

SITE DEVELOPMENT PLANS

ELITE WINDOWS & SIDING

LOT 1, PARKSIDE BUSINESS CENTER FIFTH PLAT

CITY OF OLATHE

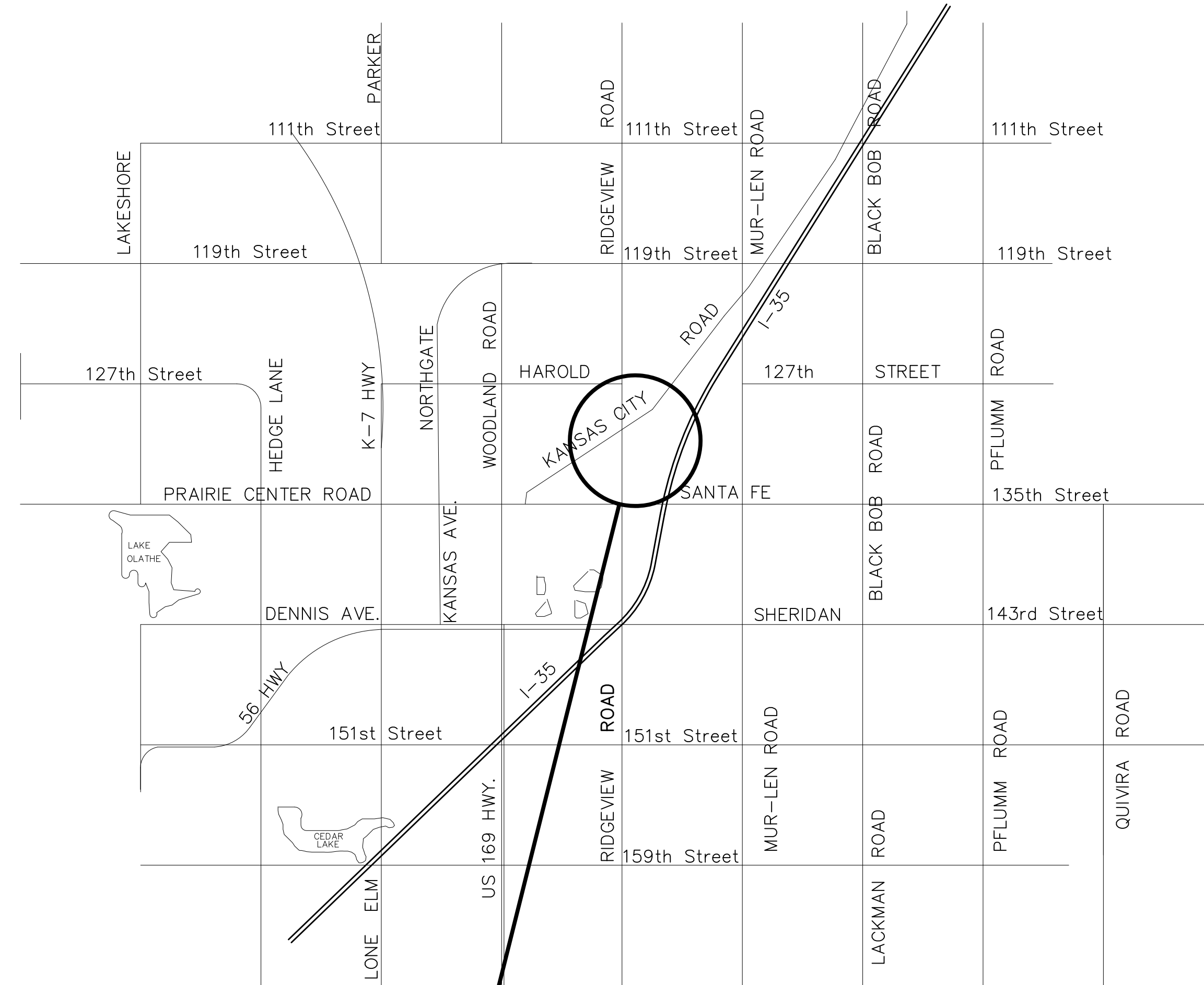
JOHNSON COUNTY, KANSAS

GENERAL NOTES

1. The City Engineer approves development plans and drainage reports initially for one (1) year. After one year, if construction of the improvements has not begun, they automatically become void and must be updated and re-approved by the City Engineer and Director of Public Works before any construction will be permitted.
2. The City of Olathe, Kansas plan review is only for general conformance with City of Olathe, Kansas Design Criteria and the City Code. The City is not responsible for the accuracy and adequacy of the design, or dimensions and elevations that shall be confirmed and correlated at the job site. The City of Spring Hill, through approval of this document, assumes no responsibility other than as stated above for the completeness and/or accuracy of this document.
3. The contractor shall have one (1) signed copy of the plans (approved by the City of Olathe, Kansas) with a state approval stamp on the title sheet and one (1) copy of the appropriate Design and Construction Standards and Specifications at the job site at all times.
4. Construction of the improvements shown or implied by this set of drawings shall not be initiated or any part thereof undertaken until the City Engineer or Director of Public Works is notified of such intent and all required and properly executed bonds, contract agreements and permits are received and approved by DC1-4the City Engineer, a pre-construction conference has been held and Notice to Proceed has been issued.
5. The City of Olathe, Kansas Technical Specifications, latest edition, shall govern construction of this project.
6. All existing utilities indicated on the drawings are according to the best information available to the engineer; however, all utilities actually existing may not be shown. Utilities damaged through the negligence of the contractor to obtain the location of same shall be repaired or replaced by the contractor at his expense.
7. All backfill shall be tamped. Backfill within the right-of-way shall be 95% compaction of optimum moisture.
8. All excavation beneath streets for drainage pipe less than 4 feet 0 inches in diameter shall be backfilled with CA-5 rock to 4 feet back of curb.
9. All water required for the construction of this project shall be purchased from the City Public Works Department through the use of a fire hydrant water meter. Meters can be obtained from the Public Works Department for a nominal deposit, refundable upon the return of the meter.
