



9,200 SF BUILDING FOR SALE  
MULTI-FUNCTIONAL SPACE

1208 OAKLAND AVE, GREENSBORO  
NC 27403

# Multi-Functional Building

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Demographics

*Exclusively Listed By*

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## OFFERING SUMMARY

ADDRESS	1208 Oakland Ave Greensboro NC 27403
COUNTY	Guilford
MARKET	Greensboro/Winston-Salem
SUBMARKET	West Greensboro
PRICE	Undisclosed
LAND ACRES	1.05
YEAR BUILT	1955
ZONING TYPE	CD-O
APN	0011698

DEMOGRAPHICS	1 MILE	3 MILE	5 MILE
2024 Population	19,955	94,256	209,323
2024 Median HH Income	\$49,488	\$51,992	\$55,008
2024 Average HH Income	\$67,160	\$78,151	\$81,439

## Property Highlights

- This unique property offers opportunities for various types of businesses. The building encompasses approximately 9,200 square feet of usable space.
- Possible permitted uses include schools, medical offices, religious facilities, and physical fitness centers.
- The property features over 60 parking spaces, providing ample parking for visitors and staff.
- It is suitable for any gym or health club, making it an ideal location for fitness-related businesses.
- An ADT security system is already in place, ensuring safety and peace of mind for tenants and visitors.
- The property is conveniently located within walking distance of the University of North Carolina at Greensboro (UNCG).

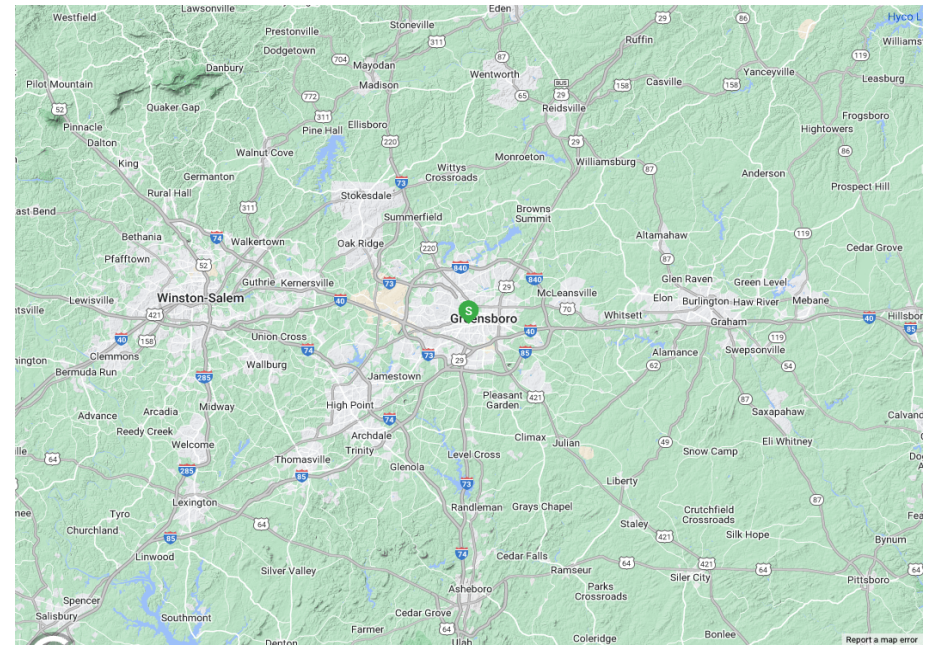


- The multilevel space includes offices, meeting rooms, fitness areas, and additional room for storage or classrooms.
- Ceiling height in the gym area is 26'.
- A kitchenette is located on the mezzanine level, which also includes a washer and dryer laundry room and two restrooms. The main level features multi-stall restroom facilities with showers, accommodating the needs of various users.
- A small portion of the building (1,000 SF) is leased to a golf simulator company until June 2025. For more details on the lease please contact the listing broker.

