses and framing.	15'-0" or less in height above floor to lowest member					
	15'-0" to 30'-0" in height above floor to lowest member					
20'-0" or more in height above floor to lowest member						



ZONING MAP 22A



PLOT PLAN

SCALE : 1/16" = 1'-0"

ADDRESS : 6511 FORT HAMILTON PARKWAY BLOCK : 5750 MAP NO : 22A

ZONE : C2-1 IN R5 (INFILL) LOT : 36  
NOTE : SPRINKLERS TO BE FILED UNDER SEPERATE APPLICATION.  
ELEVATORS TO BE FILED UNDER SEPERATE APPLICATION.  
MECHANICAL TO BE FILED UNDER SEPERATE APPLICATION.  
UNDERPINNING TO BE FILED UNDER SEPERATE APPLICATION.

DEPT. OF BUILDINGS - BROOKLYN  
APPL. NO. \_\_\_\_\_  
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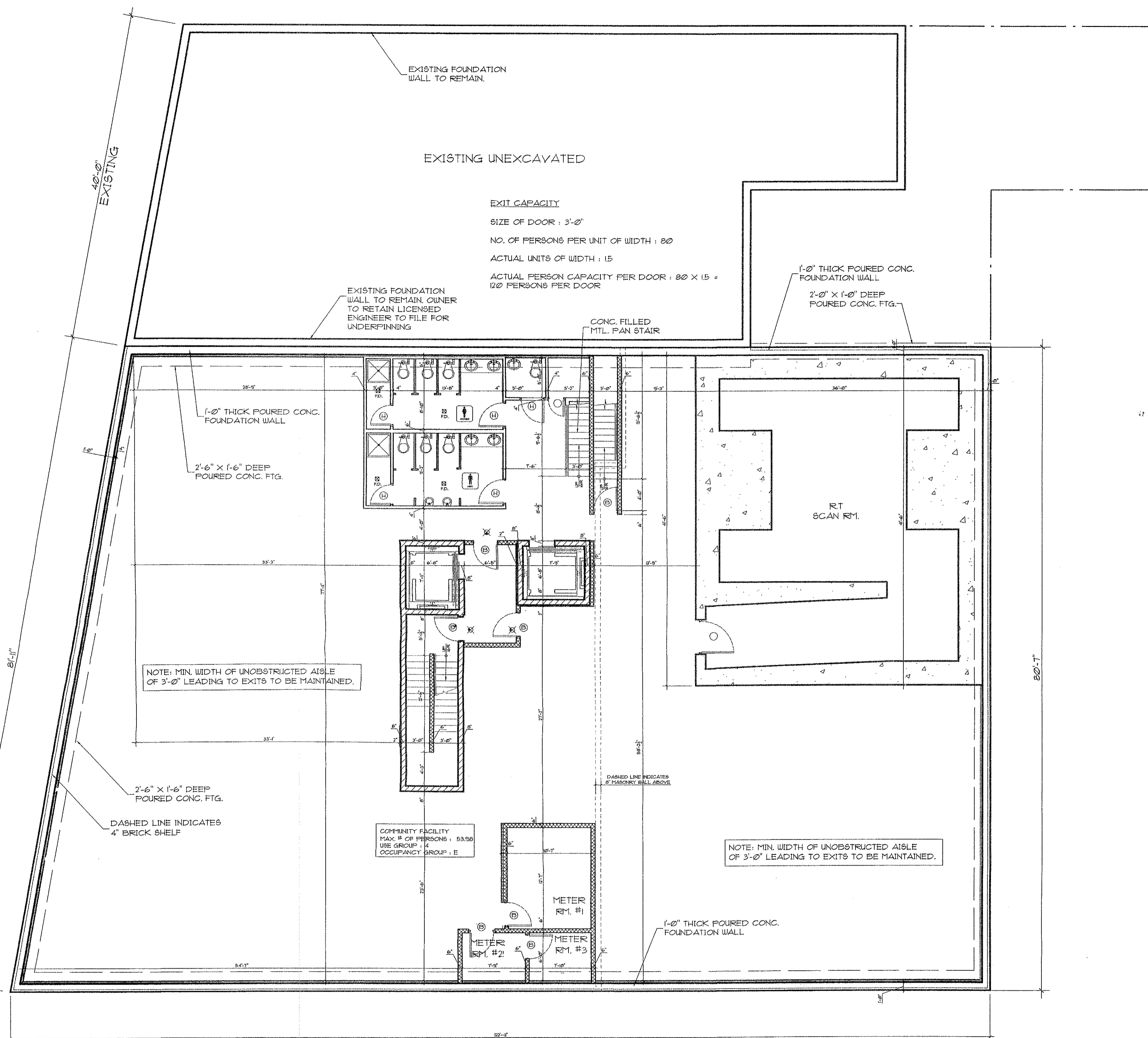
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PLOT PLAN  
PROPOSED ALTERATION TO 1 STORY MEDICAL BUILDING TO COMBINE W/ 3 STORY & PENTHOUSE BUILDING LOCATED @ 6511 FORT HAMILTON PARKWAY, BKLYN, N.Y.

REVISIONS:  
JAN 17 2003

PROJECT NO. 101-217  
DATE: 4/18/2002  
DRAWING No.: A1  
OF

FORT HAMILTON PARKWAY



66TH STREET

CELLAR FLOOR PLAN

SCALE 1/8" = 1'-0"

CELLAR PLAN NOTES

1. Always use dimensions as shown. Drawings not to be scaled.
2. F.D. Denotes floor drain.
3. H.R. Denotes handrail (shall comply with section C27-275(f)).
4. M.S. Denotes marble saddle.
5. Provide mechanical ventilation for interior baths/kitchenettes. For additional information, see note Number 6, drawing Number N-1.
6. Area of duct space not to exceed two (2) square feet. See partition legend, drawing Number D-1.
7. Storage room and garage ceiling to be provided with two (2) layers of fire code type "X" sheetrock (two hour fire rated).
8. Footings to sit on virgin undisturbed soil, having a minimum bearing capacity of two (2) tons per square foot.
9. Footing at front of building to be carried down below the level of house sewer, where house sewer passes through foundation wall.
10. Prior to the placement of cellar concrete floor slab, contractor shall retain a licensed Professional Engineer to determine the bearing capacity of the soil under the slab. His findings shall be reported to the Architect in writing. Any change in slab design from that shown on the approved, shall be filed as an Amendment by a Licensed Professional Engineer.
11. Provide web stiffeners where one piece of steel frames into another.
12. For construction of bearing partitions, where applicable, see partition Legend Drawing Number D-1.
13. Fireproof all interior columns per Detail , where applicable.

NOTE : BRICOLAGE DESIGNS IS NOT RESPONSIBLE FOR STRUCTURAL ENGINEERING (WHICH IS THE RESPONSIBILITY OF HERTZBERG AND SANCHEZ AND IS PART OF THIS APPLICATION)

BRICOLAGE DESIGNS IS NOT RESPONSIBLE FOR DETAILS OR CONSTRUCTION TO PROVIDE SHIELDING FROM RADIOACTIVITY DUE TO MRI OR CAT SCAN EQUIPMENT. THE DRAWINGS AND DETAILS FOR THIS TYPE OF SHIELDING ARE TO BE FILED BY A NY STATE LICENSED ARCHITECT OR PROFESSIONAL ENGINEER RETAINED BY OWNER AND SHALL BE FILED UNDER A SEPERATE APPLICATION WITH THE DEPT. OF BUILDINGS PRIOR TO THE INSTALLATION OR USAGE OF SUCH EQUIPMENT.

DEPT. OF BUILDINGS - BROOKLYN

APPL. NO. \_\_\_\_\_

NO. SHEETS FILED \_\_\_\_\_

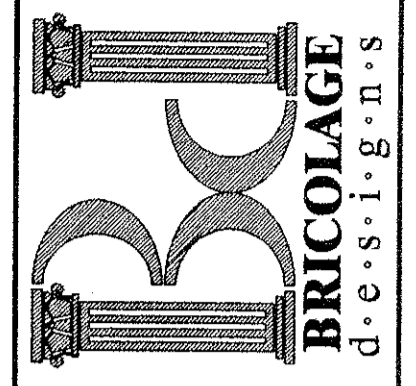
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JAN 17 2003

ARCHITECT  
 PLANNER  
 CONSULTANT

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PROPOSED ALTERATION TO 1 STORY MEDICAL BUILDING TO COMBINE W/ 3 STORY & PENTHOUSE BUILDING LOCATED @ 6511 FORT HAMILTON PKWY. BKLYN, N.Y.

REVISIONS:

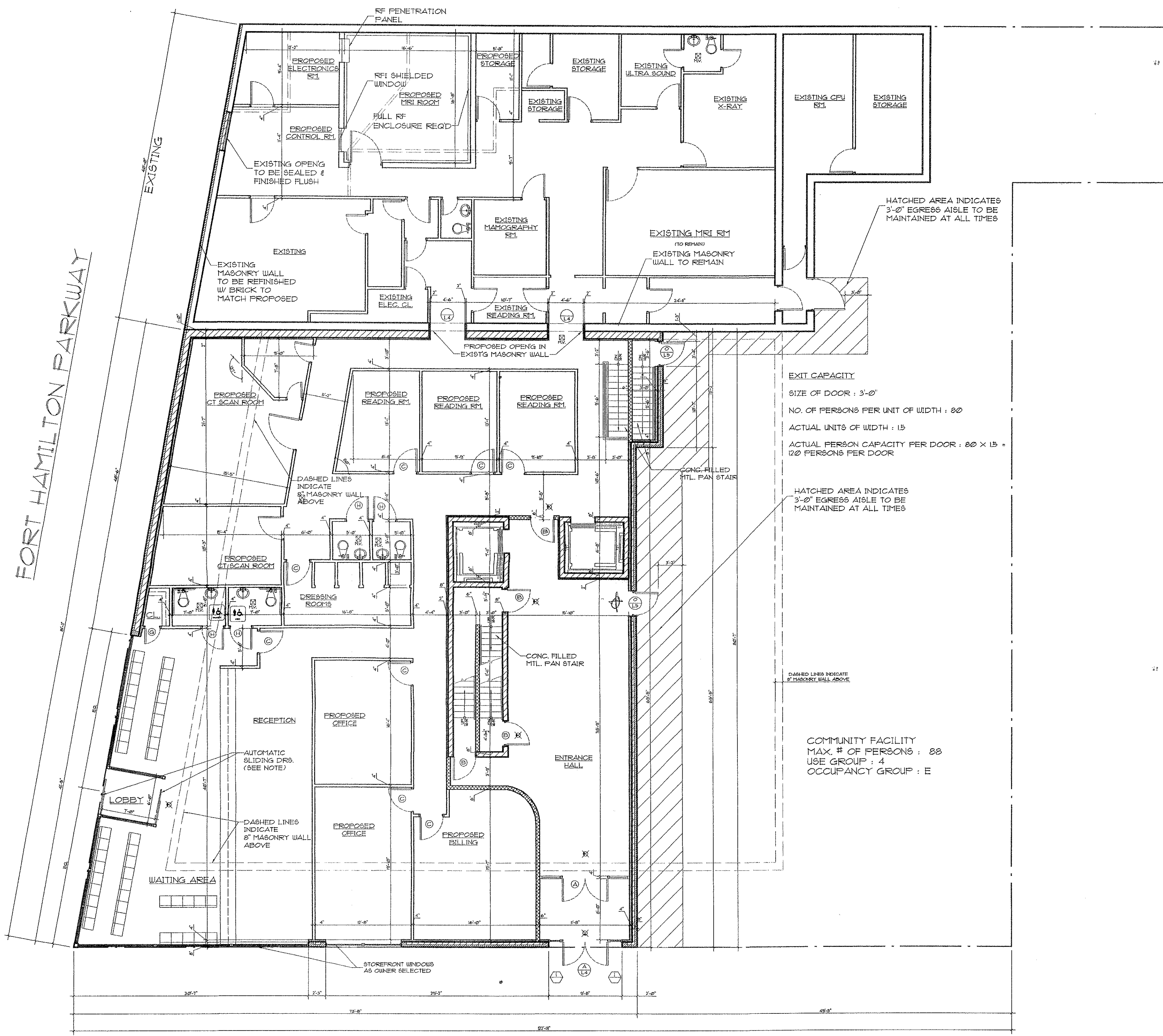
PROJECT NO.: 01-217

DATE: 4/18/2002

DRAWING No.:

A2

OF



FORT HAMILTON PARKWAY

66TH STREET

**FIRST FLOOR PLAN**

SCALE 1/8" = 1'-0"

EXIT CAPACITY  
 SIZE OF DOOR : 6'-0"  
 NO. OF PERSONS PER UNIT OF WIDTH : 80  
 ACTUAL UNITS OF WIDTH : 3  
 ACTUAL PERSON CAPACITY PER DOOR : 80 X 3 = 240 PERSONS PER DOOR

AUTOMATIC SLIDING DOOR TO BE A FIREFRAME SLIDING DOOR BY FORSTER MEA# 242-00-M OR APPROVED TYPE EQUAL AS PER OWNER'S SELECTION.

COMMUNITY FACILITY  
 MAX. # OF PERSONS : 80  
 USE GROUP : 4  
 OCCUPANCY GROUP : E

EXIT CAPACITY  
 SIZE OF DOOR : 3'-0"  
 NO. OF PERSONS PER UNIT OF WIDTH : 80  
 ACTUAL UNITS OF WIDTH : 15  
 ACTUAL PERSON CAPACITY PER DOOR : 80 X 15 = 120 PERSONS PER DOOR

**FLOOR PLAN NOTES**

1. Always use dimensions as shown. Drawings not to be scaled.
2. F.D. Denotes floor drain.
3. Refer to general notes sheet drawing Number N-1 for U.L. listed, hard-wired, smoke detectors.
4. H.R. Denotes handrail (shall comply with Section C27-275(f)).
5. M.S. Denotes marble saddle.
6. Provide mechanical ventilation for interior baths/kitchenettes. For additional information, see Note Number 60, Drawing Number N-1.
7. Area of duct space not to exceed two (2) square feet. See partition Legend, Drawing Number D-1.
8. Floor joist under bathroom/lavatory areas and kitchen/kitchenette to be spaced maximum 12" O.C.
9. All window openings exceeding 4'-0" (except where indicated on Plans) to have 12" brick returns. All other window openings (except where noted on Plans) to have 4" brick returns.
10. All exterior surfaces to be brick.
11. For construction of bearing partitions, where applicable, see partition Legend.
12. Fireproof all interior columns as per Detail, where applicable.
13. Sprinkler Notes on plumbing section. In all public hallways or stairwells no two sprinkler heads shall be more than 15'-0" apart and no one sprinkler head shall be more than 7'-6" away from any wall.

**GENERAL NOTES FOR INSTALLATION OF SMOKE DETECTORS**

1. Each dwelling unit shall be equipped with an approved type smoke detector device receiving primary power from the building wiring with no switches in the circuit other than current device protecting the branch circuit, as per Section C27-981.
2. Smoke detectors must be either the ionization chamber type or the photo-electric detector type, as per Section C27-981 (New Code) (Sub-Division "b" and R.S. (7-1) and R.S. (7-2)).
3. All smoke detectors must be installed within 15'-0" of the entrance of any sleeping room, wall or ceiling mounted as indicated on plan, as per NFPA #74/1000.
4. A Certificate of Satisfactory Installation for Smoke Detectors must be filed with the Division of Code Enforcement, H.P.D., (ten (10) days after installation).
5. M.E.A. 37-34-E, ADA Approved - Audio & Visual Unit - "BRK Elect" Model 100S (Required in all multiple family dwellings).
6. In all occupancy groups - approved and operational devices required in mechanical rooms, electrical switch gear rooms, electric and telephone closets over 75 square feet (Section 27-979 (b) 3/4).
7. All devices shall be accepted by the department of buildings or be listed by nationally accepted independent laboratory as meeting nationally recognized standards and as maintained by periodic follow up service to ensure continued compliance.

**ELEVATOR NOTES**

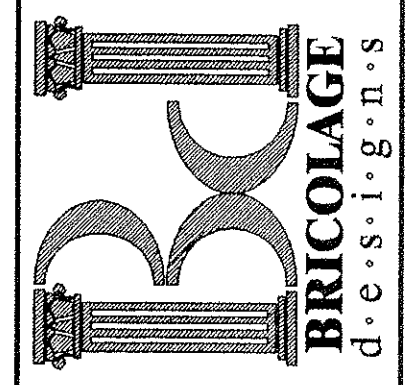
- A. ARCHITECT IS NOT RESPONSIBLE FOR THE SIZE, TYPE OR DESIGN OF ELEVATORS OR ELEVATOR FIT SIZE OR DEPTH.
- B. THE OWNER AND CONTRACTOR ARE TO HIRE A LICENSED ELEVATOR CONTRACTOR TO FILE, OBTAIN APPROVAL, OBTAIN AN ELEVATOR PERMIT, AND OBTAIN SIGNOFF BY THE ELEVATOR DIVISION OF THE DEPARTMENT OF BUILDINGS.
- C. NO BUILDING EXCAVATION OR FABRICATION OF STRUCTURAL MEMBERS IS TO PROCEED WITHOUT AN APPROVAL OF ELEVATOR DRAWINGS BY THE ELEVATOR DIVISION OF THE DEPARTMENT OF BUILDINGS.

