



# FLEX/INDUSTRIAL BUILDING

3651 BUSINESS DRIVE, SACRAMENTO, CA

## PROPERTY OVERVIEW

±11,708 SF concrete tilt up building

±1.095 AC site

800 Amp 120/208 power to building  
(Buyer/Tenant to confirm)

Ample glass line and landscaping

±4.5 per 1,000 parking

Part of a master planned 300,000 SF

Business Park

Quick access to Hwy 50 & Downtown

±4,595-11,708 SF available

Climate controlled HVAC warehouse

Ideal Owner/User building

M-1 Zoning

## AVAILABILITIES

±11,708 SF with ±6,735 SF office & HVAC Warehouse

±7,113 SF with ±2,140 SF office & HVAC Warehouse

±4,595 SF Office

## PETER WINTERLING

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LIC N° 00992375

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# LOCATION AERIALS



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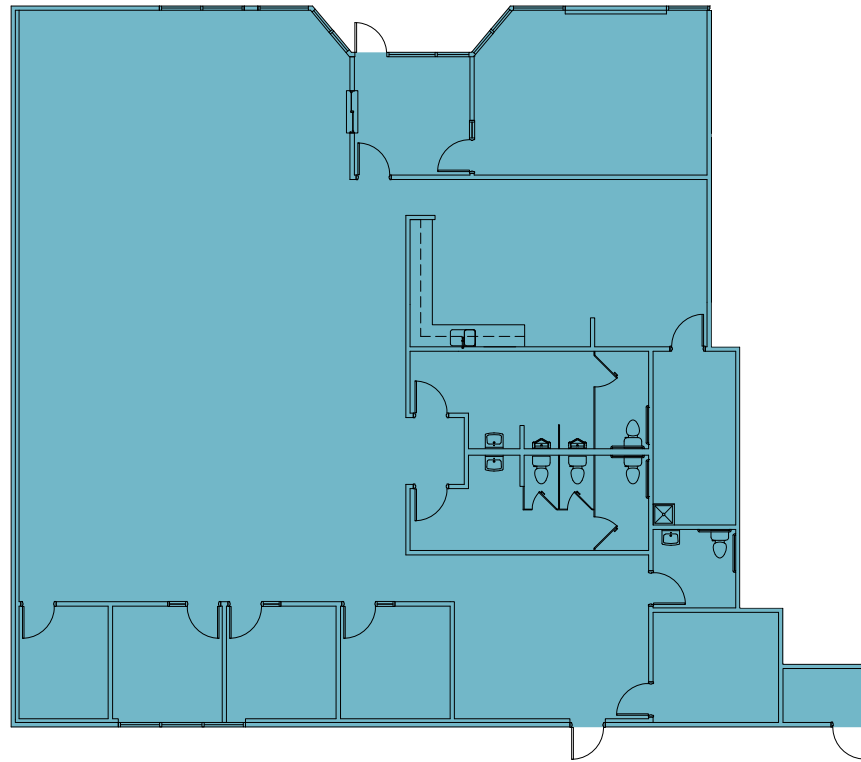
# SITE PLAN