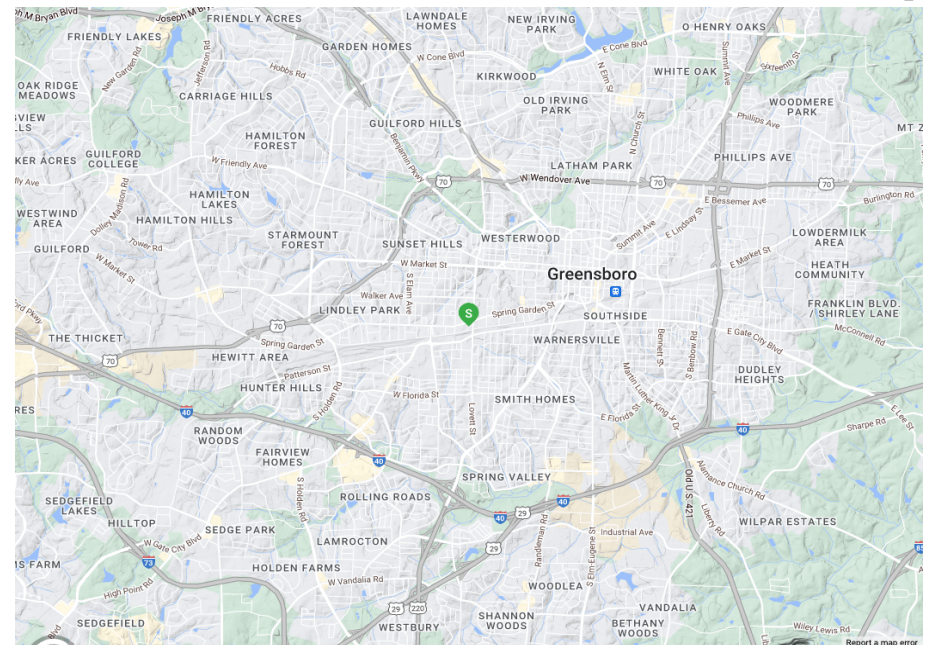
## About Greensboro, NC

- Greensboro is a key transportation hub in North Carolina. It is located at the intersection of major highways like Interstate 40 and Interstate 85, and it also has a significant Amtrak train station.
- The city is home to several higher education institutions, including the University of North Carolina at Greensboro (UNCG), North Carolina A&T State University, and Greensboro College.
- The city boasts a range of cultural venues, including the Greensboro Science Center, which combines an aquarium, a zoo, and a museum; the Greensboro Coliseum Complex, which hosts concerts, sports events, and conventions; and the Weatherspoon Art Museum, which features contemporary art.
- Greensboro is known for its beautiful parks and green spaces. Notable ones include the Greensboro Arboretum, the Greensboro Country Park, and the Tanger Family Bicentennial Garden.
- The city has a diverse economy, with significant sectors including manufacturing, finance, and education. Greensboro is also home to major companies such as the Volvo Trucks North America headquarters.
- Greensboro is a city with a strong sports culture. It hosts the Greensboro Grasshoppers, a minor league baseball team, and has been a site for various college basketball tournaments.
- Greensboro is actively working on sustainability and green initiatives, including expanding green spaces, promoting energy efficiency, and supporting environmental education.

