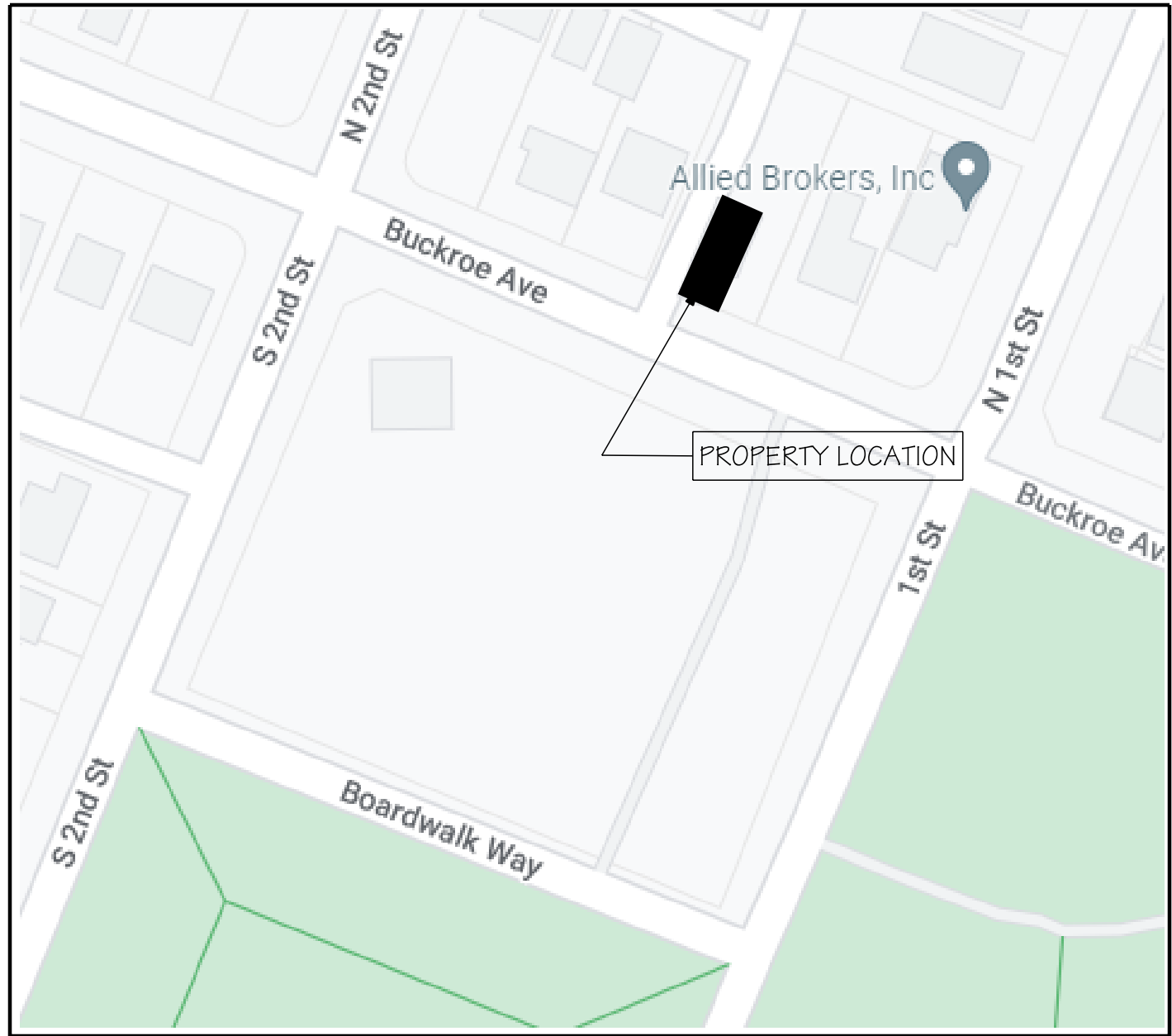




BUILDING INFORMATION

ADDRESS - 112 BUCKROE AVE
HAMPTON, VA

ZONED - R-M URBAN ENTERPRISE DISTRICT
BUILDING TYPE - R01
BUILDING CONSTRUCTION - WOOD FRAME

GENERAL NOTES:

- ALL FINISHES AND FIXTURES TO BE PER OWNERS SPECIFICATIONS.
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH 2018 VRC
- 1.1 HEADERS FOR ALL EXTERIOR OPENINGS PER TABLE R602.7(1) UNLESS NOTED OTHERWISE.
- 1.2 HEADERS FOR ALL INTERIOR OPENINGS PER TABLE R602.7(2) UNLESS NOTED OTHERWISE.
- 1.3 DOUBLE FLOOR JOISTS UNDER ALL WALLS RUNNING PARALLEL TO THE FLOOR JOISTS.
- 1.4 SEE VRC R602.3(1) FOR FASTENER SCHEDULE.
- 1.5 WHEN A DIMENSIONAL LUMBER IS SPECIFIED TO FORM A BUILT-UP POST, EACH MEMBER SHALL BE NAILED TO THE PREVIOUS @ 6" O.C. W/ 10d NAILS. NAIL FROM BOTH SIDES IF POSSIBLE. BUILT-UP COLUMNS >3 PLIES SHALL BE NAILED IN ACCORDANCE WITH THE CURRENT NDS.
- 1.6 WIND/HURRICANE ANCHORING METHODS SHOWN ON THESE DRAWINGS MAY BE ALTERDED PROVIDED THE ALTERNATE METHOD IS IN ACCORDANCE WITH VRC SECTION R301 AND IS STRUCTURALLY SOUND, AND APPROVED BY THE BUILDING OFFICIAL.
- 1.7 MOISTURE CONTENT OF FRAMING LUMBER SHALL NOT EXCEED 19% PRIOR TO DRYWALL APPLICATION.
- 1.8 LAMINATED BEAMS, IF SPECIFIED SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS
- 1.9 ROOF COVERING AND FLASHING SHALL BE INSTALLED PER SECTIONS R802, R803, R806, R807, R903.1 OF THE VRC.
- 1.10 BUILDER IS RESPONSIBLE FOR ASSURING ALL BUILDING CODES ARE COMPLIED WITH. IF THERE IS A CONFLICT BETWEEN THIS DRAWING AND THE BUILDING CODE, THE BUILDING CODES SHALL TAKE PRECEDENCE.
- 1.11 DIMENSIONS TO THE EXTERIOR OF THE BUILDING ARE TO THE EXTERIOR SHEATHING LINE.

