

abbreviations:

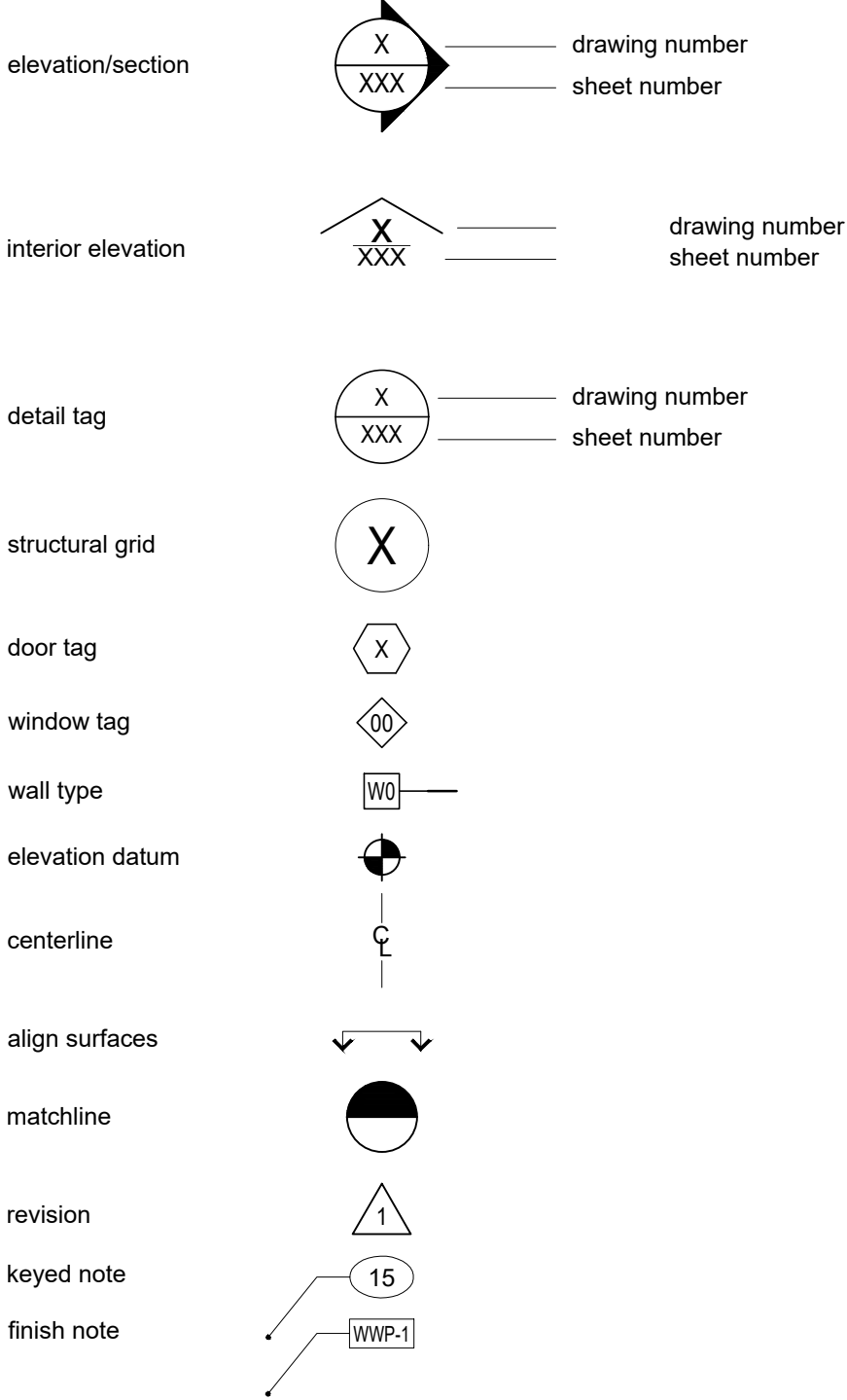
(Note: This is a general abbreviation list and not all abbreviations apply to this project)

a.b.	anchor bolt	lam.	lamine
abv.	above		
a.c.	air conditioning		
acous	acoustical	mach.	machine
adj.	adjustable	mag.	magnetic
a.f.f.	above finish floor	matl.	material
aggr.	aggregate	max.	maximum
a.h.u.	air handling unit	m.b.	machine bolt
alum.	aluminum	mbl.	marble
alt.	alternate	m.d.f.	medium density fiberboard
a.p.	acoustical panel	mech.	mechanical
approx	approximate	memb.	membrane
asph.	asphalt	mtl.	metal
		mfr.	manufacturer
bbq	barbeque	mhl.	manhole
b.c.	bottom of curb	min.	minimum
bd.	board	mir.	mirror
bitum	bituminous	misc.	miscellaneous.
bidg.	building	m.o.	masonry opening
bkg.	blocking	m.r.	moisture resistant
bm.	beam	mtd.	mounted
b.o.	bottom of	mul.	mullion
b.u.	built up		
		(n)	new
cab.	cabinet	n.	north
c.b.	catch basin	n/a	not available
cem.	cement	n.a.	not accessible
cer.	ceramic	n.i.c.	not in contract
chan.	channel	no.	number
c.j.	control joint	nom.	nominal
ctr.	center	n.t.s.	not to scale
c.g.	corner guard		
clg.	ceiling	obs.	obscure
clkg.	caulking	o.c.	on center
clr.	clear	o.d.	outside diameter
col.	column	off.	office
conc.	concrete	oper.	operable
const	construction	opng.	opening
cont.	continuous	opp.	opposite
cmu.	concrete masonry unit		
cntr.	counter	pav.	paving
ctsk.	countersunk	perf.	perforated
c.w.	cold water	perp.	perpendicular
com.	common	pl.	plate
		p.lam.	plastic laminate
dbl.	double	plab.	plaster
dept.	department	plywd.	plywood
dtl.	detail	pr.	pair
d.f.	drinking fountain	prcst.	precast
dia.	diameter	prop.	property
dim.	dimension	pt.	paint
dn.	down	pld.	painted
d.o.	door opening	ptn.	partition
dr.	door		
ds.	downspout	qty.	quantity
d.s.p.	dry standpipe		
dwg.	drawing	rad.	radius
dwr.	drawer	r.c.	resilient channel
		r.c.p.	reflected ceiling plan
(e)	existing	r.d.	roof drain
e.	east	r.e.	rammed earth
e.f.	exhaust fan	ref.	reference
e.j.	expansion joint	refr.	refrigeration
el.	elevation	reinf.	reinforced
elec.	electrical	req'd.	required
elev.	elevator	resil.	resilient
emer.	emergency	rev.	revision
encl.	enclosure	rm.	room
eng.	engineer	r.o.	rough opening
e.p.	electrical panelboard	r.w.l.	rain water leader
eq.	equal		
eqpt.	equipment	s.	south
e.w.h.	electrical water heater	s.a.d.	see architectural drawings
ext.	existing	s.c.	solid core
exp.	expansion	sched.	schedule
exp.	exposed aggregate	s.e.d.	see electrical drawings
ext.	exterior	sect.	section
extr.	extrusion	s.f.	supply fan
		shr.	shower
f.a.	fire alarm	shl.	sheet
f.b.	flat bar	sim.	similar
f.d.	floor drain	s.j.	seismic joint
f.d.c.	fire department connection	sl.	sliding
f.e.	fire extinguisher (surface)	s.l.d.	see landscape drawings
f.e.c.	fire extinguisher cabinet	s.m.d.	see mechanical drawings
f.c.o.	floor clean out	s.p.d.	see plumbing drawings
f.f.e.	finish floor elevation	spec.	specification
f.g.	finish glass	sq.	square
f.h.	fire hose	s.r.	sprinkler riser
fin.	finish	s.s.d.	see structural drawings
fixt.	fixture	st.stl.	stainless steel
fl.	floor	stl.	steel
flash.	flashing	std.	standard
flour.	fluorescent	stor.	storage
fnf.	foundation	str.	structural
f.o.	face of	susp.	suspended
f.o.c.	face of concrete		
f.o.f.	face of finish	t.a.r.	that ain't right
f.o.s.	face of studs	t.c.	top of curb
fprf.	fire proof	tel.	telephone
f.s.	fire sprinkler	temp.	tempered
f.s.d.	fire/smoke damper	ter.	terrazzo
ft.	foot	t&g	tongue and groove
ftg.	footing	thru.	through
fr.	frame	t.i.	tenant improvement
furr.	furring	t.o.	top of
fut.	future	t.o.p.	top of pavement
		t.v.	television
ga.	gauge	t.o.w.	top of wall
galv.	galvanized	typ.	typical
g.b.	grab bar		
gl.	glass	unf.	unfinished
gnd.	ground	u.o.n.	unless otherwise noted
gr.	grade	util.	utility
g.s.m.	galvanized sheet metal		
gwb.	gypsum wall board	ver.	verify
		vert.	vertical
h.b.	hose bib	vest.	vestibule
h.c.	hollow core	v.g.d.f.	vertical grain douglas fir
hd.	head	v.i.f.	verify in field
hdr.	header		
hdwd	hardwood	w.	west
hdwe	hardware	w/	with
h.m.	hollow metal	w.c.	water closet
horiz.	horizontal	wd.	wood
h.r.	hand rail	w/d	washer/dryer
h.w.	hot water	wdw	window
		w.g.	wire glass
i.d.	inside diameter	w.h.	water heater
insul.	insulation	w.m.	wall mount
int.	interior	w.o.	where occurs
inv.	invert	w/o	without
		wp.	waterproof
jan.	janitor	w.s.p.	wet stand pipe
jt.	joint	w.w.f.	wire welded fabric
		w.w.m.	woven wire mesh
kit.	kitchen		