NOTE : BRICOLAGE DESIGNS IS NOT RESPONSIBLE FOR STRUCTURAL ENGINEERING (WHICH IS THE RESPONSIBILITY OF HERTZBERG AND SANCHEZ AND IS PART OF THIS APPLICATION)  
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*RAFAELVADE.SALU*

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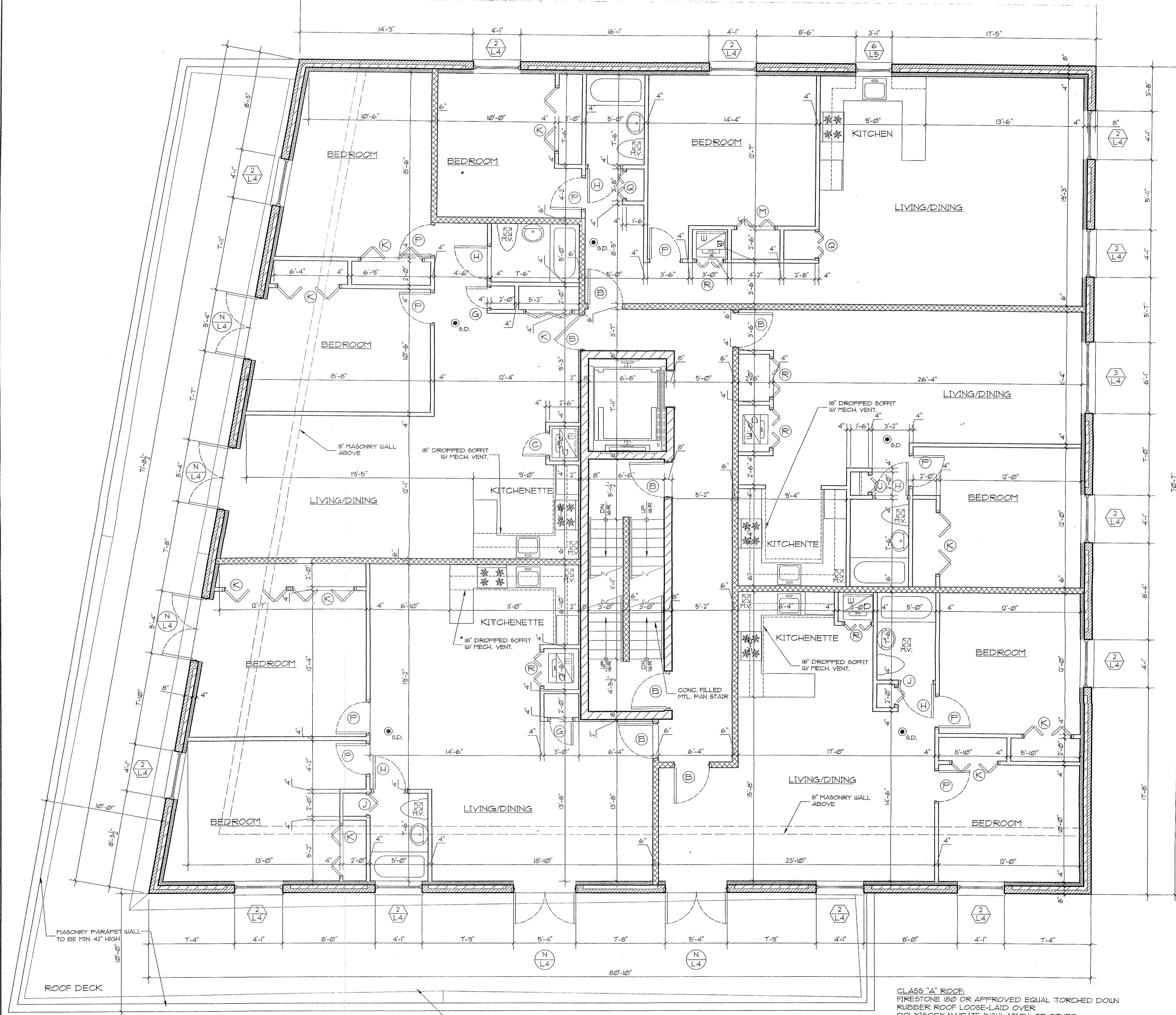
REVISIONS:

*Janey Prackley*

PROJECT NO. 01-217  
 DATE: 4/18/2002

DRAWING NO.: A3

OF



**SECOND FLOOR PLAN**

SCALE 1/4" = 1'-0"

CLASS "A" ROOF:  
 FIRESTONE 120 OR APPROVED EQUAL TORCHED DOWN  
 RUBBER ROOF LOOSE-LAID OVER  
 POLYISOCYANURATE INSULATION, OR OTHER  
 MANUFACTURER ACCEPTABLE INSULATION TYPE  
 5PLICE W/HIGH STRENGTH SEAM TAPE

**DOOR SCHEDULE:**

NO.	WIDTH	HEIGHT	TYPE	REMARKS
A	6'-0"	6'-8"	FO/AS	ENTRANCE DOOR (DOUBLE DOOR)
B	3'-0"	6'-8"	FO/AS	FP/SC
C	3'-0"	6'-8"	FO/AS	
D	2'-0"	6'-8"	FO/AS	
E	4'-0"	6'-8"	FO/AS	
F	2'-6"	6'-8"	FO/AS	
G	2'-0"	6'-8"	FO/AS	
H	2'-0"	6'-8"	FO/AS	1/2" UNDERCUT
I	2'-0"	6'-8"	FO/AS	1/2" UNDERCUT
J	1'-6"	6'-8"	FO/AS	
K	5'-0"	6'-8"	FO/AS	BIFOLD
L	4'-0"	6'-8"	FO/AS	BIFOLD
M	3'-0"	6'-8"	FO/AS	BIFOLD
N	3'-0"	6'-8"	FO/AS	DOUBLE DOOR (EXTERIOR)
O	3'-0"	6'-8"	FO/AS	EXTERIOR DOOR
P	2'-8"	6'-8"	FO/AS	
Q	2'-0"	6'-8"	FO/AS	BIFOLD
R	3'-0"	6'-8"	FO/AS	BIFOLD

- Notes:  
 - FO/AS - Per Owner/Architect Specification  
 - All doors as per Owner's selection unless otherwise noted.  
 - All doors to have callouts for hardware as selected by Owner.  
 - All exterior doors to be provided with weather-stripping and interlocking metal saddles.  
 - All exterior wood doors to be water-resistant preservative treated.  
 - All apartment entrance doors to be provided with B.S.A. approved type peepholes.

**WINDOW SCHEDULE:**

NO.	UNIT SIZE	HEIGHT	DESIGNATION	AFF.	REMARKS
1	1'-6"	4'-11"	CNB	2'-6"	CASEMENT
2	4'-0"	4'-11"	C2B	2'-6"	CASEMENT
3	5'-11"	4'-11"	C3B	2'-6"	CASEMENT
4	2'-11"	4'-11"	CXUB	2'-6"	CASEMENT
5	2'-11"	4'-11"	CUB	2'-6"	CASEMENT
6	2'-11"	2'-11"	CXUB	2'-6"	CASEMENT
7	5'-1 3/4"	4'-11"	CNB-3	2'-6"	CASEMENT

- Notes:  
 - AFF. = Above Finished Floor  
 - All windows specified as shown per Marvin Windows Corp. specifications  
 - All windows to be double insulated glass

DEPT. OF BUILDINGS - BROOKLYN  
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PROJECT NO.: 01-217  
 DATE: 4/18/2002  
 DRAWING No.: **A4**

ARCHITECT  
 PLANNER  
 CONSULTANT

**BRICOLAGE**  
 d · c · s · i · g · n · s

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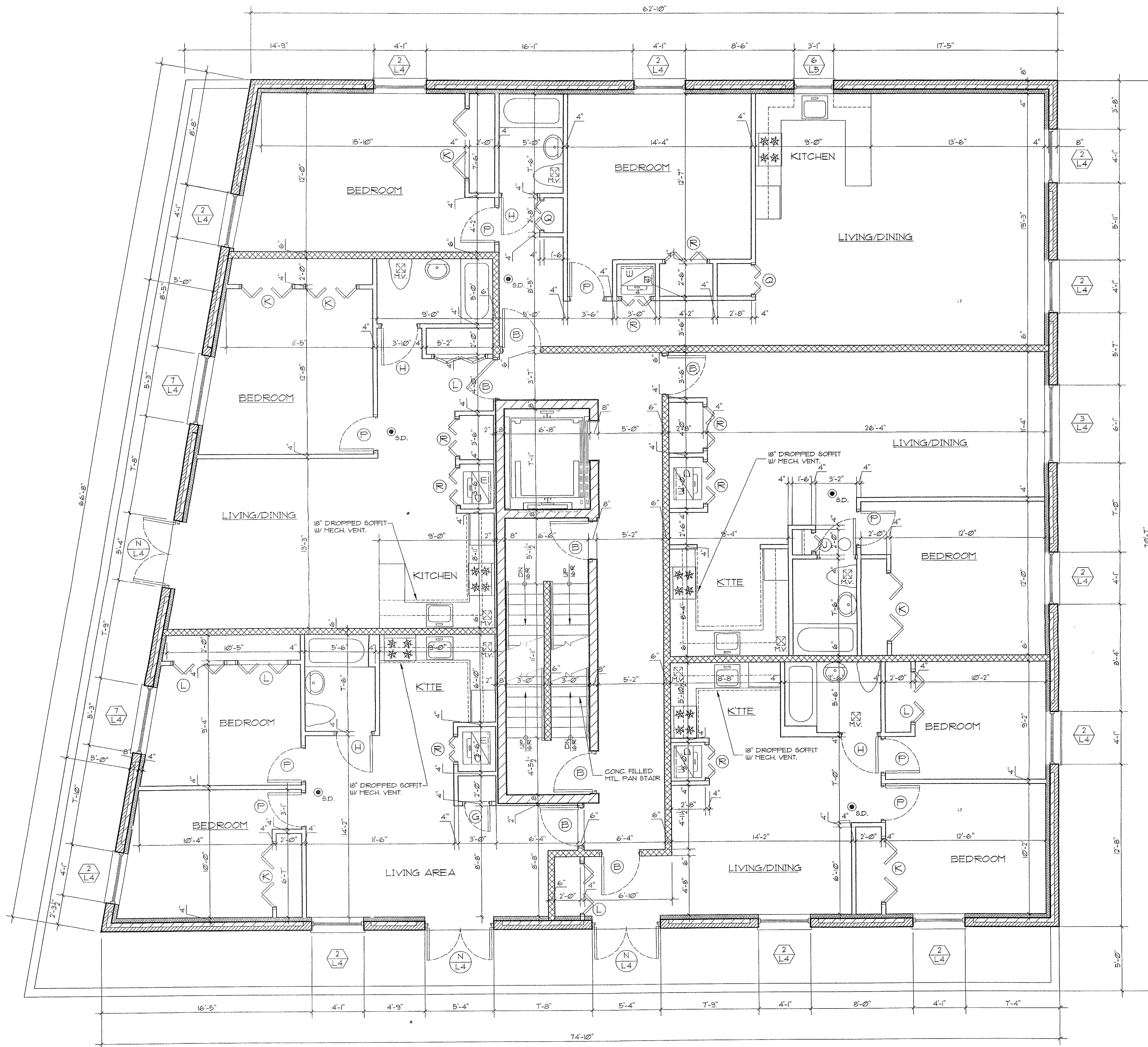
PROPOSED ALTERATION TO 1 STORY MEDICAL  
 BUILDING LOCATED @  
 6311 FORT HAMILTON PKWY.  
 BKLYN, N.Y.

REVISIONS:

PROJECT NO.: 01-217  
 DATE: 4/18/2002  
 DRAWING No.: **A4**  
 OF

THIRD FLOOR PLAN

SCALE 1/4" = 1'-0"



CLASS "A" ROOF:  
 FIRESTONE 180 OR APPROVED EQUAL TORCHED DOWN  
 RUBBER ROOF LOOSE-LAID OVER  
 POLYISOCYANURATE INSULATION OR OTHER  
 MANUFACTURER ACCEPTABLE INSULATION TYPE  
 SPLICE W/HIGH STRENGTH SEAM TAPE

DOOR SCHEDULE:

NO.	WIDTH	HEIGHT	TYPE	REMARKS
A	6'-0"	6'-8"	F/O/A.S.	ENTRANCE DOOR (DOUBLE DOOR)
B	3'-0"	6'-8"	F/O/A.S.	F.P.S.C.
C	3'-0"	6'-8"	F/O/A.S.	
D	2'-0"	6'-8"	F/O/A.S.	
E	4'-0"	6'-8"	F/O/A.S.	
F	2'-6"	6'-8"	F/O/A.S.	
G	2'-0"	6'-8"	F/O/A.S.	
H	2'-0"	6'-8"	F/O/A.S.	1/2" UNDERCUT
I	2'-0"	6'-8"	F/O/A.S.	1/2" UNDERCUT
J	1'-6"	6'-8"	F/O/A.S.	
K	1'-6"	6'-8"	F/O/A.S.	BIFOLD
L	4'-0"	6'-8"	F/O/A.S.	BIFOLD
M	3'-0"	6'-8"	F/O/A.S.	BIFOLD
N	15'-0"	6'-8"	F/O/A.S.	DOUBLE DOOR (EXTERIOR)
O	3'-0"	6'-8"	F/O/A.S.	EXTERIOR DOOR
P	2'-0"	6'-8"	F/O/A.S.	BIFOLD
Q	2'-0"	6'-8"	F/O/A.S.	BIFOLD
R	3'-0"	6'-8"	F/O/A.S.	BIFOLD

Notes:

- F/O/A.S. - Per Owner/ Architect Specification
- All Doors as per Owner's selection unless otherwise noted.
- All doors to have cutouts for hardware as selected by Owner
- All exterior doors to be provided with weather-stripping and interlocking metal saddles
- All exterior wood doors to be water-resistant preservative treated
- All apartment entrance doors to be provided with B.S.A. approved type peepholes

WINDOW SCHEDULE:

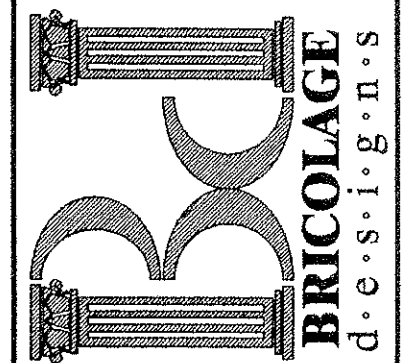
NO.	WIDTH	UNIT SIZE	HEIGHT	UNIT DESIGNATION	AFF.	REMARKS
1	1'-6"		4'-11"	CN5	2'-6"	CASEMENT
2	4'-0"		4'-11"	C25	2'-6"	CASEMENT
3	5'-11 1/2"		4'-11"	C35	2'-6"	CASEMENT
4	2'-11 1/2"		4'-11"	CX11B	2'-6"	CASEMENT
5	2'-11 1/2"		4'-11"	C11B	2'-6"	CASEMENT
6	2'-11 1/2"		2'-11 1/2"	CX11B	2'-6"	CASEMENT
7	5'-1 1/2"		4'-11"	CN5-3	2'-6"	CASEMENT

Notes:

- AFF. = Above Finished Floor
- All windows specified as shown per Marvin Windows Corp. specifications
- All windows to be double insulated glass

PAFEE ADE-SALU  
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ARCHITECT  
 PLANNER  
 CONSULTANT



6321 New Utrecht Ave.  
 Brooklyn, N.Y. 112  
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 Fax. 718.259-01

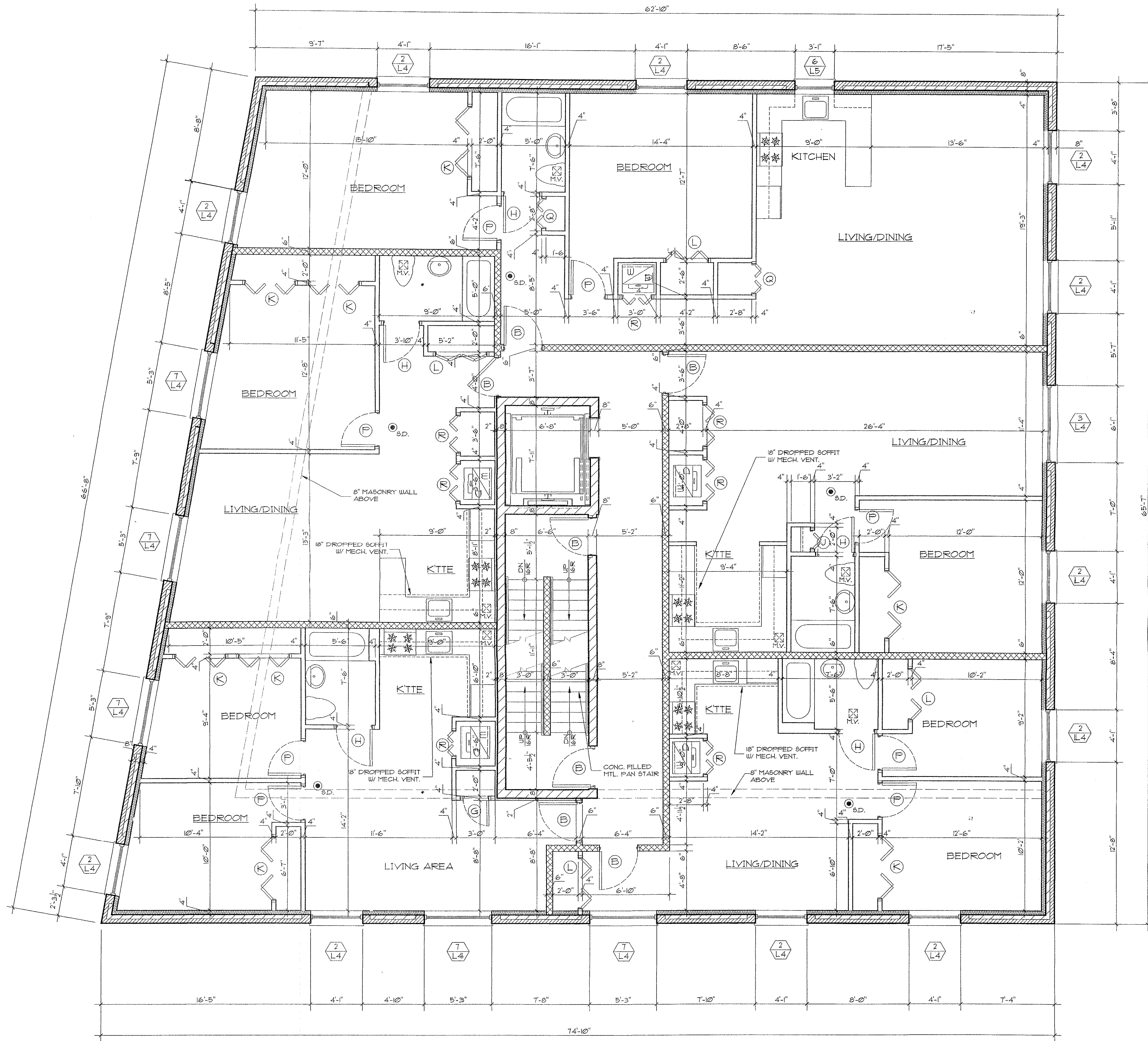
PROPOSED ALTERATION TO 1 STORY MEDICAL  
 BUILDING TO FORMER W-3 STUDY & PENTHOUSE  
 BUILDING LOCATED AT  
 6511 FORT HAMILTON PKWY.  
 BROOKLYN, N.Y.

REVISIONS:

PROJECT NO.: 01-217  
 DATE: 4/18/2002  
 DRAWING No.:  
**A5**  
 OF

FOURTH FLOOR PLAN

SCALE 1/4" = 1'-0"



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PROJECT NO.: 01-217  
 DATE: 4/18/2002  
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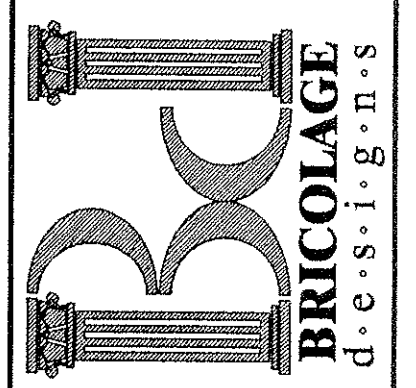
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OF

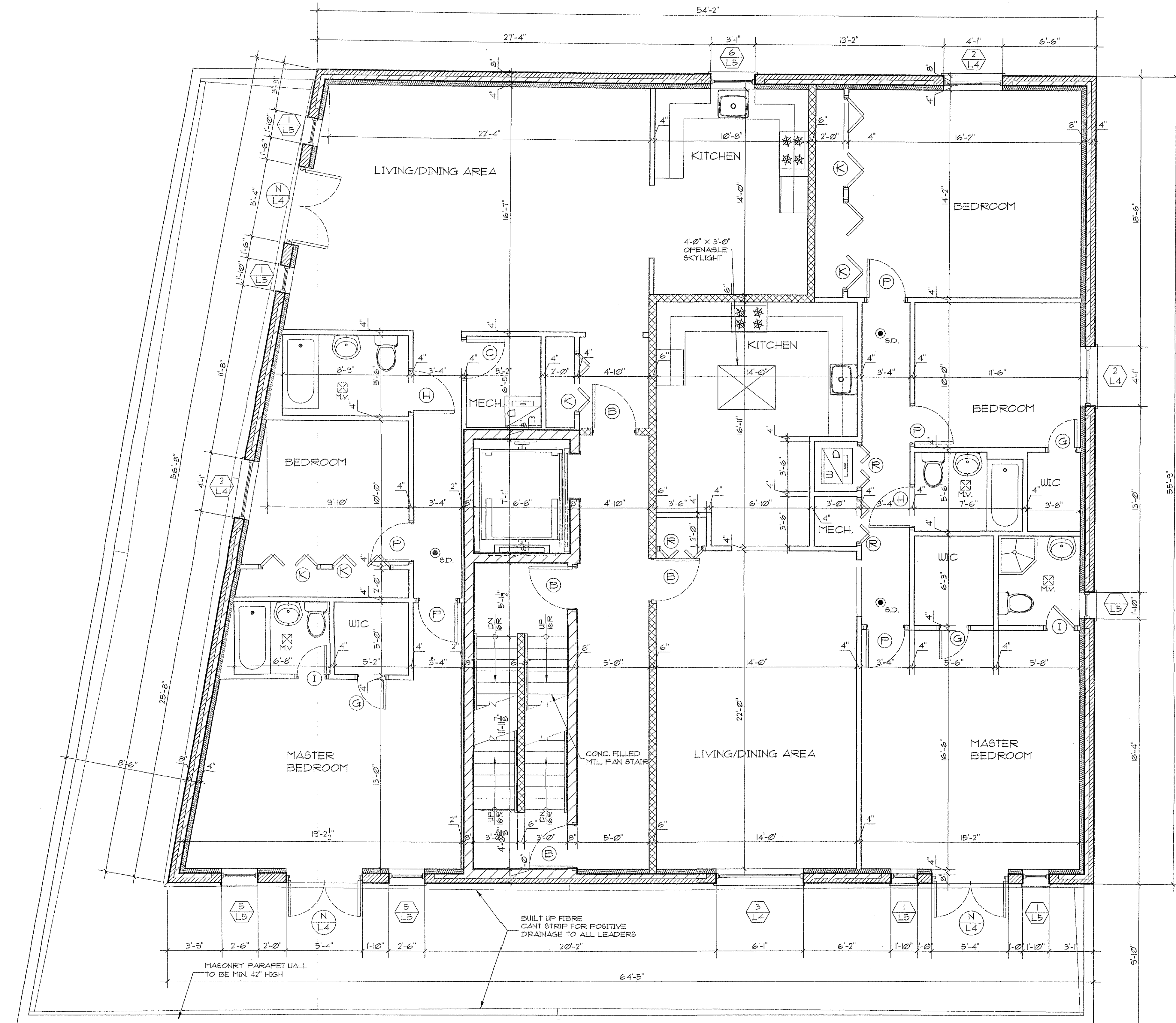
REVISIONS:

PROPOSED ALTERATION TO 1 STORY MEDICAL BUILDING TO COMBINE W/ 3 STORY & PENTHOUSE BUILDING LOCATED @ 6511 FORT HAMILTON PKWY. BKLYN, N.Y.

