

# Exclusive Investment Opportunity in Downtown Springfield



## 214 W Phelps St, Springfield, MO 65806

Listing ID: 30473982  
Status: Active  
Property Type: Retail-Commercial For Sale  
Retail-Commercial Type: Mixed Use, Street Retail  
Size: 36,640 SF  
Sale Price: \$3,825,000  
Unit Price: \$104.39 PSF  
Sale Terms: Undisclosed



### Overview/Comments

Located in Brick City in downtown Springfield's Jordan Valley Park, this mixed use mason frame building was renovated and expanded in 2008 on .63 acre site. The building contains a mix of ground floor retail and office space, with office space and loft apartments on second floor. Basement includes 8 storage units available to loft apartments, exercise room, 2 bathrooms w/ showers, additional storage for owner, and showroom & warehouse space. Total sq ft 36640, 26,047sq ft above ground and 10,593sq ft in basement. Renovations include exterior tuck pointing & repainting the brick, replacing all windows, addition to roof allowing natural light through building, freight elevator, and loading dock. Original hardwood flooring, kitchen for offices, and each residential unit individually heated and cooled. This property includes the adjacent parking lot with 20 spaces and on-street parking.

Contact Anita Zimmerman at 417.890.3229 or  
azimmerman@wilhoitproperties.com to schedule a tour and for more  
information.

### More Information Online

<http://kenschwab.catylist.com/listing/30473982>

### QR Code

Scan this image with your mobile device:



### General Information

Tax ID/APN:	881313310002	Building/Unit Size (RSF):	36,640 SF
Retail-Commercial Type:	Mixed Use, Street Retail, Other	Sale Terms:	Undisclosed
Property Use Type:	Investment		

### Area & Location

Retail Clientele:	General, Family, Business, Traveler, Tourist, Other
Property Visibility:	Excellent

### Building Related

Tenancy:	Single Tenant	Parking Type:	Surface
Property Condition:	Excellent	Passenger Elevators:	0
Year Built:	1917	Freight Elevators:	1
Year Renovated:	2008		

### Land Related

Zoning Description:	CC
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### Location