general notes:

- do not scale drawings.
- dimensions are to face of studs/masonry wall, or structural gridlines where shown, unless noted as critical clear dimension (clr). clr dimensions are to face of finish.
- doors are dimensioned to the edge of the door panel or inside face of the jamb, unless noted otherwise. windows are dimensioned to the outside edge of the window frame, unless noted otherwise.
- general contractor to verify all existing conditions where work is to be performed, and their compatibility with construction documents prior to commencing work. document in writing any discrepancies and coordinate with the architect to resolve discrepancies.
- sub-contractors shall familiarize themselves with the total set of drawings, specifications, addendums, and change orders.
- details shown shall be incorporated into the project at all appropriate locations whether specifically called out on plans or not.
- omissions or conflicts between various elements of the drawings, details or notes shall be brought to the attention of the architect and resolved in drawing form before proceeding with the associative scope of work in question.
- where any discrepancies occur between plans, details, notes and specifications, the more stringent requirements shall govern. where specific detail is not shown, it is the subcontractor's responsibility to verify details with architect prior to construction.
- sub-contractors shall remove all surplus materials, and temporary supports and debris of every nature resulting from the contractors operations, and shall leave the site in neat orderly condition.
- sub-contractor shall verify the location of, and provide protection for all of utilities within the work area whether or not documented on the drawings. contractor shall immediately notify the utility company if services are interrupted.
- architect shall review for approval all colors, samples, and manufactured products to verify their compliance with the design intent and scope of the contract documents.
- general contractor + sub-contractors will provide minimum 1 year warranty on all work, material and equipment.
- install materials, finishes, manufactured items, and equipment in full accordance with the supplier's or manufacturer's written recommendations.
- general contractor to submit all warranties, instructions, owners and operations manuals, etc. to the owner prior to final payment.

symbols key



project data:

parcels: 117-07-207A
zoning: C-3
site area, total: 2,779 sf (0.06 acres)

existing building: 1155 sf
covered patio (existing): 178 sf
new ADA ramp: 145 sf

total site coverage: 1478/2779 sf 53.18%

project description: update + renewal of existing shell and minor interior changes

CoT PDSD zoning approvals:

T19SA00221
DP18-0283
DS19-04
IID-19-04
HPZ-19-54

project directory:

architect

haru studio, llc
dale rush
348 e mabel st
tucson, az 85705
e: studio@ha-ru.co

structural engineer

schneider structural engineers
ron schneider
435 e 9th street
tucson, arizona 85705
t: 520.512.8183

owner

equilibrium real estate investment
vanessa lane & sofonias astake
t: 520.401.5488

builder

durazo construction
jr durazo
t: 520.623.1077

drawing list:

G101 site information
G102 site plan

D100 demo floor plan

A100 overall floor plan + bathroom details
A200 ramp details
A300 exterior elevations
A400 sections + door & window schedule

P100 plumbing plan

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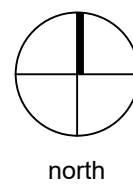
project:

18 w. 18th st.

