

# SECOND FLOOR ADDITION & GROUND FLOOR RENOVATION

3801 WEST FULLERTON AVENUE, CHICAGO, ILLINOIS 60647

07.24.18 - ISSUED FOR ZONING REVIEW  
 09.13.18 - ISSUED FOR ZONING CORRECTIONS  
 10.18.18 - ISSUED FOR ZONING CORRECTIONS

PERMIT APPLICATION #100773694

ARCHITECT:

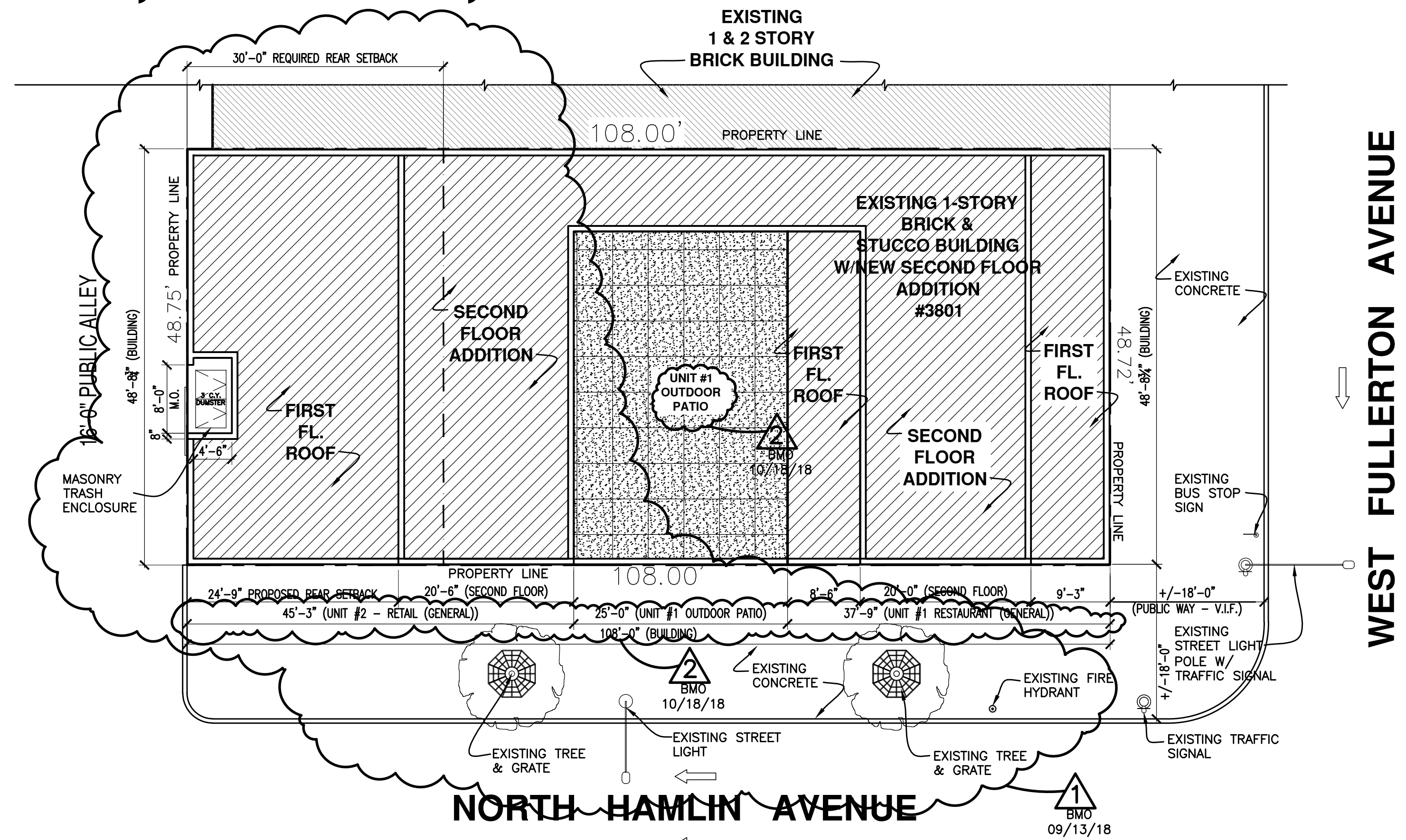
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**KGZ CONSULTING ENGINEERS, LTD.**

MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL ENGINEERS  
 1523 PLAINFIELD RD., SUITE 2. JOLIET, IL 60435  
 PH (815) 714-2818 FAX (815) 714-2817



**SITE PLAN**  
 SCALE: 3/32" = 1'-0"  
 0 8 16 24 32

**MATERIALS & SYMBOLS**

DETAIL NUMBER	DOOR TAG	GYPSUM WALLBOARD
SHEET No. WHERE ELEVATION IS LOCATED	REVISION TAG	RIGID INSULATION
SHEET No. WHERE SECTION IS LOCATED	FACE BRICK	BATT INSULATION
SHEET No. WHERE ELEVATION IS LOCATED	MASONRY UNIT	NEW DOOR AND FRAME (REFER TO DOOR SCHEDULE.)
PARTITION TYPE	CONCRETE	EXISTING DOOR AND FRAME TO REMAIN.
WINDOW TAG	PLYWOOD	CEILING MOUNTED, HARD WIRED SMOKE DETECTOR
	PARTICLE BOARD	CEILING MOUNTED, HARD WIRED CARBON MONOXIDE DETECTOR
	FINISH WOOD	FLOOR DRAIN
	GRANULAR FILL	
	EARTH	

**BUILDING INFORMATION**

(SEE CODE MATRIX ON SHEET G-1.0 FOR MORE INFORMATION)

**SCOPE OF WORK:**  
 ONE STORY SECOND FLOOR ADDITION CONTAINING TWO DWELLING UNITS ON EXISTING ONE STORY COMMERCIAL MASONRY BUILDING. INTERIOR REMODELING TO EXISTING FIRST FLOOR TENANT SPACE TO INCLUDE NEW OPEN COURTYARDS & GARAGE FOR TENANT PARKING. WORK TO INCLUDE MASONRY, CARPENTRY, MECHANICAL, ELECTRICAL, PLUMBING, & ROOFING.

**OCCUPANCY TYPE:**  
 FIRST FLOOR: CLASS F, MERCANTILE  
 SECOND FLOOR: CLASS A-2, RESIDENTIAL

**ZONING DISTRICT:** B3-1

**PLANNED BUILDING USE:** RESIDENTIAL DWELLING UNIT ABOVE THE GROUND FLOOR, COMMERCIAL RETAIL SALES (GENERAL), OUTDOOR PATIO & RESTAURANT (GENERAL) ON FIRST FLOOR. COMMERCIAL TENANT SPACES WILL BE BUILT-OUT UNDER SEPARATE PERMITS.

**LOT AREA:** 48.73' x 108.00' = 5,262.84 FT<sup>2</sup>

**FIRST FLOOR COMMERCIAL USE:**  
 UNIT #1 - RESTAURANT 1,814 SF  
 UNIT #1 - OUTDOOR DINING 967 SF  
 SUBTOTAL 2,781 SF

**UNIT #2 - RETAIL 1,395 SF**  
**SECOND FLOOR RESIDENTIAL USE 2,286 SF**

**FLOOR AREA RATIO: 1.2**

**GROSS FLOOR AREA:**

EXIST.	NEW	TOTALS
2ND FLR = -	+2,287.5 FT <sup>2</sup>	= 2,287.5 FT <sup>2</sup>
1ST FLR = 3,876.6 FT <sup>2</sup>	-	= 3,876.6 FT <sup>2</sup>
TOTALS = 3,876.6 FT <sup>2</sup> + 2,287.5 FT <sup>2</sup>		= 6,164.1 FT <sup>2</sup>

**BUILDING HEIGHT:** 30'-0" / MAX 38'-0"

**SETBACKS AT EXIST. BUILDING:**  
 - FRONT: = 0'-0"  
 - SIDES: = 0'-0"  
 - REAR: = 0'-0"

**SETBACKS AT NEW SECOND FLOOR ADDITION:**  
 FRONT = 9'-3"  
 EAST = 0'-0"  
 WEST = 0'-0"  
 REAR = 24'-9" ACTUAL/MIN. 30'-0" @ D.U.

**PARKING:**  
 RESIDENTIAL USE: 1 SPACE/D.U. = 2 SPACES  
 RETAIL SPACE: NONE < 4,000 SF = 0 SPACES  
 RESTAURANT USE: NONE < 4,000 SF = 0 SPACES  
 OUTDOOR PATIO: NONE < 4,000 SF = 0 SPACES

**DRAWING INDEX**

**COVER**

**ARCHITECTURAL:**  
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 A-0.2 GENERAL NOTES CONTINUED  
 A-0.3 GENERAL NOTES CONTINUED

L-1.0 LANDSCAPE PLAN & DETAILS  
 D-1.0 DEMOLITION PLAN & NOTES

A-1.0 GROUND & SECOND FLOOR PLANS  
 A-2.0 BUILDING ELEVATIONS  
 A-2.1 BUILDING COURTYARD ELEVATIONS

**STRUCTURAL:**

**MECHANICAL:**

**PLUMBING:**

**ELECTRICAL:**

**GENERAL PROJECT NOTES**

- DO NOT SCALE DRAWINGS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES, AS WELL AS ALL AUTHORITIES HAVING JURISDICTION.
- FIELD VERIFY ALL DIMENSIONS.
- THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING FIELD CONDITIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING OF WALLS DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING OF WALLS DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND OPENINGS SHOWN ON DRAWINGS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- PLUMBING SCHEMATIC DRAWINGS, HVAC DRAWINGS, SEWER MAINS, ELECTRICAL OUTLETS, SWITCH AND LIGHT LOCATIONS, AND ROUTING OF ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. NO PLUMBING, MECHANICAL, OR ELECTRICAL INFORMATION IS TO BE SCALED FROM THE DRAWINGS.
- WINDOW OPENINGS ARE DIMENSIONED FOR TYP. SIZES. CONTRACTOR SHALL VERIFY AND CONFIRM SIZES FOR SPECIFIC WINDOW MANUFACTURER.
- ALL GLASS SHALL COMPLY WITH SAFETY GLAZING REQUIREMENTS OF LOCAL BUILDING CODES.
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR.
- ALL WORK AND USE OF MATERIALS SHALL BE IN ACCORDANCE WITH THE APPLICABLE MANUFACTURER'S TRADE ASSOCIATION AND/OR INSTITUTE STANDARDS AND SPECIFICATIONS.
- ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER.
- MATERIALS AS SPECIFIED ON THE DRAWINGS SHALL BE USED.
- SUBSTITUTION OF MATERIALS WILL NOT BE ALLOWED WITHOUT CONSENT OF THE GENERAL CONTRACTOR.
- EACH SUBCONTRACTOR SHALL AMEND AND MAKE GOOD AT HIS OWN COST, ANY DEFECT OR OTHER FAULTS IN HIS WORK AND/OR MATERIAL.
- EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF WORK INDICATED AND SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS FOR THE REMOVAL OF DEBRIS.
- EACH CONTRACTOR SHALL CLEAN UP DEBRIS INSIDE AND OUTSIDE THE BUILDING SITE WHICH HAS BEEN CAUSED BY HIS WORK.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR OR HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUE, SEQUENCES OR PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THESE ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, AND HIS SUBCONTRACTORS, UNDER THE CONTRACT FOR CONSTRUCTION.

I CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE & BELIEF THEY COMPLY WITH ALL APPLICABLE LAWS, CODES & ORDINANCES FOR THE CITY OF CHICAGO, IL.

BRUCE M. OBORA  
 LICENSED ARCHITECT

DATE: 11/30/18  
 ILL. LIC. #001-013166  
 EXP. DATE: 11/30/18  
 ILLINOIS STATE DESIGN FIRM - ARCHITECT  
 LICENSE NO. 184.007627-0001  
 EXP. DATE: 04/30/19

BRUCE OBORA ILLINOIS  
 LIC. # 001-013166  
 EXP. DATE: 11/30/18

**3801 WEST FULLERTON AVENUE**  
 SECOND FLOOR ADDITION & GROUND FLOOR RENOVATION - 06.18.18  
 PERMIT APPLICATION #100773694