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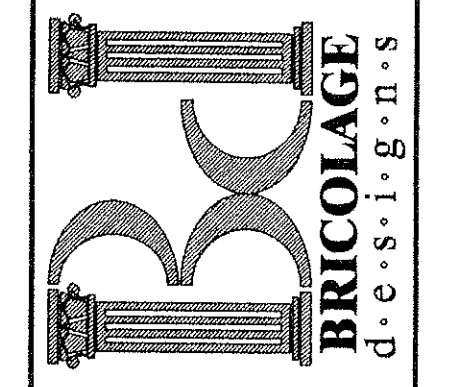


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 RUBBER ROOF LOOSE-LAID OVER  
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 MANUFACTURER ACCEPTABLE INSULATION TYPE  
 SPLICE WITH HIGH STRENGTH SEAM TAPE

FIFTH FLOOR PLAN

SCALE 1/4" = 1'-0"

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PROPOSED ALTERATION TO 1 STORY MEDICAL BUILDING TO COMBINE W/3 STORY & PENTHOUSE BUILDING LOCATED @ 6311 FORT HAMILTON PKWY. BKLXN, N.Y.

REVISIONS:


PROJECT NO. 01-217  
 DATE: 4/18/2002

DRAWING No.:  
**A7**  
 OF

DEPT. OF BUILDINGS - BROOKLYN  
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 HAFEED ADE-SALU  
 JAN 17 2003

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PROPOSED ALTERATION TO 1 STORY MEDICAL BUILDING TO COMBINE W/3 STORY & PENTHOUSE BUILDING LOCATED @ 6511 FORT HAMILTON PKWY. BKLYN, NY

REVISIONS:

DEPT. OF BUILDINGS - BROOKLYN

APPL. NO. \_\_\_\_\_

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PROJECT NO.: 01-217

DATE: 4/18/2002

DRAWING No.: **A8**

OF \_\_\_\_\_

**ROOF NOTES**

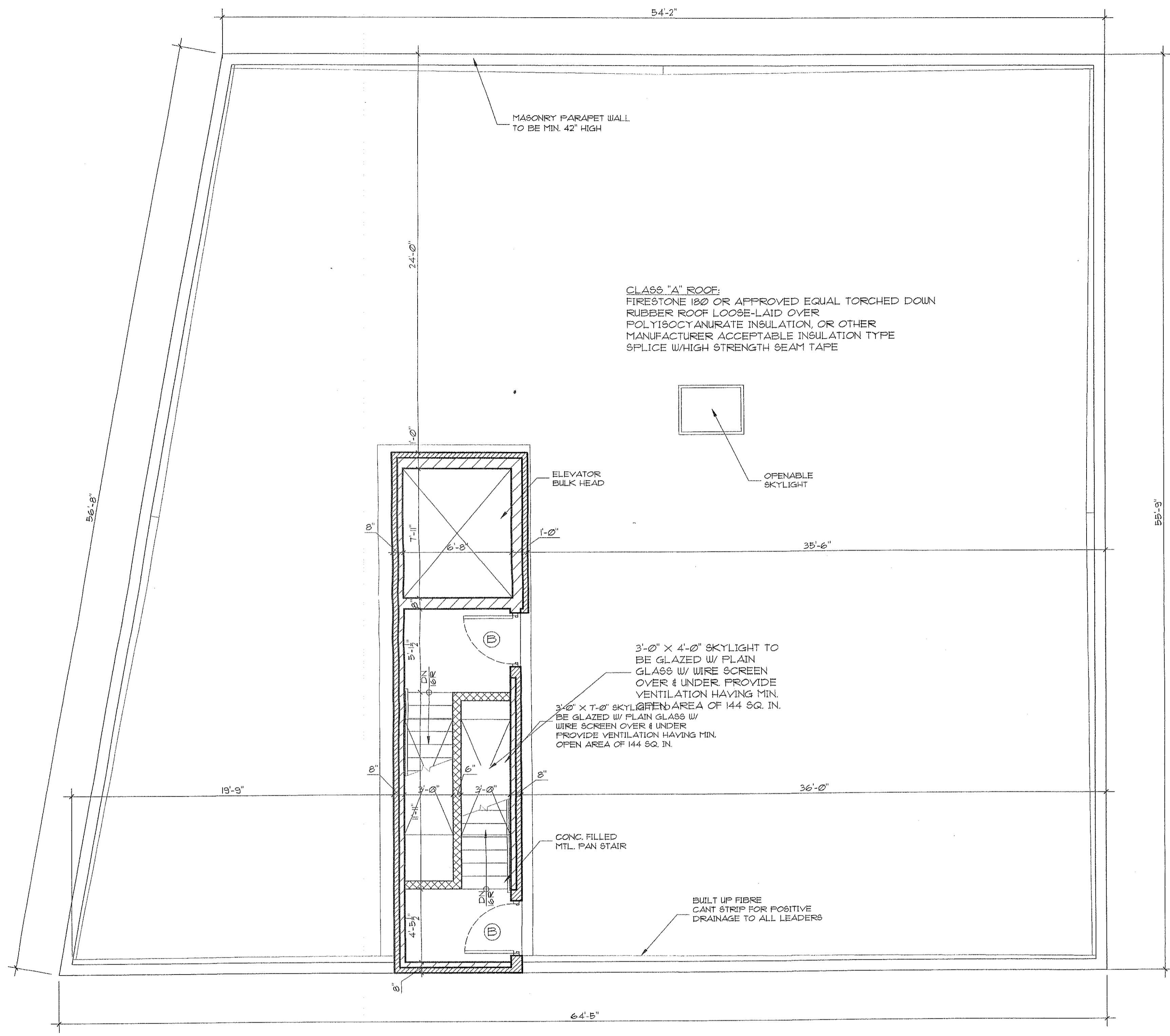
1. ALL SHIPMENTS AND DELIVERIES OF MATERIALS SHALL BE ACCOMPANIED BY A CERTIFICATE OR LABEL CERTIFYING THAT THE MATERIALS SHIPPED OR DELIVERED ARE EQUIVALENT TO THOSE TESTED AND ACCEPTED FOR USE AS PROVIDED FOR IN SUB-ARTICLE 106.0 OF THE BUILDING CODE. THE SINGLE-FLY RUBBER ROOF COVERING MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS FOR LAYING SUPPLIED BY THE MANUFACTURERS AND AT SLOPES NOT EXCEEDING VALUE AS PER MANUFACTURERS SPECIFICATIONS.
2. IT SHALL BE THE RESPONSIBILITY OF THE ROOFING CONTRACTORS TO PROVIDE A WATERTIGHT CONDITION AND INSTALLATION.
3. INSTALLATION OF ROOFING SHALL BE IN CONFORMANCE WITH MANUFACTURERS SPECIFICATIONS (LATEST EDITION).
4. DECK AND ROOFING SHALL BE PROTECTED FROM WEATHER DURING STORAGE AND INSTALLATION AND MUST BE DRY AT THE TIME OF ROOFING INSTALLATION.
5. DECK SHALL BE PROTECTED FROM DAMAGE DUE TO MOISTURE BY PROVIDING ADEQUATE VENTILATION DURING BUILDING CONSTRUCTION.
6. ALL PLYWOOD WOOD DECKS SHALL BE EXTERIOR GRADE AND SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PLYWOOD ASSOCIATION AND LATEST EDITION OF MANUFACTURERS SPECIFICATIONS.
7. CANT STRIPS SHALL BE FIRMLY ATTACHED AT AN ANGLE AT THE JUNCTION BETWEEN THE ROOF AND DECK AND VERTICAL SURFACE.
8. SUITABLE COUNTER FLASHING SHALL BE PROVIDED TO COVER THE TOP EDGE OF COMPOSITION BASE FLASHING BY A MINIMUM OF 4".
9. MINIMUM OF 1/4" PER FOOT PITCH SHALL BE PROVIDED.
10. "P" DENOTES 4" x 4" WOOD POST FOR RAFTER MEETING SUPPORT - TO REST ON DOUBLE 3" x 10" CEILING JOIST SPIKED THRU PROVIDE ALUM. FLASHING & COUNTER FLASHING WITH CANT STRIP AT MASONRY/ROOF JUNCTURE CARRY UP FLASHING MIN. 8" ON PARAPET WALL.

**SMOKE EXHAUST FAN NOTES:**

1. 12" x 12" CG & UP TO SMOKE EXHAUST FAN AT ROOF DAYTON MODEL 4C097, CFM = 590 AT 2" S.F. HP = 1/6, 115 V. 1 Ø.F. MOTOR, AND COMPLETE WITH PRE-FAB CURB, BIRD SCREEN, BACKDRAFT DAMPER & DISCONNECT SWITCH.
2. UPON ACTIVATION THE SMOKE DETECTORS SHALL AUTOMATICALLY START THE SMOKE EXHAUST FAN.
3. THE SMOKE EXHAUST FAN & DETECTORS SHALL BE SUPPLIED BY A CIRCUIT CONNECTED AHEAD OF THE MAIN DISCONNECT SWITCH. THE INTAKE AND EXHAUST MOTORIZED DAMPER SHALL BE INTERLOCKED WITH THE SMOKE EXHAUST FAN.
4. THE INSTALLATION SHALL COMPLY WITH APPLICABLE SECTION OF RS - 5.17.

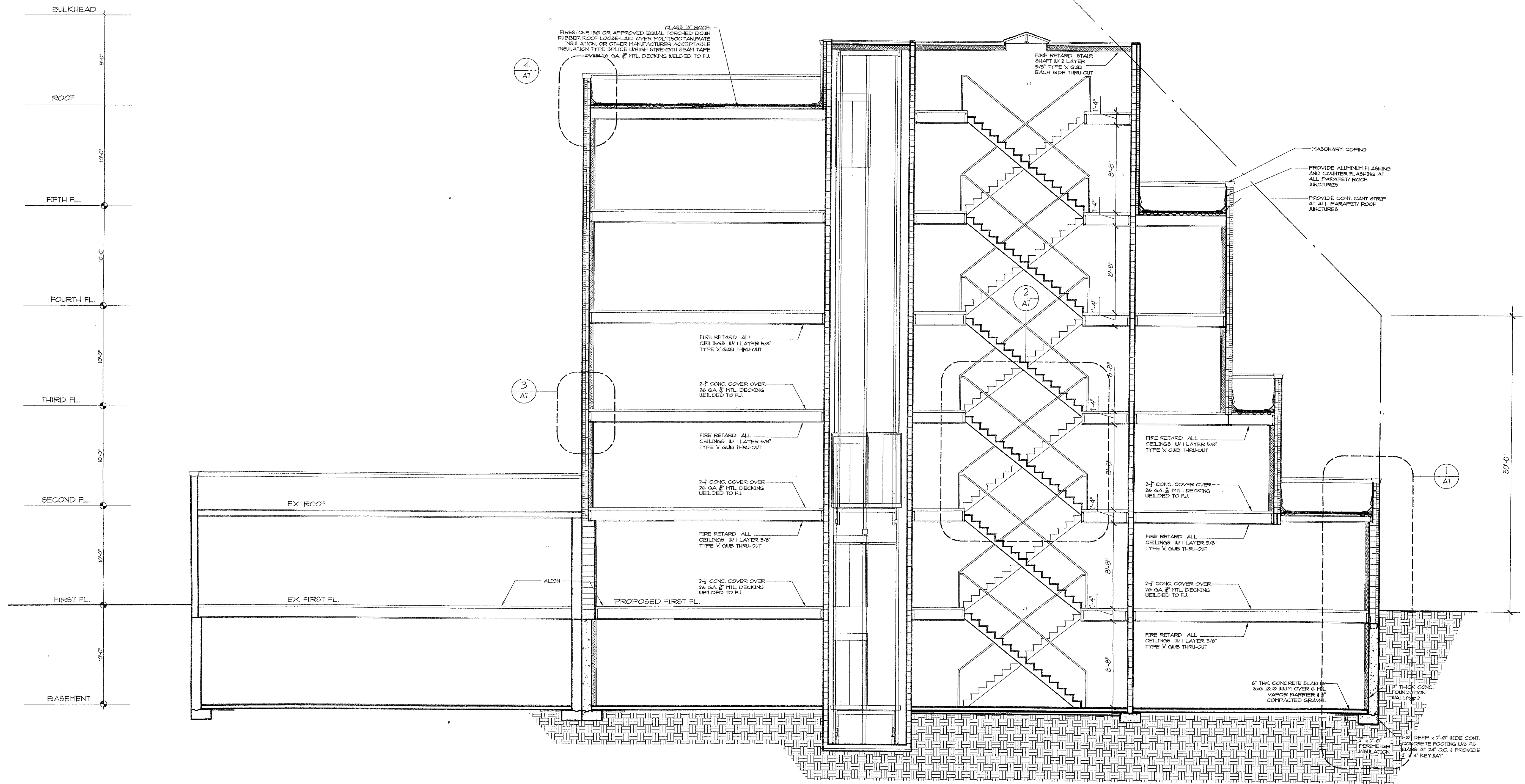
**SKYLIGHT NOTES**

1. SKYLIGHT TO COMPLY WITH SECT. 27-338 (D)
2. SKYLIGHT TO BE DESIGNED AND CONSTRUCTED TO WITHSTAND A LIVE LOAD OF 30 LBS./SQ.FT.
3. SKYLIGHT TO BE 2'-0" x 4'-0" GLAZED WITH PLAIN GLASS (1/8") WITH WIRE SCREEN OVER AND UNDER AND PROVIDED WITH FIXED MOVABLE VENTILATORS MIN. 40 SQ.IN. AS PER SECT. 27-375 (1) AND SECT. 27-338 (D)



**ROOF PLAN**  
SCALE 1/4" = 1'-0"





CROSS SECTION

SCALE 3/16" = 1'-0"

SECTION NOTES

1. FIRE RETARD ALL WOOD JOIST CEILINGs WITH 5/8" SHEETROCK FIRE-CODE "X" ONE HOUR RATED.
2. ALL FOOTINGS TO BE CARRIED DOWN A MINIMUM OF 4'-0" BELOW ADJACENT GRADE AND BEAR ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF TWO (2) TONS PER SQUARE FOOT.
3. PROVIDE DOUBLE WOOD JOISTS UNDER PARTITIONS RUNNING PARALLEL TO FLOOR BEAMS.
4. PROVIDE TRIPLE-HEADERS AND TRIMMERS AROUND STAIRWELL OPENING UNLESS OTHERWISE NEEDED.
5. INSTALLATION OF INSULATION AND CONSTRUCTION OF WINDOWS AND EXTERIOR DOORS TO COMPLY WITH NEW YORK STATE ENERGY CODE.
  - (A) ROOF INSULATION: MINIMUM 6" ROCKWOOL INSULATION.
  - (B) EXTERIOR WALLS: MINIMUM 4" ROCKWOOL INSULATION.
6. CHIMNEY TO BE ENCLOSED WITH ONE (1) HOUR RATED CONSTRUCTION.
7. ALL WOOD HEADERS AND TRIMMERS TO BE SIZED AS NOTED ON PLANS.
8. WATERPROOF NEW FOUNDATION AND FOOTINGS WITH 1/4" THICK TROUCELLED ON MASTIC WATERPROOFING.
9. NEW WOOD STAIRS:
  - (A) CONTRACTORS SHALL CHECK AND VERIFY STORY HEIGHTS PRIOR TO FABRICATION AND INSTALLATION OF STAIRS.
  - (B) MAXIMUM RISER 7 3/4" MINIMUM TREAD: 9 1/2" + 1 1/4" NOBING. THE SUM OF TWO RISERS PLUS ONE TREAD SHALL NOT BE LESS THAN 24" NOR MORE THAN 25 1/2".
  - (C) UPPER SURFACE OF EVERY BALUSTRADE OR RAILING SHALL BE AT LEAST 2'-6" AND MAXIMUM OF 2'-8" ABOVE THE FRONT EDGE OF THE STAIR TREADS AND 2'-8" MINIMUM, 3'-0" MAXIMUM ABOVE LEVEL OF LANDING.
  - (D) SOFFIT OF STAIR TO BE COVERED WITH 5/8" SHEETROCK TYPE "X".
10. EXTERIOR METAL RAILINGS:
  - (A) EXTERIOR METAL RAILINGS SHALL BE A TYPE THAT WILL PREVENT CHILDREN FROM CRAWLING THROUGH OR OVER THEM.
  - (B) STRUCTURAL DESIGN OF RAILING TO COMPLY WITH SECTION 27-55b (b).
11. ALL CONCRETE FOOTING TO BE CARRIED DOWN BELOW THE LEVEL OF THE HOUSE SEWER WHERE HOUSE SEWER PASSES THROUGH FOUNDATION WALL.
12. ALL CONCRETE TO BE REINFORCED UNLESS OTHERWISE NOTED.
13. REFER TO DETAIL FOR REINFORCING OF CONCRETE FOUNDATION WALLS AND FOOTINGS.

ARCHITECT  
PLANNER  
CONSULTANT

**BRICOLAGE**  
d · e · s · i · g · n · s

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PROPOSED ALTERATION TO 1 STORY, MEDICAL BUILDING TO COMBINE W/ 3 STORY & PENTHOUSE BUILDING LOCATED @ 6511 FORT HAMILTON PARKWAY, BKLYN, N.Y.