Address:	214 W Phelps St, Springfield, MO 65806
County:	Greene
MSA:	Springfield



## Property Images



RE\_Obelisk-2



RE\_Obelisk-7



RE\_Obelisk-6



RE\_Obelisk-8





RE\_Obelisk-12



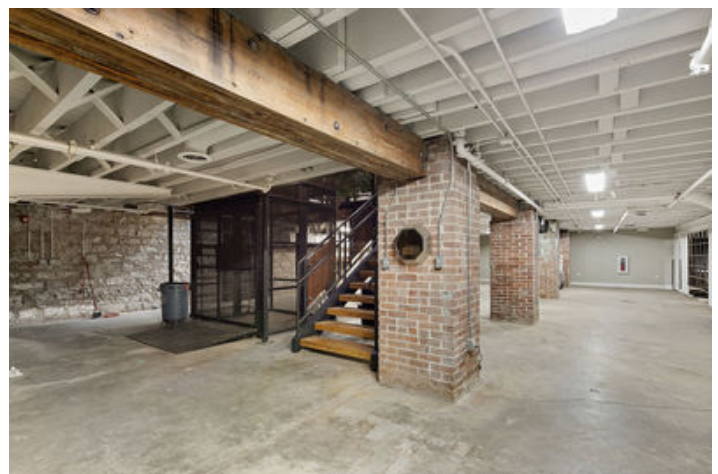
RE\_Obelisk-20



RE\_Obelisk-30



RE\_Obelisk-14



RE\_Obelisk-42

## Property Contacts

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### **Anita Zimmerman**

Wilhoit Properties - Ken Schwab

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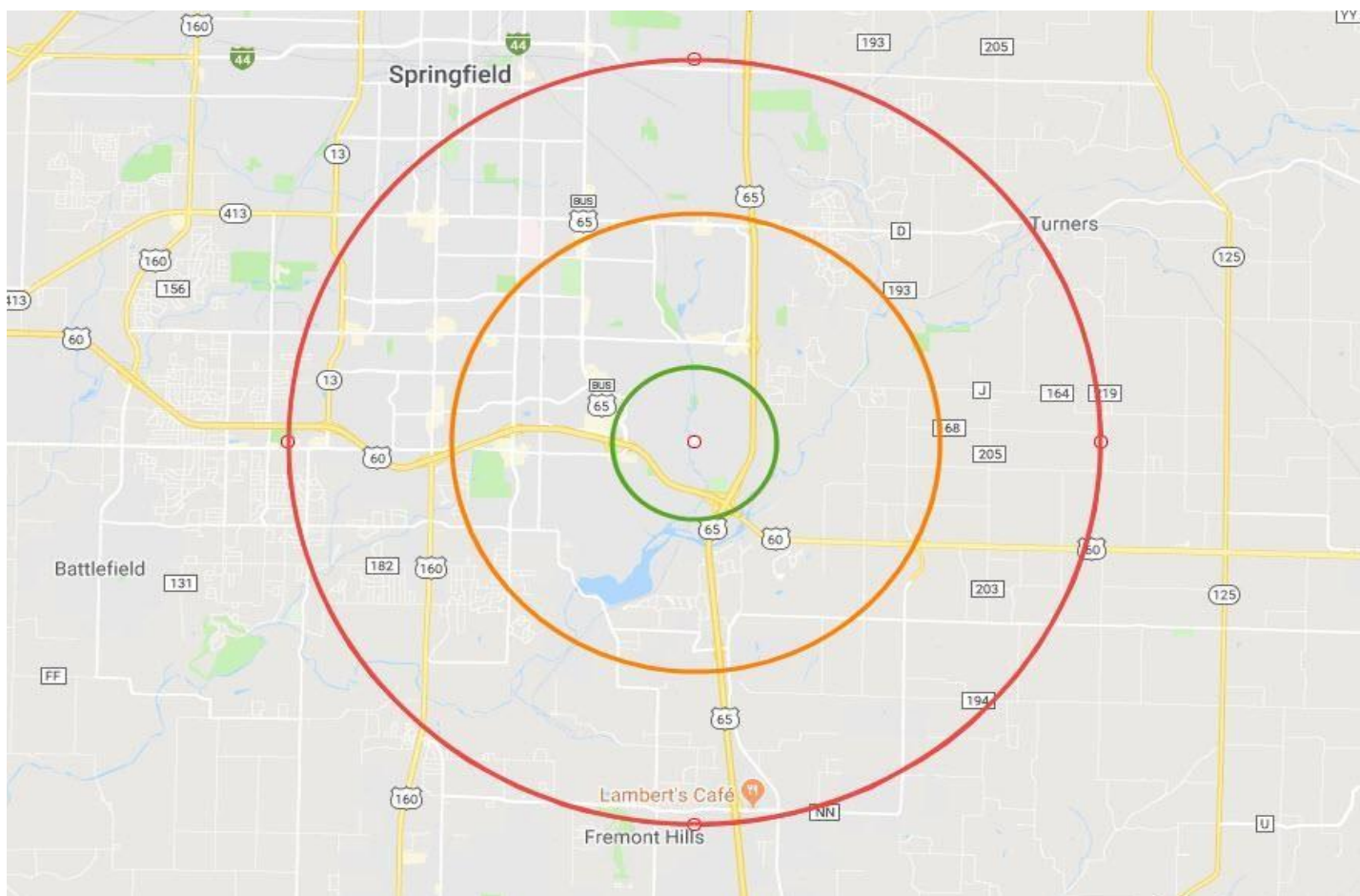
# Multi-Use Building Downtown Springfield

## 214 W. Phleps St.

## DEMOGRAPHICS

Via CoStar

DEMOGRAPHICS Via CoStar	1-mi.	3-mi.	5-mi.
2019 Total Population	22,768	96,241	168,124
2019 Households	8,973	40,618	72,574
2019 Median Household Income:	\$18,718	\$28,231	\$33,734



SCHEMATIC BASEMENT NOTES:

□ -

KEYNOTES:

- NEW 5'-0" WIDE STAIR @ EXISTING OPENING. REMOVING EXISTING STAIR & WIDEN OPENING W/ NEW STUD BEARING WALL
- STORAGE UNIT WALLS FRAMED W/ 2x4's @ 16" OC. LOWER 4'-0" SECTION OF WALL SHEATHED W/ 7/16" OSB, UPPER SECTIONS OF WALL FRAMED W/ 1/2" GYPSUM BOARD (TAPED & SANDED)
- NEW RAMP @ 1:12 SLOPE AS REQ'D TO MATCH FLOOR ELEVATIONS
- NEW OPENING THRU EXISTING MASONRY WALL. REFER TO SHEET S101
- NEW 4" THICK NORMAL WEIGHT CONCRETE SLAB OVER CRUSHED STONE BASE OVER 10 mil POLYETHYLENE VAPOR BARRIER. REFER TO SHEET F101
- FREE-STANDING UTILITY SINK
- EDGE OF OPENING IN FLOOR ABOVE
- WALL-MOUNTED FIRE EXTINGUISHER
- 2'-8" LONG x 12" DEEP x 15" HIGH BENCH. OWNER FURNISHED, CONTRACTOR INSTALLED
- 2'-6" WIDE SECTION OF SHELVES. OWNER FURNISHED, CONTRACTOR INSTALLED
- NEW STEEL COLUMN. REFER TO FRAMING PLANS
- RECESSED FIRE EXTINGUISHER & CABINET PER DETAIL 4/G102
- WALL-MOUNTED EXIT SIGN THAT IS BOTH TACTILE & VISUAL CONFORMING TO ICC A117.1. MOUNT SIGN ON LATCH SIDE OF DOOR OR AS SHOWN, 54" AFF TO CENTERLINE OF CHARACTERS & 3" FROM JAMB TO EDGE OF SIGN

