

Project:

METACOM PRIMARY CARE ASSOC.

Location:

639 Metacom Avenue
Warren, RI 02885

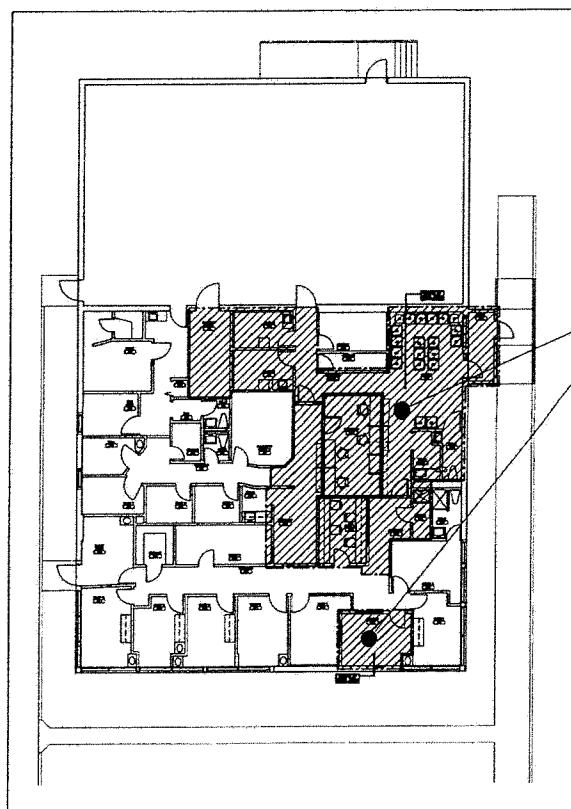
Prepared by:

The Design Team
Rhode Island Hospital

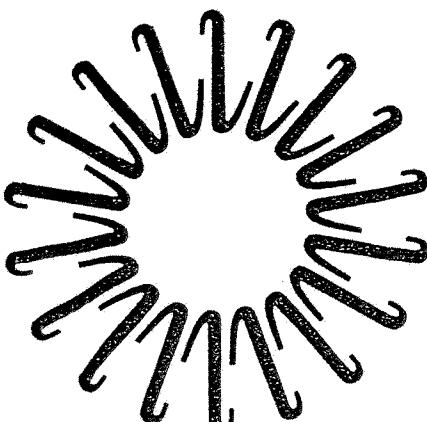
Proj. # / W. O. #: 18-103 / 112114

Date:

August 3, 2018



KEY PLAN
SCALE: 1" = 16'-0"



Rhode Island Hospital
A Lifespan Partner

LIST OF DRAWINGS

COVER SHEET

ARCHITECTURAL

G1-1 ABBREVIATIONS, MOUNTING HEIGHTS, SYMBOLS, EGRESS PLAN, ALTERNATES
G1-2 GENERAL NOTES
D1-1 FIRST FLOOR PLAN - DEMOLITION
D2-1 FIRST FLOOR PLAN - DEMOLITION REFLECTED CEILING LAYOUT
A1-1 FIRST FLOOR PLAN - PROPOSED NEW LAYOUT
A1-2 FIRST FLOOR PLAN - PROPOSED NEW FURNITURE, FINISHES AND EQUIPMENT
A2-1 FIRST FLOOR PLAN - PROPOSED NEW REFLECTED CEILING LAYOUT
A3-1 WALL TYPES, INTERIOR ELEVATIONS, DETAILS
A4-1 OPENING & FINISH SCHEDULES, LEGENDS, NOTES AND DETAILS

MECHANICAL

M-1 FLOOR PLANS AND NOTES - MECHANICAL

ELECTRICAL

E-1 ELECTRICAL NOTES, LEGEND AND DETAILS
E-2 FIRST FLOOR PLANS - ELECTRICAL

CODE SYNOPSIS

Project Location:	Metacom Primary Care Associates, 639 Metacom Avenue, Warren, Rhode Island 02885
Project Description:	Interior renovations and cosmetic upgrades to the waiting area, patient reception check in areas and creating one new office area - totaling less than 50% of the value of the total building.
Project Square Footage:	Renovation area: 1650 square feet. Total gross building floor area: 16,000 square feet
Use:	Building Classification: Business Group B
Occupancy:	(100 SF / Person) - 16,000 ÷ 16 = 1000 Persons Total
Construction Classification:	Existing Type 5 B
Sprinklers:	Unprotected, no sprinklers

APPROVED

TOWN OF WARREN
BUILDING OFFICIAL

TC 10/5/18

GENERAL NOTES

GENERAL NOTES

1. THESE NOTES ARE NOT INTENDED TO REPLACE, BUT ARE TO BE USED IN CONJUNCTION WITH, THE GENERAL CONDITIONS AND SPECIAL CONDITIONS OF THE CONTRACT DOCUMENTS.
2. SEE ALL CONTRACT DOCUMENTS FOR ADDITIONAL GENERAL AND SPECIFIC NOTES.
3. ALL WORK IS TO BE PERFORMED PER APPLICABLE CODES AND ORDINANCES, AND PER THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AGENCIES.
4. THE G.C. IS RESPONSIBLE FOR SECURING REQUIRED BUILDING AND USE PERMITS FOR ALL PHASES OF THE WORK PRIOR TO THE START OF CONSTRUCTION, INCLUDING THOSE FOR ALL FIRE PROTECTION, PLUMBING, MECHANICAL AND ELECTRICAL DISCIPLINES.
5. EXISTING CONDITIONS:
 - 5.1. EXISTING BUILDING CONDITIONS INDICATED HAVE BEEN DOCUMENTED BY ASSEMBLING AND INTERPRETING THE INFORMATION AVAILABLE TO THE ARCHITECT AND HIS CONSULTANTS.
 - 5.2. SHOULD THE CONTRACTOR ENCOUNTER ANY SERVICE LINES, DRAWS, CONDUIT, STRUCTURAL MEMBERS, ETC. NOT SHOWN ON THE DRAWINGS, HE SHALL IMMEDIATELY GIVE NOTICE TO THE ARCHITECT AND OWNER OF SUCH CONDITIONS (BEFORE THEY ARE DISTURBED) AND AWAIT INSTRUCTIONS AS TO THE METHOD OF PROCEDURE.
 - 5.3. THE CONTRACTOR SHALL VERIFY ALL EXISTING LINES, LEVELS, AND DIMENSIONS AS SHOWN ON THE DRAWINGS, AND SHALL REPORT ANY ERRORS OR INCONSISTENCIES IN THE ABOVE TO THE ARCHITECT BEFORE COMMENCING.
 - 5.4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION AND DIMENSIONS PRIOR TO ORDERING, ASSEMBLING AND/OR FABRICATING ANY MATERIALS, SYSTEMS, OR COMPONENTS. PROMPTLY NOTIFY THE ARCHITECT, IN WRITING, OF ANY CONDITIONS FOUND THAT WILL PROHIBIT THE WORK FROM PROCEEDING AS SHOWN.
6. COORDINATION:
 - 6.1. THE G.C. IS RESPONSIBLE FOR THE COORDINATION OF ALL REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS.
 - 6.2. REFER TO DRAWINGS OF ALL DISCIPLINES FOR COORDINATION.
 - 6.3. THE G.C. SHALL PROVIDE COORDINATION DRAWINGS PRIOR TO INSTALLING ANY UTILITIES.
 - 6.4. THE G.C. IS RESPONSIBLE FOR PROVIDING COORDINATION DRAWINGS FOR ALL WORK ABOVE CEILINGS.
 - 6.5. SCOPE OF WORK LINES:
 - 7.1. SCOPE OF WORK LINES SHOW THE GENERAL AREA OF THE PROJECT - ADDITIONAL RELATED WORK MAY OCCUR OUTSIDE OF THESE LINES - SEE ALL CONTRACT DOCUMENTS FOR COMPLETE SCOPE OF WORK.
 - 7.2. ALL WORK OUTSIDE OF THE SCOPE OF WORK AREA IS TO BE DONE OFF HOURS AND SCHEDULING COORDINATED WITH THE HOSPITAL'S PROJECT MANAGER.
 - 7.3. ALL WORK IS TO BE LIMITED TO THAT SHOWN ON THE CONSTRUCTION DOCUMENTS, NO ADDITIONAL WORK SHALL BE DONE WITHOUT PRIOR WRITTEN APPROVAL FROM THE HOSPITAL'S PROJECT MANAGER.
 - 7.4. BALANCING: THE G.C. SHALL PROVIDE AIR AND WATER BALANCING - REFER TO MECHANICAL DRAWINGS.
 - 7.5. CONTROLS: THE OWNER WILL PROVIDE TEMPERATURE CONTROLS - REFER TO MECHANICAL DRAWINGS.
 - 7.6. PENETRATION PERMITS:
 - 7.1.1. THE G.C. SHALL ACQUIRE PENETRATION PERMITS FROM THE HOSPITAL PRIOR TO MAKING ANY PENETRATIONS IN WALLS OR FLOORS.
 - 7.1.2. ALL CONTRACTORS SHALL ADHERE TO THE HOSPITAL'S CURRENT WALL, CEILING AND FLOOR PENETRATION REGULATIONS.
 - 7.7. INFECTION CONTROL: ALL CONTRACTORS SHALL ADHERE TO THE HOSPITAL'S INFECTION CONTROL REQUIREMENTS.
 - 7.8. SEE SHEET G1-1 FOR ADDITIONAL INFECTIOUS CONTROL NOTES.
 - 7.9. INTERIM LIFE SAFETY MEASURES: ALL CONTRACTORS SHALL ADHERE TO THE HOSPITAL'S INTERIM LIFE SAFETY MEASURES REQUIREMENTS.
 - 7.10. ALL BUILDING SHUTDOWNS SHALL BE SCHEDULED WITH THE HOSPITAL'S PROJECT MANAGER AND DONE OFF HOURS.
 - 7.11. SCANNING: THE G.C. SHALL SCAN ALL CONCRETE FLOOR SLABS AND DECKS, AND MAP EMBEDDED ITEMS PRIOR TO CUTTING OR CORING.
 - 7.12. NOISE CONTROL:
 - 7.12.1. ALL OPERATIONS THAT PRODUCE NOISE WHICH EMANATES BEYOND THE SCOPE OF WORK AREA INTO SENSITIVE AREAS OF OCCUPIED SPACE ARE SUBJECT TO OFF HOUR WORK RESTRICTIONS. COORDINATE WITH THE HOSPITAL'S PROJECT MANAGER.
 - 7.12.2. SAWCUTTING, CORING AND JACK HAMMERING OF CONCRETE IS TO BE DONE OFF HOURS.