REVISIONS:

DEPT. OF BUILDINGS - BROOKLYN  
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RAFE'ADE SAID  
JAN 17 2008

PROJECT NO.: 01-217  
DATE: 4/18/2002  
DRAWING No.: **A9**  
OF

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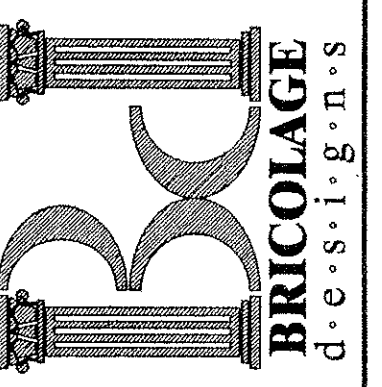
BULKHEAD  
 8'-0"  
 ROOF  
 10'-0"  
 FIFTH FL.  
 10'-0"  
 FOURTH FL.  
 10'-0"  
 THIRD FL.  
 10'-0"  
 SECOND FL.  
 10'-0"  
 FIRST FL.



FORT HAMILTON PKWY ELEVATION  
 SCALE 3/16" = 1'-0"

DEPT. OF BUILDINGS - BROOKLYN  
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 JAN 17 2003

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ELEVATIONS  
 PROPOSED ALTERATION TO 1 STORY MEDICAL BUILDING TO COMBINE W/ 3 STORY & PENTHOUSE BUILDING LOCATED @ 6511 FORT HAMILTON PKWY. BROOKLYN, N.Y.

REVISIONS:

PROJECT NO.: 01-217  
 DATE: 4/18/2002

DRAWING No.:  
**A10**  
 OF



66TH AVENUE ELEVATION

SCALE 3/16" = 1'-0"

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 RAFAEL DESALI

REVISIONS:

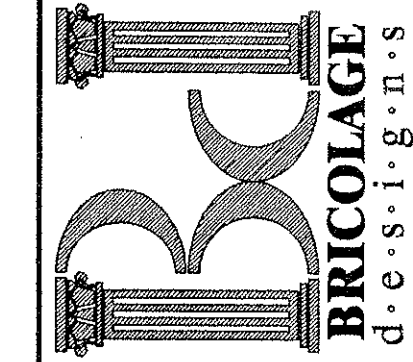
*Jenny P...*  
 PROJECT NO. 01-217  
 DATE: 4/18/2002

DRAWING No.:  
**A11**  
 OF

ELEVATIONS

PROPOSED ALTERATION TO 1 STORY MEDICAL  
 BUILDING TO COMBINE W/ 3 STORY & PENTHOUSE  
 BUILDING LOCATED @  
 6511 FORT HAMILTON PKWY.  
 BKLYN, N.Y.

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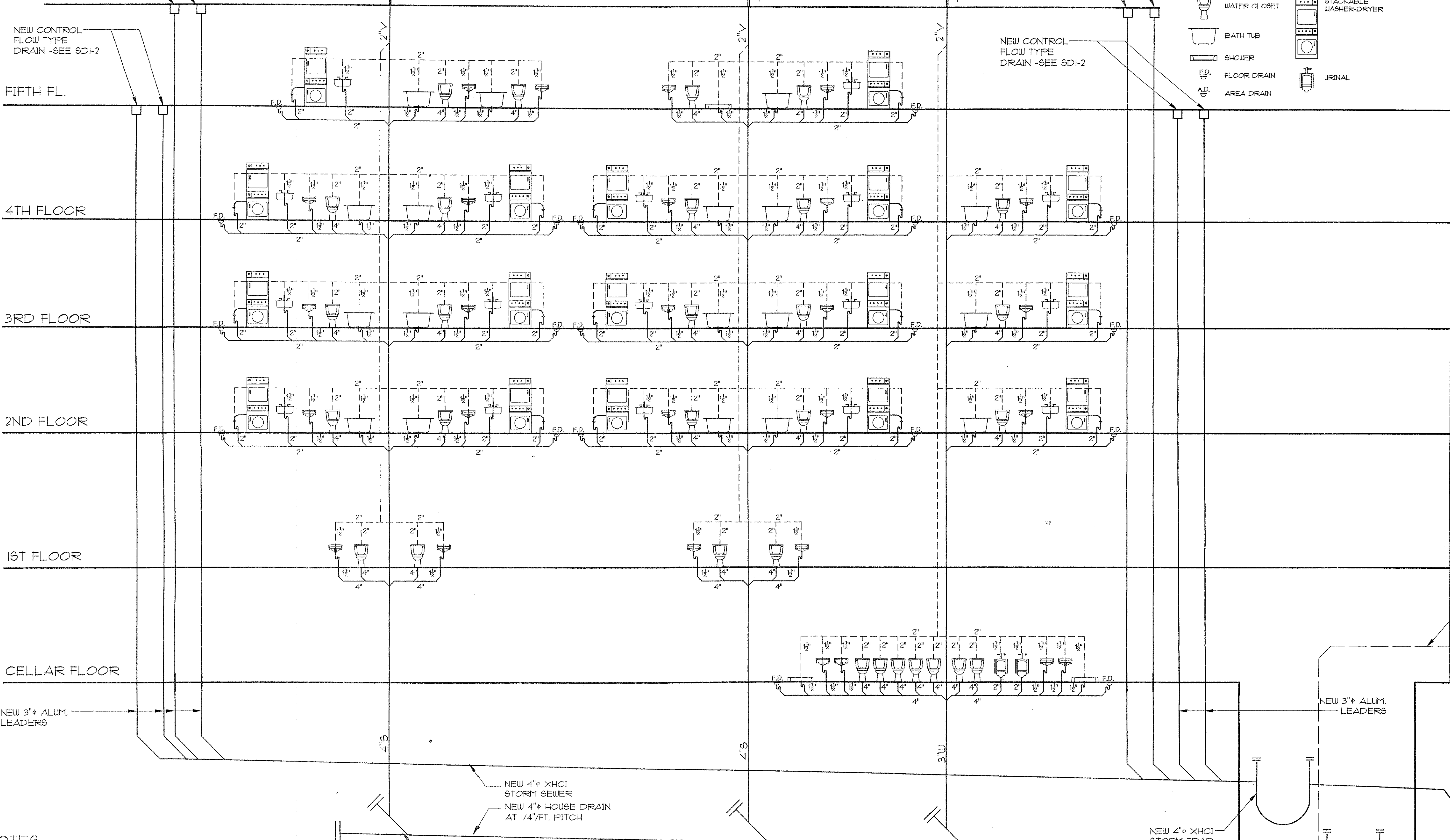
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PROJECT NO. 01-217  
DATE 4/18/2002  
DRAWING No.: **A12**  
OF \_\_\_\_\_

NOTE:  
ALL VENTS TO EXTEND 2'-0" MINIMUM ABOVE FINISHED ROOF



**PLUMBING NOTES:**

1. Complete plumbing system and drainage system installation shall comply with sub-chapter 16 of the R.S.A.C. CLEANOUT
2. Provide cleanouts at base of all stacks.
3. Provide shut off valves on all water supply lines at fixtures.
4. Purge all water and gas lines before final connections.
5. Provide air chambers at top of water risers minimum 18" high 12" DIA.
6. Standard weight black steel pipe for gas system with galvanized steel fittings.
7. Floor drains shall be provided with removable strainer as per RS 16.
8. Traps for floor drains shall be deep seal type.
9. Approved type water meter to be installed to conform with legislation signed into law on July 31, 1985.
10. All piping installed to service building and within building shall be thermally insulated as per New York State Energy Conservation Construction Code.
11. Water meters located outside of the building and within the property line, shall be installed in an accessible, watertight and frost proof pit or meter box as per Sec. P107.3 (b).
12. Plumbing vent line to extend 2'-0" minimum above finished roof.
13. Installation of water supply service lines shall comply with Sec. P107.2.
14. Separation of water supply service and building sewer shall comply with Sec. P107.2 (b) (6).
15. Protective cover for service pipe shall comply with Sec. P107.2 (b) (6).
16. Water meter location shall be subject to approval by the Department of Water supply, gas and electricity, and shall comply with Sec. P107.3 (b).
17. Prior to the installation of house drain, plumbing contractor shall check and verify depth of sewer/sewers in street, to ascertain the compliance of providing the minimum required pitch of house sewer, as per building code requirements. Any discrepancies shall be reported to architect immediately prior to start of any work.
18. Roof gutters shall be as per RS 16-19.
19. Plumbing contractor shall verify all inverts and existing conditions prior to the installation of new work.
20. All hot and cold water lines to be insulated with fiberglass-foil backed insulation jackets.
21. Washing machines to be provided with vacuum breakers. All washing machines shall be M.E.A. approved type, vacuum breaker by Singer Corp., M.E.A. 398-87E.
22. Laundry room / boiler room floor drains, traps for floor drains, shall be deep seal type and shall have a water supply available from a plumbing fixture located in the same room or from a faucet or valved outlet located not more than 3'-0" above the floor drain. Automatic priming devices will be permitted only when an air gap is provided between the portable water supply and the water supply for the drain as per Sec. P104.17.
23. Plumbing fixtures to comply with national standard of reference standards RS-16.
24. All new water closets and associated flush valves installed must meet water saving performance standards as well as proper labeling as set forth in local law 29/89. Water closets and associated flush valves shall be on the approved list of water saving devices compiled by the New York State Department of Environmental Conservation.

PLUMBING RISER DIAGRAM FORT HAMILTON PARKWAY N.T.S.

GENERAL NOTES (NON-COMBUSTIBLE)

- 1. ARCHITECTS HAVE NOT BEEN RETAINED TO SUPERVISE ANY CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT.
2. BUILDING LINE, LOT LINES, TO BE LOCATED BY A DULY LICENSED CITY SURVEYOR.
3. PRIOR TO THE START OF ANY CONSTRUCTION, CONTRACTOR IS REQUIRED TO CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE AND DIMENSIONS ON PLANS.
4. AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER PRIOR TO COMMENCEMENT OF ANY WORK.
5. PROVIDE ADEQUATE FENCING AT ALL EXCAVATIONS AS PER SEC. C26-710.0.
6. PROVIDE GUARDRAILS AT EXCAVATION AS PER SEC. C26-1903.2 (b).
7. FIVE DAYS PRIOR WRITTEN NOTICE OF PERMIT APPLICATION SHALL BE GIVEN TO OWNERS OF ALL ADJOINING LOTS, BUILDINGS AND SERVICE FACILITIES WHICH MAY BE AFFECTED BY THE FOUNDATION WORK OR EARTH WORK OPERATIONS AS PER SEC. 26-112.3.
8. ALL EXCAVATIONS SHALL BE KEPT SUBSTANTIALLY FREE OF WATER DURING FOUNDATION WORK (CONSTRUCTION) AS PER SEC. C26-110.5.
9. MORTAR TO COMPLY WITH A.S.T.M. C270.1964 AND WITH TABLE R.S. 10-12.
10. BONDING TO COMPLY WITH R.S. 10, SEC. 7.
11. CARRY ALL FOOTINGS AT LEAST 4'-0" MINIMUM BELOW ADJACENT EXTERIOR GROUND OPERATION.
12. NO BACKFILLING OPERATIONS ARE TO TAKE PLACE AGAINST FOUNDATION WALLS UNTIL THE FIRST FLOOR HAS BEEN SET IN PLACE.
13. NO BACKFILLING SHALL BE DONE UNTIL THE WATERPROOFING (WHERE NOTED ON PLANS) HAS BEEN PLACED, INSPECTED AND APPROVED BY THE DEPARTMENT OF BUILDINGS INSPECTOR.
14. THE SIZE AND NUMBER OF NAILS FOR CONSTRUCTION SHALL BE IN ACCORDANCE WITH TABLE 10-4.
15. ALL HEATING OR AIR CONDITIONING TO COMPLY WITH ARTICLES 12-16 OF NEW YORK CITY ELECTRICAL CODE.
16. MASONRY UNITS SHALL COMPLY WITH SUB-ARTICLE 1003.0 AND APPLICABLE REFERENCE STANDARDS.
17. A FINAL SURVEY SHALL BE FILED TO COMPLY WITH SEC. C26-121.7 BUILDING CODE.
18. INTERIOR FINISHES SHALL COMPLY WITH SEC. C26-504.10 AND R.S. 5.5.
19. ALL ELECTRICAL WIRING TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE NEW YORK CITY ELECTRICAL CODE.
20. CONTRACTOR SHALL OBTAIN A CERTIFICATE OF OCCUPANCY UPON COMPLETION OF ALL WORK.
21. ALL STRUCTURAL STEEL (A-36) DESIGNED FOR A UNIT STRESS OF 22,000 P.S.I. STEEL FABRICATOR TO FILE AN AFFIDAVIT OF PRODUCER OF STEEL CERTIFYING THAT IT MEETS ALL PROVISIONS. ALL AS PER SUB-ARTICLE C26-1005.0 AND R.S. 10.5.
22. CONTROLLED INSPECTION ITEMS: ALL MATERIALS DESIGNATED FOR "CONTROLLED INSPECTION" SHALL BE INSPECTED AND/OR TESTED TO VERIFY COMPLIANCE WITH CODE REQUIREMENTS UNLESS OTHERWISE SPECIFICALLY PROVIDED BY CODE PROVISIONS. ALL REQUIRED INSPECTIONS AND TESTS OF MATERIALS SHALL BE MADE AND/OR WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY OR ON BEHALF OF THE OWNER OR LESSEE.
a) BORINGS AS PER SEC. C26-1112.2.
b) SUBGRADE AS PER SEC. C26-1112.5.
c) CONCRETE OPERATIONS.
d) CONSTRUCTION AFFECTING SUPPORT OF ADJACENT PROPERTIES WHERE EXCAVATION IS MORE THAN 10'-0" BELOW LEGAL GRADE AS PER SEC. C26-112.6 IF REQUIRED.
e) FIRESTOPS AS PER SEC. C26-504.7 (g).
f) HEATING AS PER SEC. C26-117.3.
g) VENTILATING AS PER C26-1301.2.
23. MAINTENANCE OF SITE AND ADJACENT AREAS TO COMPLY WITH SEC. C26-1901.0.
24. CONCRETE WORK SHALL COMPLY WITH SUB-ARTICLE 1004.0 AND APPLICABLE REFERENCE STANDARDS.
25. ALL PLUMBING STACKS, EXHAUST FAN ASSEMBLIES, ETC. THAT PIERCE THE ROOF TO BE PROPERLY FLASHED.
26. EACH INTERIOR BATHROOM TO BE VENTILATED OF SUFFICIENT CAPACITY TO EXHAUST 40 C.F.M. PER COMPARTMENT.
27. PROVIDE SLEEVES IN FOUNDATION WALL FOR UTILITIES AS REQUIRED.
28. PROVIDE ANCHORS FOR BEAMS BEARING ON CONCRETE AND GOVERNMENT ANCHORS FOR BEAMS RESTING ON MASONRY.
29. CONTRACTOR TO COMPLY WITH ALL RULES AND REGULATIONS OF ALL CITY AND STATE DEPARTMENTS HAVING JURISDICTION.
30. COMPLETE PLUMBING AND DRAINAGE SYSTEM INSTALLATION SHALL COMPLY WITH ARTICLE 16 AND R.S. 16.1.
31. SECURITY REQUIREMENTS SHALL COMPLY WITH PROVISIONS OF SEC. C26-604.4 (b). BUILDING ENTRANCE DOOR SHALL BE EQUIPPED WITH HEAVY DUTY LOCK SETS WITH AUXILIARY LATCH BOLTS TO PREVENT THE LATCH FROM BEING MANIPULATED BY MEANS OTHER THAN A KEY. LATCH SETS SHALL HAVE STOPWORK IN THE INSIDE CYLINDERS CONTROLLED BY A MASTER KEY - ONLY OUTSIDE CYLINDERS OF MAIN ENTRANCE DOOR LOCK SHALL BE OPERATED BY THE TENANT'S KEY WHICH SHALL NOT BE KEYS TO ALSO OPEN THE TENANT'S APARTMENT ENTRANCE DOOR. A LIGHT OR LIGHTS SHALL BE PROVIDED AT OR NEAR THE OUTSIDE OF THE FRONT ENTRANCE WAY OF THE BUILDING PROVIDING NOT LESS THAN 5 CANDLES INTENSITY MEASURED OFF THE FLOOR LEVEL FOR THE FULL WIDTH OF THE ENTRANCEWAY.
32. ALL WINDOWS (OPENABLE) SHALL BE EQUIPPED WITH SASH LOCKS (APPROVED TYPE) DESIGNED TO BE OPENABLE FROM THE INSIDE ONLY.
33. WATER SUPPLY TO BUILDING TO COMPLY WITH SEC. D26-15.01 H.M.C.
34. WATER SUPPLY TO INDIVIDUAL UNITS AND FIXTURES SHALL COMPLY WITH SEC. D26-15.03 H.M.C.
35. SUPPLY OF HOT WATER TO COMPLY WITH SEC. D26-17.07 H.M.C.