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SCHEMATIC DESIGN

For  
TAYLOR-MARTIN HOLDINGS  
212 W. PHELPS  
SPRINGFIELD, MO

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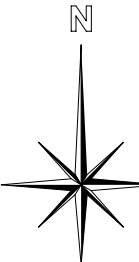
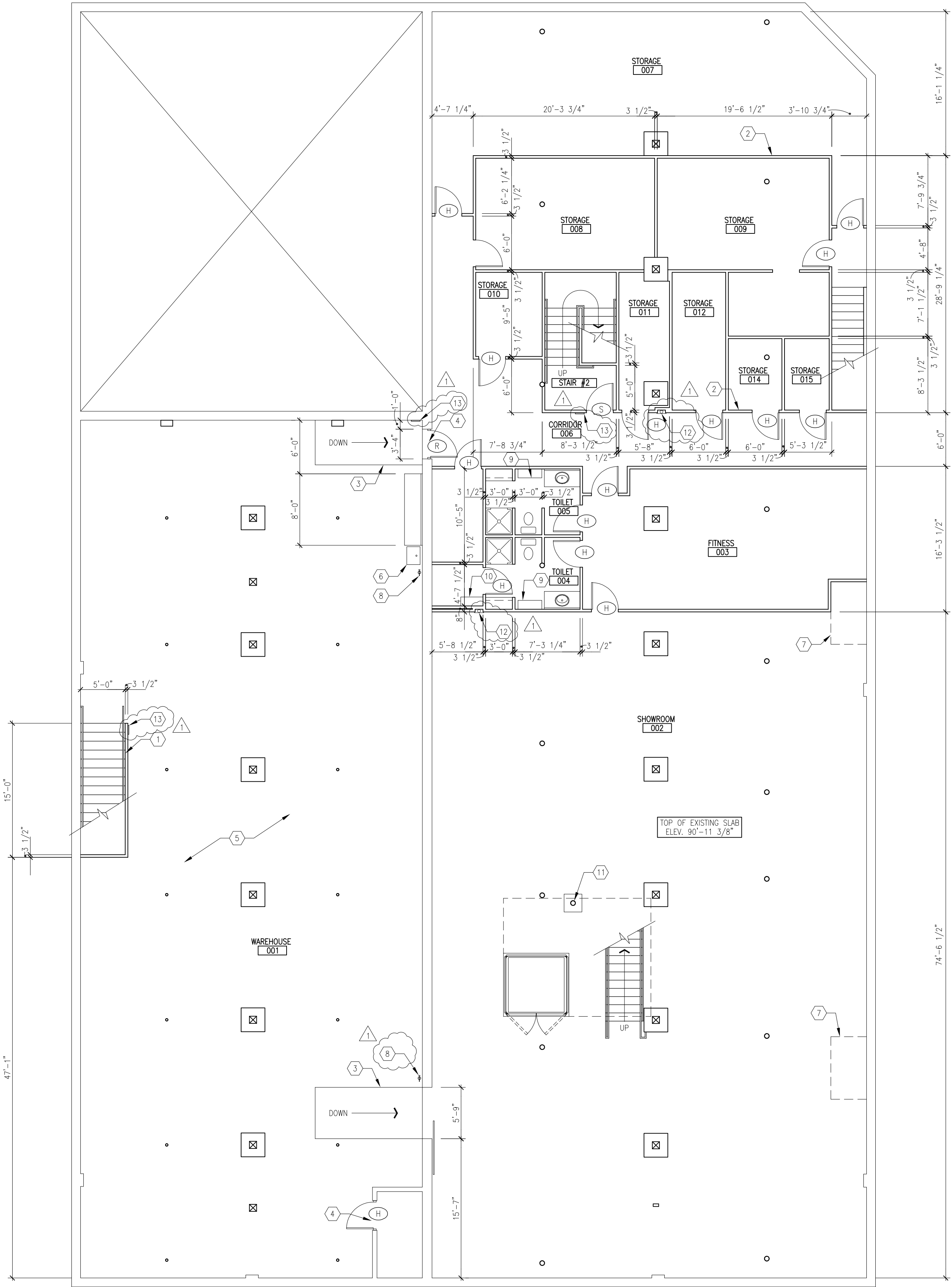
3050 E BATTLEFIELD, SUITE A  
SPRINGFIELD, MO 65804

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REVISIONS:  
10/25/07 PLAN REVIEW  
COMMENTS

PROJECT NUMBER: -  
DATE: 8/24/07  
SHEET NUMBER:

A100



1 BASEMENT PLAN

A100 1/8"=1'-0"

GENERAL NOTES:

THIS IS AN EXISTING STRUCTURE. FIELD VERIFY ALL DIMENSIONS. REPORT DISCREPANCIES TO THE ARCHITECT.