17. EGRESS:
 - 17.1. THE G.C. SHALL MAINTAIN REQUIRED BUILDING MEANS OF EGRESS THROUGHOUT THE DURATION OF THE WORK.
 - 17.2. THE G.C. IS RESPONSIBLE FOR MAINTAINING UNOBSTRUCTED PATHS OF EGRESS THROUGHOUT THE CONSTRUCTION SITE.
18. FIRE EXTINGUISHERS: THE G.C. SHALL PROVIDE AND MAINTAIN TEMPORARY FIRE EXTINGUISHERS WITHIN ALL DEMOLITION AND CONSTRUCTION AREAS THROUGHOUT THE DURATION OF THE WORK.
19. SUBMITTALS:
 - 19.1. THE G.C. SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS FOR REVIEW BY THE ARCHITECT AND ENGINEERS.
 - 19.2. EACH SHOP DRAWING SHALL INCLUDE A 4-INCH WIDE 3-INCH TALL BLANK BLOCK IN THE LOWER RIGHT CORNER OF THE SHEET FOR THE ARCH/ENS REVIEWER'S STAMP.
20. RECORD DOCUMENTS (AS-BUILT):
 - 20.1. THE G.C. IS TO RECORD CHANGES TO THE PROJECT DURING CONSTRUCTION AND SHALL SUBMIT A SET OF AS-BUILT DRAWINGS IN CAD FORMAT TO THE OWNER THAT INCORPORATE NEW AND REVISED DRAWINGS, SKETCHES, AND OTHER FIELD MODIFICATIONS AT THE CONCLUSION OF THE PROJECT.
 - 20.2. EACH DRAWING SHALL INCLUDE A BLOCK WITH THE WORDS "AS-BUILT DRAWING", THE COMPANY NAME AND THE DATE.
21. THE HOSPITAL'S FACILITIES MANAGEMENT IS NOT RESPONSIBLE FOR VERIFICATION OF DRAWINGS AND/OR DIMENSIONS SUBMITTED BY OTHERS.
22. BADGES: ALL GENERAL CONTRACTOR AND SUB-CONTRACTOR PERSONNEL ARE REQUIRED TO COMPLY WITH HOSPITAL TRAINING REQUIREMENTS AND WEAR HOSPITAL ISSUED CONTRACTOR IDENTIFICATION BADGES AT ALL TIMES WHILE ON HOSPITAL PROPERTY. COORDINATE WITH THE HOSPITAL'S PROJECT MANAGER.
23. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING NEW AND EXISTING WALL, CEILING, AND FLOOR FINISHES WITHIN ALL CONSTRUCTION AREAS AT ALL TIMES.
24. ALL DELIVERY AND REMOVAL OF MATERIALS THROUGH THE BUILDING CORRIDORS, STAIRS, ELEVATORS, ETC. ARE TO BE OFF HOURS. THE ROUTES AND SCHEDULES ARE TO BE COORDINATED WITH THE HOSPITAL'S PROJECT MANAGER. THE G.C. SHALL REPAIR ANY DAMAGE TO CORRIDORS, ETC. CAUSED DURING DEMOLITION AND CONSTRUCTION.
25. THE PAINTING CONTRACTOR IS RESPONSIBLE FOR PAINTING SPECIFIC ITEMS AS IDENTIFIED WITHIN THE M/E/P SECTION OF THESE DOCUMENTS.
26. THE G.C. SHALL COORDINATE THE FOLLOWING WITH THE HOSPITAL'S PROJECT MANAGER:
 - 26.1. DUMPSTER LOCATION.
 - 26.2. PARKING FOR CONSTRUCTION WORKERS.
 - 26.3. PARKING OF CONSTRUCTION VEHICLES.

DEMOLITION AND CONSTRUCTION - GENERAL

1. REFER TO FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR RESPECTIVE SCOPE OF WORK.

2. COORDINATE WITH M/E/P DRAWINGS FOR ADDITIONAL REQUIRED WORK NOT SHOWN ON ARCHITECTURAL DRAWINGS.

DEMOLITION - FLOOR PLAN

1. CONSTRUCTION BARRIERS AND ANTEROOMS:
 - 1.1. PROVIDE AND MAINTAIN TEMPORARY CONSTRUCTION BARRIERS AS NECESSARY TO SEGREGATE THE CONSTRUCTION AREAS FROM OCCUPIED AREAS.
 - 1.2. PROVIDE A TEMPORARY ANTEROOM AT THE ENTRANCE TO THE CONSTRUCTION SITE WITH 3'-0" X 1'-0" DOORS - OUTER DOOR TO BE 45 MIN. RATED.
 - 1.3. PROVIDE OUTER DOOR OF ANTEROOM WITH A COMBINATION LOCKSET; SCHLAGE CO-100 OFFLINE ELECTRONIC LOCK WITH EVEREST CORE.
 - 1.4. HARD CONSTRUCTION BARRIERS ARE TO BE CONSTRUCTED AS DETAILED.
 - 1.5. "ZIP" WALL AND PLASTIC BARRIERS ARE TO BE CONSTRUCTED USING "ZIP" POLES AND FIRE TREATED PLASTIC ENTRANCES ARE TO BE ZIPPERED. PLASTIC BARRIERS ARE TO EXTEND FROM FLOOR TO CEILING AND FROM WALL TO WALL. SEAL ALL PLATES TO PLASTIC JOINTS AND SEAL PLASTIC TO FLOOR, WALLS, AND CEILINGS.
 - 1.6. SEAL ALL DOORS AND OTHER OPENINGS WITHIN CONSTRUCTION AREAS THAT LEAD TO ROOMS AND AREAS BEYOND THE WORK AREA.
 - 1.7. CONSTRUCT, REMOVE, AND RECONSTRUCT BARRIERS AS NEEDED AS CONSTRUCTION PROGRESSES. CONFIGURE AS NECESSARY TO ALLOW ACCESS TO OCCUPIED AREAS.
 - 1.8. PROVIDE NEGATIVE AIR MACHINES AND MAINTAIN NEGATIVE AIR IN THE CONSTRUCTION SITE AT ALL TIMES.
 - 1.9. BARRIERS SHALL BE CONSTRUCTED PRIOR TO COMMENCING WITH ANY DEMOLITION/CONSTRUCTION WORK.
 - 1.10. AFTER FINAL REMOVAL OF BARRIERS, PATCH WALLS AND FLOORS, REPLACE CEILING TILES, AND PAINT WALLS AND SOFFITS, TO MATCH, IF NECESSARY.
 - 1.11. A MOBIL CONTAINMENT UNIT MAY BE UTILIZED IN AREAS WHERE MINIMAL ABOVE CEILING WORK IS TO BE DONE - INFECTION CONTROL OFFICER APPROVAL REQUIRED.
 - 1.12. PROTECT ALL ITEMS TO REMAIN FROM DAMAGE (HEAD WALLS, CASEWORK, EQUIPMENT, DOORS, FINISHES, ETC.) DURING DEMOLITION AND CONSTRUCTION.
 - 1.13. REMOVE AND SALVAGE ALL WALL MOUNTED ITEMS I.E., DISPENSERS, GRAB BARS, TOUEL BARS, RECEP_TABLES, MIRRORS, SHELVES, BOARDS, GLOVE BOXES, CLIP BOARD HOLDERS, ETC.
 - 1.14. THE G.C. IS RESPONSIBLE FOR REMOVAL OF ALL ITEMS INDICATED AS DASHED ON THE DEMOLITION DRAWINGS INCLUDING: WALLS, DOORS, FRAMES, CEILINGS, LIGHTS, CASE GOODS, FLOORING, DIALYSIS BOXES, CORNER GUARDS, WALL MOUNTED ITEMS, CEILING MOUNTED ITEMS, ETC. IN THE CONSTRUCTION AREAS. REFER TO NEW ARCH, ELEC, PLUMB, MECH AND FIRE PROTECTION DRAWINGS FOR COORDINATION.
 - 1.15. SCORING: PROVIDE SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF BUILDING ELEMENTS TO REMAIN THAT ARE ADJACENT TO AREAS OF DEMOLITION.
6. CUTTING AND PATCHING OPENINGS IN EXISTING CONSTRUCTION:
 - 6.1. COORDINATE CUTTING OPENINGS FOR WORK ON CONCEALED UTILITIES. SEE M/E/P DRAWINGS.
 - 6.2. PROVIDE ALL OPENINGS IN EXISTING CONSTRUCTION REQUIRED BY ALL TRADES.
 - 6.3. REMOVE CONSTRUCTION MATERIALS (DRYWALL, STUDS, MASONRY, ETC.) AND FINISHES AS NECESSARY TO ACCESS WORK CONCEALED WITHIN WALL AND CEILING CAVITIES.
 - 6.4. AT PIPE CHASES AS NECESSARY TO RELOCATE OR TIE-IN UTILITIES.
 - 6.5. AS NECESSARY TO INSTALL FIRE TREATED WOOD BLOCKING FOR NEW CASEWORK.
 - 6.6. AS NECESSARY TO INSTALL MISCELLANEOUS WALL MOUNTED ITEMS.
 - 6.7. AS NECESSARY TO INSTALL CONCEALED ELECTRICAL CONDUIT.
 - 6.8. PATCH BACK TO MATCH EXISTING - FINISH PER FINISH SCHEDULE - SEE M/E/P DRAWINGS FOR FULL SCOPE OF WORK.
2. PATCHING AND MAINTAINING FIRE RATINGS:
 - 2.1. REPAIR AND MAINTAIN ALL EXISTING FIRE RATED CONSTRUCTION.
 - 2.2. PATCH OPENINGS FOR WORK ON CONCEALED UTILITIES MADE IN EXISTING FIRE RATED CONSTRUCTION WITH MATCHING FIRE RATED CONSTRUCTION.
 - 2.3. PROVIDE FIRESTOPPING AT ALL NEW AND EXISTING PENETRATIONS IN CORRIDOR WALLS INCLUDING, BUT NOT LIMITED TO, NEW FIRE DAMPERS, CONDUIT PENETRATIONS, PIPE PENETRATIONS, CABLE TRAYS, ETC.
 - 2.4. REPAIR EXISTING FIRE RATED FLOOR CONSTRUCTION AT ALL NEW AND EXISTING FLOOR PENETRATIONS INCLUDING, BUT NOT LIMITED TO, PIPE, DUCT AND CONDUIT PENETRATIONS.
 - 2.5. FILL IN ALL PENETRATIONS WITH LIKE CONSTRUCTION TO MAKE ALL NEW AND EXISTING WALLS AND FLOORS SHOE TIGHT.
 - 2.6. WHERE NEW UTILITIES ARE REMOVED, THE G.C. IS RESPONSIBLE FOR FIRESTOPPING THE ABANDONED FLOOR OR WALL PENETRATIONS.
 - 2.7. ALL NEW AND EXISTING FLOOR PENETRATIONS SHALL BE FIRESTOPPED TO MAINTAIN 2 HR RATINGS BETWEEN FLOORS.
 - 2.8. PROVIDE FITTING OF FIREPROOFING AT COLUMNS AND BEAMS AS NECESSARY.
3. FLOOR PATCH AND FLOOR LEVELING:
 - 3.1. THE GENERAL CONTRACTOR SHALL REPAIR SUBFLOOR DEFECTS WITH A TOLERANCE GREATER THAN 1/8-INCH INCLUDING CRACKS, HOLES, DIPS, DEPRESSIONS EXISTING OR CAUSED BY THE REMOVAL OF WALLS AND OTHER ELEMENTS; BUMPS AND RIDGES, AND PROVIDE A SURFACE THAT IS READY TO ACCEPT SUBSURFACE LEVELING COMPOUNDS AND UNDER ATTENT IN PREPARATION FOR FINISH FLOORING INSTALLATION.
 - 3.2. THE FLOORING CONTRACTOR SHALL FILL SUBFLOOR DEFECTS WITH A TOLERANCE LESS THAN 1/8-INCH INCLUDING CRACKS, HOLES, DIPS, DEPRESSIONS, BUMPS AND RIDGES AND OTHERWISE PROVIDE COMPLETE FLOOR PREPARATION AS REQUIRED, THAT IS SMOOTH EVEN AND GENERALLY FLAT, WITHIN TOLERANCES, AND IS COMPATIBLE WITH ALL NEW AND EXISTING SUBFLOORING AND NEW FINISH FLOORING: 1/8" THICKNESS TOPPING AT VCT AND SHEET VINYL LOCATIONS, TROUFL APPLIED LEVELING COMPOUND AT CARPET LOCATIONS, FEATHER TO EXISTING SUBSTRATES THAT ARE IN GOOD CONDITION AND FEATHER AS NECESSARY FOR PROPER DOOR CLEARANCES.
4. PAINTING:
 - 4.1. ALL NEWLY CONSTRUCTED ELEMENTS SHALL BE PAINTED AS INDICATED.

