

APPLICATION TO THE PLANNING BOARD
CITY OF POUGHKEEPSIE, NEW YORK

Application for Site Plan, Special Permit & Facade Approval

I. PROPERTY ADDRESS: _____

II. PROPERTY OWNER: _____
ADDRESS: _____

_____ (state and zip code)

PHONE NUMBER: _____ (include area code)

III. NAME OF APPLICANT: _____

ADDRESS: _____

_____ (state and zip code)

PHONE NUMBER: _____ (include area code)

EMAIL ADDRESS: _____

(If applicant is NOT the owner, proof of owner's consent to the application MUST be provided.)

IV. CONSULTANT: _____

ADDRESS: _____

_____ (state and zip code)

PHONE NUMBER: _____ (include area code)

V. PROPOSED USE or FAÇADE CHANGE (Summarize proposed use or uses): _____

VI. ZONING DISTRICT: _____

OFFICE USE ONLY
CODE: PLSF
ID # _____
FEE: _____
Total, from:
\$500, plus
\$ _____
(\$150 per 1000
square feet of floor
area), plus
\$ _____
(\$35 per number of
required parking
spaces), plus
\$ _____
(\$500 for special
permit, if applicable)

(Proceed to XVII for special permit & façade approval only)

PROJECT INFORMATION

New construction: _____(yes)_____ (no)

Change of use:_____ (yes) _____ (no)

Expansion/addition:_____ (yes) _____ (no)

Alteration:_____ (yes) _____ (no)

Cost of Construction: \$_____

LOT AND BULK INFORMATION:

Lot area: _____ (acres) _____ (square feet)

Building Footprint: _____ (proposed square feet for new construction)

_____ (existing square feet for change of use/expansion)

_____ (additional proposed square feet for expansion)

_____ (total building footprint, square feet)

Lot Coverage: _____ (percentage, building coverage only)

Gross Floor Area: _____ (proposed square feet for new construction)

_____ (existing square feet for change of use/expansion)

_____ (additional proposed square feet for expansion)

_____ (total gross floor area, square feet)

Building Height: _____ (stories) _____ (feet)

Floor Area Ratio: _____ (ratio of gross floor area divided by lot area)

VIII. PROJECT PARKING INFORMATION

A) Number of Off-Street Parking Spaces required: _____

B) Number of Off-Street Parking Spaces provided: _____

C) Waiver Requested: _____ (Yes) _____ (No)

Is municipal parking available within 600 feet? _____ (Yes) _____ (No)

If yes, name all such municipal facilities: _____

(If a waiver is requested based on proximity to municipal facilities, a written request for such waiver, addressed to the City Planning Staff and the Chairman of the Planning Board, must be submitted with the application.)

If a private parking facility is to be utilized, is such facility within 600 feet?

_____ (Yes) _____ (No)

If yes, provide the address of the facility, name of the property owner, number of spaces in the lot, number of spaces available for lease, and length of lease. Attach copy of lease. Additional information may be required by the Planning Board):

IX. RESIDENTIAL PROPOSALS

A) Type of Development: _____
(Townhouse, condominium, multiple residence rental, etc.)

B) Unit Breakdown:
Number of efficiency or "studio" units: _____
Number of one (1) bedroom units: _____
Number of two (2) bedroom unit's _____
Number with three or more bedrooms: _____
Total number of units: _____

C) Is funding public? ____ Yes ____ No
If yes, describe funding source: _____

X. OFFICE PROPOSALS (____ Medical/Dental ____ Professional ____ Business)

A) Number of Employees: _____
B) Number of doctors/dentists/medical practitioners: _____
C) Days/Hours of Operation: _____

XI. SERVICE BUSINESS PROPOSALS

- A) Specify Business: _____
(e.g., laundromat, drycleaner, beauty parlor, travel agency, banks)
- B) Number of Employees: _____
- C) Number of Washing Machines (for laundromat): _____
- D) Days/Hours of Operation: _____

XII. MERCANTILE PROPOSALS (Retail _____ Wholesale _____)

- A) Type of Mercantile (specify): _____
- B) Number of Employees: _____
- C) Days/Hours of Operation: _____

XIII. STANDARD RESTAURANT/FAST FOOD RESTAURANT/COFFEE SHOP/DONUT SHOP/NIGHTCLUB/DISCOTHEQUE/BAR PROPOSALS

- A) Specify Use: _____
- B) Number of seats (excluding bar stools and outdoor seating): _____
- C) Meals served (i.e., breakfast, lunch, dinner): _____
- D) Type of Menu: _____
- E) Days/Hours of Operation: _____
- F) Entertainment (live and/or recorded): _____
- G) Will the restaurant contain a bar/lounge?: _____ Yes _____ No
- H) If yes, how many seats at the bar? _____
- I) Is a drive-through window proposed? _____
- J) Is a walk-up window proposed? _____
- K) Is an outdoor seating area proposed? _____
- L) If yes, how many seats are proposed? _____
- M) If yes, is outdoor cooking proposed? _____

XIV. INDUSTRIAL/COMMERCIAL PROPOSALS (Automobile repair, taxi, motor vehicle sales, warehouse, manufacturing, animal hospital, research facilities, etc.)

- A) Specify Use: _____
- B) Number of shifts (if any): _____
- C) Number of employees: _____
(If shifts are proposed, list number of employees per shift)
- E) Number of work bays (if automobile repair): _____
- F) Days/Hours of operation: _____

XV. EDUCATIONAL/INSTITUTIONAL/RECREATIONAL PROPOSALS (e.g., Museums, Theatres, Conference Centers, Hotels, Motels, Hospitals, Nursing Homes, Assisted Living Facilities, Nursery Schools, Private Schools, Day Care Centers, Places of Worship, Marinas, Membership Clubs, etc.)

A) Specify: _____

B) Number of shifts (if any): _____

C) Number of employees: _____
(If shifts are proposed, list number of employees per shift)

D) Number of beds (hospitals, nursing homes, etc): _____

E) Number of seats in largest assembly space: _____

F) Number of classrooms (schools): _____

G) Number of rental units (hotels, motels, etc.) _____

H) Number of boat slips/courts (e.g., tennis, handball, etc.), alleys: _____

I) Days/Hours of Operation: _____

XVI. PROPOSALS NOT MENTIONED ABOVE (Please be specific):

XVII. APPLICANT CERTIFICATION

I, _____, certify that the this application has addressed the objectives outlined in the Zoning Ordinance with consideration given to the public health, safety and welfare; the comfort and convenience of the public in general or the residents or users of the proposed development and of the immediate neighborhood.

The applicant certifies that all information contained herein is accurate and complete as of the date of this application.

Chaim Kiroch _____

Signature of Applicant

Date

**15 North Cherry Street, Poughkeepsie, NY
Proposed Adaptive Reuse Project
Planning Board Resubmission 03
July 26th, 2022****Cover Letter (Project Description):**

The proposed adaptive reuse project, located at 15 North Cherry Street in Poughkeepsie, New York, focuses on bringing new life to a building initially constructed in the late 1800's. Through implementation of a floor-through unit typology, the development takes advantage of the existing building's long narrow floor plate with east and west exposures. The units' floor-through layout affords desirable double exposure and cross ventilation to residents. The addition of exterior stairs and balconies activates the façade and signifies the building's new use. The industrial character of the converted manufacturing building is preserved and celebrated while offering a more residential complexion as seen from the street. The layout, material selection and proposed lighting all contribute to this design intent.

- In this resubmission, we have insured that all units are properly labeled one- or two-bedroom in plan accordingly. The plans clearly reflect that the 16 units on the 1st floor and the 16 units on the 2nd floor are all one-bedroom units. The 3rd floor contains a mixture of (4) one-bedroom units and (6) two-bedroom units.
- The two exterior lighting strategies we are considering: indirect up lighting integrated within the structure above the walkways/balconies or indirect linear railing downlighting both have been further clarified. We recognized that there are trade offs with either strategy and that the railing design and selection of flooring material will impact and be impacted by the ultimate lighting system selected. While we recognize the desire to determine which strategy will be employed, the ultimate decision on the final lighting strategy cannot be made until multiple samples are reviewed, pricing for both options obtained and their impact to the overall project budget is analyzed.

In order to achieve the proposed intent, the applicant seeks Site Plan/Special Permit approval to convert the existing manufacturing building in a C-3 Zoning District to a multifamily residential development with associated amenities. The existing structures' footprints predate the current zoning ordinances and no changes are proposed that would increase or create additional noncompliance. The proposed typology mix in the main three-story structure is a mix of one- and two-bedroom units, in compliance with the minimum sizes as per Section 19-3.24(2)(b)(9). The existing one-story structure on the south side of the lot, as well as the open area in the north side yard of the site, are proposed to be used for amenities associated with the residential occupancy. A kids' playground and dog run are located at the north and an onsite gym, co working café, and bike storage are located at the south. These amenities will promote fitness and social interaction.

- In this resubmission, the demarcated section of the Fall Kill Trail within the setback of the proposed amenities at the north property line has been further clarified and the landscaping design has been updated to maximize this feature. Parties are working towards executing a Trail Easement Agreement.
- As part of the fencing concepts laid out with the intent to try to keep the site as open as possible while providing all the necessary safety and security, the planting and fencing along Cherry Street has been further developed. This deterrent fencing is an important feature, needed for both site safety as well as insuring that the parking spaces provided are only used by the residents they are assigned to. The landscape design as well as our fencing concepts sheet have been updated to address this need.

Due to the nature of existing site conditions - an existing narrow rear yard and small side yard adjacent to the Fall Kill Creek - the proposed development locates all onsite parking in the confines of the front yard and provides as many parking spaces as existing conditions allow. The development seeks to appeal to an active, forward-thinking demographic, by promoting alternative modes of transportation while still providing parking for less mobile residents. The remaining portions of the improved property shall be landscaped to provide buffering, minimize erosion and stormwater runoff, and improve the aesthetic of the site.

This proposed project endeavors to contribute to the ever-improving quality of Poughkeepsie's architectural landscape. Through a circulation typology conducive to social interaction, and personal fitness, it prioritizes the well-being of Poughkeepsie's future inhabitants.

Sincerely,

Alex Blakely

PARCEL DATA

TAX MAP INFORMATION SECTION 6162, BLOCK 79, LOT 344012

PARCEL ADDRESS NORTH 15 CHERRY STREET
POUGHKEEPSIE, NEW YORK 12601

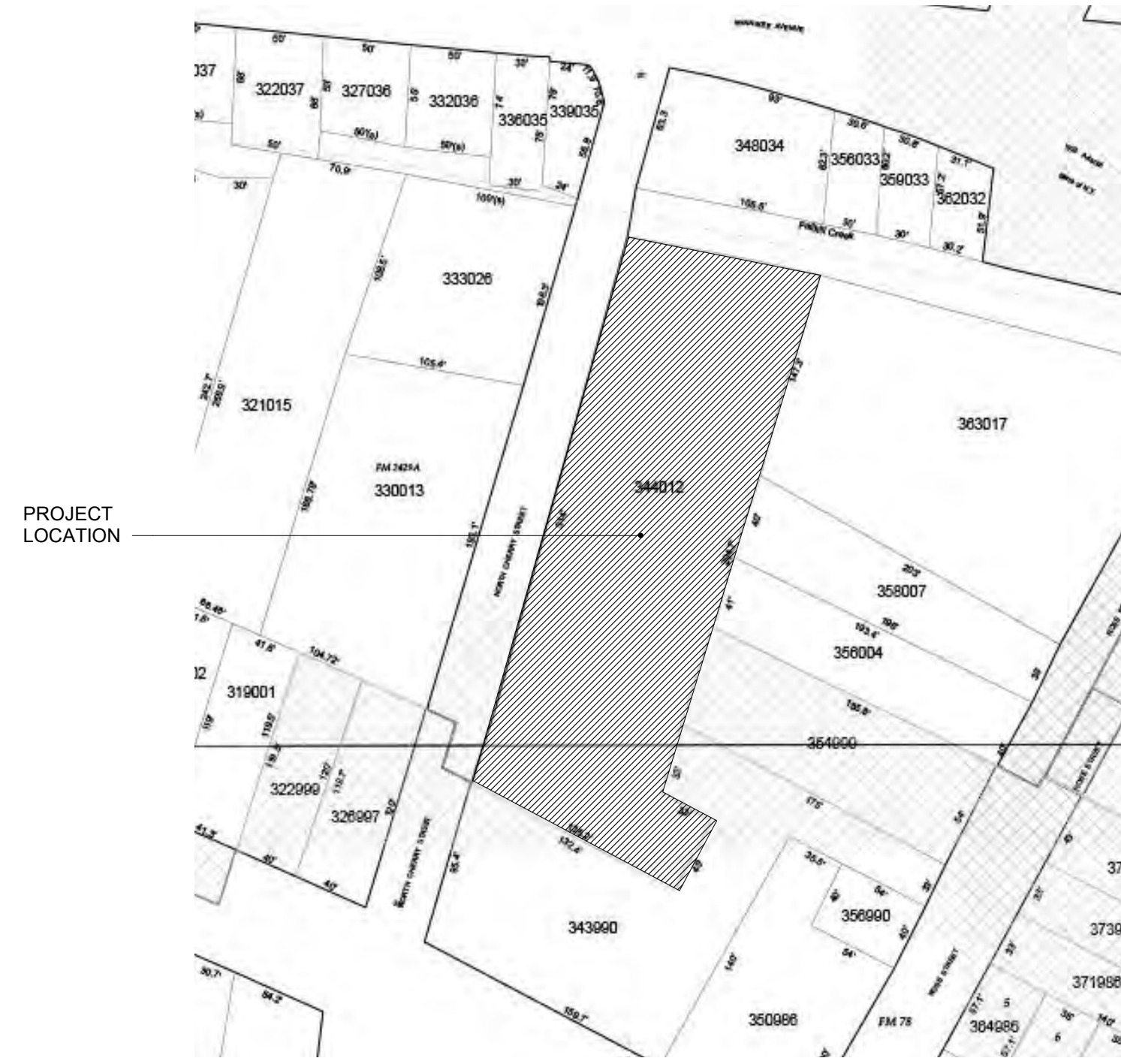
LOT AREA 0.90± ACRES

PROPERTY LOCATION AND SIZE

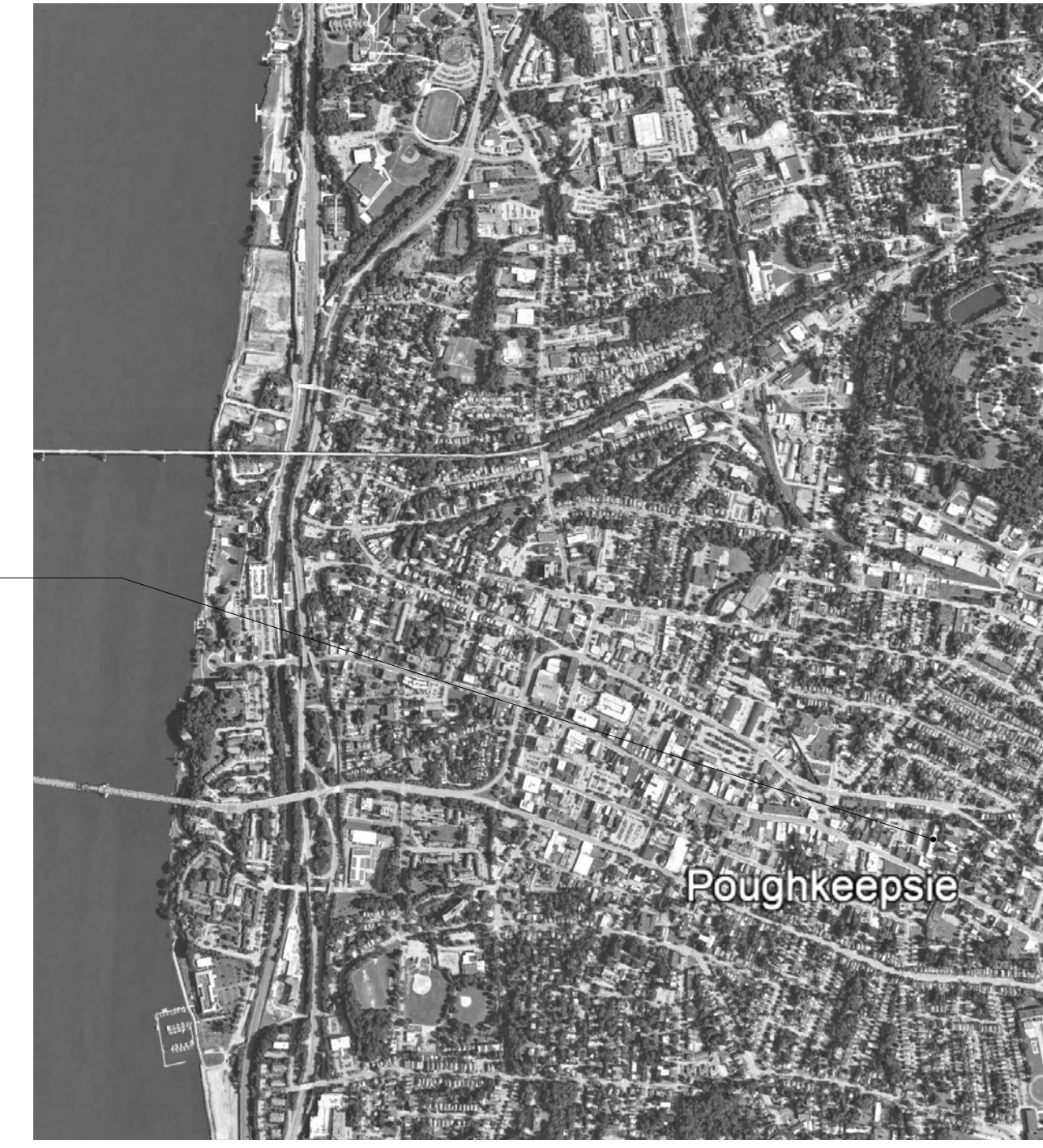
JURISDICTION CITY OF POUGHKEEPSIE, NY
NAME 15 NORTH CHERRY STREET
ADDRESS 15 NORTH CHERRY STREET,
POUGHKEEPSIE, NY 12601
SIZE 0.90 ACRES OR ± 39,204 SQ FT

ADJACENT PROPERTIES TAX MAP INFORMATION:

PARCEL #	PARCEL ADDRESS	AREA	OWNER	OWNER ADDRESS
326997	519 MAIN ST, POUGHKEEPSIE 126010000	0.01 ACRES	YEUNG, SHING FU (PRIMARY)	1055 DUTCHER DR, FISHKILL NY 12524
330013	8 N CHERRY ST, POUGHKEEPSIE 126010000	0.43 ACRES	NORTH CHERRY STREET HOUSING (PRIMARY)	313 MILL ST, POUGHKEEPSIE NY 126010000
333026	N CHERRY ST, POUGHKEEPSIE 126010000	0.25 ACRES	NORTH CHERRY STREET HOUSING (PRIMARY)	313 MILL ST, POUGHKEEPSIE NY 126010000
339035	418 MAPLE ST, POUGHKEEPSIE 126010000	0.04 ACRES	MCGRANE, PETER (PRIMARY)	164 WHITMAN RD, YONKERS NY 107100000
348034	420-422 MAPLE ST, POUGHKEEPSIE 126010000	0.14 ACRES	JOHNSON, NICHOLAS (PRIMARY)	19 IRELAND DR, POUGHKEEPSIE NY 126030000
356033	MAPLE ST, POUGHKEEPSIE 126010000	0.04 ACRES	JOHNSON, NICHOLAS (PRIMARY)	19 IRELAND DR, POUGHKEEPSIE NY 126030000
363017	17 ROSE ST, POUGHKEEPSIE 126010000	0.84 ACRES	FALLKILL COMMONS HOUSING (PRIMARY)	313 MILL ST, POUGHKEEPSIE NY 126010000
358007	9 ROSE ST, POUGHKEEPSIE 126010000	0.17 ACRES	JANENDO, JOHN JR A (PRIMARY)	9 ROSE ST, POUGHKEEPSIE NY 126010000
356004	7 ROSE ST, POUGHKEEPSIE 126010000	0.17 ACRES	MARKOVIC, ANTO (PRIMARY)	40 OLD ROUTE 52, STORMVILLE NY 12582
354999	ROSE ST, POUGHKEEPSIE 126010000	0.22 ACRES	FALLKILL COMMONS HOUSING (PRIMARY)	313 MILL ST, POUGHKEEPSIE NY 126010000
343990	521 MAIN ST, POUGHKEEPSIE 126010000	0.54 ACRES	521-527 MAIN STREET CORP (PRIMARY)	PO BOX 4, BILLINGS NY 125100000



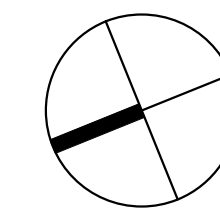
1 TAX MAP
N.T.S.



2 LOCATION MAP
N.T.S.



3 SITE PLAN.
1/16" = 1'-0"



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2	REVISION 2	08.28.22
1	REVISION 1	03.29.22
#	SUBMISSION	02.22.22

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abarchitekten
62 Allen Street, 2nd Fl
New York New York 10002
T 212.334.1232
F 212.334.4520
www.abarchitekten.com

15 NORTH CHERRY ST

SITE PLAN

DRAWING TITLE

AB
CHECKED BY PROJECT #
As indicated 03.29.22
SCALE DATE

A-100
DRAWING # 17 OF 42

I. PROPERTY LOCATION AND SIZE

1. JURISDICTION:	CITY OF POUGHKEEPSIE, NY
2. NAME:	15 NORTH CHERRY STREET
3. ADDRESS:	15 NORTH CHERRY STREET, POUGHKEEPSIE, NY 12601
4. SIZE:	90 ACRES OR +/- 39,204 SQ FT

II. EXISTING LAND USE AND ZONING

1. DATE OF EXISTING ORDINANCE	1979 CITY OF POUGHKEEPSIE ZONING ORDINANCE
2. EXISTING ZONING DESIGNATION	C-3 GENERAL COMMERCIAL
3. ADJACENT ZONING DESIGNATION AND OR USES (IF APPLICABLE):	NORTH: R-4 MEDIUM HIGH – DENSITY RESIDENTIAL C-3 GENERAL COMMERCIAL EAST: R-4 MEDIUM HIGH – DENSITY RESIDENTIAL C-1 NEIGHBORHOOD COMMERCIAL SOUTH: C-1 NEIGHBORHOOD COMMERCIAL WEST: C-3 GENERAL COMMERCIAL
4. EXISTING LAND USE:	COMMERCIAL - STORAGE, WAREHOUSE AND DISTRIBUTION FACILITIES

III. PROPOSED LAND USE AND ZONING

1. PROPOSED ZONING DESIGNATION:	C-3 GENERAL COMMERCIAL
2. PROPOSED LAND USE:	COMMERCIAL - LIVING ACCOMMODATIONS: APARTMENTS
3. IS USE PERMITTED?	PERMITTED ONLY BY SPECIAL USE PERMIT ISSUED THE PLANNING BOARD.

IV. SPECIAL USE PERMIT REQUIREMENTS 19-3.24-9

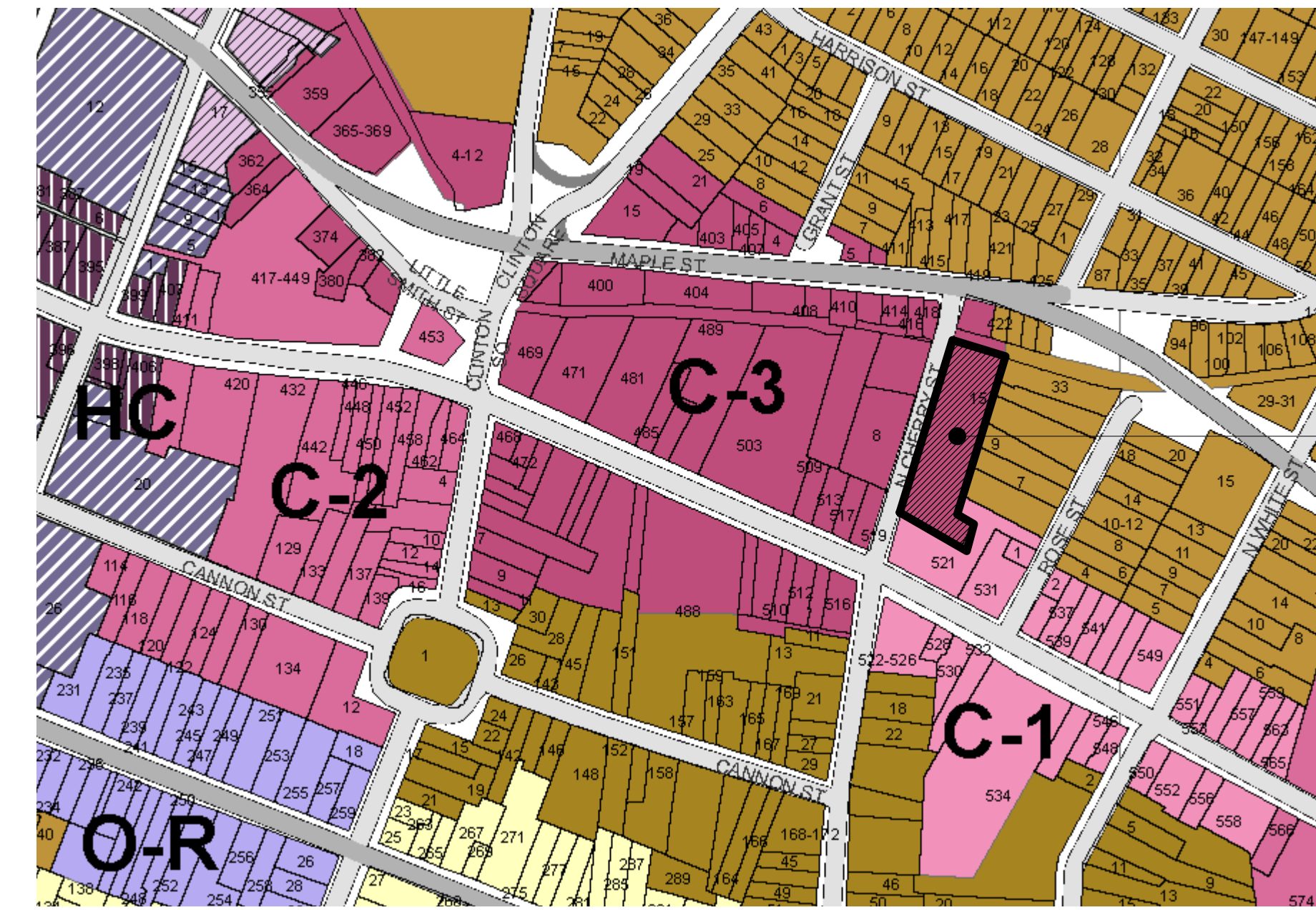
	REQUIRED	EXISTING	PROPOSED
1. BUILDING IS IN EXISTENCE ON THE EFFECTIVE DATE OF THE ZONING ORDINANCE.	YES	YES	YES
2. NO DWELLING UNIT SHALL CONTAIN MORE THAN TWO BEDROOMS	YES	N/A	2
3. MIN. STUDIO DWELLING UNIT SQUARE FOOTAGE	400 SQ FT	N/A	N/A
4. MIN. ONE BEDROOM DWELLING UNIT SQUARE FOOTAGE	600 SQ FT	N/A	600 - 700 SQ FT
5. MIN. TWO BEDROOM DWELLING UNIT SQUARE FOOTAGE	750 SQ FT	N/A	1,100 - 1,200 SQ FT
6. MIN LIVE/WORK LOFT DWELLING UNIT SQUARE FOOTAGE*	800 SQ FT	N/A	N/A
7. *LIVE WORK UNITS SHALL NOT BE USED AS RETAIL SHOP, GALLEY, OR ANY USE THAT RELIES ON REGULAR CUSTOMER OR CLIENT VISITATION AS PART OF NORMAL OPERATION. NO LOFT SHALL SERVES AS A PLACE FROM WHICH, COMMERCIAL VEHICLES ARE DISPATCHED OR OPERATED.			
8. OFF STREET PARKING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 19-4.3, AND SUCH PARKING SHALL BE LOCATED WITHIN 600 FEET OF THE PREMISES.			

V. SUMMARY OF BULK REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
1. BUILDING SET-BACK LINES			
FRONT:	10 FEET	43.5 FEET	51.5 FEET
SIDE:	10 FEET EACH 20 FEET TOTAL	42 FEET / 0 FEET 42 FEET	NO CHANGE NO CHANGE
REAR:	20 FEET*	2.6 FEET	14 FEET
		*WHERE C-3 DISTRICT IS WITHIN 50 FEET OF ANY R 1 THROUGH R-6 DISTRICT, A LANDSCAPED BUFFER OF AT LEAST 20 FEET SHALL BE PROVIDED ALONG THE PROPERTY LINE	
2. LOT AREA:	NONE	39,204 SQ FT	NO CHANGE
3. LOT WIDTH:	UNLISTED	+/- 316.25 FEET	NO CHANGE
4. LOT FRONTAGE:	40 FEET	+/- 314 FEET	NO CHANGE
5. BUILDING HEIGHT:	UNLISTED	+/- 37 FEET 2 INCH	NO CHANGE
6. LOT COVERAGE:	60%	35.81%	34.42%
7. USABLE OPEN SPACE:	UNLISTED	N/A	N/A
8. FLOOR AREA RATIO (FAR):	2.0	0.98	1.01

VI. OFF - STREET PARKING AND LOADING

	REQUIRED	EXISTING	PROPOSED
1. PLANTINGS AT STREET OR PROPERTY LINE (SEPARATING PARKING).			
MIN WIDTH:	3 FEET	N/A	3 FEET
MIN HEIGHT:	3 FEET	N/A	3 FEET
MAX SPACING:	3 FEET	N/A	3 FEET
2. MAX CONTINUOUS PARKING ROW:	12 SPACES	N/A	11 SPACES
3. MAX UNINTERRUPTED PARKING AREA:	24 SPACES	N/A	22 SPACES
4. SCREENING:	WHERE A PARKING AREA FOR 3 OR MORE VEHICLES ABUTS A RESIDENTIAL PROPERTY, IT SHALL BE SCREENED FROM VIEW BY MEANS APPROVED BY PLANNING BOARD.		
5. ACCESS LANES			
AREAS SERVING < 20 SPACES	ONE 15' WIDE LANE	N/A	N/A
AREAS SERVING >20 SPACES	TWO 10' WIDE LANES	N/A	VARIES
6. PARKING SPACES			
MIN LENGTH:	20 FEET LONG	N/A	20 FEET LONG
MIN WIDTH:	9 FEET WIDE	N/A	9 FEET WIDE
7. PARKING AISLE			
MIN AISLE BETWEEN ROWS	22 FEET AISLE	N/A	N/A
MIN AISLE FOR ANGLE PARKING	16 FEET AISLE	N/A	16 FEET AISLE
8. ENTRANCE EXIT DISTANCE FROM INTERSECTION:	50 FEET MIN	>50 FEET	>50 FEET
9. PARKING REQUIREMENTS*			
STUDIO.....1 SPACE			
1 – BEDROOM.....1.5 SPACES			
2 – BEDROOM.....2 SPACES			
LIVE / WORK LOFT.....1 SPACE			
*ADD 10 % TO TOTAL FOR VISITORS.	73 SPACES	N/A	22 SPACES



1 ZONING MAP
N.T.S.

PROPERTY:
15 NORTH CHERRY STREET

BUILDING GROSS FLOOR AREA - EXISTING			
FLOOR	3-STORY BLDG GROSS F.A.	1-STORY BLDG GROSS F.A.	TOTAL GROSS F.A.
CELLAR	5,274.89		5,274.89
1ST FLOOR	10,549.39	3,489.79	14,039.18
2ND FLOOR	10,292.39		10,292.39
3RD FLOOR	10,292.39		10,292.39
TOTAL ABOVE GRADE	31,134.17	3,489.79	34,623.96
TOTAL INCL. CELLAR	36,409.06	3,489.79	39,898.85

BUILDING GROSS FLOOR AREA - PROPOSED			
FLOOR	RESIDENTIAL GROSS F.A.	AMENITIES GROSS F.A.	TOTAL GROSS F.A.
CELLAR	4,987.62		4,987.62
1ST FLOOR	10,005.12	3,489.79	13,494.91
2ND FLOOR	10,005.12		10,005.12
3RD FLOOR	10,005.12		10,005.12
TOTAL ABOVE GRADE	30,015.36	3,489.79	33,505.15
TOTAL INCL. CELLAR	35,002.98	3,489.79	38,492.77

F.A. RATIO (LOT/GROSS F.A.) 0.98

PARKING SCHEDULE					
	UNIT TYPE	UNITS	REQUIRED BY TYPE	REQUIRED	PROVIDED
RESIDENTIAL TOTAL	STUDIO		0 1 SPACE PER UNIT	0	
	ONE BEDROOM		36 1.5 SPACES PER UNIT	54	
	TWO BEDROOM		6 2 SPACES PER UNIT	12	
	ADDITIONAL 10% VISITOR REQUIREMENT			7	
TOTAL				73	22

UNIT SCHEDULE				
FLOOR	UNIT TYPE			TOTAL
	STUDIO	1-BED	2-BED	
CELLAR				0
1ST FLOOR		16	0	16
2ND FLOOR		16	0	16
3RD FLOOR		4	6	10
ROOF/BULKHEAD				0
TOTAL UNIT COUNT	0	36	6	42

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New York New York 10002
T 212.334.1232
F 212.334.4520
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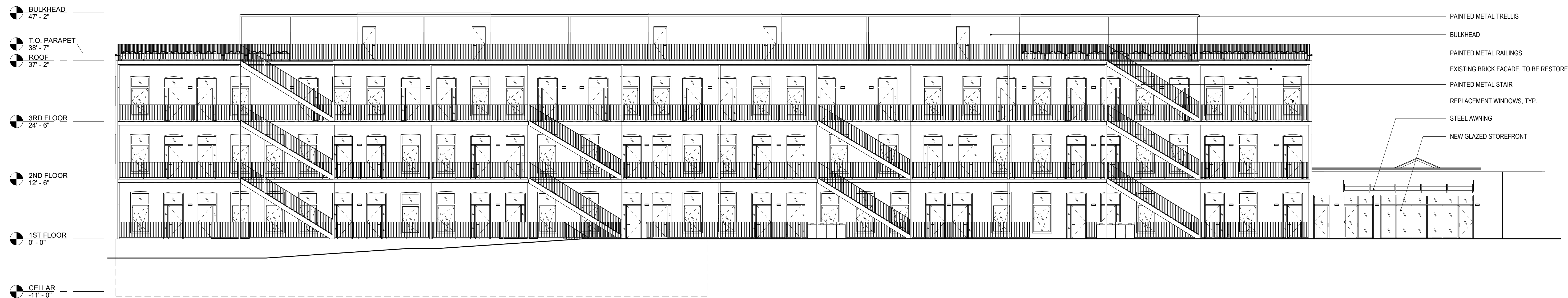
15 NORTH CHERRY ST

ZONING ANALYSIS &
AREA TABULATIONS

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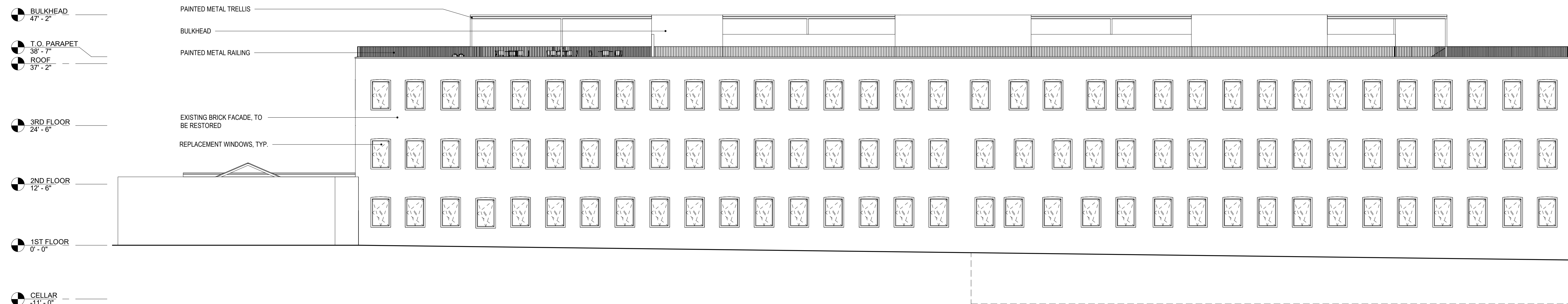
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- PAINTED METAL TRELLIS
- BULKHEAD
- PAINTED METAL RAILINGS
- EXISTING BRICK FACADE, TO BE RESTORED
- PAINTED METAL STAIR
- REPLACEMENT WINDOWS, TYP.
- STEEL AWNING
- NEW GLAZED STOREFRONT

1 WEST ELEVATION
3/32" = 1'-0"



- PAINTED METAL TRELLIS
- BULKHEAD
- PAINTED METAL RAILING
- EXISTING BRICK FACADE, TO BE RESTORED
- REPLACEMENT WINDOWS, TYP.