FINISH NOTES:

- 2.1 ALL DOORS ARE 6'-8" TALL UNLESS OTHERWISE NOTED.
- 2.2 ALL WINDOW HEADERS ARE AT 6'10 FOR 8'-0 CEILINGS AND 7'-10 FOR 9'-0 CEILINGS, UNLESS OTHERWISE NOTED.
- 2.3 IF NO ATTIC ACCESS IS SHOWN ON THE PLAN, FIELD LOCATE A 24"x48" PULL DOWN STAIR TO ALL ATTIC SPACES.
- 2.4 ALL WINDOWS LOCATED IN HAZARDOUS LOCATIONS PER SECTION [B] R308.4 PER THE VRC BUILDING CODE SHALL BE GLAZED WITH TEMPERED GLASS OR SIMILAR SAFETY MEASURES.
- 2.5 IT IS NOT THE INTENT OF THIS DRAWING TO EXCLUDE ALTERNATE PRODUCTS OF EQUAL MERIT. WHERE A PARTICULAR MAKE AND MANUFACTURER IS SPECIFIED, SUBSTITUTIONS MAY BE MADE PROVIDED THE SUBSTITUTION IS FUNCTIONALLY, STRUCTURALLY, AND TECHNICALLY ADEQUATE AND IS APPROVED BY THE HOMEOWNER AND /OR BUILDING INSPECTOR.

FRAMING NOTES:

- 8.1 PER R502.7 JOISTS SHALL BE SUPPORTED Laterally AT ENDS BY FULL DEPTH SOLID BLOCKING NOT LESS THAN 2" NOM THICKNESS; OR BY ATTACHMENT TO FULL DEPTH HEADER, BAND OR RIM JOIST, OR TO AN ADJOINING STUD OR SHALL BE OTHERWISE PROVIDED W/ LATERAL SUPPORT TO PREVENT ROTATION.
- 8.2 WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW CONCEALED SPACE OF FLOOR/CEILING ASSEMBLY DRAFTSTOPS SHALL BE INSTALLED SO THAT CONCEALED SPACE DOES NOT EXCEED 1000 SF., DRAFTSTOPPING SHAL DIVIDE SPACE EVENLY.
- 8.3 FIREBLOCKING MATERIAL FOR PENETRATIONS OF WIRES, VENTS, PIPE DUCTS AND CABLES SHALL BE 3M "FIRE BARRIER CP25" AND FIRE RESISTANT MINERAL WOOL ASTM E-84 PER VRC 602.8 #4

ELECTRICAL NOTES:

- 7.1 RECEPTACLES AND TV OUTLETS SHALL BE MOUNTED 12" ABOVE FINISHED FLOOR.
- 7.2 BATHROOM RECEPTACLES SHALL BE GFI MOUNTED 42" ABOVE FINISHED FLOOR.
- 7.3 TELEPHONE RECEPTACLES TO BE MOUNTED AT 12" ABOVE FINISHED FLOOR TABLE MODELS, 54" ABOVE FINISHED FLOOR W/ COVER PLATE FOR WALL MODEL.
- 7.4 SWITCHES SHALL BE MOUNTED AT 48" ABOVE FINISHED FLOOR.
- 7.5 SMOKE DETECTORS SHALL BE INSTALLED IN ALL SLEEPING AREAS PLUS ONE PER FLOOR AT A MINIMUM OF 3'-0 FROM ANY HVAC DUCT OPENINGS, AND SHALL BE PERMANENTLY WIRED TOGETHER WITH A BATTERY BACKUP.
- 7.6 LIGHTING AND ELECTRICAL LAYOUT PER OWNER'S WALK THROUGH. ALL WORK TO BE PERFORMED BY A CLASS "A" ELECTRICAL CONTRACTOR OR MASTERS LEVEL ELECTRICIAN.

PLUMBING NOTES:

- 4.1 PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION M2101 OF THE VRC.
- 4.2 PROVIDE 2X6 BLOCKING (VERTICAL ORIENTATION, FLUSH WITH FACE OF STUD) @ 36" ABOVE FINISHED FLOOR AROUND ALL BATHTUBS, SHOWER STALLS AND TOILETS FOR FUTURE HANDICAP ACCESSIBLE HANDRAILS.

DESIGN LOAD CRITERIA

ROOF TRUSSES

TRUSS LOAD	PSF
TOP CORD LIVE LOAD	20 PSF
TOP CORD DEAD LOAD	10 PSF
BOTTOM CORD LIVE LOAD*	20 PSF
BOTTOM CORD DEAD LOAD	10 PSF
TOTAL LOAD	40 PSF
LIVE LOAD DEFLECTION	L/360

*TRUSS LOAD NOTES:

1. WITH LIMITED STORAGE: DESIGN BCLL = 20 PSF
2. WITH HABITABLE STORAGE: DESIGN BCLL = 40 PSF

RAFTERS

RAFTERS W/ INTERIOR FINISH	PSF
LIVE LOAD	20 PSF
DEAD LOAD	15 PSF
TOTAL LOAD	35 PSF
LIVE LOAD DEFLECTION	L/240

RAFTERS W/O INTERIOR FINISH	PSF
LIVE LOAD	20 PSF
DEAD LOAD	10 PSF
TOTAL LOAD	30 PSF
LIVE LOAD DEFLECTION	L/180

WIND RATINGS

WIND SPEED	115 MPH
WIND GUST	3 SEC GUST

LIVING SPACES

FLOOR LOAD	PSF
LIVE LOAD	40 PSF
DEAD LOAD	10 PSF
TOTAL LOAD	50 PSF
LIVE LOAD DEFLECTION	L/360

SLEEPING SPACES

FLOOR LOAD	PSF
LIVE LOAD	30 PSF
DEAD LOAD	10 PSF
TOTAL LOAD	40 PSF
LIVE LOAD DEFLECTION	L/360

EXTERIOR WALLS

HEIGHT	PSF	PLF
8' WALL	11.0	88
9' WALL	11.0	99

INTERIOR WALLS

HEIGHT	PSF	PLF
8' WALL	8.0	64
9' WALL	8.0	72

CEILING JOISTS

CEILING LOAD	PSF
LIVE LOAD	20 PSF
DEAD LOAD	10 PSF
TOTAL LOAD	30 PSF
LIVE LOAD DEFLECTION	L/240

WINDOW & DOOR HEADER SIZES

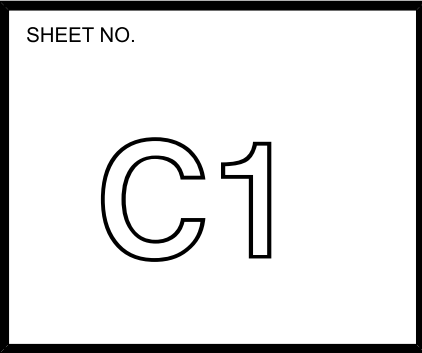
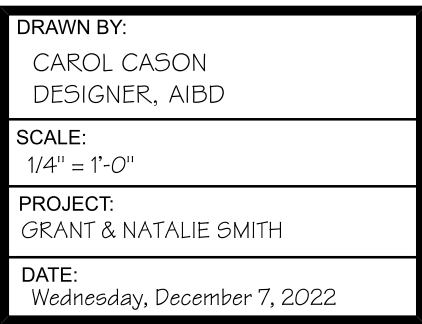
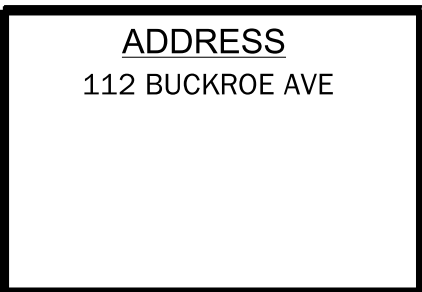
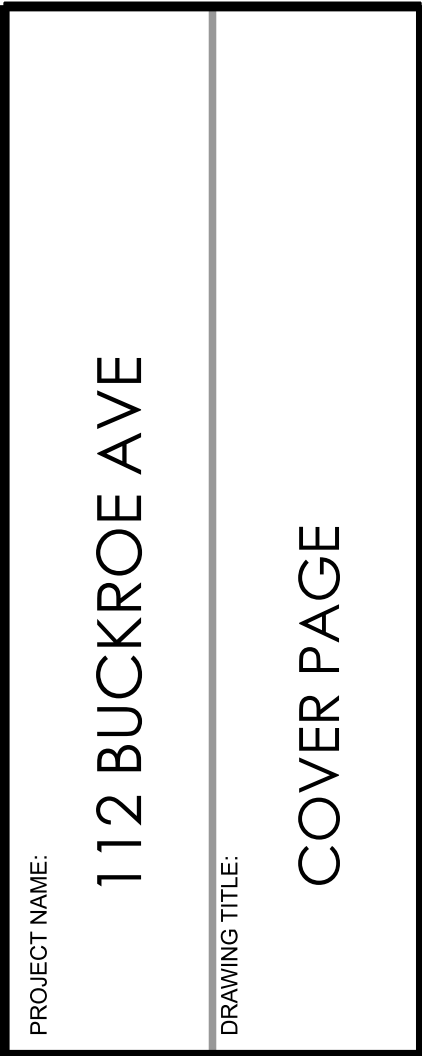
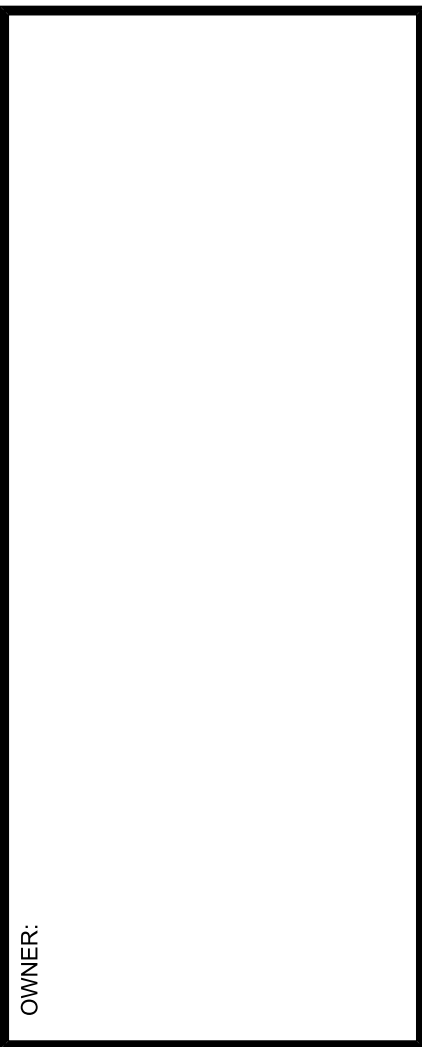
ROOF LOAD ONLY			ROOF LOAD + 1 STORY (CLEAR SPAN)			ROOF + 2 STORY (CLEAR SPAN)		
SIZE	MAX. SPAN	NJ	SIZE	MAX. SPAN	NJ	SIZE	MAX. SPAN	NJ
(2)-2X4	3'-1"	1	(2)-2X4	2'-3"	1	(2)-2X4	1'-8"	1
(2)-2X6	4'-7"	1	(2)-2X6	3'-4"	1	(2)-2X6	2'-6"	1
(2)-2X8	5'-9"	1	(2)-2X8	4'-3"	1	(2)-2X8	3'-3"	1
(2)-2X10	6'-10"	2	(2)-2X10	5'-0"	2	(2)-2X10	3'-10"	2
(2)-2X12	8'-1"	2	(2)-2X12	5'-11"	2	(2)-2X12	4'-6"	2