- 26. LIGHTS NEAR ENTRANCEWAYS AND IN YARDS AND COURTS TO BE PROVIDED AS PER D26-19.07 H.M.C.
27. STREET NUMBER SHALL BE POSTED AND MAINTAINED AS PER SEC. D26-21.05 H.M.C.
28. ALL STREET BEAMS TO HAVE A MINIMUM OF 6" BEARING ON MASONRY.
29. SAFETY OF PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS TO COMPLY WITH ARTICLE 19.
40. REMOVAL AND STORAGE OF MATERIALS TO COMPLY WITH SEC. 26-1901.3.
41. PROVIDE ADEQUATE FENCING AT ALL EXCAVATIONS AS PER SEC. C26-710.
42. PROVIDE GUARDRAILS AT EXCAVATIONS AS PER SEC. C26-1903.2 (b).
43. ARCHITECTS HAVE NOT BEEN RETAINED TO SUPERVISE CONSTRUCTION OF ANY WORK OR INSTALLATION OF ANY MECHANICAL EQUIPMENT.
44. GAS APPLIANCES SHALL COMPLY WITH BOARD OF STANDARDS AND APPEALS.
45. BATHROOM AREAS TO HAVE CERAMIC TILE FLOORS AND MIN. 6" TILE BASE TUB ENCLOSURE WALL TO HAVE 6'-0" HIGH TILE WAINSCOT. BATHROOMS TO COMPLY WITH SEC. D26-31.03 H.M.C. ALL PARTITIONS ABOVE TILE BASE AND/OR TILE WAINSCOT ENCLOSING BATHROOMS SHALL BE PROVIDED WITH APPROVED TYPE MOISTURE RESISTIVE WALLBOARD AS PER B.S.A. APPROVAL. PARTITIONS REQUIRED TO HAVE A FIRE RESISTIVE RATING SHALL BE PROVIDED WITH APPROVED TYPE MOISTURE-RESISTIVE WALLBOARD FIRE-RESISTIVE RATED AND CONSTRUCTED AS PER B.S.A. APPROVAL.
46. REQUIRED SOURCES OF NATURAL LIGHT SHALL HAVE AN AVERAGE TRANSMITTING AREA OF AT LEAST 10 % OF THE FLOOR AREA OF THE ROOM OR SPACE SERVED, AND ONLY THAT AREA OF LIGHT SOURCE ABOVE 30" FROM THE FINISHED FLOOR MAY BE CONSIDERED AS PROVIDING THE NATURAL LIGHT REQUIRED IN ANY SPACE AS PER SEC. C26-1202.3.
47. BOILERS TO BE B.S.A. APPROVED TYPE AND INSTALLED AS PER APPROVAL.
48. ALL MATERIALS, ASSEMBLIES, FORMS AND METHOD OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:
a) IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD OF STANDARDS AND APPEALS OR
b) SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS BY THE COMMISSIONER OR
c) APPROVED BY THE BOARD OF STANDARDS AND APPEALS.
49. HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A MINIMUM OF 70 TEMPERATURE AS PER SEC. C26-1204.1. HEATING BOILERS SHALL BE B.S.A. APPROVED TYPE AND INSTALLED AS PER THE APPROVAL. HEATING BOILERS TO MAXIMUM: 350,000 BTU AND PRESSURE GAUGE TO BE SET AT LESS THAN 150".
50. THESE GENERAL NOTES ARE PART OF THE PLANS AND ARE TO BE COMPLETED WITH IN ALL RESPECTS. MORE RESTRICTIVE NOTES MENTIONED ELSEWHERE ARE TO TAKE PRECEDENCE OVER SAME.
51. VENTILATION OF INTERIOR BATHROOMS AND TOILETS: PROVIDE 4"x 6" G.I. VENT DUCTS FOR EACH BATHROOM AND TOILET. EACH DUCT SHALL BE EQUIPPED WITH A MECHANICAL EXHAUST FAN HAVING THE CAPACITY TO EXHAUST MIN. 50 C.F.M. REFER TO ENCLOSURE DETAIL 519.
52. ENTIRE CELLAR, FIRST FLOOR AND SECOND FLOOR CEILINGS TO BE FIRE-RETARDED WITH 1/2" SHEETROCK FIRE CODE "C" AS PER CAL #217-65 SM.
53. CHIMNEY TO BE ENCLOSED WITH ONE HOUR CONSTRUCTION-REFER TO DETAIL 518.
54. SPACE BETWEEN VENTILATING/HEATING DUCTS AND FLOOR CONSTRUCTION SHALL BE SOLIDLY FILLED WITH INERT NON-COMBUSTIBLE MATERIALS (MINERAL WOOL) FOR THE DEPTH OF THE FLOOR CONSTRUCTION.
55. KITCHENETTES SHALL BE VENTILATED BY MECHANICAL MEANS EXHAUSTING AT LEAST 2 C.F.M. OF AIR PER SQUARE FOOT OF FLOOR AREA.
CONCRETE NOTES:
1. CONCRETE IS TO BE PROVIDED ON THE BASIS OF A PREQUALIFIED OR PREVIOUSLY ACCEPTED MIX.
2. CONCRETE MIX IS TO EXHIBIT STRENGTH AT LEAST 25 % HIGHER THAN THE SPECIFIED VALUE. MINIMUM CEMENT FACTOR TO COMPLY WITH TABLE 10-3.
3. PRELIMINARY TESTS AS A BASIS FOR A PREQUALIFIED MIX TO COMPLY WITH C26-1004.3. A3.
4. QUALITY CONTROL OF CONCRETE IS TO BE PROVIDED AT BATCH PLANT. THE RESULTS OF QUALITY CONTROL AND INSPECTION ARE TO APPEAR ON THE TICKET ACCOMPANYING EACH LOAD OF CONCRETE C26-1004.3 a5.
5. COMPRESSIVE STRENGTH OF CONCRETE IS TO BE 2,500 P.S.I. AT 28 DAYS.
6. THREE CYLINDERS SHALL BE TESTED PER 50 CUBIC YARDS OR FRACTION THEREOF OF POURED IN ANY ONE DAY.
7. CONCRETE MATERIALS FOR SHORT SPAN FLOOR CONSTRUCTION TO COMPLY WITH C26-1004.8.
8. CONCRETE THAT IS TO BE SUBJECT TO FREEZING TEMP. WHILE WET SHALL HAVE A WATER CEMENT RATION NOT TO EXCEED 6 GAL. PER BAG AND IT SHALL CONTAIN ENTRAINED AIR. SEC. 501 @ A.C.I. 318-63.
PLAIN CONCRETE NOTES:
A. PLAIN CONCRETE FOR FOOTINGS AND WALLS SHALL BE PROPORTIONED ON THE BASIS OF CALCULATED STRESSES LESS THAN 70 % OF BASIC ALLOWABLE VALUES. LESS THAN 50 CUBIC YARDS OF CONCRETE TO BE POURED-TABLE 10-1. INSPECTION OF MATERIALS AND ASSEMBLIES: TABLE 10-2. INSPECTION OF METHODS OR CONSTRUCTION, BUILDING CODE: TABLE 102 (b) ALLOWABLE STRESSES IN CONCRETE. A.C.I. STANDARDS BUILDING CODES OF QUALITY CONTROL FOR REINFORCED CONCRETE. (A.C.I. 318-63). STRESSES IN CONCRETE ARE COMPUTED ON THE BASIS OF WORKING STRESS DESIGN.
B. CONCRETE MATERIALS, DESIGN AND CONSTRUCTION, SHALL MEET THE REQUIREMENTS OF REFERENCE STANDARD RS 10-3, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (A.C.I. 318-63)", AS MODIFIED BY NEW BUILDING CODE.
C. CONCRETE IS TO BE PROVIDED ON THE BASIS OF A PREQUALIFIED OR PREVIOUSLY ACCEPTED MIX. THE CONCRETE MIX IS TO EXHIBIT STRENGTH AT LEAST 25 % HIGHER THAN THE SPECIFIED VALUE. MINIMUM CEMENT FACTOR TO COMPLY WITH TABLE 10-3. PRELIMINARY TESTS AS A BASIS FOR A PREQUALIFIED TO COMPLY WITH C26-1004.3 a5. QUALITY CONTROL OF CONCRETE IS TO BE PROVIDED AT THE BATCH PLANT. THE RESULTS OF QUALITY CONTROL AND INSPECTION ARE TO APPEAR ON THE TICKET ACCOMPANYING EACH LOAD OF CONCRETE C26-1004.3 a5.
D. MAXIMUM TENSION IN FOOTING OF PLAIN CONCRETE IS TO BE 70 % OF 1.6 P-S. SEC. 2307 (A.C.I. 318-63).
E. SHEAR IN FOOTINGS NOT TO EXCEED 70% OF 2c OR 70% OF 1.1 Pc WHICHEVER IS LOWER AS SPECIFIED IN SEC. 1207-1201 (A.C.I. 318-63).

7. THE RATIO OF UNSUPPORTED HEIGHT TO THICKNESS (WHICHEVER IS GREATER) FOR PLAIN CONCRETE WALLS SHALL NOT EXCEED 20. PLAIN CONCRETE WALLS SHALL BE SO PROPORTIONED THAT THE TENSILE STRESS DOES NOT EXCEED 30 % OF Fc AND THE ALLOWABLE STRESS IN COMPRESSION SHALL BE 70 % OF 0.25 Fc FOR WALLS HAVING A RATIO OF HEIGHT TO THICKNESS OF 10 OR LESS AND SHALL BE REDUCED PROPORTIONATELY TO 70% OF 0.15 Fc FOR WALLS HAVING A RATIO OF HEIGHT TO THICKNESS OF 20. SEC. 2204 (A.C.I. 318-63) AS ADDED BY NEW BUILDING CODE.
C. CONCRETE MATERIALS FOR SHORT SPAN FLOOR CONSTRUCTION TO COMPLY WITH C26-1004.8.

SIGN REQUIREMENTS FOR CONSTRUCTION SITES
NEW BUILDING PERMIT APPLICATIONS - SECTION 27-1009C REQUIRES THAT A SIGN INDICATING THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE OWNER AND GENERAL CONTRACTOR BE POSTED.

ENERGY CONSTRUCTION NOTES
GENERAL CRITERIA FOR RESIDENTIAL BUILDINGS:
FOR THE RESIDENTIAL BUILDINGS, THE FOLLOWING AREAS OF GLAZING AS A TOTAL PERCENTAGE OF THE TOTAL WALL AREA SHALL BE USED TO DETERMINE THE MAXIMUM U - RESIDENTIAL-3 STOREYS OR LESS: 33 PERCENT.

ALL INSULATION SHALL BE INSTALLED IN A MANNER THAT PROVIDES CONTINUITY OF INSULATION AT PLATE LINES, SILL LINES, AND CORNERS.
ALL INSULATION WHICH IS CAPABLE OF ABSORBING WATER SHALL BE PROTECTED BY A VAPOR BARRIER LOCATED ON THE WINTER WARM SIDE OF THE INSULATION.

MANUFACTURED DOORS AND WINDOWS SHALL HAVE AIR INFILTRATION RATES NOT EXCEEDING THE FOLLOWING:
WINDOWS - CFM PER LINEAR FOOT OF OPERABLE SASH CRACK - 0.5
DOORS - CFM PER SQUARE FOOT OF DOOR AREA SLIDING GLASS - 4.5 SWINGING - 1.0

INFILTRATION WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 1.568 LB./FT. WHICH IS EQUIVALENT TO THE IMPACT PRESSURE OF A 25 M.P.H. WIND.

EXTERIOR JOINTS AROUND WINDOWS AND DOORFRAMES: OPENINGS BETWEEN WALLS AND ROOF/CEILINGS AND WALL PANELS: OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS: AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED. SITE CONSTRUCTED DOORS AND WINDOWS SHALL BE SEALED AS PER ABOVE.

MAIN ENTRANCE DOORS SHALL BE OF VESTIBULE TYPE.

ZONING FOR TEMPERATURE CONTROL:
BUILDINGS SHALL BE PROVIDED WITH AT LEAST ONE THERMOSTAT FOR REGULATION OF SPACE TEMPERATURE FOR EACH SEPARATE ZONE.

A READILY ACCESSIBLE MANUAL OR AUTOMATIC MEANS TO PARTIALLY RESTRICT OR SHUT OFF THE HEATING TO EACH DWELLING UNIT.

A SWITCH OR A CLOCK SHALL PROVIDE A READILY ACCESSIBLE MANUAL OR AUTOMATIC MEANS FOR REDUCING THE ENERGY REQUIRED FOR HEATING AND COOLING DURING PERIODS OF NON-USE OR REDUCED NEED.

PIPING INSULATION:
ALL PIPING INSTALLED TO SERVICE BUILDINGS AND WITHIN BUILDINGS SHALL BE THERMALLY INSULATED AS PER TABLE 4-5 OF NEW YORK'S ENERGY CONSERVATION CODE.

WATER HEATERS, BOILERS:
EFFICIENCY STANDARDS FOR CLASS ONE WATER HEATERS AS PER TABLE 4-11a NYSECC/C
EFFICIENCY STANDARD FOR CLASS TWO WATER HEATERS AS PER TABLE 4-11b NYSECC/C

INSULATION, TEMPERATURE CONTROLS, SHUTDOWN, PUMP OPERATIONS, CONSERVATION OF HOT WATER AS PER SEC. B404.3 NYSECC/C
ELECTRICAL DISTRIBUTION, LIGHTING POWER BUDGET, UNIT POWER DENSITY AS PER SECTIONS E405-2, E405-3, TABLES 4-134 AND 4-136.

THE DWELLING PORTION OF THE BUILDING SHALL BE EXEMPT FROM SEC. E-405-3, LIGHTING POWER BUDGET.
ALL EQUIPMENT SHALL BE IDENTIFIED TO INDICATE COMPLIANCE WITH NYSECC/C

MAXIMUM HEATING TEMPERATURE SETTING
NY STATE 72
NYC 70 TEMPERATURES BASED ON 5000
MINIMUM COOLING TEMPERATURE SETTING
NY STATE 78 DAYS-KINGS COUNTY

MAXIMUM DESIGN RELATIVE HUMIDITY SHALL BE 30 % WHEN PROVIDED.

THERMAL TRANSMITTANCE VALUES:
EXTERIOR WALLS Uo-.08 MAXIMUM
ENTRANCE DOORS Uo-.10 MAXIMUM
GLAZING Uo-.69 MAXIMUM

MAX. ROOF/CEILING, FLOORS EXPOSED TO AMBIENT CONDITIONS Uo-.45
MAX. FLOORS OVER UNHEATED SPACES Uo-.08
MIN. "R"
SLAB EDGE, UNHEATED SLAB AND BASEMENT WALLS BELOW GRADE R-5.0
SLAB EDGE HEATED SLAB R-6.3

CONTRACTOR SHALL BE RESPONSIBLE FOR AND COMPLY WITH ALL THE APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE. AND SHALL PROMISE ALL THE CRITERIA AS OUTLINED IN THESE GENERAL NOTES AS PERTAINS TO RELATED EQUIPMENT, MATERIALS AND THEIR INSTALLATION AT JOB SITE.

INSULATION MATERIALS - NY CITY ADMINISTRATION CODE SEC. C26-1203 H.M.C. ALL INSULATION SHALL BE OF NON-COMBUSTIBLE MATERIAL. ALL MATERIALS COVERINGS, VAPOR BARRIERS AND ADHESIVES SHALL HAVE A FLAME SPREAD RATING NO HIGHER THAN 25 AND A SMOKE DEVELOPED RATING NO HIGHER THAN 50.

DESIGN PROFESSIONAL STATES THAT TO THE BEST OF HIS KNOWLEDGE AND PROFESSIONAL JUDGMENT THE DESIGN HAS BEEN MADE IN CONFORMANCE WITH THE ENERGY CODE.

GENERAL NOTES
1. THE SOIL AT THE LEVEL OF FOUNDATION OR FOOTINGS IS DESIGNED TO CARRY 2 TONS PER SQ. FT. SUBJECT TO VERIFICATION BY INSPECTION OF THE SITE AFTER EXCAVATION AND BEFORE FOOTINGS ARE PLACED.

2. THE DEPARTMENT SHALL BE NOTIFIED AT LEAST 2 WORKING DAYS PRIOR TO FOUNDATION CONSTRUCTION THAT SUBGRADE IS READY FOR INSPECTION. SEC. C26-1112.5.

3. WHEN EXCAVATION ARE 9'-0" GREATER IN DEPTH FROM THE LEVEL OF ADJACENT GROUND, THE SIDES SHALL BE SHORED AS PER SEC. C26-1903.2 (a).

4. LINTELS SUPPORTING MASONRY WALLS OVER 4'-0" SHALL BE FIRE PROTECTED WITH MATERIALS HAVING THE REQUIRED FIRE RESISTIVE RATING OF THE WALL SUPPORTED (SEC. C26-502.0).

5. SUSPENDED CEILINGS SHALL HAVE HANGERS AND SUPPORTING GRIDS OF NON-COMBUSTIBLE MATERIALS. C26-504.12.

6. INTERIOR FINISHES TO COMPLY WITH SEC. C26-504.10 AND TABLE 4-4.

7. KITCHENETTE PARTITIONS AND CEILINGS:
FIRE RETARD CEILING OF KITCHENETTES WITH 5/8" SHEETROCK FIRE CODE "C" ONE HOUR RATED CAL #217-65 SM.

8. ALL ELECTRICAL WIRING TO COMPLY WITH THE NEW YORK CITY ELECTRICAL CODE.

9. PAINTING OF STRUCTURAL STEEL SHALL BE REQUIRED AS PROVIDED BY MODIFIED SEC. 1.24 OF REFERENCE STANDARD 10.3 ENTITLED A.I.S.C. 1963 SPEC. FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDING.

10. ALL STRUCTURAL STEEL DESIGNED FOR A UNIT STRESS OF 22,000 PSI (A-36) STEEL.

11. FABRICATOR TO FILE AN AFFIDAVIT OF THE PRODUCER OF STEEL CERTIFYING THAT IT MEETS ALL APPLICABLE PROVISIONS OF THE BUILDING CODE.

12. ALL STEEL BEAMS, UNLESS OTHERWISE NOTED TO HAVE A MINIMUM OF 6" BEARING ON MASONRY.

13. WHERE REQUIRED, PROVIDE GOVERNMENT ANCHORS AND STANDARD BEARING PLATES (UNLESS OTHERWISE NOTED OR SHOWN) TO BE PROVIDED FOR ALL STEEL BEARING ON MASONRY WALL.

14. STRUCTURAL STEEL AS PER SUB-ARTICLE C26-1005.0 AND RS 10.5.

15. ALL COLUMNS AND BEAMS TO BE BRACED DURING ERECTION.

16. ALL STRUCTURAL STEEL CONNECTIONS TO BE IN COMPLIANCE WITH A.I.S.C. STANDARDS AND TO SATISFY BEAMS AND REACTIONS.

17. ALL WELDING TO BE PERFORMED BY LICENSED WELDERS AND TO MEET THE REQUIREMENTS OF A.W.S. AND THE NEW YORK CITY BUILDING CODE.

18. ALL NOOSE LINTELS TO BE 1'-0" LONGER THAN MASONRY OPENING.

19. SPECIAL PRECAUTIONS TO BE TAKEN DURING STEEL ERECTION TO INSURE STABILITY UNTIL STRUCTURE IS COMPLETED.

SMOKE DETECTOR NOTES
1. EACH DWELLING UNIT SHALL BE EQUIPPED WITH AN APPROVED TYPE SMOKE DETECTOR RECEIVING PRIMARY POWER FROM THE BUILDING WIRING WITH NO SWITCHES IN THE CIRCUIT OTHER THAN OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT AS PER C26-1705.3. APPROVED TYPE TO BE B.S.A. APPROVED TYPE.

2. SUCH SMOKE DETECTOR MUST BE EITHER THE IONIZATION CHAMBER TYPE OR THE PHOTOELECTRIC DETECTOR TYPE AS PER SEC. C26-1705.4.

3. ALL SMOKE DETECTORS MUST BE INSTALLED WITHIN 15'-0" OF THE ENTRANCE OF ANY SLEEPING ROOM, WALL OR CEILING MOUNTED AND INDICATED ON PLAN AS PER NFPA #74-1960.

4. A CERTIFICATE OF SATISFACTORY INSTALLATION FOR SMOKE DETECTORS MUST BE FILED WITH THE DIVISION OF CODE ENFORCEMENT, NPD 10 DAYS AFTER INSTALLATION.

RECREATION NOTES
1. SAID RECREATION ROOMS ARE BEING PROVIDED IN CONJUNCTION WITH THE APARTMENT DIRECTLY ABOVE.

2. SAID RECREATION ROOMS WILL BE SMALLER THAN THE APARTMENTS THAT THEY ARE ACCESSORY TO.

3. SAID RECREATION ROOMS ARE CONNECTED WITH APARTMENTS DIRECTLY ABOVE VIA INTERNAL PRIVATE STAIR.

4. SAID RECREATION ROOMS ARE PROVIDED WITH EGRESS VIA FPSC DOORS AT THE LOWER LEVEL DIRECTLY INTO THE PUBLIC HALL.

5. SAID RECREATION ROOMS WILL NOT BE USED AS "LIVING ROOMS" OR FOR SLEEPING PURPOSES.

6. SAID RECREATION ROOMS WILL NOT BE RENTED INDEPENDENTLY.

7. SAID RECREATION ROOMS WILL BE PROVIDED WITH A MINIMUM SIZED POWDER ROOM BARELY LARGE ENOUGH TO ACCOMMODATE A WATER CLOSET AND LAVATORY. SAID MINIMAL TOILET IS PROVIDED FOR CONVENIENCE PURPOSES ONLY.

WIND LOADS AND EARTHQUAKE LOADS
1. 27-509. WIND LOADS AND EARTHQUAKE LOADS.

(A) WIND LOADS. THE STRUCTURAL FRAME AND EXTERIOR COMPONENTS OF ALL BUILDINGS, SIGN, TANKS AND OTHER EXPOSED CONSTRUCTIONS SHALL BE DESIGNED TO RESIST THE PRESSURE DUE TO WIND AS DESCRIBED IN REFERENCE STANDARD RS 5.8. WIND SHALL BE ASSUMED TO ACT FROM ANY DIRECTION. FOR CONTINUOUS FRAMING, THE EFFECTS OF PARTIAL LOADING CONDITIONS SHALL BE CONSIDERED.

(B) EARTHQUAKE LOADS. EVERY BUILDING, STRUCTURE AND PORTION THEREOF SHALL, AT A MINIMUM, BE DESIGNED AND CONSTRUCTED TO RESIST THE EFFECTS OF SEISMIC GROUND MOTIONS AS DESCRIBED IN REFERENCE STANDARD RS 5-9-6.