CODE MATRIX								
ITEM	ISSUE	CHAPTER / ARTICLE	ORDINANCE REQUIREMENT	ACTUAL	REQUIREMENT	LOCATION / SHEET No.	AGENCY TEST No.	REMARKS
<b>PART 1: ZONING REQUIREMENTS</b>								
1.01	ZONING DISTRICT	C20 - TITLE 17	B3-1	B3-1	--	A-0.1, COVER	--	3801 W. FULLERTON AVE. - SECOND FL. ADDITION/GROUND FL. RENOVATION
1.02	LOT AREA	--	--	5,282.84 SF	--	A-0.1, COVER	--	
	a) LOT DIMENSIONS	--	--	48.73 FT X 108.0 FT	--	A-0.1, COVER	--	
1.03	MINIMUM LOT AREA / D.U.	17-3-0402A	2,500 SF	5282.84/2=2,631.42 SF	--	--	--	
1.04	MAX. FLOOR AREA RATIO	17-3-0403A	1/2	1/2	--	--	--	
1.05	TOTAL BUILDING AREA	--	1,2x5,282.84 SF = 6,315.41 SF	6,164.1 SF	--	--	--	3,876.6 SF (EXIST)+2,287.5 SF (NEW)=6,164.1 SF
1.06	MIN. GRD. FLR. COMMERCIAL AREA	17-3-0305B	--	3,976.6 SF	--	COVER, A-1.0	--	USES: RETAIL (GENERAL), RESTAURANT (GENERAL) & OUTDOOR PATIO
1.07	MIN. GRD FLR TO FLR HT.	17-3-0305	13 FT	19 FT	--	--	--	
1.08	BUILDING HT	17-3-0408	38 FT	30.0 FT	--	--	--	
1.09	MINIMUM FRONT SETBACK	17-3-0404	NONE	9'-3" @ SECOND FL.	--	--	--	
1.10	MINIMUM REAR SETBACK	17-3-0405	30'-0" @ SECOND FLOOR	24.75 FT @ SECOND FL.	--	--	--	
1.11	MINIMUM SIDE SETBACK	17-3-0406	NONE	NONE	--	--	--	
1.12	MIN. REAR YARD OPEN SPACE	--	N/A	N/A	--	--	--	
1.13	MIN. ON-SITE OPEN SPACE	--	N/A	N/A	--	--	--	
1.14	AVERAGE D.U. SIZE MINIMUM	--	FLOOR AREA/D.U. ≥ 500 SF	--	--	--	--	
1.15	OFF-STREET LOADING	17-10-1101	N/A	N/A	--	--	--	
1.16	OFF-STREET PARKING	17-10-0207M&U	1 PER DWELLING UNIT COMMERCIAL-NONE<4,000 SF	2 SPACES - ENCLOSED GARAGE COMMERCIAL-NONE	--	A-0.1, COVER	--	USES: RETAIL (GENERAL), RESTAURANT (GENERAL) & OUTDOOR PATIO
1.17	LANDSCAPING	17-11-	--	--	--	--	--	
	a) PARKWAY LANDSCAPING	17-11-0101	REQUIRED	2 EXISTING TREES	--	--	--	
	b) TRASH ENCLOSURE	17-11-0300	REQUIRED	4'-6"x8'-0" IN REAR COURTYARD	--	--	--	
	c) VEHICULAR SCREENING	17-11-0200	N/A	--	--	--	--	
1.18	TOWNHOUSE ORDINANCE	17-11-0500	N/A	--	--	--	--	
<b>PART 2: BUILDING REQUIREMENTS</b>								
2.01	OCCUPANCY CLASS.	3 (13-56-40)	--	EXIST. CLASS F & CLASS A2	--	COVER, A-1.0	--	
2.02	HT. & AREA LIMITATIONS	5 (13-48)	3 STORIES, 45', 10,000 SF	--	--	COVER, A-1.0	--	
	a) EXCEPTIONS TO AREA LIMITS	5 (13-48-090)	--	--	--	--	--	
	b) MIXED OCCUPANCY BUILDINGS	--	MOST RESTRICTIVE OCCUPANCY	--	--	--	--	
2.03	TYPE OF CONSTRUCTION	6 (13-60)	IIIB	--	--	--	--	
2.04	MIXED OCCUP. SEPARATION	3 (13-56-280)	NO SPECIAL SEPARATION	--	--	--	--	
2.05	REQ'D. HRS. OF FIRE RESISTANCE	6 (13-60-100)	IIIB	--	--	--	--	
	EXTERIOR BEARING WALLS	TABLE 6 (13-60-100)	2 HRS	--	--	--	--	
	EXTERIOR NONBEARING WALLS:	TABLE 6 (13-60-100)	--	--	--	--	--	
	a) OUTSIDE EXPOSURE	TABLE 6 (13-60-100(d))	1 HR	--	--	--	--	
	b) INSIDE EXPOSURE	TABLE 6 (13-60-100(c))	2 HRS	--	--	--	--	
	INTERIOR BEARING WALLS	TABLE 6 (13-60-100)	1 HR	--	--	--	--	
	INTERIOR NON LOAD BEARING	TABLE 6 (13-60-100)	1/2 HR	--	--	--	--	
	EXTERIOR COLUMNS	TABLE 6 (13-60-100)	NA	--	--	--	--	
	INTERIOR COLUMNS:	TABLE 6 (13-60-100)	--	--	--	--	--	
	a) SUPPORTING ROOF ONLY	TABLE 6 (13-60-100)	1/2 HR	--	--	--	--	
	b) ALL OTHERS	TABLE 6 (13-60-100)	1 HR	--	--	--	--	
	BEAMS / GIRDERS / TRUSSES	TABLE 6 (13-60-100)	1 HR	--	--	--	--	
	FLOOR CONSTRUCTION	TABLE 6 (13-60-100)	1 HR	--	--	--	--	
	ROOF CONSTRUCTION	TABLE 6 (13-60-100)	1/2 HR	--	--	--	--	
2.06	ELEVATOR FRAMING	6(13-60-130)	--	--	--	--	--	
2.07	MEZZANINE FLOORS	6(13-60-160)	NON COMBUSTIBLE	--	--	--	--	
2.08	BASEMENT CONSTRUCTION	6(13-60-200)	--	--	--	--	--	
2.09	DRIVEWAYS & LOADING SPACES	6(13-60-210)	--	--	--	--	--	
2.10	FIRE-RESISTIVE REQUIREMENTS	7 (15-8)	--	--	--	--	--	
	a) FIRE WALLS-CONSTRUCTION	7(15-8-010)	4 HRS	--	--	--	--	
	b) PARAPET	7(15-8-100)	--	--	--	--	--	
	c) STAIRWAY ENCLOSURE	7(15-8-140)	NR	--	--	--	--	
	d) ELEVATOR ENCLOSURE	7(15-8-150)	NA	--	--	--	--	
	e) ENCL. OF HEATING RMS.	7(15-8-190)	NA	--	--	--	--	
	f) ENCL. OF WELLS & CHUTES	7(15-8-170)	NA	--	--	--	--	
	g) OTHER ENCLOSURES	7(15-8-240)	--	--	--	--	--	
	h) INTERIOR FINISHES	7 (15-8-380)	CLASS 1	CLASS 1	--	G-1.1, A-1.0	--	
	i) STORAGE ROOMS OVER 100 S.F.	7 (15-8-240)	NA	--	--	--	--	
	j) FLOOR COVERING	7 (15-8-340)	CLASS A	CLASS A	--	--	--	
	k) PORCHES	7 (15-8-320)	NA	--	--	--	--	
	m) DECKS	7 (15-8-320)	NA	--	--	--	--	
2.11	FIRE-RESIST. MAT. & CONST.	7 (15-12)	--	--	--	--	--	
	a) DOORS & SHUTTERS	7 (15-12-070)	--	--	--	--	--	
	CLASS 'A'	--	NO GLASS IN DOORS	--	--	--	--	
	CLASS 'B'	--	100 SF OF GLASS PERMITTED & ONE LENGTH NOT EXCEEDING 12'-1.5HR	--	--	--	--	
	CLASS 'C'	--	1,296 SF OF WROD GLASS PERMITTED	--	--	--	--	
	CLASS 'D' & 'E'	--	720 SF OF WROD GLASS PERMITTED IN CLASS 'E' DOORS, 20 MIN.	--	--	--	--	
	b) ROOF COVERINGS	7 (15-12-280)	--	EXISTING, NO CHANGE	--	--	--	
2.12	ACCEPTED ENGIN. PRACTICE RECOGNIZED PRACTICE	7 (15-12-050)	ASA, ASTM, NBFU, NFPA, UL	ASA, ASTM, NBFU, NFPA, UL	--	--	--	
2.13	FIRE PROTECTION EQUIPMENT	9 (15-16)	--	--	--	--	--	
	a) SPRINKLER SYSTEMS	9 (15-16-010)	--	--	--	--	--	
	b) STANDPIPE	9 (15-16-090)	--	--	--	--	--	
2.14	FIRE ALARMS	9 (15-16-110)	--	--	--	--	--	
2.15	FIRE EXTINGUISHERS	9 (15-16-160)	PER NFPA 10	PER NFPA 10	--	A-1.1	--	
<b>PART 3: EXIT REQUIREMENTS</b>								
3.01	TYPE OF EXITS	10(13-160-040)	EXTERIOR DOORS	EXTERIOR DOORS	--	A-1.0	--	
3.02	MINIMUM NUMBER OF EXITS	10(13-160-050)	2	4	--	A-1.0	--	
3.03	TRAVEL DISTANCE TO EXITS	10(13-160-110)	150	146'-6"	--	A-1.0	--	
	a) INCREASES PERMITTED	10(13-160-150)	NA	--	--	--	--	
	b) DEAD END CORRIDOR	10(13-160-160)	75'	NA	--	--	--	
3.04	CAPACITY OF EXITS	10(13-160-210)	DOORS:90 PERSONS/UNIT WIDTH	DOORS:90 PERSONS/UNIT WIDTH	--	A-1.0	--	
3.05	MINIMUM WIDTH OF EXITS	10(13-160-220)	36"DOORS & STAIRS	36" DOORS & STAIRS	--	A-1.0	--	
3.06	SWING OF EXIT DOORS	10(13-160-250)	DIRECTION OF EGRESS	DIRECTION OF EGRESS	--	A-1.1	--	
3.07	HARDWARE	10(13-160-280)	KEYLESS FROM EGRESS SIDE	KEYLESS FROM EGRESS SIDE	--	A-1.1	--	
3.08	REVOLVING DOORS	10(13-160-270)	NA	--	--	--	--	
3.09	LANDINGS	10(13-160-310)	MIN. LENGTH = STAIR WIDTH	MIN. 36"	--	A-1.0	--	
3.10	HANDRAILS	10(13-160-320)	BOTH SIDES OF STAIR	BOTH SIDES OF STAIR	--	--	--	
3.11	CONSTRUCTION	10(13-160-330)	ORDINARY	NON COMBUSTIBLE	--	--	--	
3.12	ENCLOSURES	7(15-8-140)	NR	OPEN	--	--	--	
3.13	HEAD ROOM	10(13-160-350)	MIN. 7'-0"	MIN. 7'-0"	--	A-1.0	--	

**GENERAL NOTES**

**DIVISION 1 (GENERAL REQUIREMENTS)**

- AIA DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" (2017 EDITION) IS HEREBY INCORPORATED INTO THE CONTRACT DOCUMENTS TO THE SAME FORCE AND EFFECT AS IF REPEATED HEREIN. A COPY OF AIA DOCUMENT A201 IS AVAILABLE FROM THE ARCHITECT'S OFFICE.
- ALL WORK SHALL BE ACCOMPLISHED IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY, AND MUNICIPALITY CODES, LAWS, AND ORDINANCES. ALSO, CONFORM TO MANUFACTURER'S TRADE ASSOCIATION AND/ OR INSTITUTE STANDARDS AND SPECIFICATIONS.
- INDEMNIFICATION:
 

"TO THE FULLEST EXTENT PERMITTED BY LAW, CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER, ARCHITECT, ARCHITECT'S CONSULTANTS, AND THEIR AGENTS, OFFICERS, MEMBERS, PARTNERS, EMPLOYEES, DIRECTORS OF ANY OF THEM FROM AND AGAINST CLAIMS, DAMAGES, LOSSES, COSTS, ECONOMIC LOSSES, AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES AND LITIGATION COSTS ("LOSSES") ARISING OUT OF OR RESULTING FROM THE CONTRACTOR'S PERFORMANCE OF THE WORK, PROVIDED THAT SUCH LOSSES ARE ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH, OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF), BUT ONLY TO THE EXTENT CAUSED IN WHOLE OR IN PART BY NEGLIGENT ACTS OR OMISSIONS OF THE CONTRACTOR, A SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THEM, OR ANYONE FOR WHOSE ACTS THEY MAY BE LIABLE, EXCLUDING THE PROPORTIONATE AMOUNT OF ANY LOSSES, WHICH ARE CAUSED BY A PARTY INDEMNIFIED HEREUNDER UNDER SUCH OBLIGATION SHALL NOT BE CONSTRUED TO NEGATE, ABRIDGE, OR REDUCE OTHER RIGHTS OR OBLIGATIONS OF INDEMNITY WHICH WOULD OTHERWISE EXIST AS TO A PARTY OR PERSON DESCRIBED IN THIS PARAGRAPH. THIS ARTICLE SHALL SURVIVE THE TERMINATION OF COMPLETION OF THIS AGREEMENT."

"IN CLAIMS AGAINST ANY PERSON OR ENTITY INDEMNIFIED UNDER THIS PARAGRAPH BY AN EMPLOYEE OF THE CONTRACTOR, A SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THEM OR ANYONE FOR WHOSE ACTS THEY MAY BE LIABLE, THE INDEMNIFICATION OBLIGATION UNDER THIS PARAGRAPH SHALL NOT BE LIMITED BY A LIMITATION ON THE AMOUNT OR TYPE OF DAMAGES, COMPENSATION OR BENEFITS PAYABLE BY OR FOR THE CONTRACTOR OR A SUBCONTRACTOR UNDER WORKMAN'S COMPENSATION ACTS, DISABILITY BENEFIT ACTS OR WORKER'S OR OTHER EMPLOYEE BENEFIT ACTS."

THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO: THE ILLINOIS LAWS REGARDING STRUCTURAL WORK (ILL. REV. STAT. CHAP. 48, PAR. 60 ET SEQ.) AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS (ILL. REV. STAT. CHAP. 17-1/2, PAR. 51 ET SEQ.). IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH), LOSS, DAMAGE, OR CLAIMS THEREOF, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.
- OWNER WILL REQUIRE THE CONTRACTORS TO OBTAIN, SUBMIT CERTIFICATES, AND MAINTAIN COMMERCIAL GENERAL LIABILITY INSURANCE. THE OWNER AND ARCHITECT WILL BE NAMED AS ADDITIONAL INSURERS AND WILL BE PRIMARY TO CLAIMS ARISING OUT OF OPERATIONS PERFORMED BY OR ON THE CONTRACTOR'S BEHALF. IF THE ADDITIONAL INSURED PARTIES HAVE OTHER INSURANCES WHICH ARE APPLICABLE TO THE LOSS, THE AMOUNT OF THE CONTRACTOR'S LIABILITY UNDER THE INSURANCE POLICY WILL BE REDUCED BY THE EXISTING AMOUNT OF SUCH OTHER INSURANCES. THE ADDITIONAL INSURED PARTIES WILL BE GIVEN NOT LESS THAN 30 DAYS PRIOR WRITTEN NOTICE OF ANY CANCELLATION THEREOF. CONTRACTORS SHALL CARRY THE FOLLOWING MINIMUM INSURANCE COVERAGE:
 

WORKERS COMPENSATION:	STATUTORY LIMITS
GENERAL LIABILITY:	\$1,000,000.00
BODILY INJURY:	\$1,000,000.00
PROPERTY DAMAGE:	\$1,000,000.00
- ALL MATERIALS, WORKMANSHIP, AND LABOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE THE OWNER ACCEPTS THE COMPLETED WORK.
- OWNER(S)/TENANT AND/OR CONTRACTORS SHALL CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS, VISIT THE SITE OF THE WORK, AND FULLY INFORM HIM/HER SELF AS TO ALL CONDITIONS AND MATTERS THAT CAN, IN ANY WAY, AFFECT THE WORK OR THE COST THEREOF. SHOULD THE OWNER(S) AND/OR CONTRACTORS FIND DISCREPANCIES IN, OR OMISSIONS FROM THE DRAWINGS, SPECIFICATIONS OR ANY OTHER DOCUMENTS, OR SHOULD HIM/HER BE IN DOUBT AS TO THEIR MEANING, HE/SHE SHALL NOTIFY THE ARCHITECT AT ONCE AND OBTAIN CLARIFICATION PRIOR TO SUBMITTING ANY BID. WORK NOT ADDRESSED IN THE DOCUMENTS AND SPECIFICATIONS, WHICH IS NECESSARY TO PRODUCE THE INTENDED COMPLETED JOB, SHALL BE CONSIDERED INCLUDED. LIKEWISE, ALL PATCHING AND REPAIRING OF ALL EXISTING CONSTRUCTION AFFECTED BY THE NEW CONSTRUCTION AND THE REVISIONS TO THE EXISTING CONSTRUCTION (WITH THE EXCEPTION OF WORK REQUIRED BY CONCEALED EXISTING CONDITIONS) SHALL ALSO BE COVERED.
- DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY AND WORK SHOWN OR CALLED OUT IN ONE AND NOT THE OTHER SHALL BE EXECUTED AS IF IT WERE IN BOTH. IN CASE OF CONFLICT IN DRAWINGS AND/OR SPECIFICATIONS, THE MORE EXPENSIVE CONDITIONS SHALL BE USED FOR PRICING. THE ARCHITECT SHALL BE NOTIFIED TO RESOLVE THE DISCREPANCIES BEFORE CONTRACTS ARE AWARDED.
- CONDITIONS EXISTING AT THE TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY THE OWNER INsofar AS PRACTICAL.
- ARCHITECT SHALL NEITHER HAVE CONTROL, CHANGE OF, NOR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OF PROCEDURES, SAFETY PRECAUTIONS, OR PROGRAMS IN CONNECTION WITH THE WORK. LIKEWISE, THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OTHER PERSONS PERFORMING ANY OF WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR "THE ILLINOIS STRUCTURAL AND SCAFFOLDING ACT".
- THE TERM "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL.
- ALL WORK SHALL BE PERFORMED IN A WORKMANSHIP MANNER.
- OWNER/TENANT SHALL HAVE THE RIGHT TO ORDER ANY CONTRACTOR OR SUBCONTRACTOR WHO VIOLATES ANY SPECIFIED REQUIREMENTS HERE IN TO CEASE WORK AND TO REMOVE IT, ITS EQUIPMENT, AND ITS EMPLOYEES FROM THE PREMISES.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR "THE ILLINOIS STRUCTURAL AND SCAFFOLDING ACT".
- THE TERM "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL.
- ALL WORK SHALL BE PERFORMED IN A WORKMANSHIP MANNER.
- OWNER/TENANT SHALL HAVE THE RIGHT TO ORDER ANY CONTRACTOR OR SUBCONTRACTOR WHO VIOLATES ANY SPECIFIED REQUIREMENTS HERE IN TO CEASE WORK AND TO REMOVE IT, ITS EQUIPMENT, AND ITS EMPLOYEES FROM THE PREMISES.
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND EACH SUB- CONTRACTOR.
- THE OWNER/TENANT WILL ASSUME NO RESPONSIBILITY FOR THE COST OF CHANGES, DAMAGE TO UNPROTECTED WORK, OR EXTRA WORK NECESSARY ON ACCOUNT OF FAILURE OF TRADES.