CONSTRUCTION - FLOOR PLAN

1. PATCHING TO MATCH EXISTING.

- 1.1. PATCH CONSTRUCTION THAT IS ALTERED OR DISTURBED BY THE INSTALLATION, RELOCATION, OR REMOVAL OF FIRE PROTECTION, PLUMBING, HVAC, ELECTRICAL, ETC. TO MATCH EXISTING.
- 1.2. PATCH ALL AREAS ADJACENT TO, OR DISTURBED BY, NEW CONSTRUCTION, OR THE REMOVAL OF EXISTING CONSTRUCTION, TO MATCH EXISTING.
- 1.3. PATCH ALL DEFECTS IN, AND PREPARE, ALL EXISTING SURFACES AND ITEMS WHICH ARE INDICATED TO RECEIVE NEW FINISHES THAT ARE TO MATCH EXISTING.
- 1.4. PATCH TO MATCH EXISTING INCLUDES ALL SUBSTRATES (STRUCTURAL AND NON-STRUCTURAL) AND FINISH MATERIALS (FLOORING, BASE, WALL COVERING, PAINT, VARNISH, TRIM, SUSPENDED CEILING SYSTEMS, ETC.)
- 1.5. ALL SURFACES THAT ARE TO BE PAINTED SHALL BE PREPARED, PRIMED, AND PAINTED WITH TWO FINISH COATS.
- 1.6. PREPARATION INCLUDES THE REMOVAL AND DISPOSAL OF OLD FINISHES AND WALL COVERINGS, PATCHING, AND PREPARATION OF SUBSTRATES AND SURFACES AS REQUIRED TO RECEIVE NEW FINISHES.
- 1.7. PAINTING IS TO EXTEND FROM FLOOR TO CEILING AND FROM CORNER TO CORNER OF EACH WALL SURFACE.
5. WOOD BLOCKING:
 - 5.1. ALL CONCEALED WOOD BLOCKING IS TO BE FIRE RETARDANT TREATED.
 - 5.2. PROVIDE FIRE RETARDANT WOOD BLOCKING WITHIN WALL CAVITIES FOR FASTENING ALL WALL MOUNTED ITEMS, TOILET ACCESSORIES, CRASH RAILS, MILLWORK, CASEWORK, MONITOR BRACKETS, WALL MOUNTED EQUIPMENT, SHOWER SEATS, GRAB BARS, DOOR STOPS, ETC.
6. WHERE NEW WALL CONSTRUCTION IS TO FILL AN OPENING OR TO JOIN EXISTING WALLS, THE NEW FINISH IS TO BE FLUSH WITH THE EXISTING - BOTH SIDES - U.O.N.
7. ACCESS PANELS: PROVIDE ACCESS PANELS REQUIRED IN NEW AND EXISTING CONSTRUCTION (WALLS, CEILINGS, ETC.) - COORDINATE THE SIZE, LOCATION AND RATING OF ALL ACCESS PANELS REQUIRED BY ALL DISCIPLINES - SEE M/E/P DRAWINGS.
8. DO NOT SCALE DRAWINGS; ALL DIMENSIONS ARE CRITICAL AND/OR CODE MANDATED AND MUST BE MAINTAINED - DIMENSIONS WITH A PLUS/MINUS SIGN (+/-) ARE NOT CRITICAL OR SUBJECT TO VERIFICATION AND MAY VARY AFTER RECEIVING APPROVAL FROM THE ARCHITECT.
9. DIMENSIONS ARE TO FACE OF FINISH MATERIALS - U.O.N.
10. DOOR OPENINGS: THE START OF OPENING IS TO BE 6'-4" MIN FROM THE FINISHED FACE OF THE PERPENDICULAR PARTITION ON THE HINGE SIDE OF THE DOOR - U.O.N.
11. WRAP VINYL BASE AROUND FLOOR MOUNTED CASEWORK TIE KICKS AND EXPOSED END PANELS.
12. PROVIDE 3/4" X 48" X 36" PAINTED FLYWOOD PANELS FOR ALL ELECTRICAL EQUIPMENT IN ELECTRICAL UTILITY CLOSETS. SEE ELECTRICAL DRAWINGS.
13. TO INSTALL SOAP, LOTION, PURELL, SHAMPOO, PAPER TOWEL, TOILET PAPER, DISPENSERS, AND SHARPS CONTAINERS, FURNISHED BY THE HOSPITAL, FINAL LOCATION OF SOAP, LOTION, PURELL, SHAMPOO, AND SHARPS CONTAINERS ARE TO BE COORDINATED WITH THE HOSPITAL'S INFECTION CONTROL OFFICER. REFER TO SHEET G1-1 FOR TYPICAL MOUNTING HEIGHTS UNLESS OTHERWISE NOTED.
14. G.C. IS TO PROVIDE ALL GRAB BARS, MIRRORS, AND ALL OTHER SINK AND TOILET ACCESSORIES NOT FURNISHED BY THE OWNER. REFER TO SHEET G1-1 FOR TYPICAL MOUNTING HEIGHTS UNLESS OTHERWISE NOTED.
4. PAINTING:
 - 4.1. ALL NEWLY CONSTRUCTED ELEMENTS SHALL BE PAINTED AS INDICATED.

DEMOLITION - REFLECTED CEILING PLAN

1. G.C. IS RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF EXISTING CEILING TILES TO ACCOMMODATE ALL NEW UTILITY WORK ABOVE CEILINGS.
2. DEMOLISH TO BOUNDARY LINES - CEILING DEMOLITION TO TERMINATE ALONG CEILING GRID LINES - SUPPORT CUT GRID PRIOR TO DEMOLITION.
3. REMOVE AND DISPOSE OF EXISTING ACOUSTICAL CEILING SYSTEMS AND THEIR ASSOCIATED COMPONENTS SHOWN AS DASHED.
4. REMOVE AND DISPOSE OF EXISTING HARD CEILINGS AND THEIR ASSOCIATED COMPONENTS SHOWN AS DASHED.
5. REMOVE EXISTING ABANDONED ARCHITECTURAL, ELECTRICAL, AND MECHANICAL COMPONENTS THAT ARE CONCEALED IN THE CAVITY ABOVE ANY DROPPED CEILINGS THAT ARE SHOWN TO BE REMOVED. RE-SUPPORT AFFECTED EXISTING ELEMENTS THAT ARE TO REMAIN WITH NEW HANGERS, SUPPORTS, ETC.

CONSTRUCTION - REFLECTED CEILING PLAN

1. REFER TO THE NEW REFLECTED CEILING PLAN FOR THE LOCATION AND LAYOUT OF THE NEW CEILING GRID AND ITS COMPONENTS.

- 1.1. THE CEILING GRID SHALL BE CENTERED ON THE CENTER OF THE ROOM, EITHER BY THE CENTERLINE OF THE GRID OR BY THE ACOUSTICAL CEILING TILE CENTER, UNLESS OTHERWISE INDICATED.
- 1.2. ALIGN CEILING GRID WHERE NEW GRID ADJOINS EXISTING - U.O.N.
- 1.3. THE CONTRACTOR SHALL CONTACT THE PROJECT MANAGER PRIOR TO THE INSTALLATION OF ANY CEILING GRID THAT DOES NOT FOLLOW THE NEW LAYOUT TO SHOWN, AND SHALL WAIT FOR DIRECTION TO PROCEED.
2. WHEN MODIFYING AN EXISTING CEILING GRID, USE SIMILAR ACCESSORIES, I.E., GRID PROFILE, CEILING TILE TYPE, AND END PROFILE.
3. PATCH DAMAGED EXISTING PLASTER/DRYWALL CEILINGS WITHIN SCOPE OF WORK AREA. FINISH AS PER FINISH SCHEDULE.
4. G.C. TO COORDINATE THE LOCATION AND INSTALLATION OF ALL CEILING COMPONENTS AND CEILING MOUNTED ITEMS.