10. Contractor shall not be allowed to work Sunday, Holiday or Saturday work shall be as approved by the Director of Public Works.
11. Relocation of any water line, sewer line, or service line thereof, required for the construction of this project shall be the responsibility of the contractor and shall be at his expense.
12. If pre-cast concrete storm sewer structures are to be used on this project, the contractor shall submit shop drawings and have them approved by the City Engineer prior to fabrication of the structures. Failure to do so shall be cause for rejection.
13. As requested by the Kansas State Historical Society (KSHS), if construction work uncovers buried archeological materials, work in the area will cease and KSHS will be contacted.
14. The contractor shall provide at least one (1) chemically treated, portable toilet unit for every 20 workmen on the job site (in no case shall less than one (1) unit be provided). The units shall remain on the site during all active phases of construction of the sanitary sewers. The contractor shall enforce the use of the facilities by all personnel at the site. The unit shall be obscured from the public view to the greatest extent possible.
15. No spoil (any material) will be placed as to cover or block access to manholes or cleanouts.
16. Inspection of the storm sewer installation shall be the responsibility of the City Engineer. Any time the contractor is installing storm sewer the contractor will be required to provide prior notice to the City Engineer so as to allow scheduling of inspection.

THE FOLLOWING UTILITY COMPANIES SHALL BE CONTACTED FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION.

Kansas One-Call	Dig Safe	1-800-DIG-SAFE
Cable Television	Xtrinity	(913) 294-6007
Gas Lines	Atmos Energy	(888) 442-1313
Power Lines	Evergy	(800) 223-0755
Telephone Lines	AT&T	(913) 856-2126
Water Lines	City of Olathe, Kansas	(913) 856-7375
Sanitary Sewer	City of Olathe, Kansas	(913) 592-3664



NORTH
PROJECT LOCATION
SW. 1/4, SECTION 30-13-24

INDEX OF SHEETS

SHEET 1	TITLE SHEET
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SHEET 6	STORMWATER PLAN
SHEET 7	LANDSCAPE PLAN
SHEET 8	DETAIL SHEET

OWNER / DEVELOPER:
ELITE WINDOWS & SIDING
CONTACT: HARRIS POULIKIDIS
15840 W BECKETT LN
OLATHE, KANSAS 66062
PHONE: 913-768-4000

PREPARED BY:
ALLENBRAND-DREWS & ASSOCIATES, INC.
122 N. WATER STREET
OLATHE, KANSAS 66061
PHONE: (913) 764-1076
FAX: (913) 764-8635



