

## abbreviations:

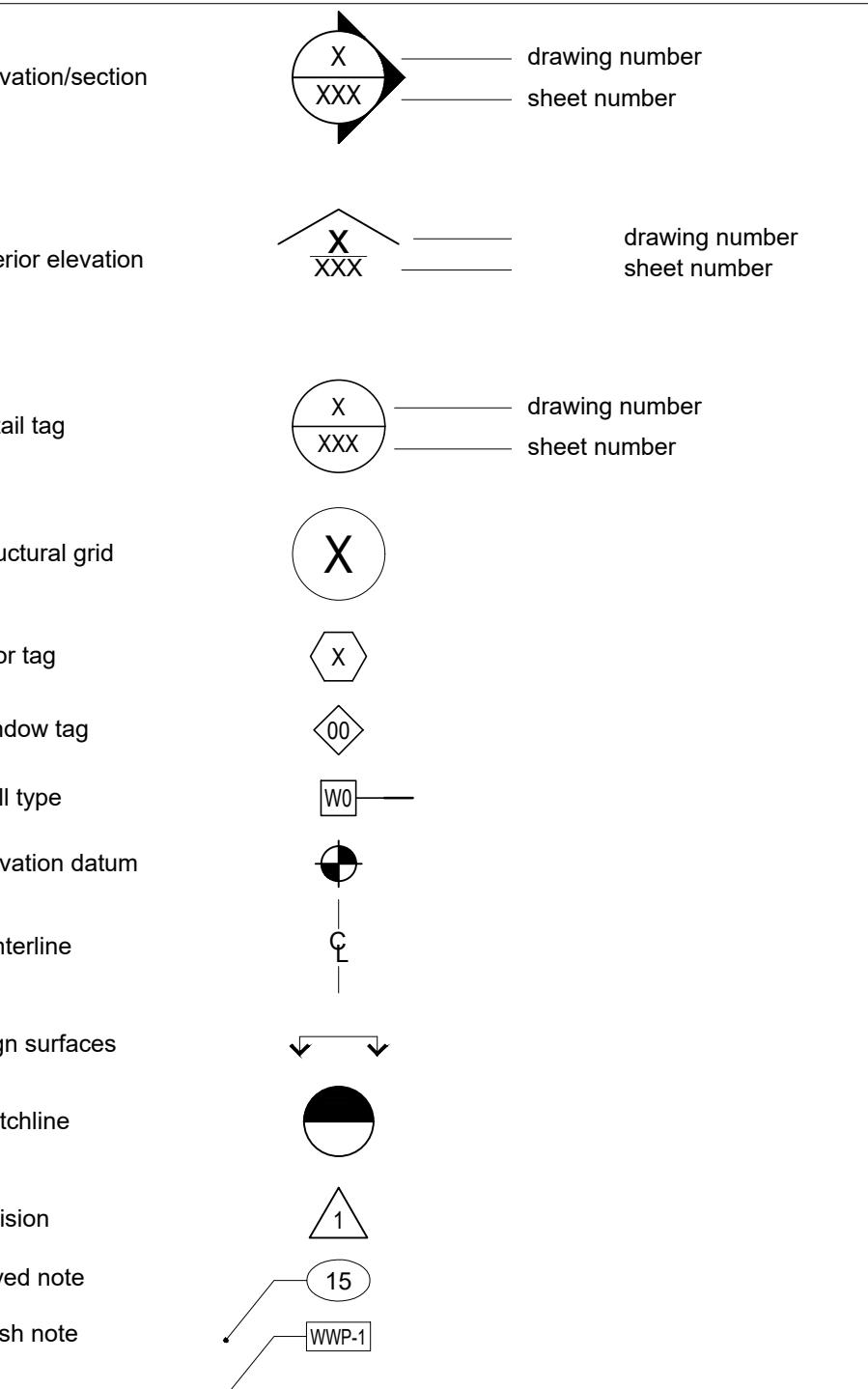
(Note: This is a general abbreviation list and not all abbreviations apply to this project)		
a.b.	anchor bolt	lam.
abv.	above	laminate
a.c.	air conditioning	mach.
acous/acoustical	acous/acoustical	magn.
adj.	adjustable	matl.
a.f.f.	above finish floor	max.
agr.	aggregate	m.b.
a.h.u.	air handling unit	marble
alum.	aluminum	m.d.f.
alt.	alternate	mechanical
a.p.	acoustical panel	memb.
approximate	approximate	membrane
asp.	asphalt	mtl.
bba	barbeque	mf.
b.c.	bottom of curb	min.
bd.	board	mir.
blm/blt/inous	blm/blt/inous	misc.
bkg.	bkg.	m.o.
bkg.	bkg.	masonry opening
blkng.	blkng.	m.r.
bm.	beam	mtd.
b.o.	bottom of	mul.
b.u.	built up	(n)
cal.	cabinet	new
c.b.	catch basin	n.
cem.	cement	n/a
cer.	ceramic	not available
chan.	chan.	not accessible
c.j.	control joint	n.i.c.
ctr.	center	no.
c.g.	corner guard	nom.
clg.	ceiling	n.t.s.
clk.	caulking	obs.
cir.	clear	o.c.
col.	column	o.d.
conc.	concrete	off.
const/construct	const/construct	oper.
cont.	cont.	opng.
cmu	cmu - concrete masonry unit	opp.
ctr.	counter	pav.
ctsk.	countersunk	perf.
c.w.	cold water	perf.
com.	common	perp.
dbl.	double	pl.
dept.	department	p.lam.
dtl.	detail	plaster
d.f.	drinking fountain	plywd.
dia.	diameter	pr.
dim.	dimension	precast
dn.	down	prop.
d.o.	door opening	pt.
dr.	door	ptd.
ds.	downspout	ptn.
d.s.p.	dry standpipe	qty.
dwg.	drawing	rad.
dwr.	drawer	r.c.
(e)	existing	r.c.p.
e.e.	seat	ref.
e.f.	exhaust fan	ref.
e.j.	expansion joint	refr.
el.	elevation	reinf.
elec.	electrical	req'd.
elev.	elevator	resil.
emer.	emergency	rev.
eng.	engineering	rm.
e.p.	electrical panelboard	r.o.
eq.	equal	r.w.l.
eqpt.	equipment	s.
e.w.h.	electrical water heater	s.a.d.
ext.	existing	s.c.
exp.	expansion	sched.
exp. exp.	exposed aggregate	s.e.d.
ext.	exterior	sect.
ext.	extrusion	s.f.
f.a.	fire alarm	shf.
f.b.	flat bar	shf.
f.d.	floor drain	sim.
f.d.c.	fire department connection	sl.
f.e.	fire extinguisher (surface)	slid.
f.e.c.	fire extinguisher cabinet	see landscape drawings
f.c.o.	floor clean out	see mechanical drawings
f.f.e.	finish floor elevation	see plumbing drawings
f.g.	finish glass	spec.
f.h.	fire hose	sq.
fin.	fin.	s.r.
fixt.	fixture	see structural drawings
f.l.	floor	st.stl.
flash.	flashing	stl.
flou.	fluorescent	std.
rnd.	foundation	stor.
f.o.	face of	structural
f.o.c.	face of concrete	susp.
f.o.f.	face of finish	t.a.r.
f.o.s.	face of studs	t.c.
fpr.	fire proof	tel.
t.s.	fire sprinkler	temp.
t.s.d.	fire/smoke damper	ter.
ft.	foot	t&g
fg.	footing	thru.
fr.	frame	tenant improvement
furr.	furring	t.i.
fut.	future	t.o.
ga.	gauge	top of
galv.	galvanized	top of pavement
g.b.	grab bar	television
gl.	glass	top of wall
gnd.	ground	typical
gr.	grade	typ.
g.s.m.	galvanized sheet metal	ver.
gwb	gypsum wall board	vert.
h.b.	hose bib	vest.
h.c.	hollow core	vestibule
hd.	head	v.g.d.
hd.	header	vertical grain douglas fir
hdwd/hardwood	hdwd/hardwood	v.i.f.
hdwe/hardware	hdwe/hardware	verify in field
h.m.	hollow metal	w.
horiz.	horizontal	w/
h.r.	hand rail	w.c.
h.w.	hot water	wood
i.d.	inside diameter	w/d
insul.	insulation	wdw.
int.	interior	w.g.
inv.	invert	w.h.
jan.	janitor	w.m.
jt.	joint	w.o.
kit.	kitchen	wp.
		wet stand pipe
		wire welded fabric
		woven wire mesh

## general notes:

(Note: This is a general abbreviation list and not all abbreviations apply to this project)

- a. do not scale drawings.
- b. dimensions are to face of studs/masonry wall, or structural gridlines where shown, unless noted as critical clear dimension (clr). clr dimensions are to face of finish.
- c. doors are dimensioned to the edge of the door panel or inside face of the jamb, unless noted otherwise. windows are dimensioned to the outside edge of the window frame, unless noted otherwise.
- d. general contractor to verify all existing conditions where work is to be performed, and their compatibility with construction documents prior to commencing work, document in writing any discrepancies and coordinate with the architect to resolve discrepancies.
- e. sub-contractors shall familiarize themselves with the total set of drawings, specifications, addenda, and change orders.
- f. details shown shall be incorporated into the project at all appropriate locations whether specifically called out on plans or not.
- g. omissions or conflicts between various elements of the drawings, details or notes shall be brought to the attention of the architect and resolved in drawing form before proceeding with the associative scope of work in question.
- h. where any discrepancies occur between plans, details, notes and specifications, the more stringent requirements shall govern. where specific detail is not shown, it is the subcontractor's responsibility to verify details with architect prior to construction.
- i. sub-contractors shall remove all surplus materials, and temporary supports and debris of every nature resulting from the contractors operations, and shall leave the site in neat orderly condition.
- j. sub-contractor shall verify the location of, and provide protection for all of utilities within the work area whether or not documented on the drawings. contractor shall immediately notify the utility company if services are interrupted.
- k. architect shall review for approval all colors, samples, and manufactured products to verify their compliance with the design intent and scope of the contract documents.
- l. general contractor + sub-contractors will provide minimum 1 year warranty on all work, material and equipment.
- m. install materials, finishes, manufactured items, and equipment in full accordance with the supplier's or manufacturer's written recommendations.
- n. general contractor to submit all warranties, instructions, owners and operations manuals, etc. to the owner prior to final payment.

## symbols key



## project data:

<b>parcels:</b>	117-07-207A
<b>zoning:</b>	C-3
<b>site area, total:</b>	2,779 sf (0.06 acres)
<b>existing building:</b>	1155 sf
<b>covered patio (existing):</b>	178 sf
<b>new ADA ramp:</b>	145 sf
<b>total site coverage:</b>	1478/2779 sf 53.18%
<b>project description:</b>	update + renewal of existing shell and minor interior changes
<b>CoT PDSD zoning approvals:</b>	
T19SA0021	
DP18-0283	
DS19-04	
IID-19-04	
HPZ-19-54	

## drawing list:

G101	site information
G102	site plan
D100	demo floor plan
A100	overall floor plan + bathroom details
A200	ramp details
A300	exterior elevations
A400	sections + door & window schedule
P100	plumbing plan

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tucson, arizona 85705  
web: www.ha-ru.co

consultants:

revision: date:

project:

18 w. 18th st.

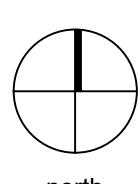
18 west 18th street  
Tucson, Arizona 85701

date: november 17, 2021  
scale: nts  
project no.: 1806  
issued for: shell permit

general project  
information

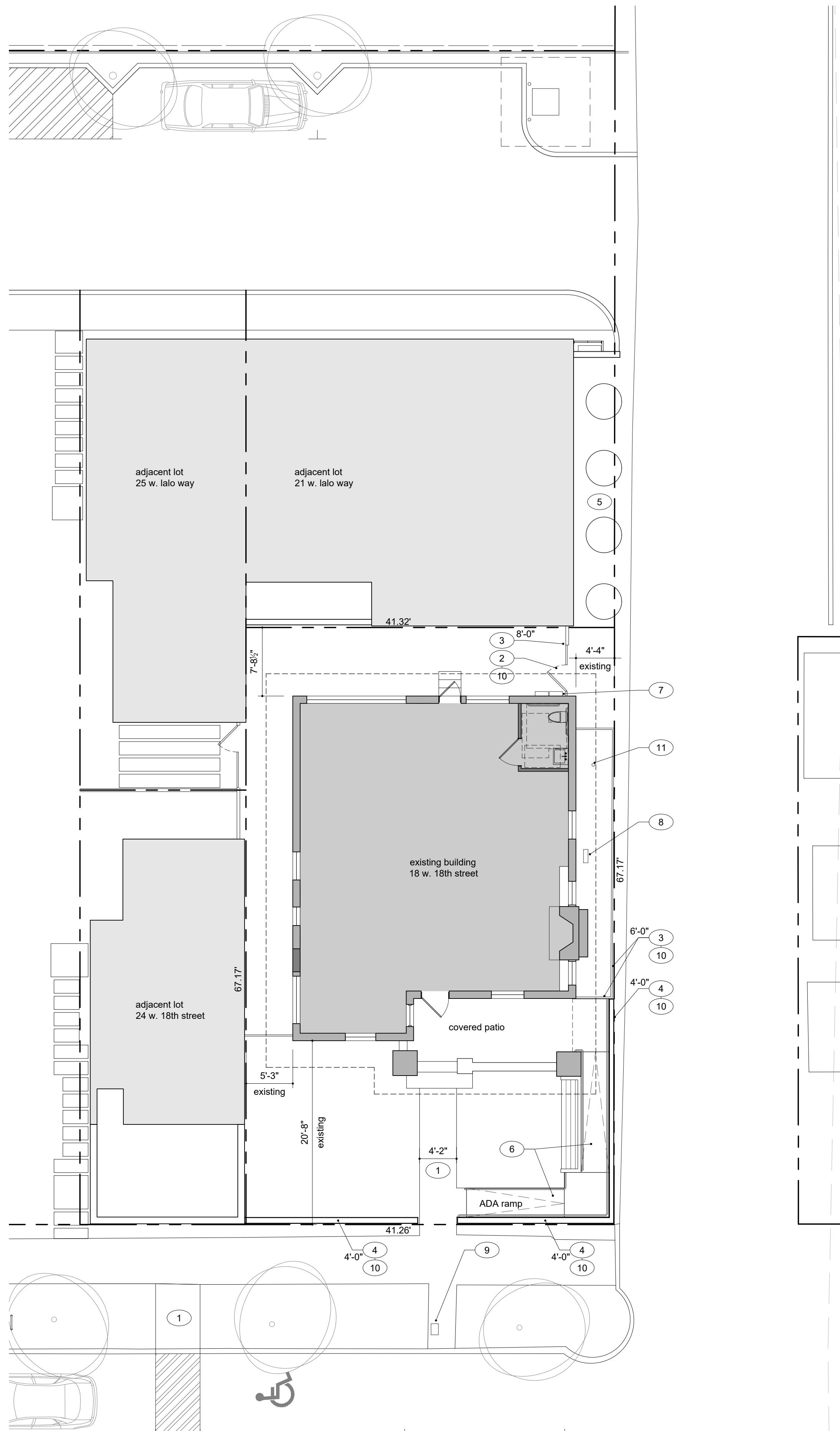


1 vicinity map



**G101**

OF



1 site plan

general note

a. new lot dimensions approved per development plan (DP18-0283)  
 b. all exterior site elements will be built as a part of site development permit T19SA00221, unless noted otherwise

keyed notes (xx)

1. new concrete walkway
2. wood gate with keyed access into lot
3. wood fence, approximate height noted on plans from average adjacent finish grade
4. masonry wall with stucco finish [WS-1], approximate height noted on plans from average adjacent finish grade
5. trash bins - two 300gal APC's for trash and two 300gal APC's for recycle
6. new accessible ramp, see 1A200
7. new service, disconnect, house service, new service request, work order and permit responsibility of electrical sub-contractor
8. existing gas meter to remain
9. existing water meter
10. site walls + gates to be built as part of permit T19SA00221
11. new plumbing clean out at waste service entrance

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**18 w. 18th st.**

18 west 18th street  
Tucson, Arizona 85701

date: november 17, 2021  
 scale:  $\frac{1}{8}$  = 1'-0"  
 project no.: 1806  
 issued for: shell permit

site plan

**G102**

## demo notes

- a. demo is in preparation for tenant improvement and to rehabilitate the exterior shell per HPZ-19-54 and IID-19-04
- b. removed plumbing supply + drain pipes back to where service enters the building.

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## keyed notes (xx)

1. existing floor/sub-floor throughout to be removed back to existing floor joists
2. ceiling and ceiling joist to be removed, temporarily support roof as needed until new ridge beam is in place.
3. remove interior walls from floor to ceiling, temporarily support roof as needed
4. remove door, prep. for new door, window or wall infill
5. remove patio knee wall and prep. for new ADA ramp
6. remove masonry fireplace and chimney from top to footing and patch roof
7. remove all plumbing fixtures, and pipe back to service entrance
8. casework next to fireplace to remain, protect throughout duration of construction
9. remove interior door
10. remove concrete walk from sidewalk to first step
11. remove loose, cracked, or crumbling existing stucco + prep. for new finish coat

consultants:

revision: date:

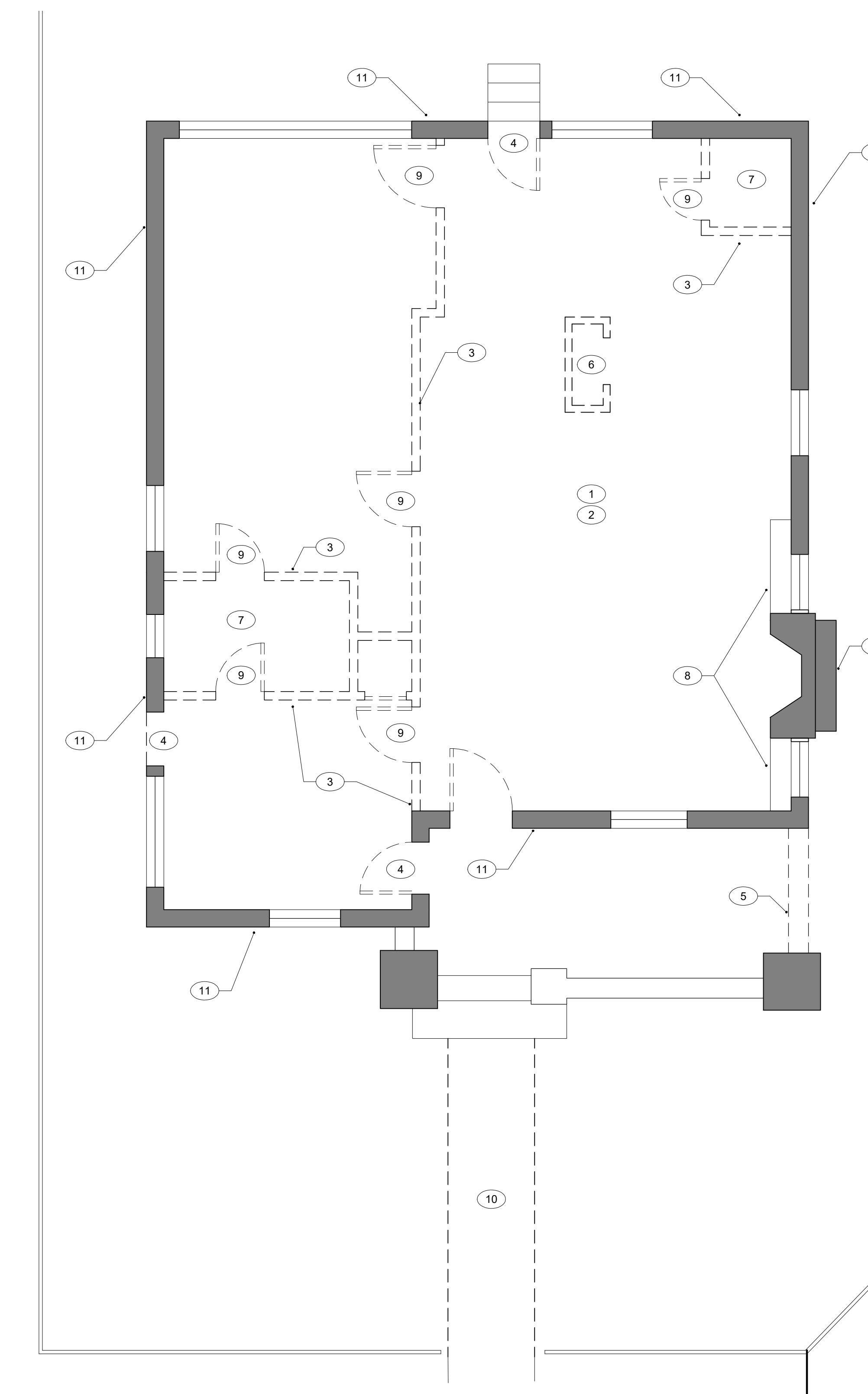
project:

**18 w. 18th st.**

18 west 18th street  
Tucson, Arizona 85701

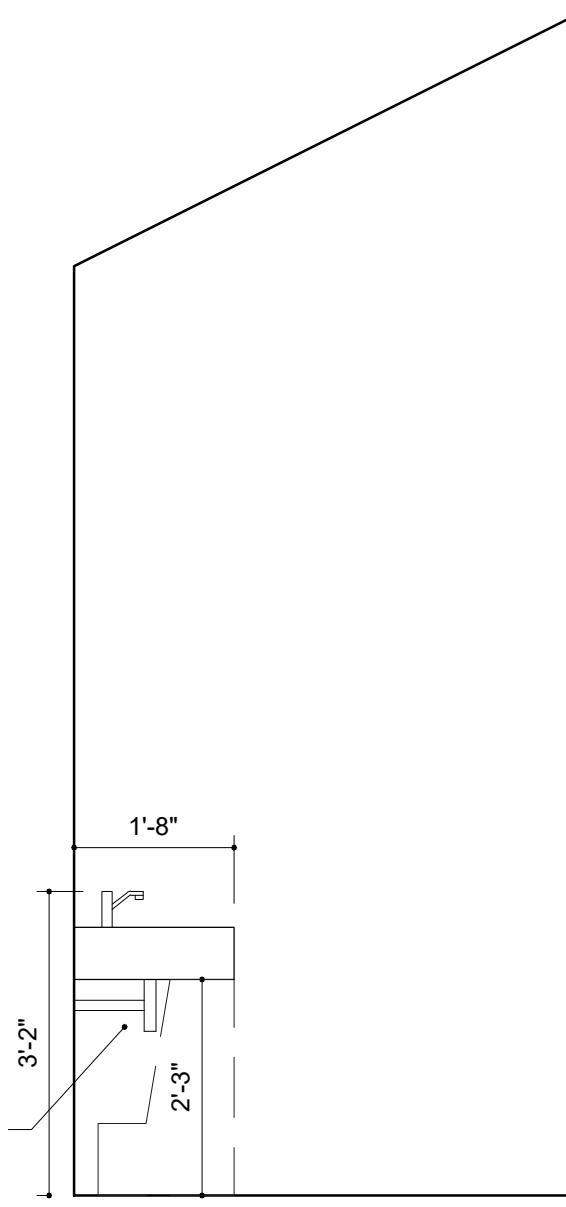
date: november 17, 2021  
scale:  $\frac{1}{4}$ " = 1'-0"  
project no.: 1806  
issued for: shell permit

**demo floor plan**

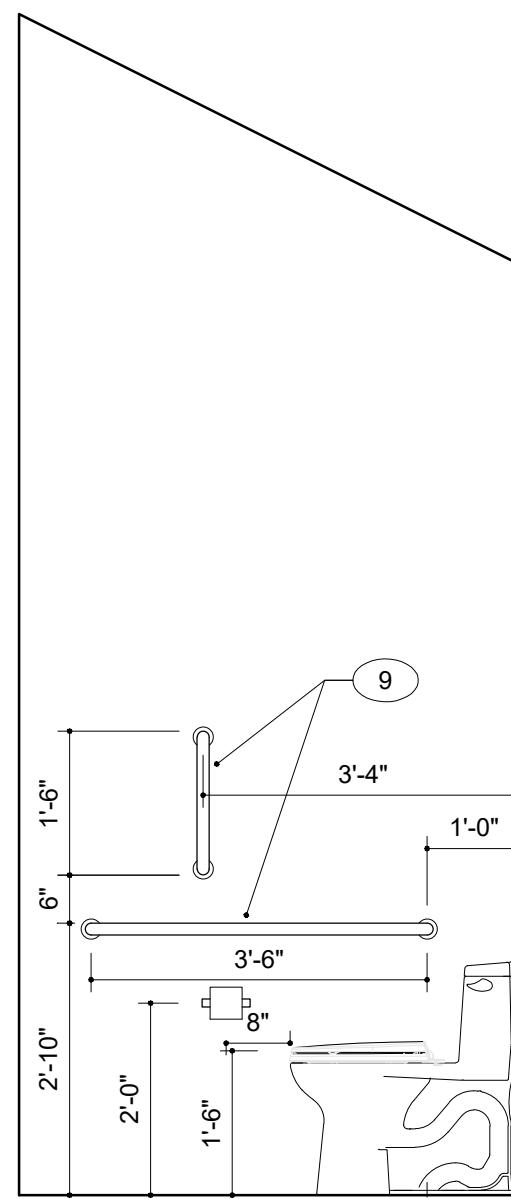


**1** demo floor plan

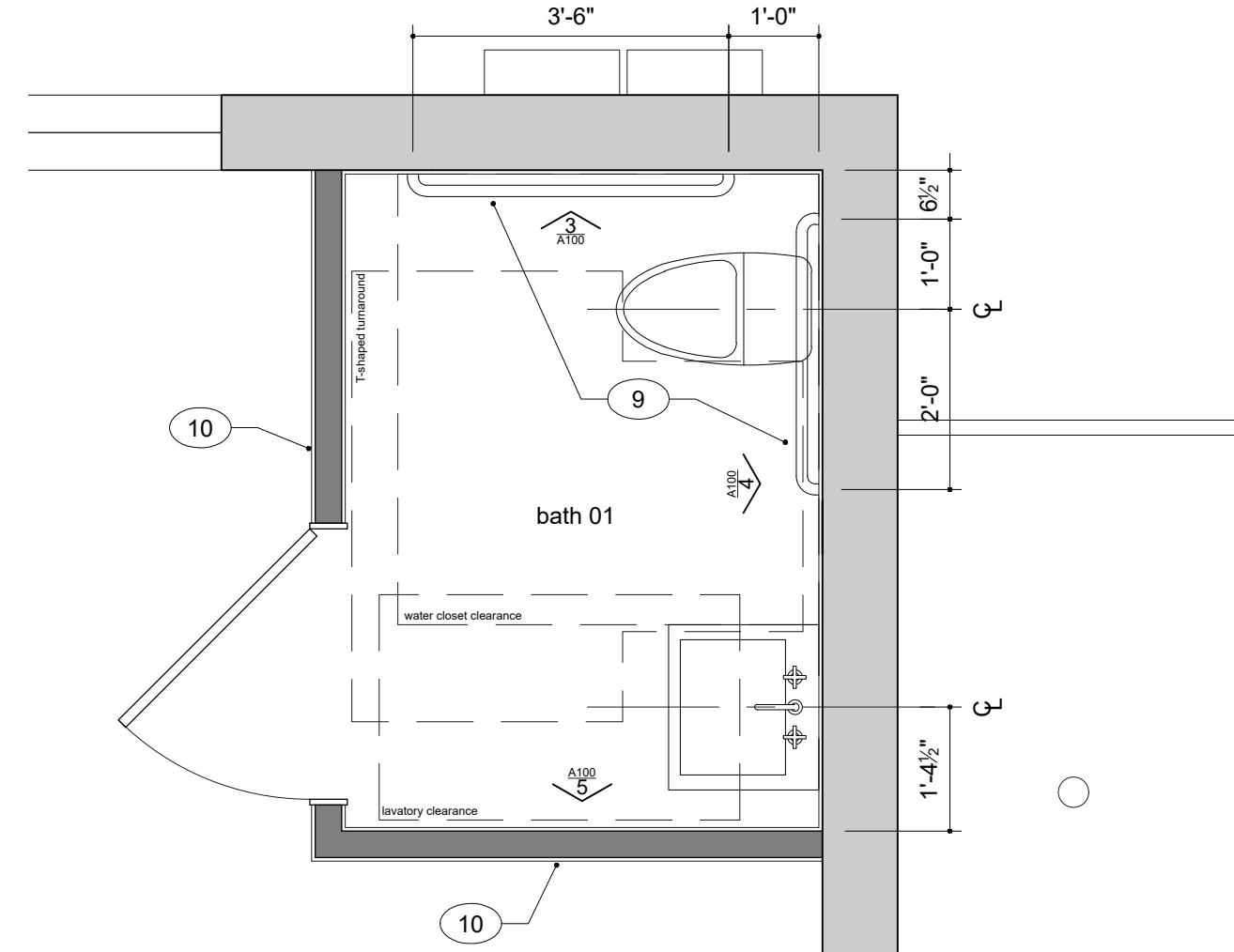
**D101**



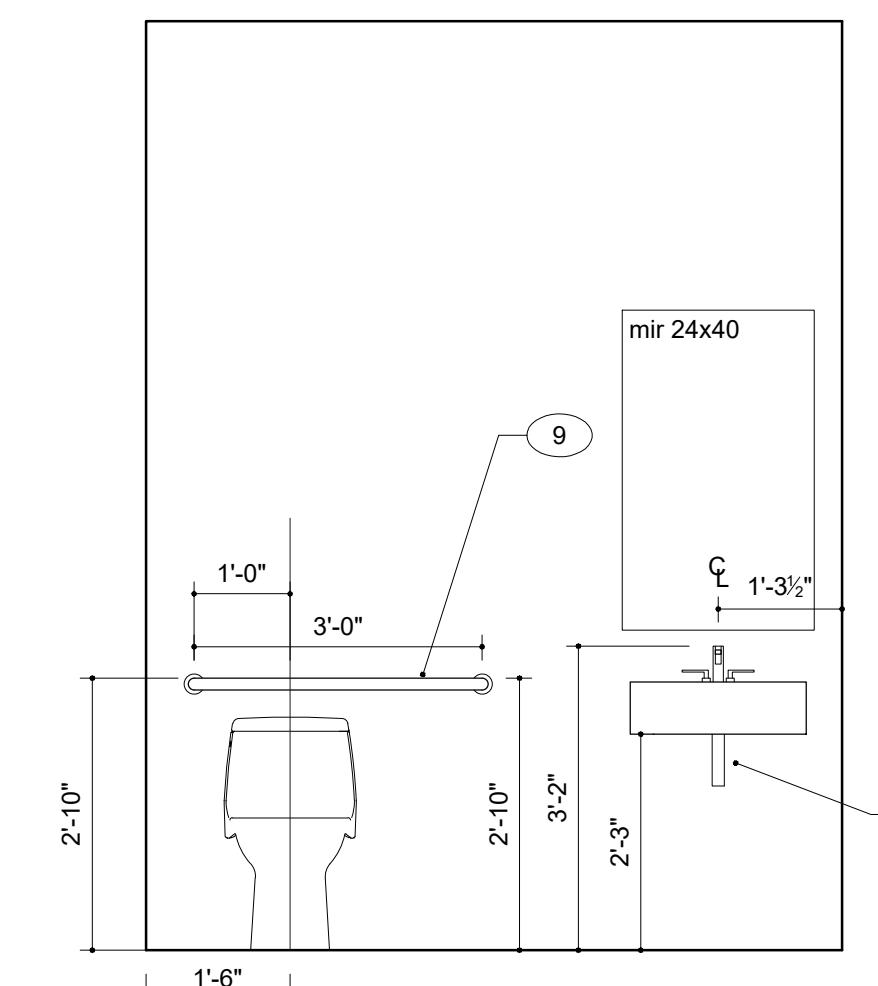
5 interior elevation  
1/2" = 1'-0"



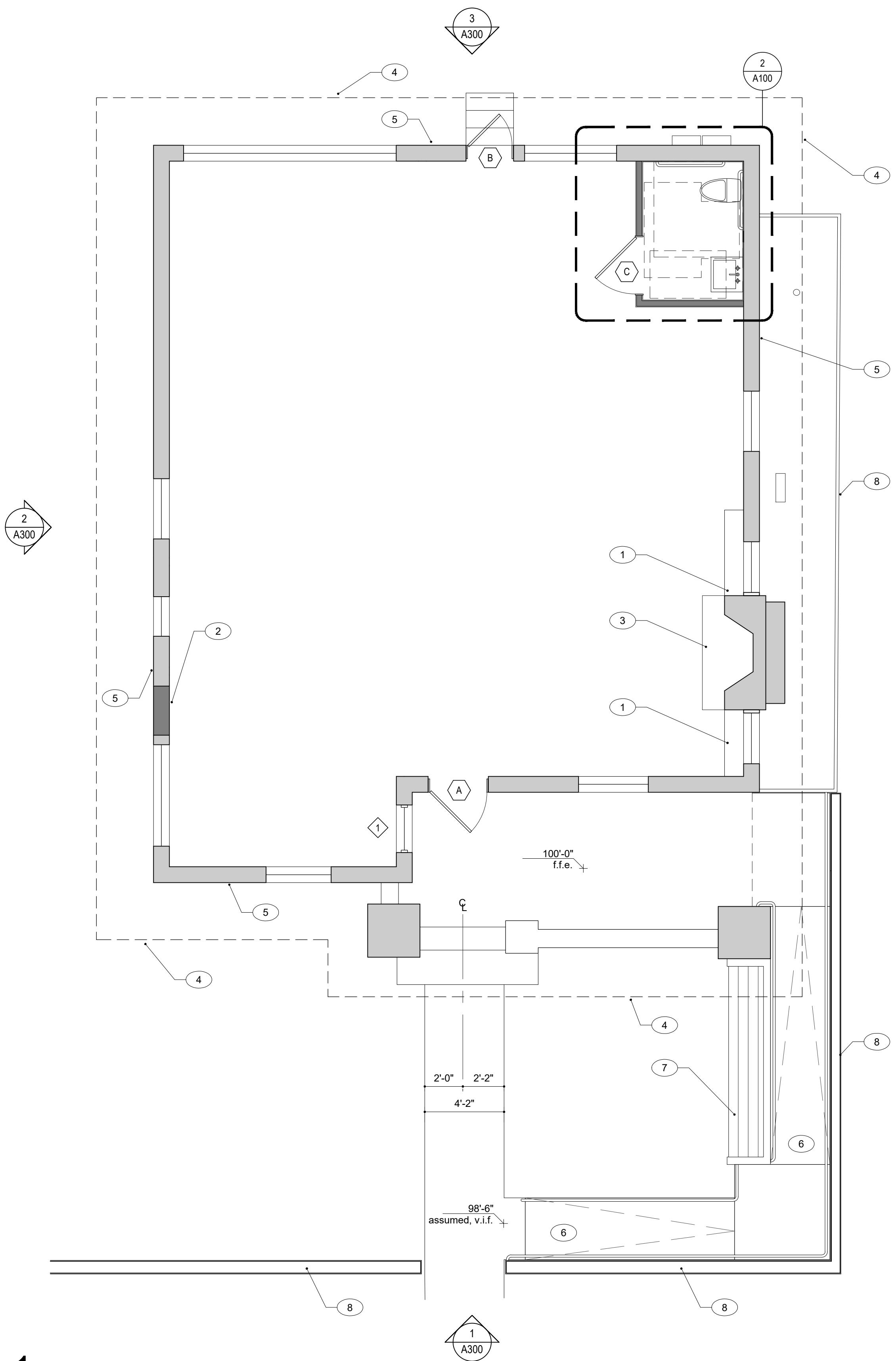
3 interior elevation  
1/2" = 1'-0"



2 bath 01 plan  
1/2" = 1'-0"



4 interior elevation  
1/2" = 1'-0"



1 overall floor plan  
1/4" = 1'-0"

## general note

- a. ADA bathroom and ramp to comply with 2009 ICC A117.1 accessible and usable buildings and facilities
- b. all mechanical work to be a part of separate tenant improvement permit

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## keyed notes

1. existing casework on each side of fireplace, protect throughout duration of construction
2. infill opening in exterior wall with masonry. finish exterior stucco to match existing adjacent stucco, leave interior as exposed masonry wall
3. existing hearth
4. new overall
5. exterior wall to receive new western white, fine, stucco finish
6. new ADA ramp, see A200 for details
7. new wood bench to be built in with new ramp, see A200 for details
8. site fence or wall to be built as a part of permit T19SA0221
9. wall grab bars to be installed per §604.5.1/604.5.2 of the 2009 ICC A117.1, see interior elevations for additional information, provided blocking as needed
10. new framed wall to be full height, strap wall to roof rafter with simpson hurricane tie
11. provide protection wrap

consultants:

revision: date:

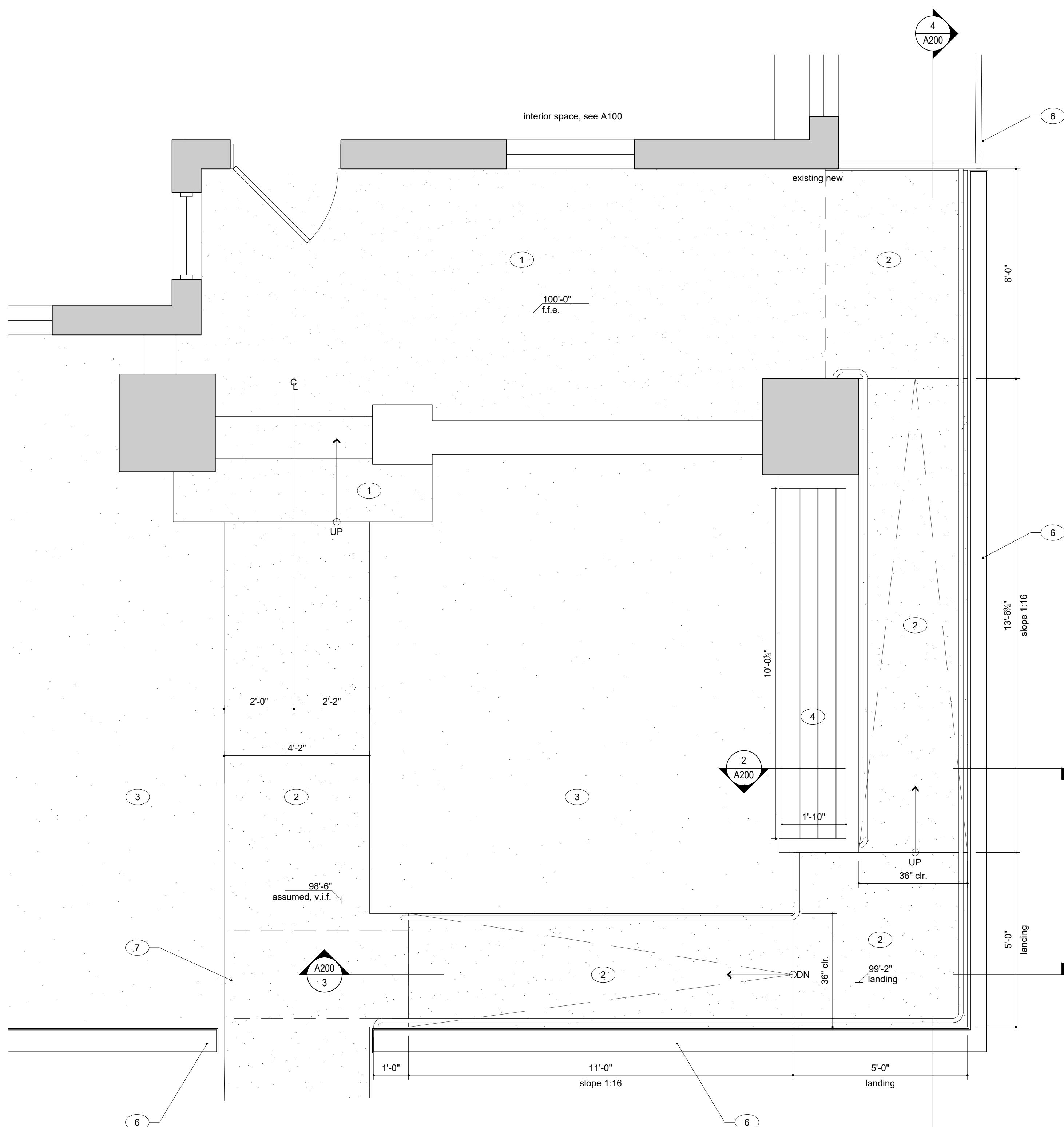
project:  
18 w. 18th st.

18 west 18th street  
Tucson, Arizona 85701  
1/4" = 1'-0"

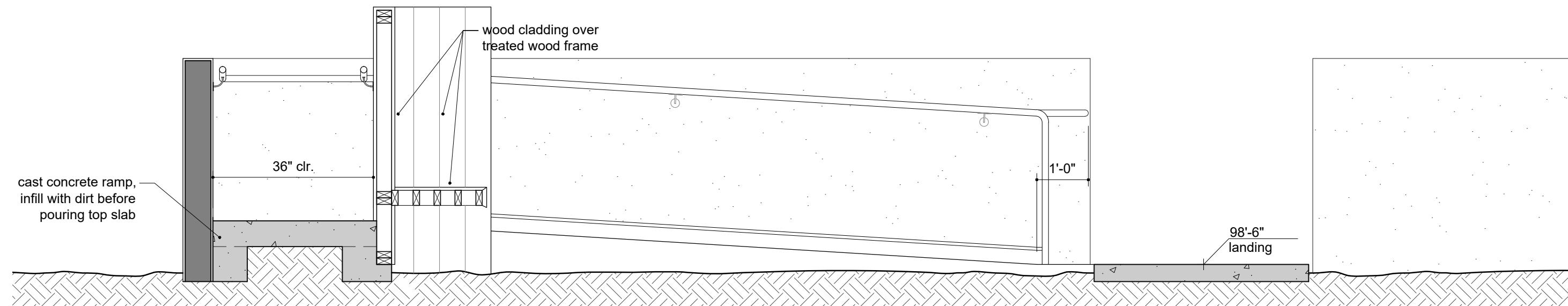
date: november 17, 2021  
scale: noted on sheet  
project no.: 1806  
issued for: shell permit

overall floor plan

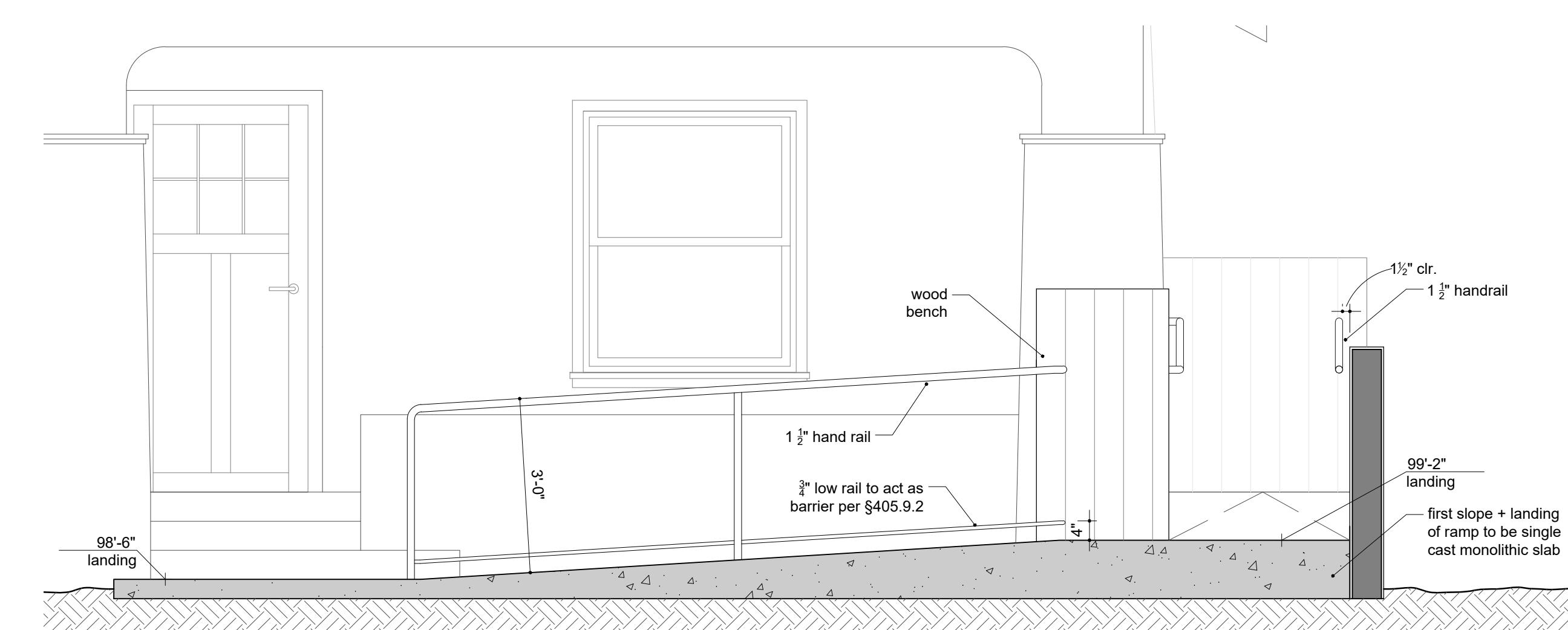
**A100**



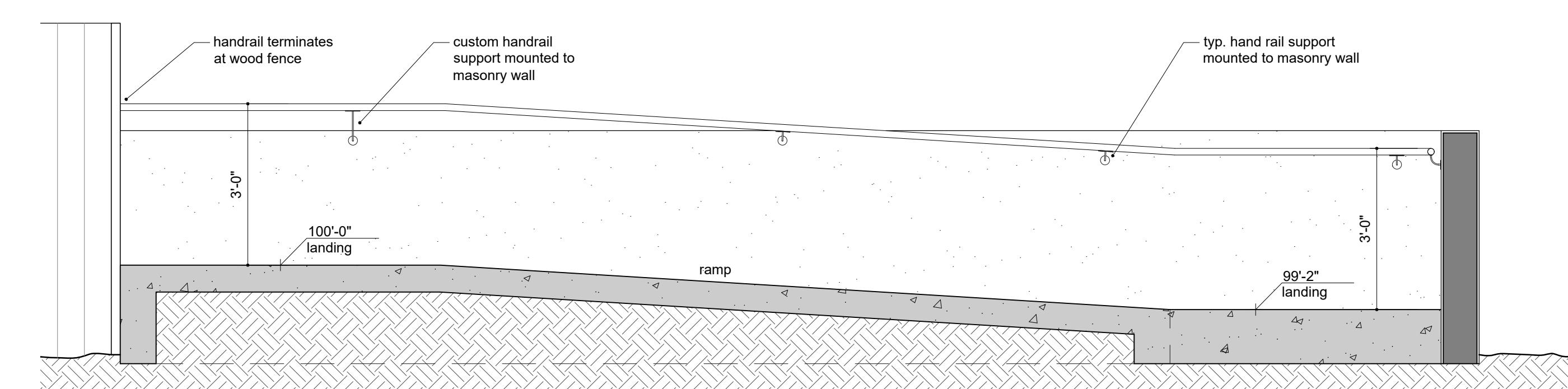
1 ramp plan



2 ramp section



3 ramp section



4 ramp section

## general note

- a. ADA bathroom and ramp to comply with 2009 ICC A117.1 accessible and usable buildings and facilities
- b. all mechanical work to be a part of separate tenant improvement permit

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## keyed notes

- 1. existing concrete patio + stair
- 2. new concrete path + ramp, finish to have a slip resistant texture
- 3. permeable decomposed granite ground cover
- 4. wood bench
- 5. bench wall to match height of site wall built as part of separate permit
- 6. site wall, fence or gate to be build at separate permit
- 7. 60x30 ramp landing
- 8.

consultants:

revision: date:

project:

18 w. 18th st.

18 west 18th street  
Tucson, Arizona 85701

date: november 17, 2021  
scale:  $\frac{1}{2} = 1'-0"$   
project no.: 1806  
issued for: shell permit

enlarged floor plans  
+ ramp sections

A200

## general note

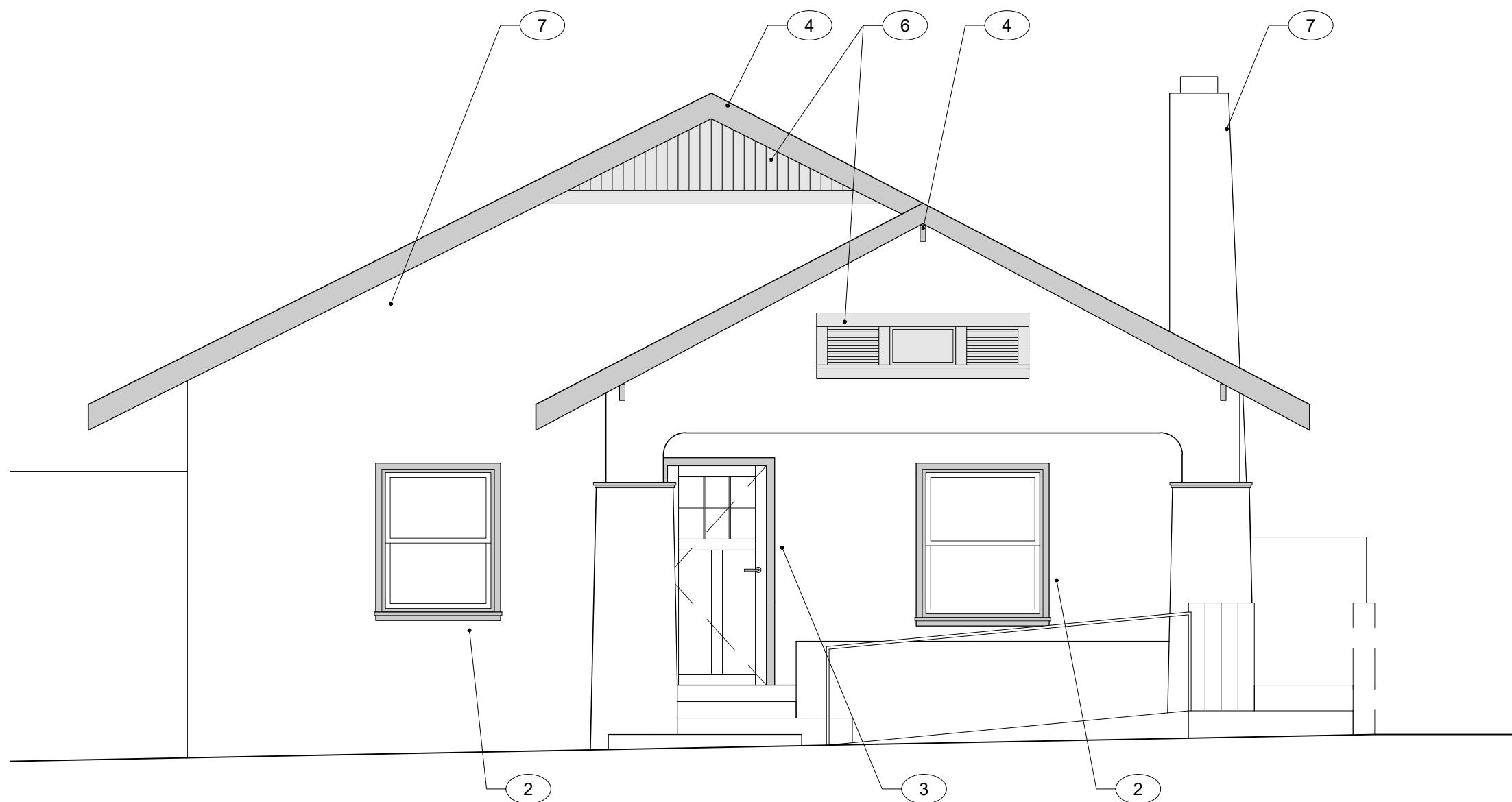
- a. the exterior of the building must be rehabilitated per the U.S. Secretary of the Interior's Standards for Rehabilitation 36 CFR 67.
- b. preserve all stucco raised and relief details, as well as retain or repair any deteriorated wood features like wood rafter ends, fascia, and trim.
- c. all elevation or height dimensions are measured from interior finish floor level, unless noted otherwise.

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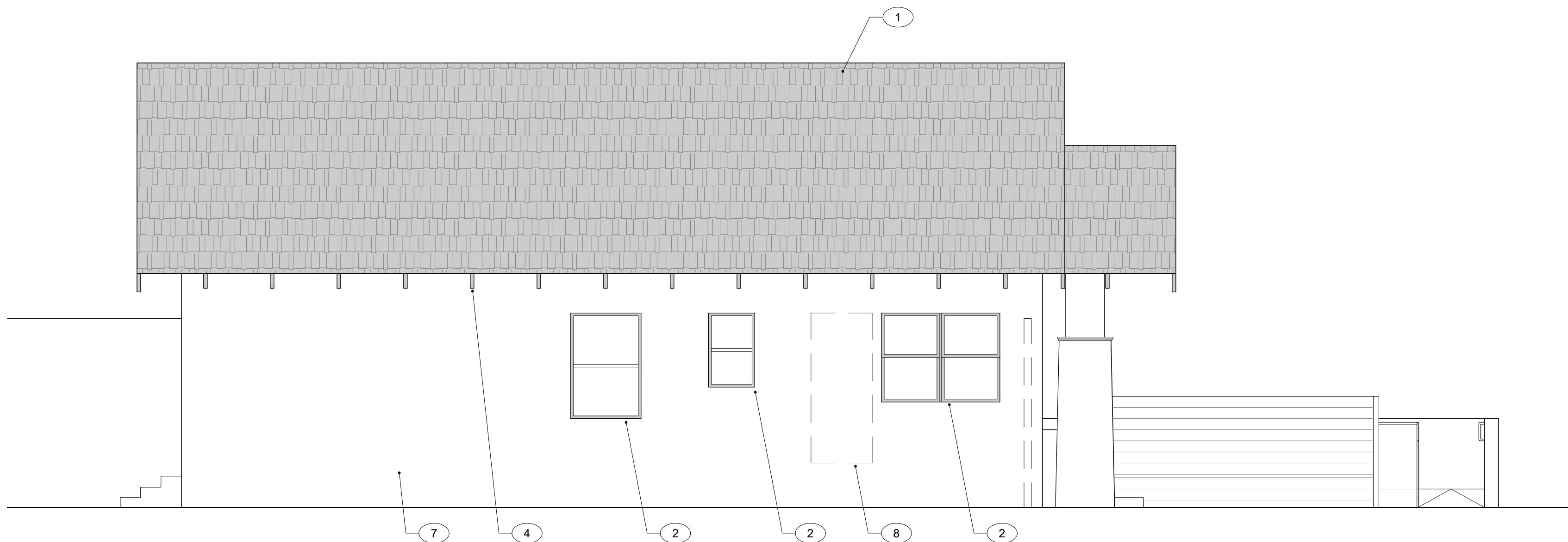
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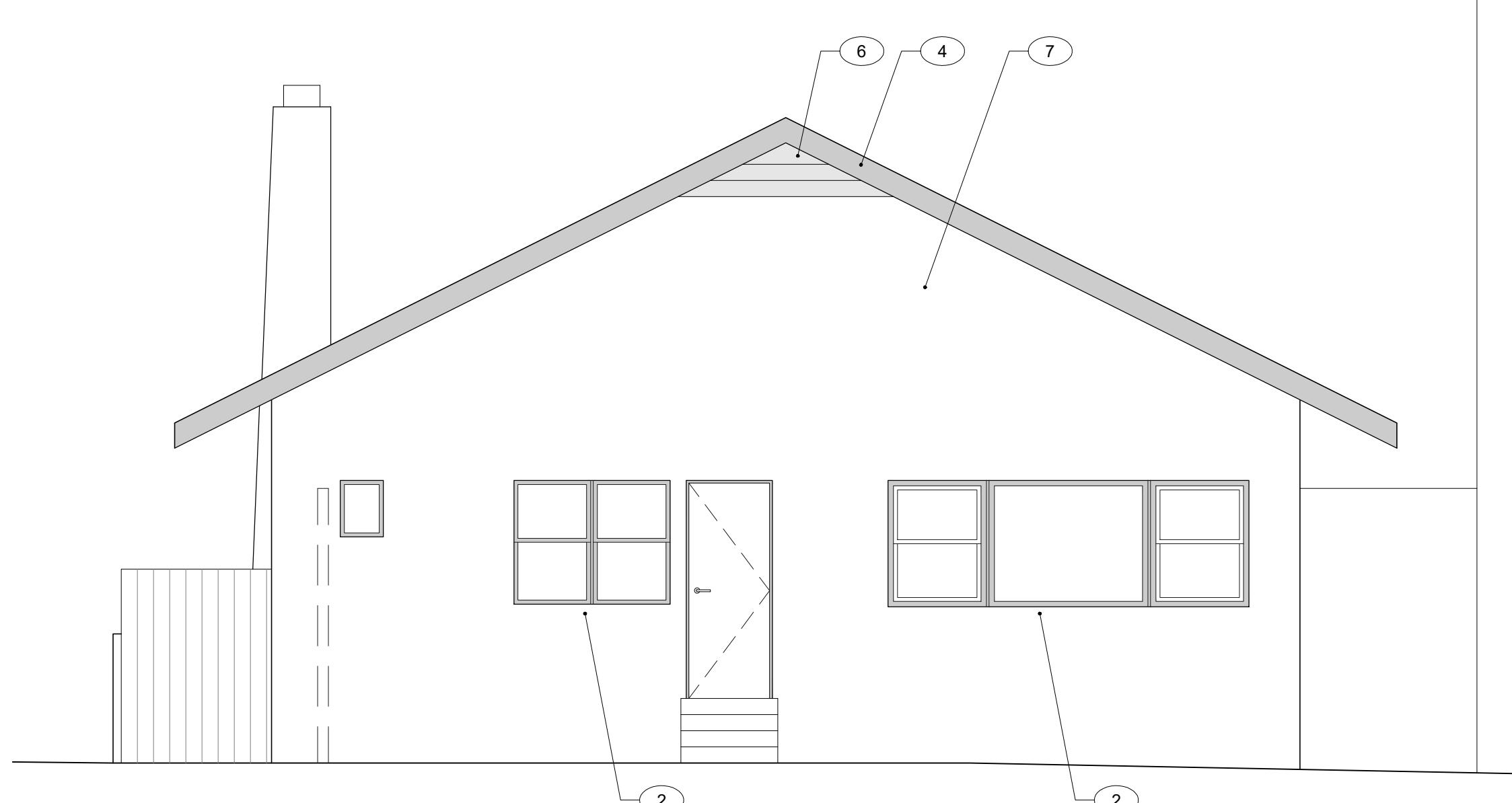
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1 south elevation



2 west elevation



3 north elevation



4 east elevation

## keyed notes

- 1. new GAF timberline CS shingle in antique slate, provide all flashing, drip edges, penetration sealing to ensure a minimum 5 year warranty.
- 2. existing historically accurate windows to remain or be repaired in place if needed, paint window + trim dark grey (DE6371)
- 3. save existing craftsman style door if possible or repair frame and install, frame to be painted dark grey (DE6371) while the door is to be left natural wood
- 4. wood fascia + rafter tail painted dark grey (DE6371)
- 5. paint stucco column cap, dark grey (DE6371)
- 6. new wood attic vent painted grey (DE6368)
- 7. new stucco finish coat, western white fine finish
- 8. patch masonry wall here

## consultants:

revision: date:

project:  
18 w. 18th st.

18 west 18th street  
Tucson, Arizona 85701

date: november 17, 2021  
scale:  $\frac{1}{4}$  = 1'-0"  
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exterior elevations

A300

OF

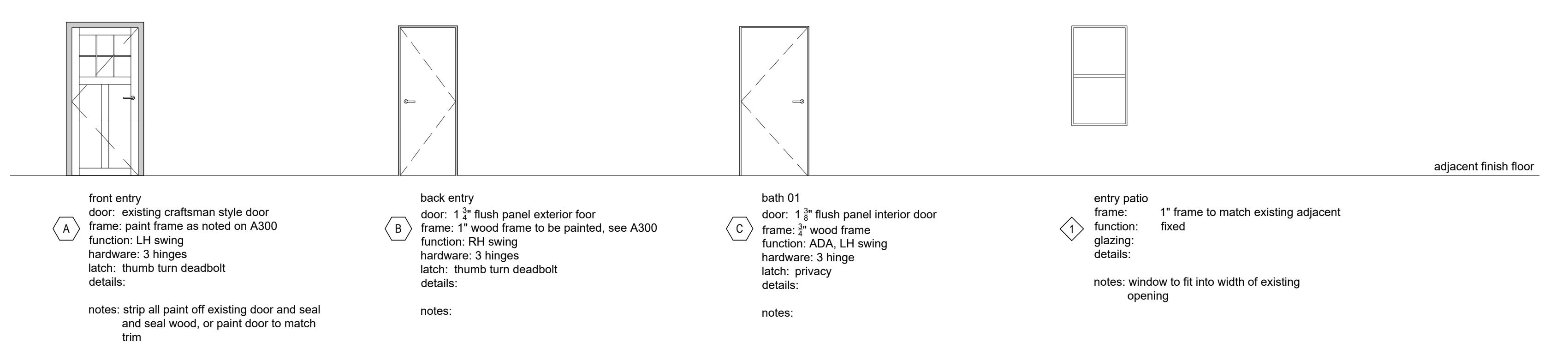
consultants:

revision: date:

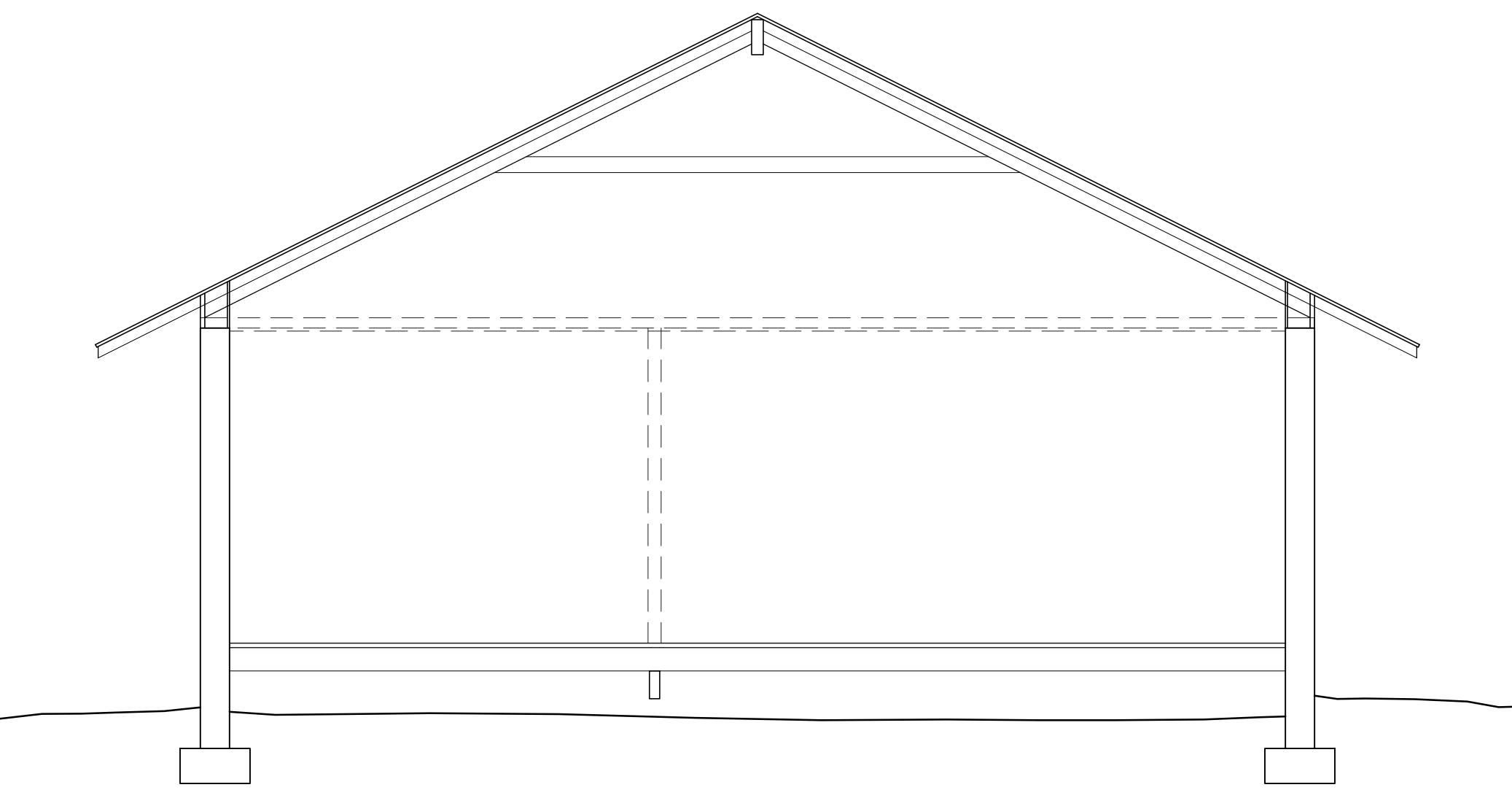
project:

**18 w. 18th st.**18 west 18th street  
Tucson, Arizona 85701

date: november 17, 2021  
scale:  $\frac{1}{4}$ " = 1'-0"  
project no.: 1806  
issued for: shell permit



door + window schedule



1 section

**building sections +  
door + window  
schedule**

**A400**

## plumbing general notes

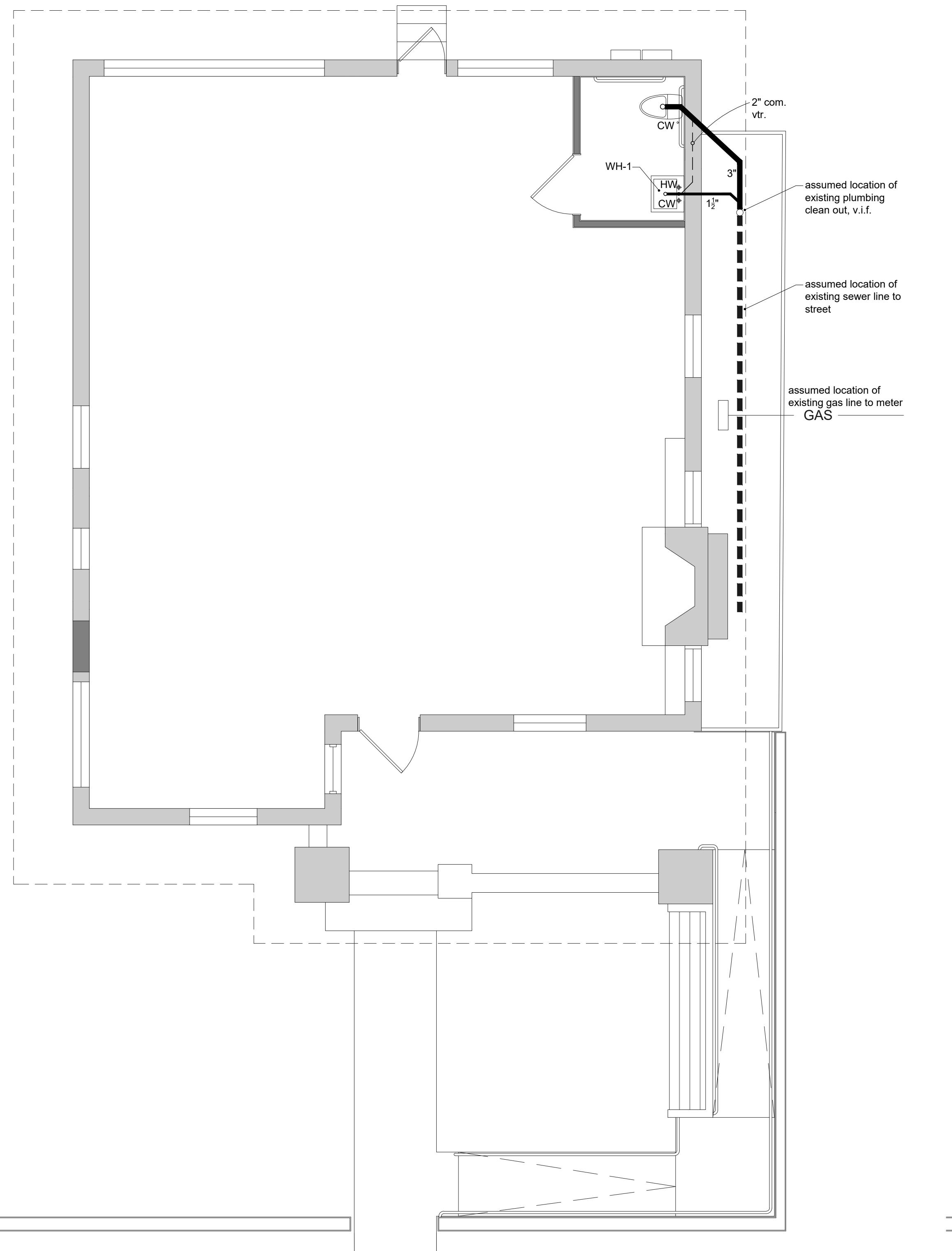
- a. plumbing sub-contractor shall size all drain-waste-vent and supply piping as well as all necessary equipment to provide and install completely operational systems regardless of whether all components and their sizing are shown in plans.
- b. plumbing sub-contractor to follow all applicable codes and regulations. if a conflict exists between the plan and applicable regulations or system requirements, notify the architect before installation.
- c. all work shall be performed using the latest and best industry standards.
- d. it shall be the plumbing sub-contractor's responsibility to study the entire set of working drawings and coordinate the installation of all plumbing work with the gc and other trades.
- e. verify equipment pressure and flow ratings and requirements as required for a fully functional installation.
- f. verify the daily static service pressure available and size the meter and distribution lines accordingly based on applicable code guidelines.
- g. supply lines not shown for graphic clarity, plumbing sub-contractor will locate all piping for most efficient and functional system.
- h. install shut off valve's at all water closets and lavatories.
- i. wall mounted sov's in the cabinets with braided stainless supply lines.
- j. unless otherwise noted all shut off valves should be mounted on rigid pipe strapped to wall framing/blocking or cabinet.
- k. maintain a 6" minimum separation between hot and cold water piping. corrosion wrap all metal underground water piping as well as all metal fittings for underground pex piping.
- l. contractor should precisely locate and scope all existing drain lines planned to be used and ensure they are in proper working order. the primary drain line should be scoped from the building to the sewer main in the street.
- m. new supply piping will be  $\frac{1}{2}$ " unless noted otherwise.

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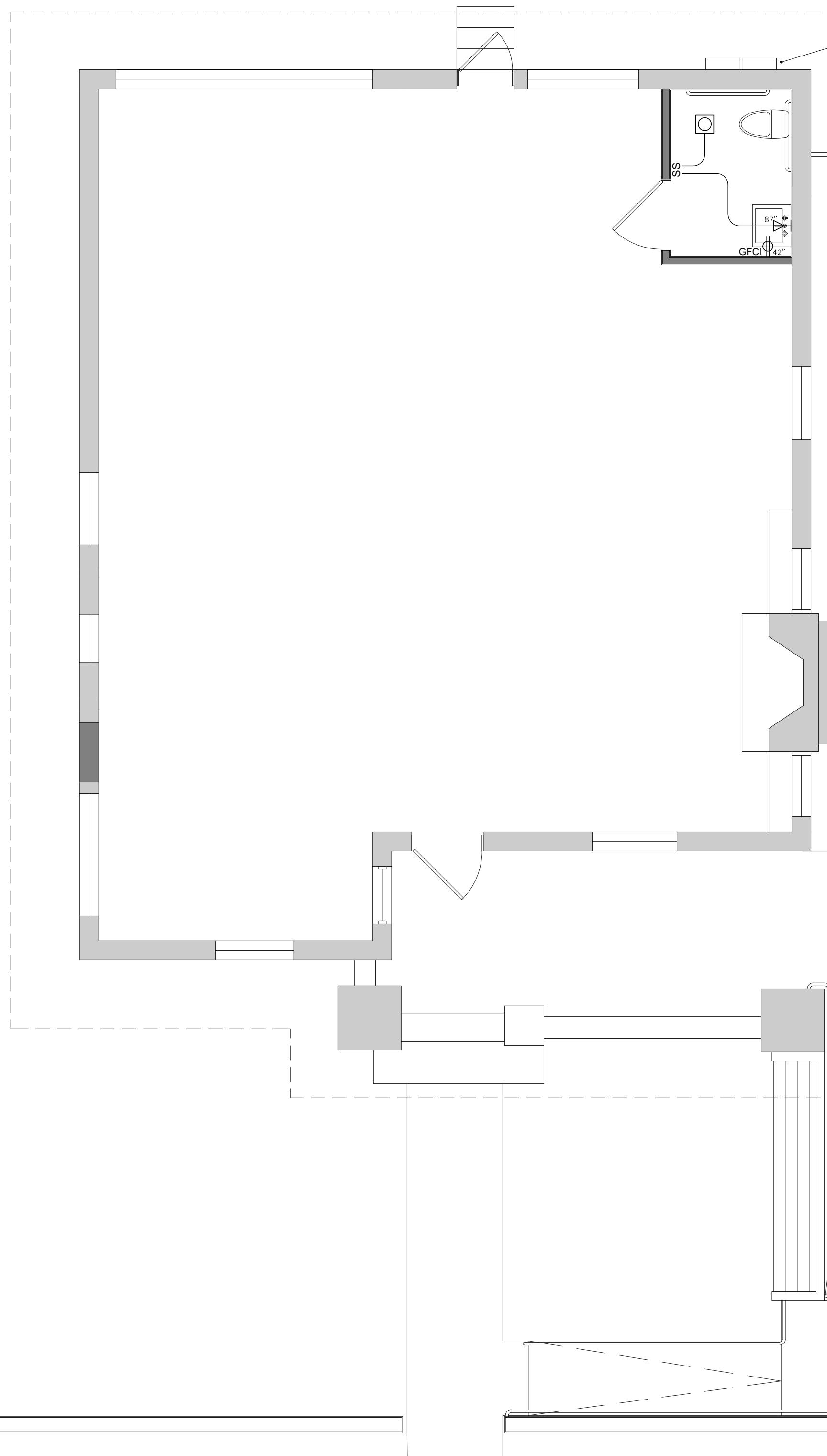
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1 plumbing plan



2 electrical plan

## plumbing equipment

WH-1 under sink insta hot water heater for  $\frac{1}{2}$ " hot line

- CW new connection point for cold water (CW) or hot water (HW)
- HW supply to fixture or shut off valve

consultants:

## electrical general notes

- a. electrical sub-Contractor shall size all components and equipment to provide and install completely operational systems regardless of whether all components are shown in plans.
- b. electrical sub-Contractor to follow requirements set forth in the current NEC and all other applicable codes and regulations. if a conflict exists between the plan and applicable regulations or system requirements, notify the Architect before installation.
- c. the electrical Contractor shall pre-wire the telephone, cable/sat tv, sound, data, intercom, security, etc. in strict accordance with the local service provider specifications as well as coordinate exact requirements and outlet locations with Architect and Owner.
- d. it shall be the electrical Contractor's responsibility to study the entire set of working drawings and coordinate the installation of all electrical work with the gc and other trades.
- e. verify location of all existing outlets, coordinate with Architect/Owner for additional outlet locations. refer to latest code for the addition of outlets in renovated rooms.
- f. 120v, single phase 15 amp and 20 amp outlets installed outdoors and in bathrooms and within 4' of sinks shall have ground fault circuit protection. do not use feed through type gfci devices except where indicated.
- g. all duplex receptacles throughout the home shall be tamper resistant.
- h. all receptacles shall be mounted with the long dimension of the device horizontal, and the centerline mounted to the specified height. outlets adjacent to or in the same j-box as switches should be mounted vertically.
- i. all outlets, switches and other wall mounted devices shall be leviton decorative style.
- j. all appliance outlets are to be mounted + installed at manufacturers' specified height.
- k. see E100 for light fixture schedule.
- l. at all visible device locations use screwless wall plates. outlets in cabinets need not to be screwless.
- m. all receptacle are to be placed horz. at +8" aff unless otherwise noted.
- n. refer to M100 mechanical plans for thermostatic zones.
- o. see E001 for panel schedules, load calculations + one line diagrams.

revision: date:

project:

**18 w. 18th st.**

## power symbols

- ∅ duplex convenience receptacle. mount at 8" above finish floor wit long dimension horizontal unless noted otherwise. Leviton 15 amp TR or equal. coordinate dedicated appliance outlet height and amp rating with intended appliance to be installed. outlets mounted above countertops or in the island or near vanities should be coordinated with interior elevations. if outlet not shown in interior elevations coordinate these outlet locations with the Architect or the Owner.
- GFCI ground fault circuit interrupter

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## lighting symbols

- S wall switch. leviton decora style single pole. mount at +42" aff unless otherwise noted. coordinate switching/dimming, programming, and mounting with architect or owner.
- recessed fan/light combo
- ◊ wall sconce

utility plan

**U100**