DEFINITIONS

1. "REMOVE": REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN THE OWNER'S PROPERTY.
2. "REMOVE AND SALVAGE": ITEMS INDICATED TO BE REMOVED AND SALVAGED REMAIN THE OWNER'S PROPERTY. REMOVE, CLEAN, AND PACK OR CRATE ITEMS TO PROTECT AGAINST DAMAGE. IDENTIFY CONTENTS OF CONTAINERS AND DELIVER TO OWNER'S DESIGNATED STORAGE AREA.
3. "REMOVE AND REINSTALL": REMOVE ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE, REINSTALL ITEMS IN THE SAME LOCATIONS OR IN LOCATIONS INDICATED.
4. "EXISTING TO REMAIN": PROTECT CONSTRUCTION EXISTING TO REMAIN AGAINST DAMAGE AND BOILING DURING SELECTIVE DEMOLITION WHEN PERMITTED BY THE PROJECT MANAGER. ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS.
5. "ENTIRETY": INCLUDES ENTIRE ELEMENT INDICATED. ALL EXPOSED OR CONCEALED PORTIONS, AND ALL ASSOCIATED ITEMS, ARCHITECTURAL ACCESSORIES, FIRE PROTECTION, PLUMBING, MEDICAL GAS, MECHANICAL, AND ELECTRICAL, ETC.
6. "FURNISH": SUPPLY AND DELIVER TO THE PROJECT SITE READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS.
7. "INSTALL": DESCRIBES OPERATIONS AT THE PROJECT SITE INCLUDING THE ACTUAL UNLOADING, UNPACKING, ASSEMBLY, ERECTING, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS.
8. "PROVIDE": FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE.
9. SEE SHEETS G1-1 AND D1-1 FOR ADDITIONAL DEFINITIONS.
10. MUST, SHALL, AND WILL: AN ORDER REQUIREMENT, OR OBLIGATION.

Lifespan

Delivering health with care™

593 Eddy Street

Providence, Rhode Island 02903

Rhode Island Hospital

Facilities Management

Design Team

17 Virginia Avenue

Providence, RI 02905

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KEY PLAN
N.T.S.

Project Title
METACOM
PRIMARY
CARE ASSOC.

639 METACOM AVE.
WARREN, RI
Project Information

W.O. No.: 112114

Date: 8-3-18

Drawn By: JW

Designed By: JW

Checked By: RQ



Lifespan

Delivering health with care

593 Eddy Street
Providence, Rhode Island 02903

Rhode Island Hospital

Facilities Management

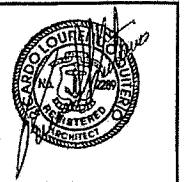
Design Team

17 Virginia Avenue

Providence, RI 02905

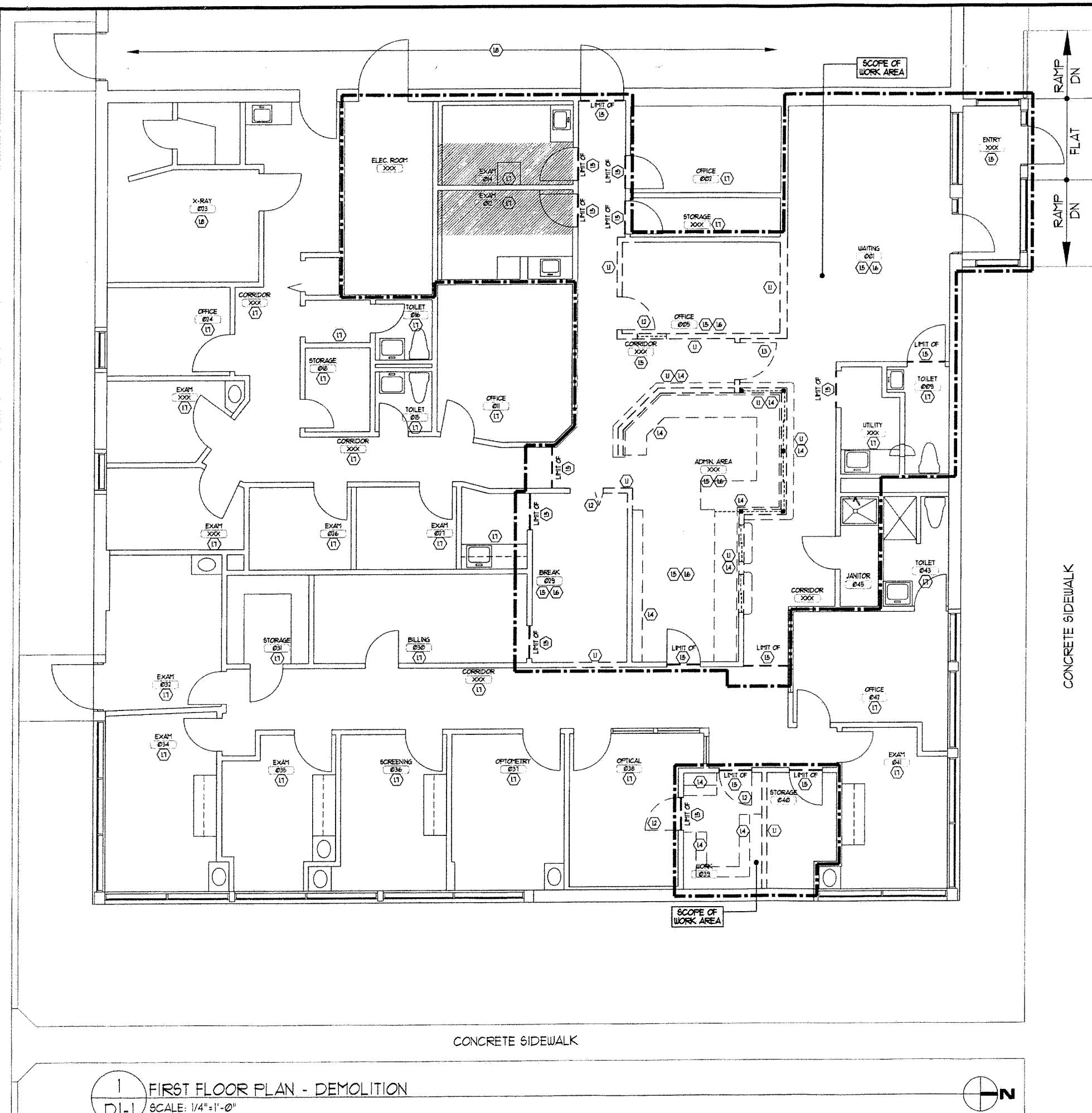
Tel: 401 444-8000

Fax: 401 444-8902



KEYNOTES - DEMOLITION - FLOOR PLAN

- (1) REMOVE WALLS OR PORTION OF WALLS AS SHOWN DASHED.
- (2) REMOVE DOOR AND FRAME COMPLETELY.
- (3) REMOVE AND SALVAGE DOOR, FRAME AND HARDWARE FOR RE-USE IN PROPOSED NEW LAYOUT.
- (4) REMOVE CASEWORK AND ALUMINUM / GLASS WINDOW SYSTEM COMPLETELY.
- (5) REMOVE EXISTING FLOOR FINISHES + WALL BASE COMPLETELY.
- (6) REMOVE & RETURN TO CLIENT EXISTING EQUIPMENT, FURNITURE, ETC.
- (7) AS PART OF ALTERNATE 1 - REMOVE EXISTING WALL FINISHES (EX. VULC.) COMPLETELY. PREPARE WALLS TO RECEIVE NEW PAINTED FINISHES. ALSO, PREPARE DOORS / FRAMES TO RECEIVE NEW PAINTED FINISHES.
- (8) NO WORK IN THIS AREA - NOT IN CONTRACT.





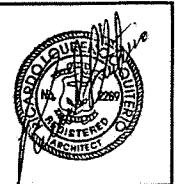
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593 Eddy Street
Providence, Rhode Island 02903

Rhode Island Hospital
Facilities Management

Design Team
17 Virginia Avenue
Providence, RI 02905
Tel: 401 444-8000
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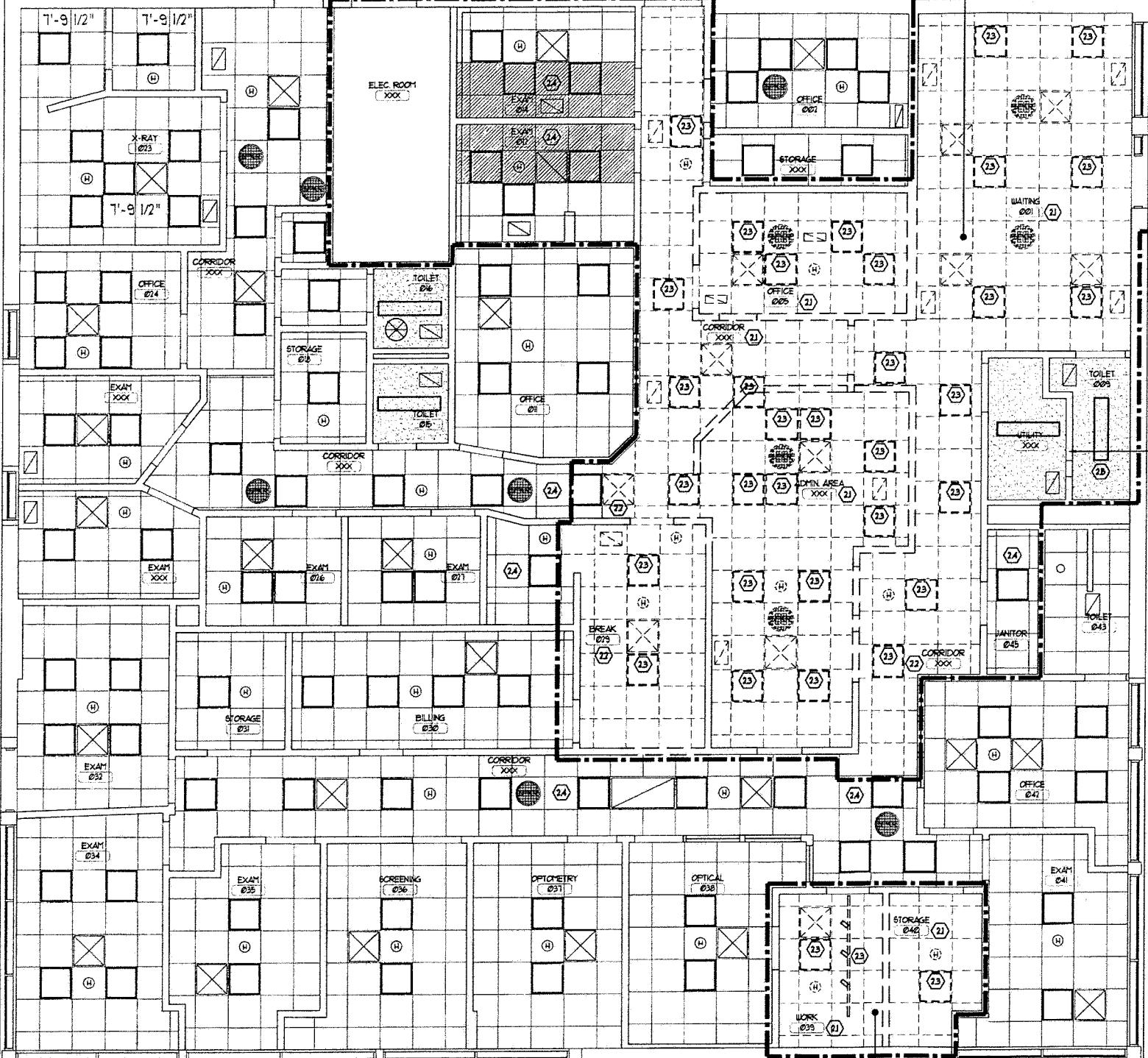