2 EAST ELEVATION
3/32" = 1'-0"

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1	REVISION 1	06.28.22
#	SUBMISSION	02.22.22

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New York New York 10002
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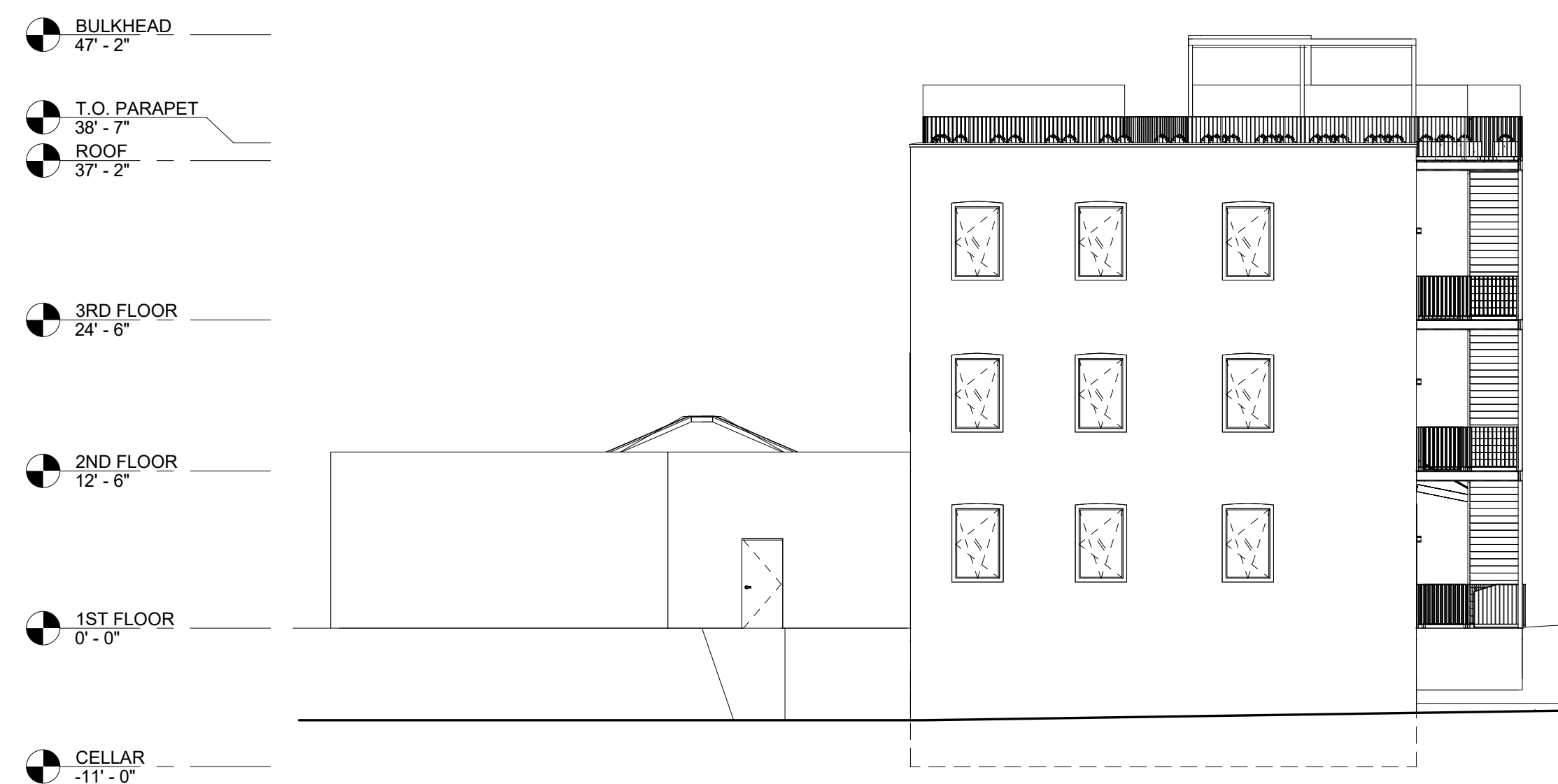
15 NORTH CHERRY ST

EAST AND WEST ELEVATIONS

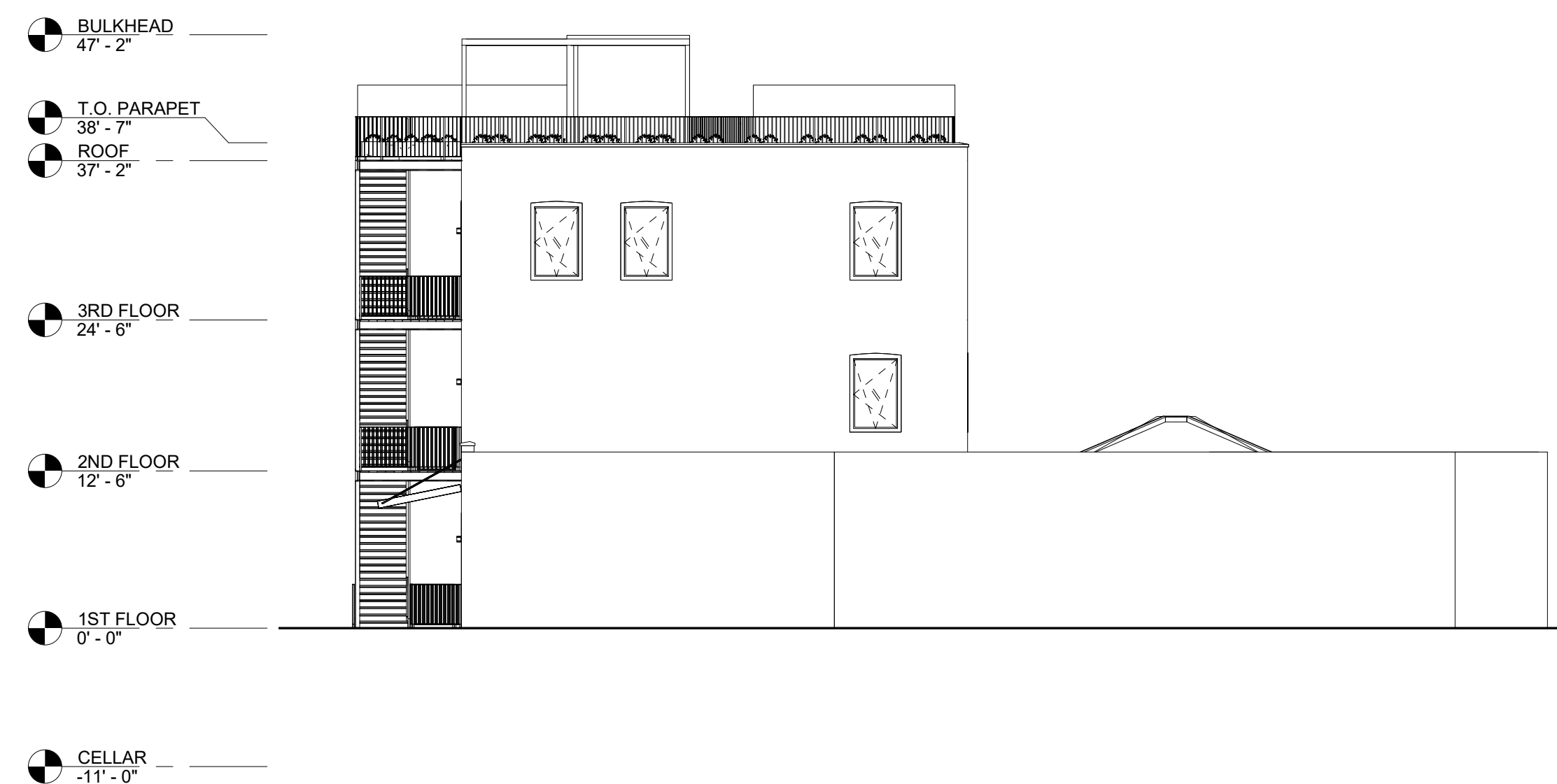
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1 NORTH ELEVATION
3/32" = 1'-0"



2 SOUTH ELEVATION
3/32" = 1'-0"

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1	REVISION 1	06.28.22
#	SUBMISSION	02.22.22

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15 NORTH CHERRY ST

NORTH AND SOUTH
ELEVATIONS

DRAWING TITLE

AB PROJECT #

3/32" = 1'-0" 06/28/22

SCALE DATE

A-402

DRAWING #

15 NORTH CHERRY STREET

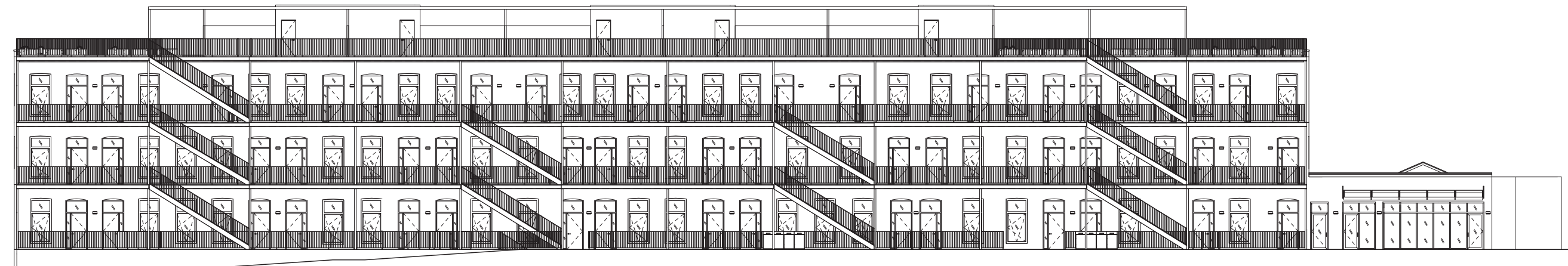
Poughkeepsie, NY

SITE PLAN & FACADE REVIEW

June 28, 2022

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19	Refuse Enclosure
20	Fencing Concepts
21	Southwest Perspective



INTRODUCTION

The proposed adaptive reuse project, located at 15 North Cherry Street in Poughkeepsie, New York, focuses on bringing new life to a building initially constructed in the late 1800's. Through implementation of a floor-through unit typology, the development takes advantage of the existing building's long and narrow floor plate with east and west exposures. The units' floor-through layout affords desirable double exposure and cross ventilation to residents.

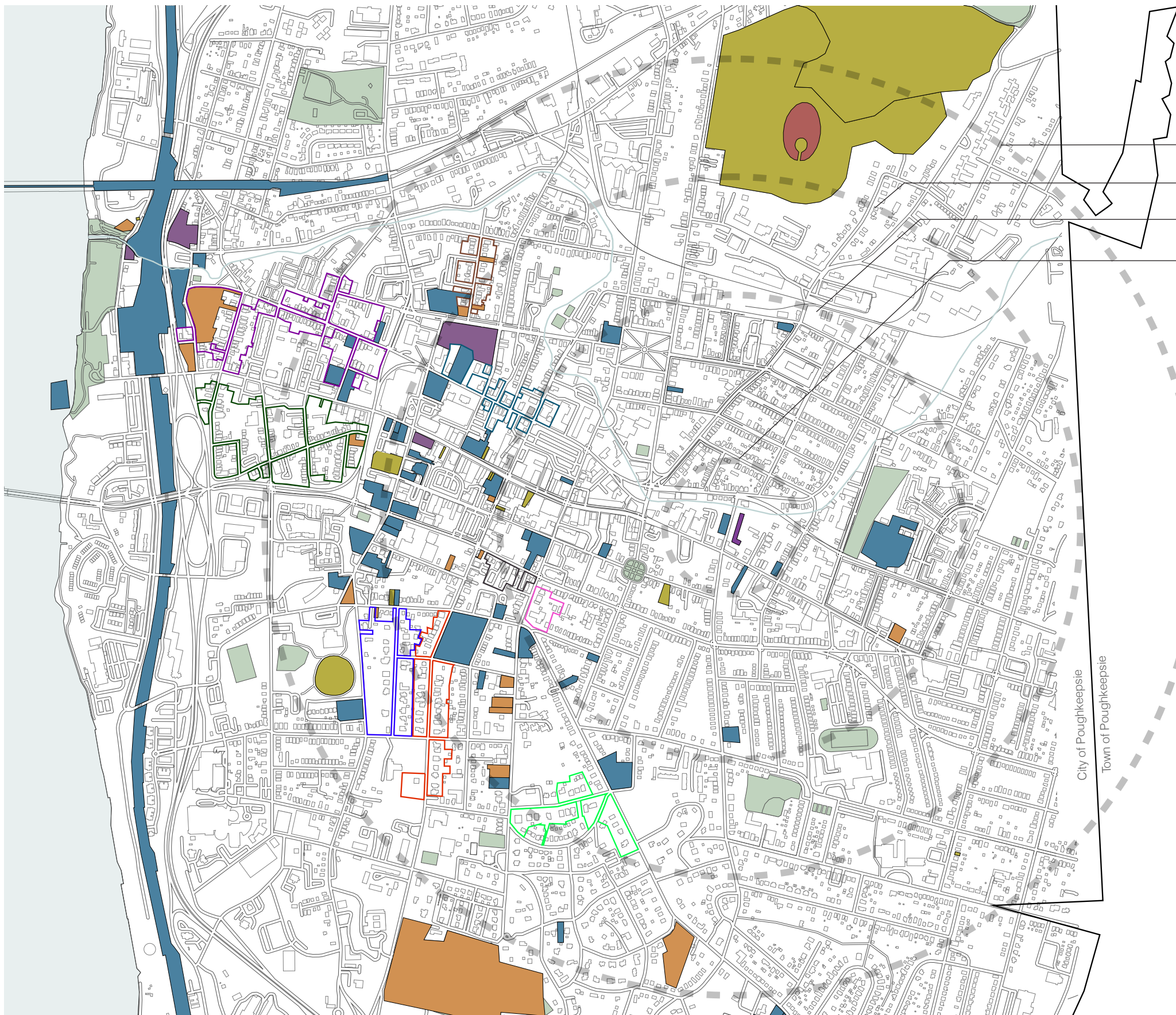
The addition of exterior stairs and balconies activates the façade and signifies the building's new use. The industrial character of the converted manufacturing building is preserved and celebrated while offering a more residential complexion as seen from the street. The composition of balconies and exterior stairs creates a memorable formal expression, with which residents can identify and connect, while lending individuality to the variety of units.

The development seeks to appeal to an active, forward-thinking demographic, while still providing parking for less mobile residents. This proposed project endeavors to contribute to the ever-improving quality of Poughkeepsie's architectural landscape. Through a circulation typology conducive to social interaction, and personal fitness, it prioritizes the well-being of Poughkeepsie's future inhabitants.

MISSION

- (1) HISTORICAL PRESERVATION
- (2) REVITALIZATION THROUGH STRATEGIC ARCHITECTURAL INTERVENTION
- (3) CITY CONNECTIVITY

(1) HISTORICAL PRESERVATION



- 1 MILE RADIUS
- 3/4 MILE RADIUS
- 1/2 MILE RADIUS
- 600 FOOT RADIUS

KEY

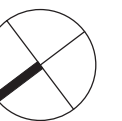
Historical Landmarks

- Local
- Local and State
- Local, State, and National
- State
- State and National

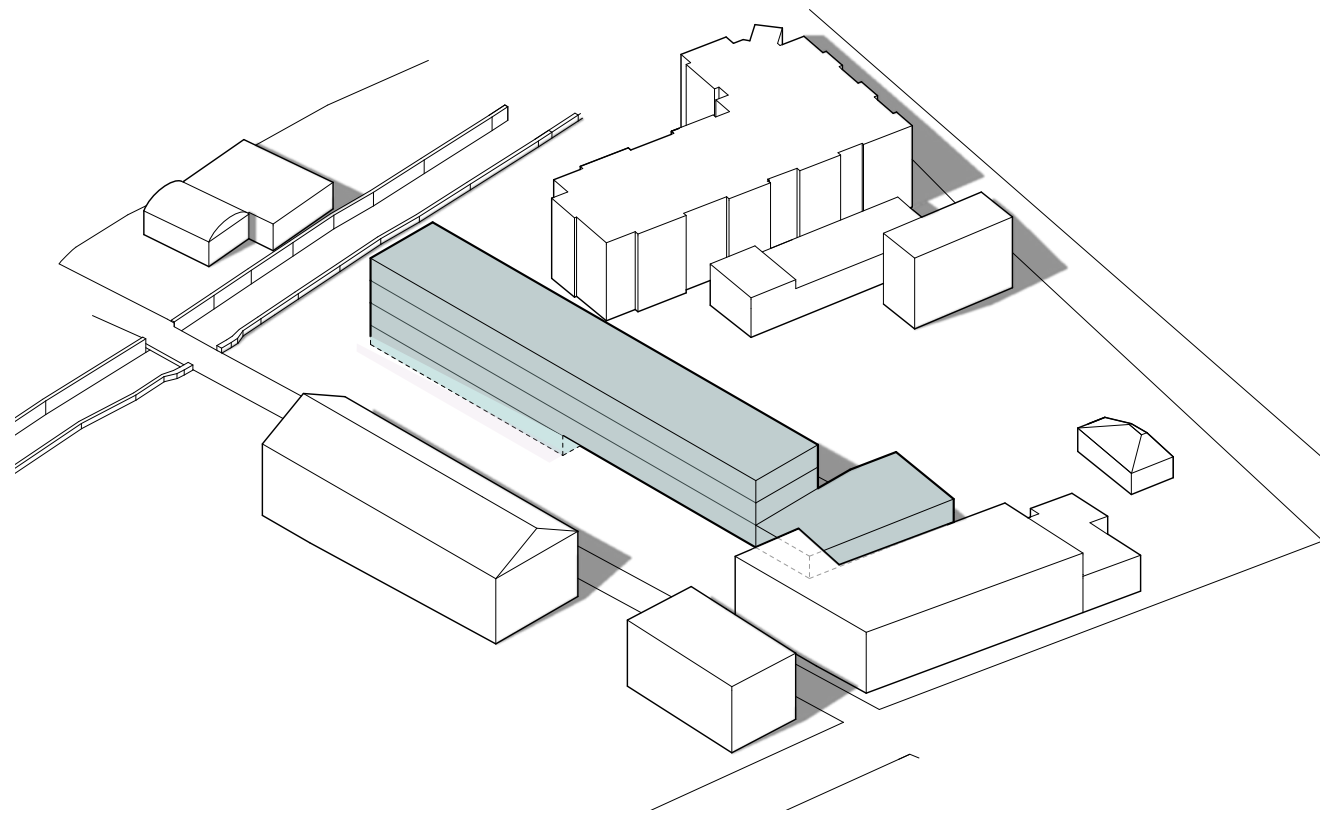
Historical Districts

- Mill St - N. Clover St
- Union St
- Balding Ave
- Upper Mill St
- Vassar-Warner Row
- Garfield Place
- Academy Street
- Dwight St - Hooker Ave
- Church Street Row

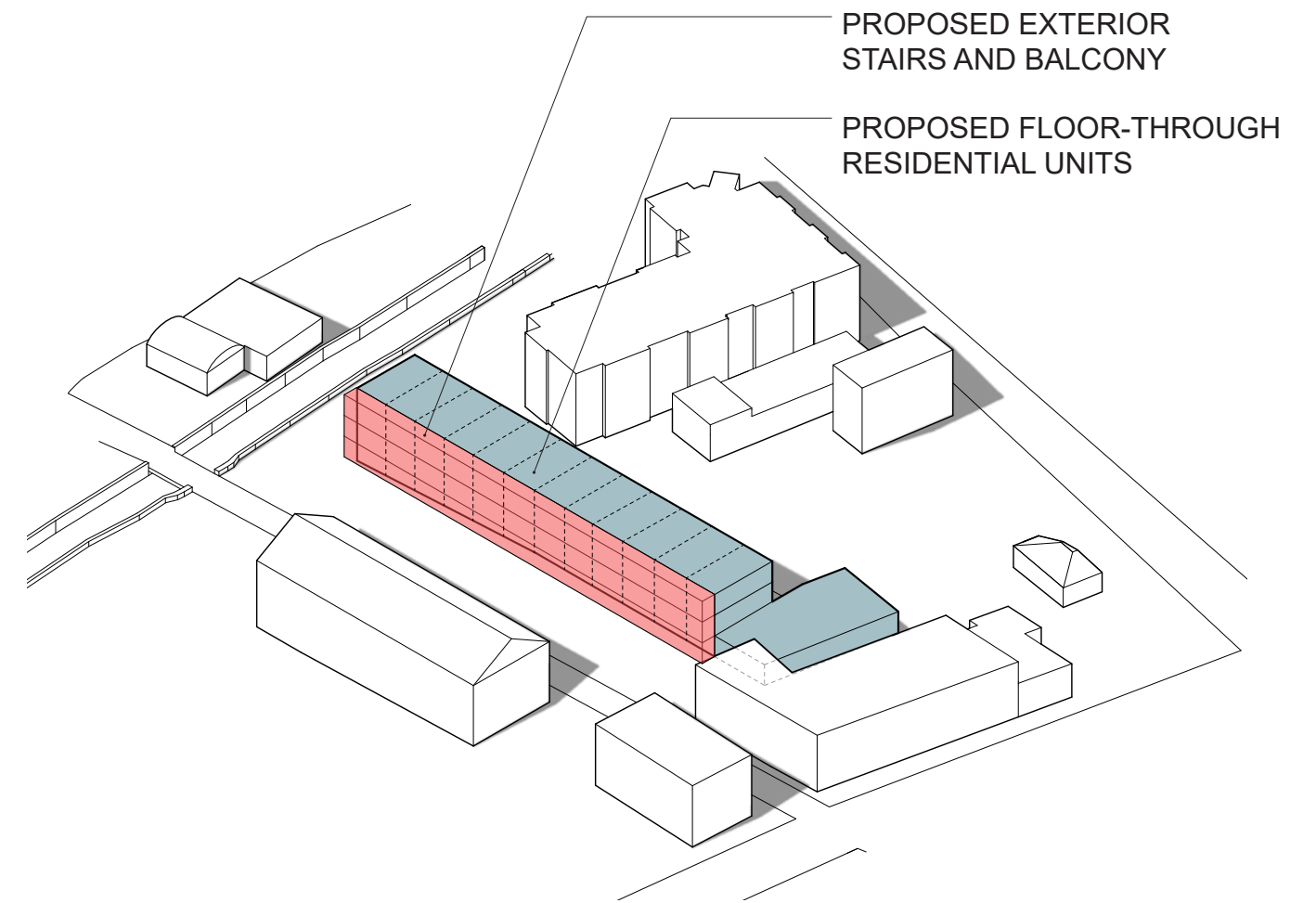
City of Poughkeepsie
Town of Poughkeepsie



(2) REVITALIZATION THROUGH STRATEGIC ARCHITECTURAL INTERVENTION

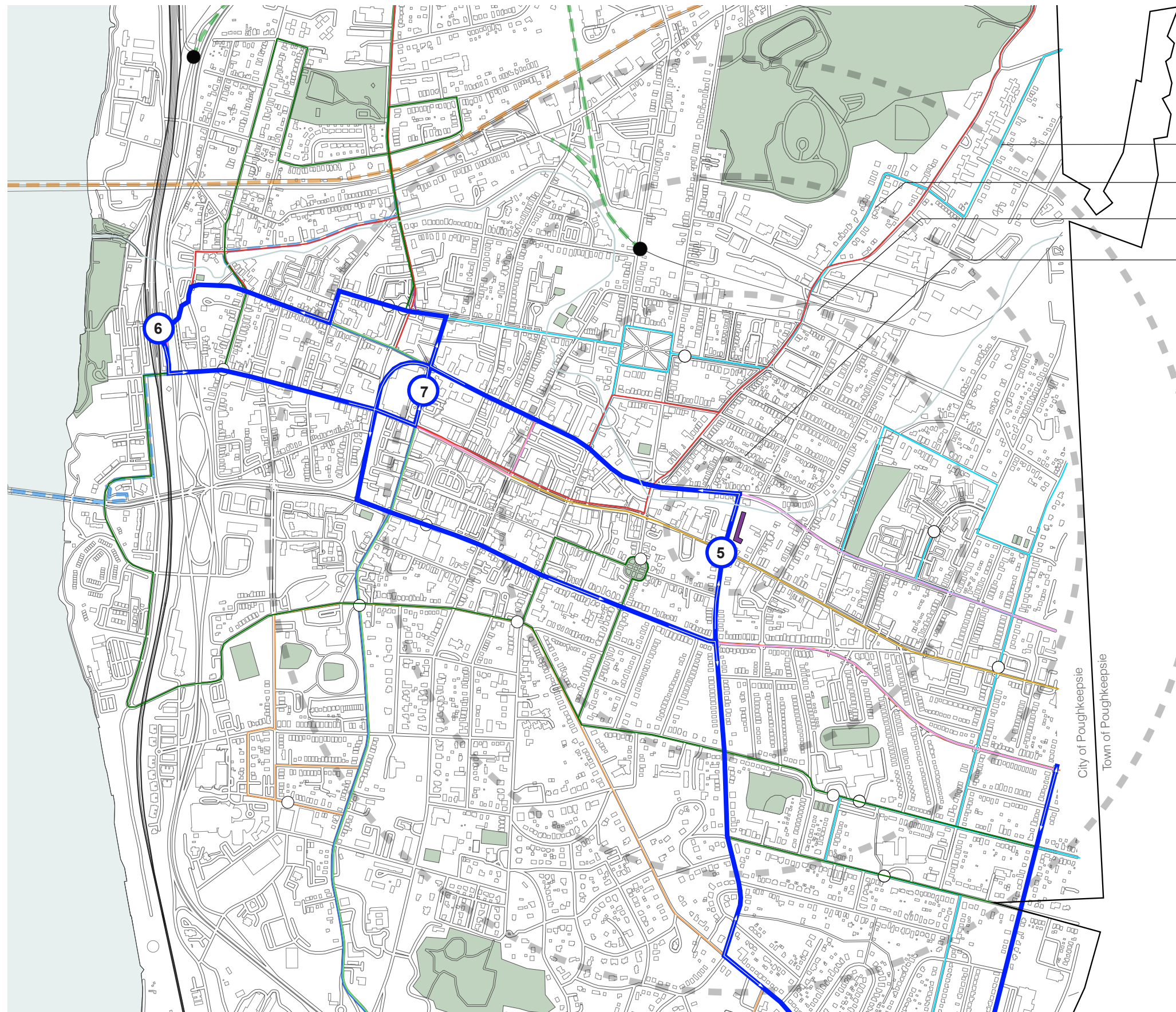


EXISTING CONDITIONS



PROPOSED INTERVENTION

(1) CITY CONNECTIVITY



- 1 MILE RADIUS
- 3/4 MILE RADIUS
- 1/2 MILE RADIUS
- 600 FOOT RADIUS

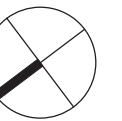
KEY

Poughkeepsie Bus Routes

- Route A - PK to Fishkill
- Route B - PK to Beacon
- Route C - PK to Tivoli
- Route D - PK to Wassaic
- Route E - PK to Pawling
- Route H - PK Transit Hub to Dutchess County College
- Route J - PK Transit Hub to Hyde Park
- Route K - PK to The Shoppes at South Hills
- Route L - PK to Stop & Shop or Adam Fairace Farms
- Route M - PK to Grand Avenue at Hooker Ave.
- Route P - PK Transit Hub to PK Highschool
- PRL - PK Train Station to Hudson River Housing
- - - Urban Trail path
- - - W.R.S. Dutchess Rail Trail
- Walkway Loop Trail
- Poughkeepsie Train Station
- Access to Urban Trail
- Other Bus Stops
- PRL Stops: 5 - N Cherry St & Main St
6 - Poughkeepsie Train Station
7 - Dutchess County Transit Hub

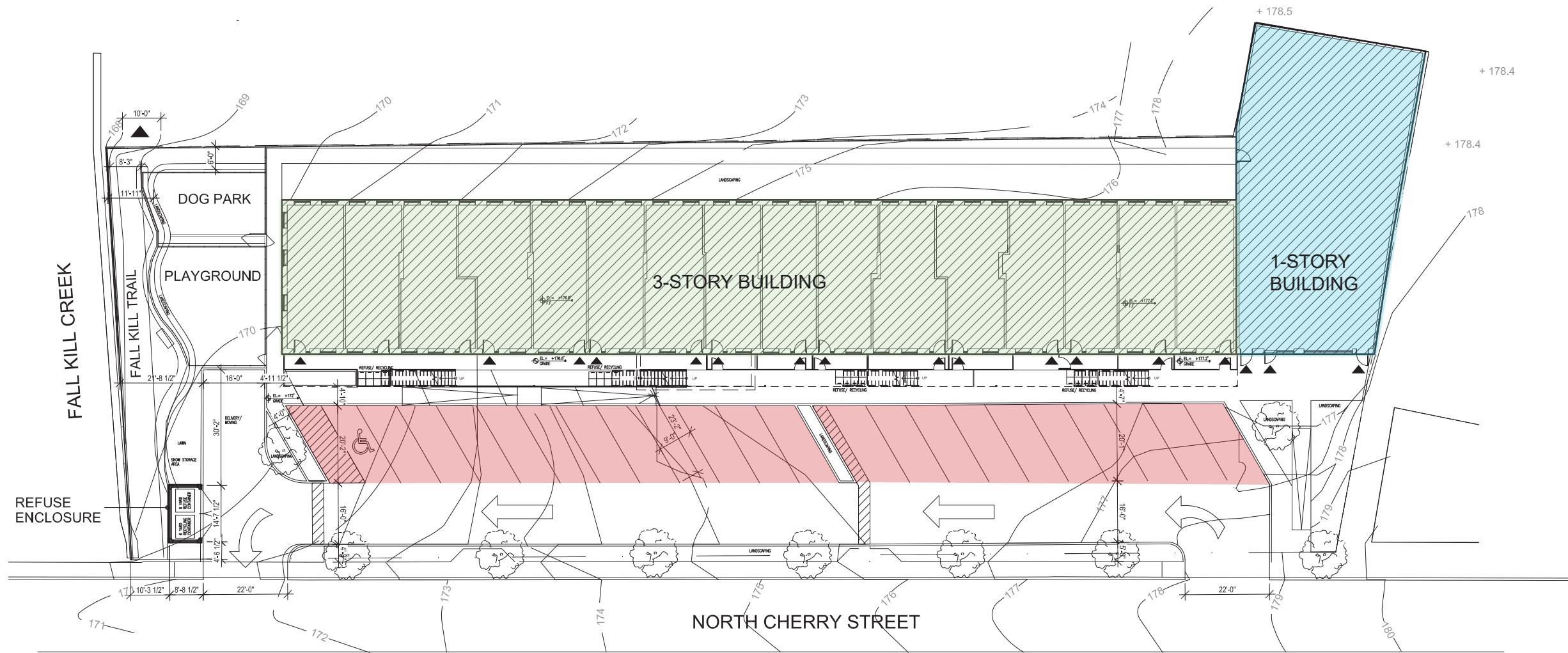
FREQUENCY OF PRL LINE STOPS IN MORNING AND EVENING DURING RUSH HOURS 40 MIN.