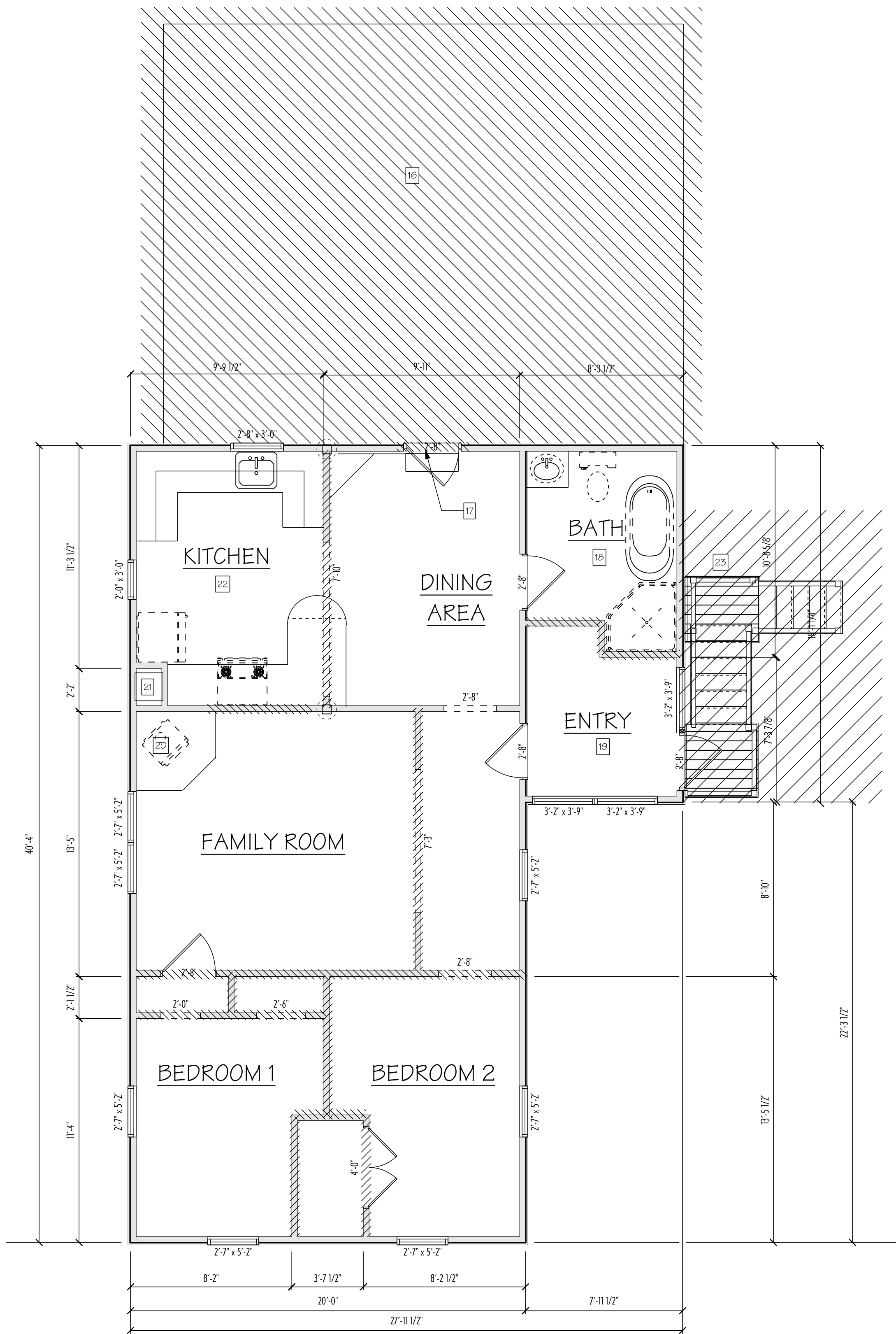
- NOTES:
- (1) BASED ON TABLE NO. R602.7(1) IRC 2018
- (2) HEADER MATERIAL SHALL BE SOUTHERN PINE NO. 2.
- (3) ALL HEADERS INCLUDE 1/2" PLY SPACER TO MATCH 3 1/2" WALL.
- (4) BASED ON 30 PSF SNOW LOAD & BUILDING WIDTH 24-FT

RESTRICTIVE NOTICE: ARCHITECTURAL DRAWINGS

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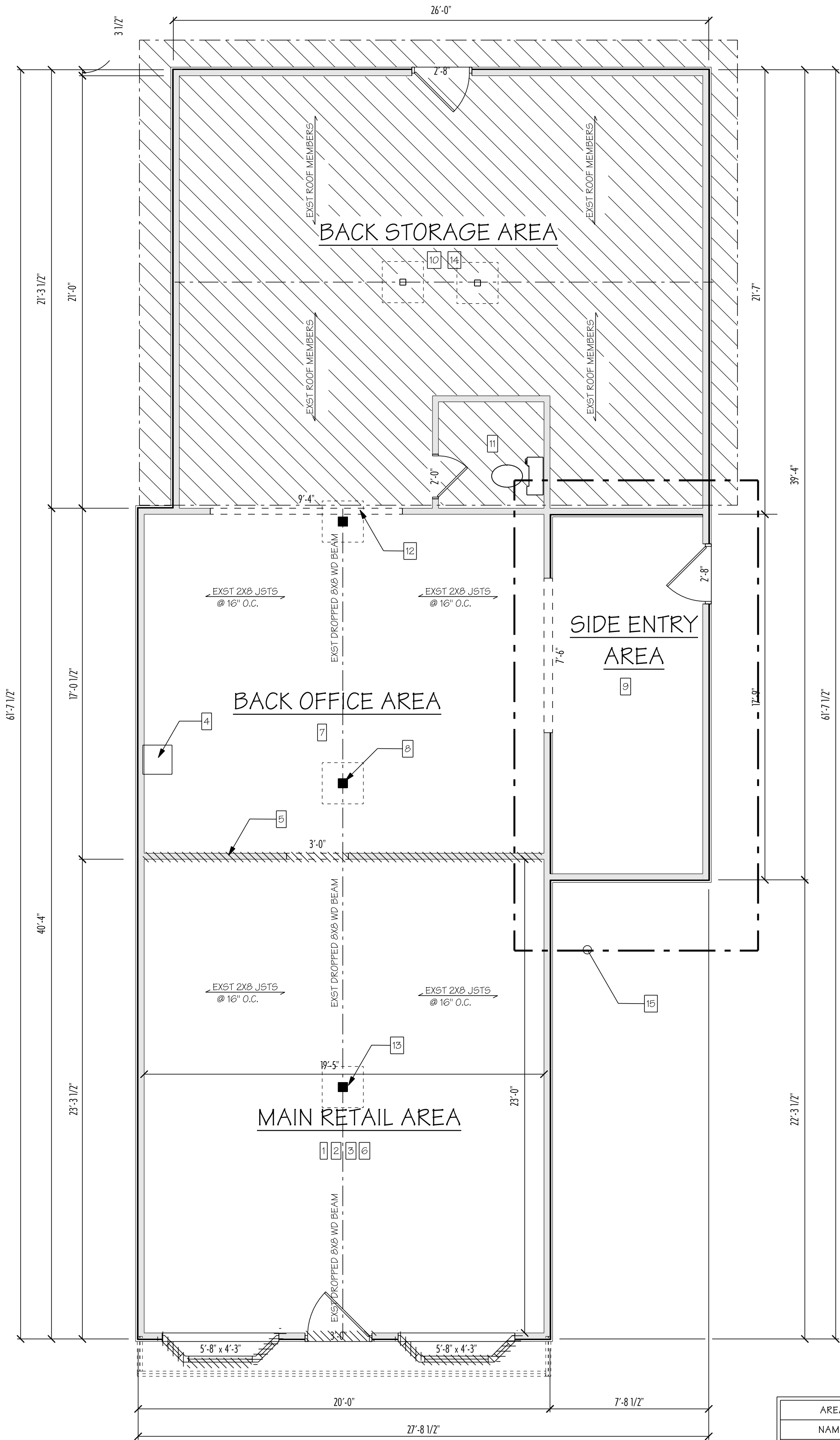
EXISTING SECOND FLOOR

AREA SCHEDULE	
NAME	AREA
EXISTING SECOND FLOOR	956 sq. ft.