KEYNOTES - DEMOLITION - REFLECTED CEILING PLAN

- 21 REMOVE ENTIRE SUSPENDED ACOUSTICAL CEILING TILES & GRID SYSTEM, WITH ALL ASSOCIATED HARDWARE. COMPLETELY SEE M/E/P DUGS. FOR ADDITIONAL DEMOLITION NOTES OF CEILING MOUNTED ITEMS (DIFFUSERS, LIGHT FIXTURES, WIRELESS DETECTORS, ALARMS, SPEAKERS, ETC.) (NOT ALL DEMO SHOWN)
- 22 REMOVE PORTION OF SUSPENDED ACOUSTICAL CEILING TILES & GRID SYSTEM, WITH ALL ASSOCIATED HARDWARE, AS INDICATED. MANTAIN REMAINING GRID SYSTEM & TILES, LIGHTS, ETC. IN SAFE CONDITION FOR INSTALL OF NEW GRID, ETC - SEE PROPOSED REFLECTED CEILING PLAN FOR NEW LAYOUT.
- 23 REMOVE EXISTING LIGHT FIXTURES. REFER TO ELECTRICAL DUGS.
- 24 REMOVE EXISTING CEILING SYSTEM AS NECESSARY TO ACCOMMODATE NEW M/E/P WORK. REPLACE AND/OR PATCH BACK TO MATCH EXISTING. REFER TO M/E/P DUGS. FOR EXTENT OF THIS WORK.
- 25 REMOVE PORTION AND/OR SAWCUT AS REQUIRED EXISTING GIB. CEILING AS NECESSARY FOR M/E/P WORK.
- 26 REMOVE PORTION OF MEMBRANE ROOF ABOVE FOR PROPOSED M/E/P EXHAUST FAN. REFER TO S4T, A3-1 FOR ROOF DETAIL.

CONCRETE SIDEWALK

RAMP DN
FLAT



CONCRETE SIDEWALK

1

FIRST FLOOR PLAN - DEMOLITION REFLECTED CEILING LAYOUT

DO 1 SCALE 1/4"=1'-0"

N

KEY PLAN
N.T.S.

No.	Date	Remarks
Revisions		

Sheet Title
**FIRST FLOOR
PLAN -
DEMOLITION
REFLECTED CLG
LAYOUT**

Project Title
**METACOM
PRIMARY
CARE ASSOC.**

639 METACOM AVE.
WARREN, RI
Project Information

W.O. No.:112114
Date: 8-3-18
File No.:18-103
Drawn By: JW
Designed By: JW
Checked By: RQ
Scale: AS NOTED

Drawing No.

D2-1



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Providence, Rhode Island 02903

Rhode Island Hospital
Facilities Management

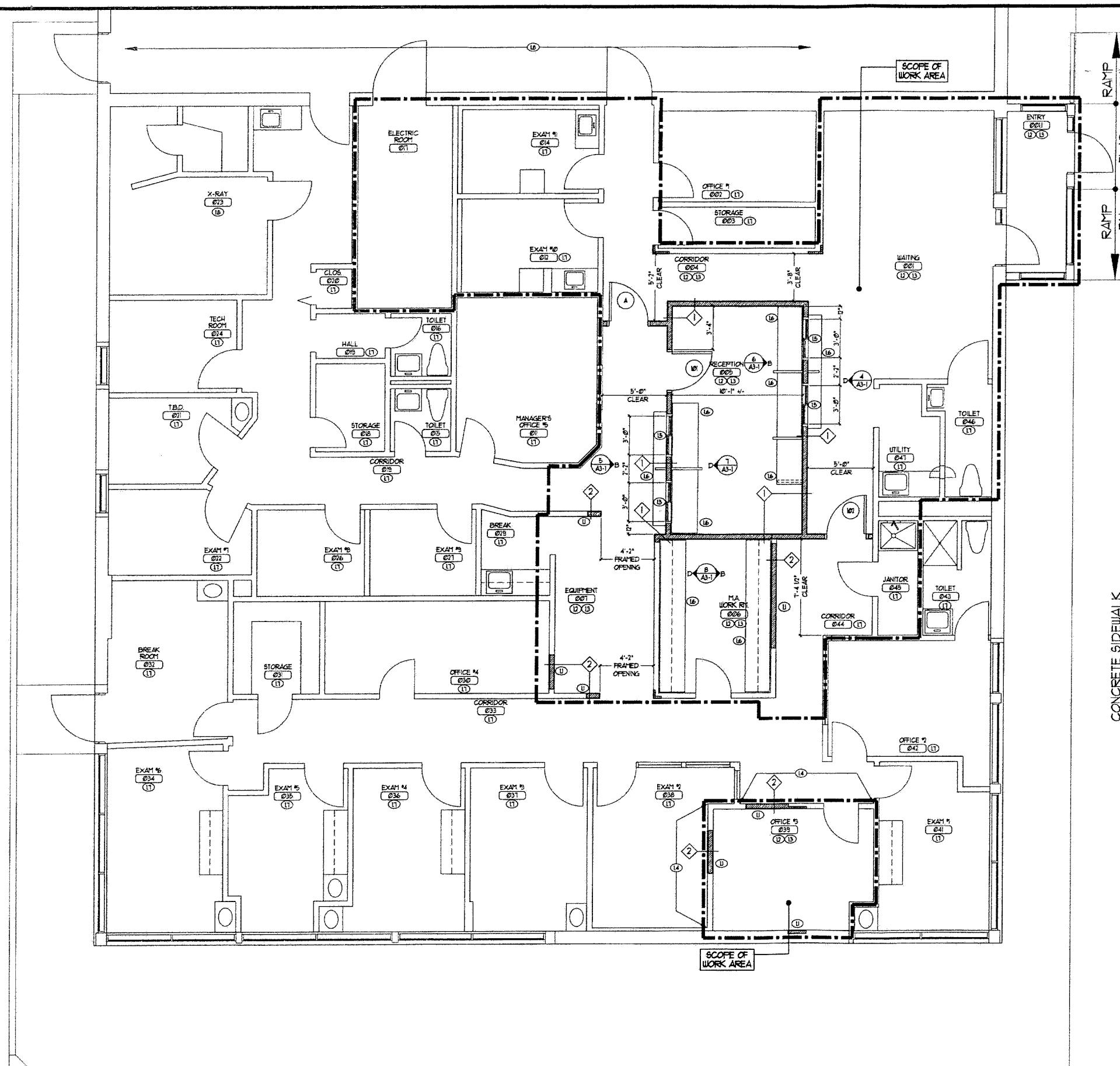
Design Team
17 Virginia Avenue
Providence, RI 02905
Tel: 401 444-8000
Fax: 401 444-8902



PROPOSED CONSTRUCTION KEY NOTES - FLOOR PLAN:

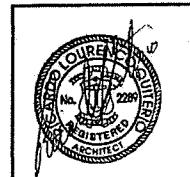
NOTE: REFER TO SHEET A4-1 FOR GENERAL CONSTRUCTION NOTES

- (1) INFILL OPENINGS WITH MATERIALS TO MATCH EXISTING PREPARE TO RECEIVE NEW PAINTED FINISHES.
- (2) PROVIDE NEW FLOOR FINISHES AND NEW WALL BASE - REFER TO SHEET A4-1 FINISH SCHEDULE.
- (3) PROVIDE NEW PAINTED WALL FINISH AND PAINTED DOORS & FRAMES.
- (4) PATCH PAINT WALL AS REQUIRED TO MATCH EXISTING.
- (5) PROVIDE NEW GLASS SLIDING PASS THROUGH WINDOW UNIT - SEE DETAILS.
- (6) PROVIDE NEW CASEWORK, REFER TO INTERIOR ELEVATIONS AND CASEWORK DETAILS FOR ADDITIONAL INFO.
- (7) AS PART OF ALTERNATE 1 - EXISTING WALLS TO BE PREPPED AND PROVIDED NEW PAINTED WALL FINISHES, PAINTED DOORS & FRAMES, SEE SHEET A4-1 FINISH SCHEDULE.
- (8) NO WORK IN THIS AREA - NOT IN CONTRACT.