PRL LINE TRAVEL TIME BETWEEN SITE AND POUGHKEEPSIE TRAIN STATION 10 MIN.

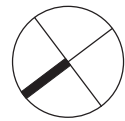


KEY

- PARKING
- RESIDENTIAL
- AMENITIES

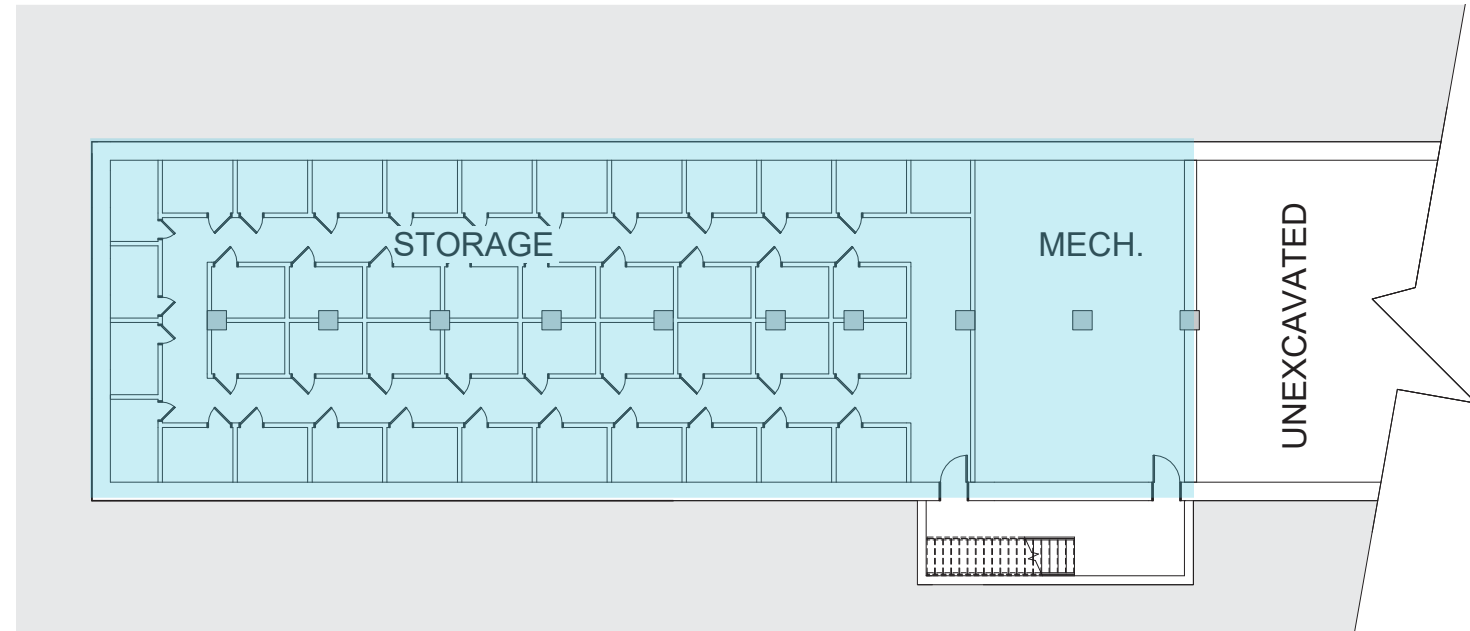


SCALE: 1/32" = 1'-0"

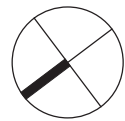


KEY

- PARKING
- RESIDENTIAL
- AMENITIES



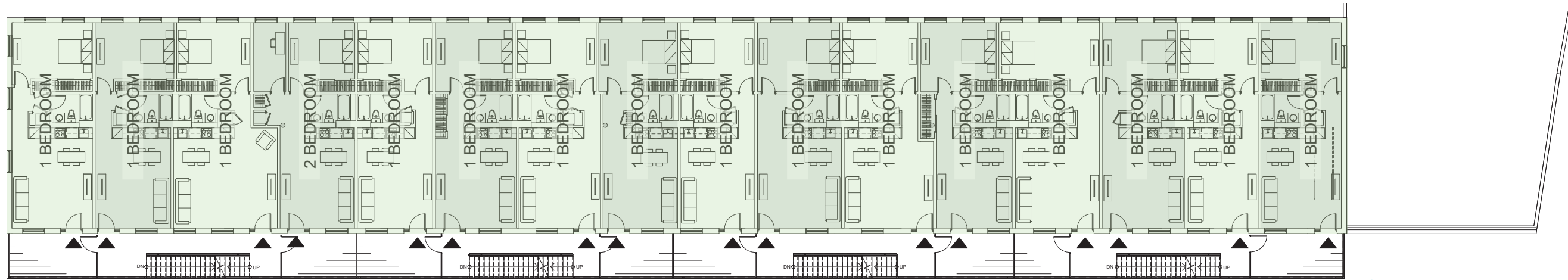
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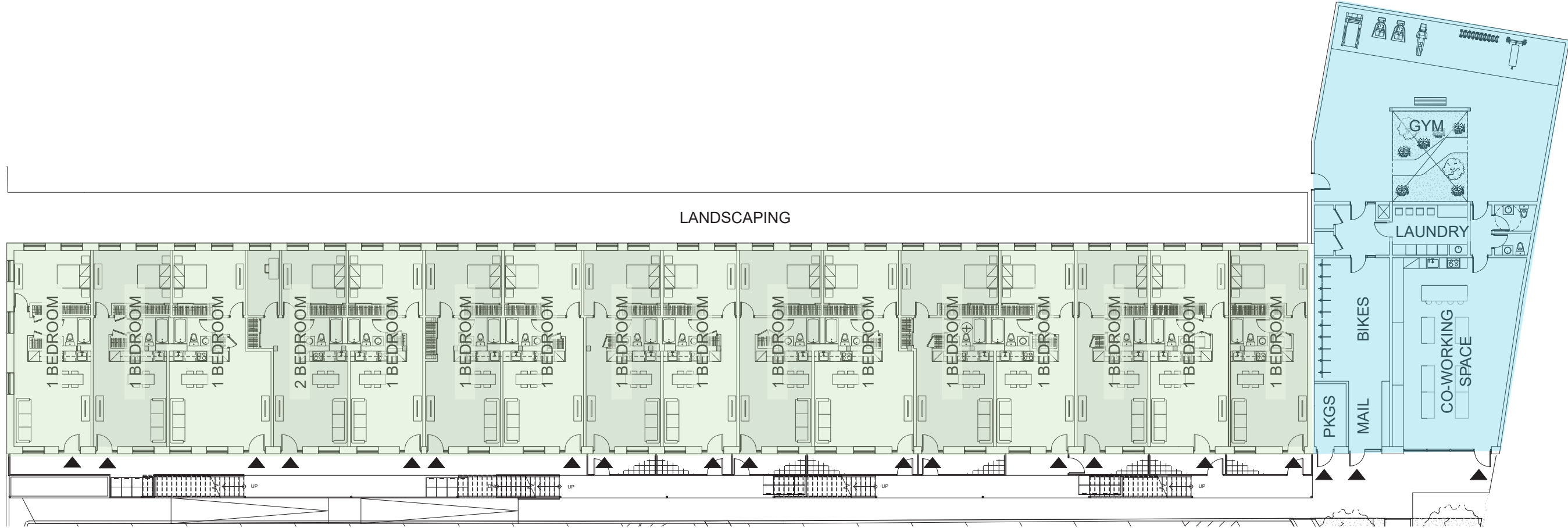
KEY

- PARKING
- RESIDENTIAL
- AMENITIES

2ND FLOOR

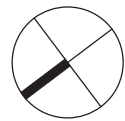


1ST FLOOR



LANDSCAPING

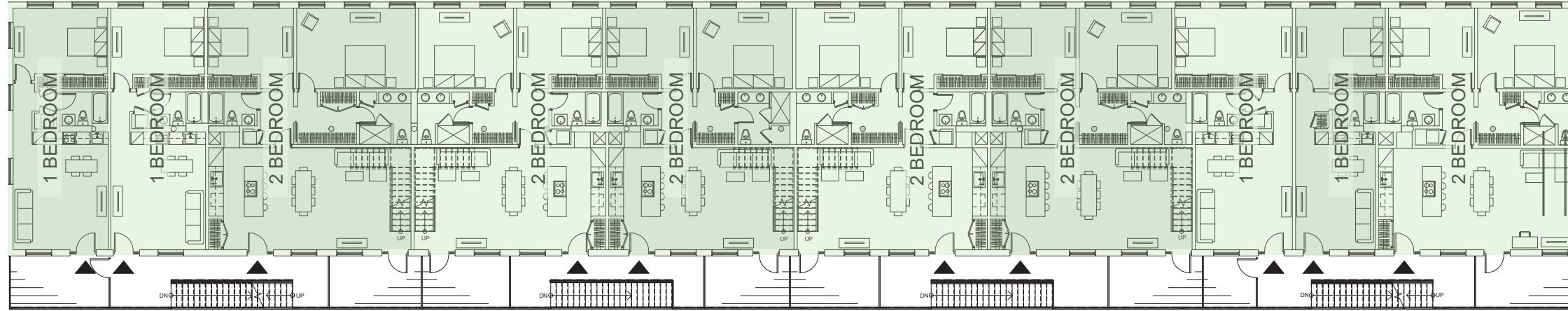
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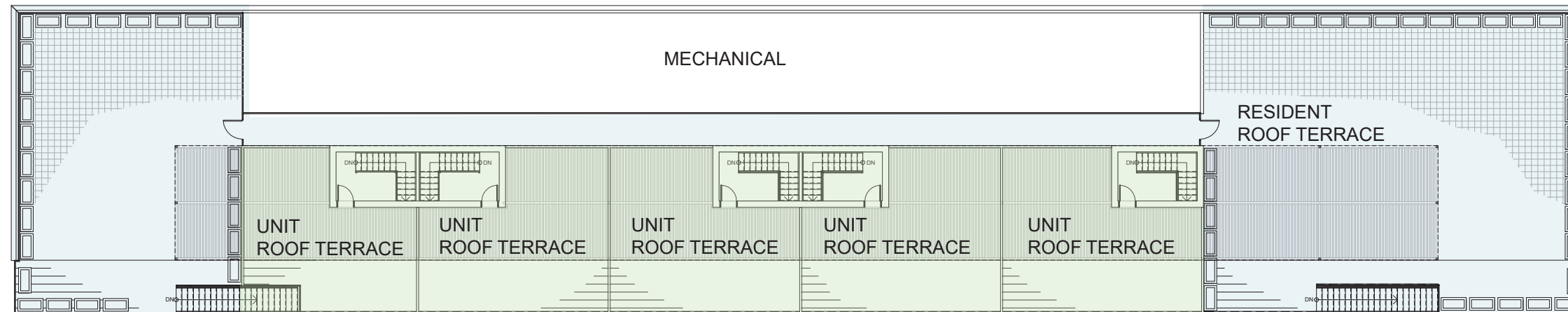
KEY

- PARKING
- RESIDENTIAL
- AMENITIES

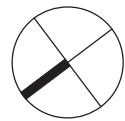
3RD FLOOR

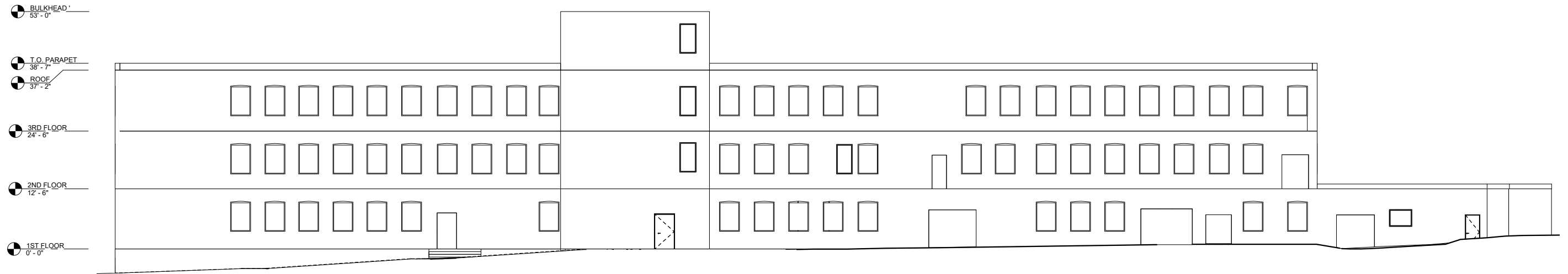


ROOF

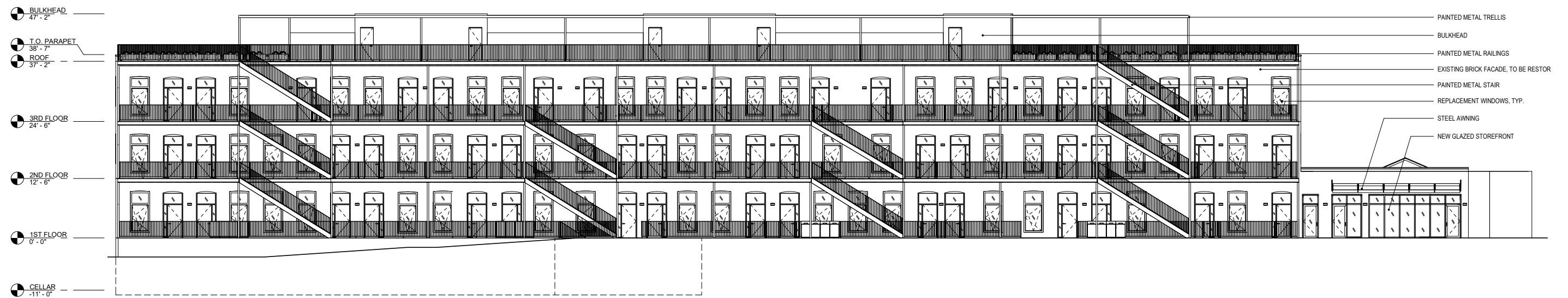


SCALE: 3/64" = 1'-0"





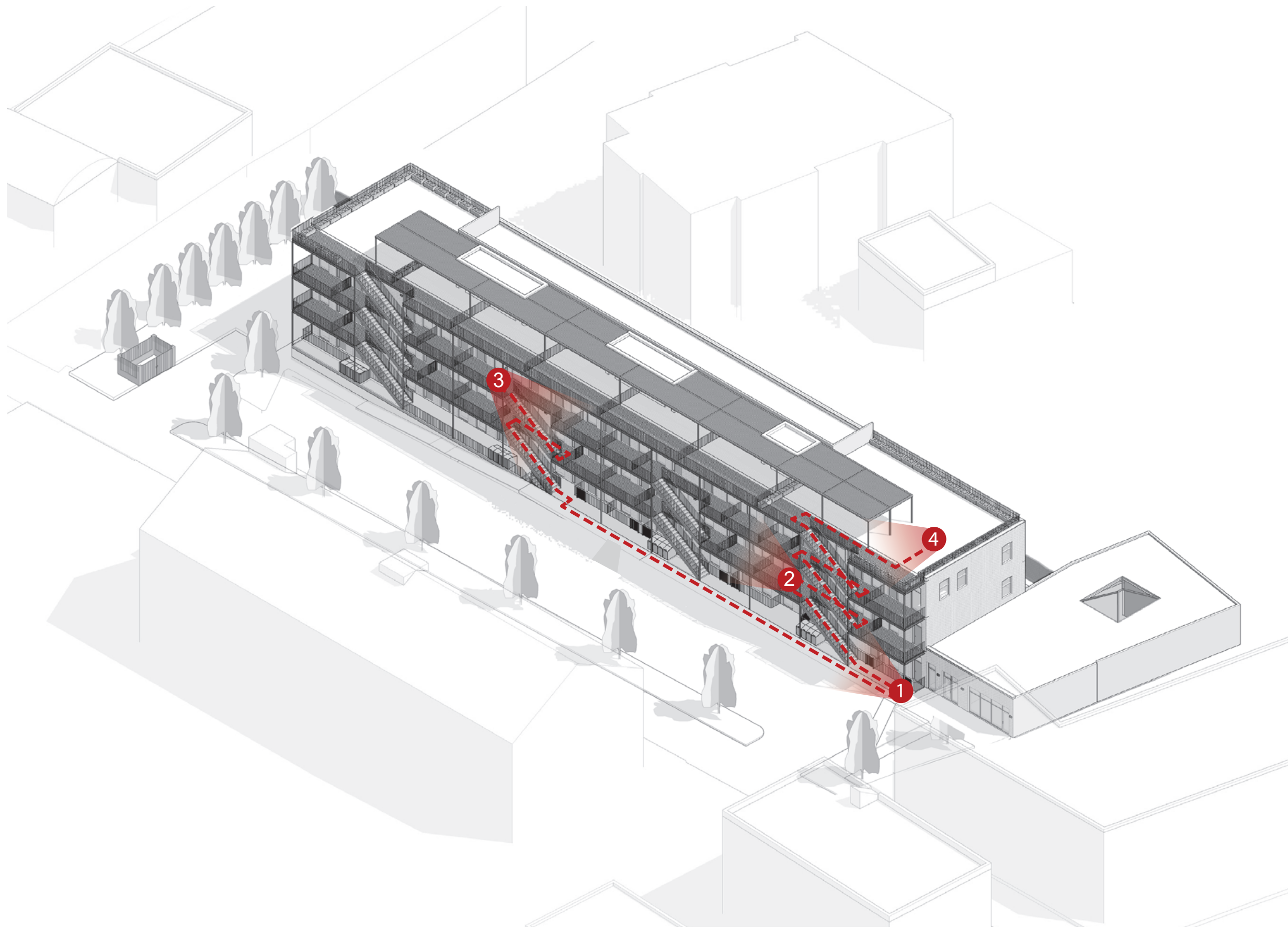
EXISTING WEST FACADE



PROPOSED WEST FACADE

SCALE: 3/64" = 1'-0"





1. FIRST FLOOR



2. SECOND FLOOR



3. THIRD FLOOR



4. ROOF





PERSPECTIVE 2

2ND FLOOR VIEW

15 NORTH CHERRY STREET

POUGHKEEPSIE, NEW YORK

SITE PLAN AND FACADE REVIEW

JUNE 28, 2022

abarchitekten

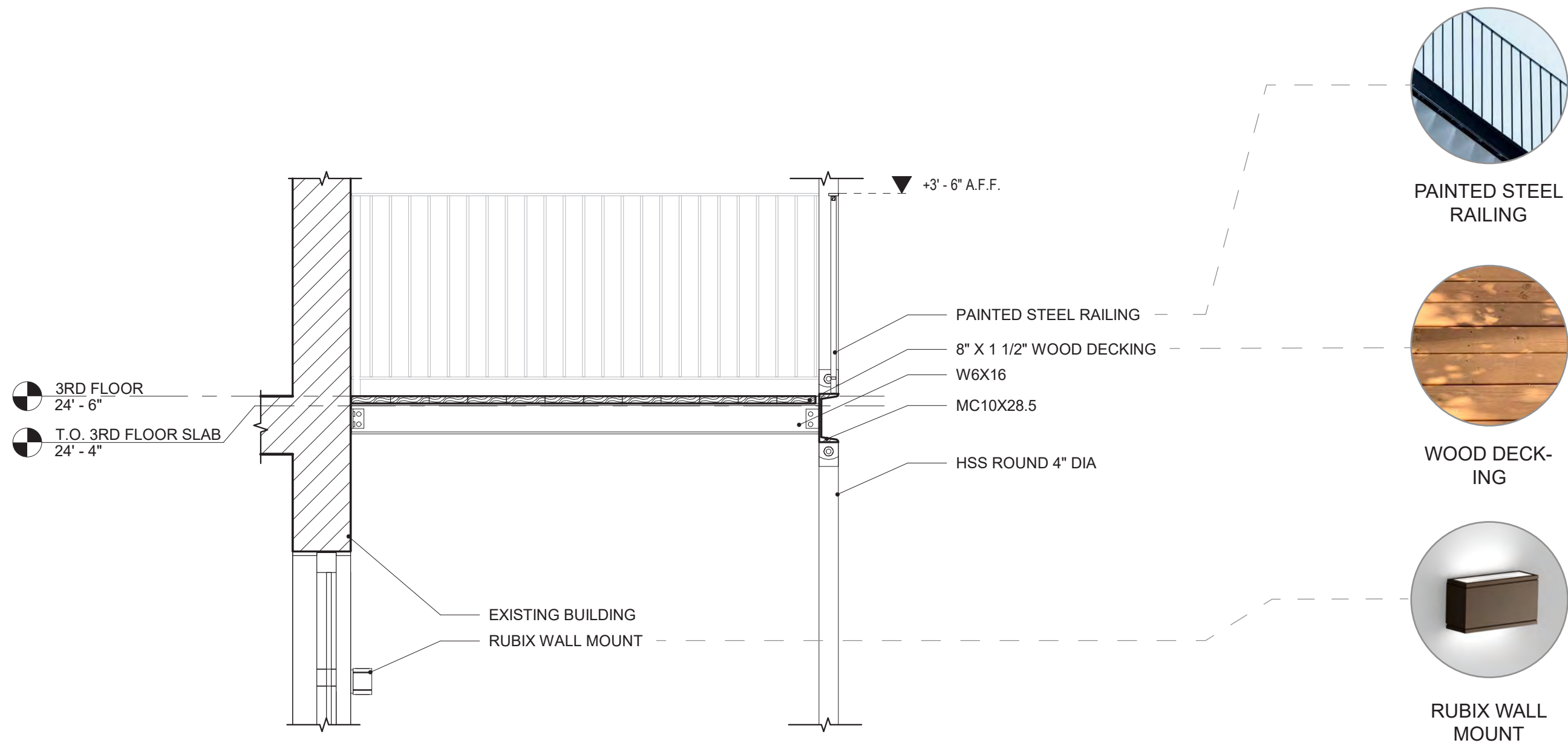


PERSPECTIVE 3
3RD FLOOR VIEW

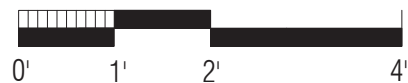
15 NORTH CHERRY STREET
POUGHKEEPSIE, NEW YORK

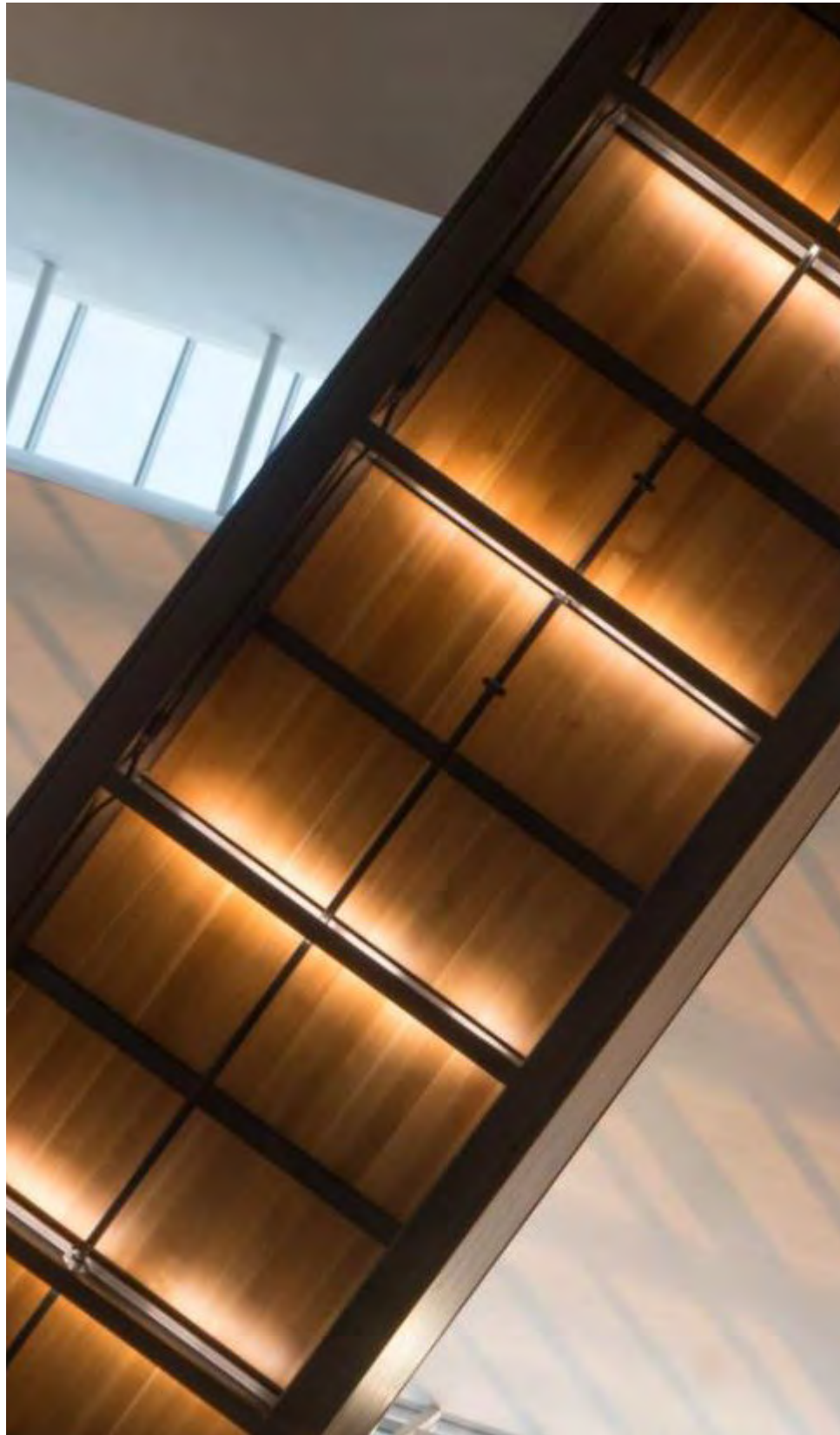
SITE PLAN AND FACADE REVIEW
JUNE 28, 2022