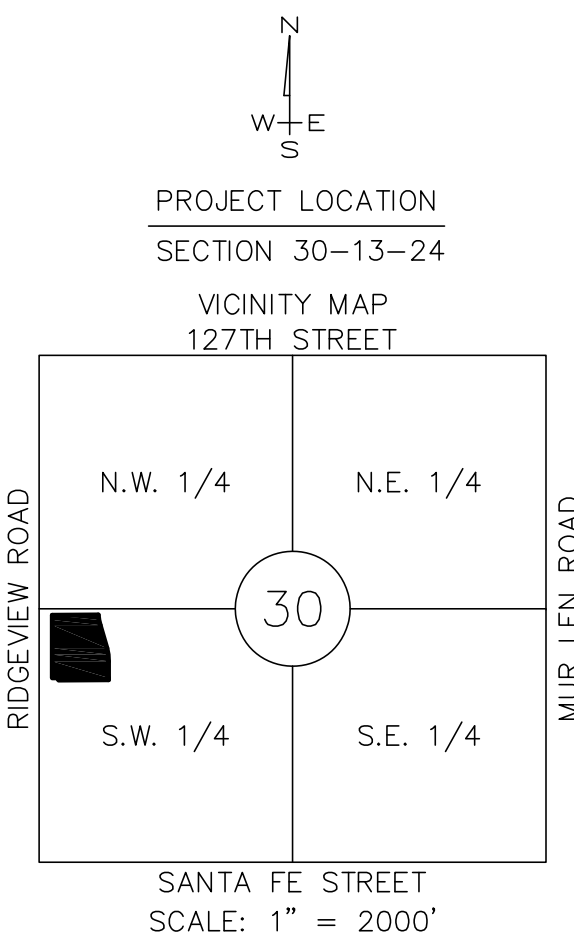
RANDY G. ZERR, P.E.

APPROVED BY:
City of Olathe, Kansas

CITY ENGINEER **DATE**
PLANS APPROVED FOR ONE YEAR FROM DATE ABOVE

PROJECT BENCH MARK

2" ALUMINUM BERNTSEN DISK STAMPED BM 225
330' EAST OF N CHURCH STREET, SOUTH SIDE
OF SANTA FE STREET WEST END OF RETAINING
WALL. ELEVATION= 1050.14



4	3	2	1	No.	Date
Designed By	Drawn By	Checked By	Date	Job No.	No.
RML	RML	RZ	9/19/21	35763	