18 west 18th street
Tucson, Arizona 85701

date: november 17, 2021
scale: nts
project no.: 1806
issued for: shell permit

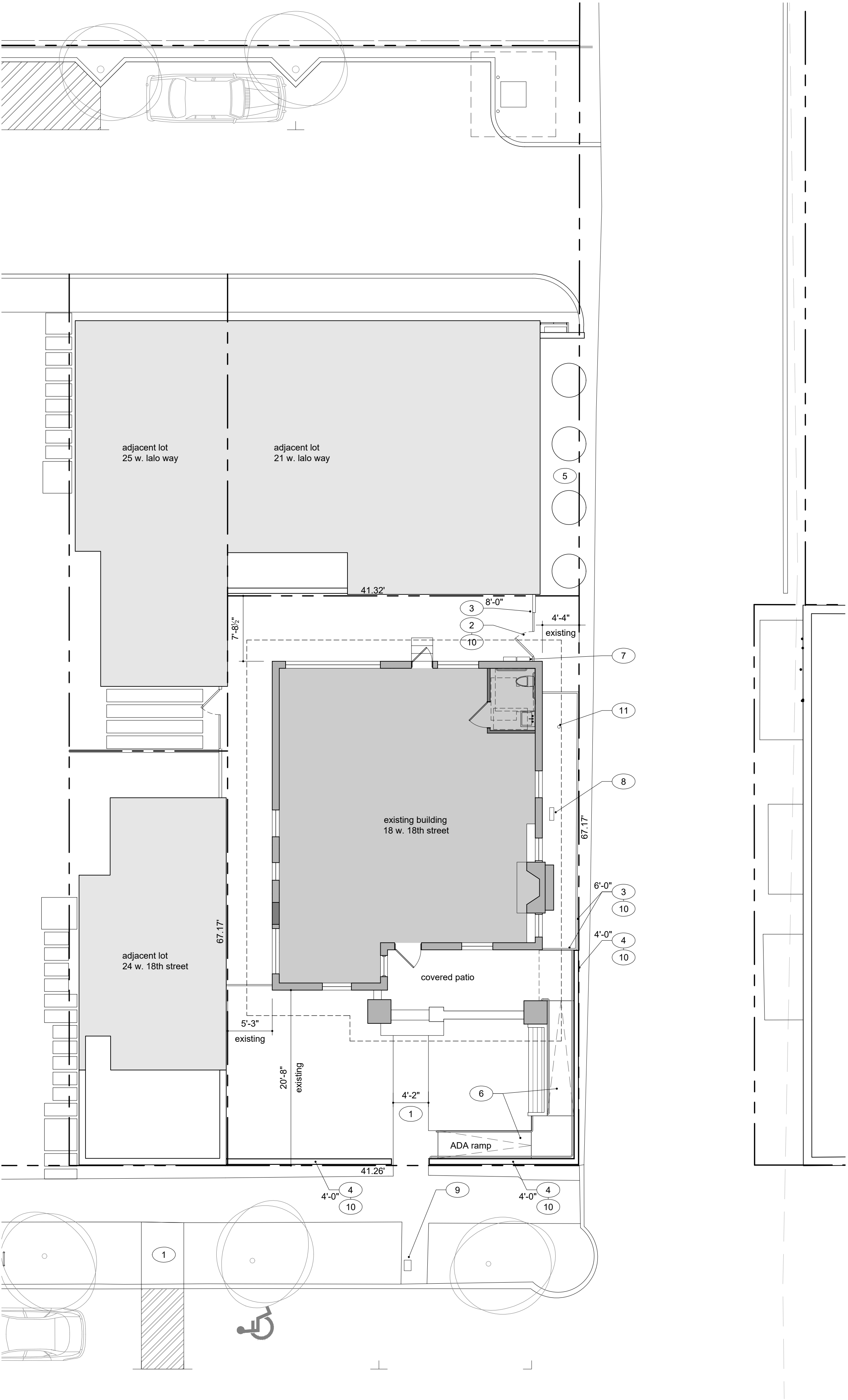
general project
information



G101



1 vicinity map



general note

- a. new lot dimensions approved per development plan (DP18-0283)
- b. all exterior site elements will be built as a part of site development permit T19SA00221, unless noted otherwise

keyed notes

XX

- 1. new concrete walkway
- 2. wood gate with keyed access into lot
- 3. wood fence, approximate height noted on plans from average adjacent finish grade
- 4. masonry site wall with stucco finish [WS-1], approximate height noted on plans from average adjacent finish grade
- 5. trash bins - two 300gal APC's for trash and two 300gal APC's for recycle
- 6. new accessible ramp, see 1/A200
- 7. new service, disconnect, house service, new service request, work order and permit responsibility of electrical sub-contractor
- 8. existing gas meter to remain
- 9. existing water meter
- 10. site walls + gates to be built as part of permit T19SA00221
- 11. new plumbing clean out at waste service entrance

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scale: 1/8" = 1'-0"
project no.: 1806
issued for: shell permit

site plan

G102

OF

1 site plan

demo notes

- a. demo is in preparation for tenant improvement and to rehabilitate the exterior shell per HPZ-19-54 and IID-19-04
- b. removed plumbing supply + drain pipes back to where service enters the building.

keyed notes

- XX
- 1. existing floor/sub-floor throughout to be removed back to existing floor joists
 - 2. ceiling and ceiling joist to be removed, temporarily support roof as needed until new ridge beam is in place.
 - 3. remove interior walls from floor to ceiling, temporarily support roof as needed
 - 4. remove door, prep. for new door, window or wall infill
 - 5. remove patio knee wall and prep. for new ADA ramp
 - 6. remove masonry fireplace and chimney from top to footing and patch roof
 - 7. remove all plumbing fixtures, and pipe back to service entrance
 - 8. casework next to fireplace to remain, protect through out duration of construction
 - 9. remove interior door
 - 10. remove concrete walk from sidewalk to first step
 - 11. remove loose, cracked, or crumbling existing stucco + prep. for new finish coat

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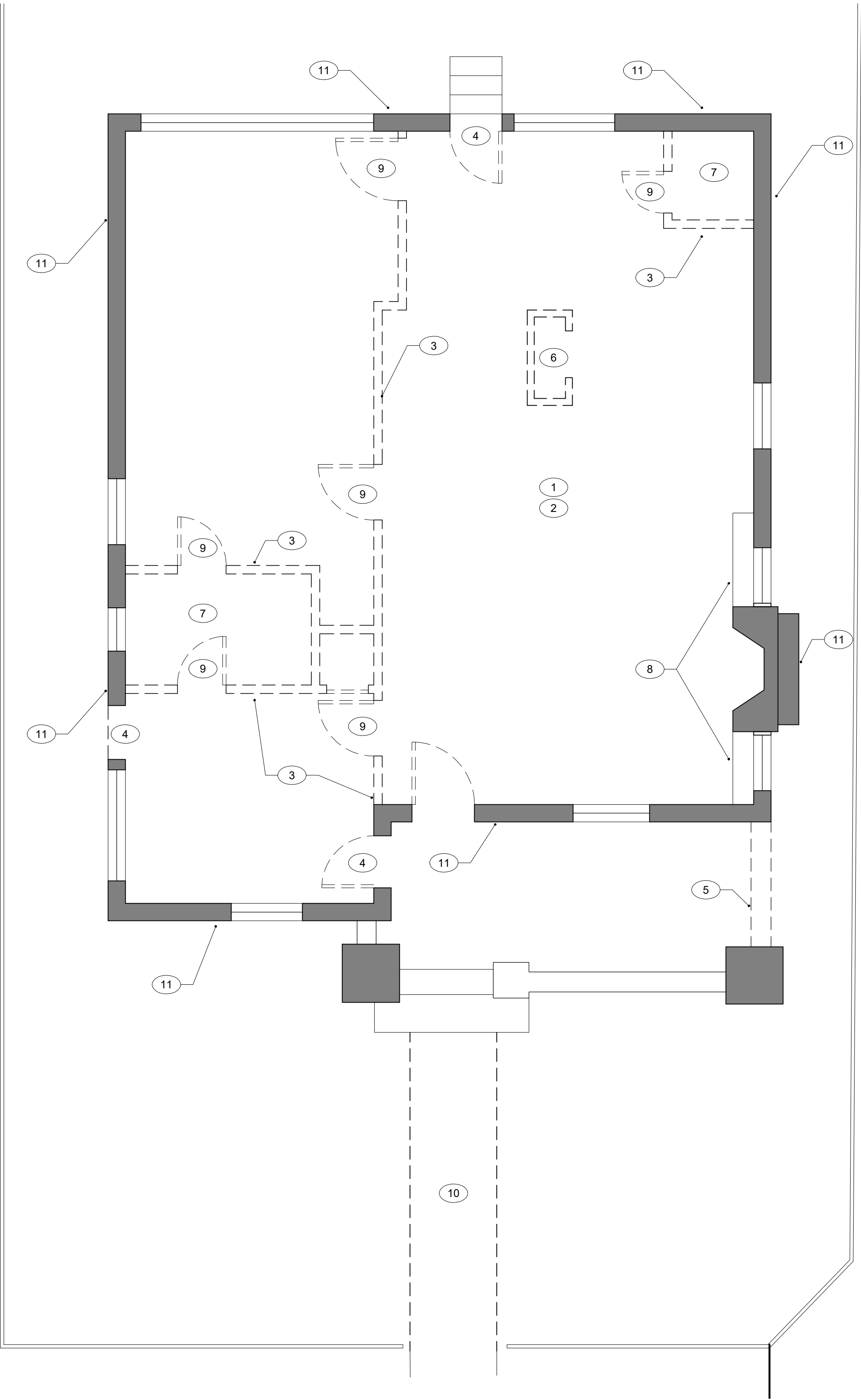
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Tucson, Arizona 85701

date: november 17, 2021
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project no.: 1806
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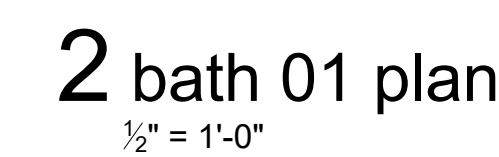
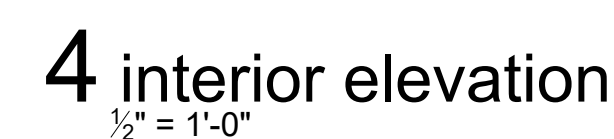
demo floor plan