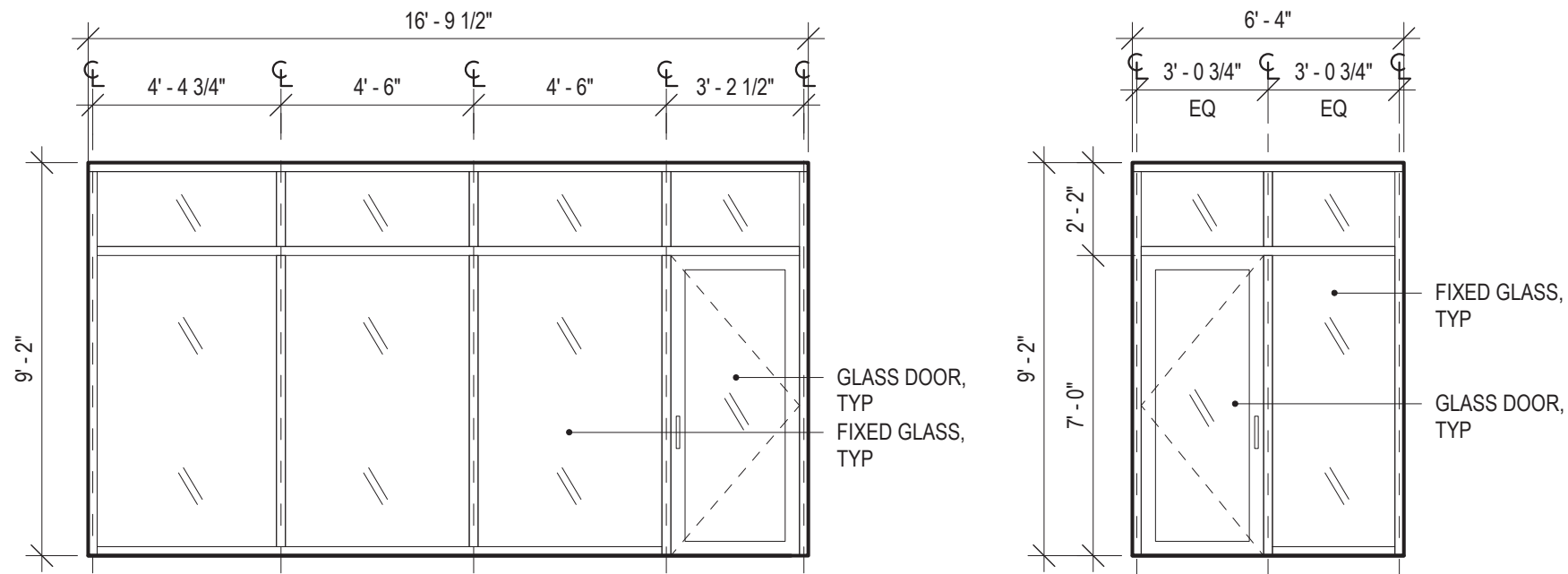
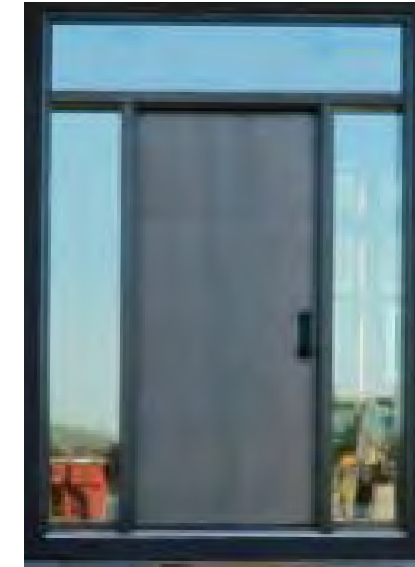
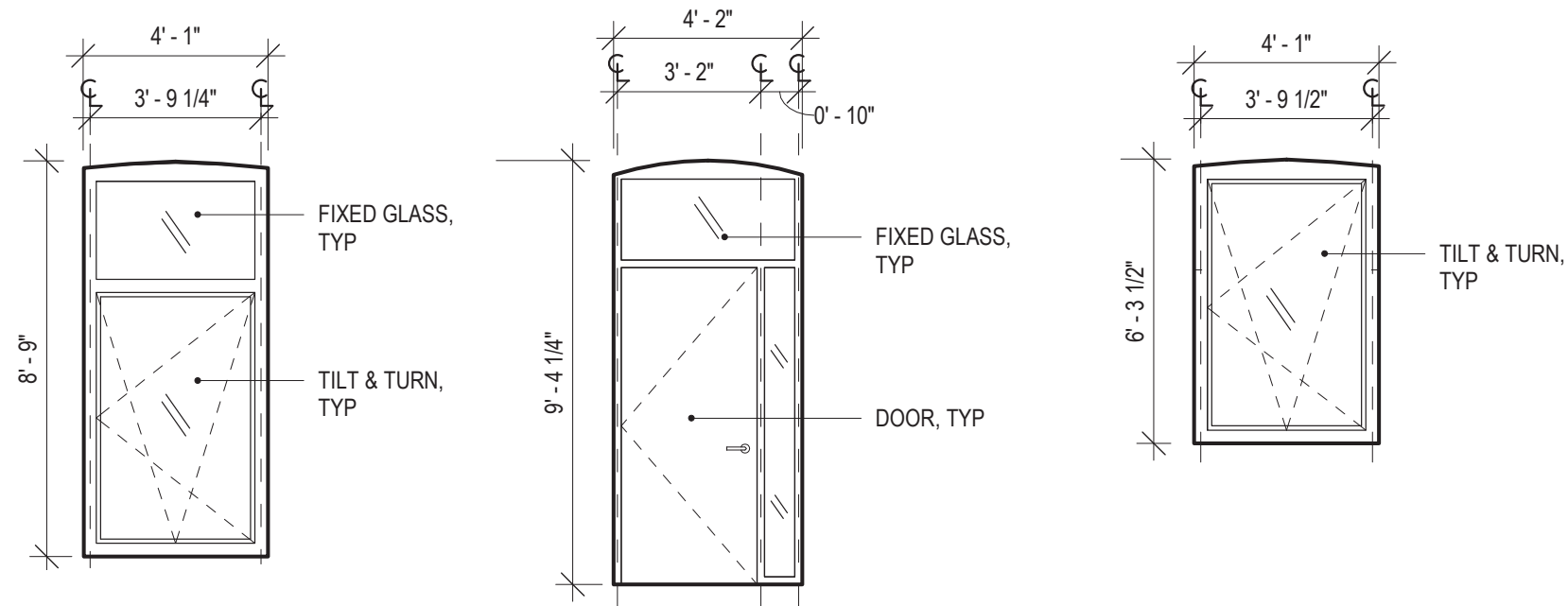
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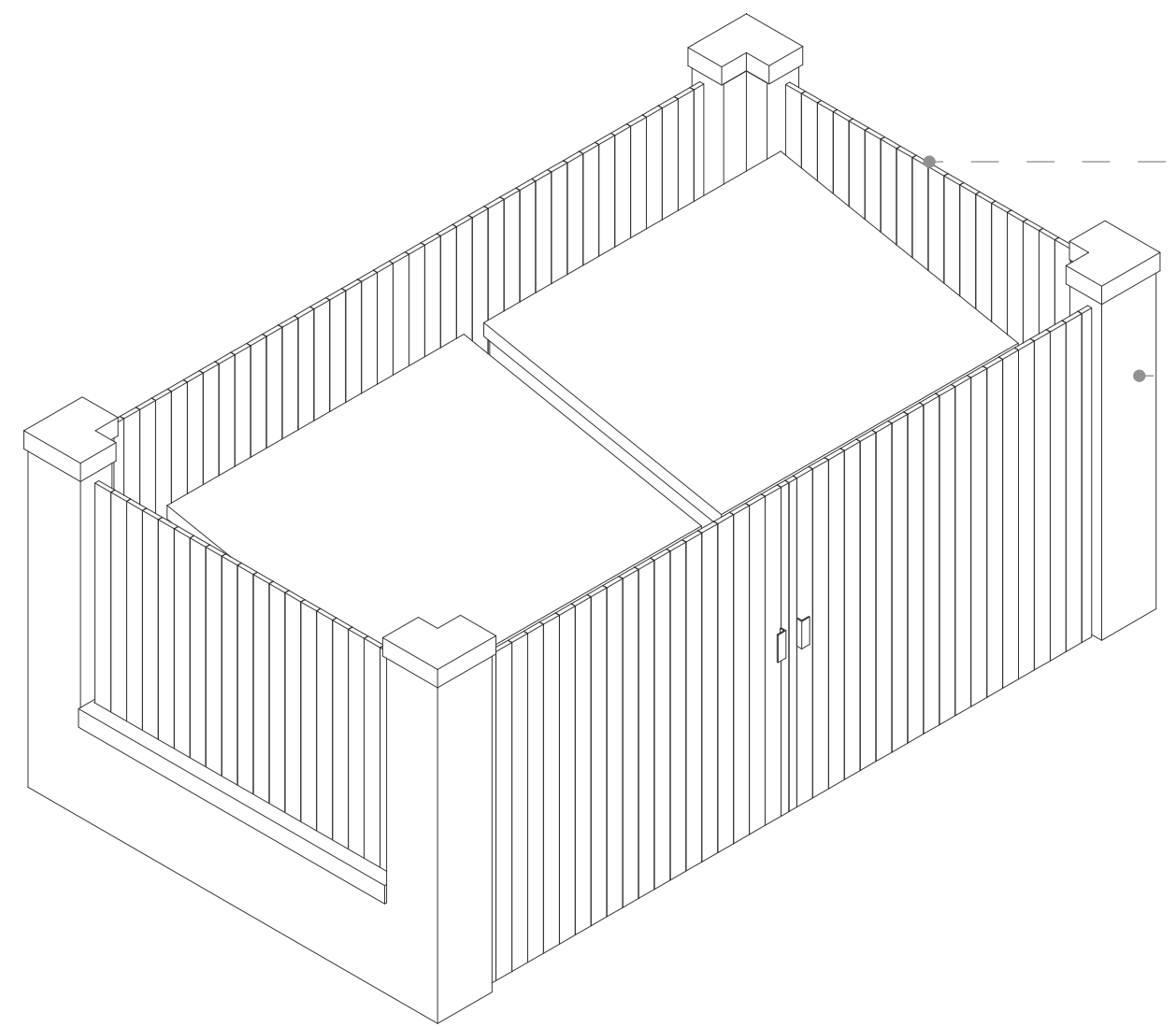
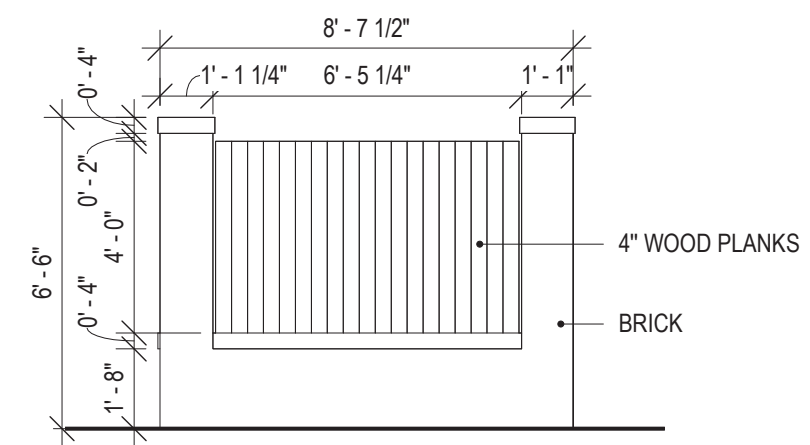
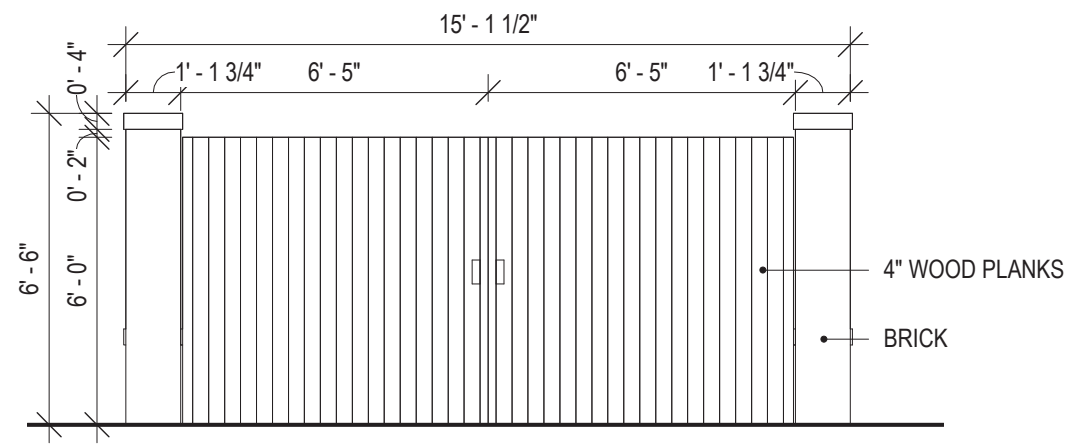
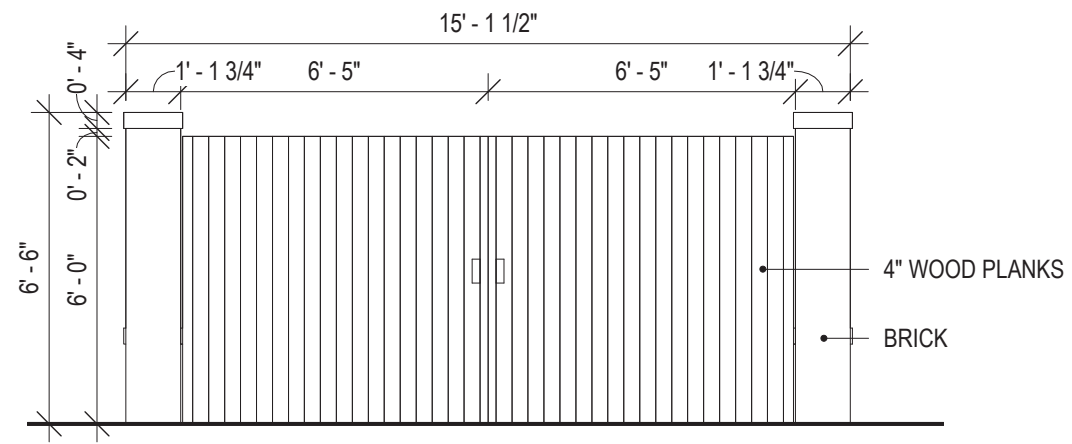
WINDOW TYPES

MATERIAL & TYPE REFERENCES



SCALE: 1/4" = 1'-0"





WOOD PLANKS



BRICK

SCALE: 1/4" = 1' - 0"



SCALE: 3/8" = 1' - 0"





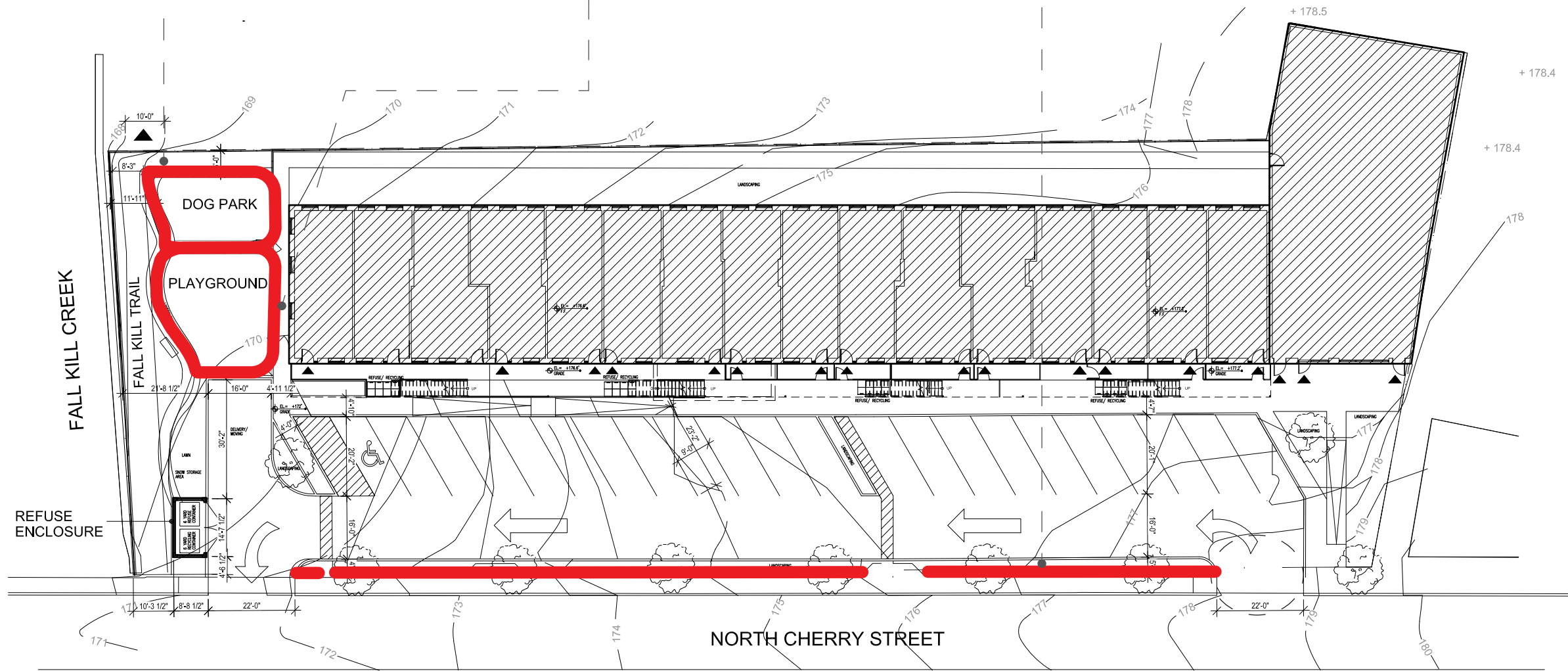
DOG RUN FENCE



PLAYGROUND FENCE



HEDGE





PARCEL DATA

TAX MAP INFORMATION SECTION 6162, BLOCK 79, LOT 344012
 PARCEL ADDRESS NORTH 15 CHERRY STREET
 POUGHKEEPSIE, NEW YORK 12601
 LOT AREA 0.90 ACRES

PROPERTY LOCATION AND SIZE

JURISDICTION CITY OF POUGHKEEPSIE, NY
 NAME 15 NORTH CHERRY STREET
 ADDRESS 15 NORTH CHERRY STREET,
 POUGHKEEPSIE, NY 12601
 SIZE 0.90 ACRES OR ± 39,204 SQ FT

ADJACENT PROPERTIES TAX MAP INFORMATION:

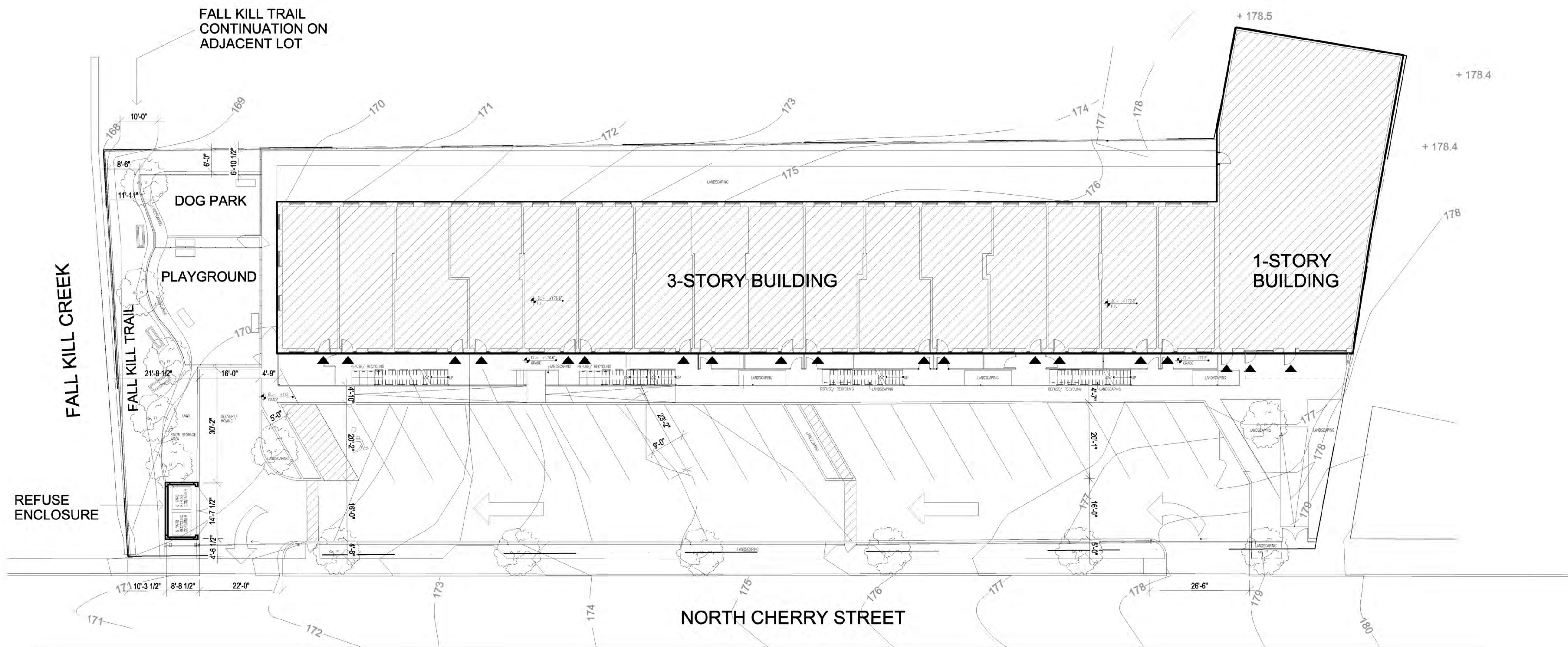
PARCEL #	PARCEL ADDRESS	AREA	OWNER	OWNER ADDRESS
326997	519 MAIN ST, POUGHKEEPSIE 126010000	0.01 ACRES	YEUNG, SHING FU (PRIMARY)	1055 DUTCHER DR, FISHKILL NY 12524
330013	8 N CHERRY ST, POUGHKEEPSIE 126010000	0.43 ACRES	NORTH CHERRY STREET HOUSING (PRIMARY)	313 MILL ST, POUGHKEEPSIE NY 126010000
333026	N CHERRY ST, POUGHKEEPSIE 126010000	0.25 ACRES	NORTH CHERRY STREET HOUSING (PRIMARY)	313 MILL ST, POUGHKEEPSIE NY 126010000
339035	418 MAPLE ST, POUGHKEEPSIE 126010000	0.04 ACRES	MCGRANE, PETER (PRIMARY)	164 WHITMAN RD, YONKERS NY 107100000
348034	420-422 MAPLE ST, POUGHKEEPSIE 126010000	0.14 ACRES	JOHNSON, NICHOLAS (PRIMARY)	19 IRELAND DR, POUGHKEEPSIE NY 126030000
356033	MAPLE ST, POUGHKEEPSIE 126010000	0.04 ACRES	JOHNSON, NICHOLAS (PRIMARY)	19 IRELAND DR, POUGHKEEPSIE NY 126030000
363017	17 ROSE ST, POUGHKEEPSIE 126010000	0.84 ACRES	FALLKILL COMMONS HOUSING (PRIMARY)	313 MILL ST, POUGHKEEPSIE NY 126010000
358007	9 ROSE ST, POUGHKEEPSIE 126010000	0.17 ACRES	JANENDO, JOHN JR A (PRIMARY)	9 ROSE ST, POUGHKEEPSIE NY 126010000
356004	7 ROSE ST, POUGHKEEPSIE 126010000	0.17 ACRES	MARKOVIC, ANTO (PRIMARY)	40 OLD ROUTE 52, STORMVILLE NY 12582
354999	ROSE ST, POUGHKEEPSIE 126010000	0.22 ACRES	FALLKILL COMMONS HOUSING (PRIMARY)	313 MILL ST, POUGHKEEPSIE NY 126010000
343990	521 MAIN ST, POUGHKEEPSIE 126010000	0.54 ACRES	521-527 MAIN STREET CORP (PRIMARY)	PO BOX 4, BILLINGS NY 125100000



1 TAX MAP
N.T.S.



2 LOCATION MAP
N.T.S.



3 SITE PLAN
1/16" = 1'-0"



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NORTH CHERRY HOLDINGS LLC
 18 SOPHIA ST
 MONSEY, NY 10952
 OWNER

10		
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4		
3	REVISION 1	07.26.22
2	REVISION 2	08.29.22
1	REVISION	03.29.22
#	SUBMISSION	02.22.22

ISSUES / REVISIONS

abarchitekten
 62 Allen Street, 2nd Fl
 New York New York 10002
 T 212.334.1232
 F 212.334.4520
 www.abarchitekten.com

15 NORTH CHERRY ST.

SITE PLAN

DRAWING TITLE
 AB
 CHECKED BY PROJECT #
 As indicated 03.29.22
 SCALE DATE

A-100
 DRAWING #

I. PROPERTY LOCATION AND SIZE

1. JURISDICTION:	CITY OF POUGHKEEPSIE, NY
2. NAME:	15 NORTH CHERRY STREET
3. ADDRESS:	15 NORTH CHERRY STREET, POUGHKEEPSIE, NY 12601
4. SIZE:	90 ACRES OR +/- 39,204 SQ FT

II. EXISTING LAND USE AND ZONING

1. DATE OF EXISTING ORDINANCE	1979 CITY OF POUGHKEEPSIE ZONING ORDINANCE
2. EXISTING ZONING DESIGNATION	C-3 GENERAL COMMERCIAL
3. ADJACENT ZONING DESIGNATION AND OR USES (IF APPLICABLE):	NORTH: R-4 MEDIUM HIGH – DENSITY RESIDENTIAL C-3 GENERAL COMMERCIAL EAST: R-4 MEDIUM HIGH – DENSITY RESIDENTIAL C-1 NEIGHBORHOOD COMMERCIAL SOUTH: C-1 NEIGHBORHOOD COMMERCIAL WEST: C-3 GENERAL COMMERCIAL
4. EXISTING LAND USE:	COMMERCIAL - STORAGE, WAREHOUSE AND DISTRIBUTION FACILITIES

III. PROPOSED LAND USE AND ZONING

1. PROPOSED ZONING DESIGNATION:	C-3 GENERAL COMMERCIAL
2. PROPOSED LAND USE:	COMMERCIAL - LIVING ACCOMMODATIONS: APARTMENTS
3. IS USE PERMITTED?	PERMITTED ONLY BY SPECIAL USE PERMIT ISSUED THE PLANNING BOARD.

IV. SPECIAL USE PERMIT REQUIREMENTS 19-3.24-9

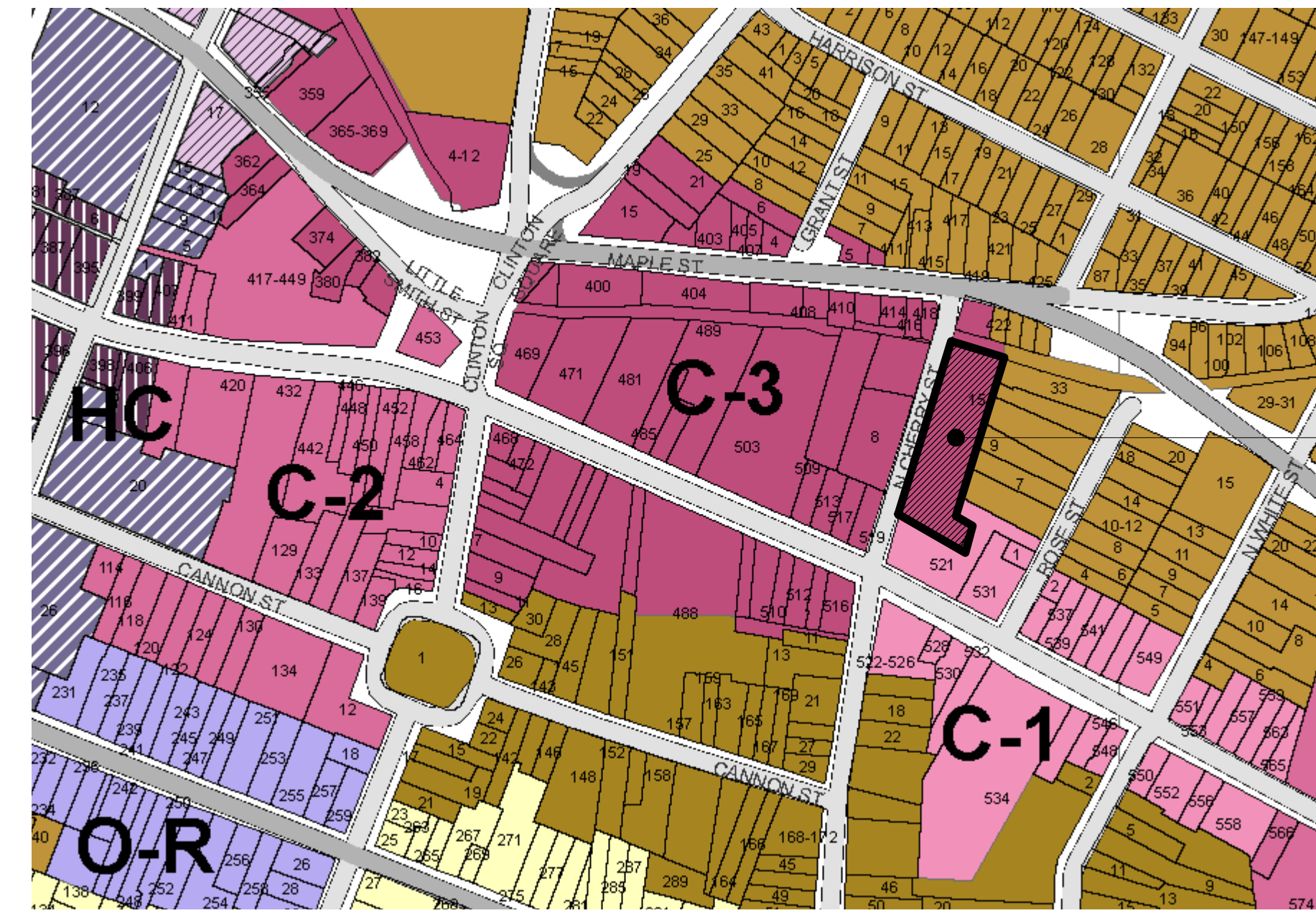
	REQUIRED	EXISTING	PROPOSED
1. BUILDING IS IN EXISTENCE ON THE EFFECTIVE DATE OF THE ZONING ORDINANCE.	YES	YES	YES
2. NO DWELLING UNIT SHALL CONTAIN MORE THAN TWO BEDROOMS	YES	N/A	2
3. MIN. STUDIO DWELLING UNIT SQUARE FOOTAGE	400 SQ FT	N/A	N/A
4. MIN. ONE BEDROOM DWELLING UNIT SQUARE FOOTAGE	600 SQ FT	N/A	600 - 700 SQ FT
5. MIN. TWO BEDROOM DWELLING UNIT SQUARE FOOTAGE	750 SQ FT	N/A	1,100 - 1,200 SQ FT
6. MIN LIVE/WORK LOFT DWELLING UNIT SQUARE FOOTAGE*	800 SQ FT	N/A	N/A
7. *LIVE WORK UNITS SHALL NOT BE USED AS RETAIL SHOP, GALLEY, OR ANY USE THAT RELIES ON REGULAR CUSTOMER OR CLIENT VISITATION AS PART OF NORMAL OPERATION. NO LOFT SHALL SERVES AS A PLACE FROM WHICH, COMMERCIAL VEHICLES ARE DISPATCHED OR OPERATED.			
8. OFF STREET PARKING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 19-4.3, AND SUCH PARKING SHALL BE LOCATED WITHIN 600 FEET OF THE PREMISES.			

V. SUMMARY OF BULK REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
1. BUILDING SET-BACK LINES			
FRONT:	10 FEET	43.5 FEET	51.5 FEET
SIDE:	10 FEET EACH 20 FEET TOTAL	42 FEET / 0 FEET 42 FEET	NO CHANGE NO CHANGE
REAR:	20 FEET*	2.6 FEET	14 FEET
		*WHERE C-3 DISTRICT IS WITHIN 50 FEET OF ANY R 1 THROUGH R-6 DISTRICT, A LANDSCAPED BUFFER OF AT LEAST 20 FEET SHALL BE PROVIDED ALONG THE PROPERTY LINE	
2. LOT AREA:	NONE	39,204 SQ FT	NO CHANGE
3. LOT WIDTH:	UNLISTED	+/- 316.25 FEET	NO CHANGE
4. LOT FRONTAGE:	40 FEET	+/- 314 FEET	NO CHANGE
5. BUILDING HEIGHT:	UNLISTED	+/- 37 FEET 2 INCH	NO CHANGE
6. LOT COVERAGE:	60%	35.81%	34.42%
7. USABLE OPEN SPACE:	UNLISTED	N/A	N/A
8. FLOOR AREA RATIO (FAR):	2.0	0.98	1.01

VI. OFF - STREET PARKING AND LOADING

	REQUIRED	EXISTING	PROPOSED
1. PLANTINGS AT STREET OR PROPERTY LINE (SEPARATING PARKING).			
MIN WIDTH:	3 FEET	N/A	3 FEET
MIN HEIGHT:	3 FEET	N/A	3 FEET
MAX SPACING:	3 FEET	N/A	3 FEET
2. MAX CONTINUOUS PARKING ROW:	12 SPACES	N/A	11 SPACES
3. MAX UNINTERRUPTED PARKING AREA:	24 SPACES	N/A	22 SPACES
4. SCREENING:	WHERE A PARKING AREA FOR 3 OR MORE VEHICLES ABUTS A RESIDENTIAL PROPERTY, IT SHALL BE SCREENED FROM VIEW BY MEANS APPROVED BY PLANNING BOARD.		
5. ACCESS LANES			
AREAS SERVING < 20 SPACES	ONE 15' WIDE LANE	N/A	N/A
AREAS SERVING >20 SPACES	TWO 10' WIDE LANES	N/A	VARIES
6. PARKING SPACES			
MIN LENGTH:	20 FEET LONG	N/A	20 FEET LONG
MIN WIDTH:	9 FEET WIDE	N/A	9 FEET WIDE
7. PARKING AISLE			
MIN AISLE BETWEEN ROWS	22 FEET AISLE	N/A	N/A
MIN AISLE FOR ANGLE PARKING	16 FEET AISLE	N/A	16 FEET AISLE
8. ENTRANCE EXIT DISTANCE FROM INTERSECTION:	50 FEET MIN	>50 FEET	>50 FEET
9. PARKING REQUIREMENTS*			
STUDIO.....1 SPACE			
1 – BEDROOM.....1.5 SPACES			
2 – BEDROOM.....2 SPACES			
LIVE / WORK LOFT.....1 SPACE			
*ADD 10 % TO TOTAL FOR VISITORS.	73 SPACES	N/A	22 SPACES



1 ZONING MAP
N.T.S.

PROPERTY:
15 NORTH CHERRY STREET

BUILDING GROSS FLOOR AREA - EXISTING			
FLOOR	3-STORY BLDG GROSS F.A.	1-STORY BLDG GROSS F.A.	TOTAL GROSS F.A.
CELLAR	5,274.89		5,274.89
1ST FLOOR	10,549.39	3,489.79	14,039.18
2ND FLOOR	10,292.39		10,292.39
3RD FLOOR	10,292.39		10,292.39
TOTAL ABOVE GRADE	31,134.17	3,489.79	34,623.96
TOTAL INCL. CELLAR	36,409.06	3,489.79	39,898.85

BUILDING GROSS FLOOR AREA - PROPOSED			
FLOOR	RESIDENTIAL GROSS F.A.	AMENITIES GROSS F.A.	TOTAL GROSS F.A.
CELLAR	4,987.62		4,987.62
1ST FLOOR	10,005.12	3,489.79	13,494.91
2ND FLOOR	10,005.12		10,005.12
3RD FLOOR	10,005.12		10,005.12
TOTAL ABOVE GRADE	30,015.36	3,489.79	33,505.15
TOTAL INCL. CELLAR	35,002.98	3,489.79	38,492.77

F.A. RATIO (LOT/GROSS F.A.) 0.98

PARKING SCHEDULE					
	UNIT TYPE	UNITS	REQUIRED BY TYPE	REQUIRED	PROVIDED
RESIDENTIAL TOTAL	STUDIO		0 1 SPACE PER UNIT	0	
	ONE BEDROOM		36 1.5 SPACES PER UNIT	54	
	TWO BEDROOM		6 2 SPACES PER UNIT	12	
	ADDITIONAL 10% VISITOR REQUIREMENT			7	
TOTAL				73	22

UNIT SCHEDULE				
FLOOR	UNIT TYPE			TOTAL
	STUDIO	1-BED	2-BED	
CELLAR				0
1ST FLOOR		16	0	16
2ND FLOOR		16	0	16
3RD FLOOR		4	6	10
ROOF/BULKHEAD				0
TOTAL UNIT COUNT	0	36	6	42

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NORTH CHERRY HOLDINGS LLC
18 SOPHIA ST
MONSEY, NY 10952

OWNER

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SUBMISSION 02.22.22

ISSUES / REVISIONS

abarchitekten

62 Allen Street, 2nd Fl
New York New York 10002
T 212.334.1232
F 212.334.4520
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15 NORTH CHERRY ST