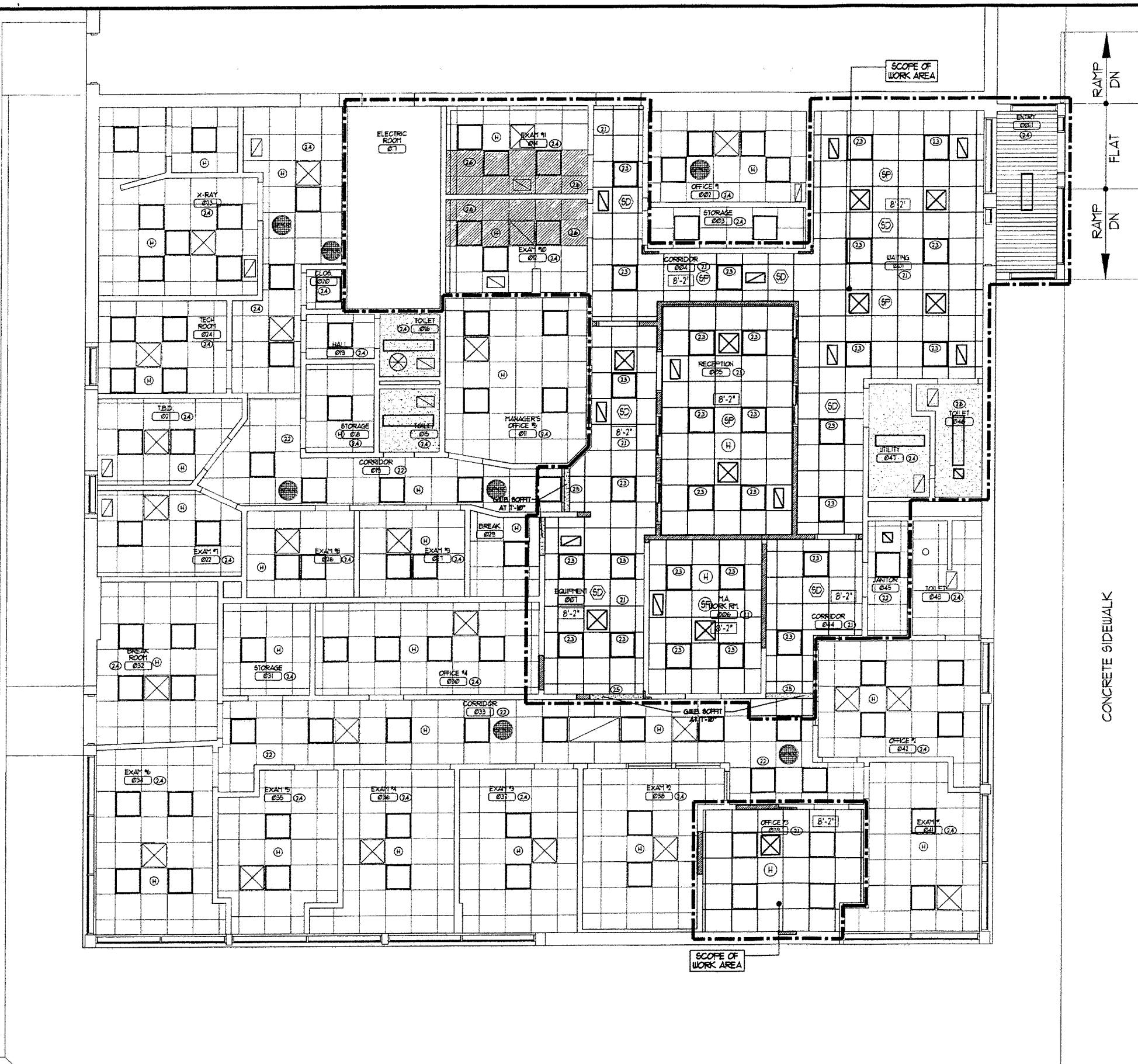
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593 Eddy Street
Providence, Rhode Island 02903Rhode Island Hospital
Facilities ManagementDesign Team
17 Virginia Avenue
Providence, RI 02905
Tel: 401 444-8000
Fax: 401 444-8902**PROPOSED CONSTRUCTION KEY NOTES - REFLECTED CEILING PLAN:**

NOTE REFER TO SHEET G FOR GENERAL CONSTRUCTION NOTES

- (21) PROVIDE NEW SUSPENDED ACOUSTICAL TILE CEILING AND METAL GRID SYSTEM - REFER TO FINISH SCHEDULE. REFER TO MEPR DRAWINGS FOR COORDINATION AND INSTALLATION OF CEILING MOUNTED ITEMS (DIFUSERS, FIRE ALARM, LIGHTING, ETC.) - SEE SEISMIC DETAIL, IF REQUIRED.
- (22) REPLACE STAINED / DAMAGED ACOUSTICAL CEILING TILES. CARRY 2% OVERAGE FOR REPLACEMENT OF NEW CEILING TILES ONLY.
- (23) PROVIDE NEW LIGHT FIXTURES - REFER TO ELECTRICAL DRAWINGS.
- (24) EXISTING CEILING SYSTEM, DIFFUSERS, LIGHT FIXTURES, ETC. TO REMAIN IN PLACE.
- (25) PROVIDE PAINTED FINISH ON NEW GULF CEILINGS AND SOFFITS.
- (26) WITHIN THIS SHADeD AREA - REMOVE AS REQUIRED CEILING TILES ONLY FOR ELECTRICAL AND DATA WORK FROM ELECTRIC ROOM 011. REFER TO ELEC DUGGS.



CONCRETE SIDEWALK

1

FIRST FLOOR PLAN - PROPOSED NEW REFLECTED CEILING LAYOUT

Δ2-1 SCALE: 1/4"=1'-0"



No.	Date	Remarks
		Revisions

Sheet Title
**FIRST FLOOR
PLAN -
PROPOSED NEW
REFLECTED
CLG. LAYOUT**

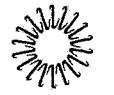
Project Title
**METACOM
PRIMARY
CARE ASSOC.**

639 METACOM AVE.
WARREN, RI
Project Information

W.O. No.:112114
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A2-1



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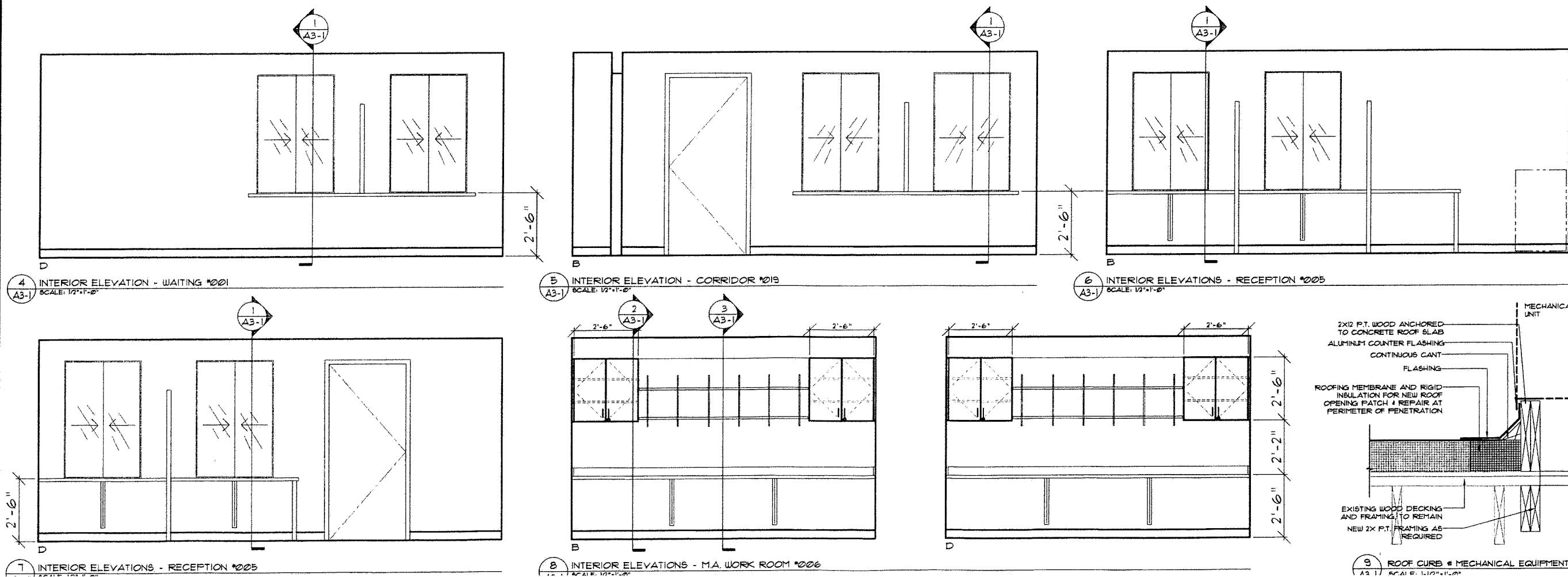
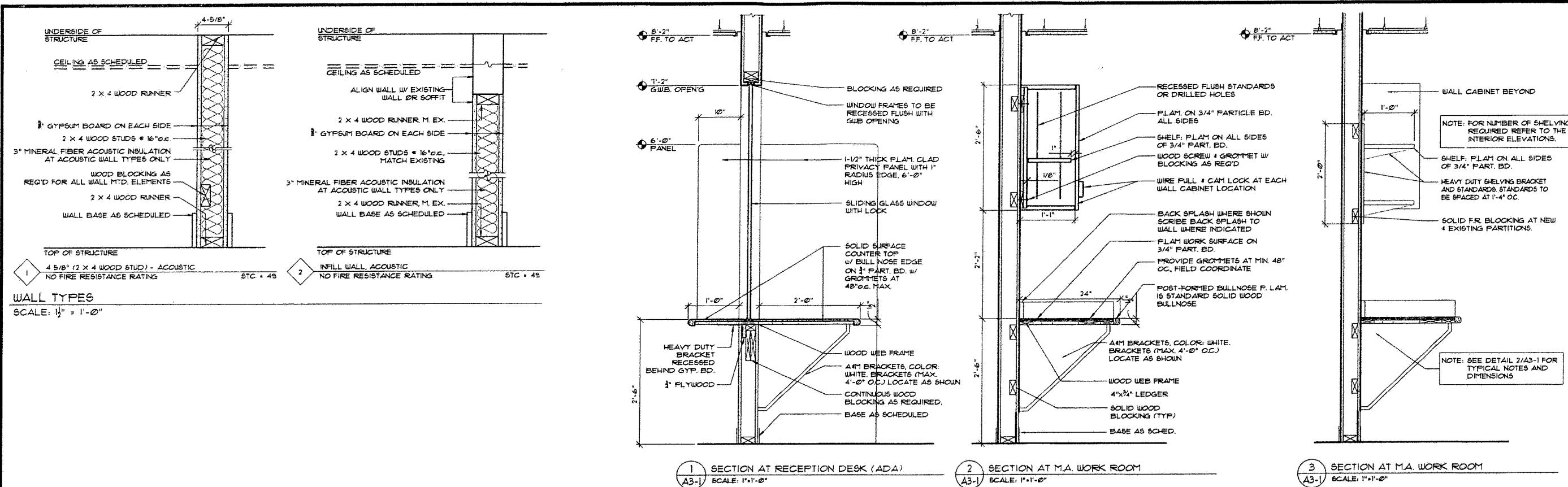
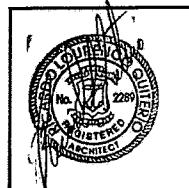
593 Eddy Street
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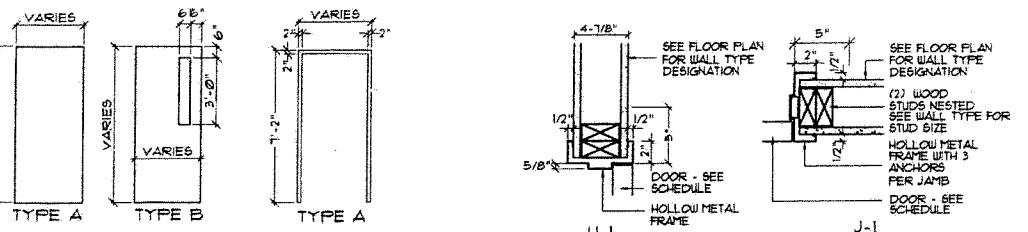
OPENING SCHEDULE