- NO CHANGE ORDERS WILL BE EXECUTED WITHOUT WRITTEN AUTHORIZATION BY THE OWNER/TENANT.
- ALL TRADES SHALL PROVIDE ALL LABOR, TOOLS, EQUIPMENT, AND MATERIALS NECESSARY FOR COMPLETION OF THE WORK INDICATED AND SPECIFIED.
- THE CONTRACTOR SHALL PROVIDE COMPLETE MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS COMMENSURATE WITH THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTORS ARE REQUIRED TO COORDINATE THE SCHEDULING OF ALL MODIFICATIONS TO EXISTING AND ALL NEW CONSTRUCTION WITH THE OWNER/TENANT AND ADJACENT PROPERTY OWNERS/TENANTS.
- THE CONTRACTORS SHALL SUPERVISE AND DIRECT THEIR WORK USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT. ALL WORK SHALL BE DONE IN ACCORD WITH THE HIGHEST CONSTRUCTION INDUSTRY STANDARDS.
- ALL PERMITS, LICENSES, FEES, SALES TAXES, APPROVALS, AND OTHER ARRANGEMENTS FOR WORK SHALL BE OBTAINED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE.
- CONTRACTORS, WORKMEN, MECHANICS, SUPPLIERS, INVITEES SHALL WORK IN HARMONY AND NOT INTERFERE WITH OWNER AND HIS/HER AGENTS IN DOING WORK IN SAID PREMISES.
- ALL PARTITION DIMENSIONS ON PLAN SHEET ARE FROM FACE OF DRY-WALL AND FROM FACE OF EXTERIOR SHEATHING. NONBEARING PARTITIONS ARE TO BE LAID OUT SO THAT STOCK COMPONENTS WILL FIT EXACTLY WITHIN INDICATED DIMENSIONS. FINISH DIMENSIONS AT CRITICAL AREAS SUCH AS CLOSETS, BATHTUBS, ETC. MUST BE HELD.
- EACH TRADE SHALL BE RESPONSIBLE FOR CLEAN-UP AND REMOVAL FROM JOB SITE ALL DEBRIS AND EXCESS MATERIAL AT EACH DAY'S END.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE AND SAFETY OF HIS OWN MATERIALS AND WORK.
- EXISTING UTILITIES SHALL BE MAINTAINED, KEPT IN SERVICE, AND PROTECTED AGAINST DAMAGE DURING OPERATIONS UNLESS NOTED OTHERWISE (U.N.O.). DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. OWNER(S)/ MANAGER MUST BE NOTIFIED FORTY EIGHT (48) HOURS PRIOR TO ANY INTERRUPTION OF SERVICES. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO THE GOVERNING AUTHORITIES AND OWNER.
- ALL DETAILS SHOWN ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO SIMILAR SITUATIONS ON THE PROJECT UNLESS A DIFFERENT DETAIL OR SECTION IS SHOWN.
- MATERIAL AS SPECIFIED ON DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIAL WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE OWNER/TENANT AND NOTIFICATION OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DETAILING IN CONJUNCTION (AND ALL TRADES AFFECTED) BY HIS SUBSTITUTION.
- CONTRACTORS INSTALLING PIPES, DUCT, AND CONDUIT WILL BE REQUIRED TO DO ALL CUTTING AND PATCHING IN CONNECTION WITH THEIR WORK.
- CONTRACTOR AND SUBCONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER/TENANT OF ANY CHANGE OF THE AGREED UPON SCHEDULING OF OPERATIONS, METHODS OF OPERATIONS AND THE REMOVAL OF DEBRIS. SALVAGE SUCH AS RUSTED METALS, ROTTEN WOOD AND DETERIORATED CONCRETE. REMOVE SURFACE FINISHES TO INSTALL NEW WORK AND NEW FINISHES.
- REMODELING PROJECT PROCEDURES**
  - COORDINATE WORK OF EMPLOYEES AND SUBCONTRACTORS, SCHEDULE ELEMENTS OF REMODELING AND RENOVATION WORK TO EXPEDITE COMPLETION. SCHEDULE NOISY OR HAZARDOUS WORK TO AVOID PROBLEMS WITH OWNERS, TENANTS AND ADJACENT PROPERTY OWNER'S OPERATIONS.
  - IN ADDITION TO DEMOLITION SHOWN ON DRAWINGS, CUT, MOVE OR REMOVE EXISTING CONSTRUCTION TO PROVIDE ACCESS OR TO ALLOW REMODELING AND NEW WORK TO PROCEED. REPAIR OR REMOVE HARMAROUS OR UNSANITARY CONDITIONS. REMOVE ABANDONED PIPING, CONDUIT AND WIRING. REMOVE UNSUITABLE OR EXTRANEOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS ABANDONED FURNISHINGS AND EQUIPMENT AND DEBRIS SUCH AS ROTTED WOOD, RUSTED METALS AND DETERIORATED CONCRETE. REMOVE SURFACE FINISHES TO INSTALL NEW WORK AND FINISHES.
  - PATCH, REPAIR AND REFINISH ITEMS TO REMAIN, TO THE SPECIFIED CONDITION FOR EACH MATERIAL, WITH A NEAT TRANSITION TO ADJACENT NEW CONSTRUCTION. EXISTING WORK (WALLS, CEILINGS, PARTITIONS, FLOORS, MECHANICAL AND ELECTRICAL WORK, LAWNS, PAVING, ROADS, WALKS, ETS.) DISTURBED OR REMOVED AS A RESULT OF PREFORMING REQUIRED NEW WORK OR REMODELING, SHALL BE PATCHED, REPAIRED, REINSTALLED OR REPLACED WITH NEW WORK AND REFINISHED AND LEFT IN AS GOOD AS CONDITION AS EXISTED BEFORE COMMENCING WORK.
  - CUT FINISH SURFACES SUCH AS MASONRY, TILE, PLASTER OR METALS BY METHODS TO TERMINATE SURFACES IN A STRAIGHT LINE AT A NATURAL POINT OF DIVISION. PROTECT EXISTING AND NEW WORK FROM WEATHER AND TEMPERATURE EXTREMES. MAINTAIN EXISTING INTERIOR WORK ABOVE 60 DEGREES F. PROVIDE WEATHER PROTECTION, WATERPROOFING, HEAT AND HUMIDITY CONTROL TO PREVENT DAMAGE TO REMAINING EXISTING WORK AND TO NEW WORK. PROVIDE TEMPORARY ENCLUSURES TO PROVIDE WEATHER PROTECTION. PROTECT EXISTING CONSTRUCTION AND FINISHED SURFACES, WHICH WILL REMAIN FROM DAMAGE FROM CONSTRUCTION OPERATIONS.
  - ENSURE THAT WORK IS COMPLETE. PROVIDE SAME MATERIALS OR TYPES OF CONSTRUCTION AS THAT IN EXISTING STRUCTURE, TO PATCH, EXTEND OR MATCH EXISTING WORK. DRAWING AND SPECIFICATION MAY NOT DEFINE PRODUCTS OR STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION. DETERMINE PRODUCTS BY INSPECTION AND TESTING. DETERMINE WORKMANSHIP BY USE OF EXISTING AS SAMPLES OF COMPARISON. PRESENCE OF A PRODUCT, FINISH, OR TYPE OF CONSTRUCTION REQUIRES THAT PATCHING, EXTENDING OR MATCHING BE PERFORMED TO MAKE WORK COMPLETE AND CONSISTENT TO IDENTICAL QUALITY STANDARD.
  - PATCH AND EXTEND EXISTING WORK USING SKILLED CRAFTSMAN CAPABLE OF MATCHING EXISTING QUALITY OF WORKMANSHIP. FOR PATCHED OR EXTENDED WORK, PROVIDE QUALITY EQUAL TO THAT SPECIFIED FOR NEW WORK.
  - WHERE EXISTING CONSTRUCTION IS REMOVED, PATCH FLOOR, WALLS AND CEILING WITH FINISH MATERIALS TO MATCH EXISTING AS CLOSELY AS POSSIBLE. WHERE REMOVAL OF PARTITIONS RESULTS IN ADJACENT SPACES BECOMING ONE, REWORK FLOORS AND CEILING TO PROVIDE SMOOTH PLANES WITHOUT BREAKS, STEPS OR BULKHEADS. WHERE EXTREME CHANGE OF PLANE OF TWO INCHES OR MORE OCCURS, REQUEST INSTRUCTIONS FROM ARCHITECT.
  - TRIM AND REFINISH EXISTING DOORS TO CLEAR NEW FLOORS.

**DIVISION 1 - CONT'D ON NEXT SHEET**

DISCLAIMER:  
THE PROJECT ARCHITECT OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ACTION TAKEN BY ANY PERSON ON THE PROJECT IF THAT PERSON HAS ANY KNOWLEDGE OF ANY DISCREPANCY, ERROR, OMISSION, OR AMBIGUITY IN THE CALCULATIONS, DRAWINGS, AND/OR SPECIFICATIONS UNTIL THE PROJECT ARCHITECT OR ENGINEER HAS BEEN NOTIFIED, AND HAS CORRECTED, MADE THE INCLUSION OR HAS MORE CLEARLY EXPAINED THE MEANT OF THE DRAWING CALCULATIONS AND / OR SPECIFICATIONS.

**SECOND FLOOR ADDITION & GROUND FLOOR RENOVATION**  
3801 W. FULLERTON AVENUE  
CHICAGO, ILLINOIS 60647

**CODE MATRIX & GENERAL NOTES (DIV. 1)**

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	DATE: 07/24/18 SHEET NO.
DRAWN BY:	A-

DIVISION 1 (GENERAL REQUIREMENTS) (CONT'D)

1.31 REMODELING PROJECT PROCEDURES (CONT.)

- 9. PATCH AND REPLACE ALL PORTIONS OF EXISTING FINISHED SURFACES FOUND TO BE DAMAGED, LIFTED, DISCOLORED OR SHOWING OTHER IMPERFECTIONS, WITH MATCHING MATERIAL. PROVIDE ADEQUATE SUPPORT PRIOR TO PATCHING THE FINISH. REFINISH PATCHED PORTIONS OF PAINT OR COATED SURFACES IN A MANNER TO PRODUCE UNIFORM COLOR AND TEXTURE OVER ENTIRE SURFACE. WHEN EXISTING SURFACE CANNOT BE MATCHED, REFINISH ENTIRE SURFACE TO NEAREST INTERSECTION.
10. WHEN NEW WORK ABUTS OR FINISHES FLUSH WITH EXISTING WORK, MAKE A SMOOTH TRANSITION. PATCH WORK SHALL MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE AS CLOSELY AS POSSIBLE. WHEN FINISHED SURFACES ARE CUT IN SUCH A WAY THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, NOTIFY ARCHITECT OF RECORD SO THAT AN ALTERNATE TRANSITION CAN BE ACHIEVED.
11. CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
12. ALL CONTRACTORS AND SUBCONTRACTORS SHALL USE ONLY THOSE ENTRANCES AND PATHWAYS DESIGNATED BY THE OWNER FOR INGRESS AND EGRESS OF PERSONNEL AND DELIVERY. REMOVAL OF EQUIPMENT, MATERIAL AND DEBRIS THROUGH OR ACROSS ANY COMMON AREAS SHALL ONLY BE PERMITTED WITH THE WRITTEN APPROVAL AND THE TIME DETERMINED BY THE OWNER.
13. CONTRACTORS SHALL CONSTRUCT PHYSICAL BARRIERS AND ENCLOSURES AROUND AREAS UNDER CONSTRUCTION AS REQUIRED TO INSURE GENERAL PUBLIC AND PERSONAL SAFETY, AND NORMAL OPERATION OF THE ADJACENT FACILITIES. LIMIT THE AMOUNT OF DUST AND DIRT ARISING FROM AND SCATTERING IN THE AIR TO THE LOWEST PRACTICABLE LEVEL. EQUIP PARTITIONS WITH SECURE DOORS AND SECURITY LOCKS WHERE REQUIRED. PROVIDE ADEQUATE BRACING AND/OR SHORING TO INSURE STRUCTURAL STABILITY OF BUILDING DURING CONSTRUCTION. DAMAGES SHALL BE PROMPTLY REPAIRED AT NO ADDITIONAL COST TO THE OWNER. DO NOT CLOSE OFF OR OBSTRUCT DRIVEWAYS, STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.

DIVISION 2.0 (SITE WORK) NONE

DIVISION 3.0 (CONCRETE)

- 3.1 PATCH EXISTING CONCRETE SLAB ON GRADE AS REQUIRED TO INSTALL UTILITIES. REFER TO REMODELING PROCEDURES ABOVE AND PLUMBING DRAWINGS.

DIVISION 4.0 (MASONRY) NONE

DIVISION 5.0 (METALS)

- 5.1 METAL FABRICATIONS:
1. PROVIDE SHOP FABRICATED STAIRS, LANDINGS, SUPPORTS, GUARDRAILS AND RAILINGS INCLUDING ALL HARDWARE, GROUT AND ANCHORS REQUIRED FOR A COMPLETE INSTALLATION. REFER TO STRUCTURAL DRAWINGS.
2. SHOP PRIMER: FERRUGENOUS PAINT 15, TYPE 15, OXIDIZING.
3. FIT AND SHOP FABRICATE METAL ITEMS IN LARGEST PRACTICAL SECTIONS, FOR DELIVERY TO SITE. FABRICATE ITEMS WITH JOINTS TIGHTLY FITTED AND SECURED. GRIND EXPOSED JOINTS FLUSH AND SMOOTH WITH ADJACENT FINISH SURFACE. MAKE EXPOSED JOINTS BUTT TIGHT FLUSH AND HAIRLINE.
4. SUPPLY COMPONENTS REQUIRED TO SECURE FRAME SECTIONS TOGETHER AND FOR ANCHORAGE OF FABRICATIONS. CONCEAL ALL FASTENERS.
5. GRID EXPOSED WELDS SMOOTH.
6. SHOP PAINT ASSEMBLIES AFTER FABRICATION.

DIVISION 6.0 (WOOD AND PLASTICS)

6.1 MISCELLANEOUS CARPENTRY:

- 1. PROVIDE FIRE RETARDANT TREATED LUMBER FOR SUPPORT OR ATTACHMENT OF OTHER CONSTRUCTION, INCLUDING BLOCKING, NAILERS AND FURRING.
3. SET CARPENTRY TO REQUIRED LEVELS AND LINES, WITH MEMBERS PLUMB, TRUE TO LINE, CUT AND FITTED, FIT CARPENTRY TO OTHER CONSTRUCTION, SCRIBE AND COPE AS NEEDED FOR ACCURATE FIT. LOCATE FURRING, NAILERS, BLOCKING AND SIMILAR SUPPORTS TO COMPLY WITH REQUIREMENTS FOR ATTACHING OTHER CONSTRUCTION.
3. SET CARPENTRY TO REQUIRED LEVELS AND LINES, WITH MEMBERS PLUMB, TRUE TO LINE, CUT AND FITTED, FIT CARPENTRY TO OTHER CONSTRUCTION, SCRIBE AND COPE AS NEEDED FOR ACCURATE FIT. LOCATE FURRING, NAILERS, BLOCKING AND SIMILAR SUPPORTS TO COMPLY WITH REQUIREMENTS FOR ATTACHING OTHER CONSTRUCTION.