Regional Map



Locator Map

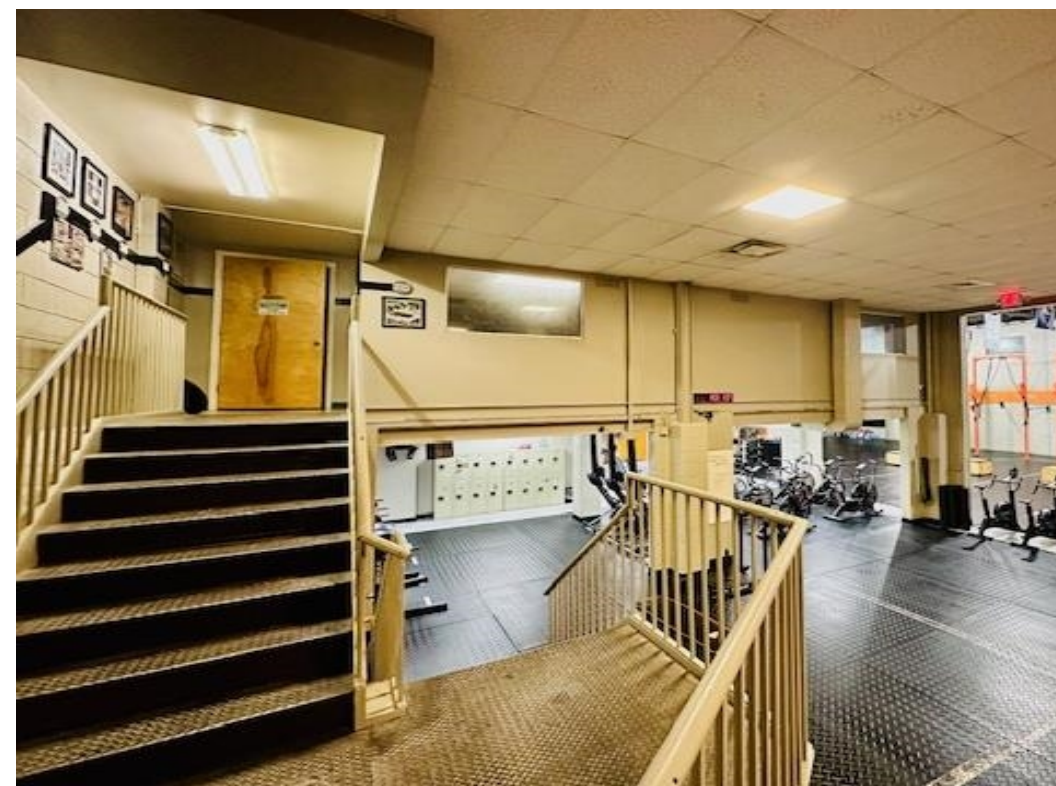
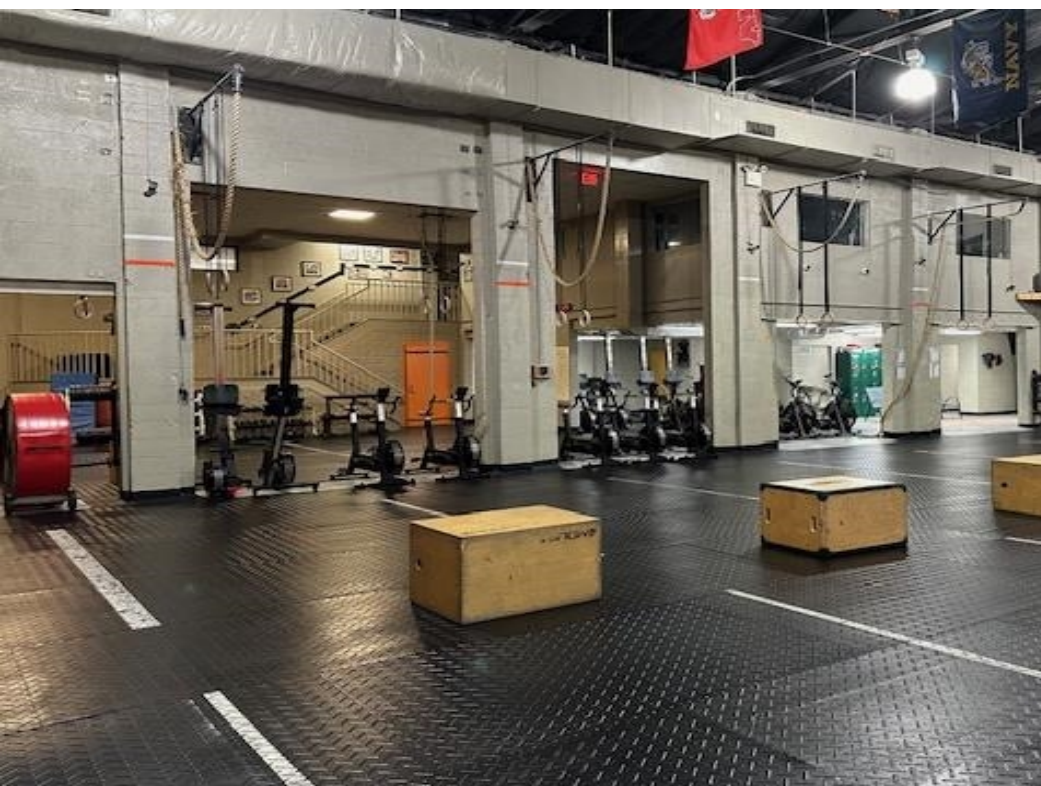