D101

OF



1 demo floor plan



- a. ADA bathroom and ramp to comply with 2009 ICC A117.1 accessible and usable buildings and facilities
- b. all mechanical work it to be a part of separate tenant improvement permit

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keyed notes

1. existing casework on each side of fireplace, protect throughout duration of construction
2. infill opening in exterior wall with masonry. finish exterior stucco to match existing adjacent stucco, leave interior as exposed masonry wall
3. existing hearth
4. roof overhead
5. exterior wall to receive new western white, fine, stucco finish
6. new ADA ramp, see A200 for details
7. new wood bench to be built in with new ramp, see A200 for details
8. site fence or wall to be built as a part of permit T19SA00221
9. wall grab bars to be installed per §604.5.1/604.5.2 of the 2009 ICC A117.2, see interior elevations for additional information, provided blocking as needed
10. new framed wall to be full height, strap wall to roof rafter with simpson hurricane tie
11. provide protection wrap

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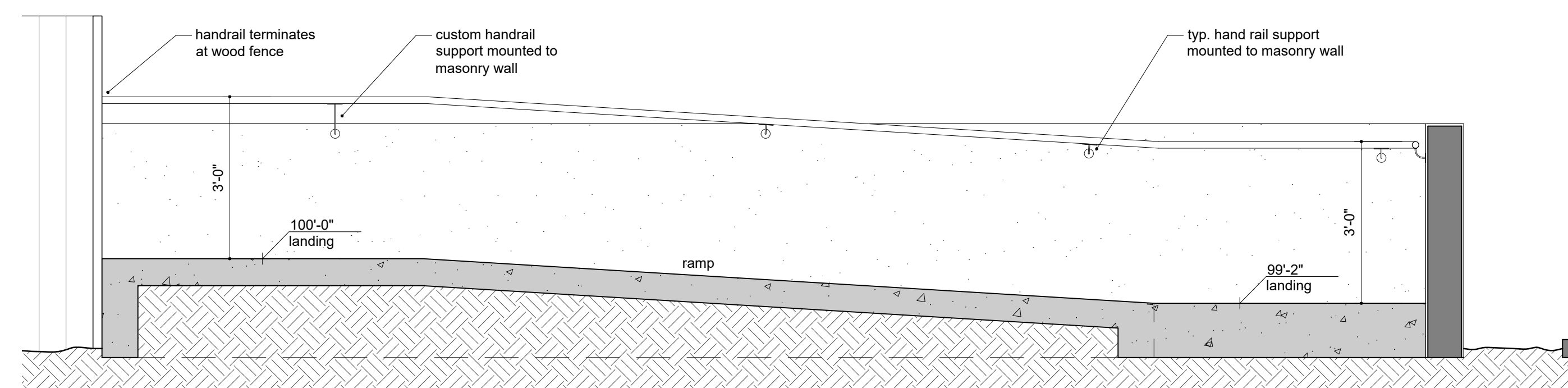
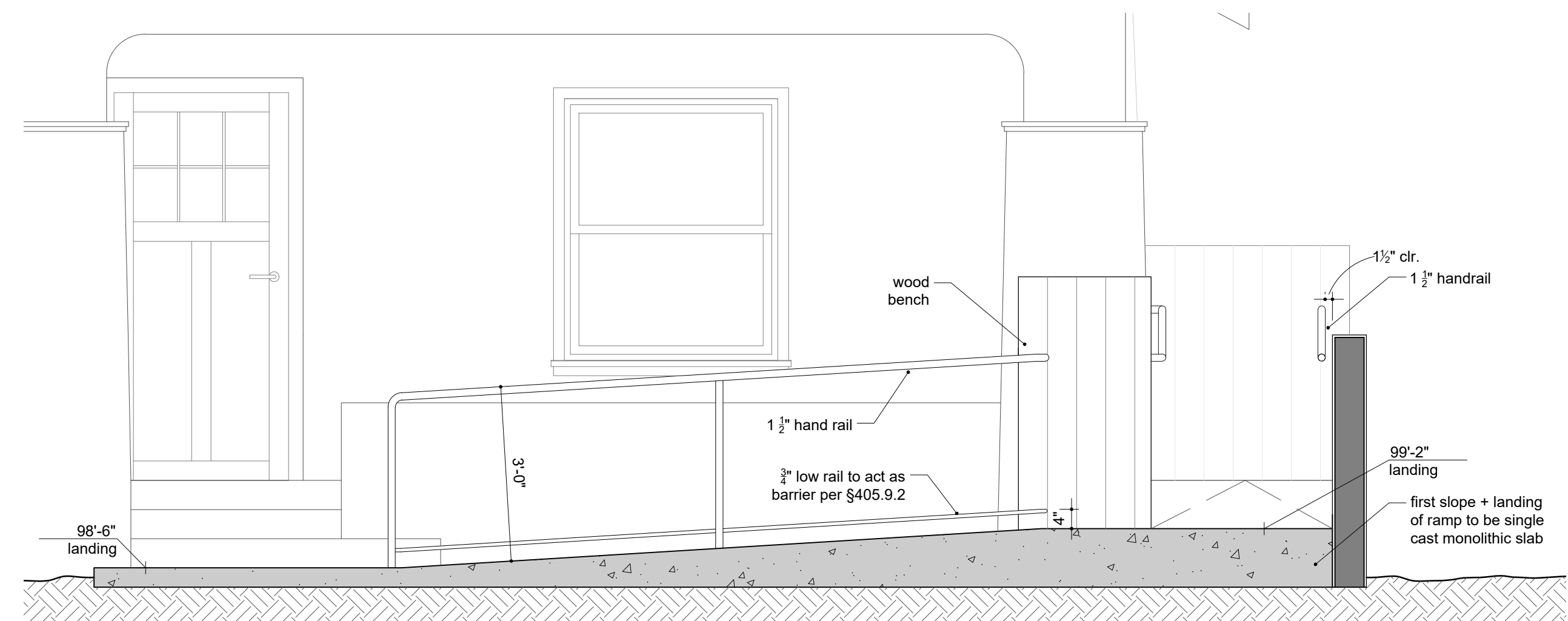
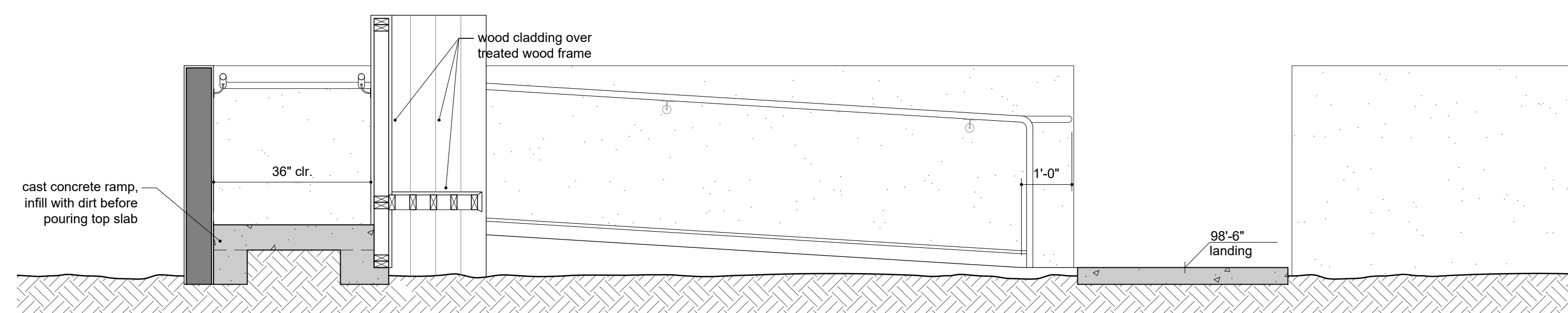
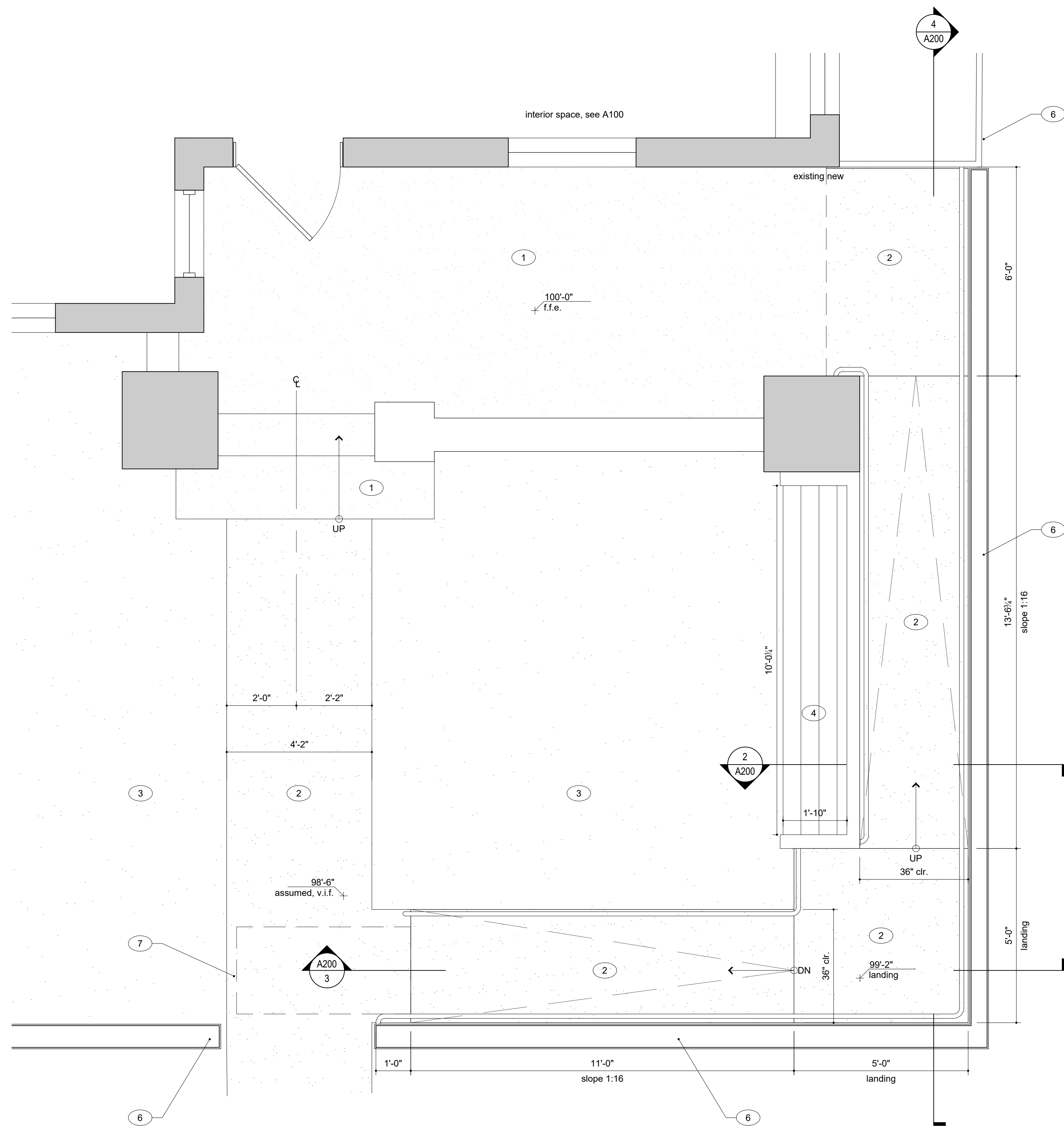
$$\frac{1}{4}'' = 1'-0''$$