DIVISION 7.0 (THERMAL AND MOISTURE PROTECTION)

7.1 FIRESTOPPING:

- 1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR, BUT NOT LIMITED TO FIRESTOPPING PERIMETER OF FIRE AND SMOKE RATED ASSEMBLIES.
2. EACH SUBCONTRACTOR (TRADE) SHALL BE RESPONSIBLE FOR, BUT NOT LIMITED TO FIRESTOPPING PENETRATIONS THROUGH FIRE AND SMOKE RATED ASSEMBLIES.
3. PROVIDE CONTINUOUS PROTECTION AGAINST PASSAGE OF HEAT, FIRE, SMOKE AND GASES AT PERIMETER OF AND PENETRATIONS THROUGH RATED ASSEMBLIES.
4. PROVIDE FIRESTOPPING SYSTEM WITH FIRE RESISTANCE RATING EQUIVALENT TO ADJACENT CONSTRUCTION, TESTED TO ASTM E84, ASTM E1966, ASTM E2307, UL 1479, OR UL 2079.
5. DO NOT APPLY SEALANTS, MORTARS, OR PUTTIES WHEN TEMPERATURE OF SUBSTRATE MATERIAL AND SURROUNDING AIR IS BELOW 40 DEGREES F OR IS ANTICIPATED TO DROP BELOW THAT TEMPERATURE WITHIN 24 HOURS AFTER INSTALLATION.
6. PROVIDE ONE OR MORE OF THE FOLLOWING FIRESTOPPING SYSTEMS:
A. SILICONE ELASTOMERIC COMPOUND: SINGLE OR MULTIPLE COMPONENT, LOW MODULUS, MOISTURE CURING SILICONE SEALANT.
B. CERAMIC SEALANT: SINGLE COMPONENT, MOISTURE CURING CERAMIC SEALANT.
C. INTUMESCENT SEALANT: SINGLE COMPONENT, WATER BASED INTUMESCENT SEALANT.
D. ACRYLIC SEALANT: SINGLE COMPONENT ACRYLIC SEALANT, SUITABLE FOR PAINTING.
E. PUTTY: SINGLE COMPONENT CERAMIC FIBER BASE PUTTY OR INTUMESCENT ELASTOMER PUTTY THAT EXPANDS ON EXPOSURE TO SURFACE HEAT GAIN.
F. MORTAR: HYDRAULIC CEMENTITIOUS MORTAR.
G. PILLIOWS OR BLOCKS: FORMED INTUMESCENT OR MINERAL FIBER PILLIOWS OR BLOCKS.
H. INTUMESCENT STRIPS: SOLVENT FREE INTUMESCENT WRAP STRIPS.
J. MECHANICAL DEVICES: INCOMBUSTIBLE FILLERS OR SILICONE ELASTOMER COVERED WITH SHEET STAINLESS STEEL JACKET, JOINED WITH COLLARS, PENETRATION SEALED WITH FLANGED STOPS.

DIVISION 7.0(THERMAL AND MOISTURE PROTECTION) (CONT)

7.1 FIRESTOPPING (CONT.):

- 7. ACCESSORIES: FORMING AND DAMMING MATERIALS AS RECOMMENDED BY FIRESTOPPING MANUFACTURER FOR INTENDED USE.
A. PERMANENT: MINERAL FIBER BOARD, MINERAL FIBER MATTING, OR MINERAL FIBER PUTTY.
B. TEMPORARY: PLYWOOD, PARTICLE BOARD, OR OTHER.
C. PREPARE OPENINGS TO RECEIVE FIRESTOPPING AS DIRECTED BY MANUFACTURER. REMOVE INCIDENTAL AND LOOSE MATERIALS FROM PENETRATION OPENING. REMOVE FREE LIQUIDS AND OIL FROM INVOLVED SURFACES AND PENETRATION COMPONENTS. INSTALL DAMMING MATERIALS TO ACCOMMODATE AND ENSURE PROPER THICKNESS AND FIRE RATING REQUIREMENTS AND PROVIDE CONTAINMENT DURING INSTALLATION. REMOVE COMBUSTIBLE MATERIALS AND MATERIALS NOT INTENDED FOR FINAL PENETRATION SEAL SYSTEM.
8. INSTALL FIRESTOPPING AT PERIMETER OF AND PENETRATIONS THROUGH FIRE AND SMOKE RATED ASSEMBLIES. APPLY MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. APPLY FIRESTOPPING MATERIAL IN SUFFICIENT THICKNESS TO ACHIEVE REQUIRED RATINGS. COMPRESS FIBERED MATERIALS TO ACHIEVE A DENSITY OF 40 PERCENT OF ITS UNCOMPRESSED DENSITY. PLACE FOAMED MATERIAL IN LAYERS TO ENSURE HOMOGENEOUS DENSITY, FILLING CAVITIES AND SPACES. PLACE SEALANT TO COMPLETELY SEAT JUNCTIONS WITH ADJACENT DISSIMILAR MATERIALS. PLACE INTUMESCENT COATING IN SUFFICIENT COATS TO ACHIEVE RATING REQUIRED.
9. REMOVE DAM MATERIAL AFTER FIRESTOPPING MATERIAL HAS CURED. FINISH EXPOSED SURFACES TO SMOOTH, FLUSH APPEARANCE.

7.2 JOINT SEALANTS:

- 1. PROVIDE ELASTOMERIC JOINT SEALANT IN EXTERIOR JOINTS OF VERTICAL SURFACES AND NONTRAFFIC HORIZONTAL SURFACES INCLUDING: CONTROL AND EXPANSION JOINTS IN EXTERIOR WALL SURFACES, JOINT BETWEEN DIFFERENT MATERIALS, PERIMETER JOINTS OF DOOR FRAMES AND WINDOWS, CONTROL AND EXPANSION JOINTS IN CEILINGS AND OVERHEAD SURFACES, OTHER JOINTS AS INDICATED.
2. PROVIDE INTERIOR JOINT SEALANT IN INTERIOR JOINTS OF VERTICAL SURFACES AND HORIZONTAL NON-TRAFFIC SURFACES INCLUDING: CONTROL AND EXPANSION JOINTS ON EXPOSED INTERIOR SURFACES OF EXTERIOR WALLS, PERIMETER JOINTS OF EXTERIOR WALLS, TILE CONTROL AND EXPANSION JOINTS, PERIMETER JOINTS BETWEEN INTERIOR WALL SURFACES AND FRAMES OF INTERIOR DOORS AND WINDOWS, CONTROL AND EXPANSION JOINTS OF CEILINGS AND OVERHEAD SURFACES, OTHER JOINTS AS INDICATED.
3. ELASTOMERIC SEALANT: ASTM C 290, LOW-MODULUS NONACID-CURING SILICONE SEALANT, ACCEPTABLE PRODUCTS: 790, DOW CORNING; SILPRUF, GE SILICONES; 864, PECORA CORP.; SPECTREM C, TREMCO.
4. MILDEW-RESISTANT SILICONE SEALANT, FORMULATED WITH FUNGICIDE, INTENDED FOR SEALING INTERIOR CERAMIC TILE JOINTS AND OTHER NONPOROUS SUBSTRATES. ACCEPTABLE PRODUCTS: 786 MILDEW RESISTANT, DOW CORNING; SCS1700, GE SILICONES; 898, PECORA CORP.; TREMSEL 600, TREMCO.
5. LATEX ACRYLIC JOINT SEALANT, ASTM C 834, TYPE P, GRADE NF. ACCEPTABLE PRODUCTS: CHEM-CALK 600, BOSTIK FINDLEY; AC-20+, PECORA CORP.; SONOLAC, SONNEBORN; TREMFLEX 834, TREMCO.
6. ACOUSTICAL JOINT SEALANT, ASTM C 834, NONSTAINING, ACCEPTABLE PRODUCTS: AC-20 FTR ACOUSTICAL AND INSULATING SEALANT, PECORA CORP.; SHEETROCK ACOUSTICAL SEALANT, UNITED STATES GYPSUM CO.; TREMCO ACOUSTICAL SEALANT, TREMCO.
7. ELASTOMERIC SILICONE SEALANT, USE IN EXTERIOR JOINTS IN VERTICAL SURFACES AND NON-TRAFFIC HORIZONTAL SURFACES AND INTERIOR MOVING AND NON-MOVING JOINTS IN VERTICAL AND HORIZONTAL NON-TRAFFIC SURFACES.
8. MILDEW-RESISTANT SILICONE SEALANT, USE IN TILE CONTROL AND EXPANSION JOINTS, JOINTS IN SANITARY AND FOOD PROCESSING ENVIRONMENTS, WET AND DAMP (NON-MECHANICAL ROOMS) AREAS, BETWEEN PLUMBING FIXTURES AND WALLS.
9. LATEX ACRYLIC JOINT SEALANT, USE IN INTERIOR NON-MOVING EXPOSED JOINT SEALANT IN GYPSUM DRYWALL CONSTRUCTION.
10. ACOUSTICAL SEALANT, USE IN INTERIOR JOINTS IN ACOUSTICALLY RATED CONSTRUCTION.
11. PROVIDE JOINT SEALANTS BACKING, PRIMERS, AND CLEANERS RECOMMENDED BY SEALANT MANUFACTURER.
12. CLEAN OUT JOINTS, PRIME JOINT SURFACES WHERE RECOMMENDED BY MANUFACTURER. USE MASKING TAPE TO PREVENT CONTACT OF SEALANT WITH ADJOINING SURFACES THAT OTHERWISE WOULD BE PERMANENTLY STAINED OR DAMAGED BY SUCH CONTACT OR BY CLEANING METHODS.
13. INSTALL SEALANTS IN ACCORDANCE WITH SEALANT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR PRODUCTS AND APPLICATIONS INDICATED.

DIVISION 8 (DOORS AND WINDOWS)

8.1. STEEL DOORS AND FRAMES:

- 1. PROVIDE HOLLOW STEEL DOORS AND FRAMES COMPLYING WITH ANSI A250.8, FIRE RATED DOOR ASSEMBLIES SHALL COMPLY WITH NFPA 80, LISTED AND LABELED BY A TESTING AND INSPECTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
2. MATERIALS: COLD-ROLLED STEEL SHEETS, ASTM A 366/A 366M, COMMERCIAL STEEL (CS) OR ASTM A 620/A 620m, DRAWING STEEL (DS), TYPE B; STRECHER LEVELLED STANDARD FLATNESS, FASTENINGS ANCHORS, CLIPS CONNECTING MEMBERS AND SLEEVES FABRICATED FROM ZINC COATED STEEL. PRIMER PAINT THAT MEETS OR EXCEEDS THE REQUIREMENTS OF A250.8.
3. INTERIOR DOORS: ANSI A250.8, LEVEL 1, PERFORMANCE LEVEL 'C', MODEL 2 OF OF SIZES, THICKNESS AND DESIGNS INDICATED; FIRE RATED DOORS (LABELED) COMPLY WITH NFPA 80 WHEN TESTED BY UNDERWRITERS LABORATORY, 'B' LABEL 1-1/2 HOUR FIRE RATED, CLOSED TOP AND VERTICAL EDGES OF DOORS FLUSH. VERTICAL EDGES SEAMLESS.
4. FRAMES: ANSI A250.8, 1.0 MM (0.042 INCH) THICK SHEET STEEL, TYPES AND STYLES INDICATED. FRAMES FOR LABELED FIRE RATED DOORS SHALL COMPLY WITH NFPA 80, TESTED BY UNDERWRITERS LABORATORY. FABRICATE STOPS TO RECEIVE THE (3) SILENCERS ON STRIKE JAMB OF SINGLE DOOR FRAMES AND TWO (2) SILENCERS ON HEADS OF DOUBLE-DOOR FRAMES. PROVIDE MORTAR GUARDS SECURELY FASTENED TO BACK OF HARDWARE CUTOUTS, FABRICATE SUPPORTS AND ANCHORS FROM 0.042 INCH THICK, ELECTROLYTIC ZINC-COATED OR METALLIC-COATED STEEL SHEET.
5. HARDWARE PREPARATION: ANSI A250.8 AND ANSI A115 SERIES SPECIFICATIONS FOR DOOR AND FRAME PREPARATION FOR HARDWARE.
6. APPLY MANUFACTURER'S STANDARD FACTORY-APPLIED COAT OF RUST INHIBITING PRIMER TO DOORS AND FRAMES.
7. PLACING FRAMES: SDI 105, SET FRAMES ACCURATELY IN POSITION, PLUMBED, ALIGNED, AND BRACED SECURELY UNTIL PERMANENT ANCHORS ARE SET. IN METAL STUD PARTITIONS, PROVIDE AT LEAST THREE WALL ANCHORS PER JAMB. ANCHOR WALL ANCHORS TO STUDS WITH SCREWS.
8. DOOR INSTALLATION: ANSI A250.8, FIT HOLLOW METAL DOORS ACCURATELY IN FRAMES, WITHIN CLEARANCES SPECIFIED IN ANSI A250.8. SHIM AS NECESSARY TO COMPLY WITH SDI 122 AND ANSI/DHIA 115.1G.

DIVISION 8 (DOORS AND WINDOWS) (CONT)

8.2 DOOR HARDWARE:

- 1. PROVIDE COMMERCIAL QUALITY HARDWARE FOR INTERIOR AND EXTERIOR SWINGING DOORS. COMPLYING WITH MATERIALS AND APPLICATIONS ANSI A156 SERIES STANDARDS, HANDICAPPED ACCESSIBILITY ANSI A117.1 AND LOCAL REQUIREMENTS. FIRE-RATED OPENINGS SHALL COMPLY WITH NFPA 80 AND LOCAL REQUIREMENTS. BUTTS AND HINGES: BHMA A156.1, MINIMUM THREE HINGES PER DOOR, 4-1/2 INCH HINGE HEIGHT, STANDARD WEIGHT FOR INTERIOR DOORS, HEAVY WEIGHT FOR EXTERIOR ENTRANCE DOORS, ANTI-FRICTION-BEARING HINGES FOR DOORS WITH CLOSERS. PROVIDE STAINLESS STEEL, WITH STAINLESS STEEL PIN EXTERIOR HINGES AND STEEL, WITH STEEL PIN INTERIOR HINGES.
2. LOCKS AND LATCHES: INTERIOR DOORS, CYLINDER TYPE. BHMA A156.2, GRADE 1, SERIES 400. INTERIOR LOCKSET DESIGN SHALL MATCH EXISTING LOCKSETS IN TENANT SPACE. EXTERIOR DOORS, AUXILIARY LOCK, BHMA A156.5, GRADE 1, ADAMS RITE #4920 HEAVY DUTY DEADLATCH WITH #4590 DEADLATCH PADDLE OR APPROVED EQUAL.
3. LOCK CYLINDERS: INTEGRAL TYPE, BHMA A156.5, GRADE 1. KEYS TO MATCH EXISTING KEYING SYSTEM.
4. CLOSERS: BHMA A156.4, GRADE 1, SURFACE MOUNTED, SUBSTITUTE PARALLEL ARM FOR REGULAR ATM MOUNTING WHEN DOOR TO ROOM OPENS OUTWARD INTO CORRIDOR AND WHERE EXTERIOR DOORS OPEN OUTWARD.
5. PUSH/PULL UNITS: BHMA A156.6, EXTERIOR DOOR, HAGER #159V PUSH/PULL SET; FINISH TO MATCH EXISTING EXTERIOR ENTRANCE DOOR HARDWARE.
6. HARDWARE FINISH: MATCH EXISTING TENANT SPACE DOOR HARDWARE FINISH.
7. AUXILIARY MATERIALS: STOPS AND BUMPERS, BHMA A156.16, GRADE 1, PROVIDE DOOR STOPS WHEREVER AN OPENED DOOR OR ANY ITEM OF HARDWARE THEREON WOULD STRIKE A WALL, COLUMN, EQUIPMENT OR OTHER PARTS OF BUILDING CONSTRUCTION. PROVIDE FLOOR STOPS WHEN WALL STOPS WOULD NOT PROVIDE EFFECTIVE DOOR STOP. WEATHERSTRIPPING, BHMA A156.22, CONTINUOUS, ON EXTERIOR DOORS. AIR LEAKAGE: ASTM E 283, MAXIMUM 0.50 CFM PER FOOT OF CRACK LENGTH, APPLY TO HEAD, JAMBS AND DOOR BOTTOM. THRESHOLD: BHMA A156.21, MILL FINISH EXTRUDED ALUMINUM.
8. INSTALLATION: COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. DO NOT INSTALL SURFACE MOUNTED ITEMS UNTIL FINISHES HAVE BEEN COMPLETED ON SUBSTRATES. SET UNITS LEVEL, PLUMB, AND TRUE TO LINE AND LOCATION. ADJUST AND REINFORCE ATTACHMENT SUBSTRATES AS NECESSARY FOR PROPER INSTALLATION AND OPERATION. SET THRESHOLDS FOR EXTERIOR DOORS IN FULL BED OF SEALANT.
9. ADJUSTMENT: ADJUST AND CHECK EACH OPERATING ITEM AND EACH DOOR TO ENSURE PROPER OPERATION OR FUNCTION OF UNIT. REPLACE UNITS THAT CANNOT BE ADJUSTED TO OPERATE AS INTENDED. ADJUST DOOR CONTROL DEVICES TO COMPENSATE FOR FINAL OPERATION OF HEATING AND VENTILATING EQUIPMENT AND TO COMPLY WITH REFERENCED ACCESSIBILITY REQUIREMENTS.