## PROPERTY FEATURES

BUILDING SF	9,200
LAND ACRES	1.05
# OF PARCELS	1
YEAR BUILT	1955
ZONING TYPE	CD-O
LOCATION CLASS	B
BUILDING CLASS	B
TOPOGRAPHY	Flat
NUMBER OF BUILDINGS	1
NUMBER OF STORIES	2
NUMBER OF INGRESSES	1
NUMBER OF EGRESSES	1
NUMBER OF PARKING SPACES	60+



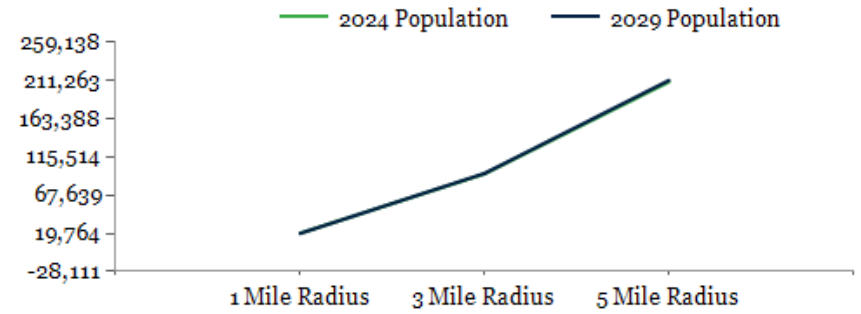




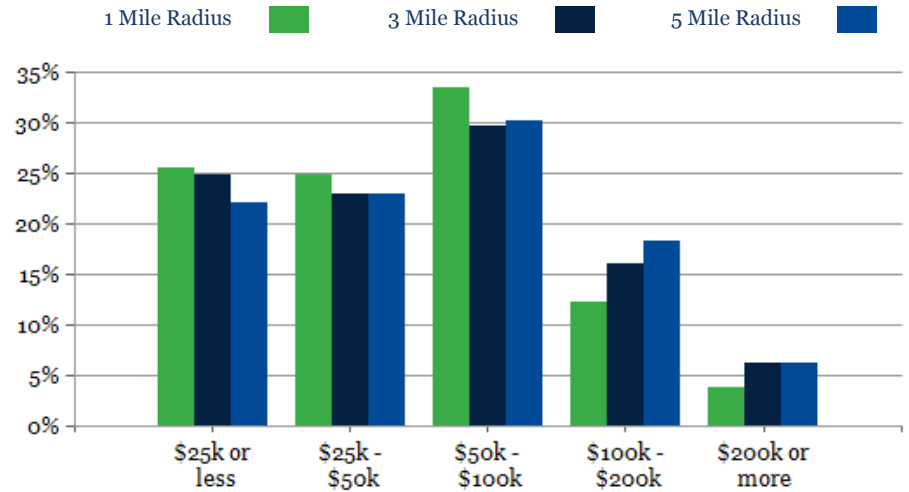
POPULATION	1 MILE	3 MILE	5 MILE
2000 Population	15,291	83,060	180,779
2010 Population	15,256	84,371	190,276
2024 Population	19,955	94,256	209,323
2029 Population	19,764	94,841	211,263
2024-2029: Population: Growth Rate	-0.95%	0.60%	0.90%