ALL TOILETS ON THIS FLOOR LEVEL ARE ACCESSIBLE. PROVIDE TACTILE & VISUAL SIGNAGE ON ALL TOILET ROOM DOORS CONFORMING TO ANSI 117.1 & SHALL BEAR THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY.

KEYNOTES:

- 2000 LB CAPACITY PALLET LIFT EXTENDING FROM BASEMENT TO SECOND FLOOR (3 STOPS). INTERIOR PALLET SIZE 72"x72". INTEGRAL RAMP @ BASEMENT. PROVIDE COMPLETE SHOP DRAWINGS
- 9'-0" WIDE x 10'-0" HIGH OVERHEAD DOORS (MOTORIZED) W/ DOCK BUMPER. DOCK LEVELER ON WEST DOOR ONLY
- 8'-0" WIDE x 8'-0" HIGH OVERHEAD DOOR FOR ACCESS TO ROLL-OFF DUMPSTER (MOTORIZED)
- IBP GLASSWALK SG FLOOR SYSTEM W/ ALUMINUM FRAME INSTALLED FLUSH W/ EXISTING FLOOR
- 6'-0"x6'-0" PALLET LIFT. 2000# CAPACITY
- COUNTERTOP W/ LOWER MILLWORK SECTION. ONE DRAWER STACK, UNDER-COUNTER REFRIGERATOR & UNDER-COUNTER WINE COOLER
- ENLARGE EXISTING OPENING TO ACCOMMODATE PAIR OF 3'-0"x8'-0" DOORS
- CONSTRUCT NEW FLOOR & DOORWAY IN EXISTING CHASE FOR STORAGE ROOM
- EXISTING 7'-0" WIDE x 10'-5" ARCHED TOP OPENING IN EXISTING MASONRY WALL. FIT WITH 7'-0" WIDE COLLING OVERHEAD DOOR (MOTORIZED)
- FILL IN EXISTING OPENING W/ SALVAGED BRICK
- WET BAR W/ SINGLE-BOWL SINK & UNDERCOUNTER REFRIGERATOR
- 4'-0" AWNING OVER DOOR(S) (SEE ELEVATIONS)
- STEEL BOLLARD FILLED WITH CONCRETE SEE DETAIL (2/C101)
- NEW LOADING DOCK
- OPERABLE GATE W/ LATCH
- 5'-0" WIDE SIDEWALK TO ALLEY
- PERMANENTLY ATTACH EXISTING WOOD SLIDING DOOR TO WALL
- RECESSED FIRE EXTINGUISHER & CABINET PER DETAIL 4/G102
- WALL-MOUNTED FIRE EXTINGUISHER
- WALL-MOUNTED EXIT SIGN THAT IS BOTH TACTILE & VISUAL CONFORMING TO ICC A117.1. MOUNT SIGN ON LATCH SIDE OF DOOR OR AS SHOWN, 54" AFF TO CENTERLINE OF CHARACTERS & 3" FROM JAMB TO EDGE OF SIGN