date: november 17, 2021
scale: noted on sheet
project no.: 1806
issued for: shell permit

overall floor plan

A100

OF



general note

- a. ADA bathroom and ramp to comply with 2009 ICC A117.1 accessible and usable buildings and facilities
- b. all mechanical work it to be a part of separate tenant improvement permit

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keyed notes

1. existing concrete patio + stair
2. new concrete path + ramp, finish to have a slip resistant texture
3. permeable decomposed granite ground cover
4. wood bench
5. bench wall to match height of site wall built as part of separate permit
6. site wall, fence or gate to be build at separate permit
7. 60x30 ramp landing
- 8.

XX

consultants:

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project:

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18 west 18th street
Tucson, Arizona 85701

date: november 17, 2021

scale: $\frac{1}{2}" = 1'-0"$

project no.: 1806

issued for: shell permit

enlarged floor plans
+ ramp sections

A200

F

general note

- a. the exterior of the building must be rehabilitated per the U.S. Secretary of the Interior's Standards for Rehabilitation 36 CFR 67.
- b. preserve all stucco raised and relief details, as well as retain or repair any deteriorated wood features like wood rafter ends, fascia, and trim.
- c. all elevation or height dimensions are measured from interior finish floor level, unless noted otherwise.

keyed notes

XX

- 1. new GAF timberline CS shingle in antique slate, provide all flashing, drip edges, penetration sealing to ensure a minimum 5 year warranty.
- 2. existing historically accurate windows to remain or be repaired in place if needed, paint window + trim dark grey (DE6371)
- 3. save existing craftsman style door if possible or repair frame and install, frame to be painted dark grey (DE6371) while the door is to be left natural wood
- 4. wood fascia + rafter tail painted dark grey (DE6371)
- 5. paint stucco column cap, dark grey (DE6371)
- 6. new wood attic vent painted grey (DE6368)
- 7. new stucco finish coat, western white fine finish
- 8. patch masonry wall here