2. UBC - UNIFORM BUILDING CODE SECTION 2312.19-90.

THE FOLLOWING TYPES OF CONSTRUCTION SHALL, AT A MINIMUM BE DESIGNED AND CONSTRUCTED TO RESIST THE EFFECTS OF SEISMIC GROUND MOTIONS AS PROVIDED IN THIS SECTION:

NEW STRUCTURES ON NEW FOUNDATIONS: NEW STRUCTURES ON EXISTING FOUNDATIONS, AND ENLARGEMENTS IN AND OF THEM BASED ON NEW FOUNDATIONS. BUILDINGS CLASSIFIED IN NEW YORK CITY OCCUPANCY GROUP 1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

(1) SOILS OF CLASSES 7-85, 8-65, 10-65 AND NON-COHESIVE CLASS 11-65 BELOW THE GROUND WATER TABLE AND LESS THAN FIFTY FEET BELOW THE GROUND SURFACE SHALL BE CONSIDERED TO HAVE POTENTIAL FOR LIQUEFACTION.

4. FOUNDATION PLATES AND SILLS.
FOUNDATION PLATES OR SILLS SHALL BE BOLTED TO THE FOUNDATION OR FOUNDATION WALL WITH NOT LESS THAN ONE-HALF INCH NOMINAL DIAMETER STEEL BOLTS EMBEDDED AT LEAST SEVEN INCHES INTO THE CONCRETE OF MASONRY RIBS SPACED NOT MORE THAN SIX FEET APART. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED WITHIN TWELVE INCHES OF EACH END OF EACH PIECE. A PROPERLY SIZED NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT TO THE PLATE.

5. FOUNDATION INTERCONNECTION OF PILE CAPS AND CAISSONS.
INDIVIDUAL PILE CAPS AND CAISSONS OF EVERY STRUCTURE SUBJECT TO SEISMIC FORCES SHALL BE INTERCONNECTED BY TIES SUCH THAT THEY SHALL BE CAPABLE OF RESISTING, IN TENSION OR COMPRESSION, A MINIMUM HORIZONTAL FORCE EQUAL TO THE PRODUCT OF (Zv4) AND THE LARGER VERTICAL LOAD AT THE END OF EACH TIE.

ARCHITECT PLANNERS CONSULTANTS

BRICOLAGE INC. 1333 68th Street Brooklyn, N.Y. 11215 TEL: 718.455.9678 FAX: 718.455.9678

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROVISIONS IN CONNECTION WITH THE WORK FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

GENERAL CONSTRUCTION NOTES - NON-COMBUSTIBLE

REVISIONS

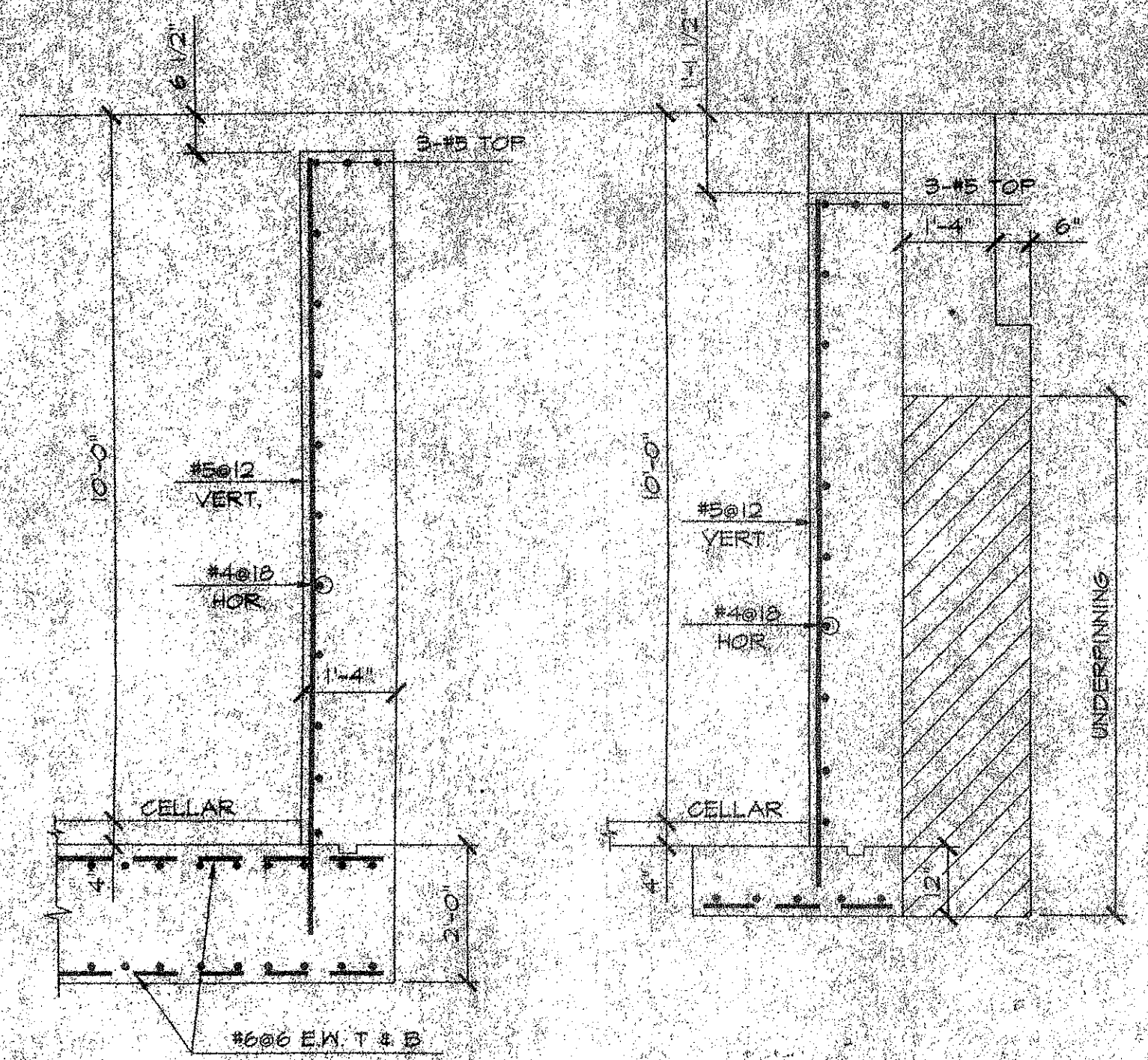
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DRAWING No. N-1

OF

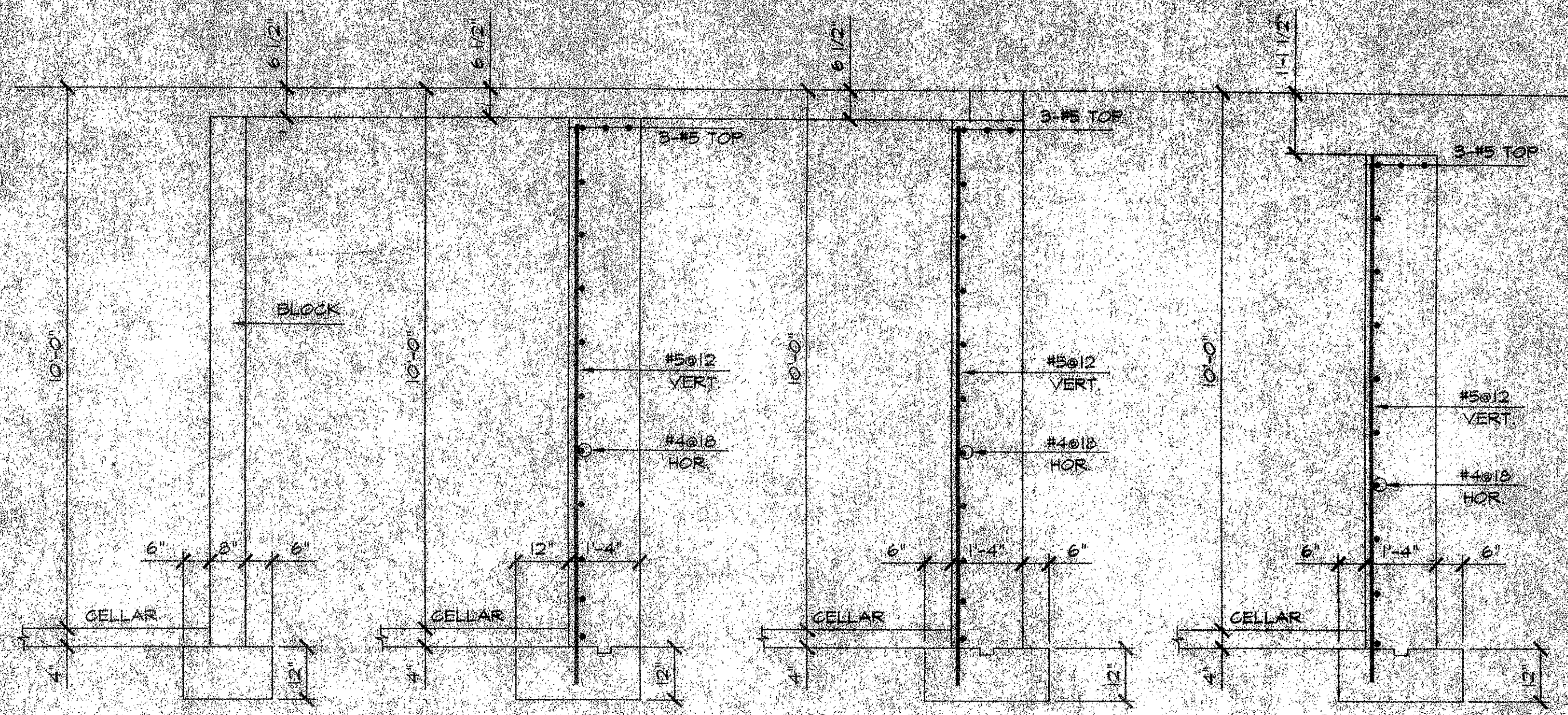






SECT. F 6

SECT. F 5

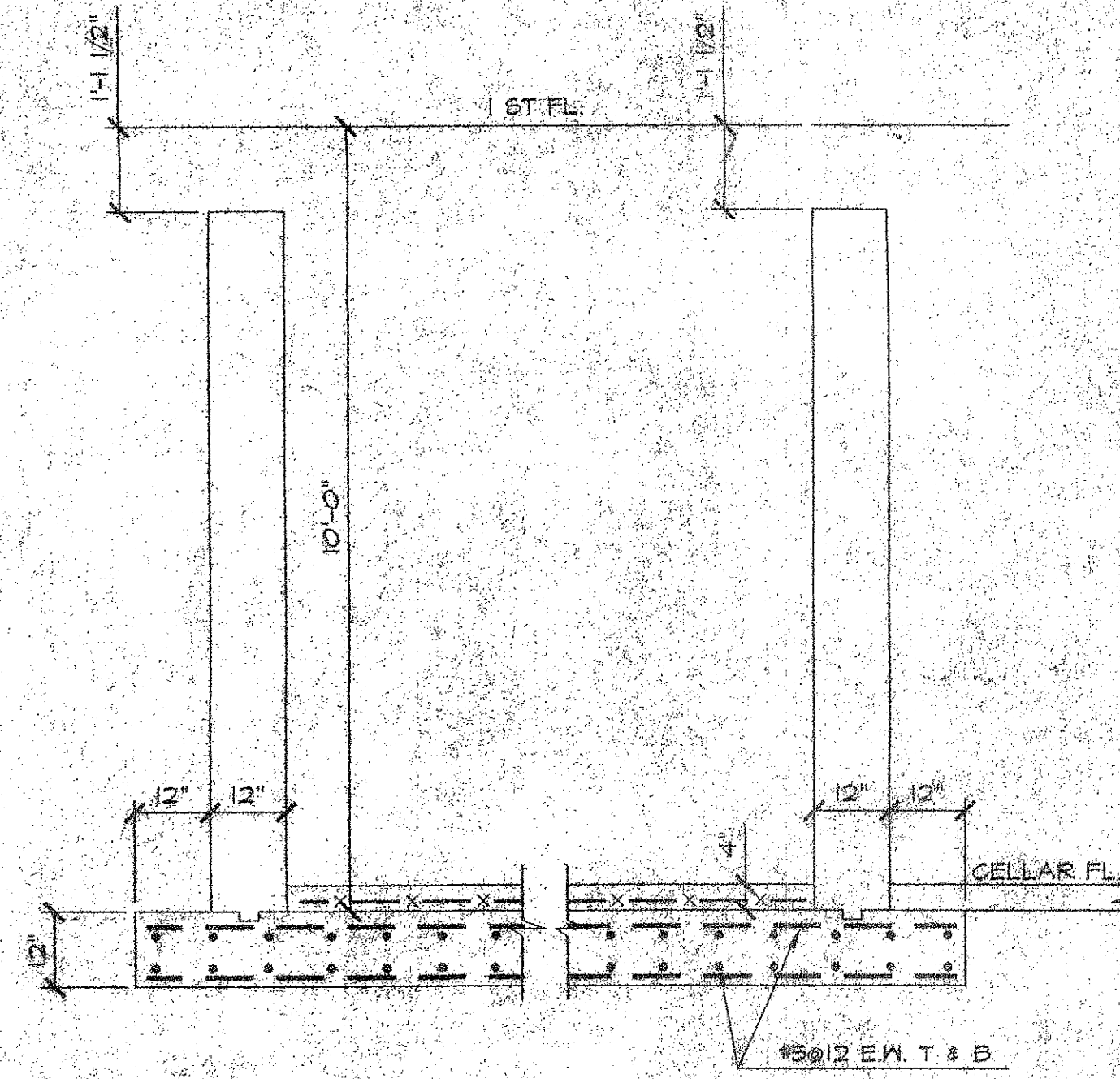


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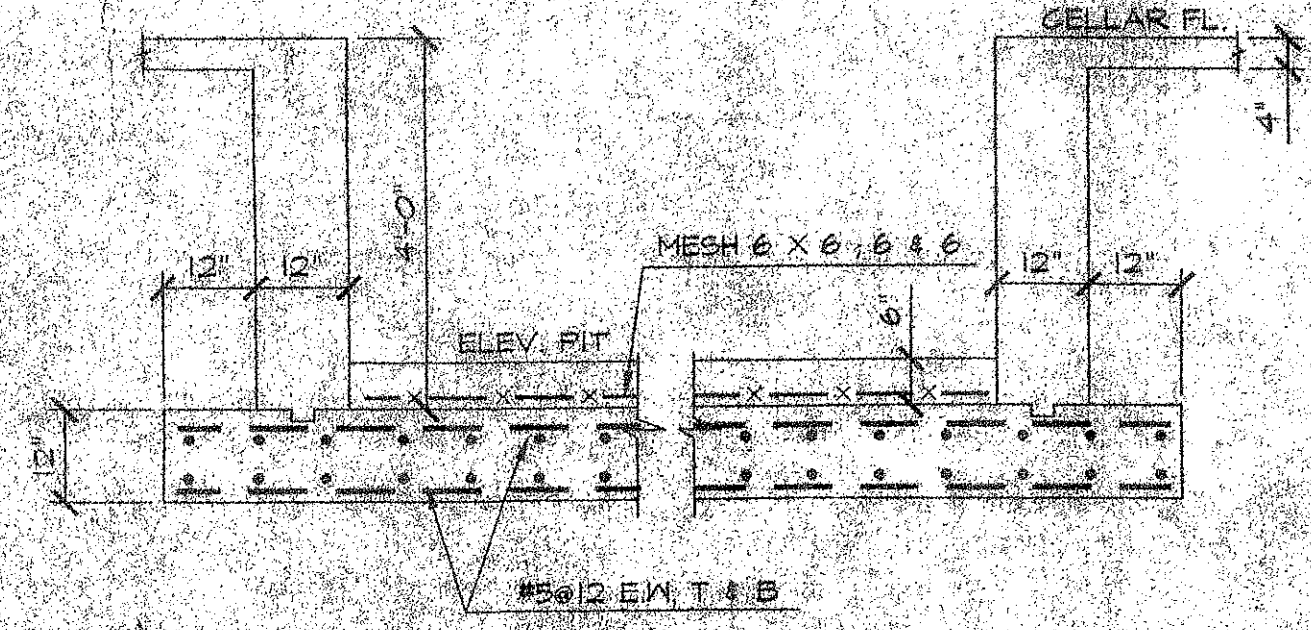
SECT. F 3

SECT. F 2

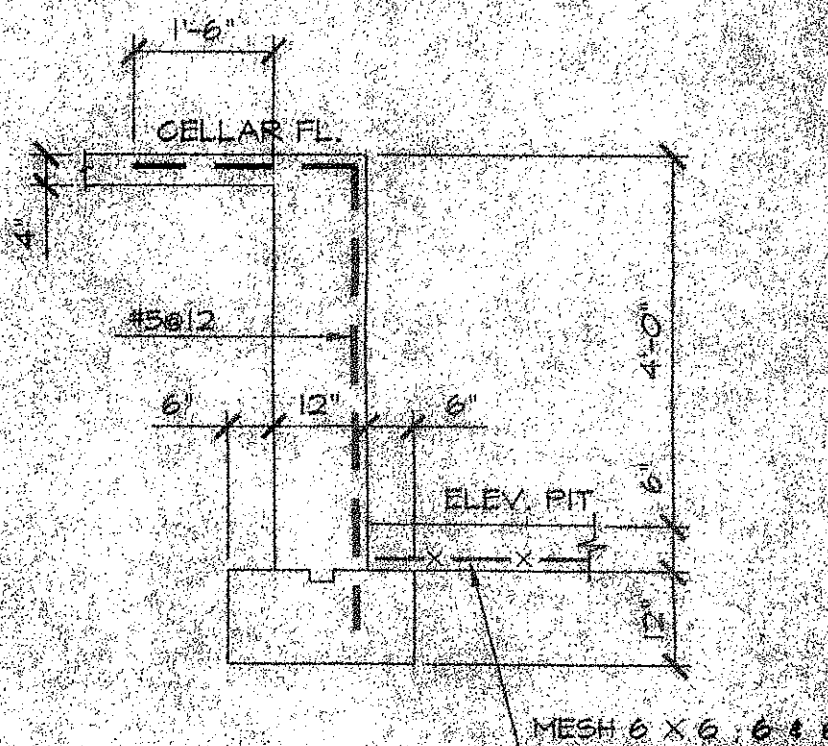
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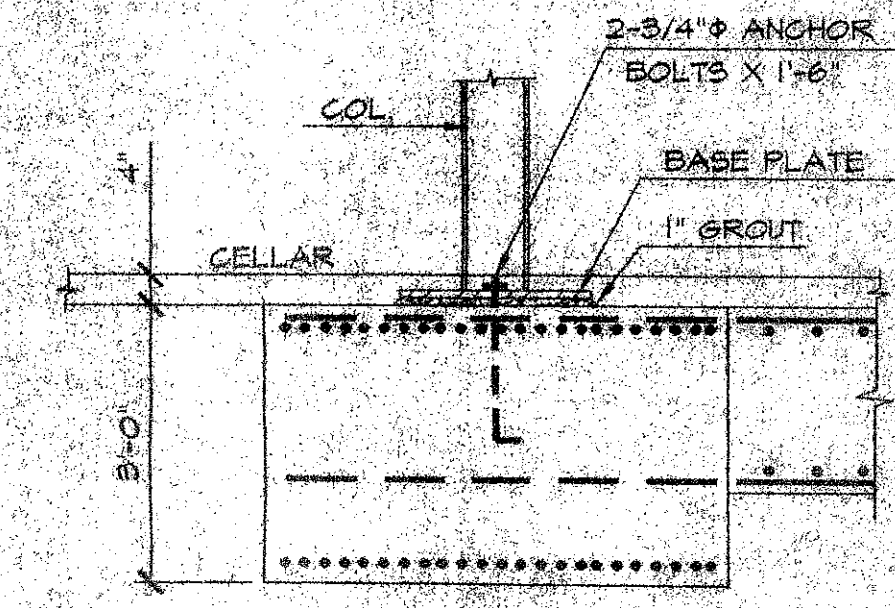
SECT. F 10



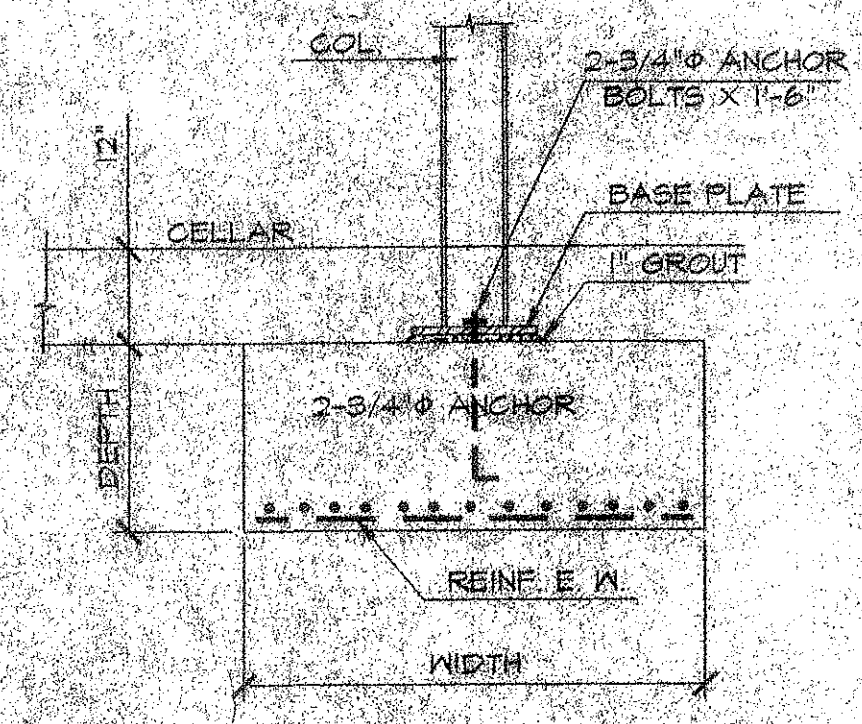
SECT. F 9



SECT. F 8



SECT. F 7

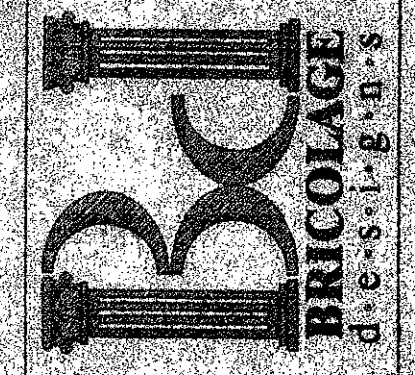


TYP. COL. FTG DETAIL

DEPT. OF BUILDINGS - BROOKLYN  
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 IS OBTAINED.