2024 HOUSEHOLD INCOME	1 MILE	3 MILE	5 MILE
less than \$15,000	944	6,139	12,801
\$15,000-\$24,999	447	2,651	5,920
\$25,000-\$34,999	496	3,290	8,066
\$35,000-\$49,999	854	4,859	11,340
\$50,000-\$74,999	1,131	6,585	15,209
\$75,000-\$99,999	692	3,940	10,312
\$100,000-\$149,999	476	4,015	10,590
\$150,000-\$199,999	189	1,708	4,945
\$200,000 or greater	210	2,227	5,354
Median HH Income	\$49,488	\$51,992	\$55,008
Average HH Income	\$67,160	\$78,151	\$81,439

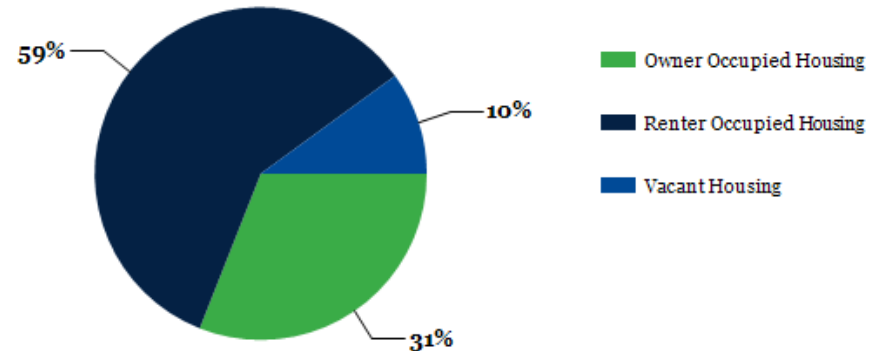
HOUSEHOLDS	1 MILE	3 MILE	5 MILE
2000 Total Housing	5,650	35,521	78,497
2010 Total Households	5,480	33,412	77,785
2024 Total Households	5,440	35,415	84,538
2029 Total Households	5,405	35,997	86,086
2024 Average Household Size	2.14	2.20	2.26
2024-2029: Households: Growth Rate	-0.65%	1.65%	1.80%