- DEMOLITION NOTES
- REMOVE ALL INTERIOR FINISHES TO STUDS
 - REMOVE EXST WINDOWS AND DOORS
 - REMOVE EXST EXTERIOR AWNING
 - REMOVE EXISTING ABANDONED BRICK CHIMNEY
 - REMOVE EXISTING PARTITION WALL
 - REMOVE EXISTING ACCOUSTICAL DROPPED CEILING
 - REMOVE ALL INTERIOR FINISHES
 - EXISTING SOLID WOOD COLUMN TO REMAIN
 - REMOVE ALL MEMBERS AND MATERIAL NOT TO CODE
 - ENTIRE FLAT ROOF BUILDING STRUCTURE TO BE REMOVED
 - EXISTING ABANDONED BATH AND ALL PLUMBING TO BE REMOVED
 - EXISTING OPENING TO BE INFILLED WITH FRAMING TO MATCH EXISTING
 - EXISTING STRUCTURAL COLUMN TO REMAIN
 - EXISTING FOUNDATION SLAB TO REMAIN
 - EXISTING FLAT ROOF STRUCTURE TO BE REMOVED
LEAVE FOUNDATION SLAB IN PLACE
 - EXISTING MODIFIED DOOR AND STEP TO BE REMOVED
 - REMOVE ALL PLUMBING FIXTURES AND PIPING
 - REMOVE ALL MATERIALS NOT TO CODE
 - REMOVE EXISTING WOOD STOVE
 - REMOVE EXISTING ABANDONED CHIMNEY
 - REMOVE ALL EXISTING KITCHEN CABINETS, COUNTERTOPS AND APPLIANCES
 - REMOVE EXISTING WOOD STEPS AND LANDING
 - EXISTING SECTION OF STRUCTURE TO BE BROUGHT
UP TO CODE FOR ALL STRUCTURAL MEMBERS

DRAWING LEGEND

- EXISTING TO BE REMOVED
- X DEMOLITION NOTE
- X NEW WORK NOTE
- A DOOR NUMBER INDICATOR
- P-X PLUMBING FIXTURE INDICATOR



EXISTING MAIN FLOOR PLAN

AREA SCHEDULE	
NAME	AREA
MAIN RETAIL AREA	474 sq. ft.
BACK OFFICE AREA	342 sq. ft.
BACK STORAGE AREA	564 sq. ft.
SIDE ENTRY AREA	137 sq. ft.

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OWNER

PROJECT NAME:
112 BUCKROE AVE

DRAWING TITLE:
DEMOLITION PLANS

ADDRESS
112 BUCKROE AVE

DRAWN BY:
CAROL CASON
DESIGNER, AIBD

SCALE:
1/4" = 1'-0"

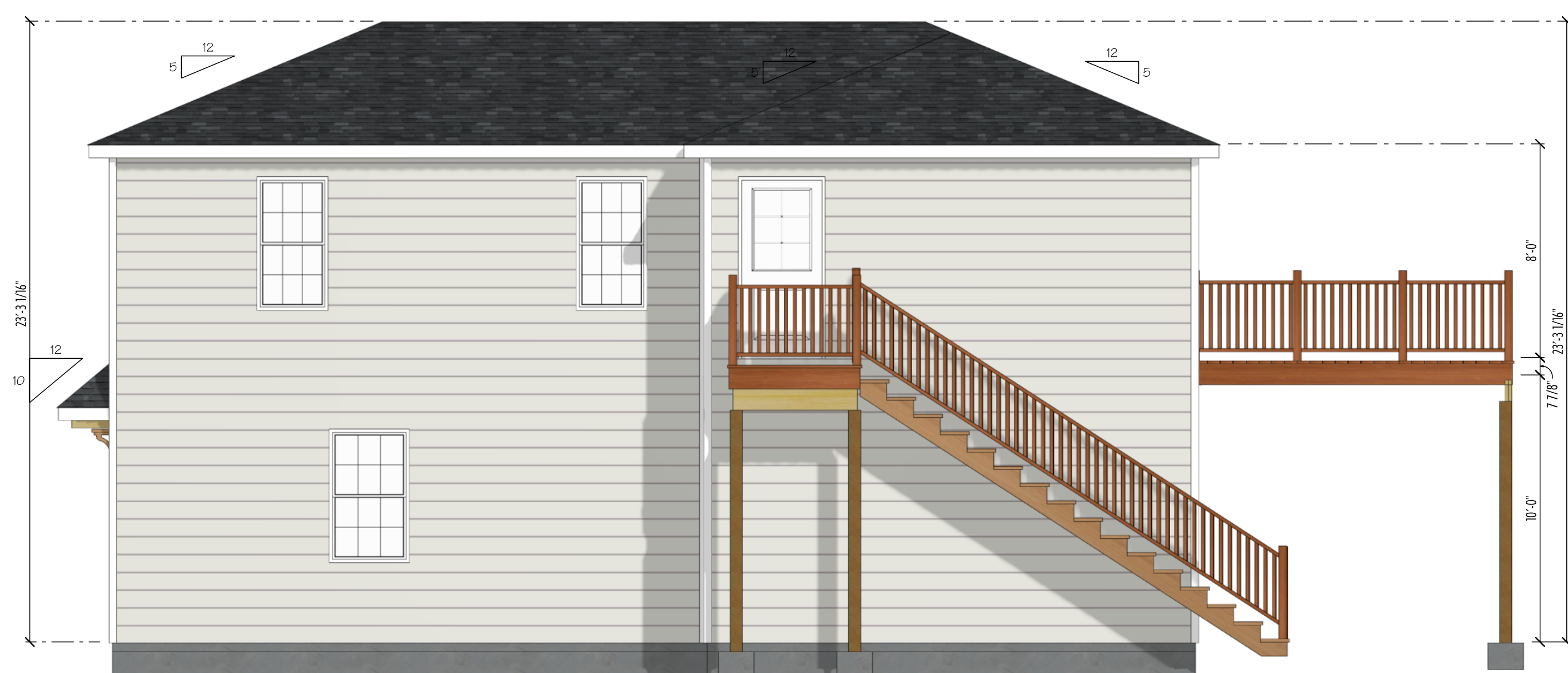
PROJECT:
GRANT & NATALIE SMITH

DATE:
Wednesday, December 7, 2022

SHEET NO.