DIVISION 9 (FINISHES)

9.1 GYPSUM BOARD ASSEMBLIES

- 1. PROVIDE GYPSUM DRYWALL, NON-LAOD BEARING STEEL FRAMING FOR INTERIOR WALLS, PARTITIONS, SUSPENDED CEILINGS AND SOFFITS FOR TAPE AND JOINT COMPOUND FINISH. REMODEL EXISTING DRYWALL SYSTEMS AT AREAS OF NEW CONSTRUCTION AND WHERE INDICATED.
2. FIRE AND STRUCTURAL PERFORMANCE SHALL MEET THE REQUIREMENTS OF THE LOCAL BUILDING CODE AND LOCAL AUTHORITIES.
3. GYPSUM BOARD: ASTM C1396, TYPE X, 3/8 INCH THICK UNLESS SHOWN OTHERWISE. JOINT TREATMENT: ASTM C 475 AND ASTM C 840, 3-COAT SYSTEM. INSTALLATION STANDARD: ASTM C 840.
4. TRIM ACCESSORIES: ASTM C1047 ZINC COATED STEEL SHEET OR RIDGE PVC PLASTIC CORNERBEADS, EDGE TRIM, AND CONTROL JOINTS.
5. STEEL FRAMING: GALVANIZED STEEL STUDS AND RUNNERS, ASTM C 645, 25 GAGE STEEL STUDS, 3-5/8 INCH TYPICAL DEPTH. FURRING CHANNELS, ASTM C 645, 25 GAGE. AUXILIARY FRAMING COMPONENTS, FURRING BRACKETS, RESILIENT FURRING CHANNELS, Z-FURRING MEMBERS, HANGERS, AND NON-CORROSIIVE FASTENERS. GYPSUM BOARD SCREWS, ASTM C 1002.
6. FINISHING MATERIALS: ASTM C 475 AND ASTM C 840.
7. INSTALLATION: ASTM C 754 AND ASTM C 840. SPACE STUDS AND SUSPENDED CEILING FRAMING NOT MORE THAN 16 INCHES ON CENTER. INSTALL SUPPLEMENTARY FRAMING, BLOCKING, AND BRACING TO SUPPORT FIXTURES, EQUIPMENT SERVICES, HEAVY TRIM, GRAB BARS, TOILET ACCESSORIES OR SIMILAR CONSTRUCTION. COMEPLY WITH GYPSUM BOARD MANUFACTURER'S WRITTEN INSTRUCTIONS AND UNITED STATES GYPSUM'S "GYPSUM CONSTRUCTION HANDBOOK".
8. INSTALLING GYPSUM BOARD: ASTM C 849, COORDINATE INSTALLATION OF GYPSUM BOARD WITH OTHER TRADES AND RELATED WORK. EXTEND ALL LAYERS OF GYPSUM BOARD FROM FLOOR TO UNDERSIDE OF STRUCTURE OVERHEAD ON ALL PARTITIONS AND FURRING. CONTROL JOINTS: ASTM C 840. LOCATE ON BOTH SIDE JAMBS OF OPENINGS IF GYPSUM BOARD IS NOT "YOKED". NOT REQUIRED FOR WALL LENGTH LESS THAN 30 FEET. EXTEND CONTROL JOINTS THE FULL HEIGHT OF THE WALL OR LENGTH PF SOFFIT/CEILING MEMBRANE. ACCESSORIES: SET ACCESSORIES PLUMB, LEVEL AND TRUE TO LINE, NEATLY MITERED AT CORNERS AND INTERSECTIONS, AND SECURELY ATTACHED TO SUPPORTING SURFACES.
9. FINISHING GYPSUM BOARD: FINISH JOINTS, EDGES, CORNERS, AND FASTENER HEADS IN ACCORDANCE WITH ASTM C840. USE LEVEL 5 FINISH FOR ALL FINISH AREAS EXPOSED TO PUBLIC VIEW. FINISH JOINTS, FASTENERS AND ALL OPENINGS AROUND PENETRATIONS, ON THE PART OF THE GYPSUM BOARD EXTENDING ABOVE SUSPENDED CEILINGS TO SEAL SURFACE OF NON DECORATED FIRE RATED GYPSUM BOARD CONSTRUCTION. AFTER THE INSTALLATION OF HANGER RODS, HANGER WIRES, SUPPORTS, EQUIPMENT, CONDUITS, PIPING AND SIMILAR WORK, SEAL REMAINING OPENINGS AND MAINTAIN THE INTEGRITY OF THE FIRE RATED CONSTRUCTION. AFTER TAPING AND FINISHING HAS BEEN COMPLETED, AND BEFORE DECORATION, REPAIR ALL DAMAGED AND DEFECTIVE WORK, INCLUDING NONDECORATED SURFACES.

9.2 TILING

- 1. PROVIDE INTERIOR FLOOR TILE OVER CONCRETE SLAB INCLUDING, TILE, ADHESIVE, MORTAR BED, BOND COAT, WATERPROOF MEMBRANE AND ALL ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION. UNGLAZED QUARRY TILE: AS SELECTED BY TENANT.
2. TILE ACCESSORIES: MATCHING COVE BASE AND OTHER TRIM UNITS AS REQUIRED.
3. SETTING MATERIALS: LATICRETE 254 PLATINUM BOND COAT, LATICRET 3701 FORTIFIED MORTAR BED AND LATAPOXY 300 EPOXY ADHESIVE.
4. GROUT: LATACRETE SPECTRALBED 2000 IG EPOXY GROUT.
5. WATERPROOF MEMBRANE: LATACRETE HYDRO BAN.
6. WATER: CLEAN, POTABLE.
7. CLEAN SURFACES TO REMOVE LOOSE AND FOREIGN MATTER THAT COULD IMPAIR ADHESION. REMOVE RIDGES AND PROJECTIONS, FILL VOIDS AND DEPRESSIONS WITH PATCHING COMPOUND COMPATIBLE WITH SETTING MATERIALS.
8. SUBSTRATE TOLERANCE: 1/4" IN 10'-0" VARIATION IN SUBSTRATE SURFACE.
9. TEST CONCRETE SUBSTRATE TO ASTM D4263; DO NOT INSTALL TILE UNTIL SURFACES ARE SUFFICIENTLY DRY.

DIVISION 9 (FINISHES) (CONT)

9.2 TILING (CONT.)

- 11. INSTALL WATERPROOF MEMBRANE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION. WATER CURING TEST FOR LEAKS WITH 1 INCH OF WATER FOR 24 HOURS.
12. INSTALL FLOOR TILE, BOND COAT, FORTIFIED MORTAR BED, EPOXY ADHESIVE AND GROUT IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS.
13. MINIMIZE PIECES LESS THAN ONE HALF SIZE. LOCATE CUTS TO BE INCONSPICUOUS; LAY TILE TO PATTERN SELECTED BY TENANT. DO NOT INTERRUPT TILE PATTERN THROUGH OPENINGS. JOINT WIDTH AS SELECTED BY TENANT.
14. MAKE JOINTS WATERTIGHT, WITHOUT VOIDS, CRACKS, EXCESS MORTAR, OR GROUT. ALIGN JOINTS IN WALL AND FLOOR OF SAME-SIZE TILE.
15. INSTALL INSIDE CORNER COVE UNITS, OUTSIDE CORNER BEAD UNITS, COVE BASE UNITS AND BULL NOSE UNITS AT EXPOSED TILE ENDS. INSTALL THRESHOLD OR TERRAZZO DIVIDER STRIP WHERE TILE ABUTS DISSIMILAR FLOOR FINISH. CENTER ON DOOR OR OPENING.
16. ALLOW TILE TO SET 48 HOURS BEFORE GROUTING. GROUT JOINTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITHOUT EXCESS GROUT.
17. CONTROL JOINTS: PROVIDE CONTROL JOINTS AT CHANGES IN BACK-UP MATERIAL, CHANGES IN PLANE, OVER JOINTS IN SUBSTRATE. MAXIMUM 24 FEET ON CENTER AT INTERIOR LOCATIONS EXCEPT MAXIMUM 12 FEET AT SURFACES EXPOSED TO DIRECT SUNLIGHT. FORM JOINTS PER TCNA METHOD EJ-171. INSTALL JOINT BACKER AND JOINT SEALER.
18. REMOVE AND REPLACE PIECES THAT HAVE BEEN DAMAGED DURING INSTALLATION. PROVIDE PROTECTION FOR COMPLETED WORK USING NONSTAINING SHEET COVERINGS. PROHIBIT TRAFFIC ON TILE FLOORS FOR MINIMUM 3 DAYS AFTER INSTALLATION.

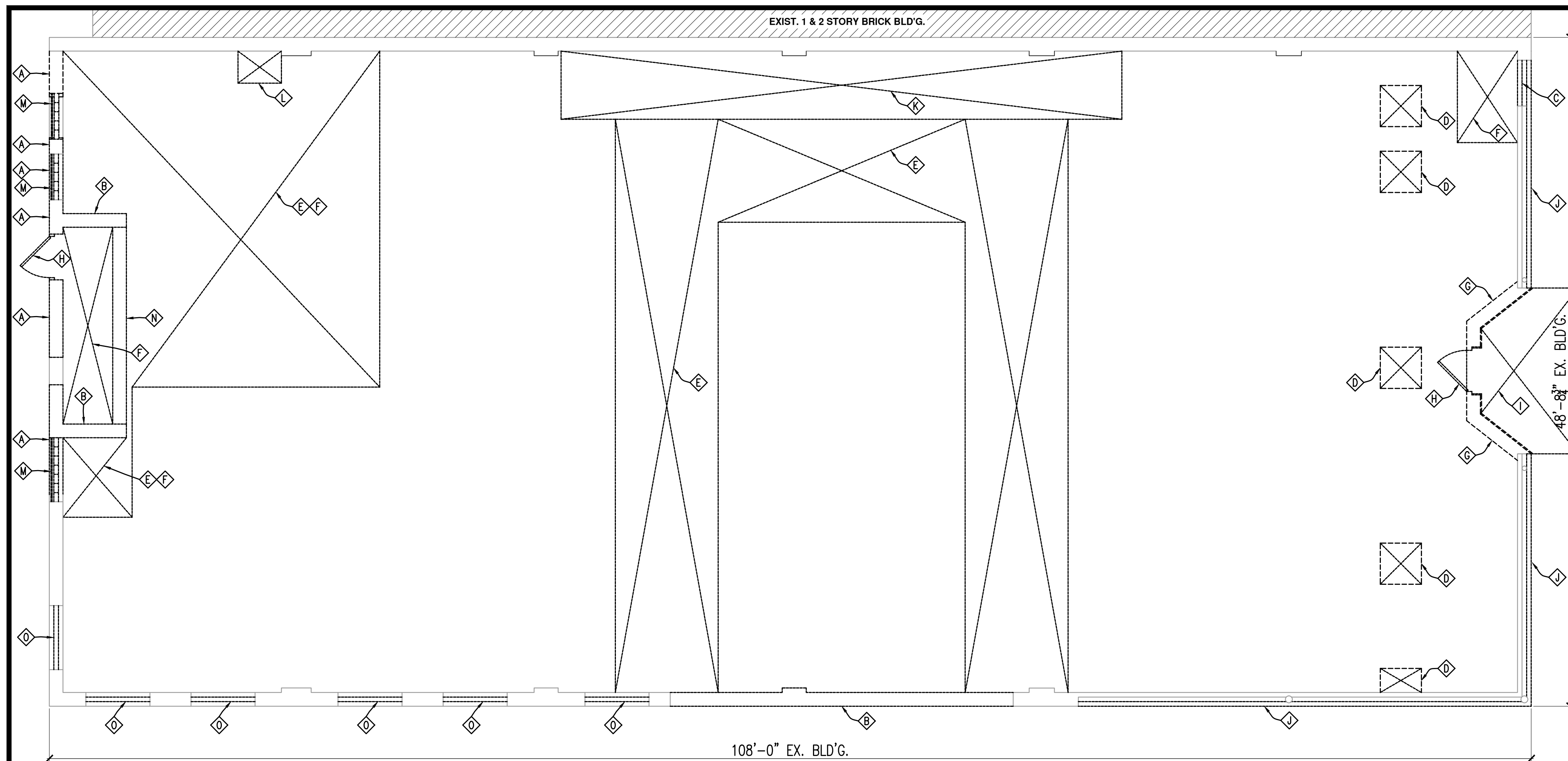
9.3 ACOUSTICAL PANEL CEILINGS

- 1. PROVIDE SUSPENDED ACOUSTICAL PANEL CEILINGS CONSISTING OF ACOUSTICAL PANELS, EXPOSED METAL SUSPENSION GRID SYSTEM AND ALL ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.
2. COORDINATE LAYOUT AND INSTALLATION OF ACOUSTICAL PANELS AND SUSPENSION SYSTEM WITH OTHER CONSTRUCTION THAT PENETRATES CEILINGS OR IS SUPPORTED BY THEM, INCLUDING LIGHT FIXTURES, HVAC EQUIPMENT, FIRE-SUPPRESSION SYSTEM, AND PARTITION SYSTEMS.
3. SUSPENSION SYSTEM: AS SELECTED BY TENANT.
4. ACOUSTICAL PANELS: AS SELECTED BY TENANT.
5. HANGER WIRE: ASTM A641, MINIMUM 12 GAUGE GALVANIZED STEEL.
6. INSTALL CEILINGS IN ACCORDANCE WITH ASTM C636 AND CISCA HANDBOOK. MINIMIZE PANELS LESS THAN ONE HALF SIZE. INSTALL MOLDING AROUND PERIMETERS AND ABUTTING SURFACES. MITER MOLDING AT EXTERIOR CORNERS; CUT FLANGES AND BEND WEB TO FORM INTERIOR CORNERS. SPACE HANGERS 48 INCHES ON CENTER MAXIMUM. INSTALL ADDITIONAL HANGERS WHERE REQUIRED TO SUPPORT LIGHT FIXTURES AND CEILING SUPPORTED EQUIPMENT. HANG SUSPENSION SYSTEM INDEPENDENT OF WALLS, COLUMNS, DUCTS, PIPES, AND CONDUIT. SUPPORT ENDS OF TEES ON FLANGE OF PERIMETER MOLDING.
7. CUT PANELS TO FIT IRREGULAR GRID AND PERIMETER EDGE TRIM AND AROUND PENETRATIONS. LOCATE CUTS TO BE CONCEALED. CUT AND FIELD PAINT EXPOSED EDGES OF REVEAL EDGE UNITS TO MATCH FACTORY EDGE.