HERTZBERG AND SANCHEZ P.C.  
 CONSULTING ENGINEERS  
 245 NORTHERN BLVD.  
 GREAT NECK, NY 11021

ARCHITECTS  
 PLANNERS  
 CONSULTANTS  
 1335 60th Street  
 Brooklyn, N.Y. 11219  
 TEL: 718.435.9441  
 FAX: 718.435.9455



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 OR PROCEDURES, OR FOR SAFETY, PRECAUTIONS AND PRO-  
 GRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR  
 OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR  
 ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR  
 FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE  
 WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

FOUNDATION SECTIONS

PROPOSED ALTERATION TO 1 STORY MEDICAL  
 BUILDING TO COMBINE 1ST STORY + PERIPHERAL  
 BUILDING LOCATED @  
 6511 FORT HAMILTON PKWAY  
 BROOKLYN, NY

PROPOSED ALTERATION TO 1 STORY MEDICAL  
 BUILDING TO COMBINE 1ST STORY + PERIPHERAL  
 BUILDING LOCATED @  
 6511 FORT HAMILTON PKWAY  
 BROOKLYN, NY

REVISIONS:



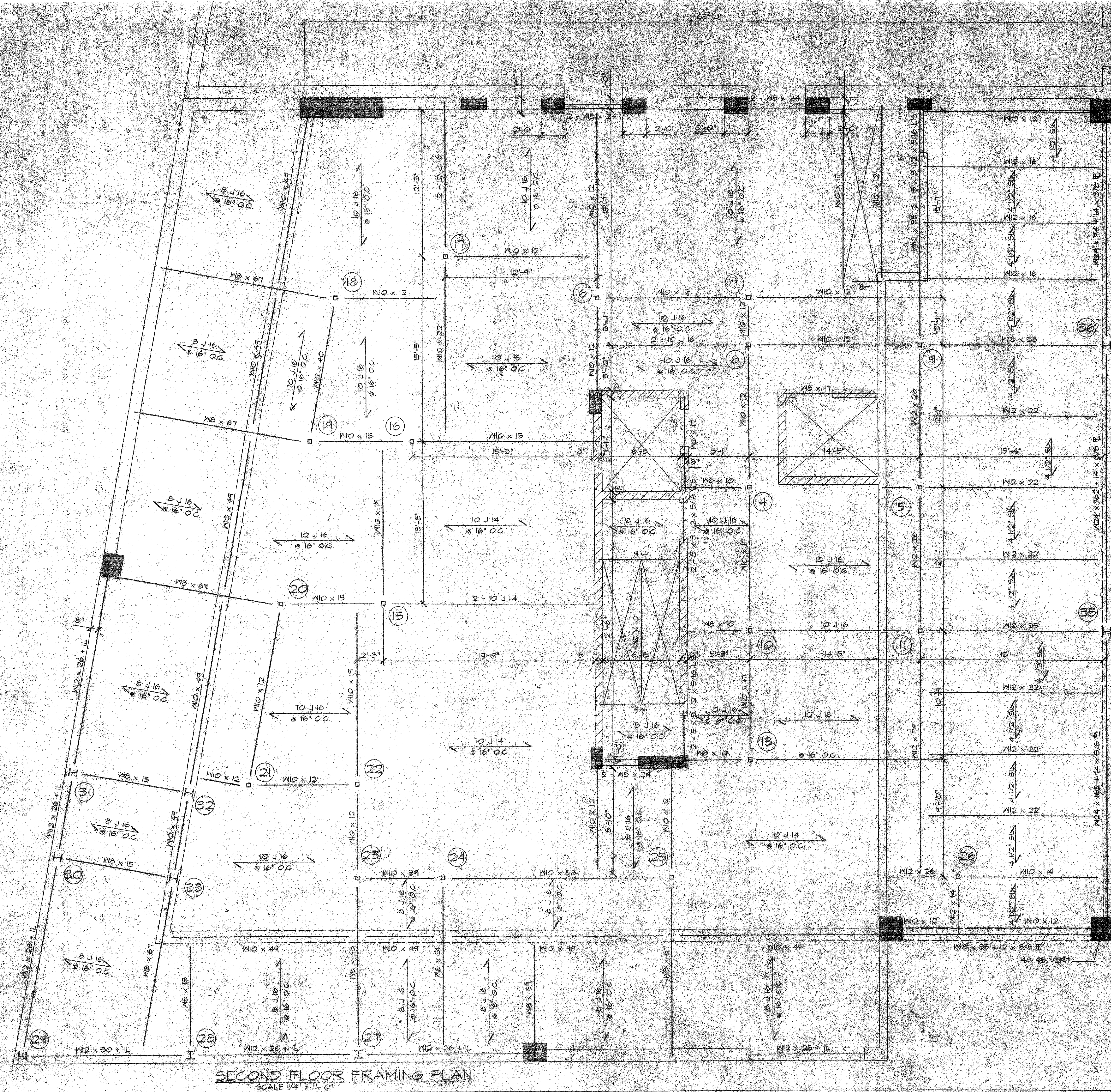
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 DATE 4-30-02

DRAWING NO. F-3

OF



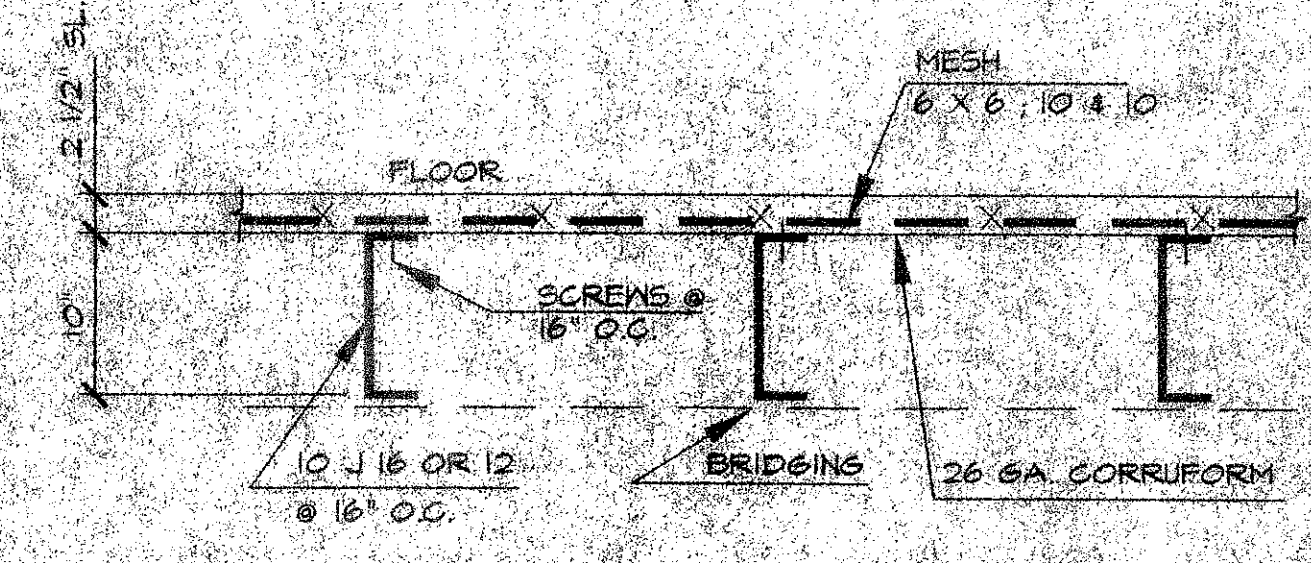




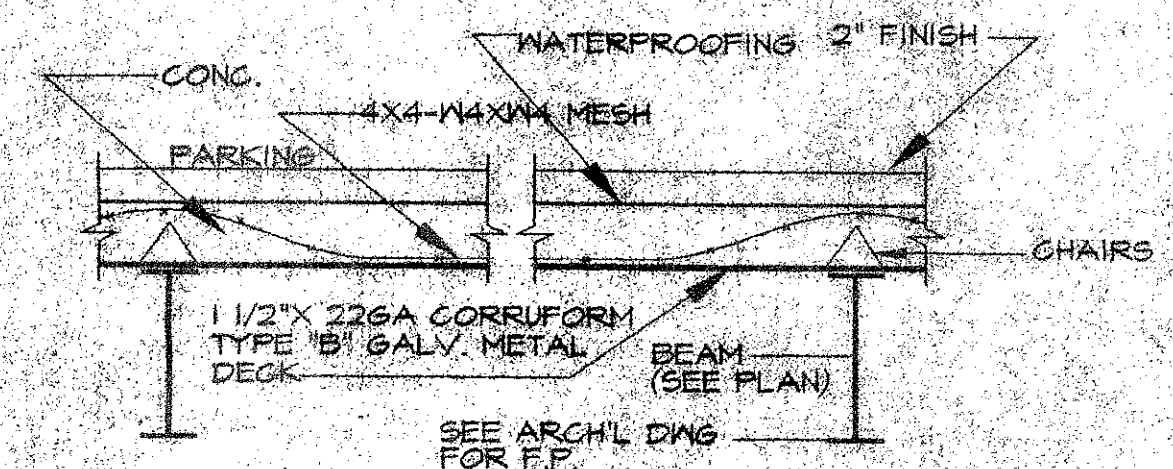
SECOND FLOOR FRAMING PLAN  
SCALE 1/4" = 1'-0"

LOADING	
2" FINISH	= 20 PSF
4 1/2" SLAB	= 56 PSF
STEEL & FF	= 14 PSF
LIVE LOAD	= 100 PSF
<b>TOTAL</b>	<b>= 190 PSF</b>

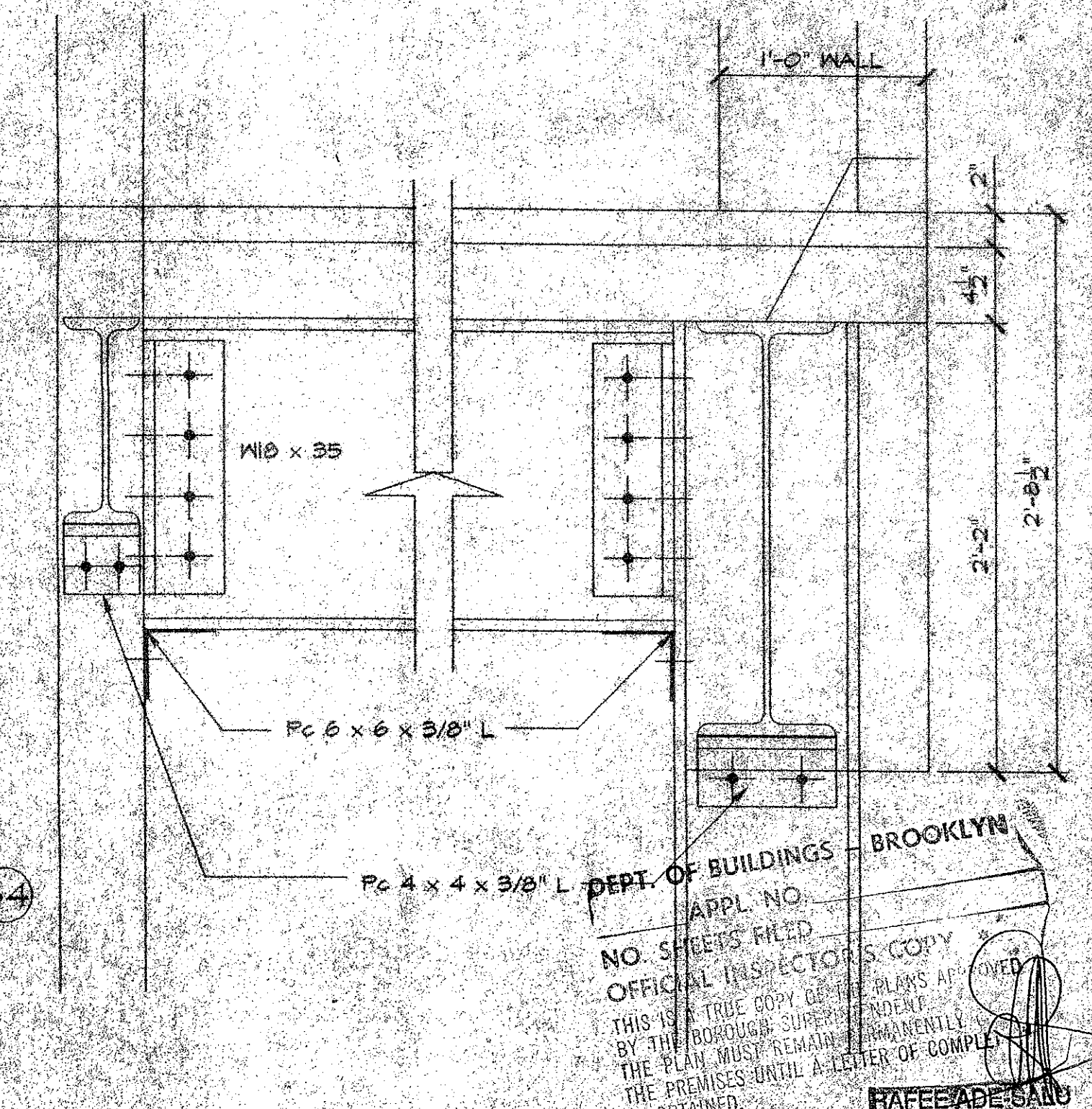
NOTE  
 COLS 7, 10, 13 TO BE 4 x 4 x 3/8" TUBULAR  
 COLS 4, 5, 6, 8, 9, 11, 12, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23 & 24 TO BE 5 x 5 1/2" TUBULAR  
 COLS 11, 25 & 26 TO BE 7 x 5 x 3/8" TUBULAR  
 COLS 27, 28, 29, 30, 31, 32 & 33 TO BE W6 x 16  
 COLS 34 TO BE W8 x 35  
 COLS 35 & 36 TO BE W8 x 58



TYP. SECT. THRU FLOOR  
SCALE: 1" = 1'-0"

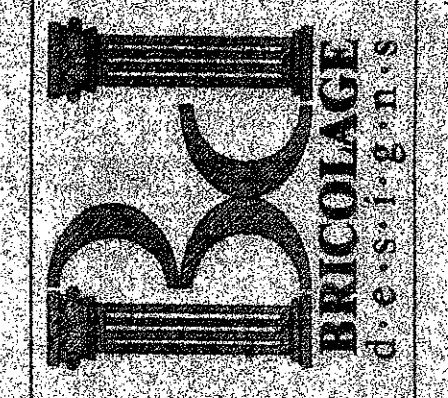


SECT. THRU EXTERIOR PARKING  
SCALE: 1" = 1'-0"



EARTHQUAKE SECTION 'B - B'  
SCALE: 1/2" = 1'-0"

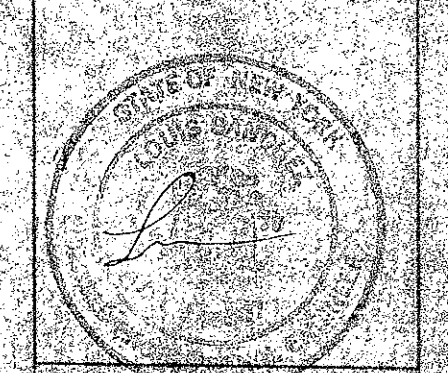
ARCHITECT  
 PLANNER  
 CONSULTANT  
 6521 New Utrecht Avenue  
 Brooklyn, N.Y. 11219  
 Tel. 718.259.4100  
 Fax. 718.259.0111



THE ARCHITECT SHALL NOT HAVE CONTROL OR CHANGE OF MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

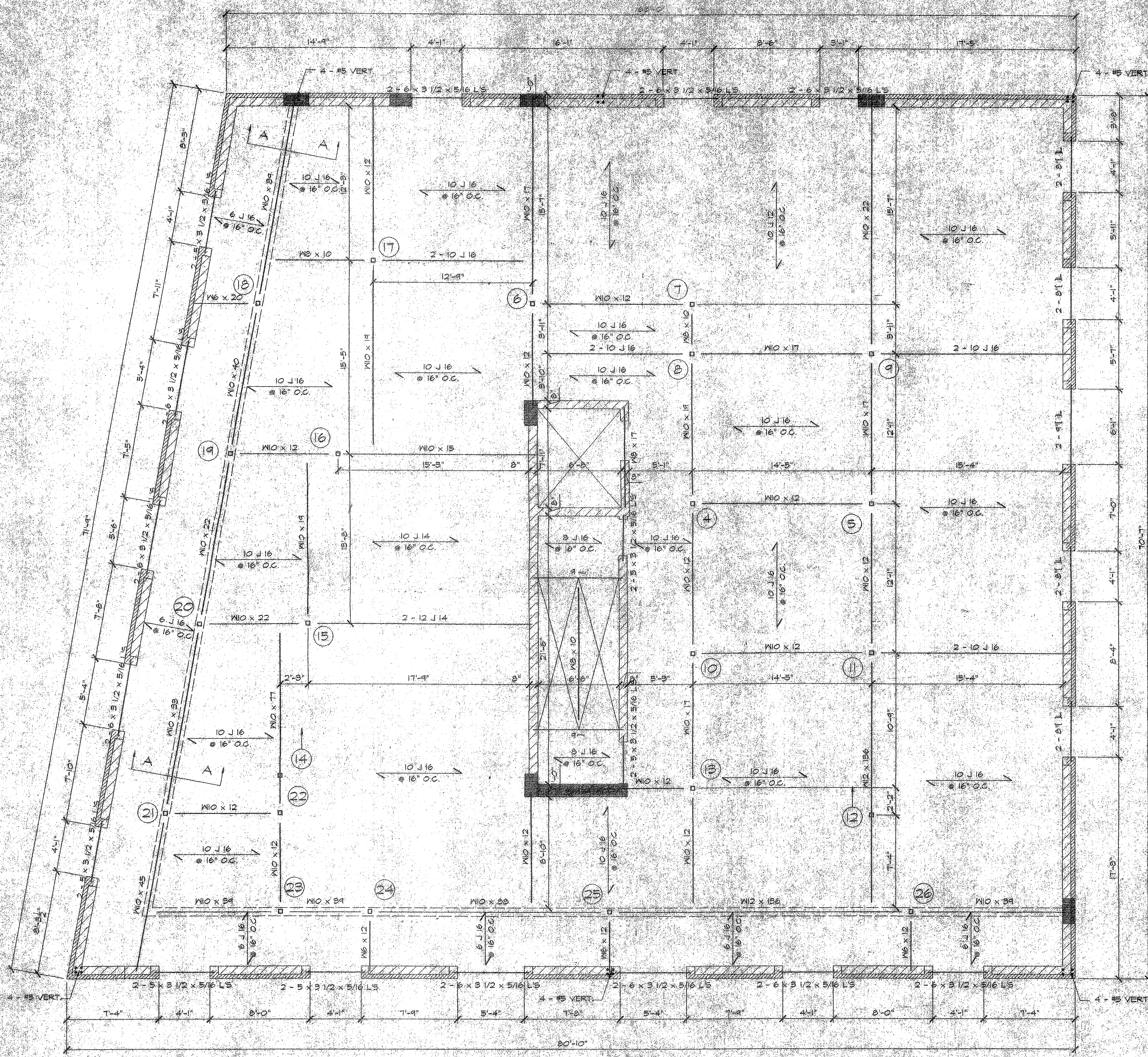
2ND FLOOR FRAMING PLAN  
 PROPOSED ALTERATION TO 3 STORY MEDICAL BUILDING TO COMBINE W/3 STORY 4 FENHOUSE BUILDING LOCATED @ 6511 HORT HAMILTON PKWY. BAYLUN, N.Y.