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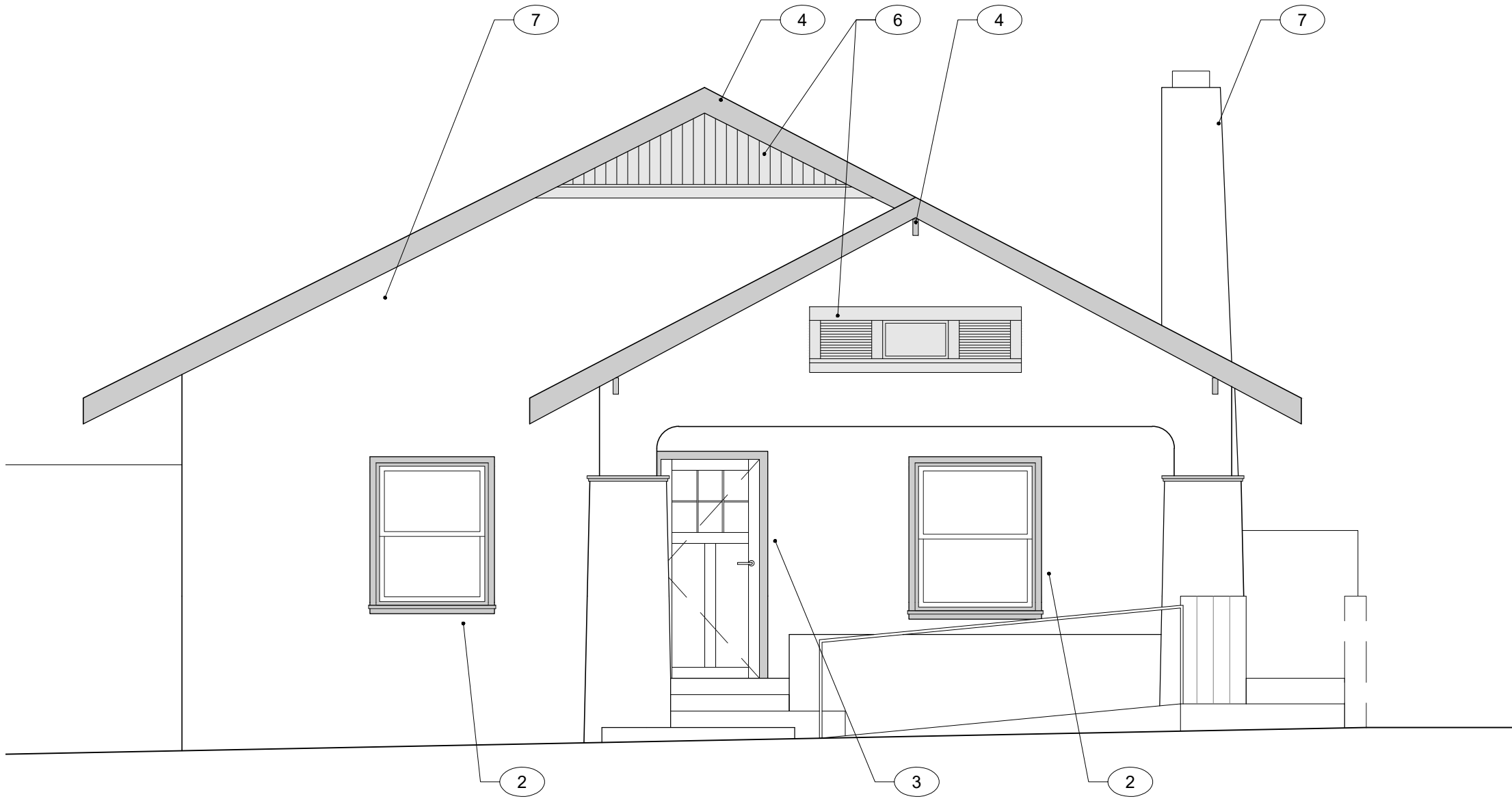
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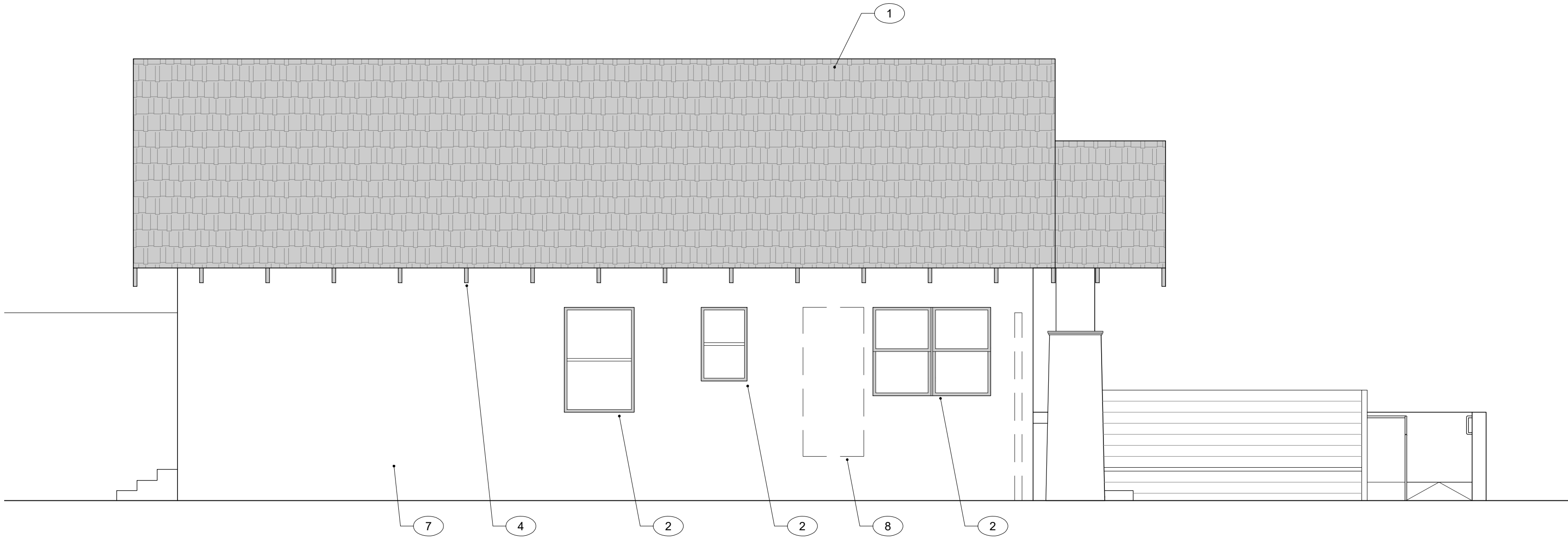
exterior elevations