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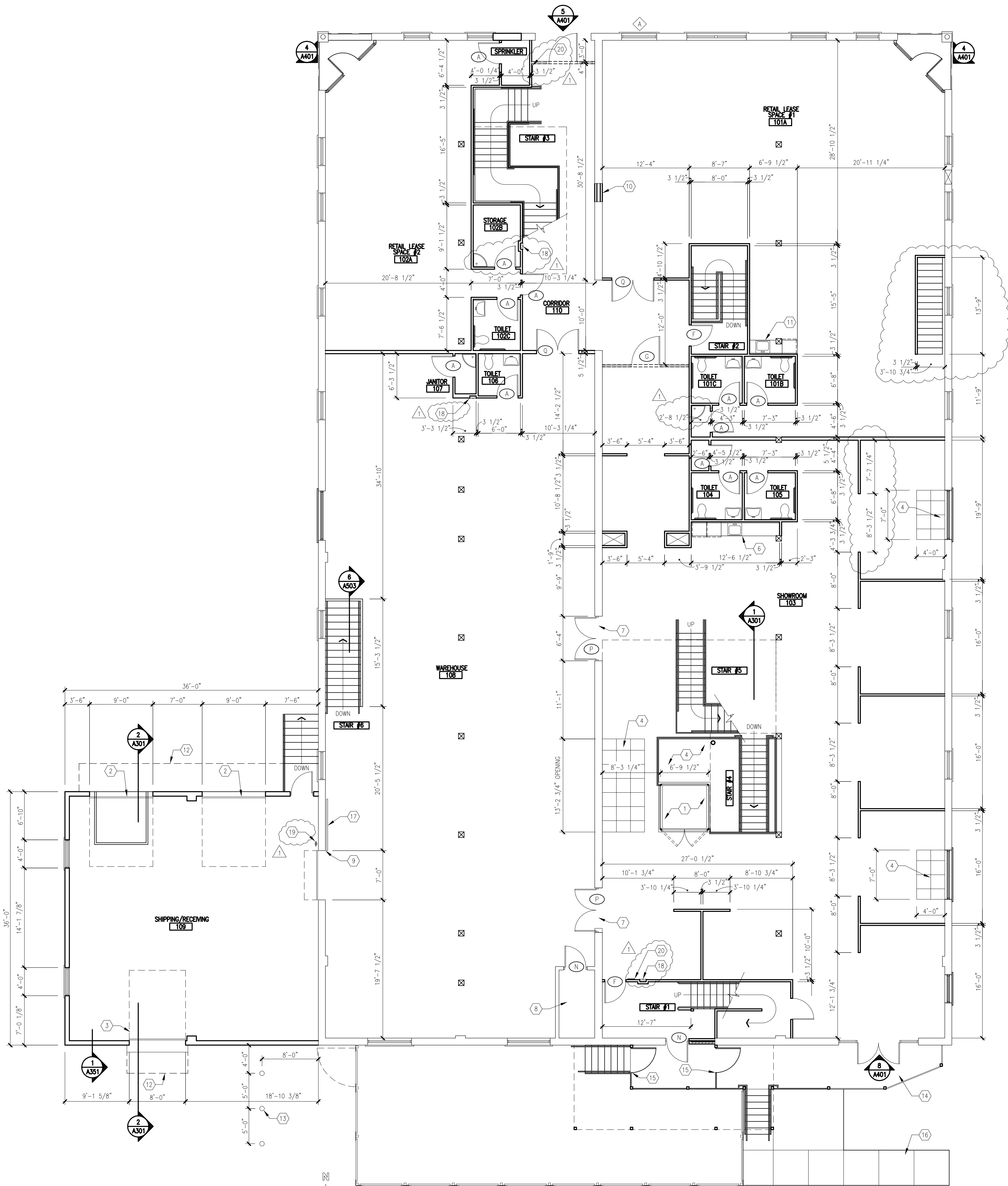
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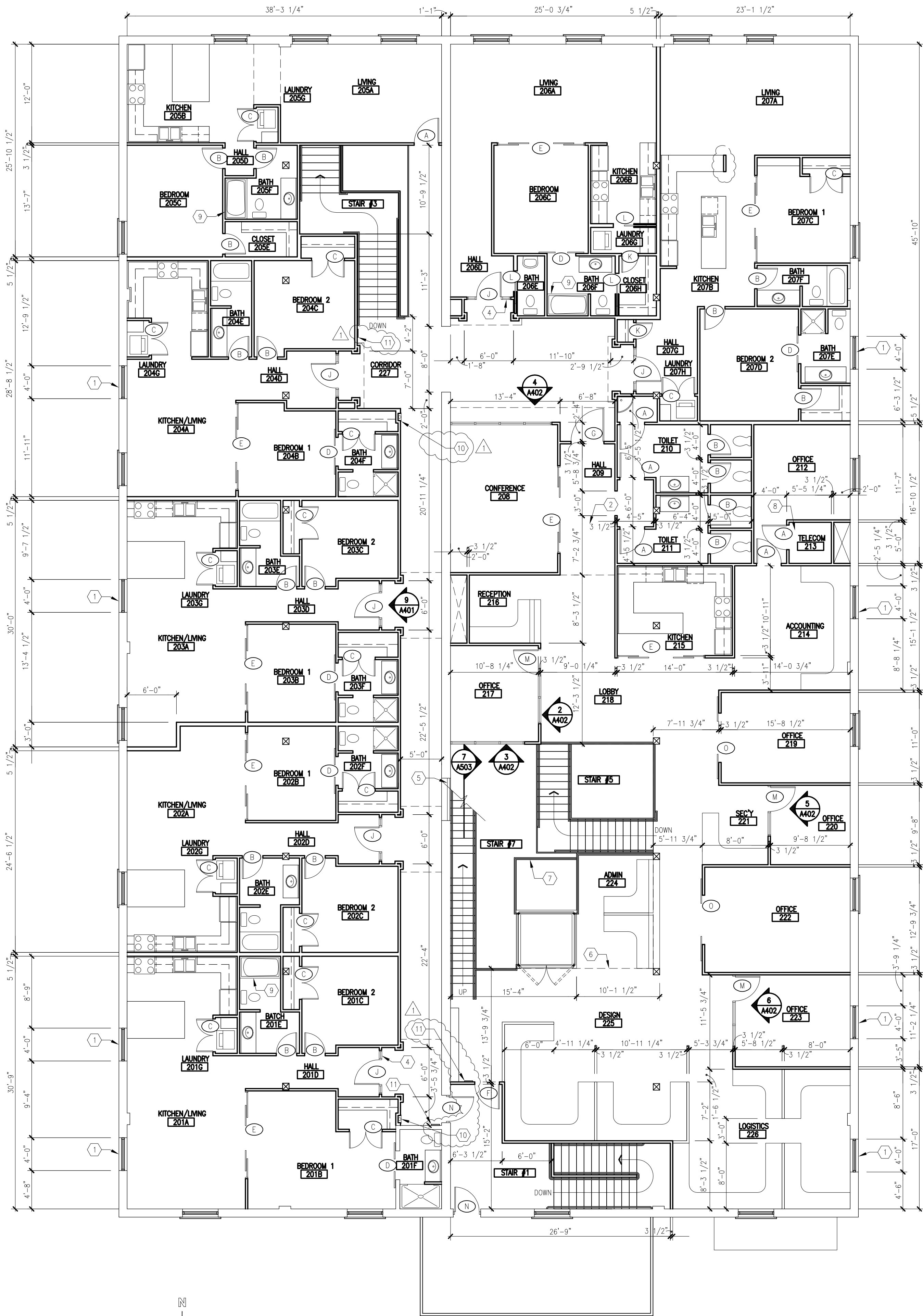
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A101



