

# *Copperleaf Marketplace*

**NEW GROCERY ANCHORED SHOPPING CENTER**  
SWC E-470 & QUINCY AVE

PADS DELIVERING 2025

SH

SullivanHayes  
BROKERAGE



New **Pad & Inline** Retail Coming to Underserved Trade Area

**Retail GLA Per Capita**

**23.0**  
SQUARE FEET  
PER PERSON

National  
Average

**53.0**  
SQUARE FEET  
PER PERSON

State  
Average


**4.98**  
SQUARE FEET  
PER PERSON

Site  
Average  
WITHIN 2 MILES

**2010-Present  
Population Increase VS Retail GLA Increase  
WITHIN 2 MILES**

Retail GLA Increase  
↑ **15.7%**

Population Increase  
↑ **34.0%**



Located within the  
highly sought after  
**Cherry Creek  
School District**

**E-470 Corridor  
Easy Access**

- DENVER INTERNATIONAL AIRPORT (DIA)
- SOUTHLAND SHOPPING CENTER
- DENVER TECH CENTER (DTC)
- FITZSIMMONS LIFE SCIENCE DISTRICT
- ANSCHUTZ MEDICAL CAMPUS
- CHILDREN'S HOSPITAL MEDICAL CAMPUS

**1,000+**

**RESIDENTIAL UNITS**  
Planned and Under Construction  
Adjacent to Copperleaf Marketplace

**Premium Demographics**

	1 MILE	3 MILE	5 MILE
POPULATION	9,255	82,312	213,462
AVGERAGE HOUSEHOLD INCOME	\$177,739	\$165,470	\$158,695

**New Grocery Anchor**  
COMING IN 2026





600+ RESIDENTIAL UNITS  
NOW LEASING AND SELLING



## PROJECT DETAILS

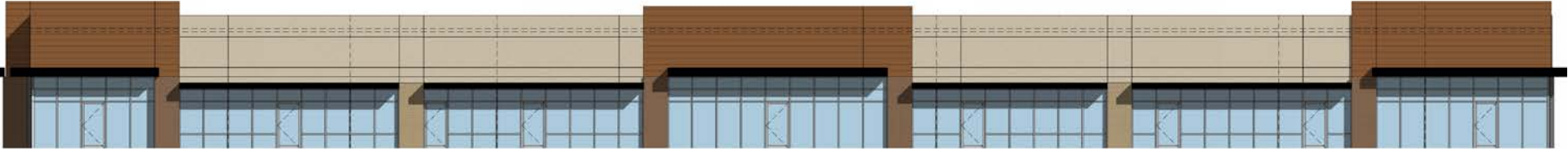
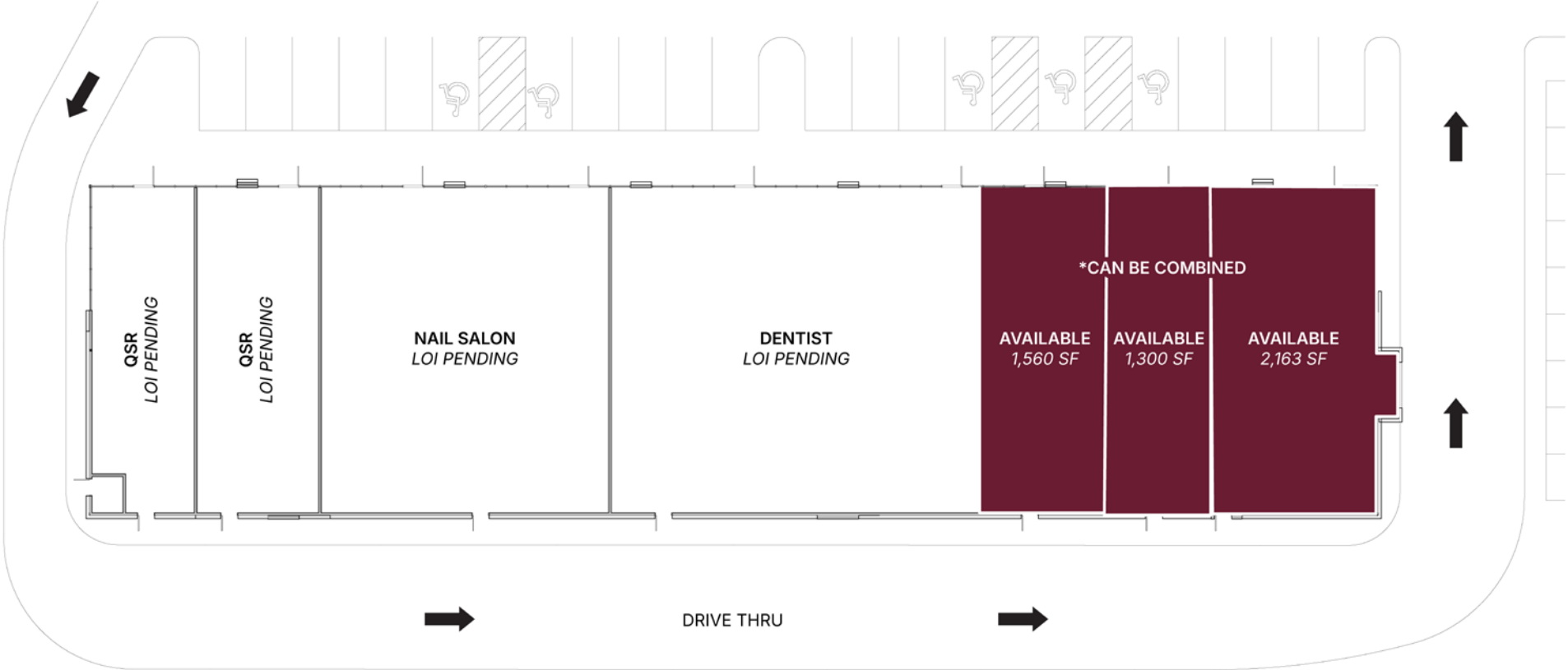
New 16,250 SF in-line retail building planned providing rare leasing opportunities in this underserved trade area. No new inline retail space has been built along the Quincy corridor since 2016.