ZONING ANALYSIS &
AREA TABULATIONS

DRAWING TITLE

AB

CHECKED BY PROJECT #

N.T.S. 03.29.22

SCALE DATE

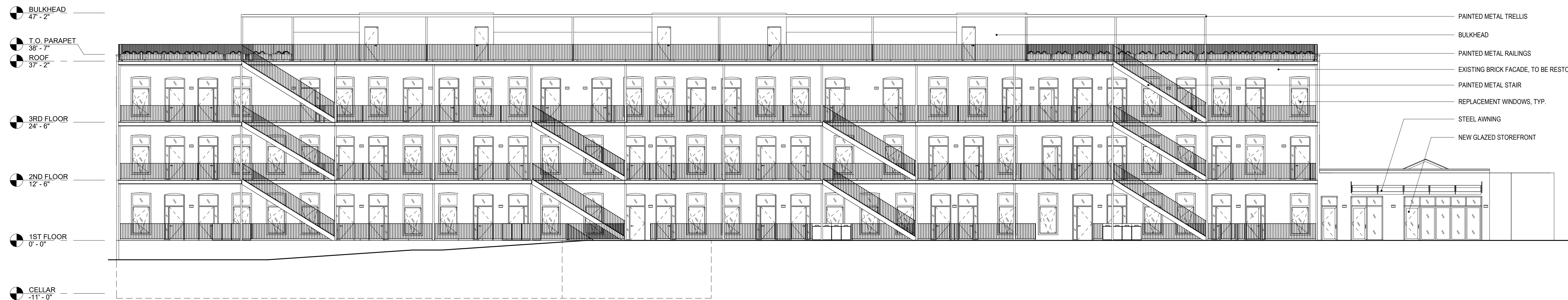
A-101

DRAWING #

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MONSEY, NY 10952

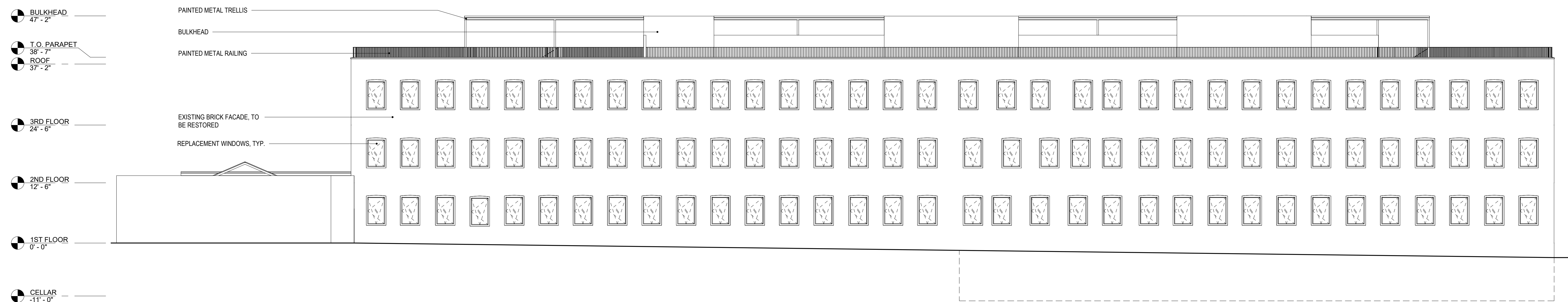
OWNER



1 WEST ELEVATION
3/32" = 1'-0"
0 10 50 100

10		
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5		
4		
3		
2	REVISION 2	07.26.22
1	REVISION	06.28.22
#	SUBMISSION	02.22.22

ISSUES / REVISIONS



2 EAST ELEVATION
3/32" = 1'-0"
0 10 50 100

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62 Allen Street, 2nd Fl
New York New York 10002
T 212.334.1232
F 212.334.4520
www.abarchitekten.com

15 NORTH CHERRY ST.

EAST AND WEST ELEVATIONS

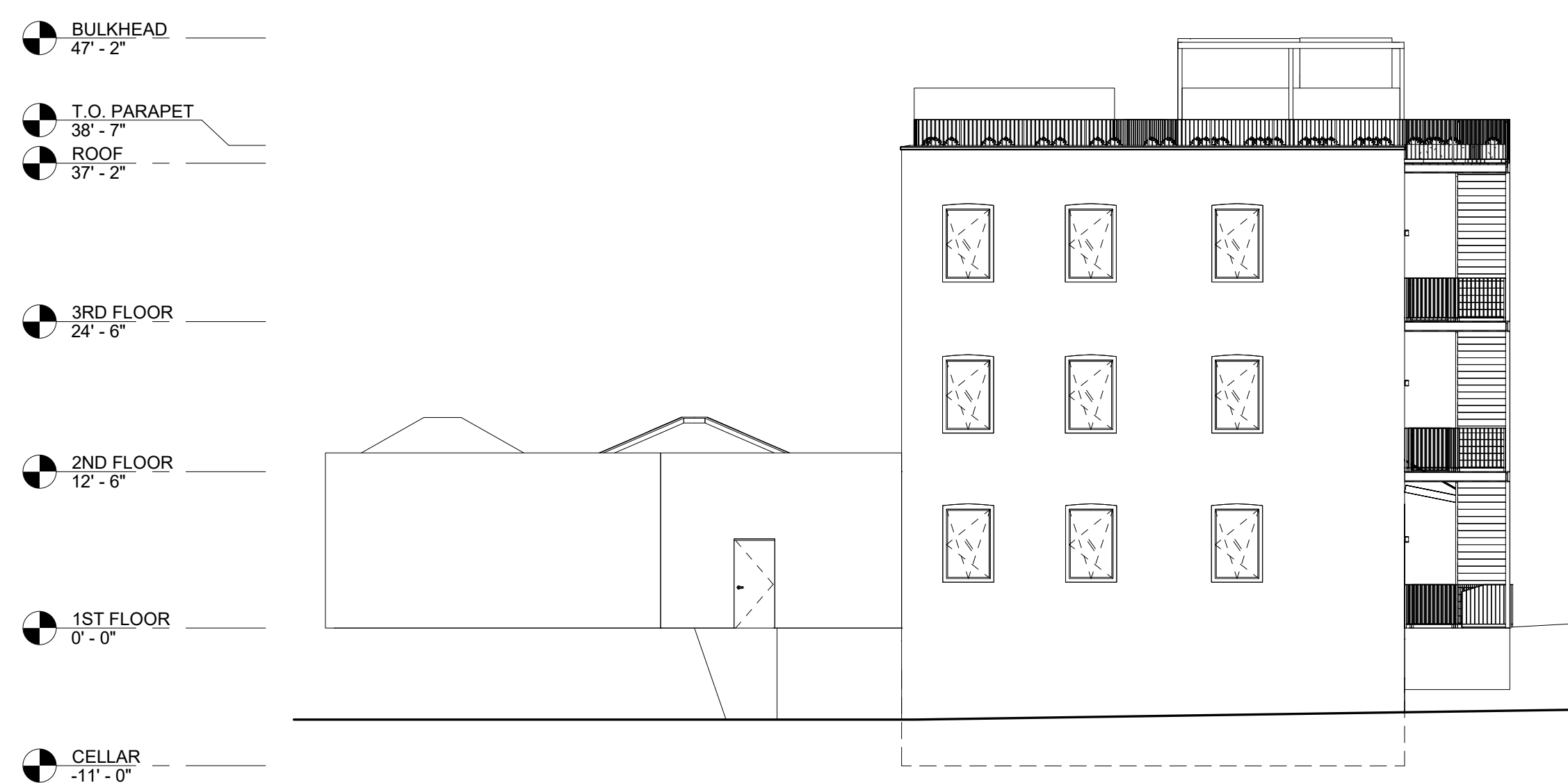
AB	CHECKED BY	PROJECT #
3/32" = 1'-0"	06/28/22	
SCALE	DATE	

A-401
DRAWING #

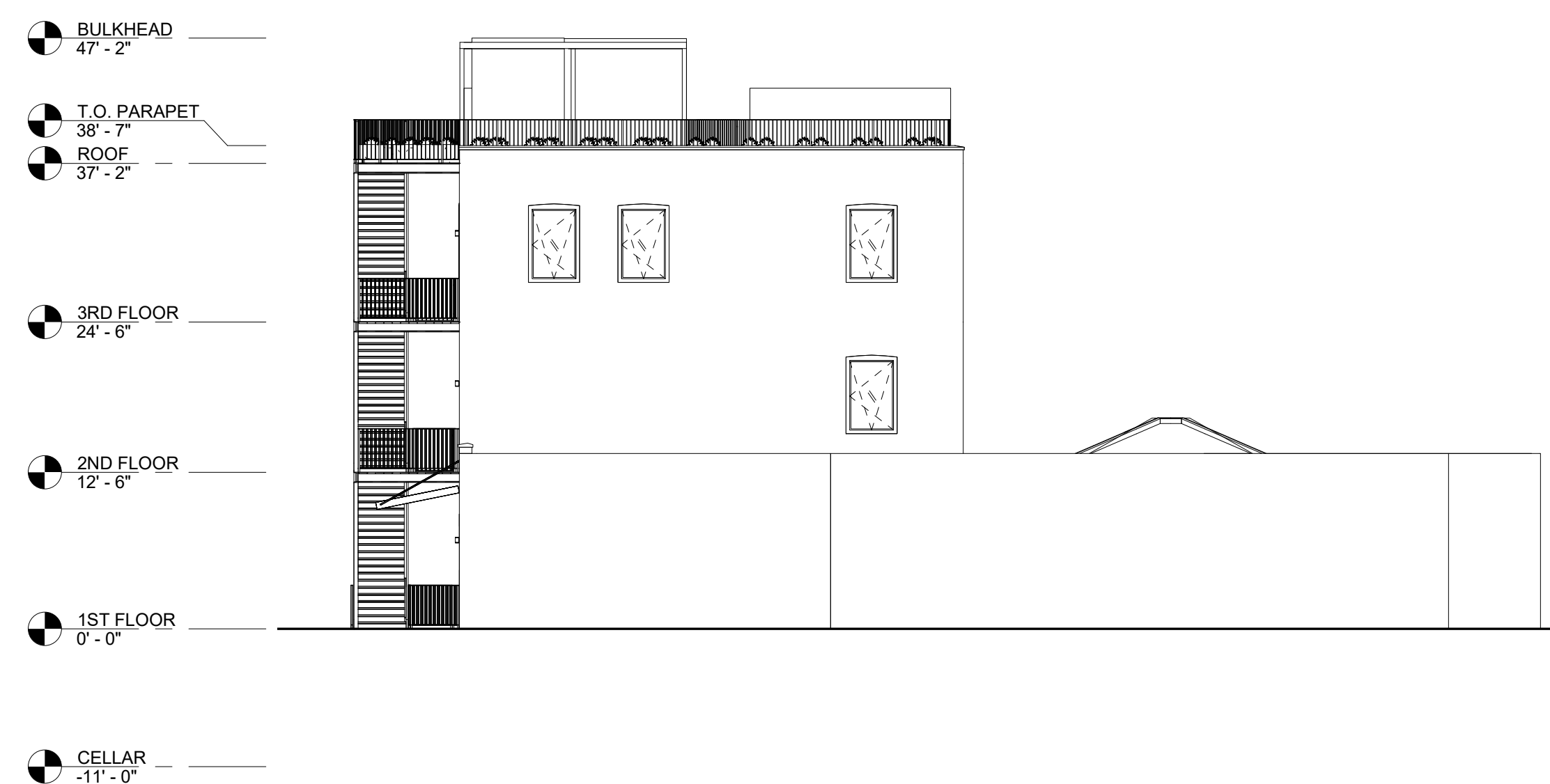
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NORTH CHERRY HOLDINGS LLC
18 SOPHIA ST
MONSEY, NY 10952

OWNER



1 NORTH ELEVATION
3/32" = 1'-0"



2 SOUTH ELEVATION
3/32" = 1'-0"



10		
9		
8		
7		
6		
5		
4		
3		
2	REVISION 2	07.26.22
1	REVISION	06.28.22
#	SUBMISSION	02.22.22

ISSUES / REVISIONS

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15 NORTH CHERRY ST.

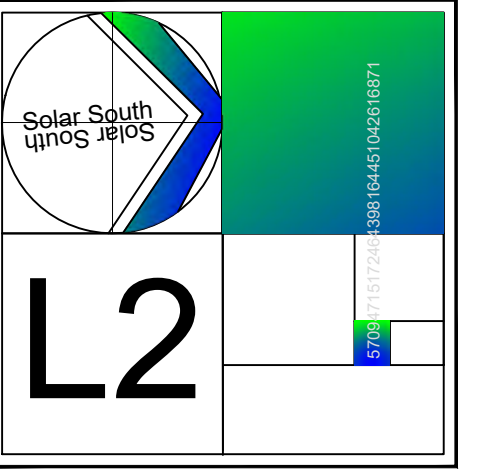
NORTH AND SOUTH
ELEVATIONS

AB	
CHECKED BY	PROJECT #
3/32" = 1'-0"	06/28/22
SCALE	DATE

A-402
DRAWING #

PLANTING NOTES

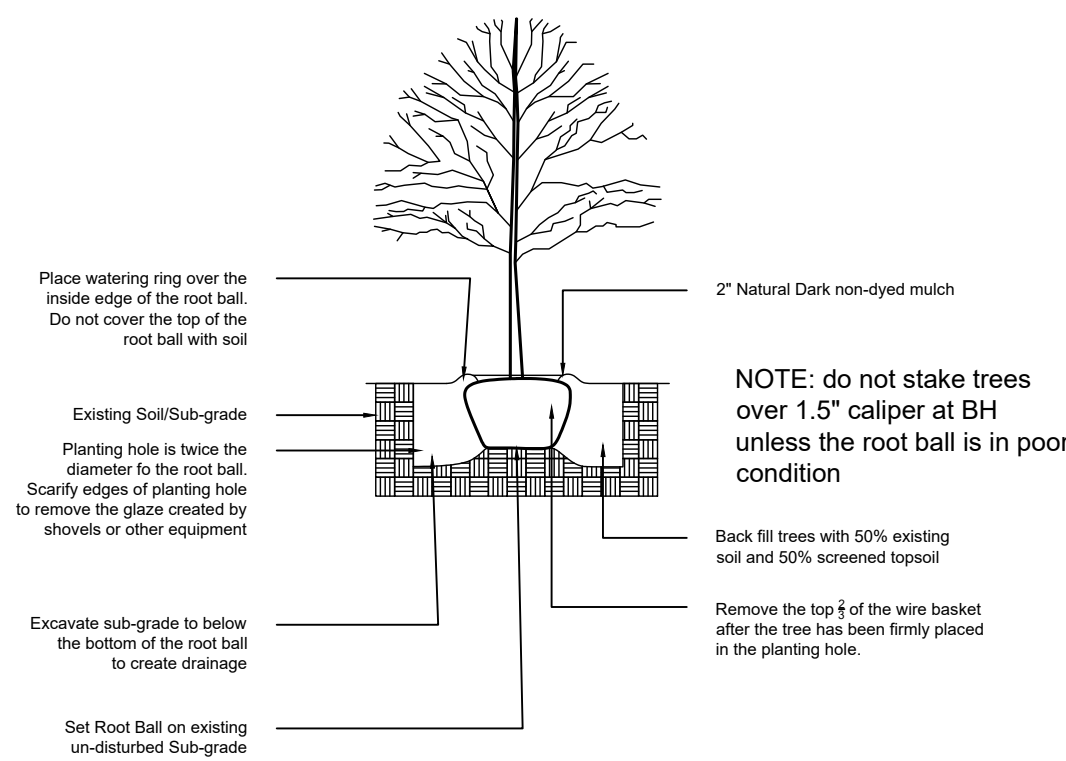
Designs Are The Property of The Michael Boice Collaboration. Un-authorized Use of Plans is Strictly Prohibited



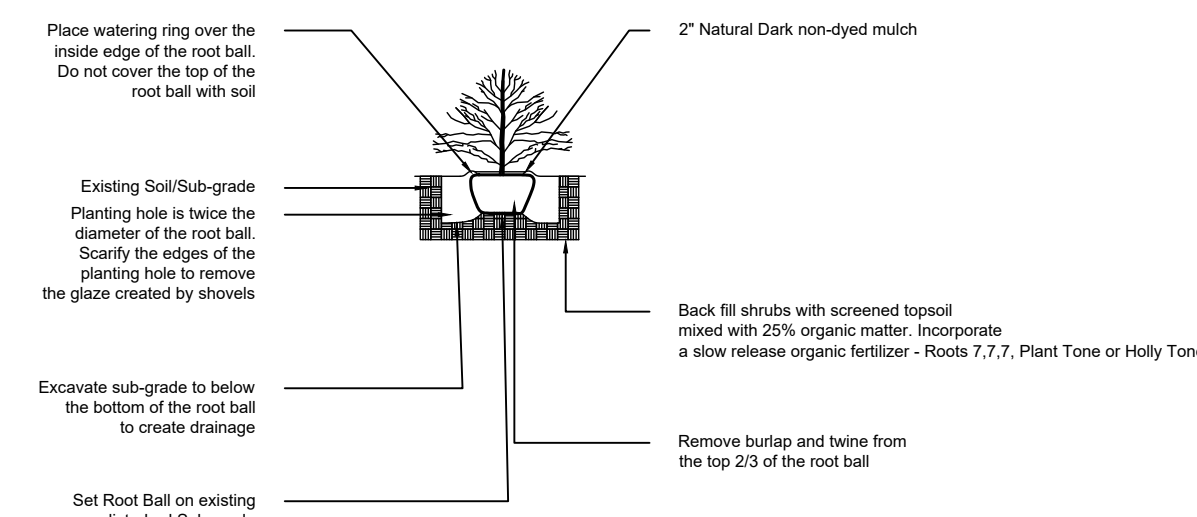
1. All plant material must conform to American Standard for Nursery Stock ANSI Z60.1-2014
2. Voluntary Alternates/Plant substitutions must be approved by the Designer/Landscape Architect
3. All plant material delivered to the site and or planted must be maintained by the Landscape Contractor until the scope of agreed Landscape work is complete
4. All wire baskets must be either removed from the root ball or cut from the root ball after placing the plant in the planting hole
5. All burlap must be removed from root balls or cut away from the root ball after placing the plant in the planting hole. All planting holes must be 50% wider than the root ball or container root mass.
- 6a. The indigenous soil or back fill for major trees must not be conditioned unless rocky or unsuitable conditions are present

- 6b. Incorporate 50% organic soil media and slow release fertilizer per instructions into indigenous soil used to back fill shrubs, perennials and ground cover. Ground cover beds in particular will require mechanical tilling in an effort to create a friable soil texture
- 6c. Any soil glazing created by the back of the shovel shall be removed by reversing the shovel and caving in the planting hole
7. A soil pH test is highly recommended before planting begins
8. All existing unwanted plant material and weeds and their roots systems must be completely removed from planting beds prior to installing new plant material. The use of Round-Up may be required to eliminate invasive/stoloniferous weeds. Only a licensed professional may apply Round-Up
9. Only non-dyed natural mulch may be used. Install mulch to a depth of 2" - 3"
10. Stake any trees or plants that may be affected by high wind loads.
11. Where an automatic irrigation system is recommended, the Landscape Contractor shall provide proof of CID, CIC, CIT - Certified Irrigation Designer, Contractor, Technician through the Irrigation Association

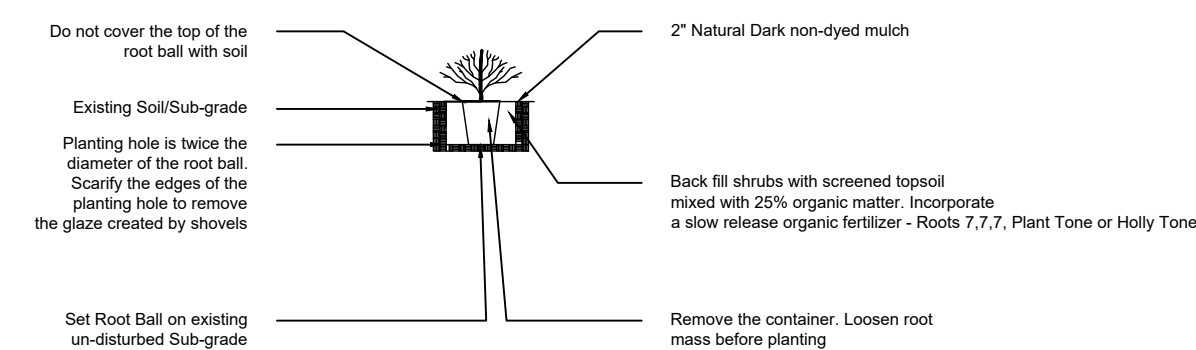
12. It is the Landscape Contractor's responsibility to comply with all local and state codes. Any permits required for the Landscape Contractor's work must be obtained by the Landscape Contractor
13. It is the Landscape Contractor's responsibility to coordinate the planting schedule with the owner
14. Any deviations from the design due to unknown site conditions must be brought to the attention of the Designer/Landscape Architect
15. All Grasses and perennials must be cut back either in fall or early spring - before new foliage emerges. Bouteloua must not be pruned lower than 12" in fall
16. Hydrangea may be pruned back 12" - 18" each fall or spring - before new foliage emerges
18. Prune the Ginko biloba for structure and open habit for the first 3-5 seasons.
19. Trim liriopie back every late fall with a lawn mower set at its highest setting.



TREE PLANTING SPECIFICATION



SHRUB PLANTING SPECIFICATIONS



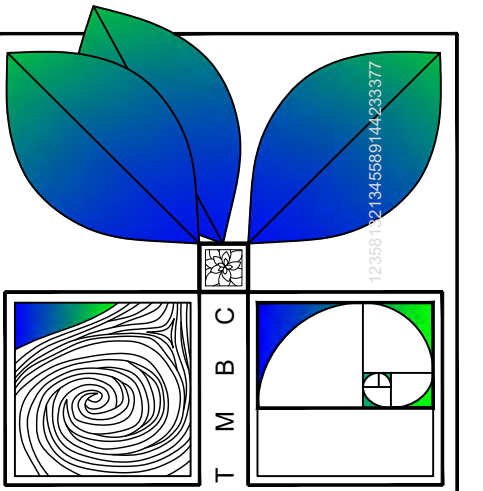
CONTAINER PLANTING SPECIFICATIONS

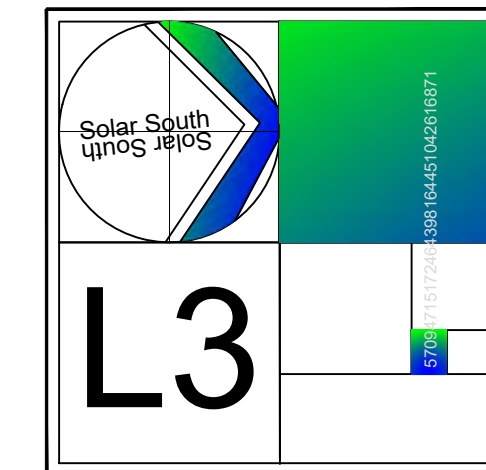
845-702-1004
11 South Fowlehouse Road Wappinger Falls, New York 12590

The Michael Boice Collaboration
DESIGNERS AND MAKERS OF FINE LANDSCAPES

North Cherry Street Holdings LLC
15 North Cherry Street Poughkeepsie, New York

Scale | 1" = 20' - 0" | Date | February 18, 2022 | Revisions |





Ginkgo biloba 'Princeton Sentry'



Hypericum x inodorum 'Magical Pumpkin'



Tilia tomentosa leaves



Thuja occidentalis 'American Pillar'



Tilia tomentosa



Liriope muscari 'Variegata'



Hydrangea paniculata 'Little Quick Fire' and 'Quick Fire'

845-702-1004

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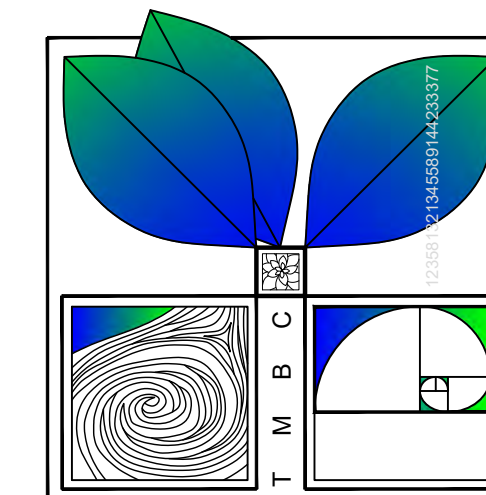
15 North Cherry Street Poughkeepsie, New York

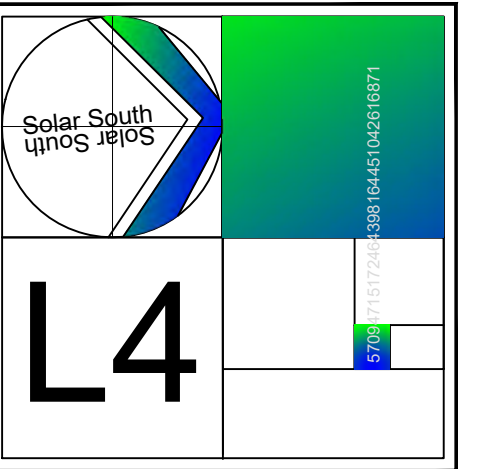
Scale | 1" = 20' - 0"

Date | February 18, 2022

Revisions |

with March 30, 2022
revisions
with August 4, 2022
photos





CA LED Path Light PHOTOMETRICS

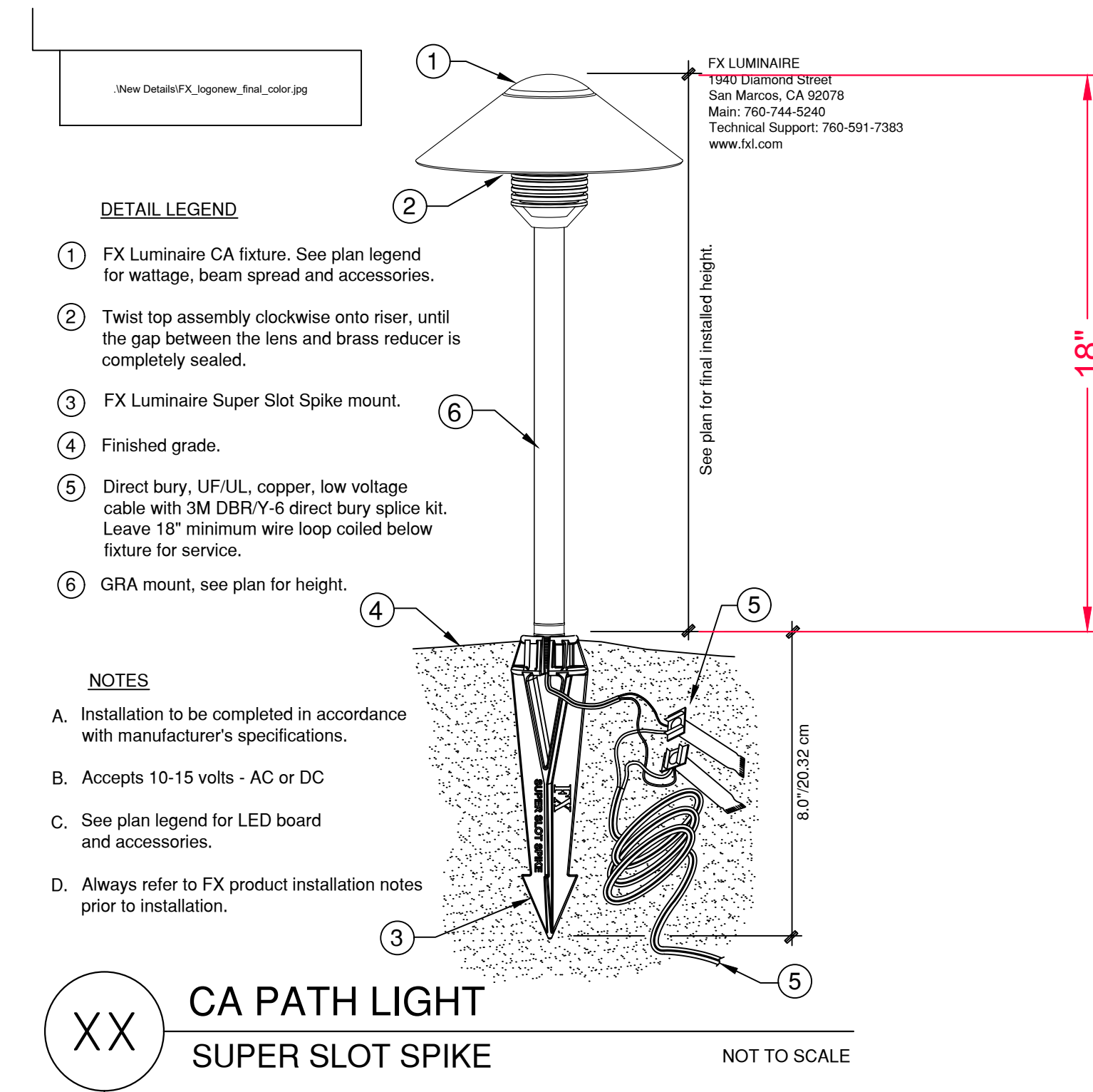
CA Path Light - Recommended Spacing				
	1LED		3 LED	
Footcandles (Lux)	12" Riser	18" Riser	12" Riser	18" Riser
0.1 fc (1.1 lx)	11.0' (3.4 m)	13.5' (4.1 m)	12.0' (3.7 m)	15.0' (4.6 m)
0.2 fc (2.2 lx)	9.0' (2.7 m)	9.0' (2.7 m)	10.5' (3.2 m)	13.5' (4.1 m)
0.3 fc (3.2 lx)	8.0' (2.4 m)	6.0' (1.8 m)	9.5' (2.9 m)	12.0' (3.7 m)
0.4 fc (4.3 lx)	7.0' (2.1 m)	5.3' (1.6 m)	9.0' (2.7 m)	11.0' (3.4 m)
0.5 fc (5.4 lx)	5.0' (1.5 m)	4.5' (1.4 m)	8.5' (2.6 m)	10.0' (3.0 m)

0.1 fc (1.1 lx) minimum spacing recommended for residential projects
0.3 fc (3.2 lx) minimum spacing recommended for commercial projects

CA LED Path Light SPECIFICATIONS

Output	1LED	3LED	3LEDT	ZDC
Total Lumens†	62	166	74	83
Input Voltage	10 to 15V	10 to 15V	10 to 15V	11 to 15V
Input Power (W)	1.9	4.0	4.2	6.0
VA	2.2	4.4	4.5	7.2
Efficacy (Lumens/Watt)	34	43	21	36
Color Rendering Index (CRI)	85	85	--	84
Max Candela	55	91	29	40
Dimming	Phase-cut**	Phase-cut**	Phase-cut**	Luxor
RGBW Available	No	No	No	Yes
Luxor Compatibility				
Default	Zoning	Zoning	--	--
ZD Option	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	--
ZDC Option	--	--	--	Zoning/Dimming/Color
Minimum Rated Life (L70)	72,000 Hrs	72,000 Hrs	55,000 Hrs	55,000 Hrs

** For optimal performance, use a trailing-edge (reverse phase-cut) dimmer.
† Measured using the 2,700K CCT option.



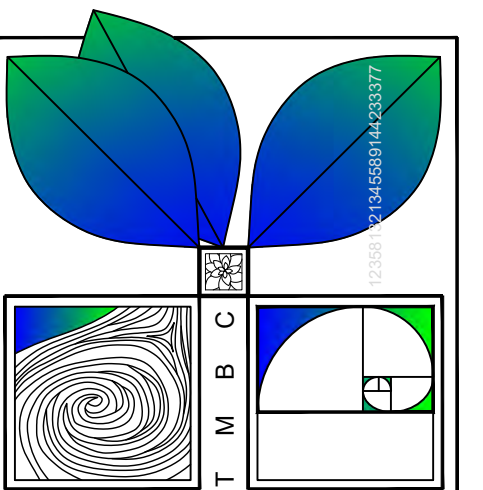
FX Luminaire CA LED Dark Sky Compliant Fixture - Copper or Bronze

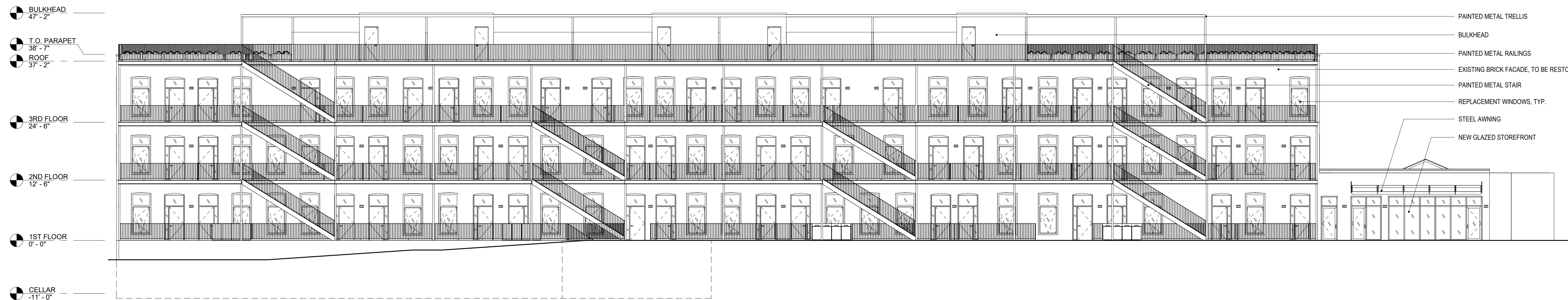
845-702-1004
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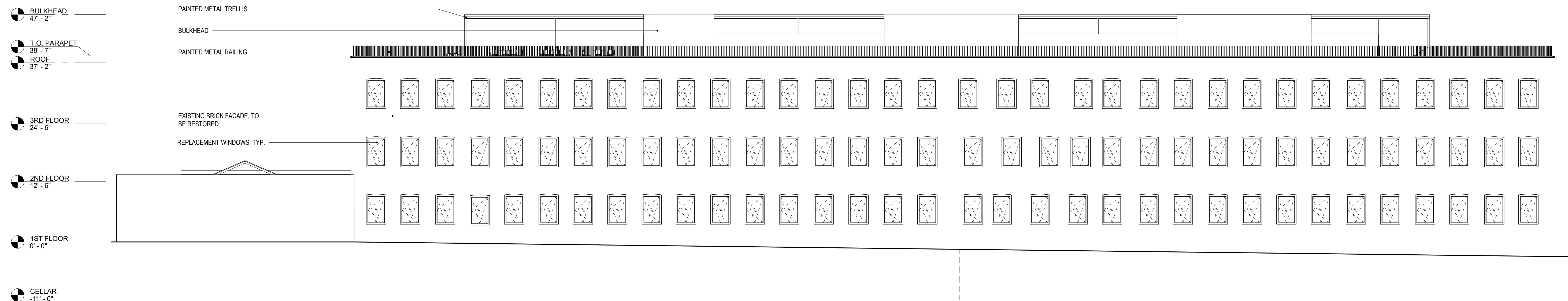
North Cherry Street Holdings LLC
15 North Cherry Street Poughkeepsie, New York