A300

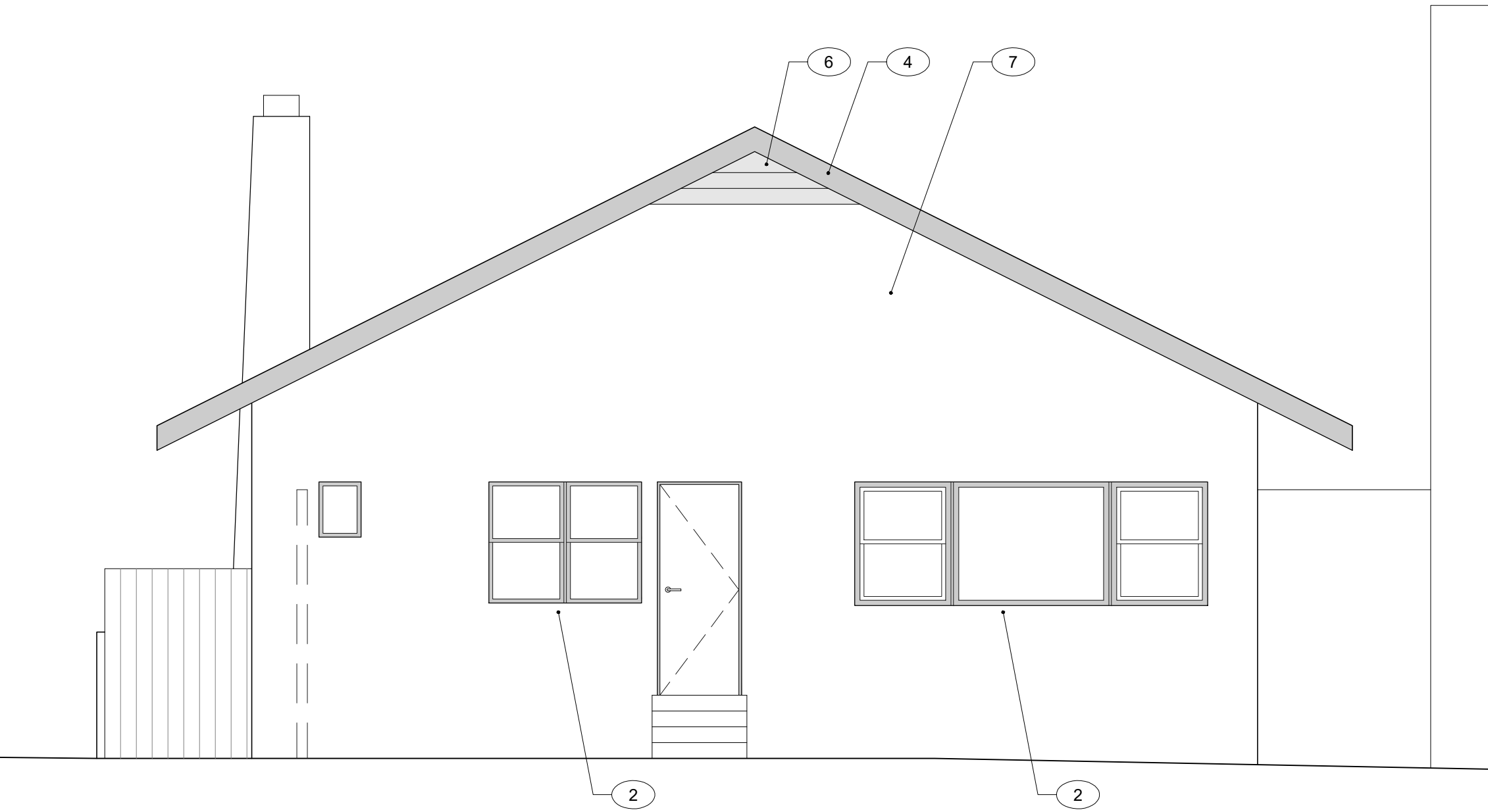
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1 south elevation



2 west elevation



3 north elevation



4 east elevation

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18 w. 18th s

A400



plumbing general notes

- a. plumbing sub-contractor shall size all drain-waste-vent and supply piping as well as all necessary equipment to provide and install completely operational systems regardless of whether all components and their sizing are shown in plans.
- b. plumbing sub-contractor to follow all applicable codes and regulations. if a conflict exists between the plan and applicable regulations or system requirements, notify the architect before installation.
- c. all work shall be performed using the latest and best industry standards.
- d. it shall be the plumbing sub-contractor's responsibility to study the entire set of working drawings and coordinate the installation of all plumbing work with the gc and other trades.
- e. verify equipment pressure and flow ratings and requirements as required for a fully functional installation.
- f. verify the daily static service pressure available and size the meter and distribution lines accordingly based on applicable code guidelines
- g. supply lines not shown for graphic clarity. plumbing sub-contractor will locate all piping for most efficient and functional system
- h. install shut off valve's at all water closets and lavatories.
- i. wall mounted sov's in the cabinets with braided stainless supply lines.
- j. unless otherwise noted all shut off valves should be mounted on rigid pipe strapped to wall framing/blocking or cabinet.
- k. maintain a 6" minimum separation between hot and cold water piping. corrosion wrap all metal underground water piping as well as all metal fittings for underground pex piping.
- l. contractor should precisely locate and scope all existing drain lines planned to be used and ensure they are in proper working order. the primary drain line should be scoped from the building to the sewer main in the street.
- m. new supply piping will be 1/2" unless noted otherwise

plumbing equipment

WH-1 under sink insta hot water heater for 1/2" hot line

- CW new connection point for cold water (CW) or hot water (HW)
- HW supply to fixture or shut off valve

electrical general notes

- a. electrical sub-Contractor shall size all components and equipment to provide and install completely operational systems regardless of whether all components are shown in plans.
- b. electrical sub-Contractor to follow requirements set forth in the current NEC and all other applicable codes and regulations. if a conflict exists between the plan and applicable regulations or system requirements, notify the Architect before installation.
- c. the electrical Contractor shall pre-wire the telephone, cable/sat tv, sound, data, intercom, security, etc. in strict accordance with the local service provider specifications as well as coordinate exact requirements and outlet locations with Architect and Owner.
- d. it shall be the electrical Contractor's responsibility to study the entire set of working drawings and coordinate the installation of all electrical work with the gc and other trades.
- e. verify location of all existing outlets, coordinate with Architect/Owner for additional outlet locations. refer to latest code for the addition of outlets in renovated rooms.
- f. 120v, single phase 15 amp and 20 amp outlets installed outdoors and in bathrooms and within 4' of sinks shall have ground fault circuit protection. do not use feed through type gfci devices except where indicated.
- g. all duplex receptacles throughout the home shall be tamper resistant.
- h. all receptacles shall be mounted with the long dimension of the device horizontal, and the centerline mounted to the specified height. outlets adjacent to or in the same j-box as switches should be mounted vertically
- i. all outlets, switches and other wall mounted devices shall be leviton decora style.
- j. all appliance outlets are to be mounted + installed at manufacturers' specified height.
- k. see E100 for light fixture schedule.
- l. at all visible device locations use screwless wall plates. outlets in cabinets need not to be screwless.
- m. all receptacle are to be placed horiz. at +8" aff unless otherwise noted.
- n. refer to M100 mechanical plans for thermostatic zones.
- o. see E001 for panel schedules, load calculations + one line diagrams.

power symbols

- ⌚ duplex convenience receptacle. mount at 8" above finish floor wit long dimension horizontal unless noted otherwise. Leviton 15 amp TR or equal. coordinate dedicated appliance outlet height and amp rating with intended appliance to be installed. outlets mounted above countertops or in the island or near vanities should be coordinated with interior elevations. if outlet not shown in interior elevations coordinate these outlet locations with the Architect or the Owner.