1.1





Right Elevation
SCALE: 1/4" = 1'-0"



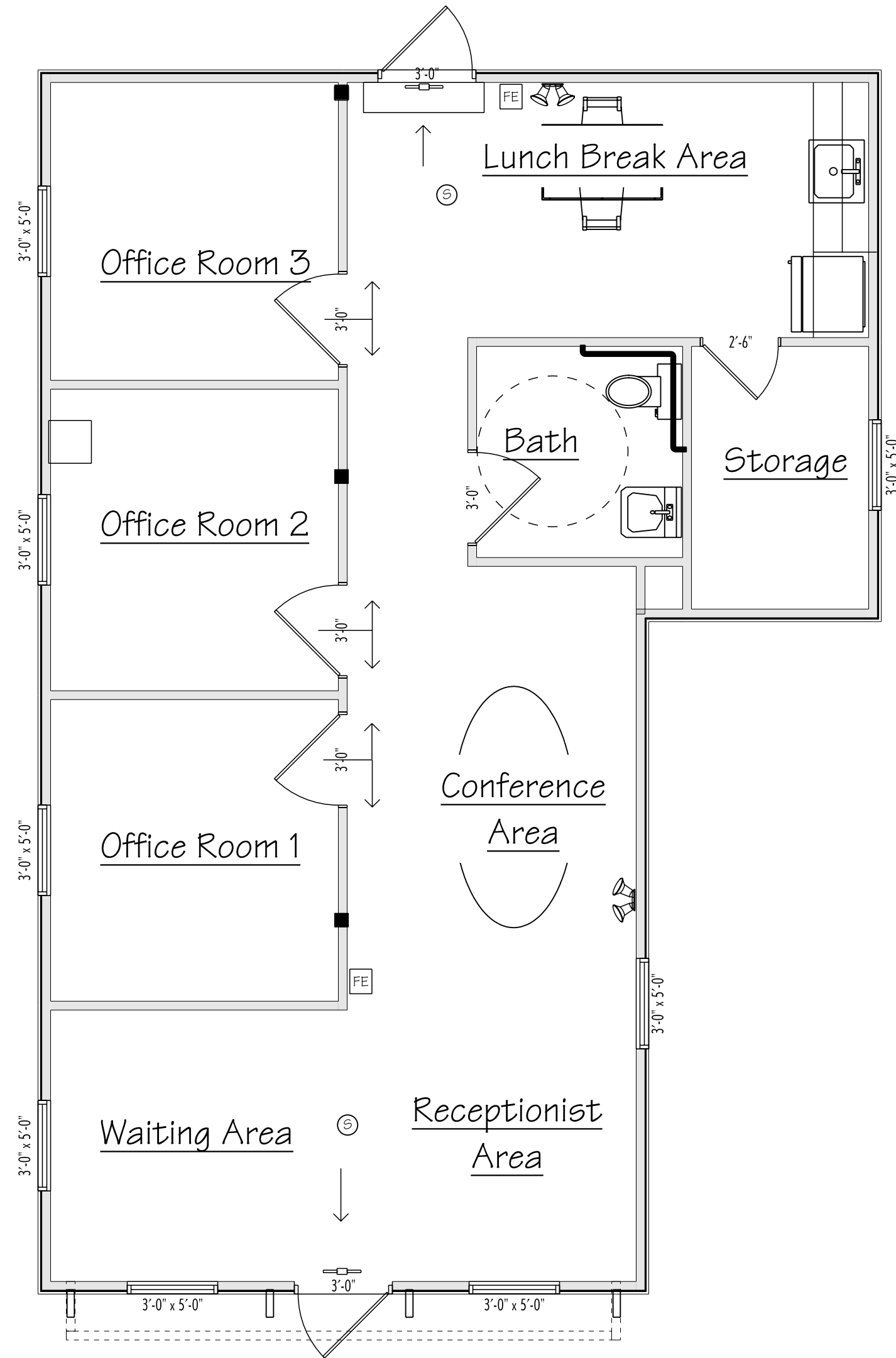
Rear Elevation
SCALE: 1/4" = 1'-0"



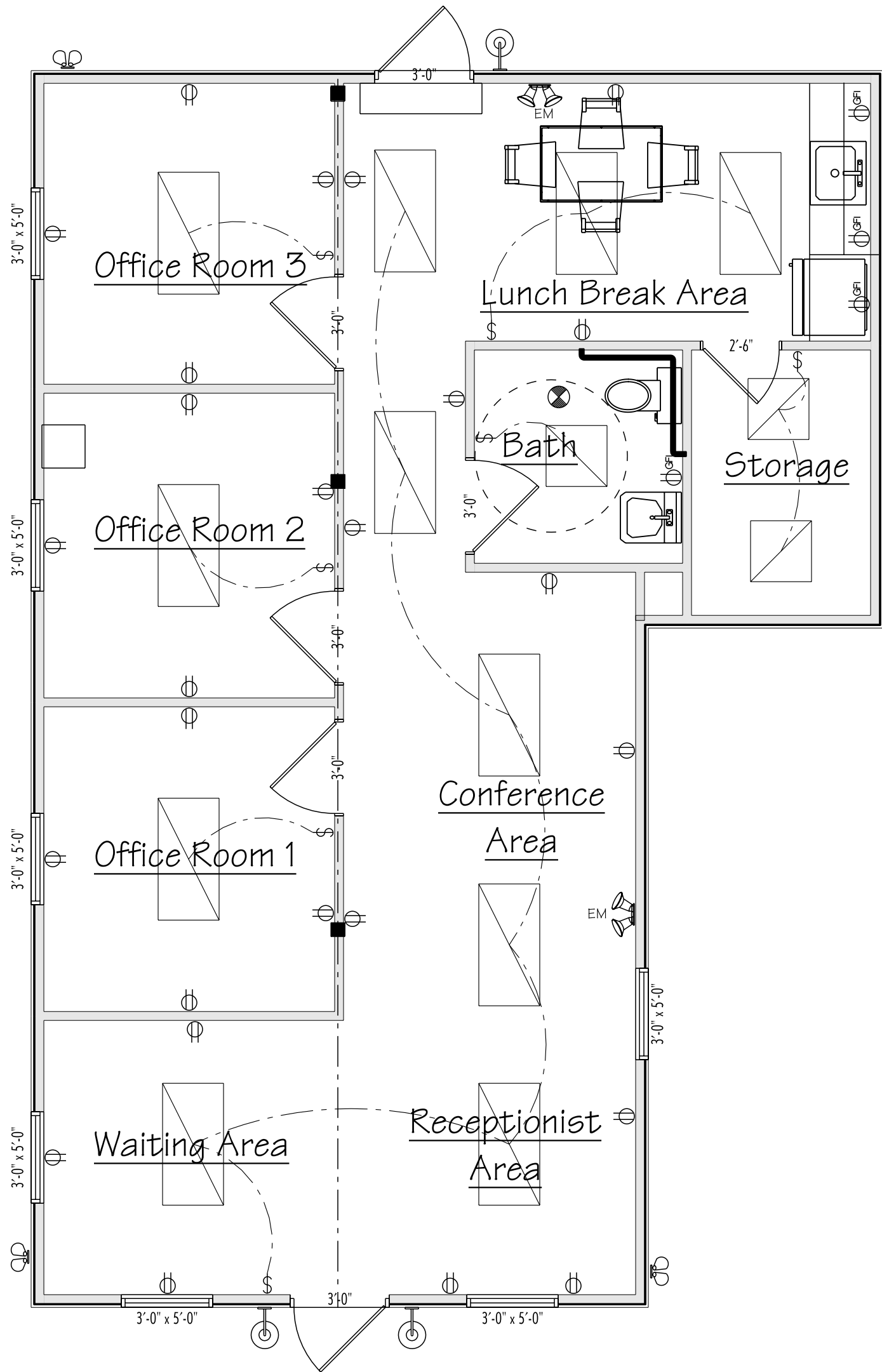
Left Elevation
SCALE: 1/4" = 1'-0"