Scale | 1" = 20' - 0" Date | February 18, 2022 Revisions |





1 WEST ELEVATION
3/32" = 1'-0"



2 EAST ELEVATION
3/32" = 1'-0"

10		
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6		
5		
4		
3		
2		
1	REVISION 1	06.28.22
#	SUBMISSION	02.22.22

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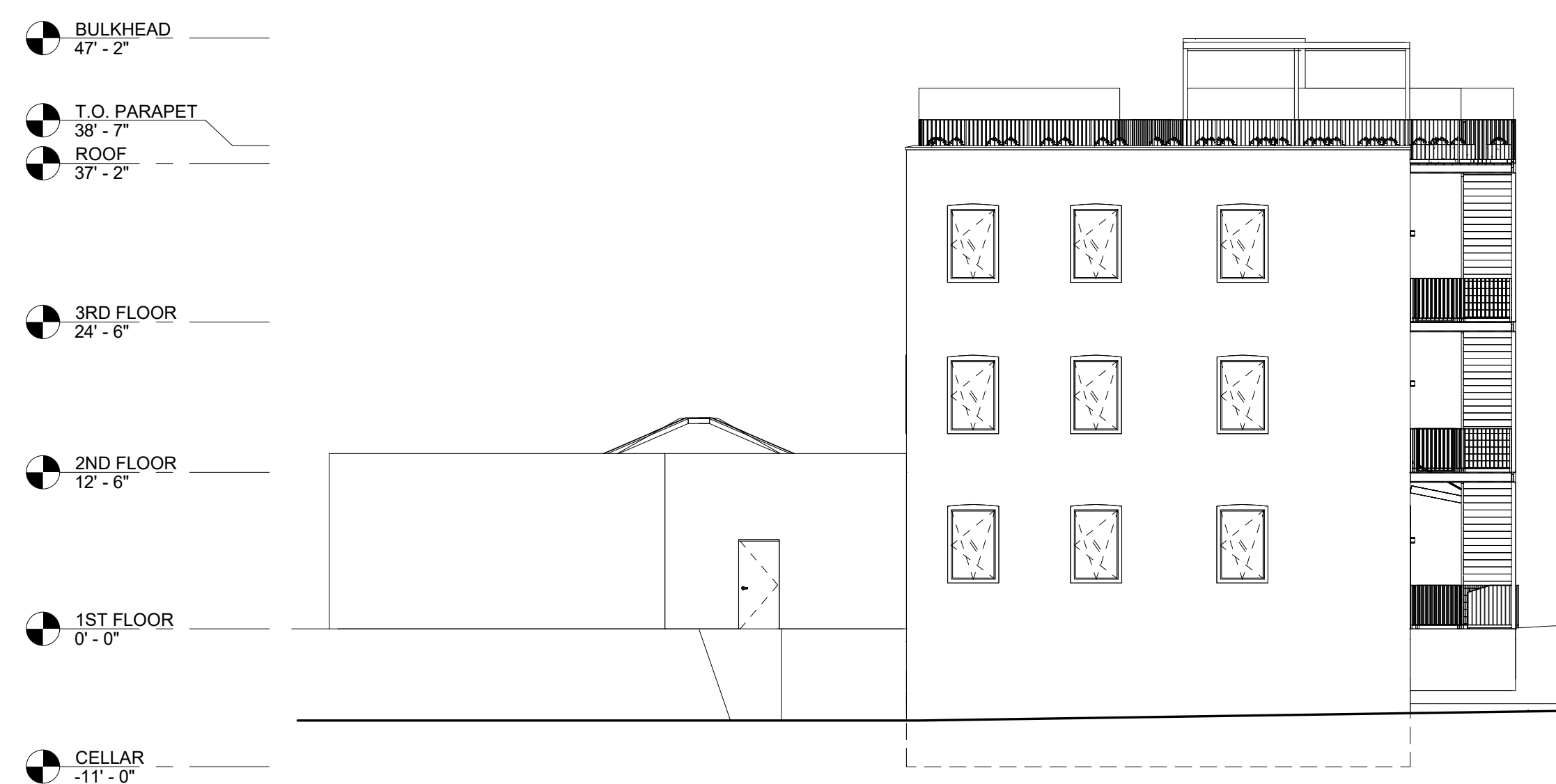
EAST AND WEST ELEVATIONS

AB	PROJECT #	
CHECKED BY	3/32" = 1'-0"	06/28/22
SCALE		DATE

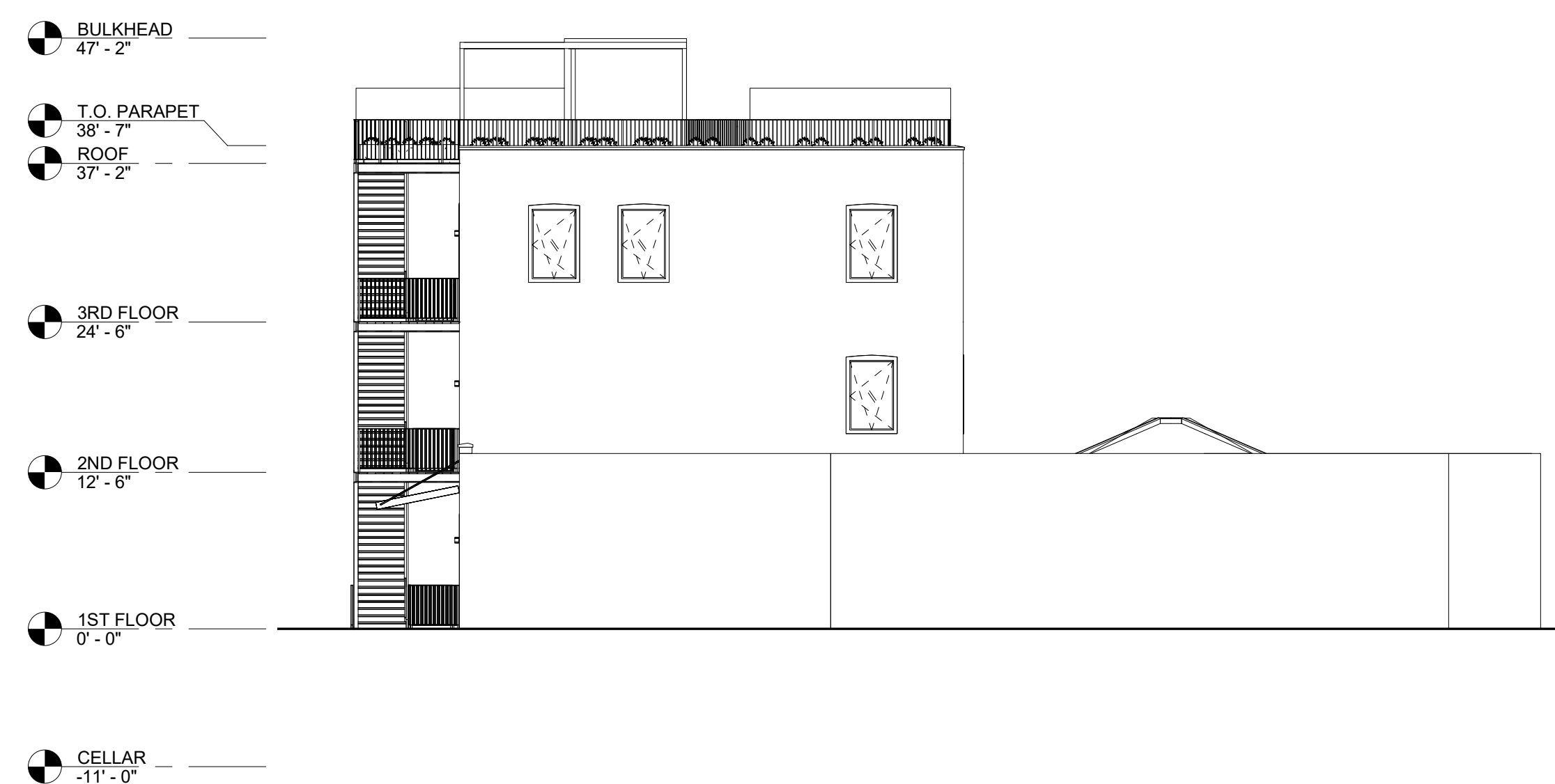
A-401
DRAWING #

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OWNER



1 NORTH ELEVATION
3/32" = 1'-0"



2 SOUTH ELEVATION
3/32" = 1'-0"

10		
9		
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1	REVISION 1	06.28.22
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15 NORTH CHERRY ST

NORTH AND SOUTH ELEVATIONS

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SCALE	DATE

A-402
DRAWING #

15 NORTH CHERRY STREET

Poughkeepsie, NY

SITE PLAN & FACADE REVIEW

July 26, 2022

Table of Contents

2	Introduction
3	Historical Landmarks Map
4	Intervention Diagram
5	City Transportation Map
6	Site Plan
7	Proposed Cellar Plan
8	Proposed 1st and 2nd Floor Plan
9	Proposed 3rd Floor and Roof Plan
10	West Facade Elevation
11	Walkthrough Perspectives
16	Balcony Section
17	Lighting/Decking Concepts
19	Window Types
20	Refuse Enclosure
21	Fencing Concepts
22	Southwest Perspective



INTRODUCTION

The proposed adaptive reuse project, located at 15 North Cherry Street in Poughkeepsie, New York, focuses on bringing new life to a building initially constructed in the late 1800's. Through implementation of a floor-through unit typology, the development takes advantage of the existing building's long and narrow floor plate with east and west exposures. The units' floor-through layout affords desirable double exposure and cross ventilation to residents.

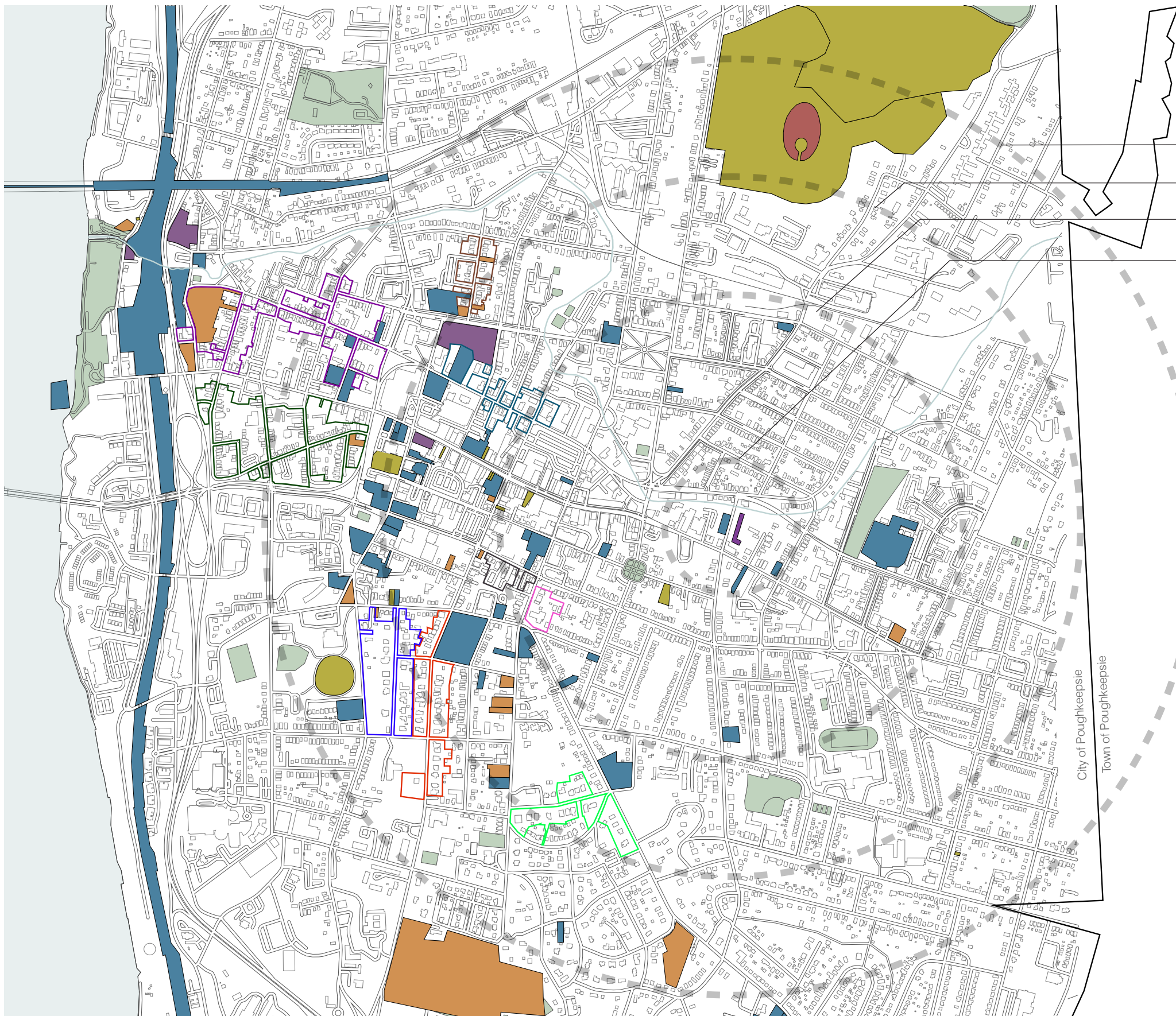
The addition of exterior stairs and balconies activates the façade and signifies the building's new use. The industrial character of the converted manufacturing building is preserved and celebrated while offering a more residential complexion as seen from the street. The composition of balconies and exterior stairs creates a memorable formal expression, with which residents can identify and connect, while lending individuality to the variety of units.

The development seeks to appeal to an active, forward-thinking demographic, while still providing parking for less mobile residents. This proposed project endeavors to contribute to the ever-improving quality of Poughkeepsie's architectural landscape. Through a circulation typology conducive to social interaction, and personal fitness, it prioritizes the well-being of Poughkeepsie's future inhabitants.

MISSION

- (1) HISTORICAL PRESERVATION
- (2) REVITALIZATION THROUGH STRATEGIC ARCHITECTURAL INTERVENTION
- (3) CITY CONNECTIVITY

(1) HISTORICAL PRESERVATION



- 1 MILE RADIUS
- 3/4 MILE RADIUS
- 1/2 MILE RADIUS
- 600 FOOT RADIUS

KEY

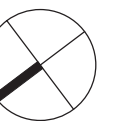
Historical Landmarks

- Local
- Local and State
- Local, State, and National
- State
- State and National

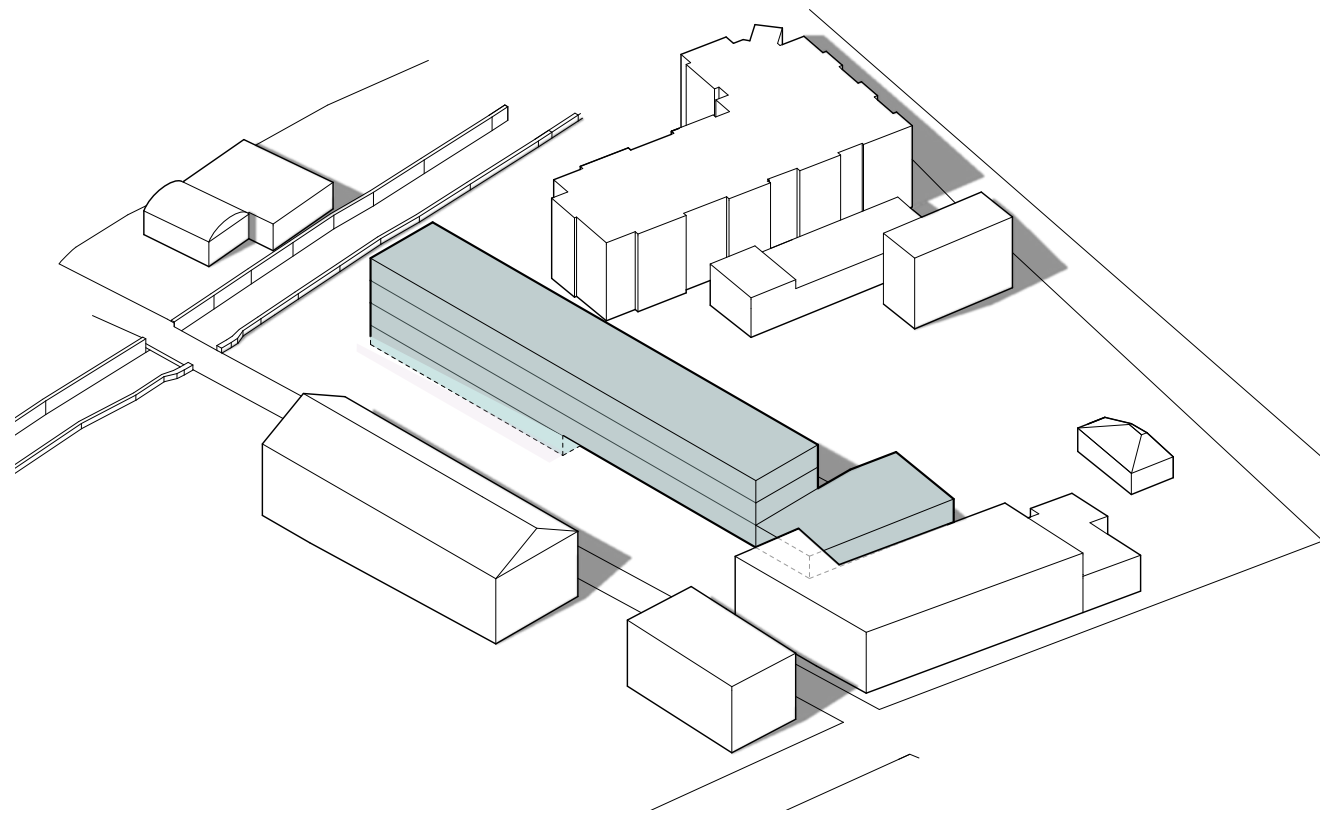
Historical Districts

- Mill St - N. Clover St
- Union St
- Balding Ave
- Upper Mill St
- Vassar-Warner Row
- Garfield Place
- Academy Street
- Dwight St - Hooker Ave
- Church Street Row

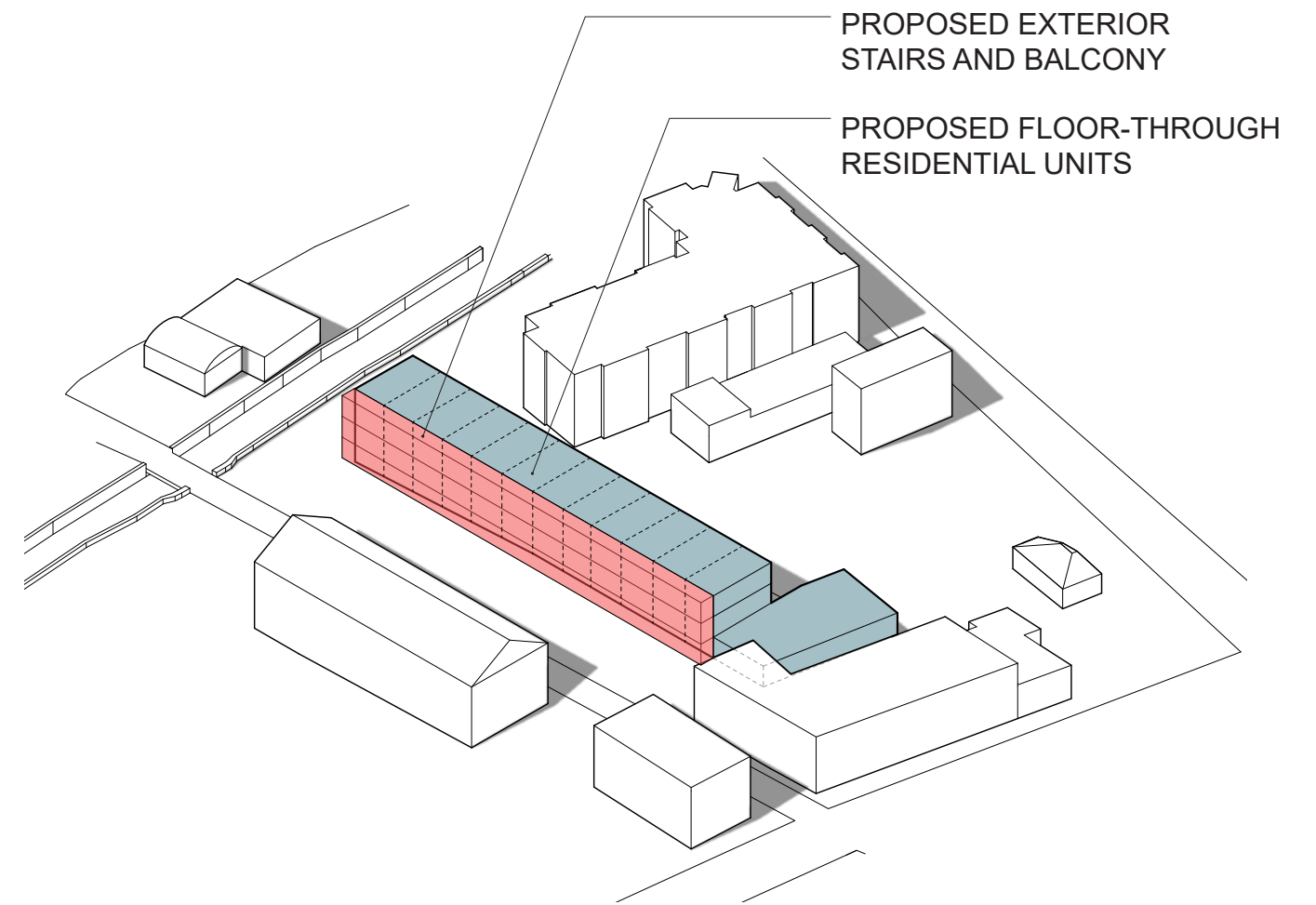
City of Poughkeepsie
Town of Poughkeepsie



(2) REVITALIZATION THROUGH STRATEGIC ARCHITECTURAL INTERVENTION

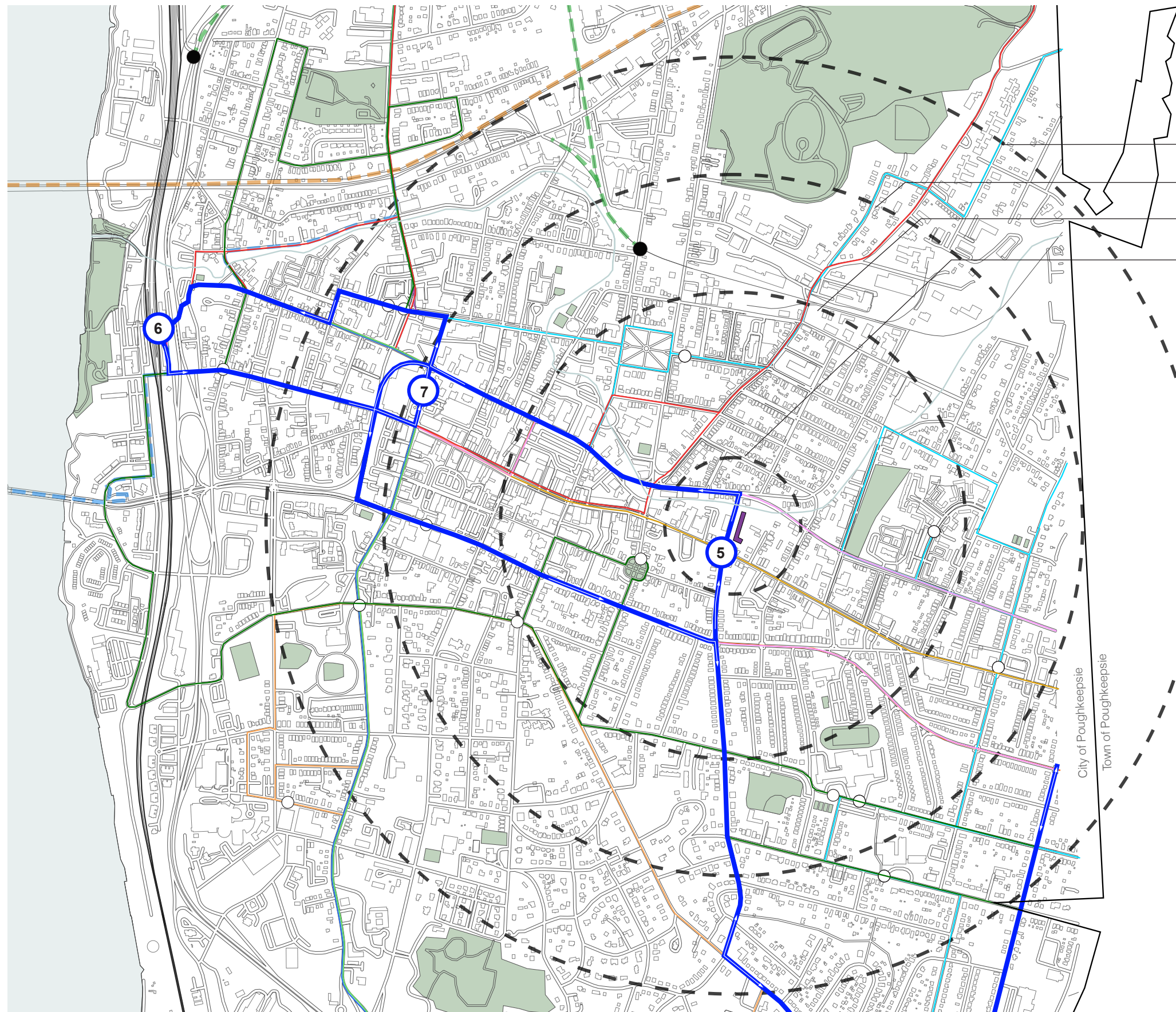


EXISTING CONDITIONS



PROPOSED INTERVENTION

(1) CITY CONNECTIVITY



- 1 MILE RADIUS
- 3/4 MILE RADIUS
- 1/2 MILE RADIUS
- 600 FOOT RADIUS

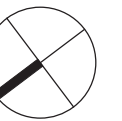
KEY

Poughkeepsie Bus Routes

- Route A - PK to Fishkill
- Route B - PK to Beacon
- Route C - PK to Tivoli
- Route D - PK to Wassaic
- Route E - PK to Pawling
- Route H - PK Transit Hub to Dutchess County College
- Route J - PK Transit Hub to Hyde Park
- Route K - PK to The Shoppes at South Hills
- Route L - PK to Stop & Shop or Adam Fairace Farms
- Route M - PK to Grand Avenue at Hooker Ave.
- Route P - PK Transit Hub to PK Highschool
- PRL - PK Train Station to Hudson River Housing
- Urban Trail path
- W.R.S. Dutchess Rail Trail
- Walkway Loop Trail
- Poughkeepsie Train Station
- Access to Urban Trail
- Other Bus Stops
- PRL Stops: 5 - N Cherry St & Main St
6 - Poughkeepsie Train Station
7 - Dutchess County Transit Hub

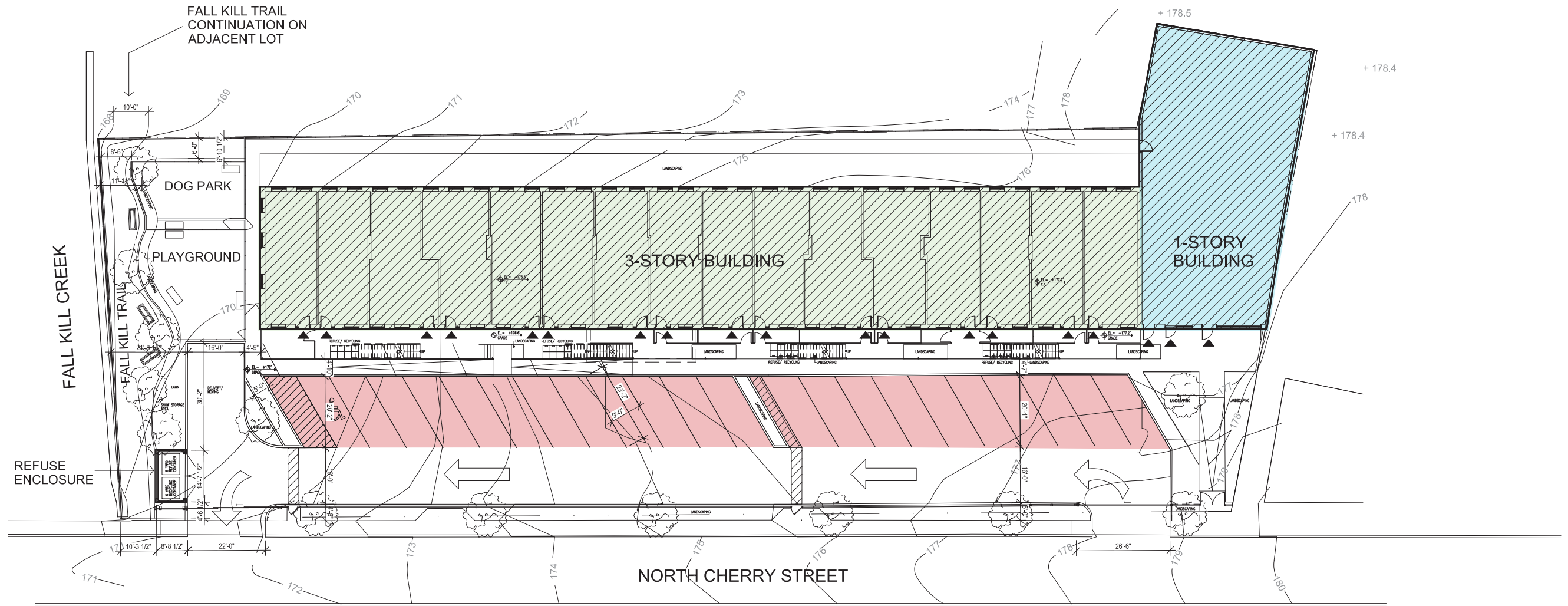
FREQUENCY OF PRL LINE STOPS IN MORNING AND EVENING DURING RUSH HOURS | 40 MIN.

PRL LINE TRAVEL TIME BETWEEN SITE AND POUGHKEEPSIE TRAIN STATION | 10 MIN.

