

Copperleaf Marketplace

**NEW GROCERY ANCHORED SHOPPING CENTER
SWC E-470 & QUINCY AVE**

PADS DELIVERING 2025



Sullivan Hayes
BROKERAGE



New Pad & Inline Retail Coming to Underserved Trade Area

Retail GLA Per Capita

23.0

SQUARE FEET
PER PERSON

National
Average

53.0

SQUARE FEET
PER PERSON

State
Average

4.98

SQUARE FEET
PER PERSON

Site
Average
WITHIN 2 MILES

2010-Present

Population Increase VS Retail GLA Increase

WITHIN 2 MILES

Retail GLA Increase
↑ 15.7%



Located within the
highly sought after
**Cherry Creek
School District**

Population Increase
↑ 34.0%

E-470 Corridor Easy Access

- DENVER INTERNATIONAL AIRPORT (DIA)
- SOUTHLAND SHOPPING CENTER
- DENVER TECH CENTER (DTC)
- FITZSIMMONS LIFE SCIENCE DISTRICT
- ANSCHUTZ MEDICAL CAMPUS
- CHILDREN'S HOSPITAL MEDICAL CAMPUS

1,000+ RESIDENTIAL UNITS

Planned and Under Construction
Adjacent to Copperleaf Marketplace

Premium Demographics

	1 MILE	3 MILE	5 MILE
POPULATION	9,255	82,312	213,462
AVERAGE HOUSEHOLD INCOME	\$177,739	\$165,470	\$158,695

New Grocery Anchor COMING IN 2026





PROJECT DETAILS

New 16,250 SF in-line retail building planned providing rare leasing opportunities in this underserved trade area. No new inline retail space has been built along the Quincy corridor since 2016.

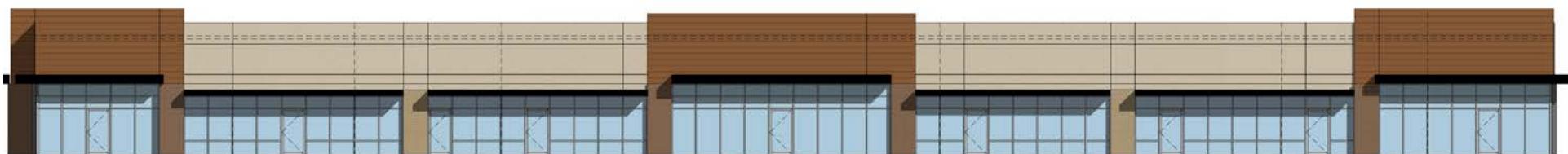
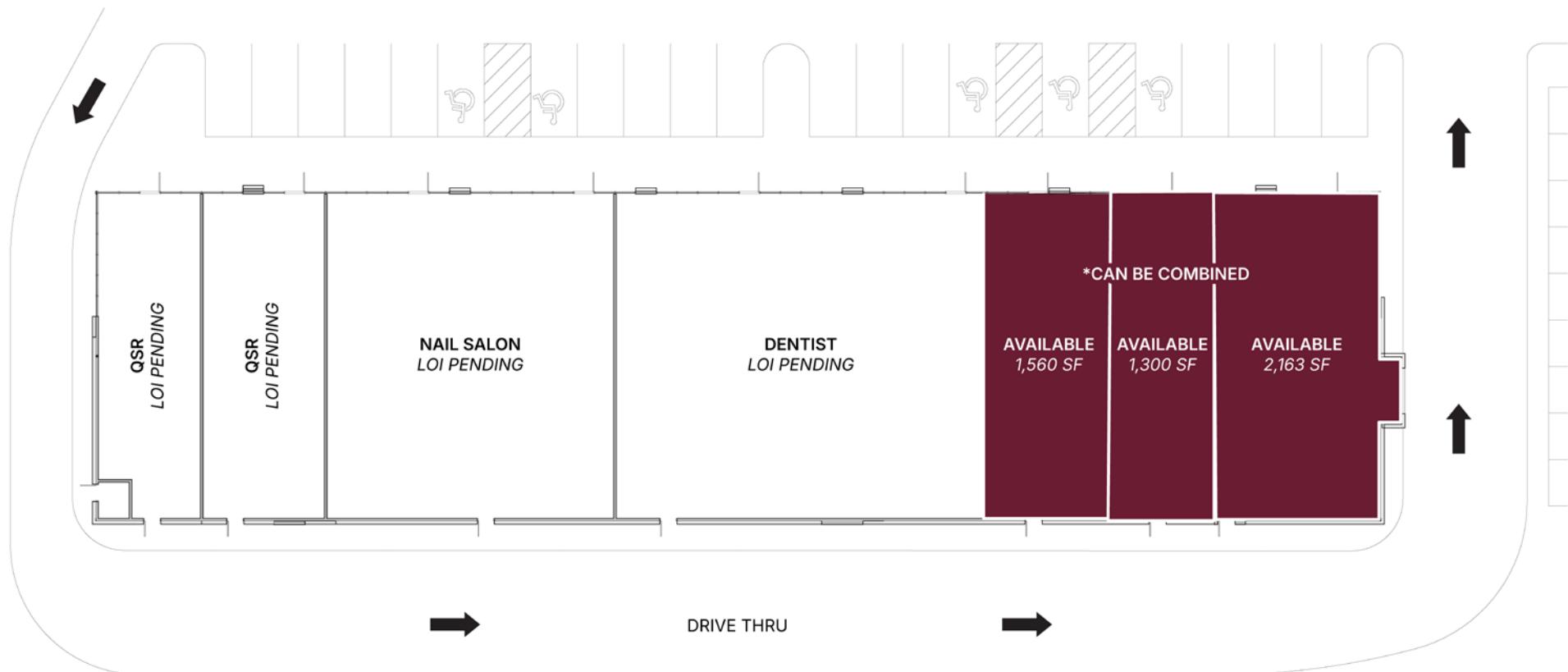
One end-cap drive through opportunity and one potential end cap with patio available