2024 Household Income



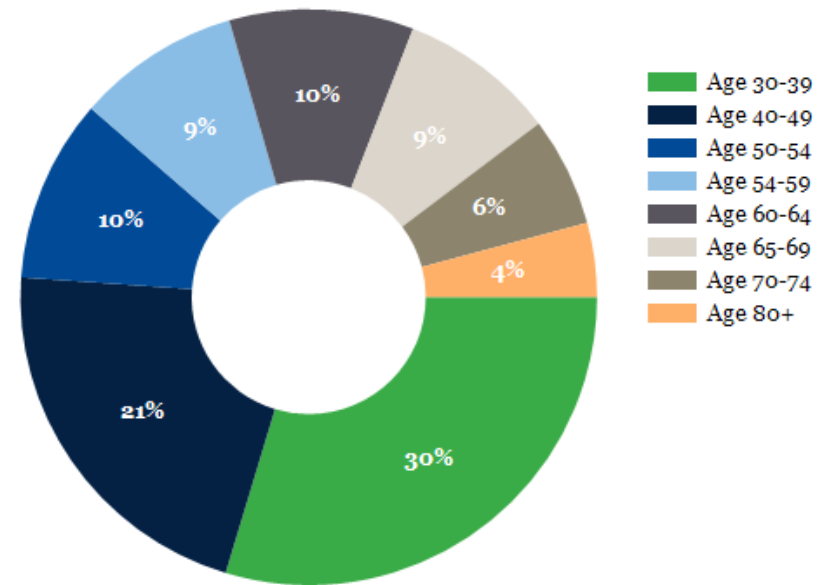
2024 Own vs. Rent - 1 Mile Radius



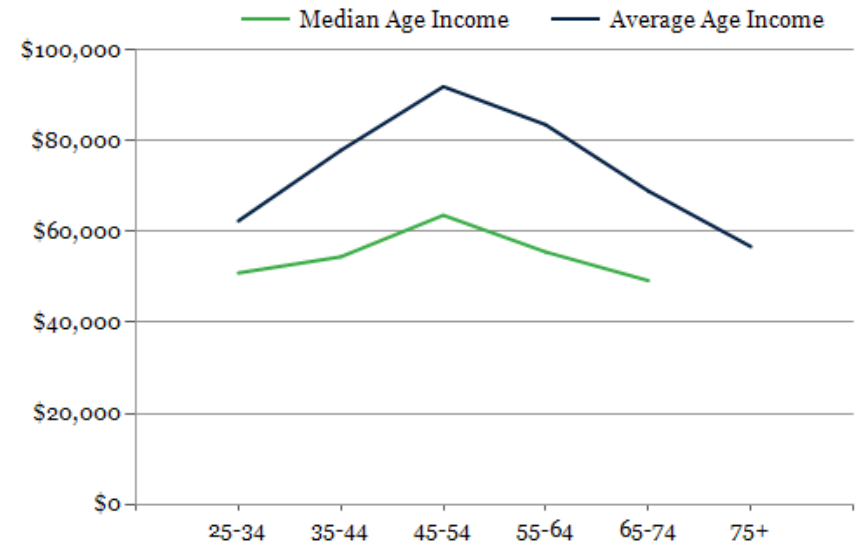
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2024 POPULATION BY AGE	1 MILE	3 MILE	5 MILE
2024 Population Age 30-34	927	6,233	15,095
2024 Population Age 35-39	712	5,126	12,872
2024 Population Age 40-44	628	4,806	11,893
2024 Population Age 45-49	557	4,343	10,853
2024 Population Age 50-54	568	4,560	11,385
2024 Population Age 55-59	507	4,423	11,110
2024 Population Age 60-64	571	4,618	11,292
2024 Population Age 65-69	487	4,169	10,536
2024 Population Age 70-74	339	3,177	8,497
2024 Population Age 75-79	230	2,256	6,345
2024 Population Age 80-84	91	1,279	3,952
2024 Population Age 85+	93	1,312	4,138
2024 Population Age 18+	18,025	78,195	168,664
2024 Median Age	23	29	34
2029 Median Age	23	30	36



2024 INCOME BY AGE	1 MILE	3 MILE	5 MILE
Median Household Income 25-34	\$50,918	\$52,505	\$54,127
Average Household Income 25-34	\$62,389	\$70,451	\$72,286
Median Household Income 35-44	\$54,479	\$58,700	\$63,288
Average Household Income 35-44	\$77,916	\$87,243	\$89,391
Median Household Income 45-54	\$63,635	\$62,740	\$66,418
Average Household Income 45-54	\$91,967	\$98,052	\$97,567
Median Household Income 55-64	\$55,533	\$54,833	\$59,893
Average Household Income 55-64	\$83,549	\$88,745	\$92,100
Median Household Income 65-74	\$49,231	\$50,203	\$52,809
Average Household Income 65-74	\$68,970	\$76,691	\$80,868
Average Household Income 75+	\$56,730	\$68,045	\$68,473



# Multi-Functional Building

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