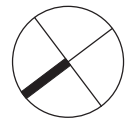


KEY

- PARKING
- RESIDENTIAL
- AMENITIES

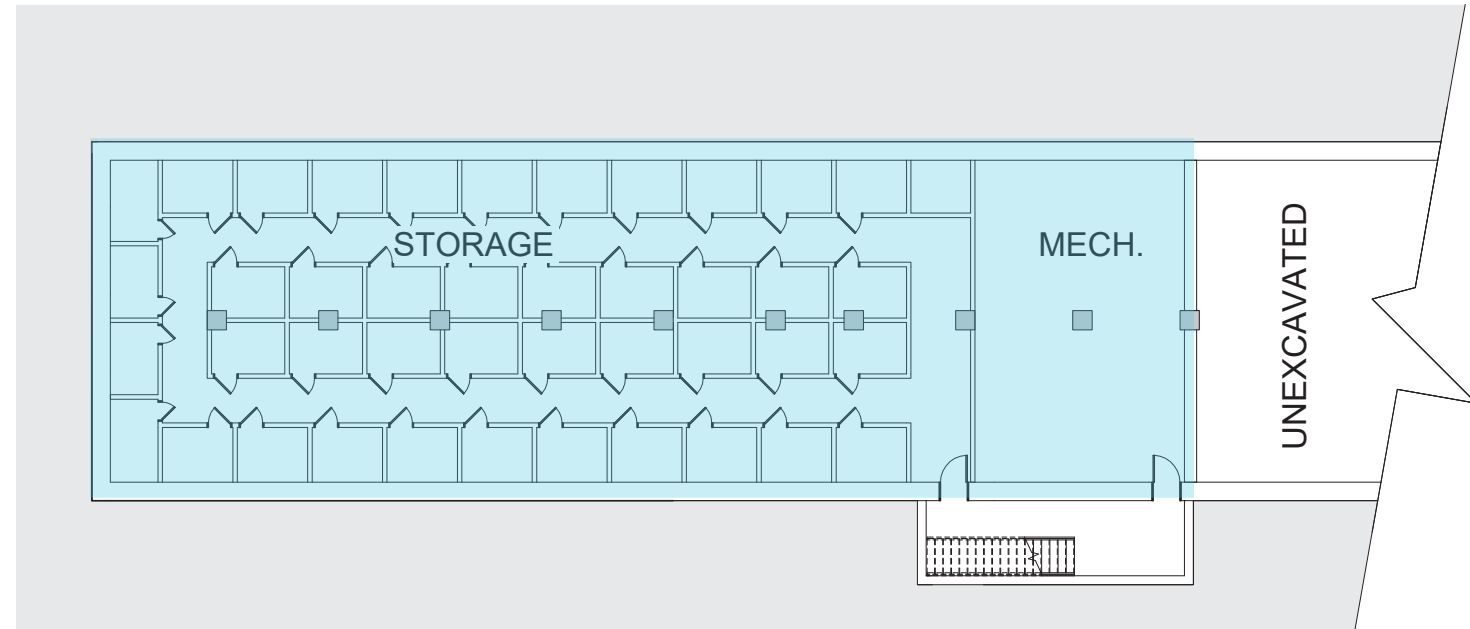


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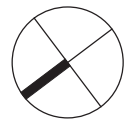


KEY

- PARKING
- RESIDENTIAL
- AMENITIES



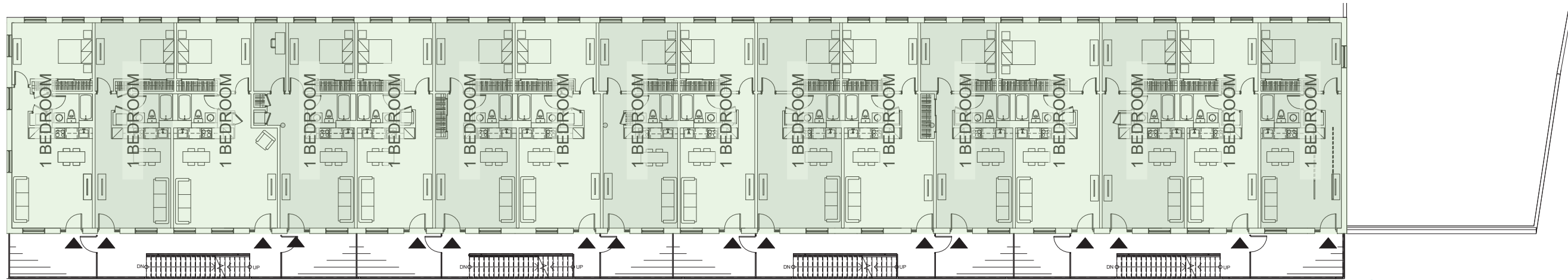
SCALE: 3/64" = 1'-0"



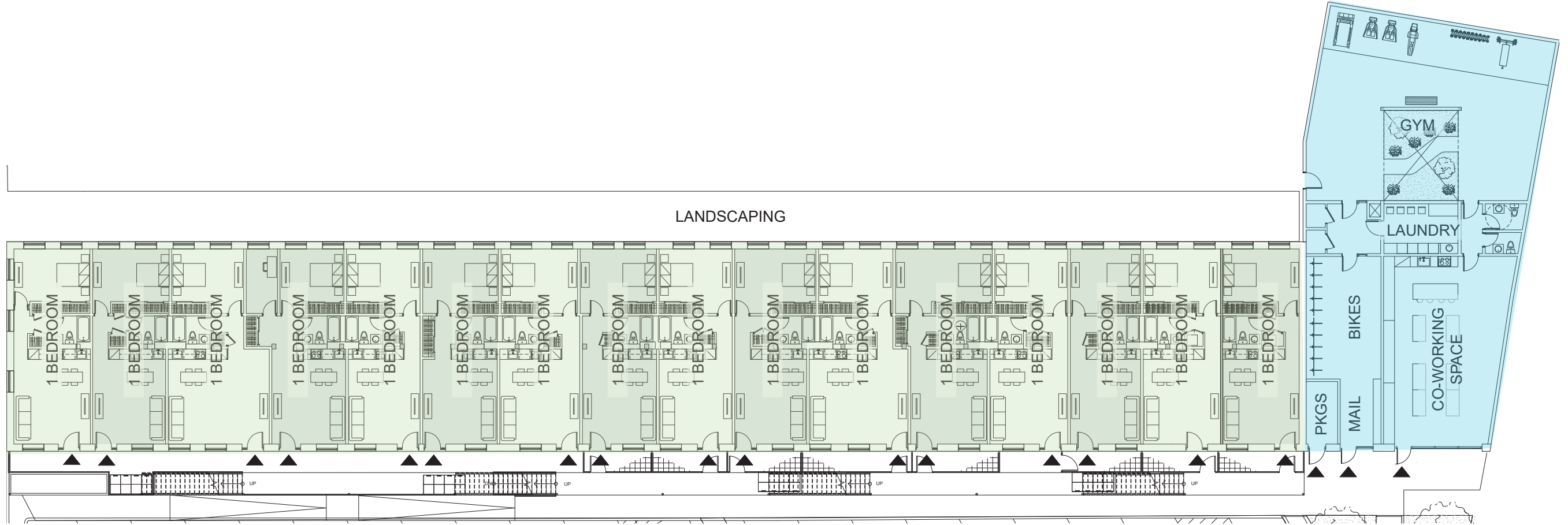
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- PARKING
- RESIDENTIAL
- AMENITIES

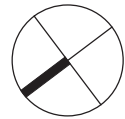
2ND FLOOR



1ST FLOOR



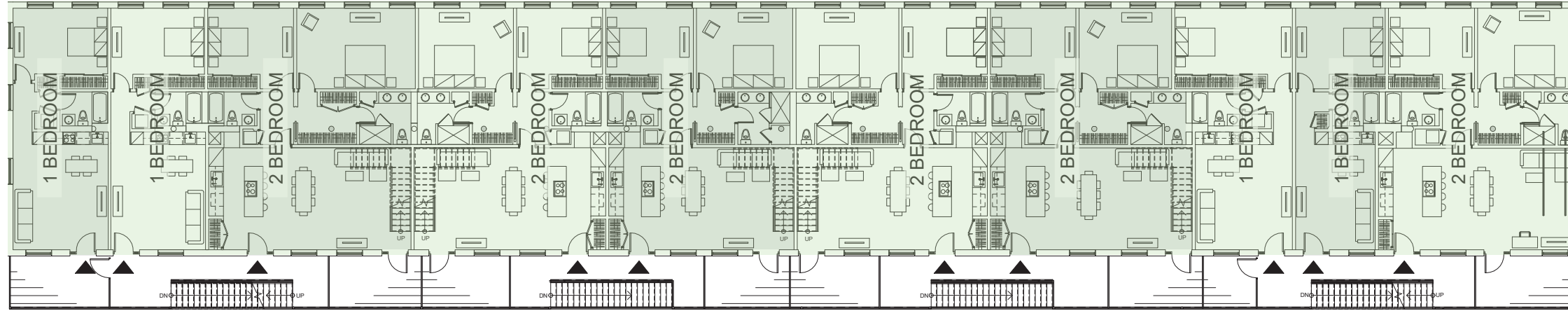
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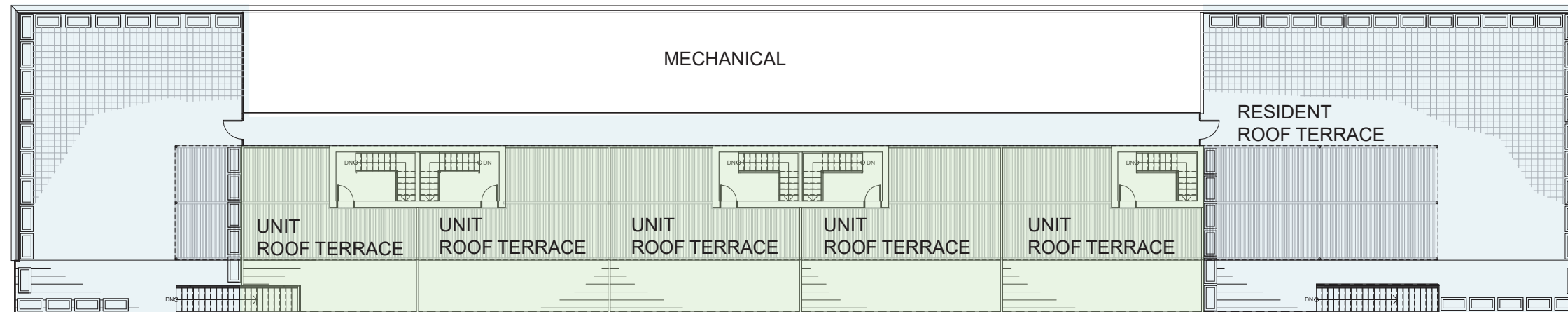
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- RESIDENTIAL
- AMENITIES

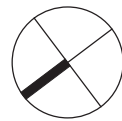
3RD FLOOR

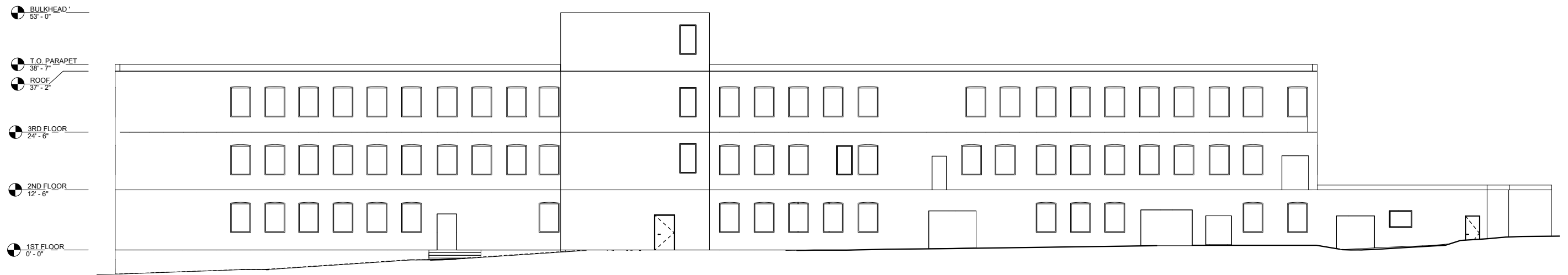


ROOF

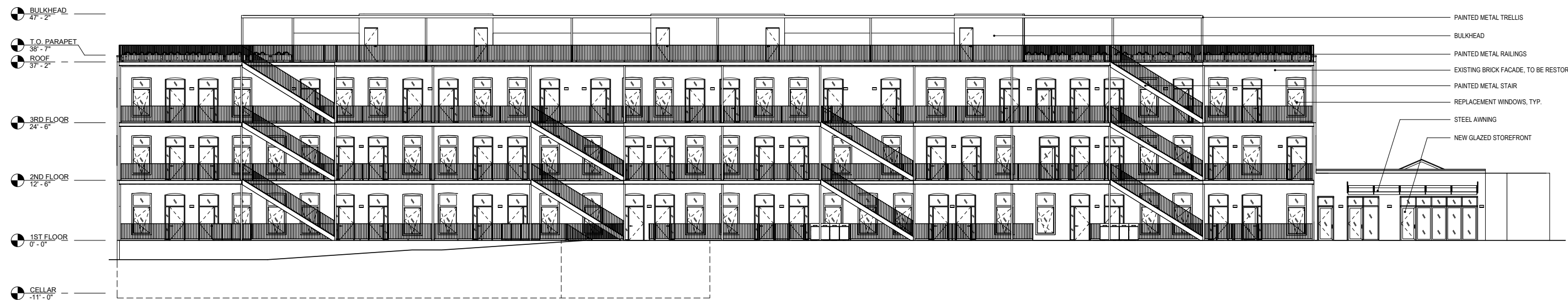


SCALE: 3/64" = 1'-0"





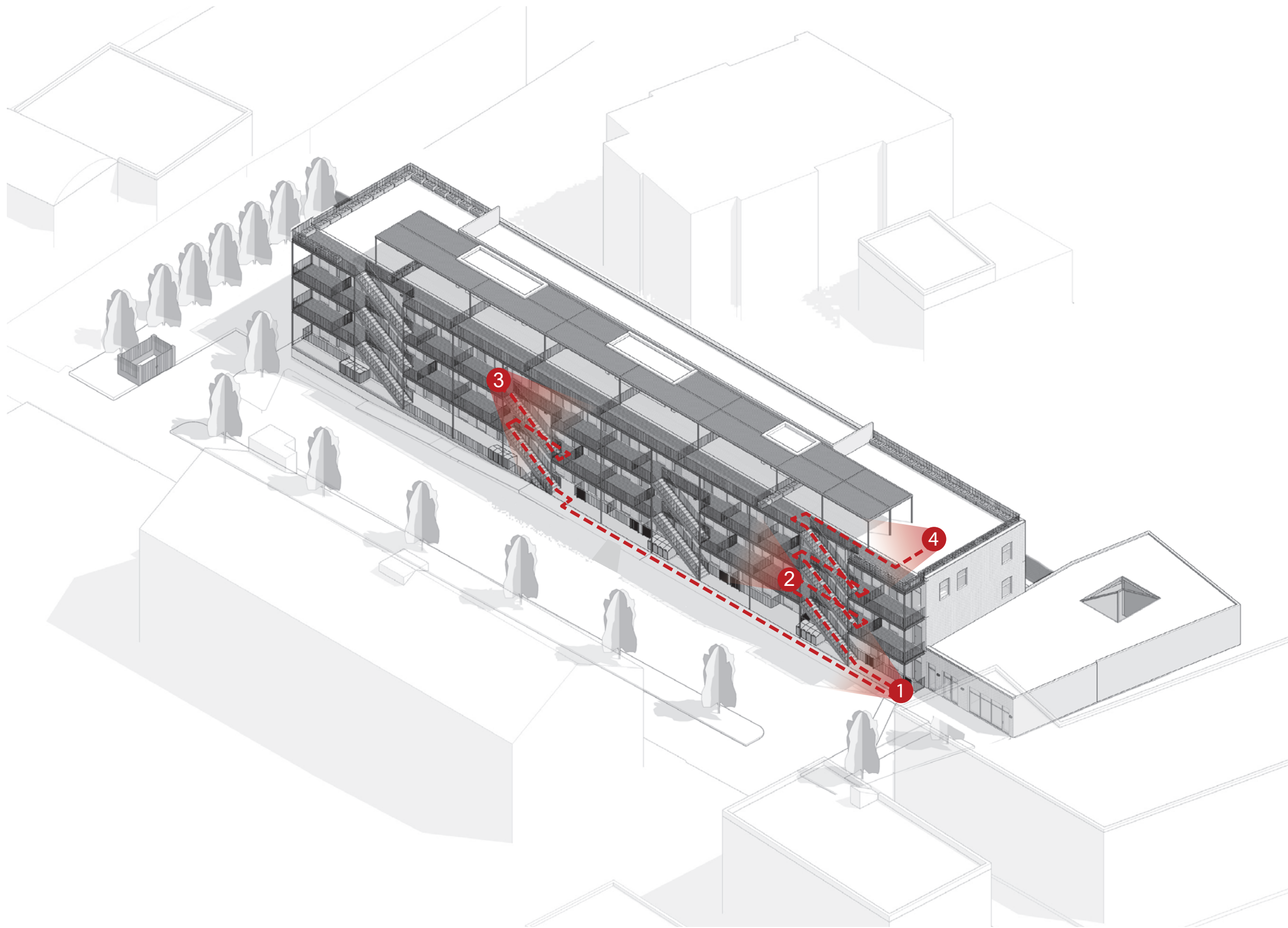
EXISTING WEST FACADE



PROPOSED WEST FACADE

SCALE: 3/64" = 1'-0"





1. FIRST FLOOR



2. SECOND FLOOR



3. THIRD FLOOR



4. ROOF





PERSPECTIVE 2

2ND FLOOR VIEW

15 NORTH CHERRY STREET

POUGHKEEPSIE, NEW YORK

SITE PLAN AND FACADE REVIEW

JULY 26, 2022

abarchitekten



PERSPECTIVE 3

3RD FLOOR VIEW

15 NORTH CHERRY STREET

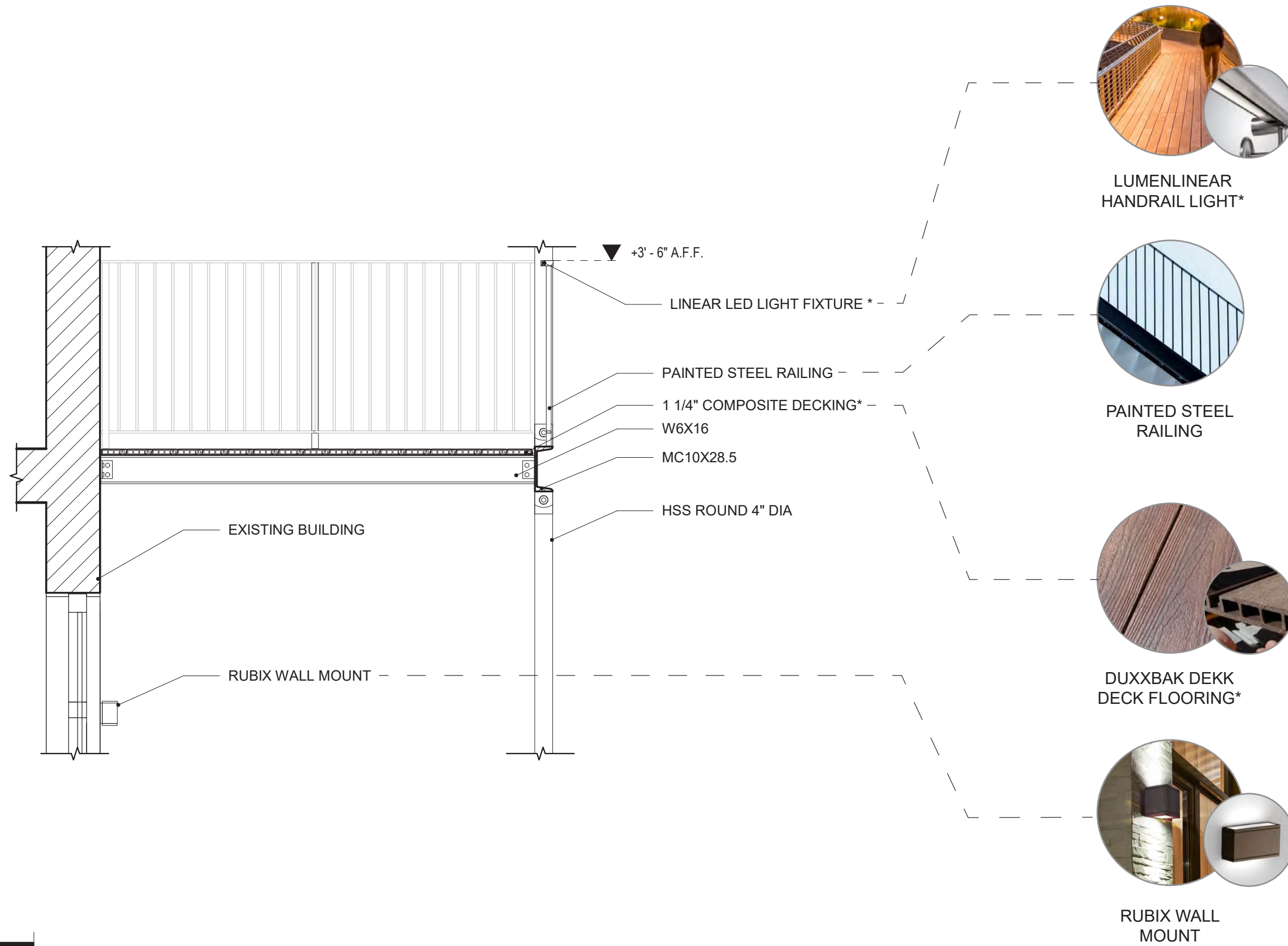
POUGHKEEPSIE, NEW YORK

SITE PLAN AND FACADE REVIEW

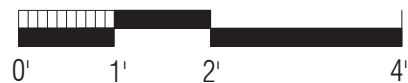
JULY 26, 2022

abarchitekten





SCALE: 1/2" = 1' - 0"



* LIGHTING AND DECKING CONCEPT SCHEME A



LUMENLINEAR HANDRAIL LIGHT FIXTURE

LUMENLINEAR™ ASYMMETRIC

Another Lumenrail® Component
for Life Safety and Light

PROJECT NAME: _____

REP AGENCY: _____

APPROX. LINEAR FT: _____

SERVICE OPTIONS: Field Measure Job Site Support System Installation



SCAN QR CODE
for technical information,
downloads and instructions

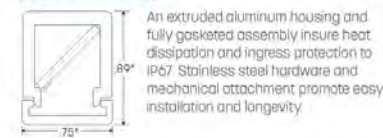
PART NUMBER BUILDER

LULS40K6070TA24	LULS	COLOR TEMP	FIXTURE WATTAGE	BEAM ANGLE	LENS OPTION	LENGTH	
EXAMPLE							
	LULS- Lumenlinear™	27K- 2700 K 30K- 3000 K 38K- 3500 K 40K- 4000 K 50K- 5000 K	BLU- Blue GRN- Green RED- Red AMB- Amber	20- 18.5 WFT 40- 35.7 WFT 60- 5.45 WFT	70- 70° Spread Main Beam @ 45° apex nadir	TA- Transparent Asymmetric MA- Matte Asymmetric	6- 7'6" 12- 15'5" 18- 19'3" 24- 25'3" 30- 31'2" 36- 37'6" 42- 43'0" 48- 49'5" 54- 51'9" 60- 52'8"

ELECTRICAL SPECIFICATIONS

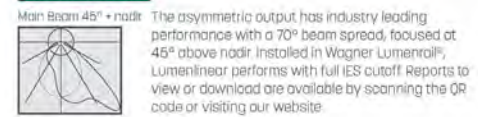
 All electrical connections to be made by a qualified electrician in accordance with all national, state and local electrical codes.	24VDC INPUT VOLTAGE	ETL LISTED WET, UL 1598/CSA 22.2 CERTIFICATIONS	0-10V INPUT (PWM) DIMMING	-40°F TO +120°F OPERATING TEMP
	CLASS 2 REQUIRED DRIVER	5 YEARS WARRANTY	UP TO 77 LM/W LED EFFICIENCY	UP TO 88 (95% AVAIL. UPON REQUEST) CRI
				18" (X2) WIRE LENGTH

CONSTRUCTION



An extruded aluminum housing and fully gasketed assembly insure heat dissipation and ingress protection to IP67. Stainless steel hardware and mechanical attachment promote easy installation and longevity.

PHOTOMETRICS



The asymmetric output has industry leading performance with a 70° beam spread, focused at 45° above nadir. Installed in Wagner Lumenrail®, Lumenlinear performs with full IES cutoff. Reports to view or download are available by scanning the QR code or visiting our website.

LUMENGEAR™ LED DRIVER & NEMA ENCLOSURE OPTIONS

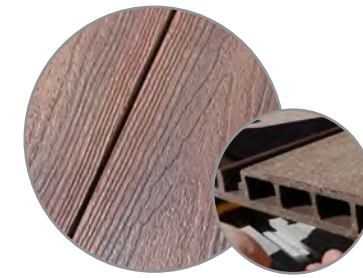
Wagner offers multiple ETL listed options for both 24VDC power supplies and NEMA enclosures. Quantities and types will be configured based on your specifications and design. Additional specification options are available by request. Not all options apply to all products; please verify compatibility with the factory.

- CLASS II DRIVERS:**
- STD 100W
 - Dalí, DMX, 0-10V Dimming Protocols
 - Multiple Wattages
 - Made in USA Units Available

- NEMA ENCLOSURES:**
- 4X - Polycarbonate, Painted Steel or Stainless Steel

LUMENPDST™:
Integrated 100W, 0-10V DIM

Specifications subject to change without notice. Verify data at time of order.



DUXXBAK DEKK COMPOSITE DECK FLOORING

Why DuxxBak Dekk?

Limited Lifetime Warranty includes color fade and mold damage. Naturally mold and mildew resistant. High slip resistance. No need for a secondary water catch system. Available in both ArmorCap embossed wood grain finish and Traction finish. * Traction finish colors – Walnut, Mahogany, Driftwood, Cedar, Copper Canyon, and Rustic Red. * ArmorCap colors – Boardwalk Gray, Warm Cedar, Black Walnut, Sedona Red, and Dark Mahogany. ArmorCap colors incorporates a beautiful dual-embossed, variegated wood grain finish. Hidden fasteners eliminate the need for visible face screws. Water drains off deck with a 1/8" slope in framing. Strong, durable decking allows 24" on center joists. DuxxBak® Dekk decking is available in 12', 16', 20', and 24' lengths.



DuxxBak® Dekk
Description: 5/4" x 7-1/4"
Height: 1-1/4"
Width: 5-3/4" coverage
Lengths: 12', 16', 20', 24'

Matching OPTIMA® Dekk Rectangular Profile Used on Steps
Description: 1" x 6"
Height: 1"
Width: 5-1/2" coverage
Lengths: 12', 16', 20', 24'

Matching Traction Rectangular Profile Used on Steps
Description: 5/4" x 6"
Height: 1-1/4"
Width: 5-1/2" coverage
Lengths: 12', 16', 20', 24'

DuxxBak® Dekk End Cap
Height: 1-1/4"
Width: 5-1/2"

Genuine DuxxBak Composite Decking® screws
Available in 7x1 5/8", 7x2 1/2", and 7x3"
See screw packaging for details

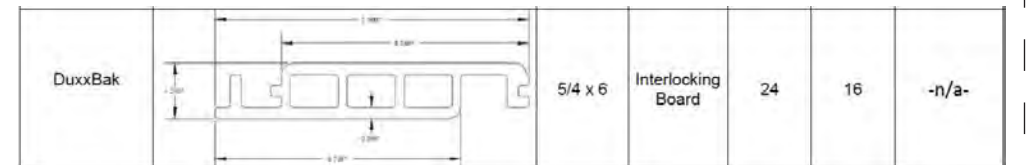
FIVE BEAUTIFUL ARMORCAP COLORS

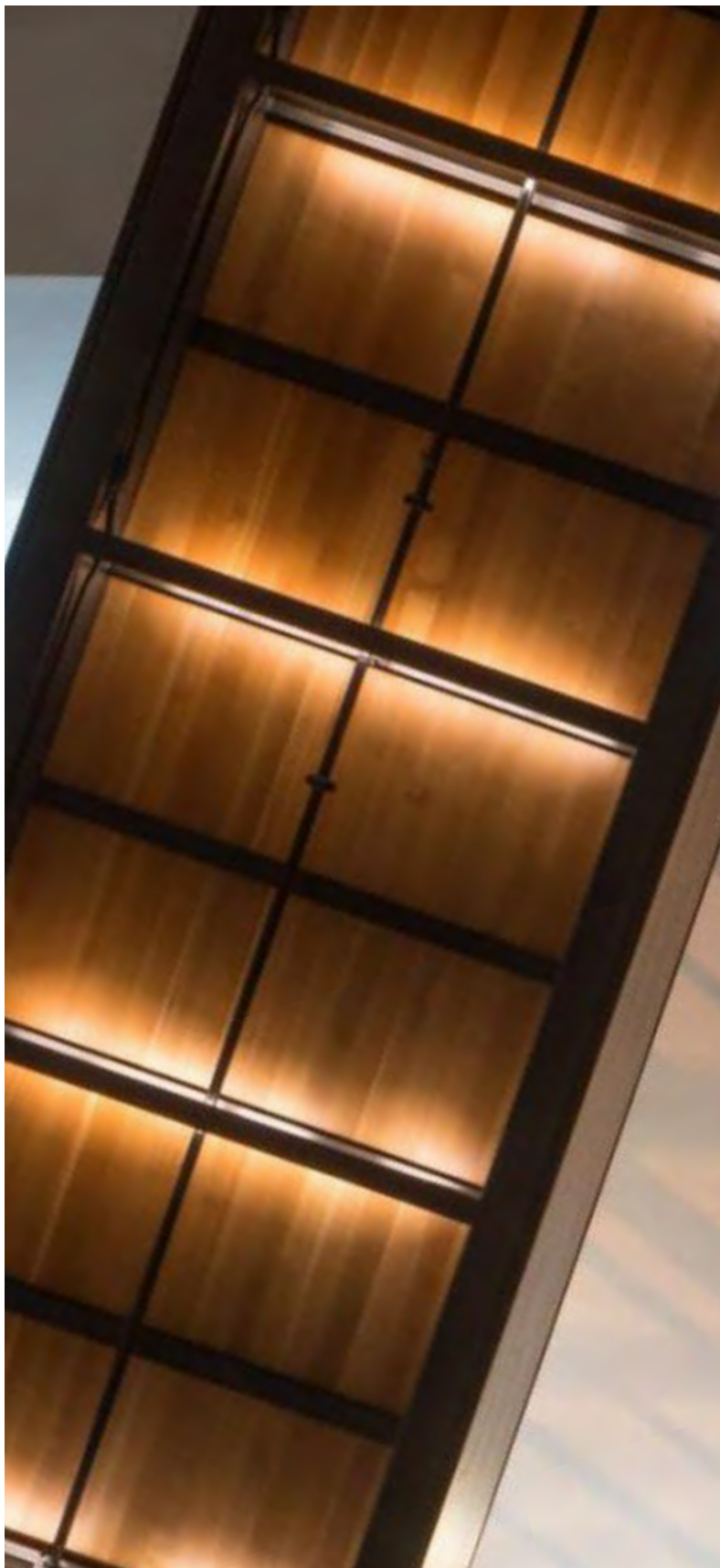


SIX BEAUTIFUL TRACTION COLORS



Ideal for
Multi-Family
Developments





MINI RIDGE LED LINEAR
LIGHTING FIXTURE



CEDAR WOOD
DECK FLOORING

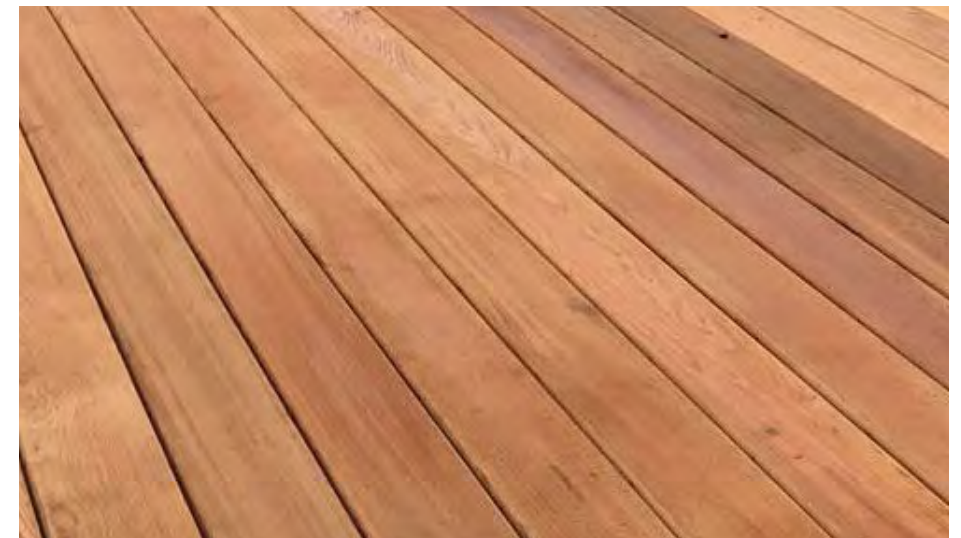
PRODUCT MANUAL
Linear LED Lighting Spec Sheet