Front Elevation
SCALE: 1/4" = 1'-0"



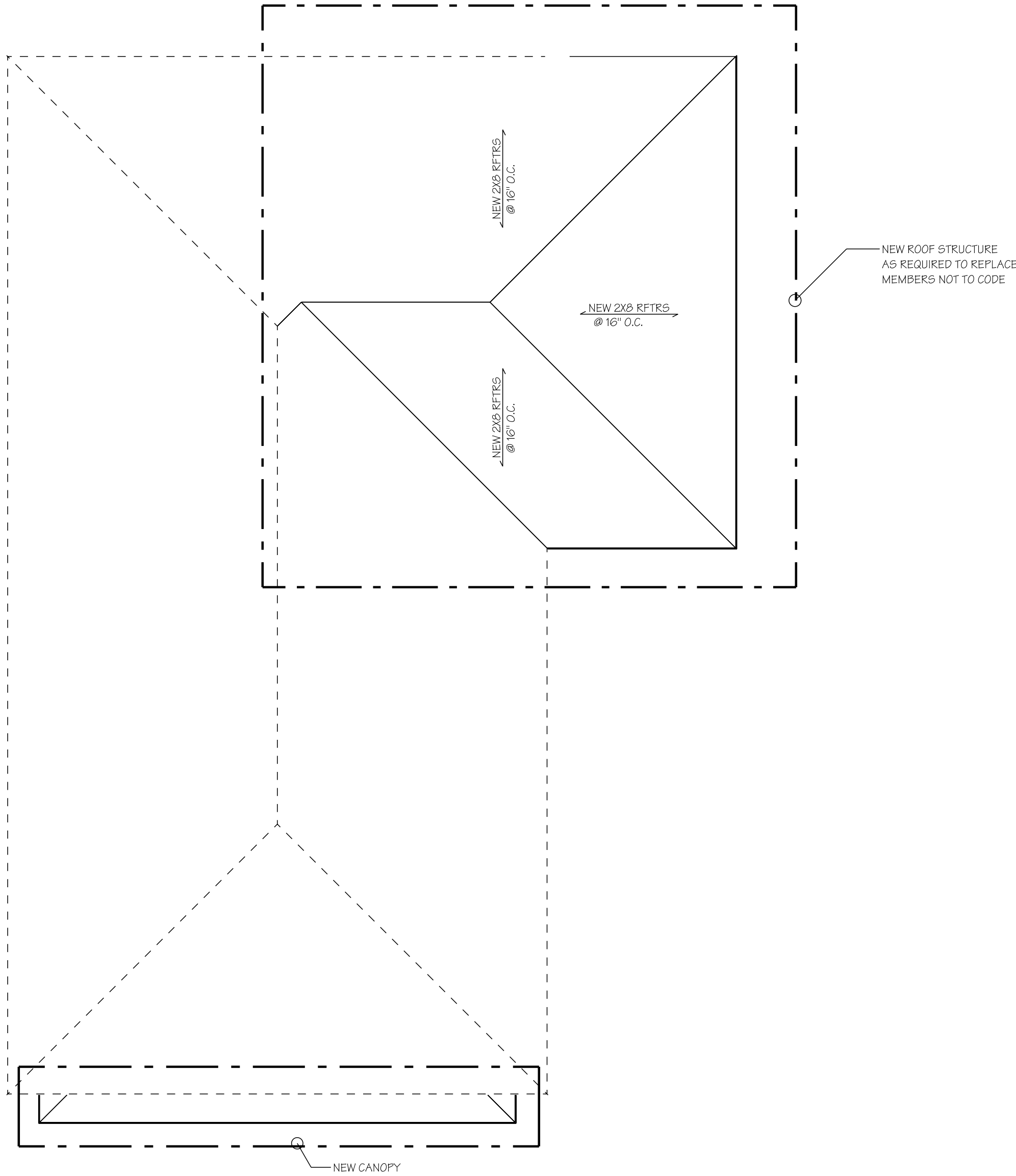
MAIN FLOOR - LIFE SAFETY PLAN



NEW MAIN FLOOR PLAN - ELECTRICAL/LIGHTING

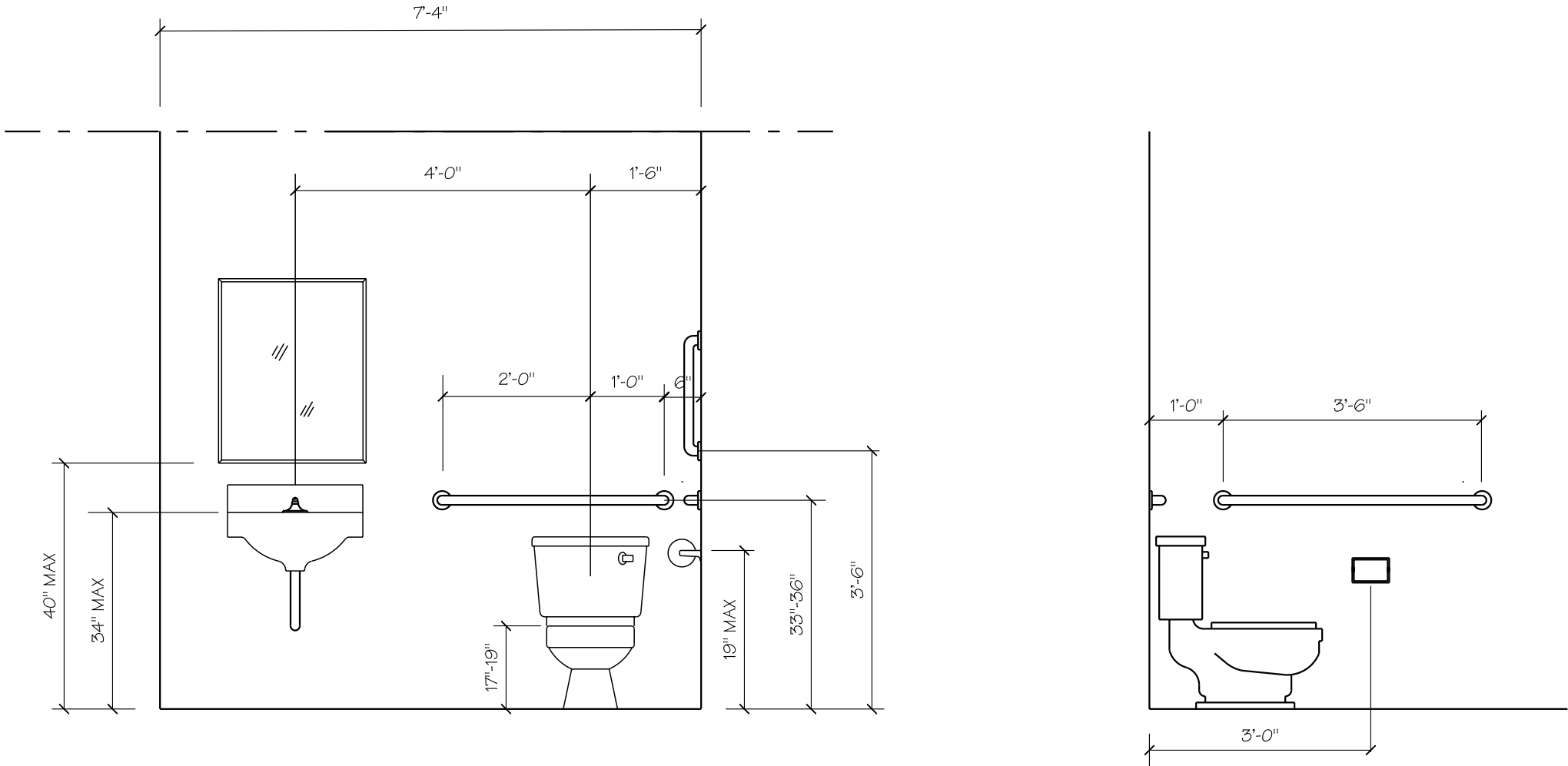
ELECTRICAL SYMBOL LEGEND

- EMERGENCY LIGHTING
- ILLUMINATED EXIT LIGHT
- DIRECT WIRED SMOKE DETECTOR (BATTERY BACK-UP)
- WALL SWITCH
- 3-WAY WALL SWITCH
- WALL RECEPTACLE
- GROUND FAULT RECEPTACLE
- CEILING MOUNTED EXHAUST FAN
- 2'X4' CEILING GRID MOUNTED LIGHT FIXTURE
- 2'X2' CEILING GRID MOUNTED LIGHT FIXTURE
- NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE (PHOTO CELL CONTROLLED)