# SITE PLAN WITH FLOOR PLAN



# FLOOR PLAN SUITE 100



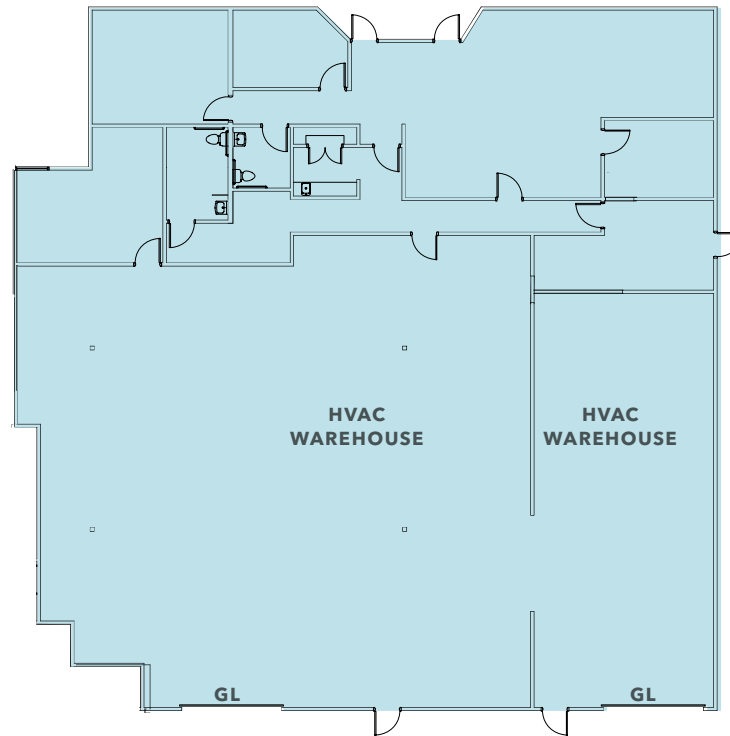
## DESCRIPTION

4 private offices, break room, conference room, open office area and 2 private restrooms located near Power Inn Road and Highway 50.

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# FLOOR PLAN SUITE 120



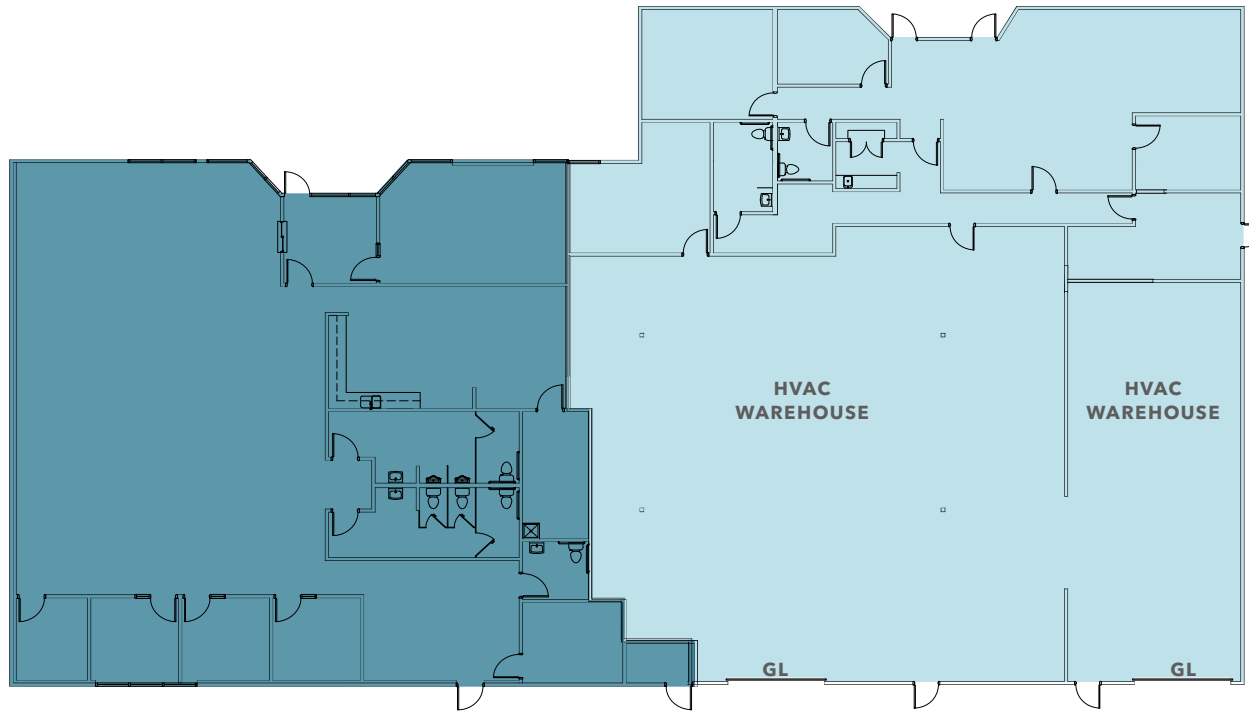
## DESCRIPTION

Fully conditioned warehouse with open reception area, 4 private offices, conference room, and break room located near Power Inn Rd and Hwy 50. 400 Amp electrical service (To be confirmed by Buyer/Tenant).

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## FLOOR PLAN SUITES 100/120



### DESCRIPTION

Fully conditioned warehouse with open reception area, 8 private offices, 2 conference rooms, and 2 break rooms located near Power Inn Rd and Hwy 50. 600 Amp electrical service (To be confirmed by Buyer/Tenant).

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# PHOTOS



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# 3651 BUSINESS DRIVE

*Exclusively listed by*

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