Solid Apollo
Toll Free: 425-842-7533
www.SolidApollo.com
andrew@SolidApollo.com

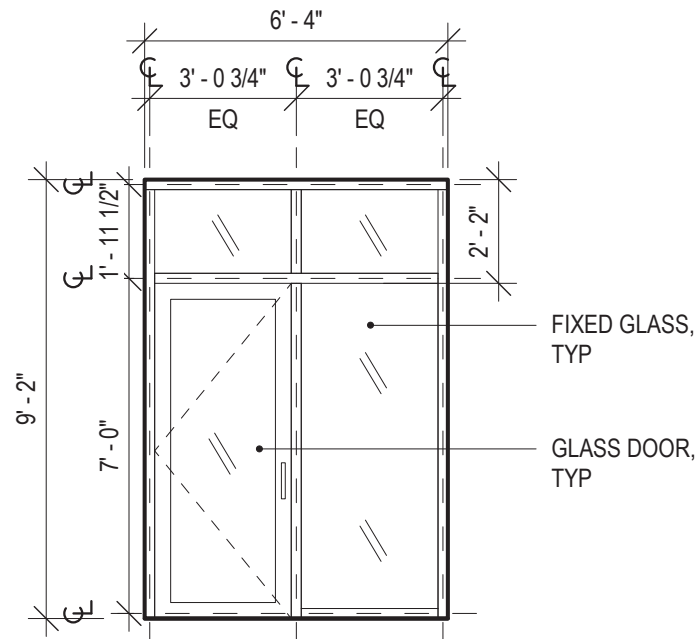
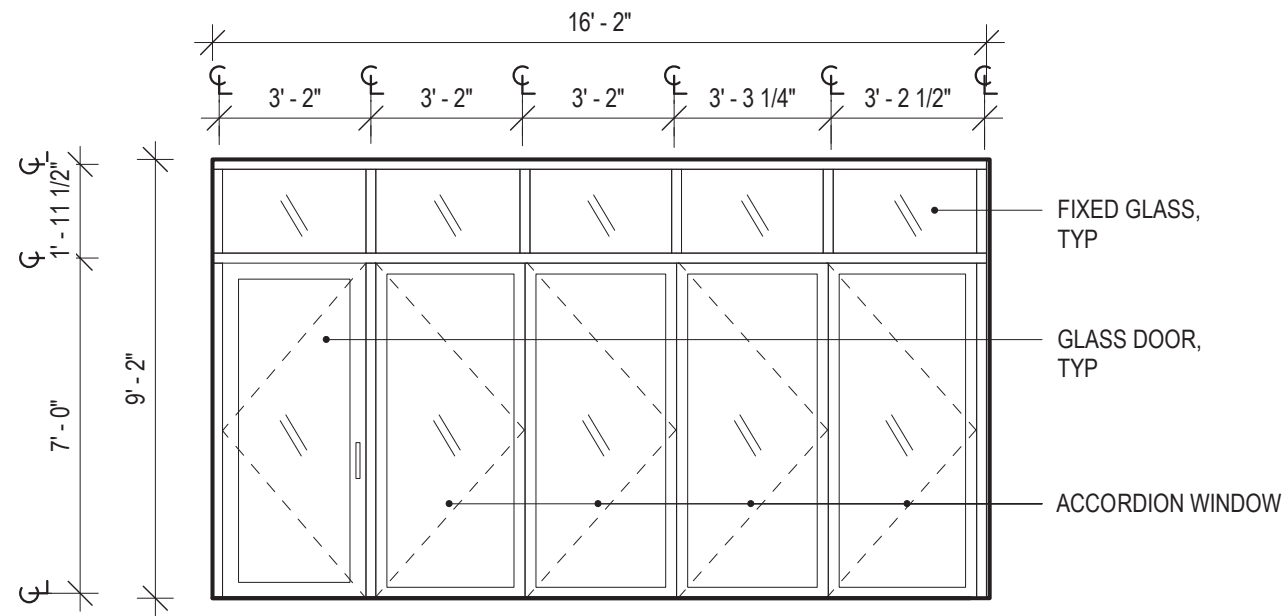
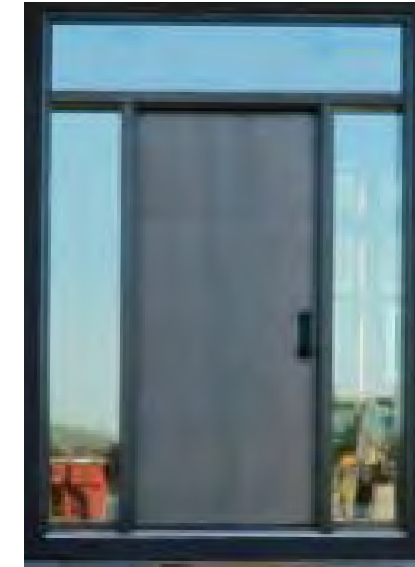
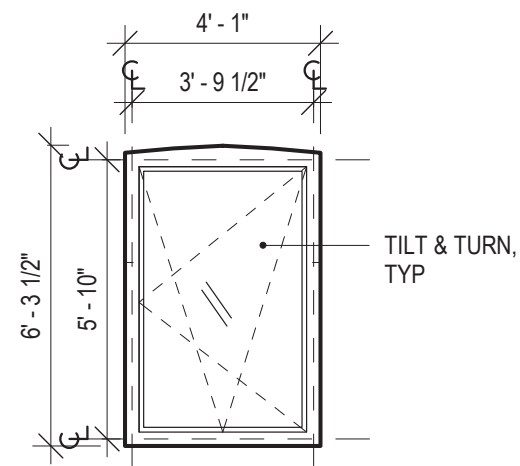
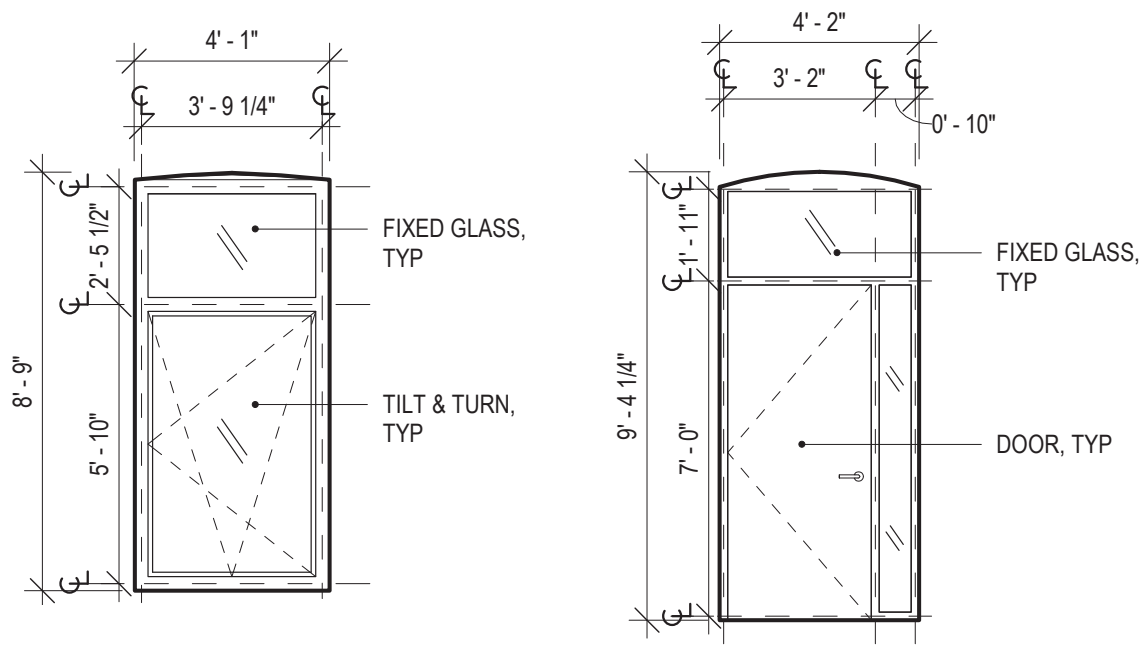
Linear LED Lighting System

Shinobu LED Linear Fixture	Keiko LED Linear Fixture	Akira LED Linear Fixture	Taru LED Linear Fixture	Taru XL LED Linear Fixture	Ridge LED Linear Fixture
Linear Fixture Dimensions					
With Bracket					
Mini Ridge LED Linear Fixture	Ren LED Linear Fixture	Kano Recessed LED Linear Fixture			
Linear Fixture Dimensions					
With Bracket					
Product Features					
<ul style="list-style-type: none"> • Manufactured in the USA • Made to Order • Available from 6 to 78 Inch lengths (1 inch increments) 		<ul style="list-style-type: none"> • Choose from 2400K, 2700K, 3000K, 3500K, 4000K, 5000K, and 6000K • Up to 596 Lumens/ft • Completely Dotless Diffusers 		<ul style="list-style-type: none"> • Up to 20ft Continuous Runs • Fully Dimmable • 5 Year Warranty 	

page 3



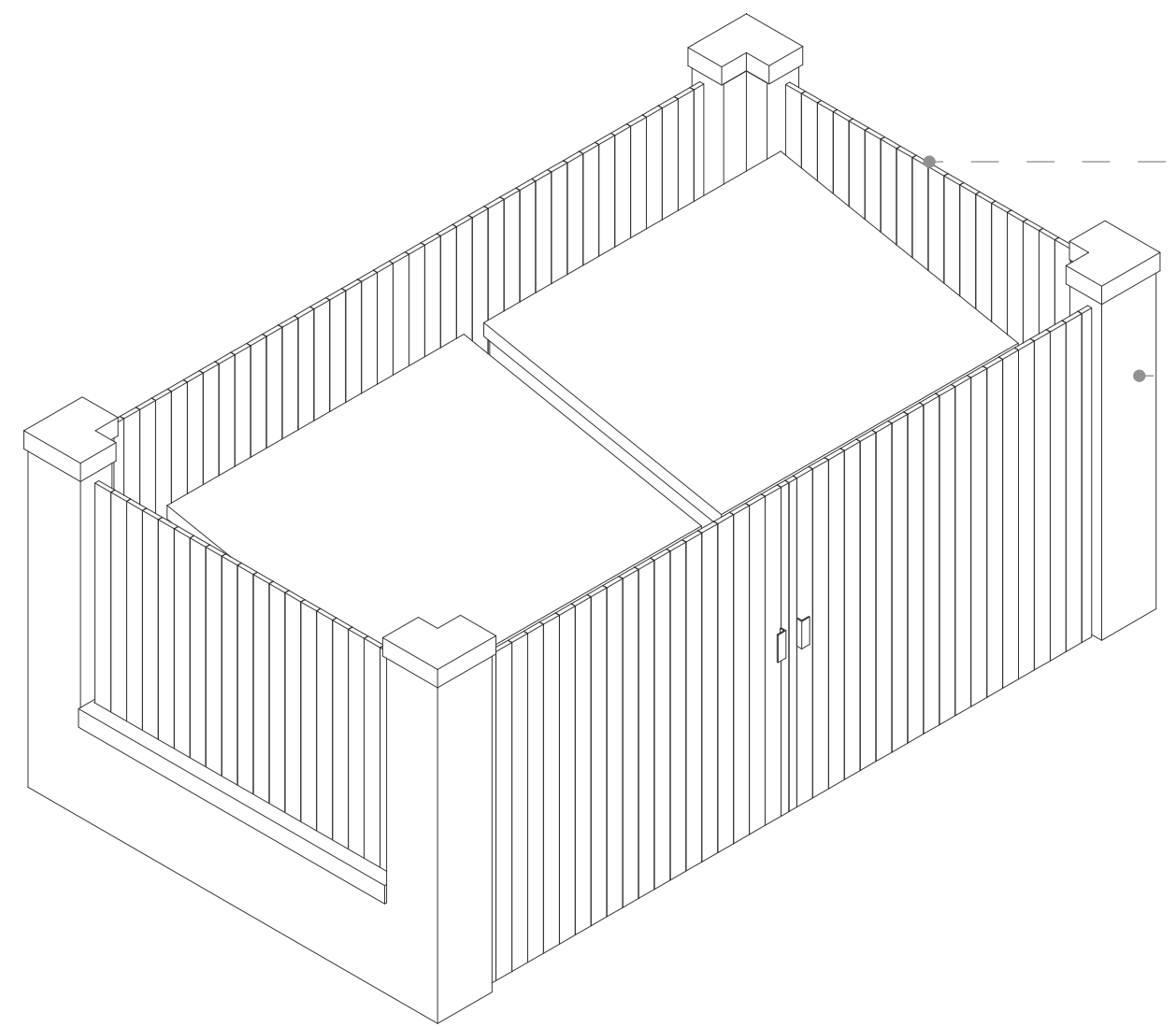
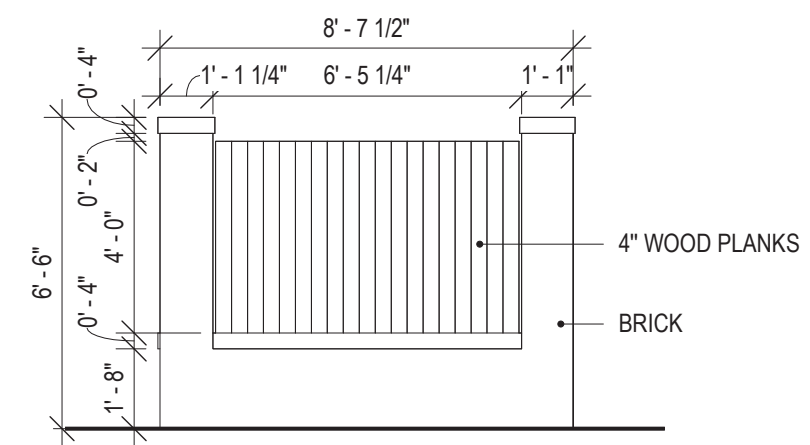
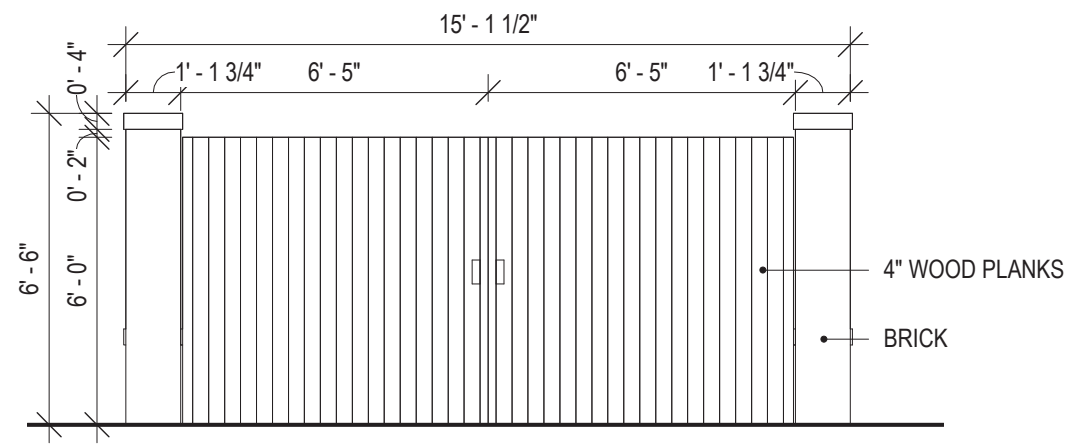
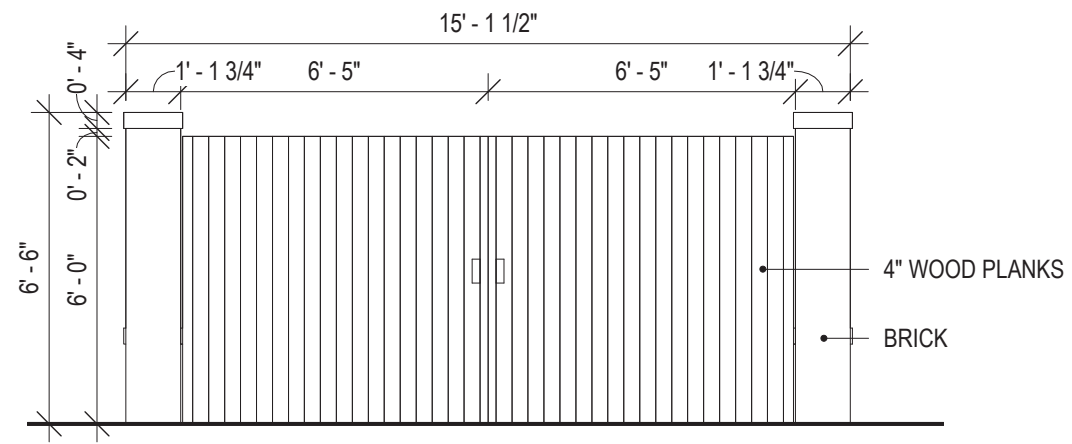
WINDOW TYPES



SCALE: 1/4" = 1'-0"



MATERIAL & TYPE REFERENCES



WOOD PLANKS



BRICK

SCALE: 1/4" = 1' - 0"



SCALE: 3/8" = 1' - 0"





DOG PARK FENCE



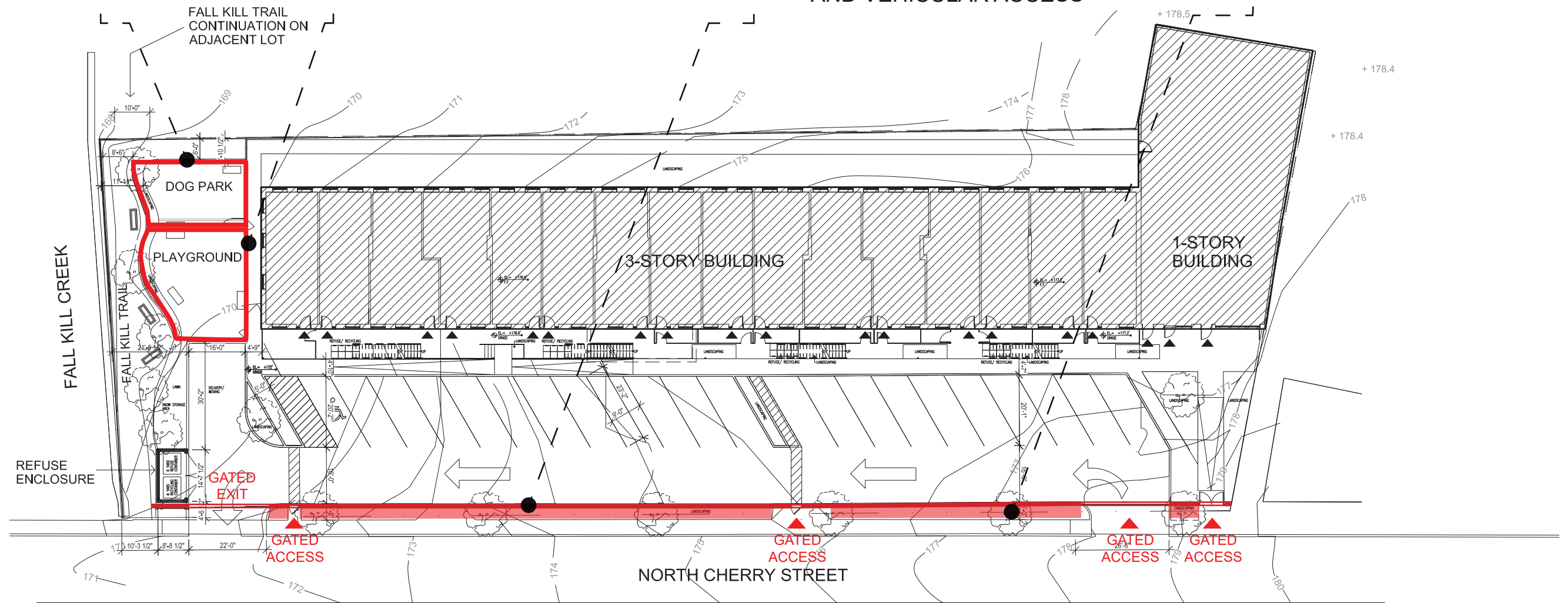
PLAYGROUND FENCE



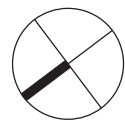
HYDRANGEA PANICULATA ("LITTLE QUICK FIRE");
4' FENCE, GATED PEDESTRIAN AND VEHICULAR ACCESS



GINKGO BILOBA ("PRINCETON SENTRY")



SCALE: 1/32" = 1'-0"





May 16, 2022

City of Poughkeepsie Planning Board
Attn: Robert Levine, Chairman
63 Civic Center Plaza
Poughkeepsie, NY 12601

cc: Natalie Quinn, Planning Director

RE: 2022-011: 15 N Cherry Street - Cigar Factory

MASS DESIGN GROUP

1 Chandler Street Suite 101
Boston, MA 02116

289 Main Street Suite 101
Poughkeepsie, NY 12601

hello@massdesigngroup.org
+1 857 233 5788
+1 845 473 4003

massdesigngroup.org

Dear City of Poughkeepsie Planning Board,

After a set of preliminary presentations in March and April to the Planning Board, the applicant and design team convened with Chris Kroner and Natalie Quinn on May 6, 2022 to discuss their proposed project at 15 N. Cherry Street. Attendees from the design team included: Marc Ackerson and Socorro Fernandez Garcia from the AB Arkitekten team. The discussion was a preliminary workshop in nature, and they gave an introduction to the project, its intent and constraints to which MASS elevated some clarifying questions for further consideration. As this is a large-scale building in the Middle Main district that has drawn a lot of interest since the renovation of neighboring parcels at the Poughkeepsie Underwear Factory and Fall Kill Commons on Rose, we are hoping that this project will capture the attention of the public.

Exterior Staircase

The design looks to activate the existing three-story factory warehouse facade, by appending an exterior staircase as the means of access to the perpendicular facing apartments. **We appreciate any forthcoming detailing work for the walking surfaces that would try to dampen circulation noise for both residents and the neighborhood, as well as any material development for the planning board to review (ceilings, finishes, etc). We would encourage the applicant to further explore any design opportunities in the metalwork and balustrades for unique elements that would add to the artistic extension of this creative arts zone of the city.**

We would also encourage the applicant to discuss the safety measures that this site and exterior staircase would employ to help encourage the type of resident interactions that are envisioned.

Exterior Facade

As the building masonry currently has a stucco / paint overcoat, the planning board may need additional information about the intended facade restoration. Similarly, more information about the intended window and door replacements (functionality, color/finish) would help the planning board understand the intended design direction.

Exterior Lighting

Discussion was held regarding lighting, and whether intermittent wall sconces or a continuous linear luminaire would be most appropriate on the facade with the exterior stairways. We hope the design team will continue to review this condition as well as the three other facades.

Fall Kill

One of the most important features of this building is that it has a north yard facing the Fall Kill creek. As was broadly discussed by the board at the previous meeting, a long-range aspiration project for Poughkeepsie is a future Fall Kill trail and park network that will follow the creek from the northside of the arterial to the Hudson River. From the 2018 Civil Engineering campaign that MASS and Scenic Hudson coordinated with The Chazen Companies, one of the most important lessons learned was that the WPA era creek walls in the Middle Main area are all in a state of disrepair. The City of Poughkeepsie and MASS through their work with the Northside Collaborative have been encouraging land owners adjacent to the creek to consider means to upgrade those creekside conditions. Some suggestions for consideration would be to create opportunities to safely get down to the creek to facilitate future access and also to assist in the ongoing maintenance and cleanup required to make the Fall Kill into a future public amenity. **We hope that the applicant will be in close dialog with planning staff and the adjacent parcel ownership (Hudson River Housing) in order to weave this keystone property into initiatives reserved by the previous site plan approvals and future plans of those parcels.**

As the north yard of the site plan currently shows a dog park, childrens play area and landscape buffer, each of these may have either physical elements (fencing, equipment, surface elements) that the planning board may want to understand in more detail in order to proceed. As we understand from the design team that the common one-story extension of the building is to be considered amenity spaces, such as bike storage, gym, e-scooters and coworking, **we also encourage the applicant to consider the placement of any northern program amenity spaces that directly overlook their northern yard and the Fall Kill, much like the Cafe at P.U.F. (Poughkeepsie Underwear Factory).**

MASS DESIGN GROUP

1 Chandler Street Suite 101
Boston, MA 02116

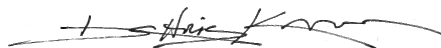
289 Main Street Suite 101
Poughkeepsie, NY 12601

hello@massdesigngroup.org
+1 857 233 5788
+1 845 473 4003

massdesigngroup.org

We look forward to seeing this important anchor project for Middle Main evolve through public participation in collaboration with community partners.

Sincerely,
Chris Kroner



Principal
ckroner@mass-group.org

Dutchess County Department of Planning and Development

Fax Info Only	To	Date	#pgs
	Co./Dept.	From	
	Fax #	Phone #	

239 Planning/Zoning Referral - Exemption Communities

Municipality: **City of Poughkeepsie**

Referring Agency: **Planning Board**

Tax Parcel Number(s): **3440120000**

Project Name: **15 North Cherry Street Residential Conversion**

Applicant: **Chaim Hirsch**

Address of Property: **15 Cherry St, Poughkeepsie, NY 126010000**

Please Fill in this section

Exempt Actions:* 239 Review is NOT Required

- Administrative Amendments (fees, procedures, penalties, etc.)
- Special Permits for residential uses (accessory apts, home occupations, etc.)
- Use Variances for residential uses
- Area Variances for residential uses
- Renewals/Extension of Site Plans or Special Permits that have no changes from previous approvals

No Authority to review these Actions

- Subdivisions / Lot Line Adjustments
- Interpretations

Exempt Action submitted for informal review

Actions Requiring 239 Review

- Comprehensive/Master Plans
- Zoning Amendments (standards, uses, definitions, district regulations, etc.)
- Other Local Laws associated with zoning (wetlands, historic preservation, affordable housing, architectural review, etc.)
- Rezoning involving all map changes
- Architectural Review
- Site Plans (all)
- Special Permits for all non-residential uses
- Use Variances for all non-residential uses
- Area Variances for all non-residential uses
- Other (Describe):

Parcels within 500 feet of:

- State Road:
- County Road:
- State Property (with recreation area or public building)
- County Property (with recreation area or public building)
- Municipal Boundary
- Farm operation in an Agricultural District

Date Response Requested:

Entered By: **Knauss, Judith**

These actions are only exempt in municipalities that signed an intermunicipal agreement with Dutchess County to that effect.

For County Office Use Only

Response From Dutchess County Department of Planning and Development

No Comments:

- Matter of Local Concern
- No Jurisdiction
- No Authority
- Withdrawn
- Incomplete - municipality must resubmit to County
- Exempt from 239 Review
- None

Comments Attached:

- Local Concern with Comments
- Conditional
- Denial
- Incomplete with Comments- municipality must resubmit to County
- Informal Comments Only (Action Exempt from 239 Review)

Date Submitted:

Date Received: **3/30/2022**

Date Requested:

Date Required: **4/28/2022**

Date Transmitted: **4/27/2022**

Notes: **Updated site plan and elevations uploaded 4/27/22.**

Also mailed hard copy

Reviewer:

Heather M. Lal

Major Project

Referral #: **ZR22-078**

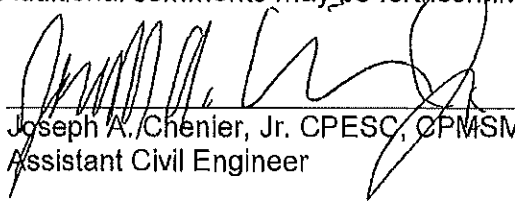


THE CITY OF POUGHKEEPSIE

DEPARTMENT OF PUBLIC WORKS & ENGINEERING

SITE PLAN REVIEW Form #1

1. Date: April 13, 2022
2. Name of Site Plan: Site Plan
3. Address or Location: 15 North Cherry Street
4. Owner: North Cherry Holdings LLC
5. Engineer/ Architect: Paggi
6. Yes No The site plan as forwarded by the Planning Department is acceptable and will be signed off on with no condition(s).
7. Yes No The site plan as forwarded by the Planning Department is acceptable and has been signed off on with no condition(s).
8. Yes No The applicant should be notified that the Dept. of Public Works/Engineering requires the following comment(s) be addressed:
 1. The sewer is shown connected directly to a manhole. A connection to the 10" sewer main is preferred. If a connection is made to a manhole, and outside drop connection is required.
 2. The on-site drainage is shown connected directly to the storm sewer, which in turn drains directly to the Fallkill Creek a 303(d) impaired waterbody. Green infrastructure practices are encouraged to be implemented.
 3. As indicated by the applicants engineer additional details are required to complete the Departments' technical review (i.e. water and sewer connection details, stormwater management design and general site construction details, etc.) Additional comments may be forthcoming.



Joseph A. Chenier, Jr. CPESC, CPMSM
Assistant Civil Engineer



BUILDING DEPARTMENT

CITY OF POUGHKEEPSIE
62 CIVIC CENTER PLAZA, 2ND FLOOR
POUGHKEEPSIE, NY 12601
Phone: (845) 451-4007 Fax: (845) 451-4006

Eric Philipp
Building Inspector

SITE PLAN REVIEW

DATE: 4-6-22

PROJECT ADDRESS: 15 N Cherry St

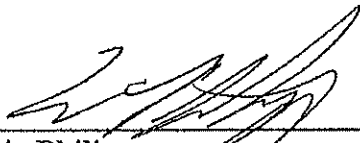
PROJECT NAME:

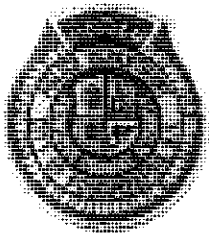
OWNER: North Cherry Holdings LLC

ENGINEER/ARCHITECT:

The site plan is acceptable and will be signed with no conditions.

The site plan cannot be approved as submitted. The following comments must be addressed or conditions satisfied:


Eric Philipp
Building Inspector



CITY OF POUGHKEEPSIE POLICE DEPARTMENT

SITE PLAN REVIEW

DATE: 04/01/2022

PROJECT NAME: 15 North Cherry Street

PROJECT ADDRESS: 15 North Cherry Street

THE SITE PLAN IS ACCEPTABLE AND WILL BE SIGNED WITH NO CONDITIONS

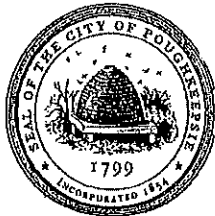
THE SITE PLAN IS UNACCEPTABLE.

CONDITIONS:

RECEIVED

APR 05 2022

APPROVED BY CHIEF THOMAS PAPE OR AGENT:  #112	DATE: 04/01/2022
--	----------------------------



THE CITY OF POUGHKEEPSIE
NEW YORK
PLANNING DEPARTMENT
62 CIVIC CENTER PLAZA, 2ND FLOOR
POUGHKEEPSIE, NY 12601
Phone: (845) 451-4010 Fax: (845) 451-4006

March 7, 2022

Chaim Hirsh
North Cherry Holdings LLC
7 Lety Lane
Suffern, NY 10901

RE: 15 North Cherry Street

Dear Mr. Hirsh:

The Development Department is in receipt of your zoning review request relative to the property at 15 North Cherry Street and the proposed conversion of the warehouse thereon to a multiple residence containing 42 dwelling units. The Department is also in receipt of an application for site plan and special permit review relative to the same conversion.

The property is located in an area of the City zoned General Commercial (C-3) District. The conversion of existing building in C-3 Districts to residential use is permitted, with site plan and special permit approval from the Planning Board, pursuant to the provisions of Section 19-3.24(2)(b)(9) of the Zoning Ordinance, as follows:

- i. A building is in existence on the effective date of this chapter.
- ii. No dwelling unit shall contain more than two bedrooms.
- iii. The minimum floor area of a dwelling unit not containing a separate bedroom shall be 400 square feet.
- iv. The minimum floor area of a one-bedroom dwelling unit shall be 600 square feet.
- v. The minimum floor area of a two-bedroom dwelling unit shall be 750 square feet.
- vi. The minimum floor area for a work/live loft shall be 800 square feet; and no such loft shall be used as a retail shop, gallery or any other use which relies on regular customer or client visitation as a normal part of its operation. No such loft shall serve as a place from which, commercial vehicles are dispatched or operated.
- vii. Off-street parking space shall be provided in accordance with the requirements of Section 19-4.3 of this chapter, and such space shall be located within 600 feet of the premises.

Review of the proposal for compliance with these criteria and the other applicable criteria of the Ordinance reveals the following deficiencies:

- Section 19-3.24(2)(b)(9)(vii) requires that off-street parking be provided in accordance with Section 19-4.3, and that such parking shall be located within 600 feet of the property: 73 spaces are required: 22 spaces are provided on site, additional spaces are not provided within 600 feet;



**THE CITY OF POUGHKEEPSIE
NEW YORK
PLANNING DEPARTMENT
62 CIVIC CENTER PLAZA, 2ND FLOOR
POUGHKEEPSIE, NY 12601
Phone: (845) 451-4010 Fax: (845) 451-4006**

- Section 19-4.3(11) requires that 73 off-street parking spaces be provided: 22 spaces are provided on site;
- Section 19-4.3(1) requires that not more than 12 parking spaces shall be permitted in a continuous row without being interrupted by landscaping: there are 22 spaces in a row without interruption by landscaping;
- Section 19-4.13(1) does not permit parking in front yards: the parking is proposed to be located entirely within the front yard;
- Section 19-4.13(1) requires that all accessory uses be set back a minimum of six (6) feet from any side or rear property line: the children's playground and dog park appear to be located on the north and east property lines on some of the pages submitted, although the landscape plan appears to suggest a setback of at least six (6) feet from the north property line and three (3) feet from the east property line (unless these uses are integrated into the landscaping);
- Section 19-4.18(2)(a) prohibits any structure or use of land other than for parking, recreation or open space within 30 feet of the top of the banks of the Fallkill Creek as defined by the Director of Development: the refuse area is proposed to be located approximately 20 feet from what appears to be the top of the banks (the retaining wall along the Creek).

Therefore, the proposal is hereby denied. You may, within sixty (60) days of the date of this communication, either:

- 1) Make application to the Zoning Board of Appeals, requesting that variances be granted (application attached); or,
- 2) Revise the plan to the degree possible to comply with the provisions of the Zoning Ordinance as outlined herein to eliminate or reduce the need for any variances.

Also attached please find a site plan check sheet, annotated to identify deficiencies in the site plan/special permit application. Attached you will also find a workshop for preparation of a Conservation Analysis, which is also required. It is recommended that if you have not yet done so, you contact Acting Fire Chief Joseph Franco to review the plans, particularly with regard to your plans for fire suppression (including whether or not there is adequate water pressure for any sprinkler systems).

Please feel free to contact me if you have any questions in this regard.

Very truly yours,

Judith Knauss
Deputy Zoning Administrator