FIRST FLOOR PLAN

1/8"=1'-0"



**SCHEMATIC APARTMENT DESIGN NOTES:**

- HVAC UNITS WILL BE HORIZONTAL & PLACED ABOVE THE CEILING WHERE POSSIBLE
- USE INSTANTANEOUS-TYPE ELECTRIC WATER HEATERS
- UTILITY CLOSET SHOWN ON THE PLAN FOR WATER HEATER & FURNACE MAY BE USED AS A LINEN/COAT/STORAGE CLOSET IF SPACE IS NOT REQ'D FOR EQUIPMENT
- STACKED WASHER/DRYER REQ'D. USE TYPICAL SWINGING DOORS OR A PAIR OF CABINET DOORS TO MATCH OTHER MILLWORK
- KITCHEN EXHAUST HOODS SHALL BE VENTED THROUGH THE ROOF
- LAVATORIES SHALL BE FREE-STANDING FURNITURE-TYPE. 48" WIDTH IS TYPICAL. SOME UNITS WILL ACCOMMODATE LARGER LAVATORIES
- SHOWERS SHALL BE LIMESTONE OR SIMILAR MATERIAL - NOT FIBERGLASS. TUB ENCLOSURES SHALL ALSO BE STONE OR TILE
- BEDROOM CLOSETS ARE TYPICALLY BUILT-IN MILLWORK W/ DRAWERS, CLOTHES STORAGE CABINETS, ETC.
- ALL SWINGING DOORS SHALL BE 8'-0" HIGH
- 36" WIDE SIDE-BY-SIDE REFRIGERATORS IN KITCHENS

**KEYNOTES:**

- 1 NEW WINDOW
- 2 DROPPED GYPSUM BOARD CEILING OVER BATHROOMS & HALLWAY TO CONCEAL OVERHEAD HVAC UNITS & DUCTWORK
- 3 INTERIOR WINDOW OVERLOOKING LOBBY ATRIUM W/ OBSCURE GLASS
- 4 ENTRY DOORS W/ SIDE/LITES EACH SIDE
- 5 GLASS BLOCK INFILL OF EXISTING MASONRY OPENING
- 6 OUTLINE OF CLERESTORY ABOVE
- 7 EDGE OF FIRST FLOOR OPENING INTO BASEMENT BELOW
- 8 CLOSET FOR COMPUTER SERVER & TELECOMMUNICATIONS
- 9 60" WHIRLPOOL BATH
- 10 RECESSED FIRE EXTINGUISHER & CABINET PER DETAIL 4/G102
- 11 WALL-MOUNTED EXIT SIGN THAT IS BOTH TACTILE & VISUAL CONFORMING TO ICC-A117.1. MOUNT SIGN ON LATCH SIDE OF DOOR OR AS SHOWN. 54" AFF TO CENTERLINE OF CHARACTERS & 3" FROM JAMB TO EDGE OF SIGN