GFCI ground fault circuit interrupter

lighting symbols

- S wall switch. leviton decora style single pole. mount at +42" aff unless otherwise noted. coordinate switching/dimming, programming, and mounting with architect or owner.
- ☐ recessed fan/light combo
- 🔦 wall sconce

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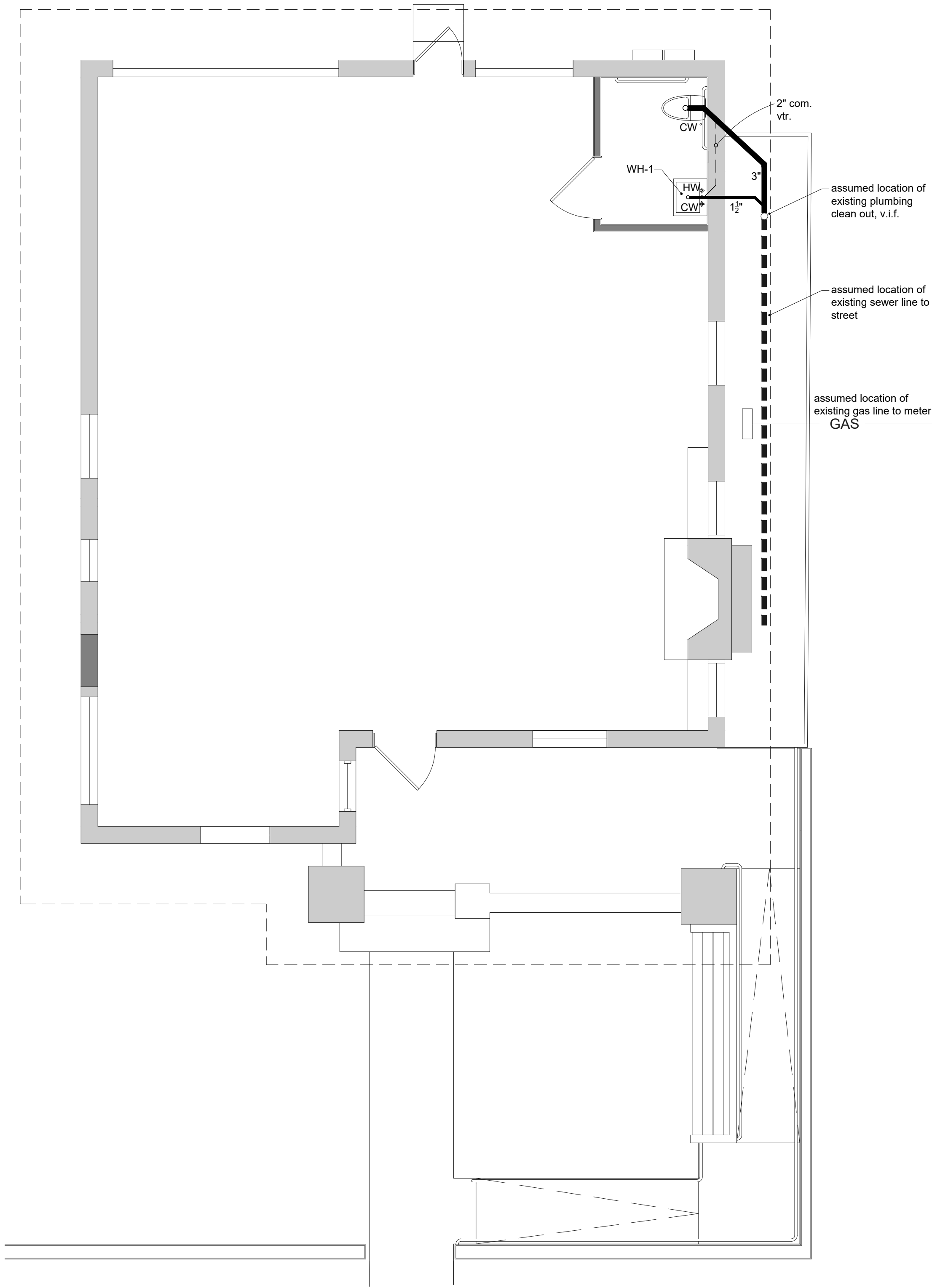
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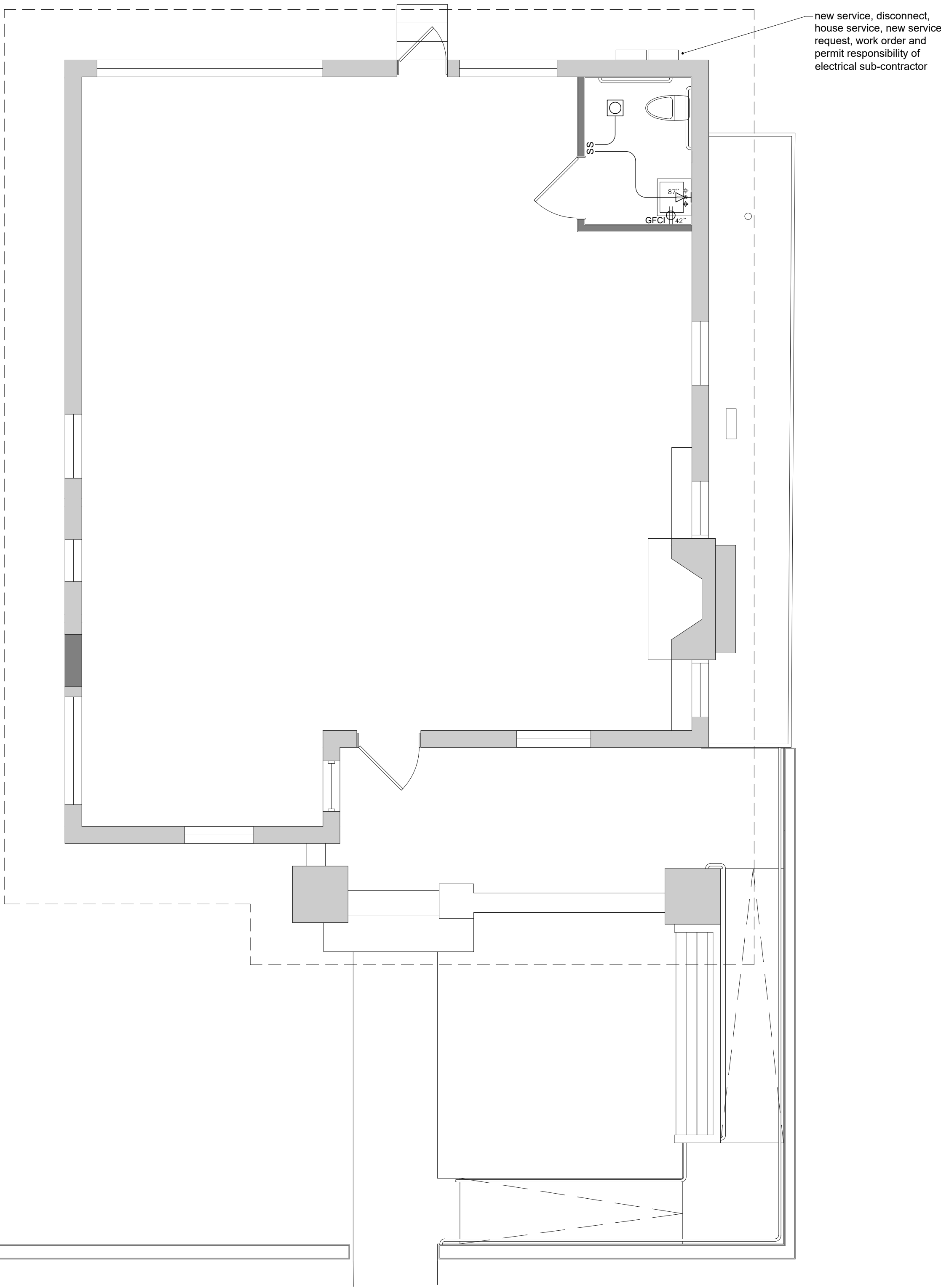
utility plan

U100

OF



1 plumbing plan



2 electrical plan