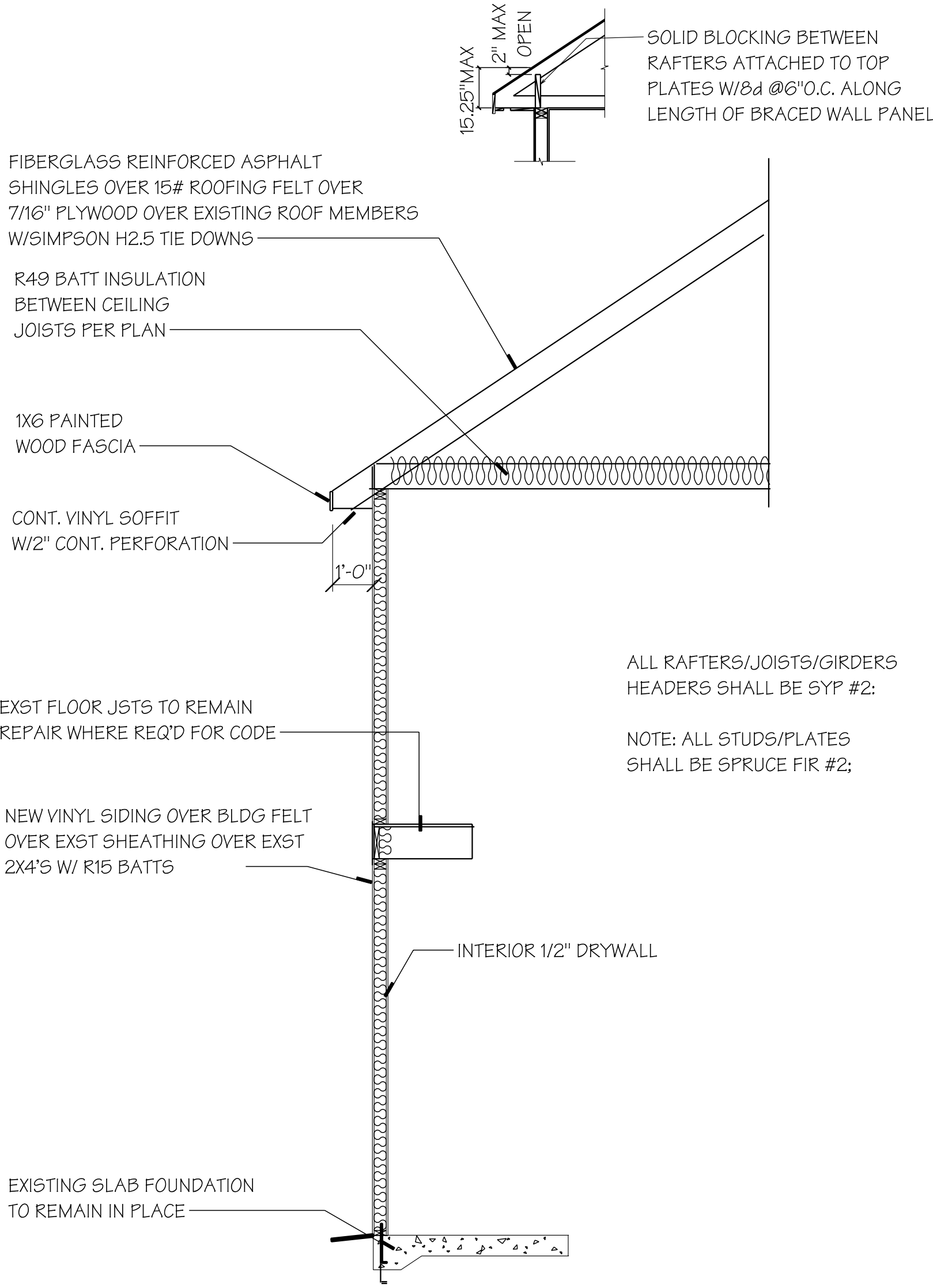


NEW TOP ELEVATION

SCALE: 1/4" = 1'-0"



TOILET ELEVATIONS



TYPICAL WALL SECTION

PLANS DRAWN IN ACCORDANCE WITH VRC 2018

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A I B I D

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carol@resdesignsol.com
www.resdesignsol.com

OWNER

PROJECT NAME:
112 BUCKROE AVE

DRAWING TITLE:
ROOF PLAN & DETAILS

ADDRESS
112 BUCKROE AVE

DRAWN BY:
CAROL CASON
DESIGNER, AIBD

SCALE:
As Noted

PROJECT:
GRANT & NATALIE SMITH

DATE:
Wednesday, December 7, 2022

SHEET NO.
5.1