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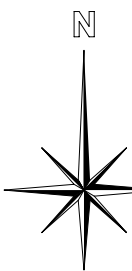
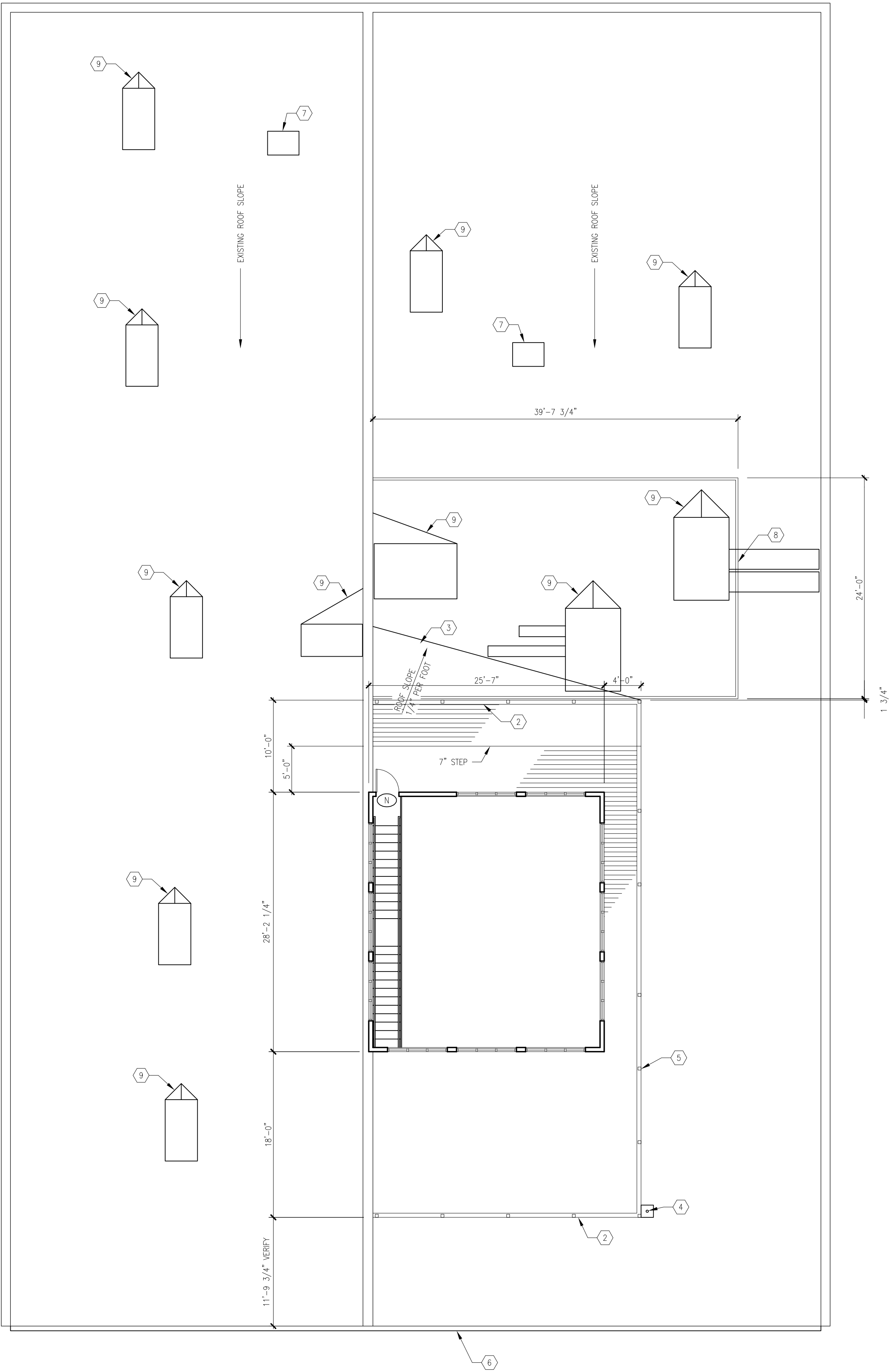
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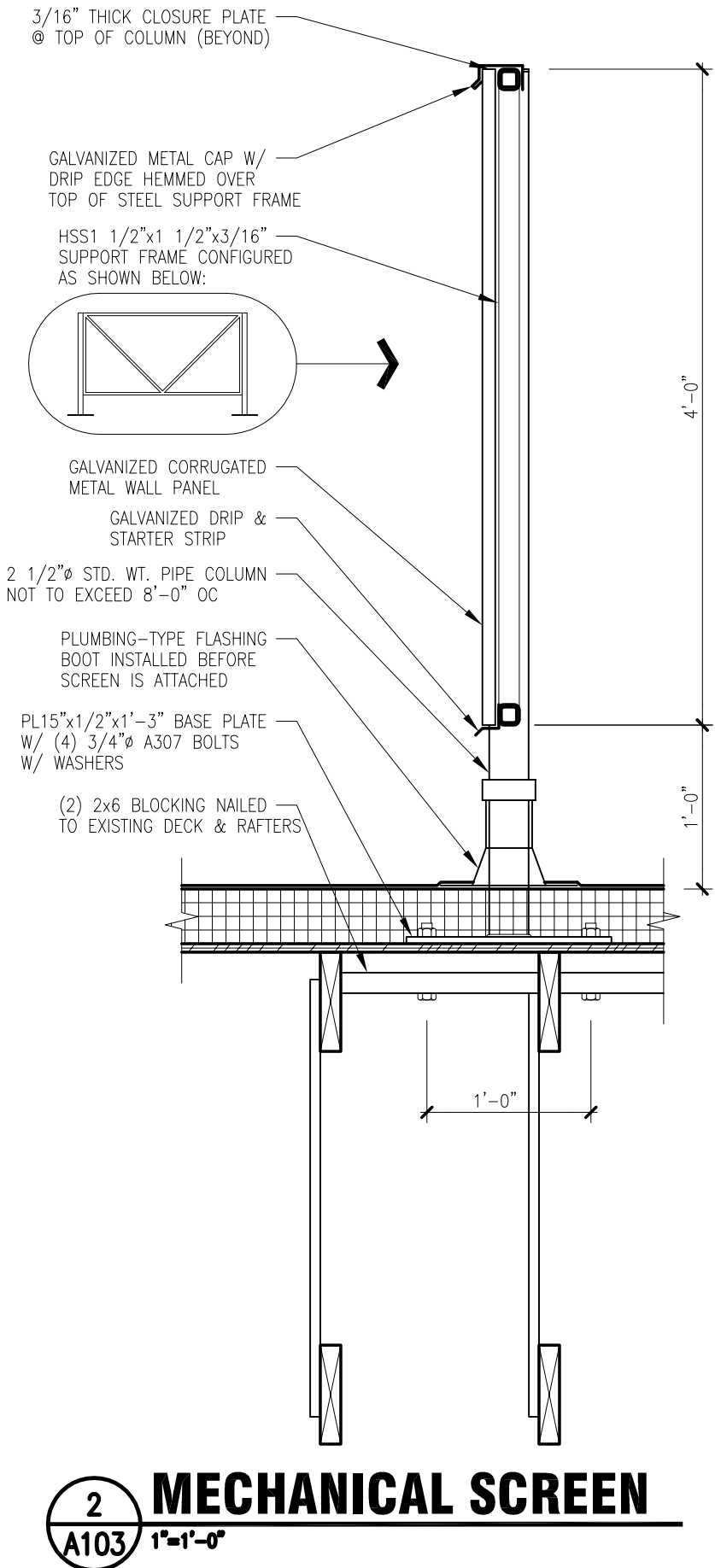
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**A102**