DR. DESIG.	DOORS/WINDOWS				FRAMES				FIRE RATING	LOCATION			HARD- WARE SET NO.	REMARKS	DR. DESIG.			
	SIZE		MAT.	TYPE	GL.	LOUVER	MAT.	TYPE		FROM	TO							
	W	H	T				W	H	HEAD JAMB SILL									
A	RELOCATED DOOR FRAME & HARDWARE	-	-	-	-	-	-	-	-	CORRIDOR 004	CORRIDOR 012	-	NOTE #	A				
101	3'-0"	7'-0"	1-3/4"	WD	A	-	-	-	HM	A	HI	J1	-	CORRIDOR 013	RECEPTION 005	HUM	NOTE #	101
102	3'-0"	7'-0"	1-3/4"	WD	B	-	-	-	HM	A	HI	J1	-	WAITING 001	CORRIDOR 014	HUM	NOTE #	102

REMARKS:
NOTE #: RIN PROJECT MANAGER AND GENERAL CONTRACTOR TO COORDINATE RELOCATED DOOR HARDWARE FUNCTIONS WITH CLIENTS.

OPENING SCHEDULE LEGEND

DOOR TYPES	GLASS TYPES	LG - 1/8" LEADED GLASS
ALUM - ALUMINUM	GW - 1/8" CLEAR WIRE	TF - 1/8" TEMPERED CLEAR FLOAT
WD - WOOD	DTF - 1/8" DECORATIVE TEMPERED CLEAR FLOAT	FC - 1/8" POLYCARBONATE
	FR - 1/8" FIRE RATED	INS - INSULATED GLASS



DOOR TYPES

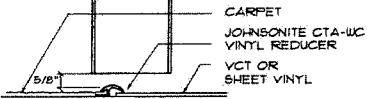
SCALE: 1/4"=1'-0"

NOTES:

ANCHOR CLIPS ON STRIKE SIDE OF DOOR FRAME TO OCCUR DIRECTLY OPPOSITE HINGE SIDE. ALL FRAMES WELDED UNLESS OTHERWISE NOTED.

TYPICAL JAMB/HEAD DETAILS

SCALE: 1 1/2"=1'-0"



THRESHOLD DETAIL

SCALE: 3"=1'-0"

DOOR HARDWARE SCHEDULE:									
SCHLAGE AL-SERIES STANDARD DUTY COMMERCIAL HANDLE STYLE: SATURN HARDWARE SET #1 - PASSAGE SET									
HINGE:	(3) STANLEY FBB118	26D							
LOCKSET:	(1) SCHLAGE AL105 FT5 - PASSAGE	26D							
DOOR STOP:	(1) IVES WS401CCV	26D							
DOOR SILENCERS:	(3) IVES SR64	RUBBER							
CLOSER:	LCN 4111	ALUMINUM							
HARDWARE SET #2:									
HINGE:	(3) STANLEY FBB118	26D							
LOCKSET:	(1) SCHLAGE TRILOGY DL71001C7D-R OR EQUAL	26D							
DOOR STOP:	(1) IVES WS401CCV	26D							
DOOR SILENCERS:	(3) IVES SR64	RUBBER							
CLOSER:	LCN 4111	ALUMINUM							

FINISH SCHEDULE

ROOM *	ROOM NAME	WALLS				FLOOR		CEILING			CASE WORK	SILL/ JAMB	COMMENTS	ROOM *	
		NORTH	EAST	SOUTH	WEST	SUBL	MATL	BASE	MATERIAL	FINISH	HEIGHT				
BASE BID															
001	ENTRY VESTIBULE	P1	P1	P1	P1	CONC	UM-1	VB	EXISTING	EX	EXISTING	--	--	0211	
001	WAITING	P1	P1	P1/P2	P1	CONC	SV-1	VB	ACT	ACT-1	B-2"	--	--	0201	
004	CORRIDOR	P1/P2	P1/P2	P1/P2	P1/P2	CONC	BY-1	VB	ACT	ACT-1	B-2"	--	--	024	
005	RECEPTION	P1	P1	P1/P2	P1	CONC	CAR-1	VB	ACT	ACT-1	B-2"	--	--	025	
006	MA WORK ROOM	P1	P1	P1/P2	P1	CONC	CAR-1	VB	ACT	ACT-1	B-2"	--	--	026	
007	EQUIPMENT	P1	P1	P1	P1	CONC	CAR-1	VB	ACT/GRUB	ACT-1	B-2"	--	--	027	
019	CORRIDOR	P1/P2	P1	P1/P2	P1/P2	CONC	EXC-1	VB	ACT	ACT-1	B-2"	--	--	019	
039	OFFICE 2	P1	P1	P1/P2	P1/P2	CONC	CAR-1	VB	ACT	ACT-1	B-2"	--	--	039	
044	CORRIDOR	P1/P2	P1	P1/P4	P1	CONC	EXC-1	CAR-1	ACT/GRUB	ACT-1	B-2"	--	--	044	
046	TOILET	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	--	046	
047	UTILITY	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	--	047	
ALTERNATE #1															
002	OFFICE 1	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	002	
003	STORAGE	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	023	
011	MANAGER'S OFFICE 5	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	011	
012	EXAM #2	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	012	
014	EXAM #1	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	014	
015	TOILET	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	015	
016	TOILET	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	016	
017	ELECTRIC ROOM	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	017	
018	STORAGE	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	018	
019	HALL	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	019	
ALTERNATE #2															
020	CLOSET	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	020	
021	TBD	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	021	
022	EXAM #1	P1/P2	P1/P2	P1/P2	P1/P2	--	--	--	--	--	--	--	NOTE #	022	
023	X-RAY	THIS AREA NOT IN CONTRACT													
024	TECH ROOM	P1/P2	P												



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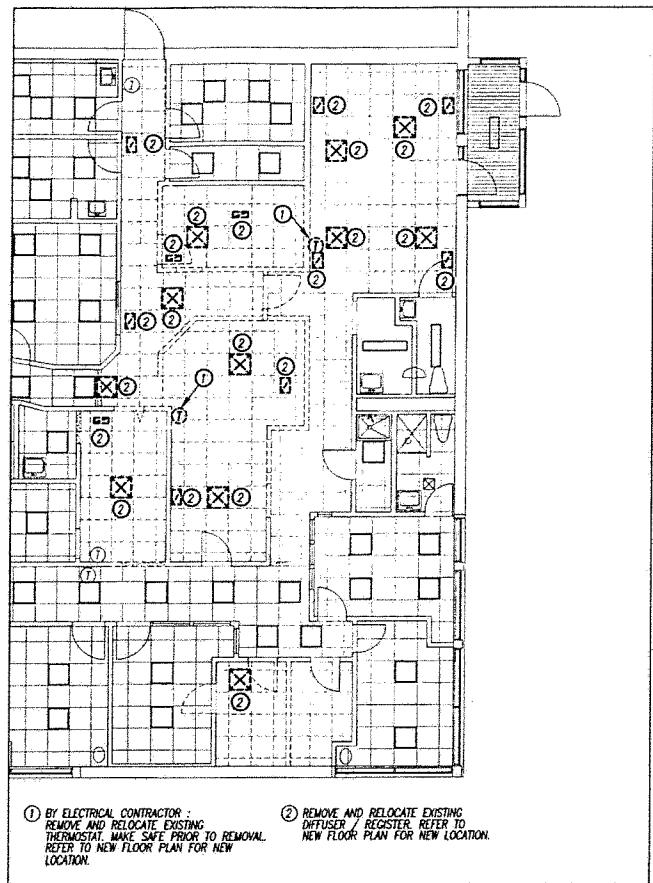
593 Eddy Street
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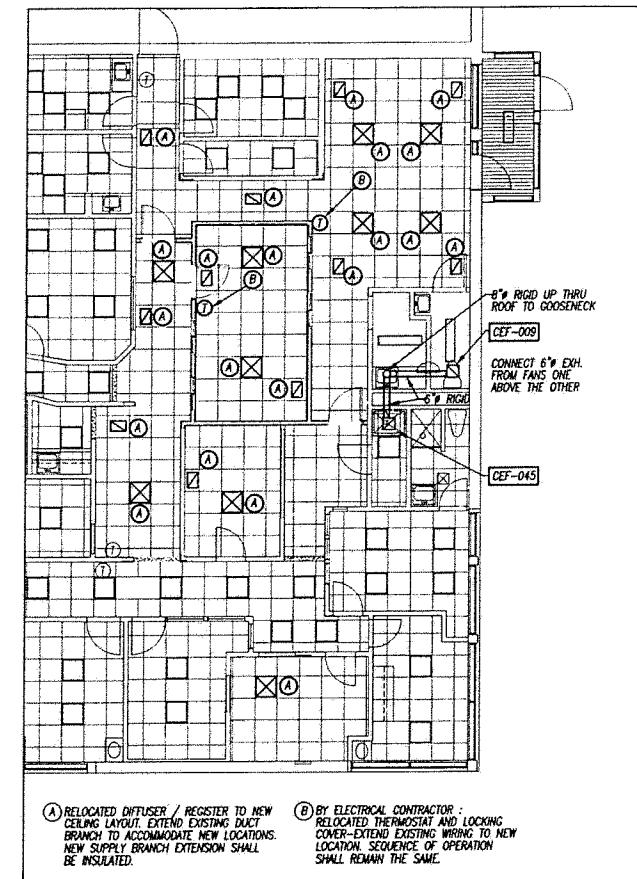