9.4 RESILIENT FLOORING

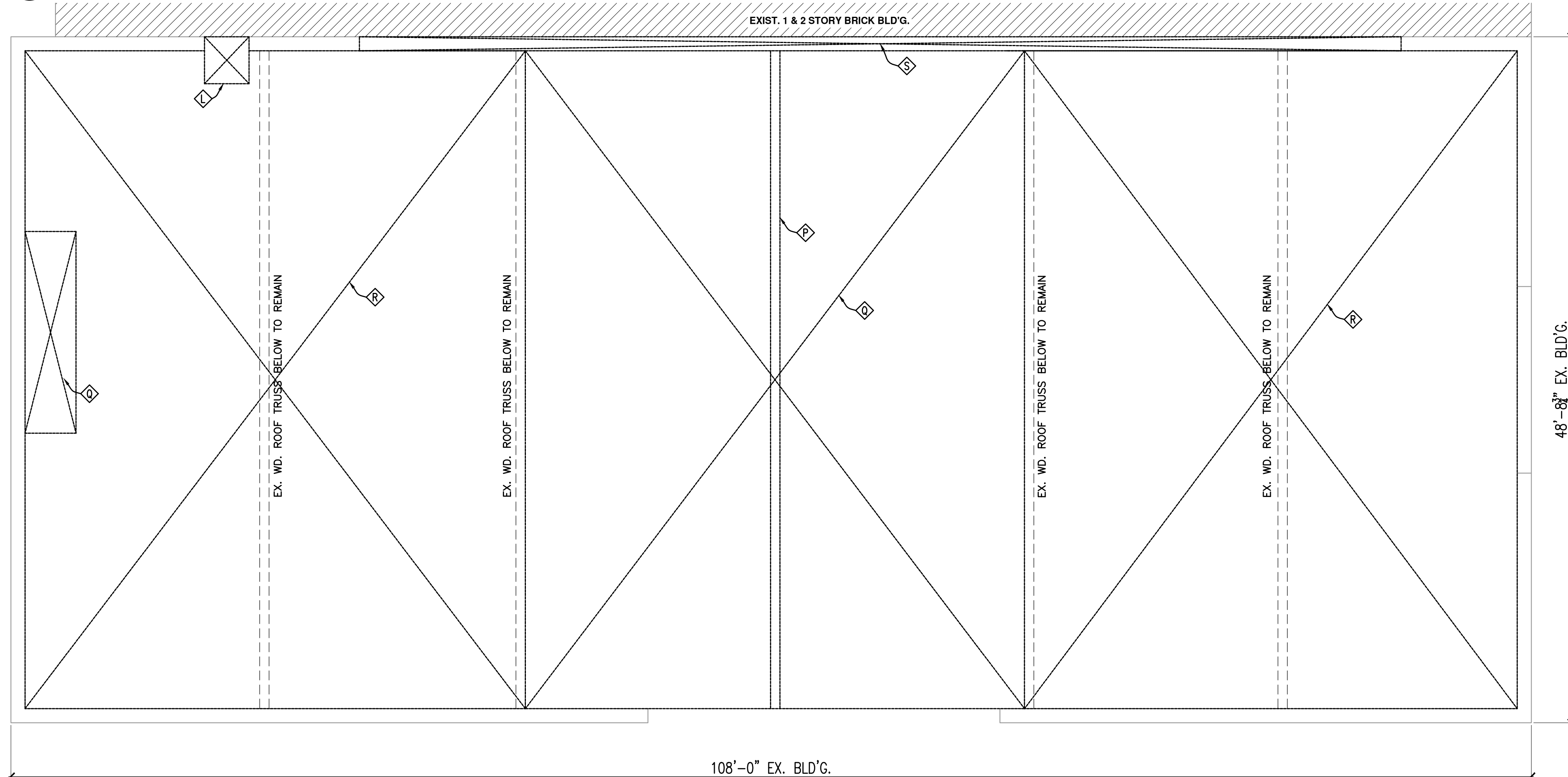
- 1. PROVIDE RESILIENT FLOORING, WALL BASE, FLOOR PREPARATION, ACCESSORIES AND OTHER ITEMS FOR A COMPLETE INSTALLATION.
2. FIRE PERFORMANCE: CRITICAL RADIANT FLUX, 0.45 WATTS PER SQ. CM. OR MORE, CLASS I, TESTED PER ASTM E 648.
3. VINYL COMPOSITION TILE (VCT): ASTM F 1066, COMPOSITION 1, NONASBESTOS FORMULATED. SEE ROOM FINISH SCHEDULE.
4. WALL BASE: ASTM F1861, VINYL WALL BASE. SEE ROOM FINISH SCHEDULE.
5. AUXILIARY MATERIALS: ADHESIVE: LOW-VOC ADHESIVE. PRIMER: AS RECOMMENDED BY THE ADHESIVE AND TILE MANUFACTURER. LEVELING COMPOUND FOR CONCRETE FLOORS: CEMENTITIOUS PRODUCTS WITH LATEX OR POLYVINYL ACETATE RESINS IN THE MIX. DETERMINE THE TYPE OF UNDERLAYMENT SELECTED FOR USE BY THE CONDITION TO BE CORRECTED. CLEANERS: RFL 4-1, POLISH: SSM-1, D4078. RESILIENT EDGE STRIP OR REDUCER STRIP: FED. SPEC. SS-T-312, SOLID VINYL, 1-1/8 INCH WIDE UNLESS SHOWN OTHERWISE, BEVEL FROM MAXIMUM THICKNESS TO MINIMUM THICKNESS FOR FLUSH JOINTS UNLESS SHOWN OTHERWISE.
6. PREPARE SURFACES TO RECEIVE TILE: CLEAN SUBSTRATE, REMOVE LOOSE AND FOREIGN MATTER THAT COULD IMPED ADHESION OR PERFORMANCE OF FLOORING. FILL CRACKS, VOIDS AND DEPRESSIONS IN SUBSTRATE WITH LEVELING COMPOUND. GRIND OFF HIGH SPOTS AND PROJECTIONS IN SUBSTRATE, LEAVE SMOOTH AND LEVEL TO 1/8 INCH IN 10 FEET. TEST SUBSTRATE FOR MOISTURE CONTENT TO ASTM F 1889, DO NOT INSTALL FLOORING UNTIL MOISTURE EMISSION LEVEL IS ACCEPTABLE TO FLOORING MANUFACTURER.
7. PREPARE SURFACES TO RECEIVE BASE: REMOVE MATERIALS THAT COULD INTERFERE WITH ADHESION. FILL LOW SPOTS WITH PATCHING COMPOUND, FINISH FLUSH WITH ADJACENT SURFACE. REMOVE HIGH SPOTS, RIDGES AND NIBS.
8. INSTALLATION OF FLOOR TILE: INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. MIX MATERIALS FROM MULTIPLE CONTAINERS TO ENSURE SHADE VARIATIONS ARE CONSISTENT WHEN FLOORING IS PLACED. SPREAD ONLY ENOUGH ADHESIVE TO PERMIT INSTALLATION OF FLOORING BEFORE INITIAL SET. LAY FLOORING WITH JOINTS PARALLEL TO BUILDING LINES TO PRODUCE SYMMETRICAL PATTERN. INSTALL FLOORING TO PATTERN INDICATED OR AS DIRECTED BY ARCHITECT. ALLOW MINIMUM HALF-SIZE UNITS AT ROOM OR AREA PERIMETER. SET FLOORING IN PLACE. PRESS WITH HEAVY ROLLER TO ATTAIN FULL ADHESION. SCRIBE FLOORING TO WALL, COLUMNS, CABINETS, AND OTHER ABUTMENTS TO PRODUCE TIGHT JOINTS. ENSURE THAT BASE, TRIM, PLATES, OR ESCUTCHEONS WILL COMPLETELY COVER CUT EDGES. EXTEND FLOORING INTO RECESSES AND UNDER EQUIPMENT. TERMINATE FLOORING AT CENTERLINE OF LABORATORY. SET FLOORING IN PLACE. PRESS WITH HEAVY ROLLER TO ATTAIN FULL ADHESION. SCRIBE FLOORING TO WALL, COLUMNS, CABINETS, AND OTHER ABUTMENTS TO PRODUCE TIGHT JOINTS. 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**1 GROUND FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

----- DASHED ITEMS SHALL BE REMOVED



**1 ROOF DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

----- DASHED ITEMS SHALL BE REMOVED

**GENERAL NOTES - DEMOLITION**

- COORDINATE EXTENT OF DEMOLITION WORK WITH PROPOSED NEW WORK. REFER TO ARCHITECTURAL, STRUCTURAL AND PLUMBING DRAWINGS.
- SINCE IT IS IMPOSSIBLE TO INDICATE ON THE DRAWINGS ALL THE EXISTING WORK TO BE REMOVED, BY DASHED LINES AND NOTES, THE CONTRACTOR IS THEREFORE ADVISED TO AQUATINT HIMSELF WITH THE ACTUAL CONDITIONS AT LOCATIONS WHERE ALTERATIONS OCCUR IN THE EXISTING BUILDING. THE DRAWINGS AND NOTES COVER THE WORK REQUIRED. REQUEST VERIFICATION WHEN SUCH ITEMS ARE UNCLEAR.
- CONTRACTOR SHALL USE TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE AMOUNT OF DUST AND DIRT ARISING FROM AND SCATTERING IN THE AIR TO THE LOWEST PRACTICABLE LEVEL.
- CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICING, FLOODING AND POLLUTION.
- CONTRACTOR SHALL CONSTRUCT SOLID EXTERIOR TEMPORARY OVERHEAD PROTECTION, ENCLOSURES AND SECURE PARTITIONS WHERE REQUIRED TO PROTECT THE PUBLIC AND TO SECURE THE BUILDING. EQUIP PARTITIONS WITH SECURE DOORS AND SECURITY LOCKS.
- EXISTING AREAS, CONSTRUCTION, PRODUCTS, MATERIALS, AND EQUIPMENT NOT INDICATED TO BE REMOVED SHALL BE PROTECTED FROM DAMAGE. ANY DISTURBANCE OR DAMAGE TO EXISTING AREAS TO REMAIN OR ANY IMPAIRMENT OF FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM THE CONTRACTORS OPERATIONS SHALL BE PROMPTLY RESTORED, REPAIRED, OR REPLACED TO IT'S ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- UNLESS NOTED OTHERWISE, WALL CONSTRUCTION NOTED OR SHOWN TO BE REMOVED SHALL BE REMOVED FROM THE SUBSTRATE OF FLOOR OR WALL CONSTRUCTION TO FULL HEIGHT INCLUDING BASE, ETC., READY FOR REMAINING FLOOR OR WALL CONSTRUCTION TO RECEIVE NEW CONSTRUCTION, PATCHING AND FINISHES. PROVIDE ANY BRACING AS REQUIRED.
- UNLESS NOTED OTHERWISE, CEILINGS NOTED TO BE REMOVED SHALL INCLUDE THE REMOVAL OF THE COMPLETE SYSTEM INCLUDING FINISH, SI-OFFITS, FASCIAS, ETC. FIREPROOFING, IF ANY, SHALL REMAIN, PROTECTED FROM DAMAGED.
- IN ALL AREAS WHERE DEMOLITION CAUSES AN UNEVENNESS IN THE SLAB, THE CONTRACTOR SHALL PATCH WITH A SUITABLE MATERIAL, RELEVELING THE SLAB TO RECEIVE FUTURE FLOOR FINISHES.
- EXISTING MECHANICAL, PLUMBING, GAS SERVICE, ELECTRICAL, AND TELEPHONE UTILITIES NOT NOTED TO BE REMOVED, SHALL REMAIN IN OPERATION THROUGHOUT UNLESS OTHERWISE DIRECTED BY THE ARCHITECT IN WRITING. CONTRACTOR(S) SHALL PROVIDE SUPPORT, ALTER, PROTECT, AND MAINTAIN IN OPERATION ALL SUCH SYSTEMS AND OTHER UTILITIES THROUGHOUT THE PERIOD OF WORK.
- CONTRACTOR(S) SHALL TRANSPORT MATERIALS REMOVED FROM THE DEMOLISHED STRUCTURES AND PROPERLY DISPOSE OF SAID MATERIALS LEGALLY OFF OF SITE/PREMISES.

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**DEMOLITION PLAN TAGGED NOTES**

- REMOVE PORTIONS OF EXISTING SOLID BRICK MASONRY WALL AS REQUIRED TO CREATE NEW MASONRY OPENING AND INSTALL NEW LINTEL. SALVAGE EXISTING BRICKS FOR REUSE.
- REMOVE PORTIONS OF EXISTING SOLID BRICK MASONRY WALL FROM PARAPET DOWN TO TOP OF EXISTING FOUNDATION. SALVAGE EXISTING BRICK FOR REUSE. REMOVE PORTIONS OF FOUNDATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- REMOVE PORTIONS OF EXISTING INTERIOR MASONRY VENEER FROM EXISTING LINTEL DOWN TO TOP OF EXISTING FOUNDATION. AS REQUIRED TO CREATE NEW OPENING.
- SAW-CUT AND REMOVE PORTIONS OF EXISTING TERRAZZO FLOOR, CONCRETE SLAB ON GRADE AND SUBGRADE SOIL AS REQUIRED TO CONSTRUCT NEW COLUMN FOOTING.
- SAW-CUT AND REMOVE PORTION OF EXISTING TERRAZZO FLOOR, CONCRETE SLAB ON GRADE AND SUBGRADE SOIL TO CONSTRUCT NEW WALL FOOTING.
- SAW-CUT AND REMOVE PORTIONS OF EXISTING TERRAZZO FLOOR, SLAB ON GRADE AND SUBGRADE SOIL AS REQUIRED TO CONSTRUCT NEW CONCRETE SLAB ON GRADE.
- REMOVE EXISTING SOLID BRICK MASONRY WALL AND EXTERIOR STUCCO FROM FOUNDATION TO STRUCTURE ABOVE. REMOVE TOP OF EXISTING FOUNDATION TO BELOW EXISTING SLAB ON GRADE.
- REMOVE EXISTING DOOR AND FRAME.
- SAW-CUT AND REMOVE EXISTING SLAB ON GRADE/SIDEWALK AS REQUIRED TO CONSTRUCT NEW FOOTING AND FOUNDATION WALL.
- REMOVE EXISTING STUCCO, SHEATHING AND WOOD STUD STOREFRONT IN FILL CLOSURE ASSEMBLY.
- SAW-CUT AND REMOVE EXISTING CONC. SLAB ON GRADE AND SUBGRADE SOIL AS REQUIRED TO INSTALL NEW UNDERGROUND PLUMBING.
- REMOVE ENTIRE EXISTING BRICK MASONRY CHIMNEY DOWN TO FOUNDATION. SALVAGE EXISTING BRICK FOR REUSE. REMOVE TOP OF EXISTING FOUNDATION BELOW EXISTING SLAB ON GRADE.
- REMOVE EXISTING STEEL SECURITY BARS, GLASS BLOCK AND VENT.
- REMOVE EXISTING LINTEL AND MASONRY WALL AND PARAPET ABOVE.
- REMOVE EXISTING WINDOW OPENING IN FILL CLOSURE ASSEMBLY.
- REMOVE EXISTING WOOD ROOF TRUSS.
- REMOVE PORTION OF EXISTING ROOF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ROOFING, FLASHINGS, SHEATHING AND ROOF RAFTERS.
- REMOVE PORTION OF EXISTING ROOFING AND FLASHING DOWN TO THE EXISTING ROOF DECK.
- REMOVE PORTION OF EXISTING CLAY TILE PARAPET COPING AS REQUIRED TO CONSTRUCT NEW MASONRY WALL.