REVISIONS:



PROJECT NO. 01-217  
 DATE: 4/18/2002  
 DRAWING NO. S2

JAN 17 2003

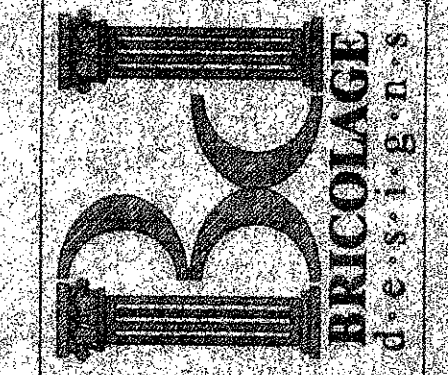


**THIRD FLOOR FRAMING PLAN**

SCALE 1/4" = 1'-0"

COL'S 7, 8 & 10 TO BE 4 x 4 x 3/8" TUBULAR  
 COL'S 4, 5, 6, 9 & 11 TO BE 5 x 5 x 3/8" TUBULAR  
 COL'S 13, 15, 16, 17, 18, 19, 20, 21, 22, 23 & 24 TO BE 6 x 4 x 3/8" TUBULAR  
 COL'S 25 & 26 TO BE 7 x 5 x 3/8" TUBULAR

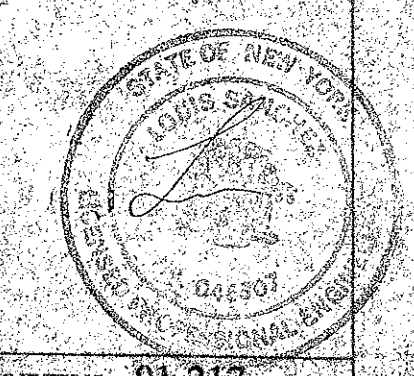
ARCHITECT  
 PLANNERS  
 CONSULTANT  
 6321 New Utrecht Avenue  
 Brooklyn, N.Y. 11219  
 Tel. 718.259.1101  
 Fax. 718.259.8111



THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, METHODS, DEMONSTRATIONS, TECHNICAL SEQUENCES OR ANY OTHER MATTER IN CONNECTION WITH THE WORK FOR WHICH THIS AGREEMENT IS MADE. THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

3RD FLOOR FRAMING PLAN  
 PROPOSED ALTERATION TO 1 STORY MEDICAL BUILDING TO COMBINE W/ 3 STORY & PENTHOUSE BUILDING IN EAST 11TH STREET  
 6511 FORD LUTHER BLVD.  
 BAYLON, N.Y.

REVISIONS:



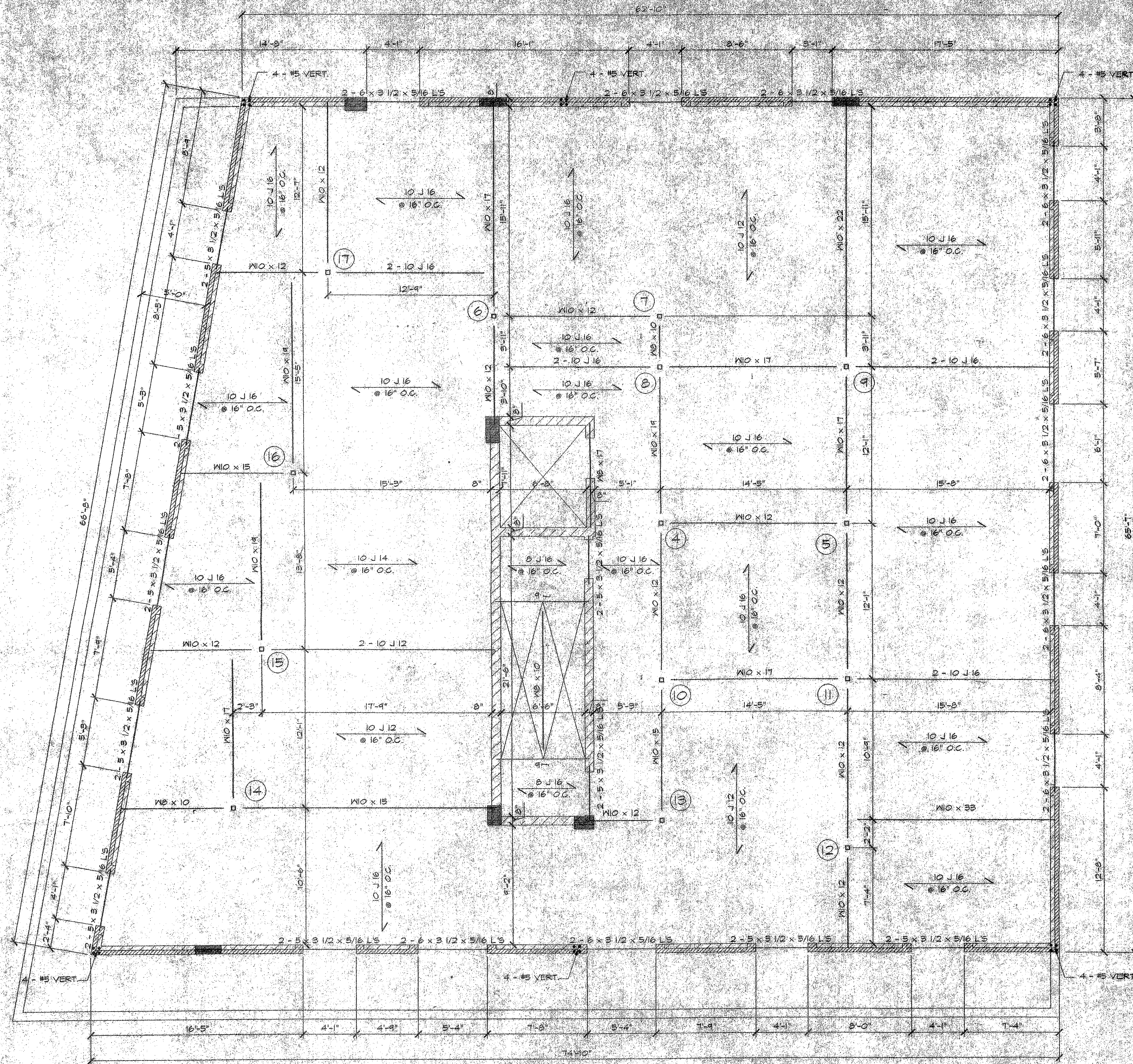
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 RAFAELI

PROJECT NO. 01-217  
 DATE: 4/18/2002  
 DRAWING NO.

**S3**

OF

JAN 17 2003

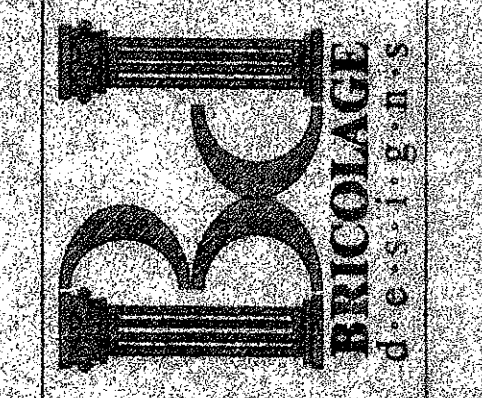


**FOURTH FLOOR FRAMING PLAN**  
SCALE 1/4" = 1'-0"

COL'S 4, 5, 6, 7, 8, 9, 10, # 11 TO BE 4 x 4 x 3/8" TUBULAR  
COL'S 12, 13, 14, 15, 16, # 17 TO BE 6 x 4 x 3/8" TUBULAR

DEPT. OF BUILDINGS - BROOKLYN  
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RAFAEL ADE SALU  
JAN 17 2002

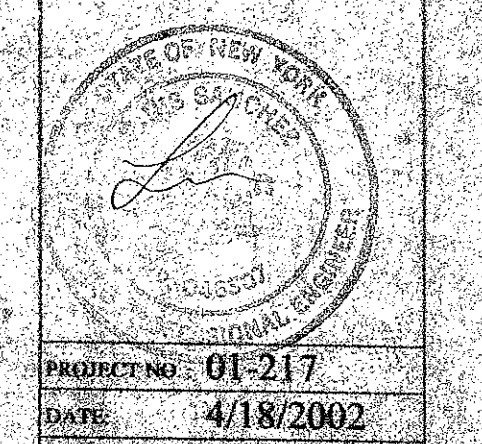
ARCHITECT  
PLANNERS  
CONSULTANTS  
6321 New Utrecht Avenue  
Brooklyn, N.Y. 11219  
Tel. 718.259.1101  
Fax. 718.259.0111



THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION OF THE WORK OR FOR ANY DEFECTS, DAMAGES, LOSSES OR INJURIES TO PERSONS OR PROPERTY OR FOR ANY OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

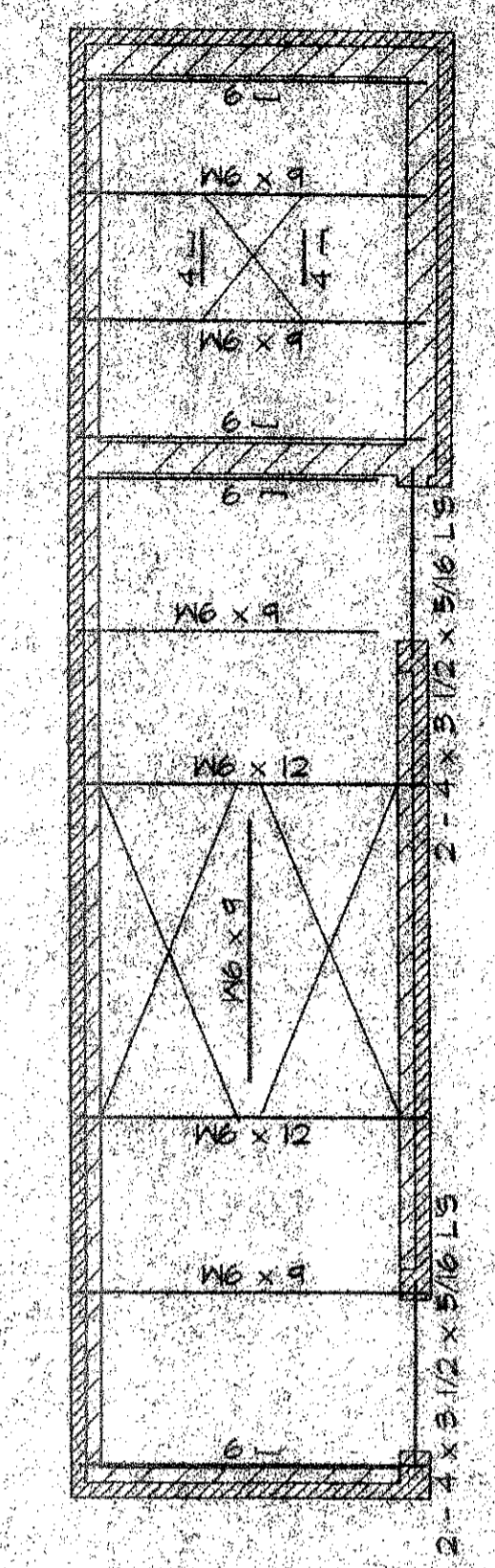
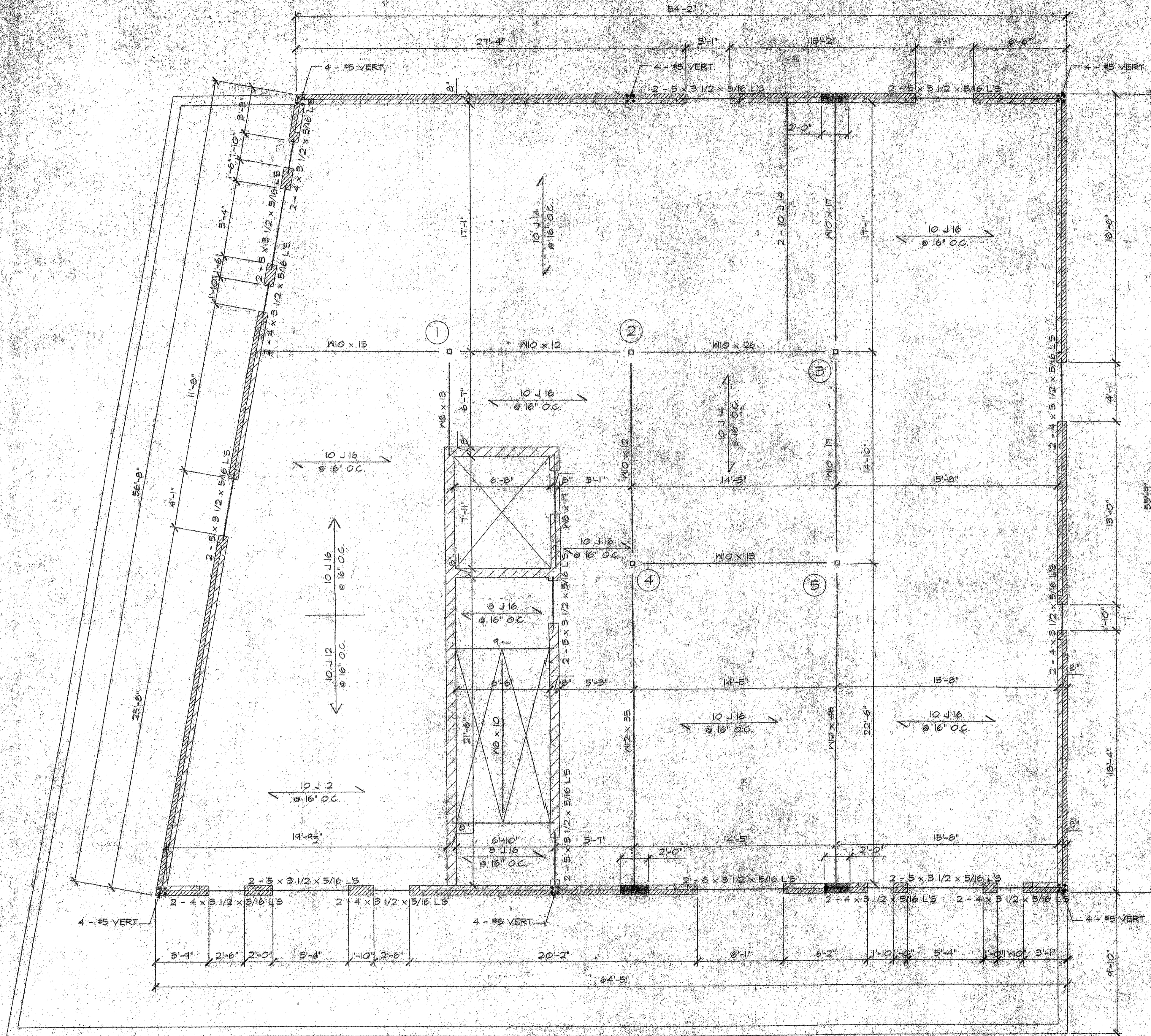
4TH FLOOR FRAMING PLAN  
PROPOSED ALTERATION TO 1 STORY MEDICAL BUILDING TO COMBINE W/ 3 STORY & 15TH HOUSE @ 6511 FORT HANCOCK PARK, BAYLUN, N.Y.

REVISIONS



PROJECT NO. 01-217  
DATE 4/18/2002  
DRAWING No. S4  
OF

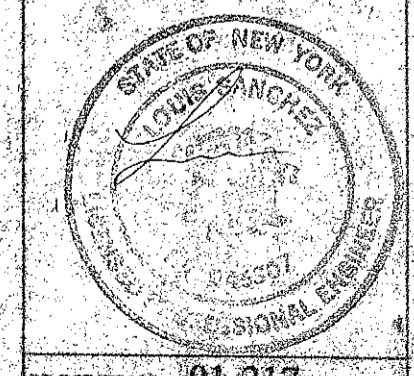




**BULKHEAD FRAMING PLAN**  
SCALE 1/4" = 1'-0"

**ROOF FRAMING PLAN**  
SCALE 1/4" = 1'-0"  
COLS 1, 2, 3, 4, AND 5 TO BE 4 x 4 x 3/8" TUBULAR

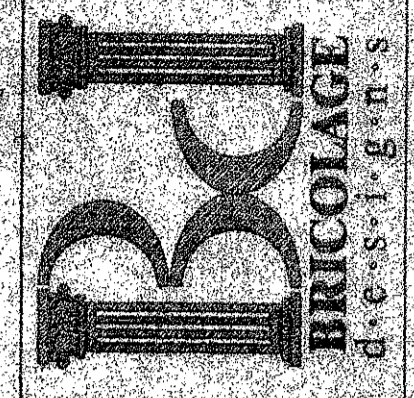
DEPT. OF BUILDINGS - BROOKLYN  
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HAFEADE-SALLO  
APR 17 2002



PROJECT NO. 01-217  
DATE 4/18/2002  
DRAWING No. S6

S6  
OF

ARCHITECTS  
PLANNERS  
CONSULTANTS  
6321 New Utrecht Avenue  
Brooklyn, N.Y. 11235  
Tel: 718.259.1170  
Fax: 718.259.8170



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PROPOSED ALTERATION TO 1 STORY MEDICAL BUILDING TO COMBINE W/3 STORY & REHAB HOUSE BUILDING LOCATED @ 6511 FORT HAMILTON PKWY. BKLYN, NY

REVISIONS: