# GENERAL NOTES

ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE, VDOT, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY, AS

THE CONTRACTOR IS REQUIRED TO NOTIFY THE CITY OF ROANOKE ENGINEERING DIVISION IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- A. INSTALLATION OF APPROVED EROSION CONTROL DEVICES. B. CLEARING AND GRUBBING.
- C. SUBGRADE EXCAVATION. D. INSTALLING STORM SEWERS OR CULVERTS.
- . INSTALLING CURB AND GUTTER FORMS.
- PLACING CURB AND GUTTER.
- G. PLACING OTHER CONCRETE.
- H. PLACING GRAVEL BASE. I. PLACING ANY ROADWAY SURFACE.
- J. INSTALLING WATER LINES. K. INSTALLING SANITARY SEWER LINES.

MEASURES TO CONTROL EROSION AND SILTATION MUST BE PROVIDED FOR PRIOR TO PLAN APPROVAL. PLAN APPROVAL IN NO WAY RELIEVES THE DEVELOPER OR CONTRACTOR OF THE RESPONSIBILITIES CONTAINED IN EROSION AND SILTATION CONTROL POLICIES.

FIELD CONSTRUCTION SHALL HONOR PROPOSED DRAINAGE DIVIDES AS SHOWN ON PLANS.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT THE JOB SITE.

ALL SPRINGS SHALL BE CAPPED AND PIPED TO THE NEAREST STORM SEWER OR NATURAL WATERCOURSE. THE PIPE SHALL BE MINIMUM OF 6" DIAMETER AND CONFORM TO VDOT STANDARD SB-1.

CONSTRUCTION DEBRIS SHALL BE CONTAINED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE SHALL BE PROVIDED ON-SITE.

THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.

THE CONTRACTOR SHALL SUPPLY ALL UTILITY COMPANIES WITH COPIES OF APPROVED PLANS, ADVISING THEN THAT ALL GRADING AND INSTALLATION SHALL CONFORM TO APPROVED PLANS

LOCATION OF UNDERGROUND UTILITIES IS BASED ON PARTIAL FIELD SURVEYS, AS SHOWN ON AVAILABLE RECORDS, AND AS LOCATED BY THE UTILITY LOCATOR SERVICE.

CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO, BUT NOT MORE THAN TEN WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE NOTIFIED THROUGH MISS UTILITY AT (800)

THE SUBJECT SITE LIES WITHIN ZONE "X" OF THE ONE-HUNDRED YEAR FLOOD PLAIN AS SHOWN ON FEMA "FLOOD INSURANCE RATE MAPS".

ALL WORK SHALL BE SUBJECT TO INSPECTION BY CITY OF ROANOKE AND/OR WYWA INSPECTORS. GRADE STAKES SHALL BE SET FOR ALL CURB. CURB AND GUTTER AND STORM SEWER.

THE SITE WORK AND LANDSCAPING CONTRACTOR(S) SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES, BOTH ON AND OFF THE SITE. REFER TO THE VIRGINIA UNIFORM CODING SYSTEM CONTAINED IN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, FOR DETAILS

ALL STORM DRAIN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

ALL FINISH GRADE CONTOURS AND SPOT ELEVATIONS SHOWN HEREIN ARE TO THE UPPER ELEVATION OF THE SPECIFIC ELEMENT. THE CONTRACTOR SHALL ACCOUNT FOR THE THICKNESS OF THE FINISH SURFACE (TOPSOIL PAVEMENT, LANDSCAPE MULCH, ETC.) IN GRADING OF THE SITE.

# SEWER NOTES

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

AND SPECIFICATIONS OF EROSION CONTROL ITEMS SHOWN ON THESE PLANS.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING ALL MANHOLES AFTER PAVING MANHOLE TOPS SHALL BE ADJUSTED TO GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LON

NEW SANITARY SEWER PIPE, FITTINGS, CONVOLUTION ETC. SHALL BE SDR-35 UNPLASTICIZED POLYVINYL CHLORIDE (PVC), UNLESS OTHERWISEN OF THE DRAWINGS. TRAFFIC BEARING FRAMES AND COVERS WEW EXTERIOR SANITARY SEWER CLEANOUTS. SHALL BE PROVIDED AND INSTALLED

THE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO CITY OF

WATER NOTES A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS AFTER PAVING AND ADJUSTMENT TO FINAL GRADE IF NECESSARY.

THE OPERATION. THE CONTRACTOR COMPACTED ACCORDING TO CITY OF

IRON IN ACCORDANCE WITH AWWA C151 OR DR-14 PVC IN ACCORDANCE WITH C-900.

PRESSURE ANTING IS CONSISTENT WITH TEST AND SERVICE PRESSURES ANTICIPATED FOR THE APPLICABLE PIPE RUND LATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND WESTERN VIRGINIA WATER AUTHORITY STANDARDS AND SPECIFICATIONS PERTAINING

## ENGINEER'S NOTES

CALDWELL WHITE ASSOCIATES ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE OWNER.

CALDWELL WHITE ASSOCIATES DOES NOT GUARANTEE THE COMPLETION OR QUALITY OF PERFORMANCE OF THE CONTRACTS OR THE COMPLETION OR QUALITY OF PERFORMANCE OF CONTRACTS BY SUBCONTRACTORS OR OTHER THIRD PARTIES.

EXISTING GRADE TOPOGRAPHY SHOWN HEREIN IS BASED ON A FIELD-RUN SURVEY PERFORMED BY CALDWELL WHITE ASSOCIATES IN 2011.

PROPERTY BOUNDARY INFORMATION SHOWN HEREIN IS TAKEN FROM A "RESUBDIVISION PLAT FOR DRIFTWOOD LLC, SHOWING THE COMBINATION OF LOTS 1 THROUGH 7, 36, AND 37, MAP OF WILLIAM FLEMING COURT, AND 0.005 ACRES HEREBY DEDICATED FOR STREET WIDENING, CREATING PARCEL 1, 0.643 ACRES", DATED 08/18/11 AND PREPARED BY CALDWELL WHITE ASSOCIATES. THIS PLAT IS UNDER CITY REVIEW CONCURRENT WITH THE REVIEW OF THESE PLANS, AS IS THEREFORE UNRECORDED AT THIS

# DEMOLITION NOTES-GENERAL

DEMOLITION SHALL INCLUDE, UNLESS OTHERWISE NOTED ON DRAWINGS. REMOVAL OF EXISTING OBJECTS OR IMPROVEMENTS, WHETHER INDICATED ON THE DRAWINGS OR NOT, THAT WOULD IN THE OPINION OF THE OWNER. PREVENT OR INTERFERE WITH THE PROGRESS OR COMPLETION OF THE PROPOSED WORK.

PERMITS, FEES AND LICENSES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR, INCLUDING DISPOSAL CHARGES AS REQUIRED.

WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES IN DEMOLITION OF EXISTING PAVEMENT, CURBS AND GUTTERS, DRAINAGE STRUCTURES AND UTILITIES AS MAY BE REQUIRED.

CONTRACTOR SHALL SAW-CUT ALL JOINTS WHERE EXISTING CURBING, PAVEMENT AND SIDEWALK IS TO BE DEMOLISHED AND NEW CONSTRUCTION JOINS THE EXISTING.

ALL EXISTING CURBING, CONCRETE SIDEWALK, ENTRANCES, TREES AND BRUSH THAT ARE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. DEMOLITION DEBRIS SHALL NOT BE USED AS FILL MATERIAL ON THE SITE.

ALL EXISTING UTILITY LINES THAT ARE TAKEN OUT OF SERVICE SHALL BE REMOVED IN THEIR ENTIRETY IF THEY WILL LIE WITHIN THREE FEET (3') OF SUBGRADE ELEVATIONS.

CONTRACTOR SHALL PROVIDE THE FOLLOWING PROTECTIONS AT THE JOB SITE:

AT NO COST TO THE OWNER.

MAKE ARRANGEMENTS, BEFORE INITIATING DEMOLITION, FOR RELOCATING, DISCONNECTION, REROUTING, ABANDONING, OR SIMILAR ACTION AS MAY BE REQUIRED RELATIVE TO UTILITIES AND OTHER UNDERGROUND PIPING. TO PERMIT WORK TO PROCEED WITHOUT DELAY. ARRANGEMENTS SHALL BE MADE IN ACCORDANCE WITH REGULATIONS OF AUTHORITIES OF UTILITIES MENTIONED. SUCH AS OVERHEAD / UNDERGROUND POWER AND TELECOMMUNICATION LINES AND EQUIPMENT, GAS PIPING, STORM SEWERS, SANITARY SEWERS, OR WATER PIPING. CONTRACTOR SHALL NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICE. FLOODING AND/ OR POLLUTION.

ENSURE SAFE PASSAGE OF PERSONS AROUND ALL AREAS OF DEMOLITION.

CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, OR INJURY TO PERSONS. PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS

MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE. AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. PREVENT INTERRUPTION OF EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING

INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES

USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR TO LOWEST PRACTICAL LEVEL.

CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITIONS EXISTING PRIOR TO THE START OF WORK, OR BETTER.

COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION

# DEMOLITION NOTES-SITE SPECIFIC

SEE ARCHITECTURAL & STRUCTURAL SHEETS FOR LIMITS AND DETAILS OF BUILDING DEMOLITION, AND IMPROVEMENTS TO BE CONSTRUCTED WITH REGARDS TO THE BUILDING THAT IS TO REMAIN.

SEE SHEET C-02 FOR INFORMATION REGARDING EXISTING SITE CONDITIONS, DEMOLITION WORK ALREADY PERFORMED, AND DEMOLITION WORK REMAINING.

THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON A COMPILATION OF AVAILABLE RECORDS AND FIELD-SURVEY INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF THESE UTILITIES AND CONTACT THE ENGINEER IMMEDIATELY UPON DISCOVERY OF FIELD CONDITIONS THAT WILL AFFECT THE INSTALLATION OF THE NEW IMPROVEMENTS.

ALL WORK IN OR ADJACENT TO THE STREET RIGHT OF WAY SHALL BE COORDINATED CLOSELY WITH THE CITY OF ROANOKE INSPECTORS.

# NOTES - PROPOSED SITE UTILITIES

IN THE EVENT THAT THE OWNER/DEVELOPER DESIRES SITE LIGHTING. THE DEVELOPER IS REQUIRED TO PREPARE A SITE LIGHTING PLAN, SUBMIT SAID PLAN TO THE CITY FOR REVIEW AND APPROVAL, AND OBTAIN NECESSARY PERMITS FOR INSTALLATION OF SITE LIGHTS.

- AS THESE SITE PLANS ARE PREPARED PRIMARILY FOR PARKING LOT ADDITIONS ONLY, THERE ARE NO NEW SANITARY SEWER OR WATERLINE LATERALS PROPOSED HEREIN.

# STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

RIGHT OF WAY EXCAVATION PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION. OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS) A RIGHT OF WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE

LAND DISTURBING PERMIT: AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW / FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO ISSUANCE OF A LAND

PLANS AND PERMITS: A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. THE SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE AS SHOWN WITHIN THESE PLANS.

STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD. DIRT, DUST, AND OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.

APPROVED PLANS / CONSTRUCTION CHANGES: ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATIONS IN CONSTRUCTION BEING

FINAL ACCEPTANCE/CITY: THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE DEPARTMENT OF PLANNING, BUILDING, AND DEVELOPMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

## NOTICE: ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS

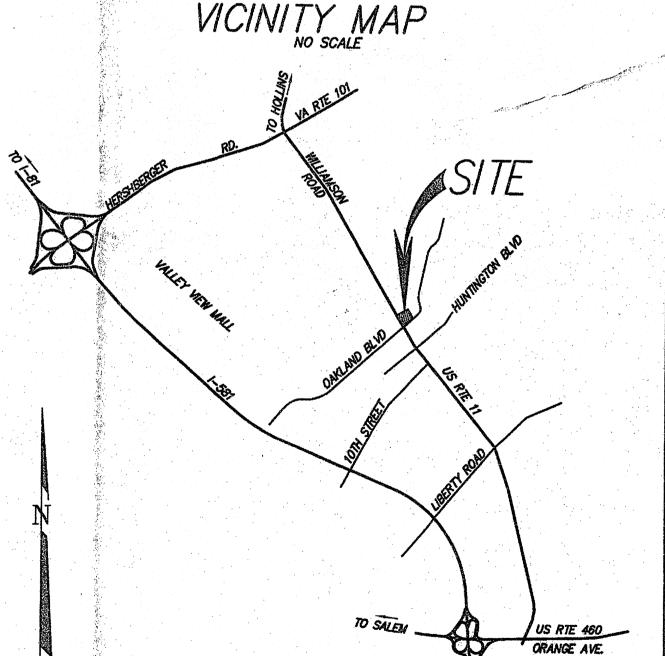
FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES. TIME DELAYS. OR THE ISSUANCE OF A STOP WORK ORDER.

## SHEET INDEX

SHEET #	TITLE .
C-01 ————————————————————————————————————	CIVIL NOTES AND LEGEND  EXISTING CONDITIONS AND DEMOLITION PLAN  DIMENSIONAL LAYOUT AND LANDSCAPING PLAN  GRADING AND STORM DRAINAGE PLAN  SOIL EROSION AND SEDIMENTATION CONTROL PLAN  SITE CONSTRUCTION DETAILS  SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

### ANY VARIATION FROM APPROVED PLANS MUST BE APPROVED BY THE CITY OF ROANOKE

	ABBREVIATI	~ / / / / /	LEGEN		SYMBO	
AHFH	ARROW HEAD TOP OF FIRE HYDRANT	MIN	MINIMUM	EXISTING	NEW	
APPROX	APPROXIMATE	MON NBL	MONUMENT NORTH BOUND LANE	100.5	100.5	SPOT ELEVATION
ASPH .	ASPHALT	PCC	PORTLAND CEMENT CONCRETE	100	(100)	CONTOURS
BC	BOTTOM OF CURB (AT FINISH GRADE)	PROP	PROPOSED	===8"SS===		
BIT	BITUMINOUS	PUE	PUBLIC UTILITY EASEMENT	===0 55===		SANITARY SEWER LINE
BLDG	BUILDING	PVMT	PAVEMENT	———4"W ———	4"W	WATERLINE
BLK Bu	BLOCK	R	RADIUS	===8"SD===		STORM DRAIN
BM BW	BENCHMARK BOTTOM OF WALL (AT FINISH GRADE)	RT	RIGHT	———2"G ——	2°G	DAC LIME
CB	CINDER BLOCK	R/W REQD	RIGHT OF WAY REQUIRED		20	GAS LINE
C&G	CURB & GUTTER	RR	RAILROAD	<b>E</b>	E	OVERHEAD ELECTRIC LINE
CL	CENTERLINE	RYS	REAR YARD SETBACK			OVERHEAD TELEPHONE LINE
CMP	CORRUGATED METAL PIPE	SAN	SANITARY	——CATV——	CATIC	
CONC	CONCRETE	SBL	SOUTH BOUND LANE		CATV	OVERHEAD CABLE TELEVISION L
COR	CORNER	SD	STORM DRAIN	UE UT	— UE —— UT—	UNDERGROUND TEL OR ELEC LII
DBL DCC	DOUBLE	SECT	SECTION	- SMSM	— SM —— SM—	STEAM SUPPLY OR RETURN LIN
DEFL Di	DEFLECTION DROP INLET	SE	SLOPE EASEMENT	nen.	<b></b>	
DIA	DIAMETER	SM	STEAM	M		WATER OR GAS METER
DE	DRAINAGE EASEMENT	SS SSE	SANITARY SEWER SANITARY SEWER EASEMENT			VALVE
EBL	EAST BOUND LINE	STA	STATION	ф- F.H.		FIRE HYDRANT
ELEC	ELECTRIC	STD	STANDARD			
LEV	ELEVATION	STO	STORAGE			MANHOLE
ENTR	ENTRANCE	SWM	STORMWATER MANAGEMENT	c.o.	C.O.	CLEANOUT
	EDGE OF PAVEMENT	SYS	SIDE YARD SETBACK	<u></u>		DROP INLET (CURB OR GRATE)
EW EXIST	ENDWALL EXISTING	TBM	TEMPORARY BENCHMARK			
DN	FOUNDATION	TC TEL	TOP OF CURB	4	9	UTILITY POLE, GUY & ANCHOR
	FINISHED FLOOR	TRANS	TELEPHONE TRANSFORMER			DITCH OR SWALE
	FINISH GRADE	TW	TOP OF WALL	——————————————————————————————————————	C	CENTERLINE OR BASELINE
70	FIBER OPTIC LINE	TYP	TYPICAL	<b>D</b>		
GRD	GROUND	VDOT	VIRGINIA DEPARTMENT OF			PROPERTY LINE
	HIGH POINT		TRANSPORTATION	$oldsymbol{\Delta}$	$\triangle$	SURVEY TRAVERSE POINT
	INVERT	VERT	VERTICAL	C Y.L.	St Y.L.	YARD LIGHTING
	IRON PIN	WBL	WEST BOUND LANE			
.T ABL	LEFT MINIMUM BUILDING LINE	WVWA YD	WESTERN VIRGINIA WATER AUTHORITY YARD			BENCHMARK
AH	MANHOLE		1000	x x	ox	FENCELINES
		I		<b>,</b> , , , ,	$\mathcal{K}\mathcal{K}\mathcal{J}$	TREE LINE
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	and the second of the second o	***		X	ETAIL DESIGNATION	
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			A Property Commencer		CIVIL SHEET ON WHICH DETAIL IS	DETAIL BUBBLE



REVISIONS

Remarks

Designed: C.L. White

Drawn: \_\_ C.L. White

Date: <u>August 18, 2011</u>

W.O. # \_\_\_\_11-0030

No. Date

TO ELM AVENUE

SITE PLAN FOR BUILDING AND PARKING LOT MODIFICATIONS NAME OF DEVELOPMENT AARON'S RENTALS 3607 WILLIAMSON ROAD, NW LOCATION CITY OF ROANOKE, VIRGINIA DRIFTWOOD, LLC OWNER 40 DRIFTWOOD CIRCLE PENHOOK. VA 24137 LUCAS CONSTRUCTION, INC. GENERAL 2030 SHENANDOAH VALLEY AVE. NE ROANOKE, VA 24012 CONTRACTOR ATTN: MR. RONALD L. LUCAS PHONE (540) 563-2947 CITY OF ROANOKE TAX PARCEL 2090101, 0102, 0117

CITY APPROVALS

CORBIN L. WHITE License No. 23843 08-18 -11



CALDWELL WHITE ASSOCIATES

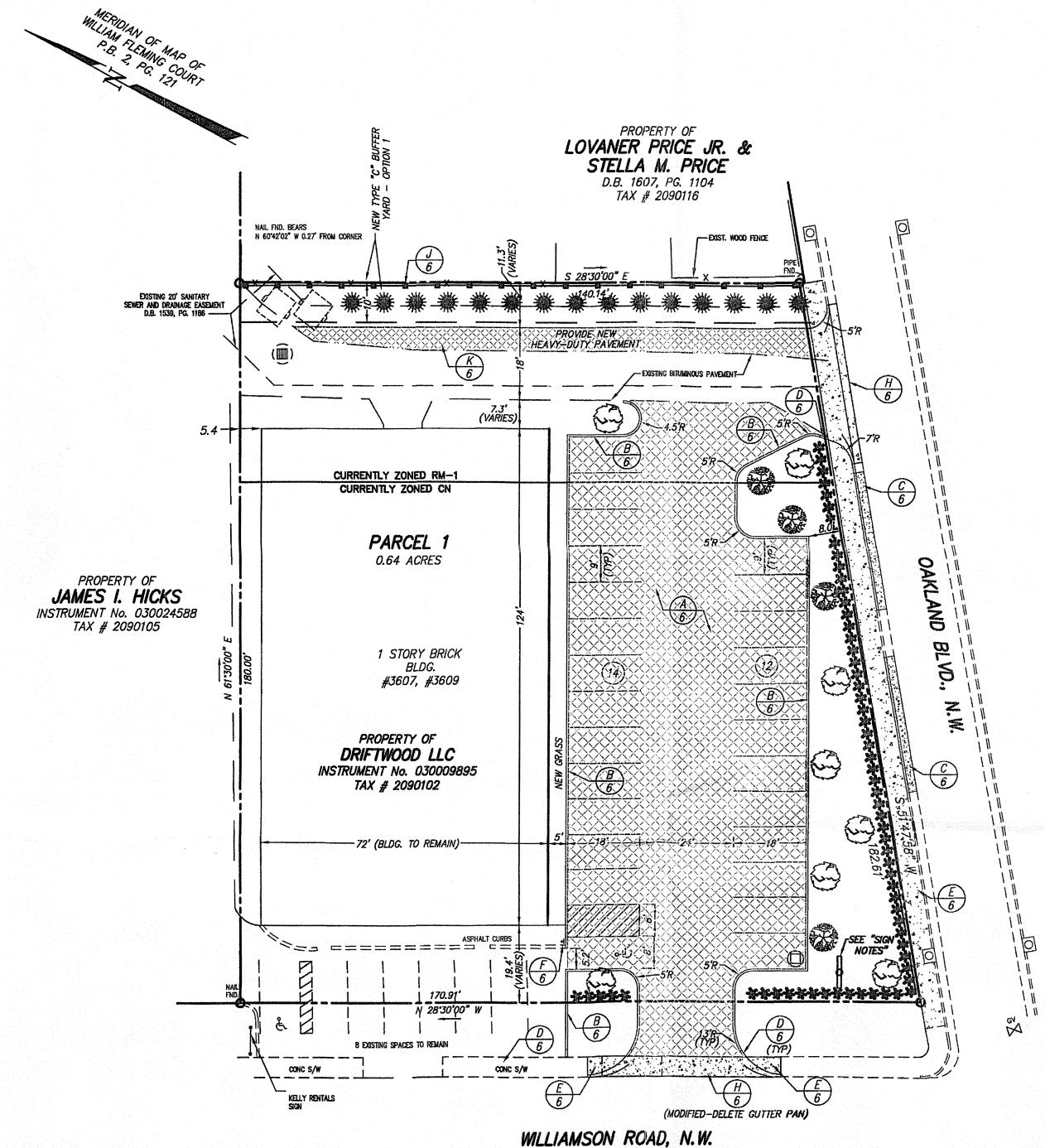
ENGINEERS / SURVEYORS / PLANNERS 4203 MELROSE AVENUE, N.W. P.O. BOX 6260 ROANOKE, VIRGINIA 24017-0260

(540) 366-3400 FAX: (540) 366-8702

SHEET C-01 OF

CITY REF: CPXXXXXX

#### EXISTING STORM DRAIN A EXIST. SDMH RIM=100.76 E EXIST. CURB INLET RIM=101.76 INV. OUT (15")=96.51 INV. IN (15" FROM EAST)=94.06 INV. IN (15" FROM WEST)=92.18 EXIST. SDMH RIM=98.72 INV. IN (42")=92.06 INV. OUT (42")=91.36 INV. IN (15" FROM SOUTH)=93.29 INV. IN (15" FROM NORTH)=93.32 INV. OUT (15")=93.22 B EXIST. GRATE INLET RIM=100.60 PROPERTY OF LOVANER PRICE JR. & EXIST. CURB INLET RIM=98.79 INV. IN (42")=92.90 INV. OUT (42")=92.80 EXIST. SSMH RIM=103.07 INV. OUT (15")=90.85 INV. OUT (15")=94.54 STELLA M. PRICE C EXIST. SDMH RIM=102.86 H EXIST. CURB INLET RIM=98.90 D.B. 1607, PG. 1104 TAX # 2090116 INV. OUT (42")=93.01 INV. OUT (15")=93.80 D EXIST. CURB INLET RIM=101.79 INV. IN (15")=94.09 INV. OUT (15")=94.29 EXIST. SSMH RIM=100.95 INV. IN (15")=90.50 INV. OUT (15")=90.47 -SAW-CUT AND REMOVE EXISTING BROKEN CONCRETE ENTRANCE APRON. REPLACE WITH NEW. SEE REMAINING SHEETS FOR LAYOUT. REPLACEMENT OR EXTENSION WITH TELEPHONE CO. ====15° SS==== -EXIST. SSMH RM-99.97 INV. IN (FROM EAST)-91.77 — LIMITS OF DEMOLITION (SEE NOTES, THIS PROPERTY OF SHEET AND SHEET JAMES I. HICKS C-01) .-INSTRUMENT No. 030024588 -SAW-CUT AND REMOVE EXISTING CONCRETE ENTRANCE APRONS. REPLACE WITH NEW TAX # 2090105 CONCRETE CURB AND GUTTER, SEE REMAINING SHEETS. AS NECESSARY DUE TO DEMOLITION AND NEW CONSTRUCTION, THE CONTRACTOR SHALL SAW-CUT AND PATCH STREET PAVEMENT. REMOVE EXIST. SERVICE POLE. COORDINATE WITH AMERICAN ELECTRIC 1 STORY BRICK BLDG. #3607, #3609 PAVEMENT SECTION SHALL MATCH EXISTING, AND FINISH SURFACE OF PAVEMENT SHALL BE SMOOTH, UNIFORM, AND SHALL MATCH EXISTING PAVEMENT GRADES AND SLOPES. 39.9' (BLDG. TO BE RAZED) -72' (BLDG. TO REMAIN)-EXISTING 2-STORY BRICK AND FRAME BUILDING AND ALL ASSOCIATED FLATWORK HAS BENCHMARK: TC 101.35 TC 101.29 ASPHALT CURBS -101 - - - TG-101.05 BC 101.07 BC 100.89 RAILROAD SPIKE SET IN APCO POLE NUMBER 230-1506, LOCATED AT THE BEEN REMOVED AS OF THE 100.23 TIME OF PREPARATION OF INTERSECTION OF WILLIAMSON ROAD AND OAKLAND BOULEVARD. ELEVATION = 100.00 (ASSUMED DATUM) THESE PLANS. COORDINATE WITH AMERICAN ELECTRIC POWER REGARDING POTENTIAL CONFLICT BETWEEN EXISTING GUY ANCHOR(S) AND NEW STORM DRAIN DEMOLITION NOTES UNLESS OTHERWISE NOTED IN THESE PLANS, ALL ABOVE GROUND PHYSICAL IMPROVEMENTS SAW-CUT AND REMOVE CONCRETE WITHIN THE LIMITS OF DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY FROM THE SITE, AND ASPHALT FOR NEW CONC. ENTRANCE WITH THE EXCEPTION OF UTILITY LINES, POLES, PEDESTALS, ETC., WHICH ARE TO REMAIN FUNCTIONAL AND IN GOOD ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL COORDINATE WITH UTILITY OWNERS WITH RESPECT TO REMOVING OR WILLIAMSON ROAD, N.W. - CONTRACTOR SHALL ADJUST TOP ELEVATION OF EXISTING WATER METER BOX AS REQUIRED TO RELOCATING UTILITY SERVICES. SEE SHEET C-01 FOR ADDITIONAL DEMOLITION NOTES MATCH FINISH GRADE. SEE SHEET C-04. GRAPHIC SCALE EXISTING CONDITIONS AND DEMOLITION PLAN AARON'S RENTALS CORBIN L. WHITE SITE PLAN FOR BUILDING AND License No. 23843 PARKING LOT MODIFICATIONS 3607 WILLIAMSON ROAD, NW CITY OF ROANOKE, VIRGINIA C.L. White \*CWA C.L. White CALDWELL WHITE ASSOCIATES Date: August 18, 2011 ENGINEERS / SURVEYORS / PLANNERS 1'' = 20'Scale: \_\_\_\_ 4203 MELROSE AVENUE Tax Parcel: 2090101, 0102, 011 P.O. BOX 6280 ROANOKE, VIRGINIA 24017-0260 (540) 366-3400 FAX: (540) 366-8702 Field Book: CH-1 W.O. No.: 11-0030



80' R/W

CITY OF ROANOKE ZONING	CODE REQUIREMENTS	PROVISIONS INCLUDED HEREIN
ORDINANCE REFERENCE		
SEC. 36.2-642(d)	LANDSCAPING REQUIRED PER SEC. B-3, APPX. B	(SEE BELOW)
SEC. 36.2-644(c)	20-YEAR SITE CANOPY REQUIREMENT IS NOT	
	APPLICABLE IN THE CN ZONING DISTRICT	
SEC. 36.2-645	STREET TREES REQUIRED AT 1 PER 50'	PROVIDE 5 NEW RED MAPLES
SEC. 36.2-647(b)	TYPE "C" BUFFER YARD REQUIRED ALONG	PROVIDE 6' SCREENING FENCE, 10' BUFFER YARD, HOLLIES ON 8' CENTERS
	EASTERN BOUNDARY	SEE PLAN AND PLANTING LIST.
SEC.36.2-648(b)(5)	PARKING LOT ADJACENT TO PUBLIC R/W	PROVIDE SMALL DECIDUOUS TREES
		PROVIDE TWO FLOWERING DOGWOODS
		20-YEAR PERIMETER CANOPY PROVIDED =2 (177 SQ. FT.)=354 SF
		PROVIDE EVERGREEN OR DECIDUOUS SHRUBS AT 1 PER 3'
		PROVIDE SIXTY—FIVE WINTERGREEN BARBERRY
		20-YEAR PERIMETER CANOPY PROVIDED = 0
SEC.36.2-648(b)(7)	FOR MORE THAN 21 PARKING SPACES,	AREA OF PARKING=7,640 SF
	PROVIDE PERIMETER AND INTERIOR TREE	20-YEAR CANOPY REQ'D. = 1,528 SF
	CANOPY EQUAL TO 20% OF THE PARKING	
	AREA.	TWO NEW FLOWERING DOGWOODS AT STREET PROVIDE 354 SF CANOPY
		PROVIDE TWO ADDITIONAL FLOWERING DOGWOODS
		20-YEAR PERIMETER CANOPY PROVIDED =2 (177 SQ. FT.)=354 SF
		PROVIDE THREE ADDITIONAL RED MAPLES
		20-YEAR PERIMETER CANOPY PROVIDED =3 (314 SQ. FT.)=942 SF

### GENERAL LANDSCAPING NOTES 1. SEE PLANTING DETAILS, SHEET C-06.

- 2. NEW PLANTINGS SHOWN HEREON ARE FOR CODE COMPLIANCE ONLY. THE OWNER IS ENCOURAGED TO PROVIDE ADDITIONAL PLANTINGS FOR SITE BEAUTIFICATION. 3. ALL LANDSCAPE PLANTINGS SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- 4. ALL LANDSCAPE PLANTINGS SHALL CONFORM TO STANDARDIZED PLANT NAME AND SHALL BE WELL-FORMED, TRUE TO TYPE AND HAVE WELL-DEVELOPED ROOT SYSTEMS. ALL PLANTINGS SHALL
- BE SOUND, HEALTHY, AND FREE FROM DEFECTS. 5. ALL PLANTING SHALL BE DONE DURING THE PROPER SEASON AND NO PLANTING SHALL BE DONE IN FROZEN SOIL OR DURING UNFAVORABLE WEATHER CONDITIONS. 6. ALL TREES ARE TO BE LOCATED WITH RESPECT TO EXISTING OR PROPOSED UTILITIES.
- 7. MULCH ALL PLANTINGS WITH A MINIMUM OF THREE INCHES OF SHREDDED OR CHIPPED MULCH. 8. ADJUSTMENTS MAY BE NECESSARY DUE TO PLANT AVAILABILITY.
- 9. DUE TO ON-SITE CONDITIONS, IN-FIELD ADJUSTMENTS MAY BE NECESSARY.
  10. ALL PLANTING OF TREES, SHRUBS, ETC. SHALL BE DONE IN ACCORDANCE WITH VDOT ROAD AND BRIDGE SPECIFICATIONS, SECTION 605.

PLANTING LIST						
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY.	SIZE AT PLANTING	CONDITION	
नुह	Wintergreen Barberry	Berberis Julianae	65	18" Min. Ht.	Cont.	
	Flowering Dogwood	Comus Florida	4	5' Min. Ht.	B&B	
	Red Maple	Acer Rubrum	8	2" Min. Cal.	<i>8&amp;B</i>	
**	American Holly	llex Opaca	15	5' Min. Ht.	B&B	

DIMENSIONING CONVENTION
ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING, FACE OF WALL, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.

COORDINATION NOTES
THE CONTRACTOR SHALL COORDINATE ALL NEW BUILDING CONSTRUCTION WITH ARCHITECTURAL AND STRUCTURAL SHEETS, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT WILL AFFECT THE INSTALLATION OF PROPOSED SITE IMPROVEMENTS SHOWN.

### STRIPING NOTES

AUTOMOBILE PARKING SPACE STRIPING SHALL BE STANDARD WHITE TRAFFIC PAINT. LINES SHALL BE 4" WIDE AND OF LENGTHS AND SPACINGS AS SHOWN. "NO PARKING" AREAS SHALL HAVE 4" WIDE YELLOW DIAGONAL STRIPES ON 2' CENTERS, AS SHOWN. HANDICAP-ONLY SPACES SHALL BE STRIPED AND MARKED WITH THE UNIVERSAL ACCESSIBILITY SYMBOL USING BLUE PAINT.

DUMPSTER ENCLOSURE NOTES
REFUSE COLLECTION DUMPSTERS ARE SHOWN HEREON IN THEIR EXISTING LOCATIONS, WHICH ARE TO REMAIN UNCHANGED. THIS CONDITION HAS BEEN PRE-APPROVED BY THE CITY OF ROANOKE PLANNING DEPARTMENT.

### PARKING SCHEDULE PARKING REQUIRED

PURSUANT TO SECTION 36.2-316 OF THE CITY OF ROANOKE ZONING ORDINANCE, THERE IS NO MINIMUM NUMBER OF PARKING SPACES THAT MUST BE PROVIDED IN THE THE "CN" ZONING DISTRICT

### ON-SITE PARKING PROVIDED

7 EXISTING AUTOMOBILE SPACES 1 EXISTING HANDICAP—ONLY SPACES 25 NEW AUTOMOBILE SPACES 1 NEW HANDICAP-ONLY SPACES

34 TOTAL PARKING SPACES PROVIDED

### IMPERVIOUS RATIO

AREA OF IMPERVIOUS SURFACE = 20,906 SQ. FT. AREA OF LOT = 27,994 SQ. FT.

IMPERVIOUS RATIO = 74.6 % < 100 % MAX. ALLOWABLE

### SIGN NOTES

THE LOCATION OF THE NEW SIGN SHOWN IS APPROXIMATE. NEW SIGNAGE MUST BE SETBACK A MINIMUM OF TWO FEET FROM THE RIGHT OF WAY OF WILLIAMSON ROAD AND / OR OAKLAND BOULEVARD.

IN THE CN ZONING DISTRICT, THE FOLLOWING SIGN REGULATIONS APPLY:

### FREESTANDING SIGNAGE

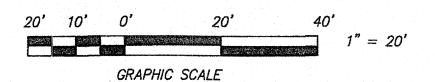
ONE FREESTANDING SIGN ALLOWED PER STREET FRONTAGE MAXIMUM SIGN AREA = 0.50 SQ. FT. PER LINEAR FOOT OF STREET FRONTAGE (32 SQ. FT. MAXIMUM) MAXIMUM SIGN HEIGHT = 6'

SIGN MAY BE ILLUMINATED AND / OR HAVE CHANGEABLE COPY

#### BUILDING MOUNTED SIGNAGE

ONE BUILDING MOUNTED SIGN ALLOWED PER BUILDING FACE OR STOREFRONT
MAXIMUM SIGN AREA = 32 SQ. FT. PLUS 0.50 SQ. FT. PER LINEAR FOOT OF BUILDING OR STOREFRONT IN EXCESS OF 32 SQ. FT. (32 SQ. FT. MAXIMUM)

MAXIMUM SIGN HEIGHT = (NOT APPLICABLE) SIGN MAY BE ILLUMINATED AND / OR HAVE CHANGEABLE COPY



CORBIN L. WHITE License No. 23843

DIMENSIONAL LAYOUT AND LANDSCAPING PLAN

# AARON'S RENTALS

SITE PLAN FOR BUILDING AND PARKING LOT MODIFICATIONS

3607 WILLIAMSON ROAD, NW CITY OF ROANOKE, VIRGINIA

\*CWA

Designed: C.L. White C.L. White Checked:\_\_\_ Date: <u>August 18, 2011</u> 1" = 20'

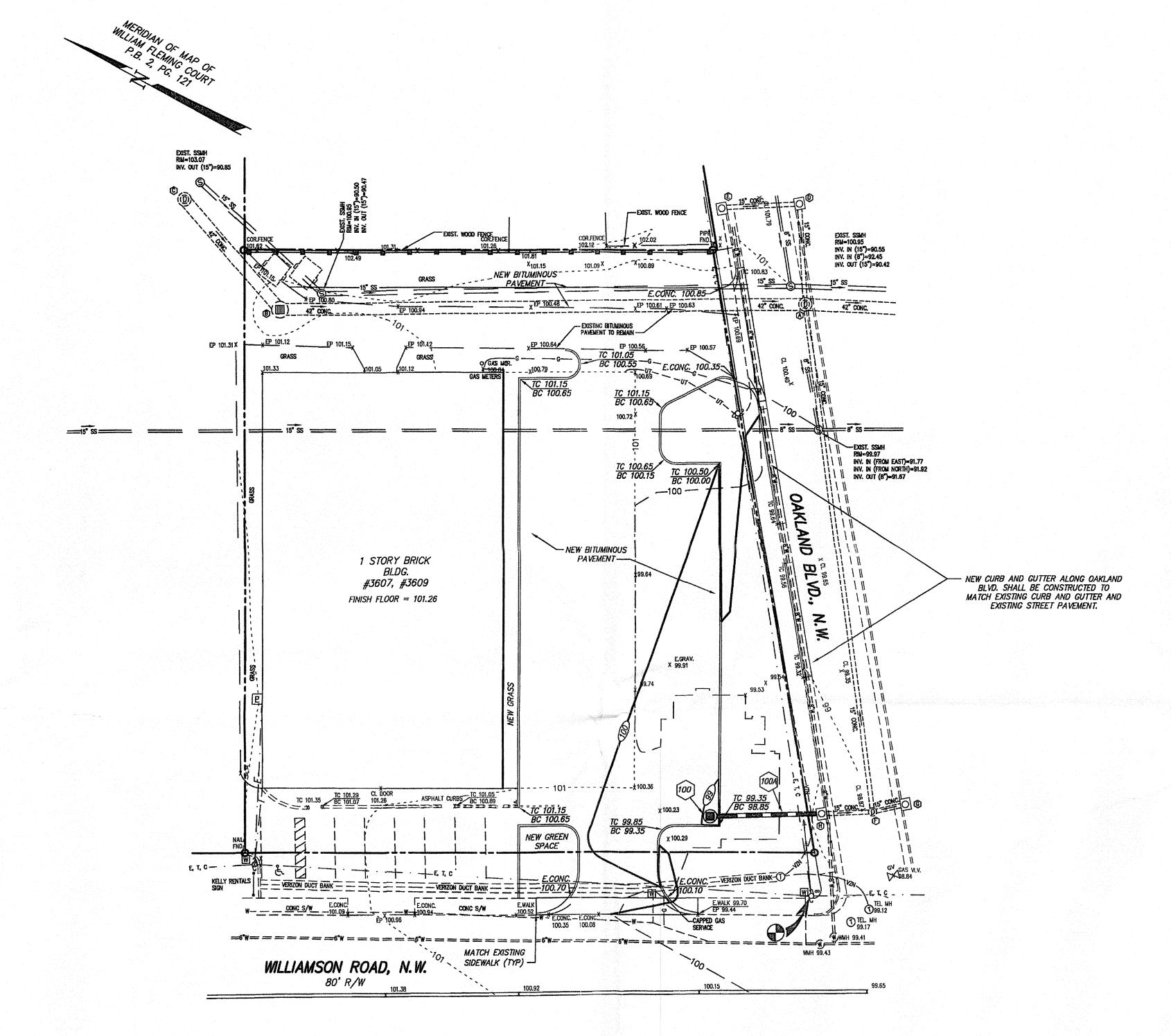
Field Book: CH-1

W.O. No.: 11-0030

Tax Parcel: 2090101, 0102, 011

CALDWELL WHITE ASSOCIATES ENGINEERS / SURVEYORS / PLANNERS

4203 MELROSE AVENUE P.O. BOX 6260 ROANOKE, VIRGINIA 24017-0260 (540) 366-3400 FAX: (540) 366-8702



BENCHMARK:

RAILROAD SPIKE SET IN APCO POLE NUMBER 230-1506, LOCATED AT THE

INTERSECTION OF WILLIAMSON ROAD AND OAKLAND BOULEVARD.

ELEVATION = 100.00 (ASSUMED DATUM)

EXISTING STORM DRAINAGE SCHEDULE

A EXIST. SDMH RIM=100.76 INV. IN (15" FROM EAST)=94.06 INV. IN (15" FROM WEST)=92.18 INV. IN (42")=92.06

EXIST. CURB INLET RIM=101.76 INV. OUT (15")=96.51 EXIST. SDMH RIM=98.72 INV. IN (15" FROM SOUTH)=93.29

INV. IN (15" FROM NORTH)=93.32

INV. OUT (15")=93.22

INV. OUT (42")=91.36 B EXIST. GRATE INLET RIM=100.60 INV. IN (42")=92.90 INV. OUT (42")=92.80

G EXIST. CURB INLET RIM=98.79 INV. OUT (15")=94.54 C EXIST. SDMH H EXIST. CURB INLET RIM=98.90 RIM=102.86 INV. OUT (42")=93.01 INV. OUT (15")=93.80

D EXIST. CURB INLET INV. IN (15")=94.09 INV. OUT (15")=94.29

# NEW STORM DRAINAGE SCHEDULE

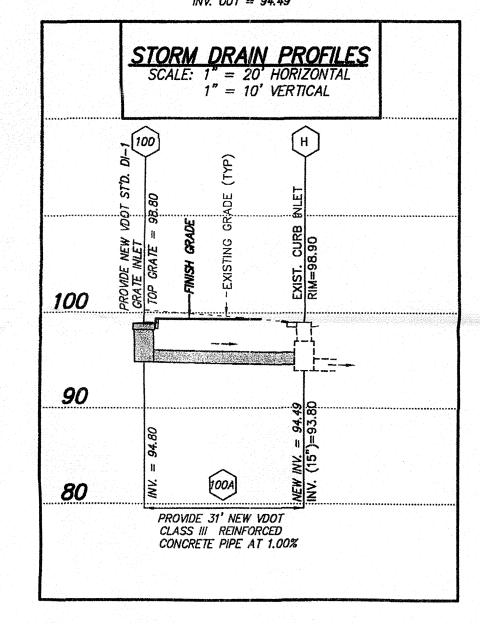
SEE THIS SHEET FOR PROFILE OF NEW STORM DRAIN.

CONCRETE STORM DRAINAGE STRUCTURES SHALL BE PRE-CAST. MATERIALS, FABRICATION, AND INSTALLATION SHALL BE IN STRICT CONFORMANCE TO VDOT STANDARDS AND SPECIFICATIONS. NEW CONCRETE STORM STRUCTURES 4' INSIDE DIAMETER AND LARGER TO RECEIVE VDOT IS-1 INLET SHAPING

NEW CONCRETE PIPE SHALL BE MINIMUM VDOT CLASS III, AND SHALL BE BEDDED IN ACCORDANCE WITH VDOT STANDARD PB-1.

100 PROVIDE NEW VOOT STD. DI-1 GRATE INLET TOP GRATE = 98.80 INV. = 94.80

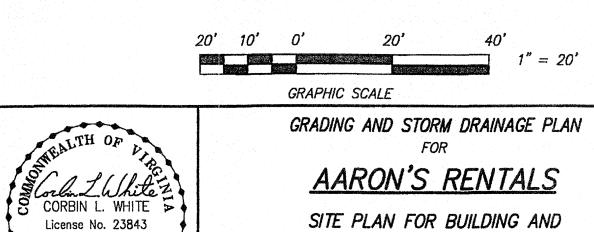
100A PROVIDE 31' NEW VDOT CLASS III REINFORCED CONCRETE PIPE AT 1.00% INV. IN = 94.80 INV. OUT = 94.49



### COMPACTION NOTES

EXCEPT AS SPECIFIED BELOW, ALL NEW FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR (ASTM D698).

SUBGRADE UNDER NON-STRUCTURAL AREAS SHALL BE COMPACTED TO A MINMIMUM OF 85% OF STANDARD PROCTOR (ASTM D698).



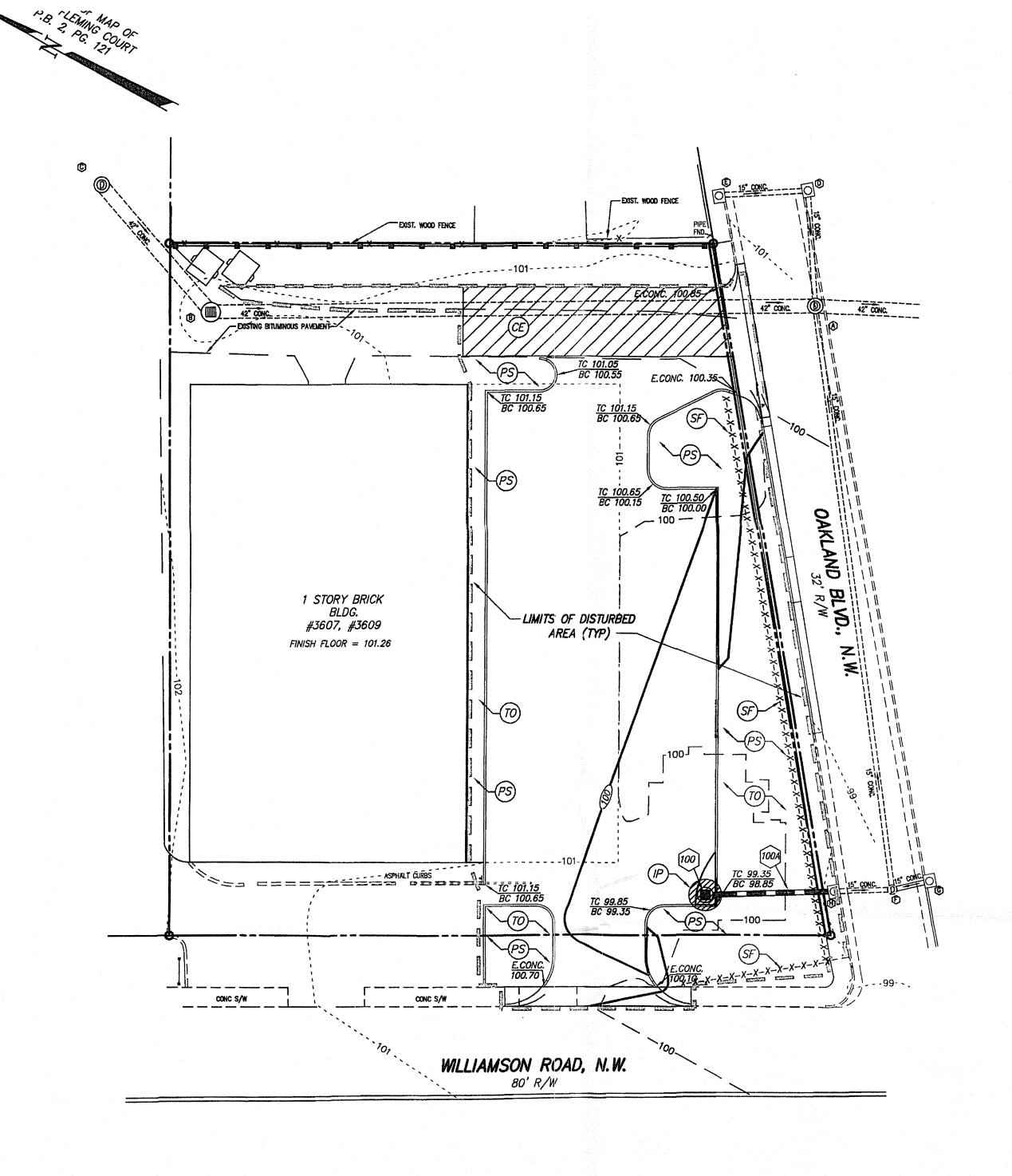
PARKING LOT MODIFICATIONS 3607 WILLIAMSON ROAD, NW CITY OF ROANOKE, VIRGINIA

CWA C.L. White CALDWELL WHITE ASSOCIATES ENGINEERS / SURVEYORS / PLANNERS 1" = 20' 4203 MELROSE AVENUE P.O. BOX 6260 ROANOKE, VIRGINIA 24017-0260 (540) 366-3400 FAX: (540) 366-8702

Designed: C.L. White

Date: August 18, 2011 Tax Parcel: 2090101, 0102, 011 Field Book: CH-1

W.O. No.: 11-0030



### SOIL EROSION CONTROL MEASURES

CE CONSTRUCTION ENTRANCE

A STONE CONSTRUCTION ENTRANCE SHALL BE PROVIDED OFF OF EXISTING PAVEMENT (SEE PLAN). THIS ENTRANCE SHALL BE MAINTAINED SUCH THAT TRACKING OF MUD AND DIRT ONTO THE PAVED SUFFACE IS HELD AT AN ABSOLUTE MINIMUM. SHOULD SEDIMENT TRANSPORT OR TRACKING OCCUR IN THE PUBLIC RIGHT OF WAY, IT SHALL BE REMOVED IMMEDIATELY.

SF) SILT FENCE BARRIER

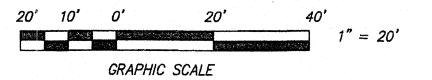
A SILT FENCE BARRIER SHALL BE PLACED BELOW ALL DENUDED AREAS AS SHOWN ON THE EROSION CONTROL PLAN(S). THIS BARRIER SHALL BE INSPECTED AFTER EACH RUNOFF PRODUCING RAINFALL, AND SHALL BE CLEANED, REPAIRED, OR REPLACED AS REQUIRED.

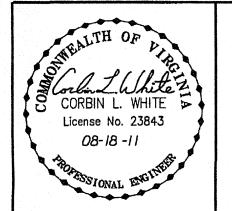
IP INLET PROTECTION
ALL NEW AND EXISTING INLET STRUCTURES SHALL RECEIVE INLET PROTECTIVE MEASURES TO MINIMIZE INFILTRATION OF SEDIMENT INTO THE STORM DRAIN SYSTEM, AND ULTIMATELY THE RECEIVING CHANNELS. PROTECT ALL POINTS OF ENTRY TO THE STORM DRAINAGE SYSTEM.

TEMPORARY SEEDING
TEMPORARY SEEDING SHALL BE PROVIDED ON DISTURBED AREAS AS REQUIRED BY THE TEMPORARY SEEDING SECTION OF THE EROSION CONTROL DETAILS CONTAINED HEREIN. TEMPORARY SEEDING APPLIES TO ALL AREAS SHOWN ON THE PLAN TO RECEIVE PERMANENT SEEDING.

PS PERMANENT SEEDING
ALL DENUDED AREAS NOT TO RECEIVE HARD SURFACING SHALL BE PERMANENTLY SEEDED WITHIN SEVEN DAYS OF FINAL GRADING OPERATIONS.

TOPSOILING
ALL DENUDED AREAS NOT TO RECEIVE HARD SURFACING SHALL RECEIVE TOPSOIL PRIOR TO APPLICATION OF SEEDING
MEASURES. UPON REACHING SUBGRADE ELEVATIONS, THE CONTRACTOR SCARIFY SUBGRADE SOILS, AND SHALL SPREAD A
MINIMUM OF SIX INCHES (6") OF TOPSOIL ON AREAS TO BE SEEDED OR LANDSCAPED.





SOIL EROSION AND SEDIMENTATION CONTROL PLAN

AARON'S RENTALS
SITE PLAN FOR BUILDING AND

PARKING LOT MODIFICATIONS

3607 WILLIAMSON ROAD, NW
CITY OF ROANOKE, VIRGINIA

Designed: C.L. White

Drawn: C.L. White

Checked: Date: August 18, 2011

Scale: 1" = 20'

Scale: 1" = 20'

Tax Parcel: 2090101, 0102, 011

Field Book: CH-1

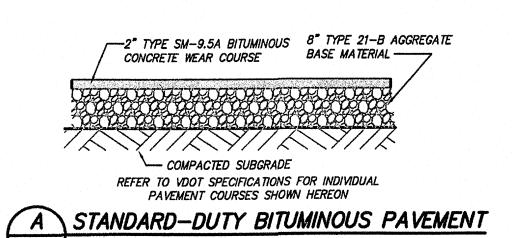
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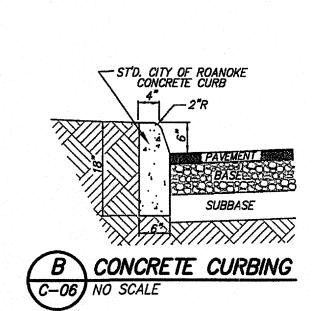
CALDWELL WHITE ASSOCIATES

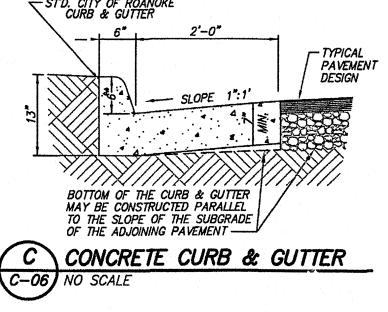
4203 MELROSE AVENUE P.O. BOX 6260 ROANOKE, VIRGINIA 24017-0260 (540) 366-3400 FAX: (540) 366-8702

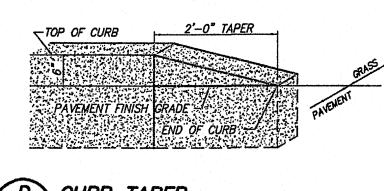
ENGINEERS / SURVEYORS / PLANNERS

SHEET C-05 OF 7

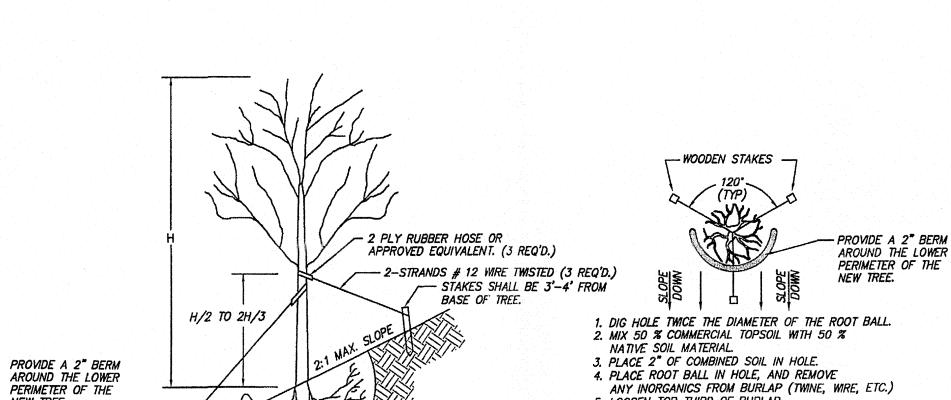






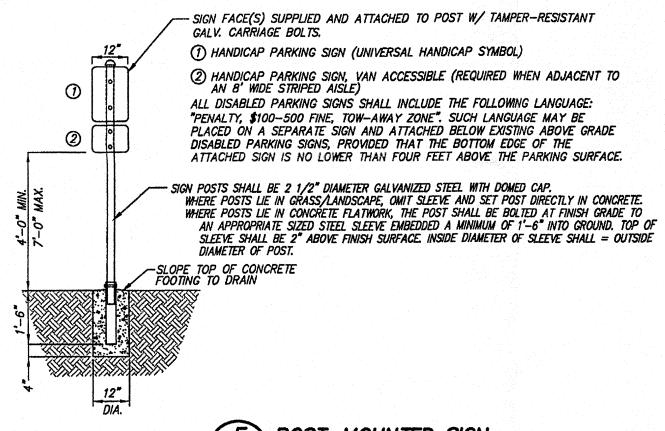




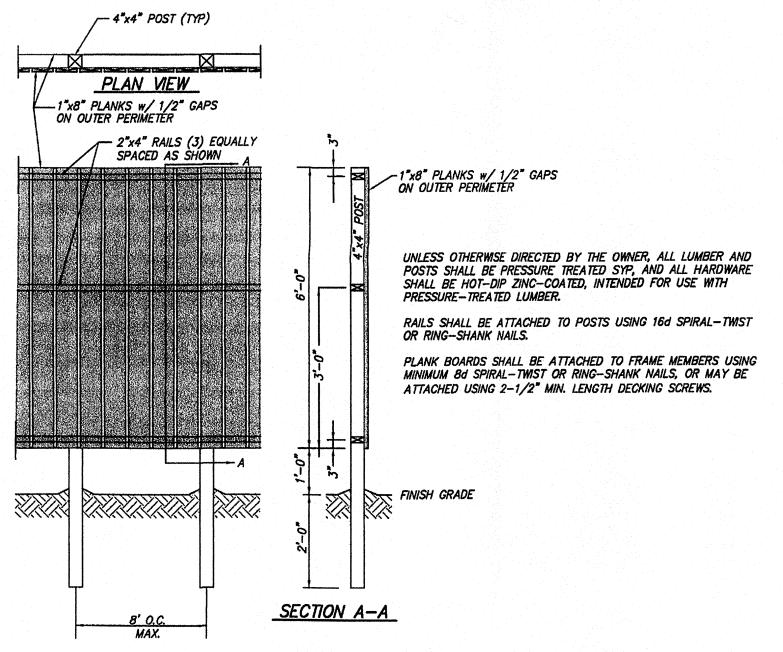


ANY INORGANICS FROM BURLAP (TWINE, WIRE, ETC.)
5. LOOSEN TOP THIRD OF BURLAP.
6. LOOSELY BACKFILL HOLE
7. ATTACH GUY LINES W/ PROTECTIVE HOSE.
8. COMPACT BACKFILL, MAINTAINING TREE IN A PLUMB POSITION.
9. MULCH WITH A MINIMUM OF 3" OF BARK MULCH, SHREDDED, OR CHIPPED.
10. WATER EACH TREE W/ MIN. OF 5 GAL. OF WATER.

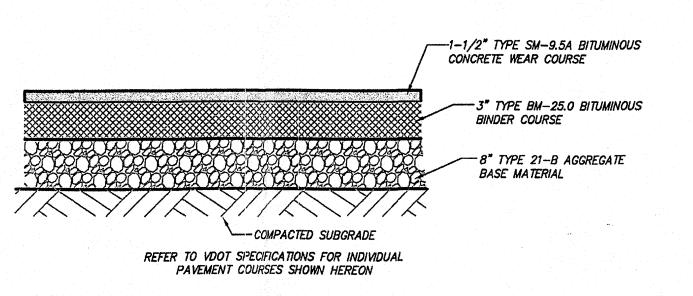
G TREE PLANTING DETAIL



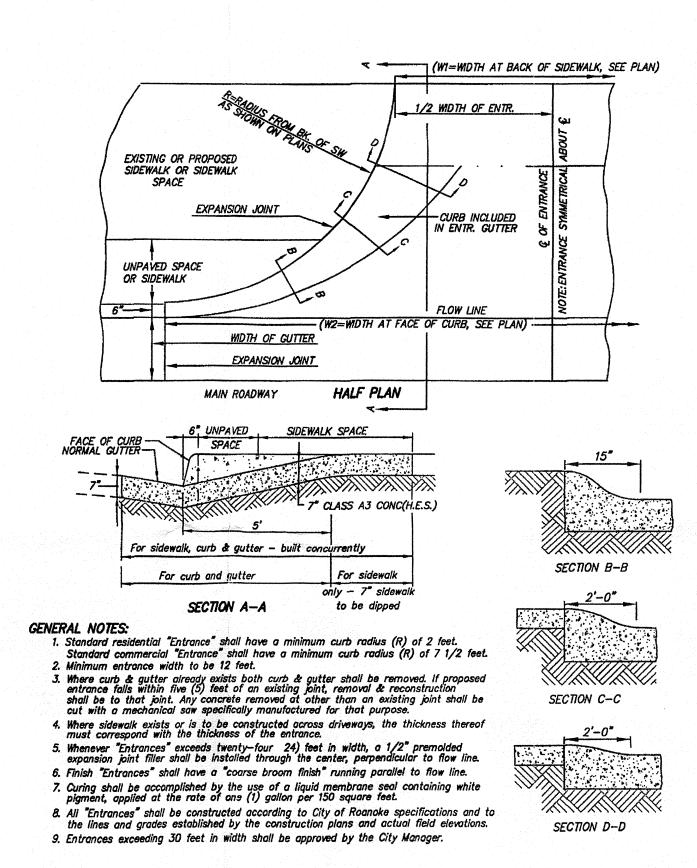








K BITUMINOUS PAVEMENT DETAIL - HEAVY DUTY
C-06 NO SCALE



CROSS-SLOPE=1/4":12" UNLESS OTHERWISE SHOWN

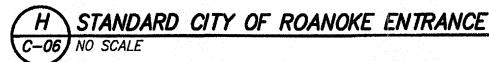
4" MIN. COMPACTED STONE BASE-

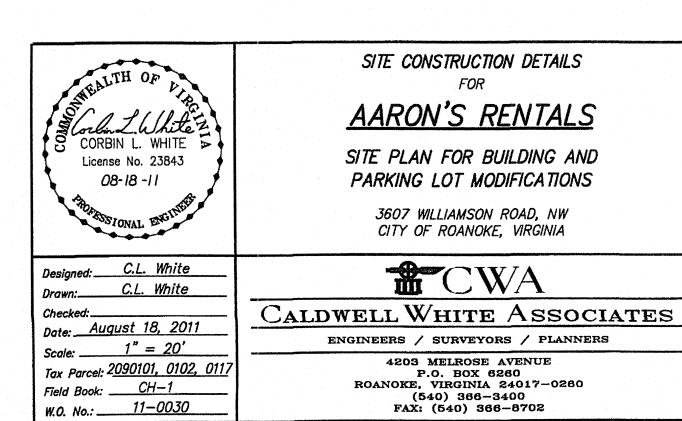
SIDEWALKS SHALL BE ONE COURSE CONSTRUCTION. PROVIDE 1/2" EXPANSION JOINTS NOT MORE THAN 30 FEET APART. PROVIDE EXPANSION JOINTS WHERE SIDEWALK ABUTS ADJACENT CONCRETE SURFACES. PRE-MOLDED EXPANSION STRIPS SHALL EXTEND FOR THE FULL WIDTH

AND DEPTH AT REQUIRED LOCATIONS. WALKS SHALL BE SCORED AT FIVE (5) FOOT INTERVALS FOR THEIR FULL WIDTH. PROVIDE FINE BRISTLED STIFF BROOM FINISH. WHERE POSSIBLE, ALIGN EXPANSION JOINTS IN NEW WALK WITH JOINTS IN OAKLAND BOULEVARD CURBING.

E CONCRETE SIDEWALK

VDOT CLASS A-3 PORTLAND CEMENT CONCRETE W/6" x6" WWF PLACED AT MID-DEPTH OF PCC THICKNESS





- OAKLAND BLVD. CURB

### SOIL EROSION CONTROL NARRATIVE

PROJECT DESCRIPTION:

THE PURPOSE OF THIS PROJECT IS THE DEMOLITION OF A PORTION OF THE EXISTING BUILDING, AND CONSTRUCTION OF A NEW OPEN-AIR PARKING LOT, TO PROVIDE MORE CONVENIENT CUSTOMER ACCESS TO THE FACILITY FROM BOTH WILLIAMSON ROAD AND OAKLAND BOULEVARD. A NEW SMALL STORM DRAIN COLLECTION SYSTEM WILL BE PLACED IN THE SOUTHERN CORNER OF THE NEW PARKING LOT, AND THIS SYSTEM WILL DISCHARGE DIRECTLY INTO THE PUBLIC STORM DRAIN SYSTEM IN OAKLAND BOULEVARD. AS EVIDENCED BY ENGINEERING COMPUTATIONS SUBMITTED TO THE CITY, STORMWATER MANAGEMENT MEASURES ARE NOT WARRANTED FOR THE SUBJECT REDEVELOPMENT. THIS PROJECT IS BEING PERFORMED FOR THE FACILITY DEVELOPER, AARON'S, INC.. THE SITE IS LOCATED AT THE INTERSECTION OF WILLIAMSON ROAD, N.W. AND OAKLAND BOULEVARD, N.W. IN THE CITY OF ROANOKE, VIRGINIA. IT IS ESTIMATED THAT THE TOTAL DISTURBED AREA WILL BE 0.37 AC. (16,050 SQ. FT.).

EXISTING SITE CONDITIONS:
AS SHOWN ON SHEET C-02 OF THESE PLANS, THE NEW PARKING LOT SITE IS IN AN AREA THAT WAS ORIGINALLY COVERED BY BUILDING FOOTPRINTS AND COMPACTED GRAVEL PARKING AREAS. UNDER PROPOSED CONDITIONS, THE LAND USE WILL BE PAVED PARKING INTERIOR TO THE LOT, AND GRASS / LANDSCAPING ADJACENT TO OAKLAND BOULEVARD. THE SUBJECT SITE LIES WITHIN "ZONE X" AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAPS (FIRM MAP NUMBER 51161C0162G, LAST REVISION DATED 09/28/07), AND THEREFORE LIES ABOVE THE FEMA DESIGNATED ONE-HUNDRED YEAR FLOOD ELEVATIONS.

EXISTING SOIL CONDITIONS:

SOILS: THERE HAVE BEEN NO COMPREHENSIVE SUBSURFACE INVESTIGATIONS FOR THE SUBJECT DEVELOPMENT. THE USDA "SOIL SURVEY OF ROANOKE COUNTY AND THE CITIES OF ROANOKE AND SALEM, VIRGINIA" DEFINES THE SITE SOILS AS BELONGING TO THE "FREDERICK URBAN LAND COMPLEX, 2 TO 15 PERCENT SLOPES" AND "URBAN LAND" CLASSIFICATIONS. ACCORDING TO THIS SURVEY, THE SOILS ARE SILTY LOAMS AND CLAYS. THE SOILS ARE REPORTED AS HAVING MODERATE PERMEABILITY, HIGH EROSION POTENTIAL, AND MORE THAN 72" TO BEDROCK. IT SHOULD BE NOTED THAT THE "URBAN LAND" SOIL MAPPING UNIT IS FAIRLY GENERALIZED, BEING INTERMINGLED THROUGHOUT THE AREA WITH BOTH DEVELOPED AND UNDEVELOPED LAND USES.

THE AREA OF PROPOSED DEVELOPMENT IS BOUNDED TO THE SOUTH BY OAKLAND BOULEVARD; TO THE WEST BY WILLIAMSON ROAD; TO THE NORTH BY RETAIL-USE PROPERTIES.; AND TO THE EAST BY A SINGLE-FAMILY REDIDENCE

#### OFF-SITE AREAS:

IT IS THE ENGINEER'S ESTIMATE THAT THE PROPOSED DEVELOPMENT WILL REQUIRE NEITHER IMPORT OR EXPORT OF EARTHWORK MATERIAL TO / FROM THE SITE, GIVEN THE MINOR AMOUNT OF GRADING INVOLVED IN CONSTRUCTION OF THE NEW PARKING LOT. IN THE EVENT THAT MINOR IMPORT OR EXPORT OF MATERIAL IS REQUIRED, THE CONTRACTOR HOLDING THE LAND DISTURBING PERMIT WILL BE REQUIRED TO VERIFY THAT AN APPROVED SOIL EROSION CONTROL PLAN AND PERMIT ARE IN PLACE FOR ANY OFF-SITE BORROW, WASTE, OR STORAGE SITES USED IN CONJUNCTION WITH THIS PROJECT. THE CITY OF ROANOKE OR ITS APPROVED AGENT RESERVES THE RIGHT TO PLACE A STOP WORK ORDER ON THE SUBJECT SITE AND ANY OFF-SITE WASTE OR BORROW SITES, SHOULD APPROVED PLANS AND PERMITS NOT EXIST FOR ALL SITES.

ANY SEDIMENT FROM THE PROPOSED DEVELOPMENT THAT ENCROACHES OUTSIDE THE LIMITS OF CONSTRUCTION OR ONTO ADJACENT PROPERTIES SHALL BE IMMEDIATELY REMOVED AND THE AFFECTED AREAS RESTORED TO PRE-CONSTRUCTION CONDITIONS OR BETTER, IN ACCORDANCE WITH THESE PLANS AND THE PROJECT MANUAL (AS APPLICABLE).

#### CRITICAL AREAS:

- SILT FENCE BARRIERS SHALL BE INSPECTED DAILY AND CLEANED OR REPLACED AS REQUIRED.

- INLET PROTECTION MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD, SUCH THAT SILTATION OF THE STORM DRAIN SYSTEM IS KEPT AT A MINIMUM.
- EXISTING AND PROPOSED SLOPES SHALL BE PROTECTED FROM EROSION. UNDER NO CIRCUMSTANCES SHALL CONCENTRATED RUNOFF BE ALLOWED TO FLOW DOWN SLOPES, OR ONTO UNPROTECTED AREAS. SURFACE ROUGHENING OF ALL DISTURBED SLOPES SHALL BE MAINTAINED AT ALL TIMES.
- PUBLIC STREETS AND ADJACENT PAVED AREAS SHALL REMAIN IN A DUST AND MUD-FREE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. SHOULD OFF-SITE SEDIMENTATION OCCUR, IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETURN ALL AFFECTED AREAS TO A CONDITION EQUAL TO OR BETTER THAN THE ORIGINAL CONDITION, AT NO ADDED COST TO THE OWNER.
- DISTURBED AREAS THAT ARE NOT PERMANENTLY STABILIZED WITHIN THIRTY (30) DAYS SHALL BE TEMPORARILY SEEDED IN ACCORDANCE WITH STANDARD AND SPECIFICATION 3.31 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL -- ALL PROTECTIVE MEASURES WHICH PERTAIN TO, OR INCLUDE CUT AND FILL SLOPES (SILT FENCE, DIVERSION DIKES, ETC.) SHALL BE INSTALLED AND MAINTAINED AS THE SLOPES COME TO GRADE. ADDITIONAL DIVERSION DIKES WILL BE REQUIRED TO PROTECT DISTURBED AREAS, UNTIL SUCH TIME THAT THE STORM DRAIN SYSTEM IS IN PLACE, AND FUNCTIONALLY PROTECTED FROM SEDIMENT INFILTRATION. TEMPORARY SEEDING OF SLOPES IS TO BE PERFORMED

ON A WEEKLY BASIS, UNLESS THE SLOPES ARE TO FINAL GRADE. SLOPES AT FINAL GRADE ARE TO BE PERMANENTLY SEEDED WITHIN SEVEN DAYS OF REACHING FINAL GRADE. THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN ALL EROSION CONTROL MEASURES AT THEIR OPTIMUM PERFORMANCE, SUCH THAT ADJOINING AREAS AND DRAINAGEWAYS ARE PROVIDED THE BEST AVAILABLE PROTECTION AT EVERY PHASE OF CONSTRUCTION. IT IS IMPERATIVE THAT SEDIMENT TRANSFER FROM THIS SITE IS MINIMIZED.

### EROSION AND SEDIMENT CONTROL MEASURES:

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE

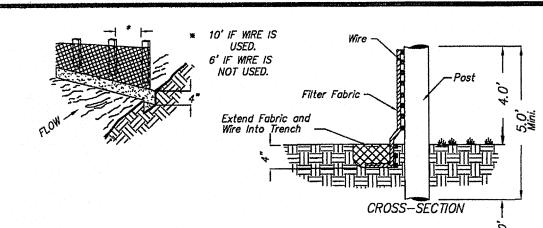
- "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK", THIRD EDITION. 1. PRIOR TO ANY WORK BEING PERFORMED ON THE PROPOSED PROJECT, A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE PROVIDED OFF OF THE EXISTING PAVEMENT. THE ENTRANCE SHALL BE COMPOSED OF GRADED 3" STONE TO A MINIMUM DEPTH OF 6". THE ENTRANCE SHALL ALSO RUN FOR A MINIMUM DISTANCE OF NOT LESS THAN 70' BACK FROM THE EXISTING PAVEMENT EDGES. THE ENTRANCE SHALL BE CONTINUALLY MAINTAINED, INSPECTED, REPAIRED, OR OTHERWISE BE KEPT IN GOOD FUNCTIONAL ORDER THROUGHOUT THE EXTENT OF THE WORK ON THE SITE.
- 2. REGARDLESS OF FUTURE DEVELOPMENT PLANS, THE CONTRACTOR SHALL IMMEDIATELY INSTALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLANS. THIS WORK SHALL BE COORDINATED IN ORDER TO PROTECT AREAS FROM THE WORK WHICH IS TO FOLLOW. CONTROL AT CENTERS OF FLOW AND OTHER POINTS OF CONCENTRATION SHOWN HEREIN SHALL BE CONSTRUCTED FIRST.
- 3. FOLLOWING INSTALLATION OF THE PERIMETER CONTROLS, THE SITEWORK CONTRACTOR SHALL BEGIN EARTHWORK OPERATIONS. THE CONTRACTOR SHALL IMMEDIATELY PROCEED WITH CLEARING, GRUBBING, AND GRADING OPERATIONS. DENUDED AREAS INDICATED ON THESE PLANS TO RECEIVE PERMANENT SEEDING SHALL BE SEEDED WITHIN SEVEN (7) DAYS AFTER FINAL GRADING, AND SHALL BE IN STRICT ACCORDANCE WITH THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK", THIRD EDITION.
- 4. IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL. IN PARTICULAR:
- A. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION TO PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAYS. B. ALL SILT FENCE BARRIERS AND INLET PROTECTIONS SHALL BE CHECKED REGULARLY FOR UNDERMINING AND SEDIMENT BUILDUP.
- C. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED AND RESEEDED AS NEEDED.
- 5. THE SOIL EROSION CONTROL MEASURES INSTALLED FOR THIS CONTRACT SHALL REMAIN IN PLACE UNTIL REMOVAL IS APPROVED BY THE CITY OF ROANOKE INSPECTOR, AT WHICH TIME IT SHALL BE THE SITEWORK CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL TEMPORARY MEASURES FROM THE SITE, UNLESS OTHERWISE REQUIRED HEREIN, REMOVE ACCUMULATED SEDIMENT FROM THE NEW STORMWATER MANAGEMENT AND STORM DRAIN SYSTEMS TO AN APPROVED WASTE AREA, AND STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH THESE PLANS. IF NO DIRECTIVE IS GIVEN TO THE CONTRACTOR FOR REMOVAL OF TEMPORARY MEASURES, THE CONTRACTOR SHALL REMOVE THESE ITEMS WITHIN 30 DAYS OF PERMANENT STABILIZATION OF THE DISTURBED AREAS.

STATE IMPOSED MINIMUM STANDARDS

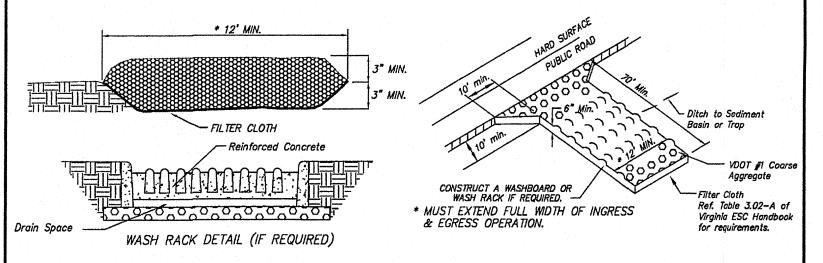
### GENERAL COMMENTS:

- 1. THE SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.
- 2. THE CITY OF ROANOKE OR THEIR AUTHORIZED AGENT RESERVES THE RIGHT TO ADD TO, DELETE, OR OTHERWISE CHANGE EROSION CONTROL DEVICES AS MAY BE DEEMED NECESSARY, BY WRITTEN NOTIFICATION TO THE
- 3. NO WORK SHALL PROCEED ON THE SITE UNTIL THE PROPER AUTHORIZATION OR PERMIT HAS BEEN OBTAINED FROM THE CITY OF ROANOKE.
- 4. THE ENGINEER, CALDWELL WHITE ASSOCIATES, ASSUMES NO RESPONSIBILITY FOR ANY WORK BEING PERFORMED.

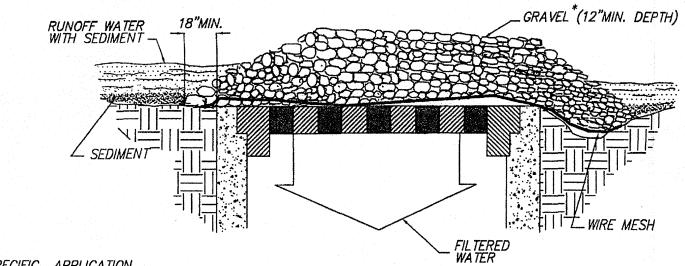
Vo.	CRITERIA, TECHNIQUE OR METHOD	REMARKS
1	PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE (1) YEAR.	SEE "PERMANENT SEEDING" AND "TEMPORARY SEEDING" REQUIREMENTS, SHEET C-05 AND THIS SHEET.
?	DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.	SEE "TOPSOILING" REQUIREMENTS, SHEET C-05.
3	A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IN THE OPINION OF THE LOCAL PROGRAM ADMINISTRATOR OR DESIGNATED AGENT, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.	SELF EXPLANATORY — REFER TO THE SEEDING SPECS, THIS SHEET.
Į.	SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND—DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.	INSTALL NEW SILT FENCE REQUIRED BY SHEET C-05 PRIOR TO LAND DISTURBANCE.
5	STABILIZATION METHODS SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.	NOT APPLICABLE TO SUBJECT DEVELOPMENT
5	SEDIMENT TRAPS AND BASINS SHALL BE DESIGNED AND CONSTRUCTED BASED UPON THE TOTAL DRAINAGE AREA TO BE SERVED BY THE TRAP OR BASIN.	NOT APPLICABLE TO SUBJECT DEVELOPMENT
7	CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE (1) YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZATION MEASURES UNTIL THE PROBLEM IS CORRECTED.	SELF EXPLANATORY
3	CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.	SELF EXPLANATORY
9	WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.	REPORT EVIDENCE OF SEEPS TO ENGINEER IMMEDIATELY UPON DISCOVERY. ADDITIONAL MEASURES MAY BE REQUIRED.
0	ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT—LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.	SEE REQUIREMENTS FOR INLET PROTECTION MEASURES, SHEET C-05
11	BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.	NOT APPLICABLE TO SUBJECT DEVELOPMENT
2	WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.	NOT APPLICABLE TO SUBJECT DEVELOPMENT
3	WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX (6) MONTH PERIOD, A TEMPORARY STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL.	NOT APPLICABLE TO SUBJECT DEVELOPMENT
4	ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET. THE BEDS AND BANKS OF ANY WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.	NOT APPLICABLE TO SUBJECT DEVELOPMENT
5	THE BEDS AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.	NOT APPLICABLE TO SUBJECT DEVELOPMENT
6	UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA: 1)NO MORE THAN 500 LINEAR FEET OF ANY TRENCH MAY BE OPENED AT ONE TIME. 2)EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES. 3)EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION. 5)RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS. 6)APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.	SELF EXPLANATORY
7	WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.	SELF EXPLANATORY
8	ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM ADMINISTRATOR. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.	SELF EXPLANATORY
9	PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THE STATED FREQUENCY STORM OF 24—HOUR DURATION IN ACCORDANCE WITH THE APPLICABLE CRITERIA.	ENGINEERING COMPUTATIONS INDICATE THAT THE SUBJECT REDEVELOPMENT V NOT INCREASE RUNOFF RATES FOR THE GIVEN DESIGN STORMS. IN THE EVEN OFF-SITE EROSION OR SEDIMENTATION OCCURS, THE CONTRACTOR SHALL RE ACCUMULATED SEDIMENT IMMEDIATELY AND REPAIR AFFECTED AREAS AS NEC



(SF) CONSTRUCTION OF A SILT FENCE



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE



This method of inlet protection is applicable where heavy concentrated flows are expected, but not where ponding around the structure might cause excessive inconvenience or damage to adjacent structures and unprotected areas.

\* Gravel shall be VDOT #3, #357 or #5 coarse aggregate.



(IP) GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER

# TEMPORARY SEEDING

DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING MEASURES AS SHOWN HEREON, AND AS FURTHER DETAILED AS "STANDARD AND SPECIFICATION 3.31 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK", LATEST EDITION. IN ADDITION TO AREAS OF GENERAL GRADING THAT WILL NOT BE FINE-GRADED FOR GREATER THAN 30 DAYS, THE FOLLOWING SPECIFIC E&S MEASURES SHALL BE STABILIZED WITH TEMPORARY SEEDING IMMEDIATELY UPON COMPLETION OF CONSTRUCTION OF THE TEMPORARY MEASURE: -- SOIL STOCKPILES

- DIKES, DAMS, AND SIDES OF SEDIMENT BASINS - TEMPORARY ROADWAY EMBANKMENTS

PRIOR TO SEEDING. INSTALL NECESSARY EROSION CONTROL PRACTICES SUCH AS DIKES, WATERWAYS, AND BASINS. PROVIDE PLANTS AS SPECIFIED HEREIN, OR ENGINEER-APPROVED EQUAL.

SEEDRED PREPARATIONS LIME SHALL BE APPLIED IF DISTURBED AREAS WILL REMAIN DORMANT BETWEEN 30 DAYS AND 120 DAYS. IF REQUIRED, LIME SHALL BE APPLIED AS SHOWN, BASED ON SOIL ACIDITY. APPLICATION OF AGRICULTURAL LIMESTONE

BELOW 4.2 4.2 TO 5.2 5.2 TO 6.0 ABOVE 6.0

NOT REQUIRE MULCH.

2 TONS PER ACRE 1 TON PER ACRE LIME NOT REQUIRED

3 TONS PFR ACRE

<u>FERTILIZER S</u>HALL BE APPLIED AS 600 LBS/ACRE OF 10–20–10 OR EQUIVALENT NUTRIENTS. LIME (AS APPLICABLE) AND FERTILIZER SHALL BE INCORPORATED INTO THE TOP 2 TO 4 INCHES OF SOIL, IF POSSIBLE.

SURFACE ROUGHENING SHALL BE REQUIRED WHERE AREAS TO BE SEEDED HAVE BEEN COMPACTED, CRUSTED, OR HARDENED BY CONSTRUCTION TRAFFIC. AS REQUIRED, SEEDBEDS SHALL BE ROUGHENED IN ACCORDANCE WITH STANDARD AND SPECIFICATION 3.29 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, (TRACKING WITH BULLDOZER CLEATS SHALL BE USED IN SANDY SOILS)

SEED SHALL BE EVENLY APPLIED WITH THE SAME MEANS SPECIFIED HEREIN FOR PERMANENT SEEDING. SMALL GRAINS SHALL BE PLANTED NO MORE THAN ONE INCH DEEP. GRASSES AND LEGUMES SHALL BE PLANTED WITH NO LESS THAN 1/4" OF SOIL COVER.

MULCHING:
SEEDINGS MADE IN FALL FOR WINTER COVER AND DURING HOT AND DRY SUMMER MONTHS SHALL BE MULCHED ACCORDING TO STANDARD AND SPECIFICATION 3.35 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, EXCEPT THAT FIBER MULCH MAY NOT BE USED. STRAW MULCH SHALL BE USED DURING THESE PERIODS.