MECHANICAL NOTES	
01.	Refer to the printed form of contract and general conditions.
02.	The drawings show the extent and the general arrangement and location of the equipment, piping, and ductwork and they are shown diagrammatically. Maintain maximum headroom at all points. Space above ceiling is very limited. Before installing any ductwork or any equipment, coordinate exact location with all lights, all piping, and equipment.
03.	Coordinate and cooperate fully with the general contractor and hospital staff. Keep the job site free from debris.
04.	Each contractor shall be responsible for the removal and proper disposal of all waste material generated by their work from the hospital grounds.
05.	The mechanical/sheetmetal and piping contractors shall notify the RIH subbasement at least 72 hours before any system shutdowns can take place. Obtain permits from RIH for any shut down; connection to existing piping, equipment, etc.; and inspection of the site.
06.	Contractors are required to examine the work site and existing RIH drawings before submitting a bid. All areas will be available during normal working hours for inspection. All dimensions to be verified in the field by the contractor prior to construction. The winning mechanical/sheetmetal contractor shall be required to provide a coordination drawing showing duct and pipe locations and heights above finished floors. This drawing will be made available by RIH to other subs on the job so their equipment can be added to the drawing. No extra charge will be allowed because of any unfamiliarity with the site, drawings, specifications, and/or because of a lack of coordination with other trades.
07.	All work performed shall be done in accordance with applicable National, State, and Local building codes, ordinances, laws, RIH Terms and Conditions dated 6/30/04, RIH General Specifications dated April 3, 1995, and the RIH Mechanical Specifications. Copies of RIH specifications are available from RIH Mechanical Engineer. Any work in confined spaces shall be done in accordance with OSHA REGULATIONS.
08.	The mechanical/sheetmetal contractor and temperature control contractor shall be responsible for supplying the G.C. with all penetration sizes his work will require. The G.C. shall be responsible for the proper cutting and patching of all floor and wall penetrations that this work requires. Each contractor is responsible for proper fire stopping all penetrations his work creates.
09.	All materials and equipment including sheetmetal and flex ductwork must be approved by the RIH Mechanical Engineer. Submit shop drawings for all equipment, insulation, ductwork, piping, valves.
10.	Refer to work schedule. All work in the construction area shall be performed during scheduled hours. Any work outside of construction area (for example; connection to existing pipes outside of the project area) shall be performed during off-hours or as directed by RIH project manager. Mechanical/sheetmetal contractor shall pay all extras for fast delivery on long lead items and shall qualify the cost and delivery time in his bid.
11.	Except Automatic Temperature Control & Balancing, the mechanical/sheetmetal contractor shall be responsible for all equipment, ductwork, piping, insulation, coordination with the temperature control contractor, and any other work shown on the mechanical drawings. This work shall include the proper sealing of all floor and wall penetrations. This work may be sub out by the mechanical/sheetmetal contractor.
12.	Provide as built drawing mark ups. The drawings are required to be stamped "As Built" and signed by the contractor. The mechanical/sheetmetal contractors shall have updated as-built field mark ups at the project meetings for review. Once the mark ups have been completed by the Project Manager, the contractor shall have a copy made on a reproducible mylar drawing.
13.	Scope of work shall include, but not be limited to, the following :
A.	CEILING EXHAUST FANS
B.	RELOCATION OF DIFFUSERS / REGISTERS,
C.	INSULATION, SHEET METAL DUCTWORK,
D.	TESTING AND ADJUSTING,
E.	CONNECTION TO EXISTING SYSTEMS
F.	COORDINATION
G.	GUARANTEE
14.	Install all equipment per manufacturer's recommendations. Furnish and install all necessary equipment for complete and proper working system. Qualify in your bid any necessary work and equipment not shown on the drawings.
15.	Flexible ducts shall be Buckley Model Fabriflex 4, insulated heavy coated fiberglass cloth fabric. Flexible duct shall not exceed 4 feet in length. No flexible duct shall be used on return or exhaust ductwork.
16.	All ductwork shall be designed and installed per SMACNA medium pressure specifications. All main trunks from the unit up to the zone control devices (such as VAV boxes, reheat coils, zone dampers, induction units, etc.) shall be per SMACNA medium pressure rated for 3" min. static pressure with seal class "A". All branches after zone control device shall be installed per SMACNA low pressure (2" static) with seal class "B". All joints, seams, and screws shall be sealed air tight with a coating of sealing compound applied all over and around each potential point of leakage. All joints shall be fully sealed all around the ductwork.
17.	All supply air ducts shall be insulated with 1-1/2" FSK faced fiberglass insulation with a minimum density of 3/4 pcf. All joints shall be sealed. Duct liner shall be hospital grade, closed cell polyfoam insulation and shall be listed to UL 181 for mold and air erosion, NFPA 255, UL 723, and ASTM E-84 for flame spread and smoke density. (Buckley IMCOA or equal) All ductwork shall be insulated on all sides. Lay sections of blanket insulation on the top side of the ductwork prior to installation, where required. All round to rectangular transitions, at diffusers shall be insulated.
18.	Volume dampers shall be added at all take offs and as necessary for proper air balance and operation of the system. This shall also pertain to the return air ductwork. All volume dampers on insulated ductwork shall have elevated standoff brackets (equal to Buckley type HD or type BD).

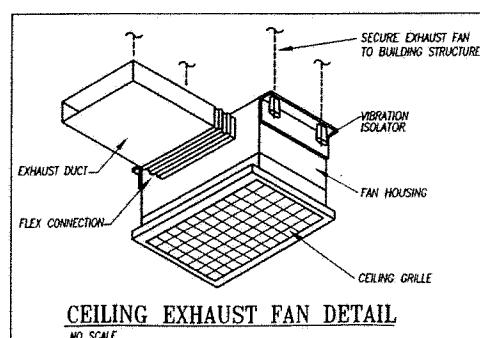
HVAC LEGEND	
<input type="checkbox"/>	RETURN AIR REGISTER
<input checked="" type="checkbox"/>	SUPPLY AIR DIFFUSER
<input type="checkbox"/>	NEW DUCTWORK
<input type="checkbox"/>	CEILING EXHAUST FAN
<input type="checkbox"/>	GENERAL CONTRACTOR
<input type="checkbox"/>	CONNECT NEW TO EXISTING
<input type="checkbox"/>	KEYED NOTE



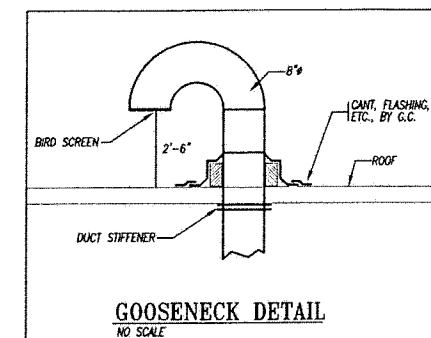
PARTIAL FIRST FLOOR PLAN EXISTING CONDITIONS and REMOVALS
SCALE: 1/8"=1'-0"



PARTIAL FIRST FLOOR PLAN NEW WORK
SCALE: 1/8"=1'-0"



CEILING EXHAUST FAN DETAIL
NO SCALE



GOOSENECK DETAIL
NO SCALE

DUCTWORK INSULATION						
	FUNCTION OF DUCTWORK	INSTALLED "T" VALUE	THICKNESS	DENSITY	INSULATION TYPE	BASED ON MANUF / MODEL
INTERIOR, CONDITIONED SPACE INSTALLATION	TREATING / COOLING SUPPLY AIR DUCTS AND PLENUM BEHIND SUPPLY AIR DIFFUSERS	4.2	1-1/2"	3/4 LB	FIBERGLASS DUCT WRAP	JOHNS MANVILLE / MORGULITE XC
	FRESH AIR INTAKE DUCTS	4.2	1-1/2"	3/4 LB	FIBERGLASS DUCT WRAP	JOHNS MANVILLE / MORGULITE XC
	PLENUM BEHIND ALL LOUVERS	4.2	1-1/2"	3/4 LB	FIBERGLASS DUCT WRAP	JOHNS MANVILLE / MORGULITE XC
INTERIOR, UN-CONDITIONED SPACE INSTALLATION	TREATING / COOLING SUPPLY AIR DUCTS AND RETURN AIR DUCTS	8	3"	3/4 LB	FIBERGLASS DUCT WRAP	JOHNS MANVILLE / MORGULITE XC
	FRESH AIR INTAKE DUCTS	4.2	1-1/2"	3/4 LB	FIBERGLASS DUCT WRAP	JOHNS MANVILLE / MORGULITE XC
	PLENUM BEHIND ALL LOUVERS	4.2	1-1/2"	3/4 LB	FIBERGLASS DUCT WRAP	JOHNS MANVILLE / MORGULITE XC

EXHAUST FAN SCHEDULE									
TAG	SERVICE	TYPE	CFM	S.P.(IN)	WATTS	VOLTS/PH.	WEIGHT (LBS)	MANUFACTURER / MOD. NO.	OPERATION
CEF-009	TOILET ROOM	CEILING	100	0.25"	80	120/ 1#	10	GREENHECK SP-7	LIGHT SWITCH
CEF-045	JANITOR ROOM	CEILING	100	0.25"	80	120/ 1#	10	GREENHECK SP-7	LIGHT SWITCH

PROVIDE WITH VIBRATION ISOLATORS, FLEXIBLE CONNECTION AND PLASTER TRIM.

M-1

639 METACOM AVE.
WARREN, RI
Project Information

W.O. No.:112114

Date: 8-3-18

File No.: 18-103

Drawn By: am

Designed By: MK

Checked By: MK

Scale: AS NOTED

Drawing No.