**SECOND FLOOR ADDITION & GROUND FLOOR RENOVATION**

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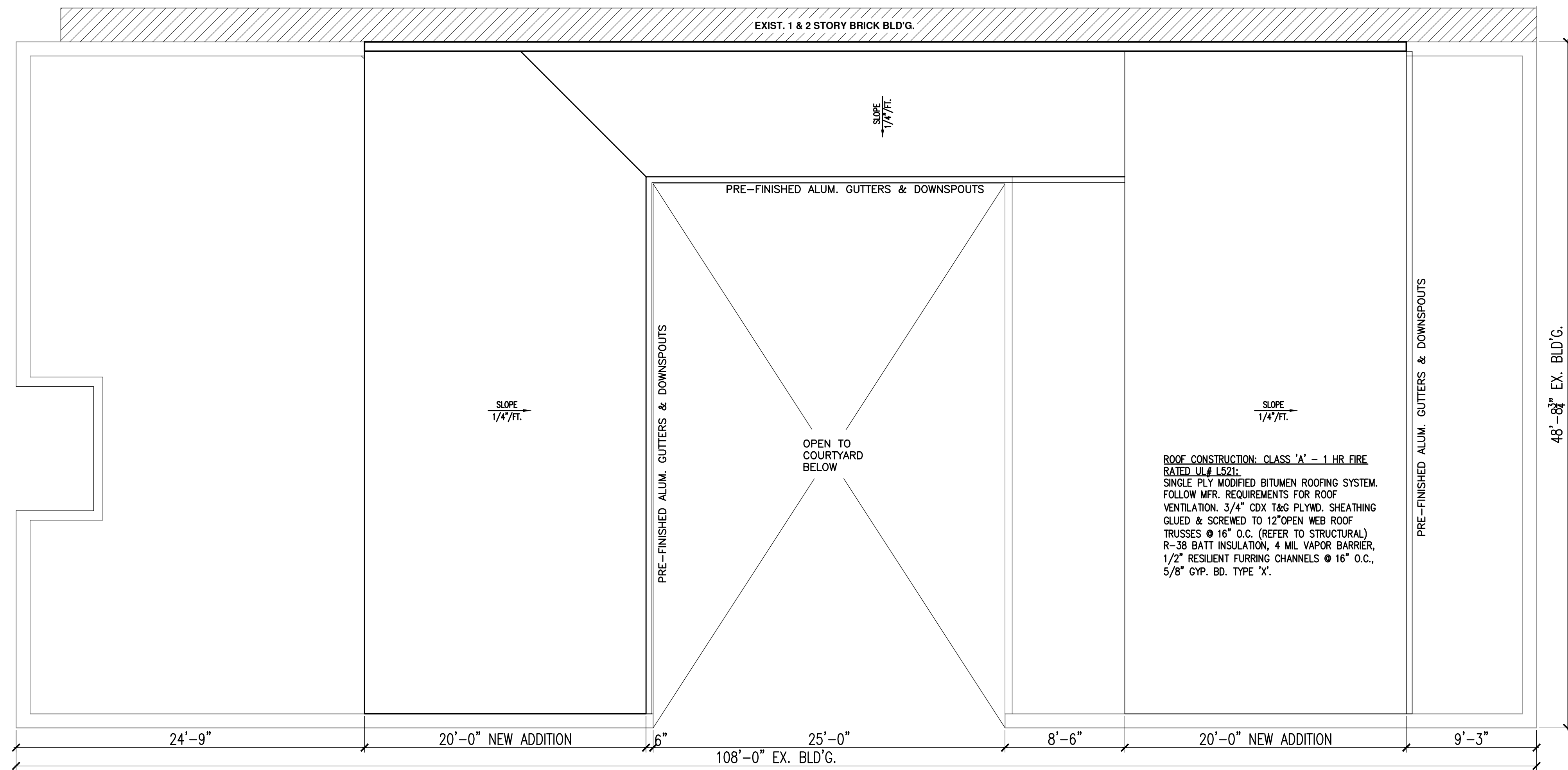
**DEMOLITION PLANS & NOTES**

**OBORA & ASSOCIATES**

ARCHITECTS PLANNERS INTERIOR DESIGNERS  
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**1 NEW ROOF PLAN**  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE									
DOOR NO.	DOOR SIZE	DOOR		FRAME		LABEL	DETAILS		REMARKS
		MAT	TYPE	MAT	TYPE		JAMB	HEAD	
A	1	AL	A	AL	F1				
B	2	AL	B	AL	F1				
C	3	AL	B	AL	F1				
D	4	HM	C	HM	F2				
E	4	HM	C	HM	F2				
F	5	HM	D	HM	F2				INSUL CORE, GALV. DR&FR
G	4	HM	C	HM	F2				
H	6	WD	C	WD	F2				
I	7	WD	C	WD	F2				
J	8	WD	C	WD	F2				
K	10	WB	E	WB	F2				NOTE #18

**DOOR SCHEDULE NOTES:**

- ALL EXIT DOORS SHALL BE OPERABLE WITHOUT THE USE OF A KEY FROM THE SIDE IN WHICH EGRESS IS ACCESSED (KEYLESS EGRESS).
- SEE PLANS FOR DOOR LOCATIONS, MARKS AND SWING.
- ALL INTERIOR DOOR CLOSERS SERVING PUBLIC AREAS SHALL OPERATE AT 5 LBS. PUSH/PULL. ALL EXTERIOR DOOR CLOSERS SERVING PUBLIC AREAS SHALL OPERATE AT 8.5 LBS. PUSH/PULL.
- ALL DOORS WITHIN OFFICE AND PUBLIC AREAS SHALL HAVE LEVER HANDLE TYPE HARDWARE.
- PROVIDE KNURLED HARDWARE ON MECHANICAL AND ELECTRICAL ROOM DOORS (EXCLUDING DWELLING UNITS).
- MINIMUM SIZE EXIT DOOR SHALL BE 3'-0" X 7'-0".
- FINAL DOOR DESIGN, COLOR AND HARDWARE SHALL BE SELECTED BY OWNER.
- ALL DOOR GLAZING SHALL BE TEMPERED SAFETY GLASS.
- ALL EXTERIOR SWING DOORS AND SERVICE DOORS BETWEEN GARAGE AND OCCUPIED AREAS SHALL HAVE A AIR INFILTRATION RATE OF NOT MORE THAN 0.5 CFM PER SQUARE FOOT WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 101/1.S. 2/A440.
- BIFOLD TYPE DOORS. PROVIDE BIFOLD TRACK, HANGERS, GUIDES AND HARDWARE AS REQUIRED.

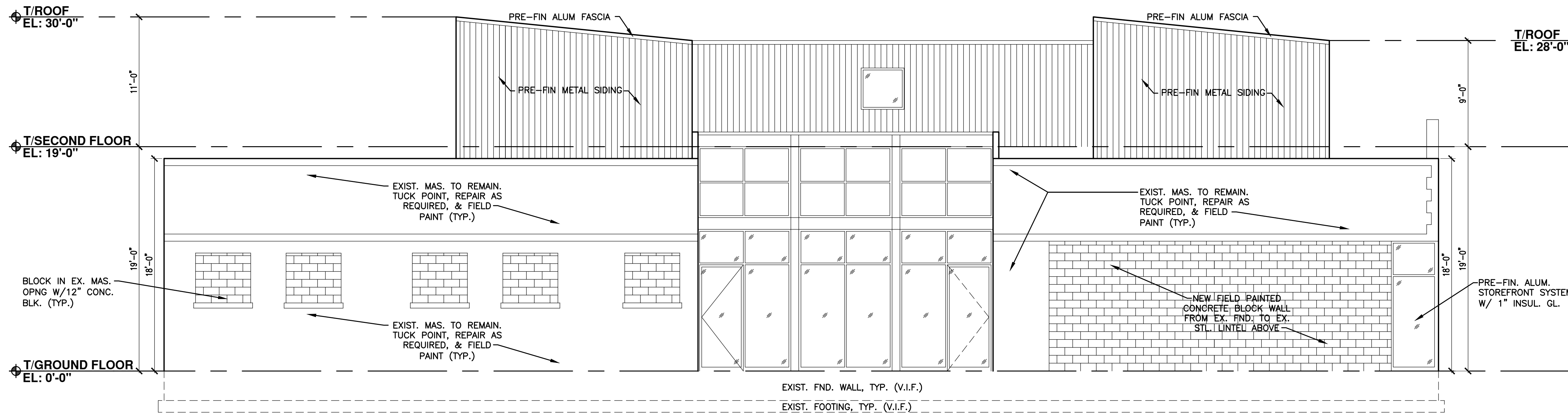
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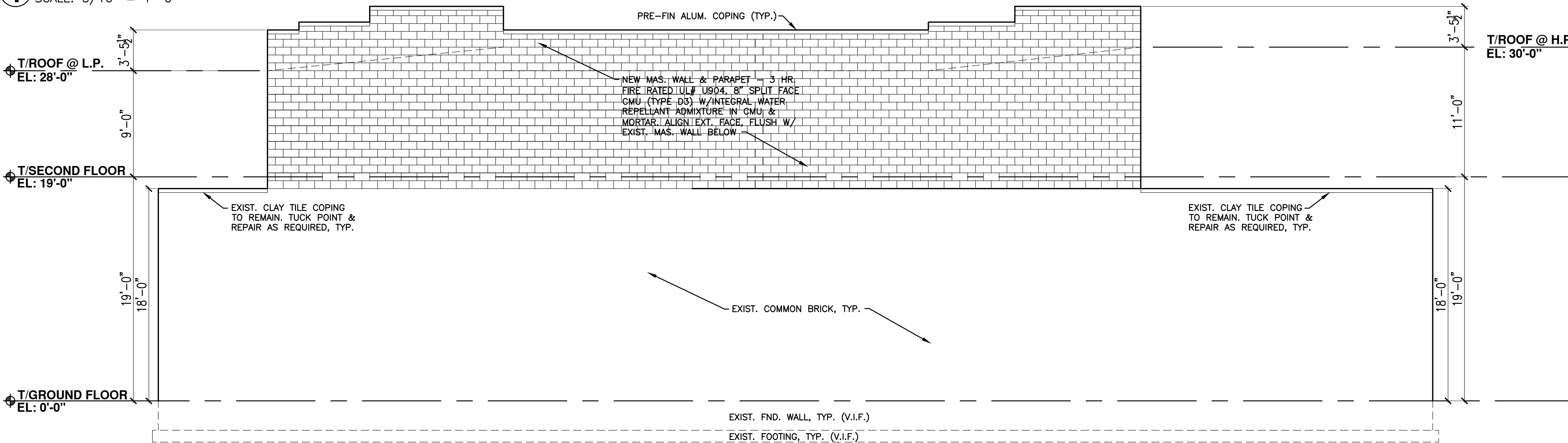
**ROOF PLAN**