TEMPORARY SEEDINGS MADE UNDER FAVORABLE SOIL AND SITE CONDITIONS DURING OPTIMUM SPRING AND FALL SEEDING DATES MAY

AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT RILL EROSION SHALL BE RE-SEEDED AS SOON AS SUCH

ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS BY RANGE OF PLANTING DATES: 09/01 TO 02/15 ANNUAL RYEGRASS @ 50 LB / ACRE WINTER RYE @ 50 LB / ACRÉ 02/16 TO 04/30 ANNUAL RYEGRASS @ 100 LB / ACRE 05/01 TO 08/31 GERMAN MILLET @ 50 LB / ACRE

### GENERAL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL SOIL EROSION & SEDIMENT CONTROL MEASURES SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK,
- 2. THE APPROVING AUTHORITY MAY ADD TO, DELETE, RELOCATE, CHANGE, OR OTHERWISE MODIFY CERTAIN EROSION AND SEDIMENT CONTROL MEASURES WHERE FIELD CONDITIONS ARE ENCOUNTERED THAT WARRANT SUCH
- 3. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN SHALL BE PLACED IN ADVANCE OF THE WORK BEING PERFORMED.
- 4. IN NO CASE DURING CONSTRUCTION SHALL WATER RUNOFF BE DIVERTED OR ALLOWED TO FLOW TO LOCATIONS WHERE ADEQUATE PROTECTION HAS NOT BEEN PROVIDED.
- 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LEAVE THE SITE ADEQUATELY PROTECTED AGAINST EROSION, SEDIMENTATION, OR ANY DAMAGE TO ANY ADJACENT PROPERTY AT THE END OF EACH DAY'S WORK.
- 6. FOR THE EROSION CONTROL KEY SYMBOLS SHOWN ON THE PLANS, REFER TO THE VIRGINIA UNIFORM CODING SYSTEM FOR EROSION AND SEDIMENT CONTROL PRACTICES CONTAINED IN THE VIRGINIA EROSION AND SEDIMENT

### <u>SOIL EROSION CONTROL CONSTRUCTION SEQUENCING</u>

FOLLOWING ISSUANCE OF A LAND DISTURBING PERMIT FROM THE CITY OF ROANOKE, THE CONTRACTOR SHALL PERFORM HIS SITEWORK IN GENERAL CONFORMANCE WITH THE FOLLOWING:

- 1. INSTALL NEW CONSTRUCTION ENTRANCE. 2. PROVIDE AND INSTALL PERIMETER CONTROLS. INCLUDED IS THE INSTALLATION OF SILT FENCE BARRIERS, TEMPORARY DIVERSION DIKES, SEDIMENT TRAPS, TEMPORARY SEDIMENT BASINS, ETC. SEE PLAN FOR APPLICABILITY OF REFERENCED MEASURES. TEMPORARY DIVERSIONS SHALL BE MAINTAINED AS EARTHWORK
- PROGRESSES TO DIRECT RUNOFF TO THE PERIMETER CONTROLS. . PROVIDE AND INSTALL PROTECTIONS AT EXISTING POINTS OF STORM DRAIN COLLECTION. THE CONTRACTOR SHAL INSURE THAT ALL COLLECTION POINTS ARE PROTECTED FROM SEDIMENTATION THROUGHOUT EVERY PHASE OF CONSTRUCTION. PARTICULAR ATTENTION SHALL BE GIVEN TO PROTECTING COLLECTION POINTS DURING THE CONSTRUCTION PERIOD REQUIRING DEMOLITION/ADJUSTMENT OF EXISTING STRUCTURES, AND THE PERIOD OF
- INSTALLATION OF NEW STORM DRAINAGE SYSTEMS. 1. STRIP AND STOCKPILE TOPSOIL. ALL TOPSOIL SHALL BE STOCKPILED ON—SITE, PERIMETER SILT FENCE BARRIER OR OTHER APPROVED PERIMETER CONTROLS SHALL PROTECT STOCKPILES FROM EROSION AND OFF-SITE SEDIMENTATION. THE CONTRACTOR SHALL PROVIDE TEMPORARY SEEDING OF STOCKPILED
- 5. PERFORM CUT AND FILL OPERATIONS IN CONJUNCTION WITH INSTALLATION OF THE NEW STORM DRAIN STRUCTURES AND PIPE CONDUITS. IT IS STRONGLY SUGGESTED THAT THE NEW STORM DRAIN BE INSTALLED AS SOON AS PRACTICALLY POSSIBLE, AND INLET PROTECTIVE MEASURES BE INSTALLED IMMEDIATELY THEREAFTER. UNTIL SUCH TIME THAT THE PROTECTED STORM DRAINAGE SYSTEM IS IN PLACE AND
- FUNCTIONAL, THE CONTRACTOR SHALL INSTALL AND MAINTAIN DIVERSIONS TO DIRECT RUNOFF TO 6. ALL DISTURBED AREAS NOT TO RECEIVE HARD SURFACING SHALL BE SEEDED, FERTILIZED, LIMED, MULCHED, AND WATERED IN ACCORDANCE WITH THESE PLANS AND THE VIRGINIA EROSION AND
- SEDIMENTATION CONTROL HANDBOOK. 7. THE SITEWORK CONTRACTOR SHALL CLEAN, REPAIR, OR OTHERWISE MAINTAIN CONTROL MEASURES

CONTRACTOR SHALL REMOVE ALL TEMPORARY MEASURES FROM THE SITE.

- THROUGHOUT THE CONSTRUCTION, INCLUDING THE INSTALLATION OF NEW UTILITIES. 8. THE BUILDING CONTRACTOR SHALL, UPON INSTALLATION OF THE BUILDING FLOOR SLAB, DIRECT ALL BUILDING PAD RUNOFF TO PROTECTED AREAS OF STORM DRAIN COLLECTION. UNDER NO CIRCUMSTANCES SHALL BUILDING PAD RUNOFF BE ALLOWED TO FLOW DOWN SLOPES OR TO FLOW ONTO UNPROTECTED AREAS. UPON COMPLETION OF THE BUILDING ROOF AND DOWNSPOUT SYSTEM, THE BUILDING CONTRACTOR SHALL
- IMMEDIATELY CONNECT DOWNSPOUTS TO THE UNDERGROUND COLLECTOR SYSTEM, AS APPLICABLE. 9. AS SOON AS POSSIBLE FOLLOWING COMPLETION OF THE SITEWORK, THE SITE CONTRACTOR SHALL INSTALL
- THE PAVEMENT BASE STONE AND SURFACE COURSE. 10. WITHIN 30 DAYS FOLLOWING SUBSTANTIAL VEGETATIVE COVER OF DISTURBED AREAS (80% MIN. COVERAGE), THE

CONTROL HANDBOOK, LATEST EDITION.

ALL OFF-SITE DISPOSAL OF MATERIALS, AND ASSOCIATED FEES, WILL BE THE SITEWORK CONTRACTOR'S RESPONSIBILITY, AND IS TO BE PERFORMED IN A LEGAL FASHION (APPROVED WASTE SITE). ALL HAULING IS TO BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS PERTAINING THERETO.

### TOPSOIL NOTES

UPON STRIPPING OF TOPSOIL FROM THE AREAS OF CONSTRUCTION, THE CONTRACTOR SHALL STOCKPILE TOPSOIL IN AREAS PROTECTED FROM EROSION, OR PROVIDE SAID PROTECTIONS AROUND THE PERIMETER OF THE STOCKPILES. A MINIMUM OF SIX INCHES OF TOPSOIL SHALL BE PLACED ON ALL AREAS FLATTER THAN 2H:1V SLOPE. SLOPES AT 2H:1V SHALL RECEIVE A MINIMUM OF FOUR INCHES OF TOPSOIL. THIS TOPSOIL SHALL BE FINE GRADED AND RESTORED IN ACCORDANCE WITH

## "RESTORATION NOTES", THIS SHEET.

FOLLOWING THE PROGRESSION OF ROUGH GRADING, INSTALLATION OF NEW UTILITIES, STORM DRAIN, AND PRIOR TO PAYING OPERATIONS, THE SITEWORK CONTRACTOR SHALL FINE GRADE ALL AREAS FROM TEN FEET (10') OUTSIDE THE BUILDING LINES TO A TOLERANCE OF ± 0.20' (SLOPES STEEPER THAN 3H:1V TO A TOLERANCE OF ± 0.33'). INCLUDED IN THIS FINE GRADING IS THE REMOVAL OF ALL ROOT MASS. ROCKS IN EXCESS OF 2" IN THEIR GREATEST DIMENSION, AND OTHER MATERIALS DELETERIOUS TO THE GROWTH OF LAWN GRASSES, WITHIN THE UPPER 8" OF SOIL. THIS MAY BE ACCOMPLISHED BY NORMAL METHODS (MECHANICAL ROCK RAKE, HAND RAKE, ETC.), OR OTHER INNOVATIVE METHODS APPROVED BY THE ENGINEER. ALL DISTURBED AREAS SHALL BE PERMANENTLY SEEDED IN ACCORDANCE WITH SEEDING MIXTURES AND RATES SPECIFIED HEREON.

MULCHES USED FOR STABILIZATION SHALL BE HIGH QUALITY OAT OR WHEAT STRAW. HAY MIXTURES, FESCUES, AND OTHER WEED-LADEN MULCHES ARE PROHIBITED FROM USE WITH PERMANENT SEEDING MIXTURES.

# (PS) PERMANENT SEEDING MIXTURE

DISTURBED AREAS SHALL BE PERMANENTLY SEEDED WITHIN SEVEN (7) DAYS OF ACHIEVING FINAL GRADE, OR ON DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE WITHIN ONE YEAR.

TYPE B (SLOPES 3:1 OR STEEPER) 15 OCTOBER TO 1 FEBRUARY 15 MARCH TO 1 MAY K-31 FESCUE @ 5 LB / 1000 SF CROWN VETCH @ 1/2 LB / 1000 SF

BORZY WINTER RYE @ 1/2 LB / 1000 SF PERENNIAL RYEGRASS @ 1/2 LB / 1000 SF RED TOP @ 1/8 LB / 1000 SF 1 FEBRUARY TO 1 JUNE

K-31 FESCUE @ 5 LB / 1000 SF 15 AUGUST TO 1 OCTOBER CROWN VETCH @ 1/2 LB / 1000 SF ANNUAL RYE @ 1/2 LB / 1000 SF PERENNIAL RYEGRASS @ 1/2 LB / 1000 SF 1 JUNE TO 1 SEPTEMBER RED TOP @ 1/8 LB / 1000 SF

GERMAN MILLET @ 1/2 LB / 1000 SF 1 SEPTEMBER TO 15 OCTOBER K-31 FESCUE @ 5 LB / 1000 SF ANNUAL RYE @ 1/2 LB / 1000 SF

K-31 FESCUE @ 5 LB / 1000 SF

140 LB / 1000 SF PULVERIZED AGRICULTURAL LIMESTONE

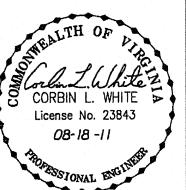
FERTILIZER: 5-20-10 @ 25 LB / 1000 SF 38-0-0 @ 7 LB / 1000 SF

IF REQUIRED, SHALL BE USED OVER ALL SEEDED AREAS AND SHALL BE APPLIED IN ACCORDANCE WITH SECTION 1.75 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

INCORPORATION OF LIME AND FERTILIZER, SELECTION OF CERTIFIED SEED. MULCHING. MAINTENANCE OF NEW SEEDLINGS, AND RESEEDING SHALL BE IN ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. LATEST EDITION. ADDITIONAL SEEDING TO BE PERFORMED AS REQUIRED BY THE INSPECTOR. SEED APPLICATION: APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL,

CULTIPACKER SEEDER, OR HYDROSEEDER ON A FIRM, FRIABLE, SEEDBED. MAXIMUM SEEDING DEPTH SHALL BE 1/4 INCH.

TOTAL DISTURBED AREA = 0.37 AC. = 16,050 SQ. FT.



1" = 20'

Tax Parcel: 2090101, 0102, 01

Field Book: CH-1

W.O. No.: 11-0030

Checked:.

SOIL EROSION AND SEDIMENT CONTROL DETAILS

# AARON'S RENTALS

SITE PLAN FOR BUILDING AND PARKING LOT MODIFICATIONS

3607 WILLIAMSON ROAD, NW CITY OF ROANOKE, VIRGINIA

Designed: <u>C.L. White</u> CWA C.L. White CALDWELL WHITE ASSOCIATES Date: August 18, 2011

ENGINEERS / SURVEYORS / PLANNERS 4203 MELROSE AVENUE P.O. BOX 6260 ROANOKE, VIRGINIA 24017-0260 (540) 366-3400

FAX: (540) 366-8702 SHEET C-07 OF 7