1  
A103 1/8"=1'-0" **ROOF PLAN**



2  
A103 1"=1'-0" **MECHANICAL SCREEN**

#### GENERAL NOTES:

- PROVIDE A NEW 60 MIL FULLY ADHERED ROOFING MEMBRANE OVER 4" POLYISOCYANURATE INSULATION OVER EXISTING WOOD DECK
- INSPECT ROOF DECK AFTER REMOVAL OF EXISTING ROOFING. REPLACE ANY DETERIORATED SECTIONS W/ 5/8" NOMINAL CDX PLYWOOD
- VERIFY SLOPE OF EXISTING ROOF. USE THICKENED OR TAPERED INSULATION TO RESTORE POSITIVE SLOPE TO ANY FLAT OR PONDED SECTIONS AS REQ'D FOR A COMPLETE INSTALLATION
- PROVIDE ALL COUNTER FLASHING, REGLETS, ETC. @ PARAPETS AS REQ'D FOR A COMPLETE INSTALLATION
- PLACE NO MECHANICAL EQUIPMENT WITHIN 10'-0" OF THE ROOF EDGE
- APARTMENT RTU's ARE LOW-PROFILE (32 1/4" HIGH) & NOT SCREENED
- PLUMBING PENETRATIONS & EXHAUST FANS ARE NOT SHOWN ON THE ROOF PLAN. REFER TO THE MECHANICAL & ELECTRICAL PLAN

#### KEYNOTES:

- 1 EDGE OF CLERESTORY ROOF OVERHANG
- 2 EDGE OF WOOD ROOF DECK
- 3 TAPERED INSULATION AS REQ'D TO DIRECT RUNOFF AWAY FROM CLERESTORY ADDITION
- 4 25' TALL TAPERED ALUMINUM FLAGPOLE W/ HALYARD ROPE & CLEAT. COORDINATE ATTACHMENT TO ROOF DECK W/ ROOFING CONTRACTOR & STRUCTURAL ENGINEER
- 5 REFER TO 3/A351 FOR TYPICAL RAILING AROUND ROOF PATIO. FIELD MEASURE DECK & SUBMIT SHOP DRAWINGS OF RAILING SYSTEM IN EQUALLY SPACED MODULES TO FIT DECK
- 6 NEW 6'x8" PRE-FINISHED METAL GUTTER
- 7 CONDENSING UNIT FOR RETAIL SPACE SITTING ON 4x4 BLOCKS
- 8 CUT MECHANICAL SCREEN AROUND DUCTS
- 9 CRICKET

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