One end-cap drive through opportunity and one potential end cap with patio available

## HIGHLIGHTS

- ☐ Ample Parking
- ☐ **KING** *Super* Marketplace
- ☐ Immediately adjacent to over 600 residential units now leasing and selling, in addition to nearly 1,000 existing units in Copperleaf

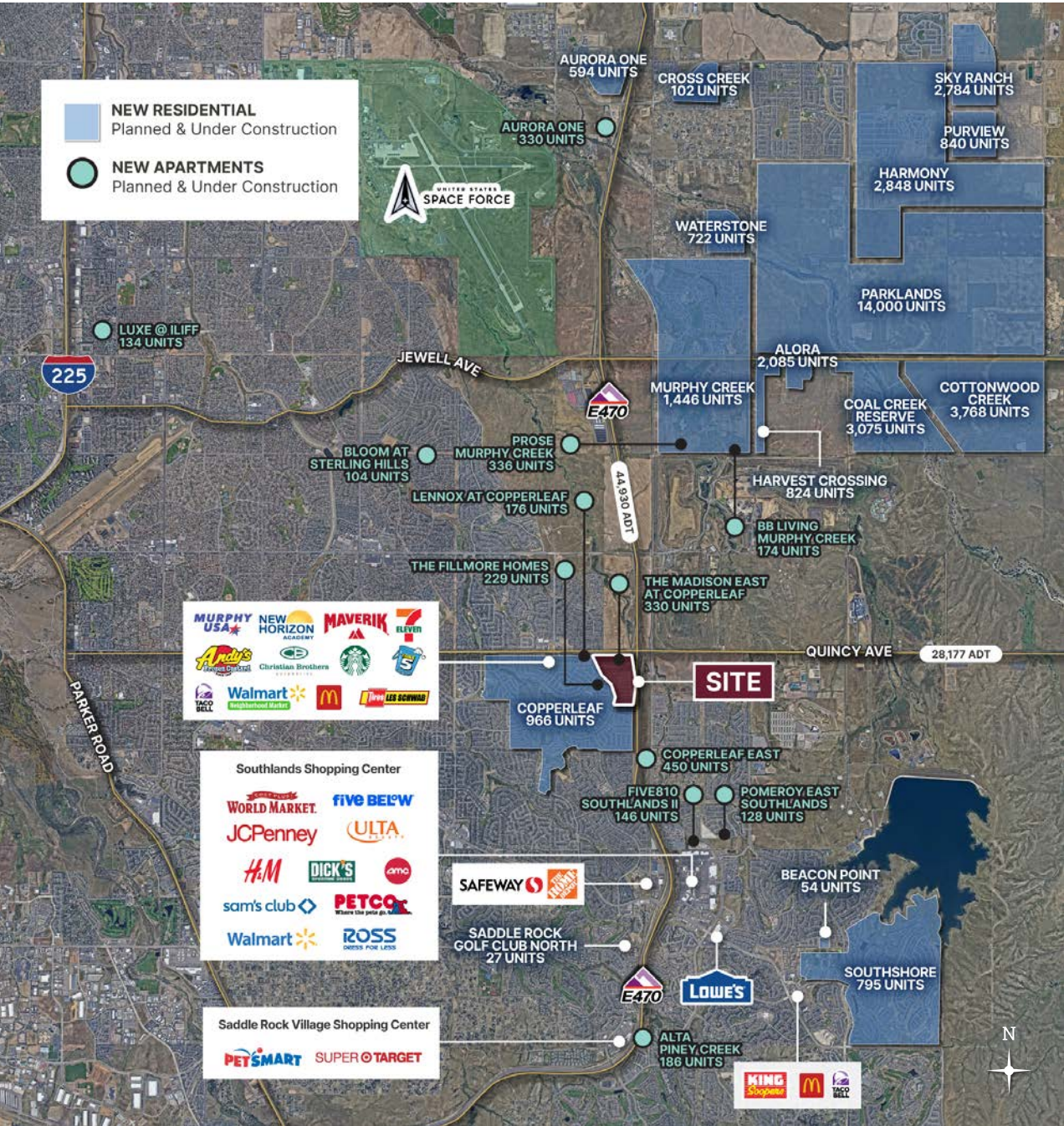












DEMOGRAPHICS

CATEGORY	WITHIN 5 MILES
Estimated Population	213,462
Projected Population In 2027	216,313
Average Household Income	\$158,695
Daytime Population (Employees)	26,834

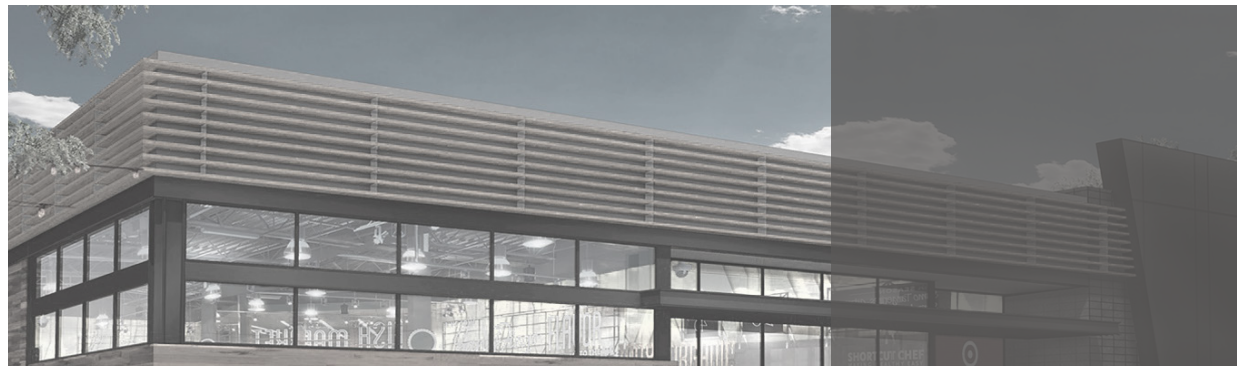
SOURCE: ESRI 2024

TRAFFIC COUNTS

INTERSECTION	CARS/DAY
Quincy Ave east of E-470	17,578
Quincy Ave west of Picadilly Rd	28,177 <sup>2</sup>
E-470 north of Quincy Ave	44,930 <sup>1</sup>
Copperleaf Blvd south of Quincy Ave	7,000

SOURCE: ESRI 2018, <sup>1</sup>2019, <sup>2</sup>ALL TRAFFIC DATA 2019





## About SullivanHayes

SullivanHayes Brokerage is Colorado's premier, full-service retail brokerage company assisting tenants, landlords, and developers. We have enjoyed a rich history serving the commercial real estate industry since 1978.

SullivanHayes is proud to have helped some of the most sophisticated national retailers and landlords expand throughout Colorado, as well as passionate local concepts and developers that make our community vibrant and dynamic.

**VISIT:** [www.sullivanhayes.com](http://www.sullivanhayes.com)



ALL INFORMATION TO BE INDEPENDENTLY VERIFIED

# Copperleaf Marketplace

E-470 & Quincy Ave | Arapahoe County, Colorado

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