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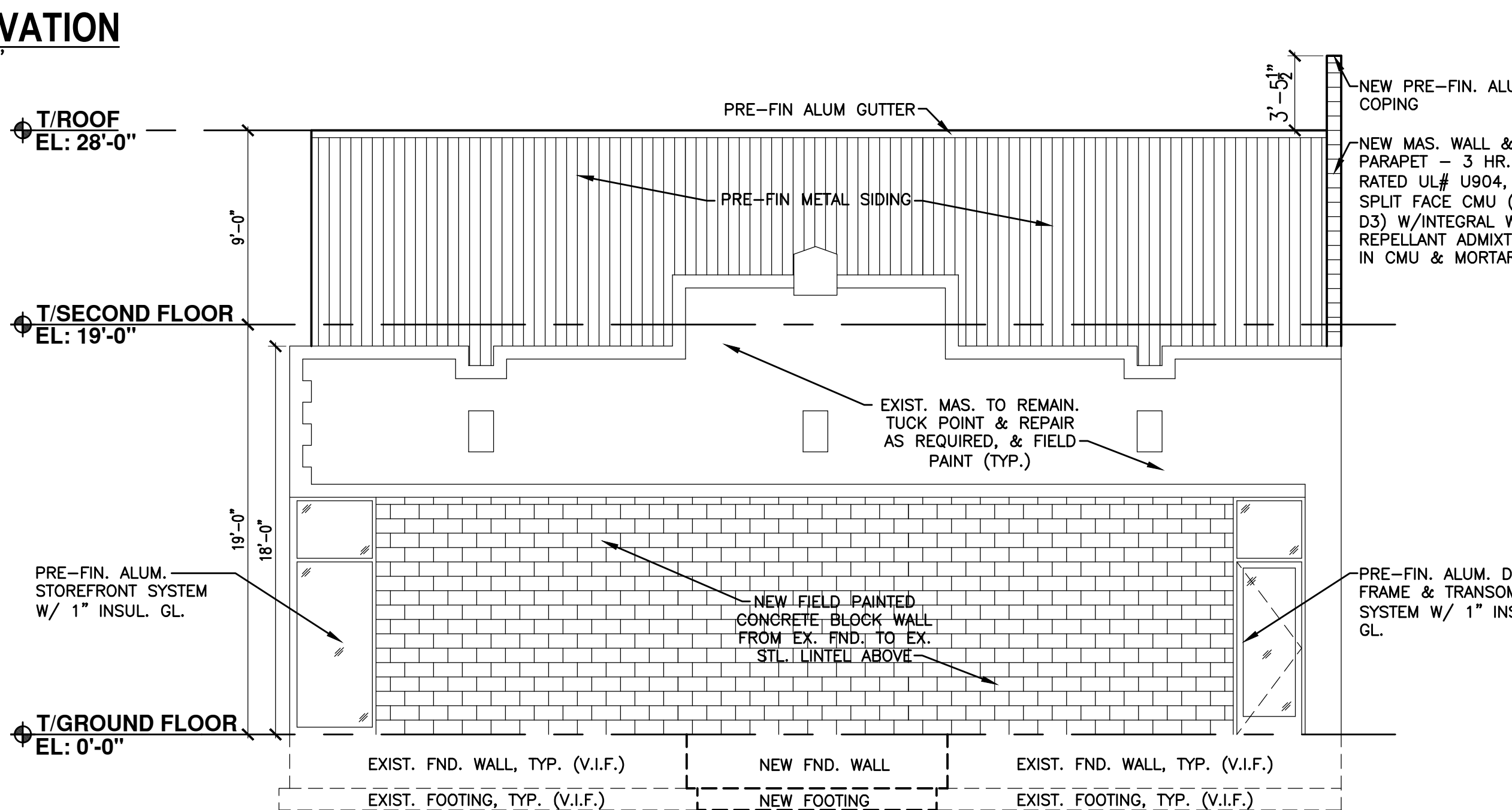
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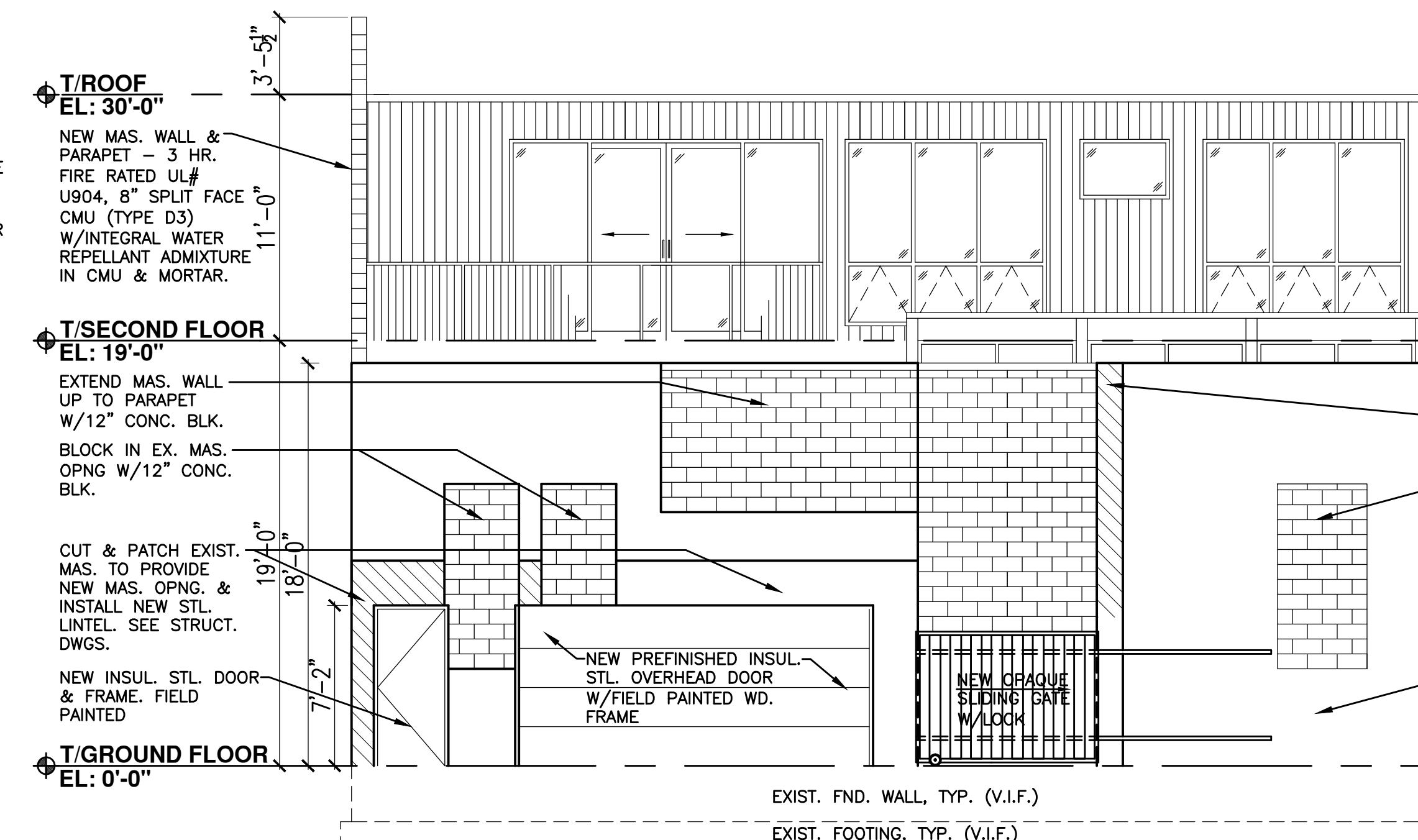
**1 NEW EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 NEW WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 NEW NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**4 NEW SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

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**BUILDING ELEVATIONS**

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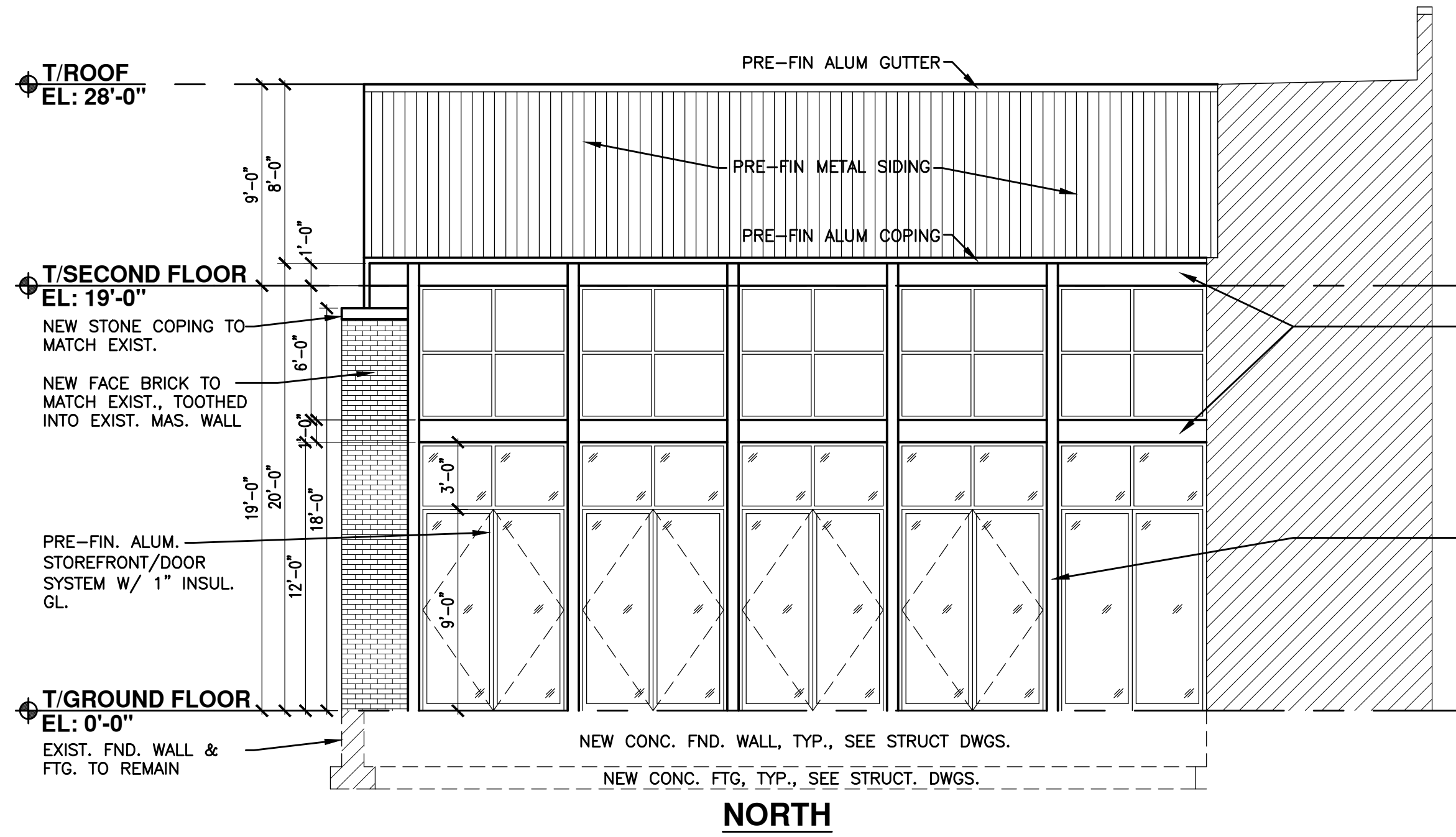
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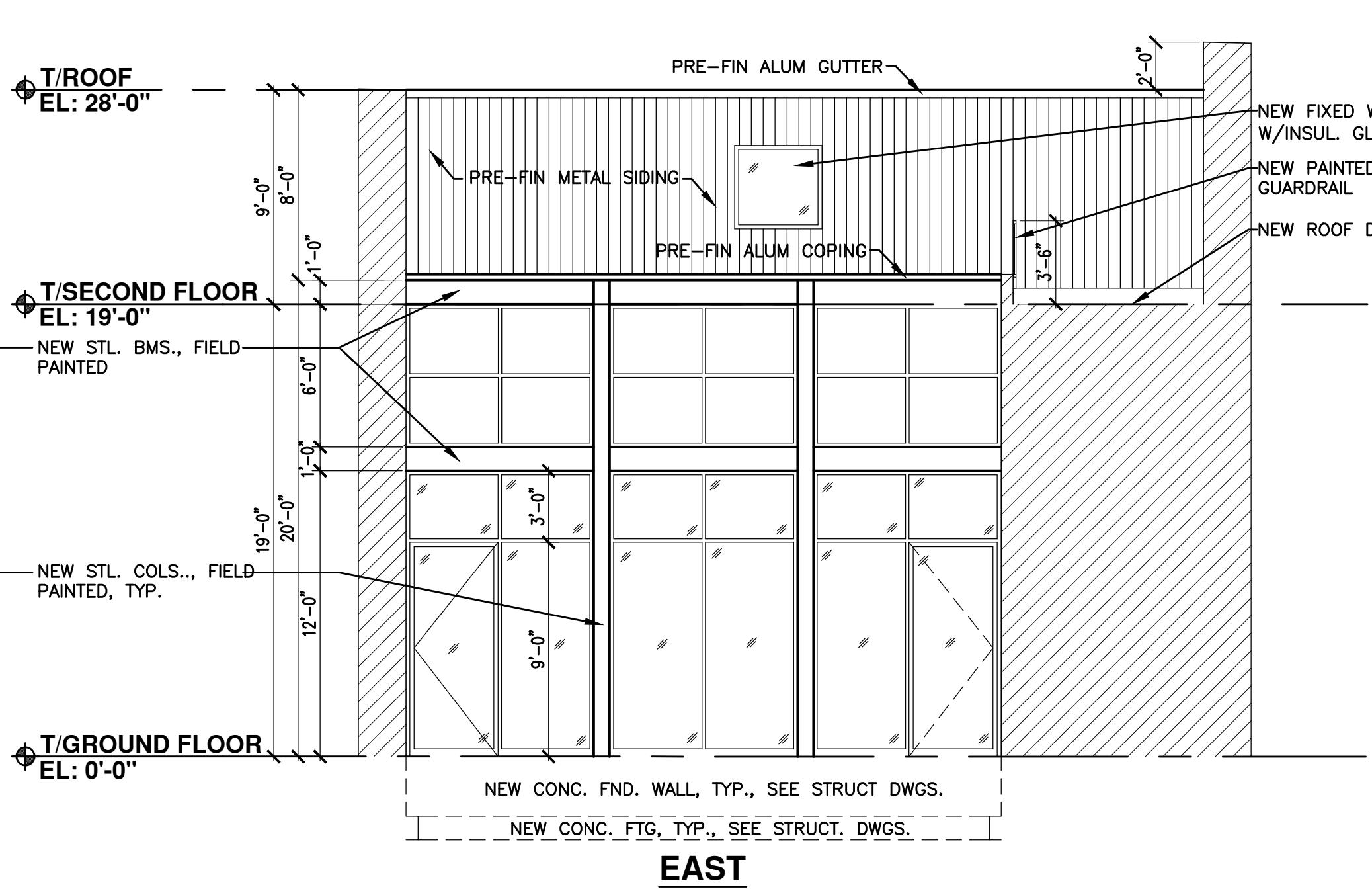
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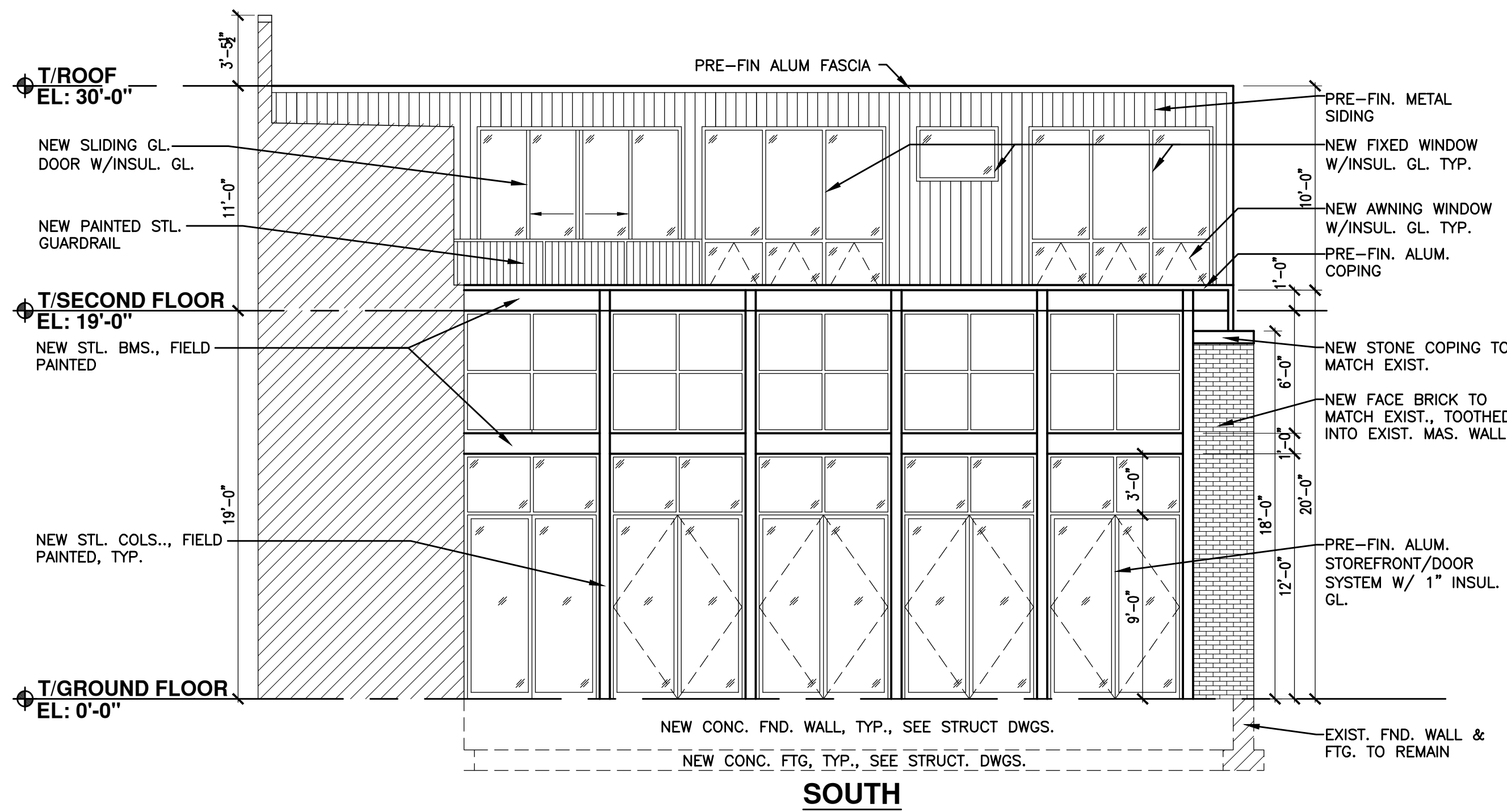




**1 NEW OUTDOOR PATIO NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 NEW OUTDOOR PATIO EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 NEW OUTDOOR PATIO SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

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**COURTYARD ELEVATIONS**

**OBORA & ASSOCIATES**  
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