HIGHLIGHTS

- Ample Parking
- **KING Soopers Marketplace**
- Immediately adjacent to over 600 residential units now leasing and selling, in addition to nearly 1,000 existing units in Copperleaf

SITE PLAN - PAD 6 - BUILDING

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VICINITY AERIAL

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TRADE AREA

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DEMOGRAPHICS

CATEGORY	WITHIN 5 MILES
Estimated Population	213,462
Projected Population In 2027	216,313
Average Household Income	\$158,695
Daytime Population (Employees)	26,834

SOURCE: ESRI 2024

TRAFFIC COUNTS

INTERSECTION	CARS/DAY
Quincy Ave east of E-470	17,578
Quincy Ave west of Picadilly Rd	28,177 ²
E-470 north of Quincy Ave	44,930 ¹
Copperleaf Blvd south of Quincy Ave	7,000

SOURCE: ESRI 2018, ¹2019, ²ALL TRAFFIC DATA 2019

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About SullivanHayes

SullivanHayes Brokerage is Colorado's premier, full-service retail brokerage company assisting tenants, landlords, and developers. We have enjoyed a rich history serving the commercial real estate industry since 1978.

SullivanHayes is proud to have helped some of the most sophisticated national retailers and landlords expand throughout Colorado, as well as passionate local concepts and developers that make our community vibrant and dynamic.

VISIT: www.sullivanhayes.com

Copperleaf Marketplace

E-470 & Quincy Ave | Arapahoe County, Colorado

ANDY BUETTNER

720.382.7502
abuettner@sullivanhayes.com

MARK ERNSTER

720.382.7508
mernster@sullivanhayes.com



ALL INFORMATION TO BE INDEPENDENTLY VERIFIED



SullivanHayes
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SullivanHayes Brokerage

5570 DTC Parkway, Suite 100
Greenwood Village, CO 80111
303.534.0900