CIVIL ENGINEERS
LAND SURVEYORS - LAND PLANNERS

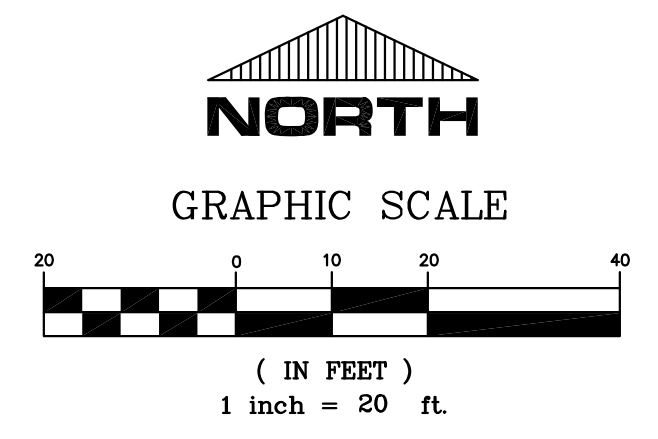
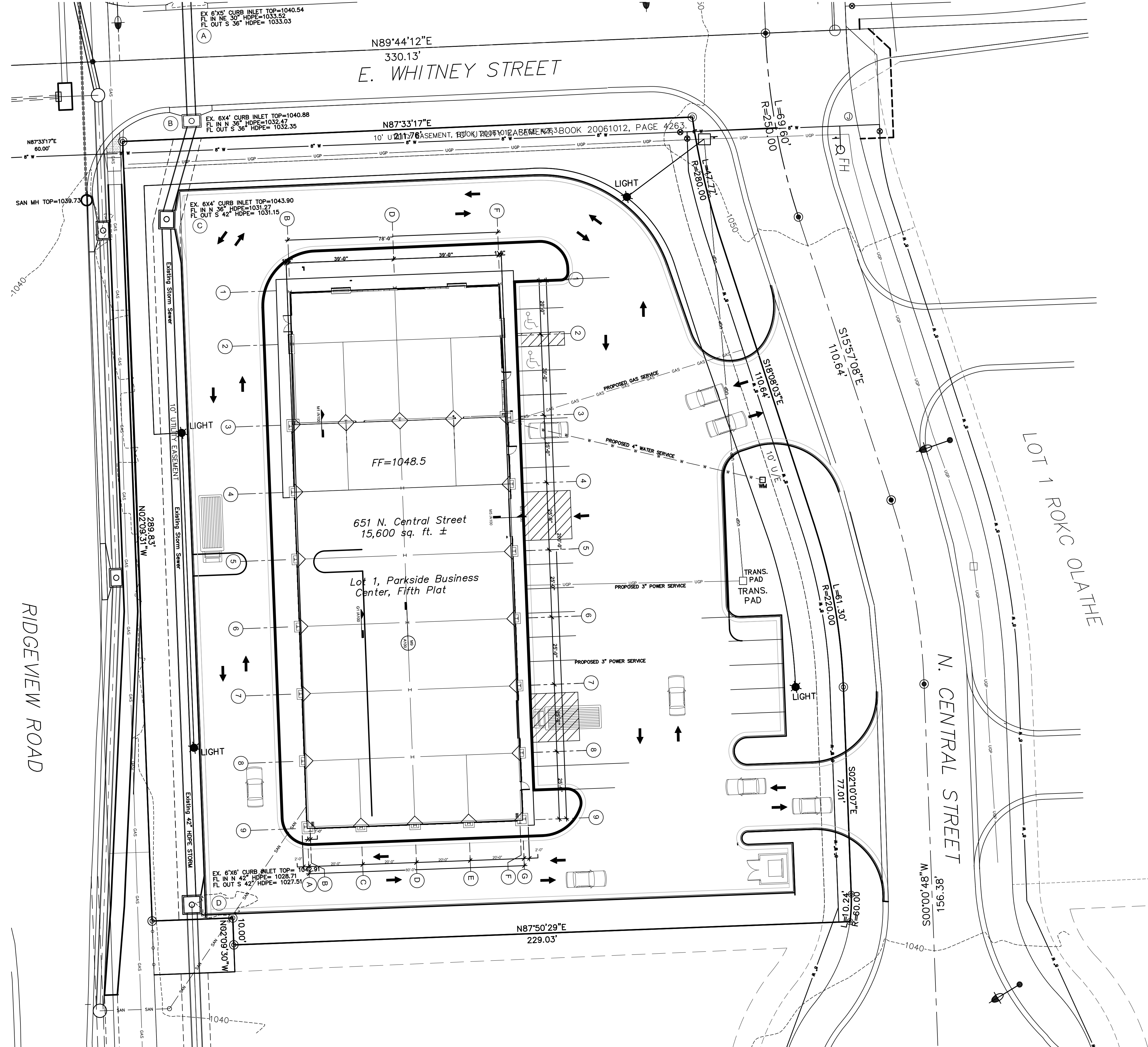
14 W. PEORIA
PAOLA, KANSAS 66071
PHONE: (913) 557-1076
FAX: (913) 557-6904

ELITE WINDOWS & SIDING LLC
Lot 1, Parkside Business Center
Fifth Plat

Title Sheet

Sheet No.
1 of 8

GENERAL LAYOUT
ELITE WINDOWS & SIDING
LOT 1, PARKSIDE BUSINESS CENTER FIFTH PLAT
 CITY OF OLATHE
 JOHNSON COUNTY, KANSAS



PROJECT BENCHMARK
 2" ALUMINUM BERNTSEN DISK STAMPED BM 225
 330' EAST OF N CHURCH STREET, SOUTH SIDE
 OF SANTA FE STREET WEST END OF RETAINING
 WALL. ELEVATION= 1050.14

	4	3	2	1	No.	Date	Revisions	By
Designed By	RML	RML	RZ	RML				
Drawn By	RML	RZ	RML	RML				
Checked By								
Date		9/19/21	11-01-21	03-17-22				
Job No.	35763		UTILITY SERVICE LAYOUT		FLIP DRIVE AND PARKING			

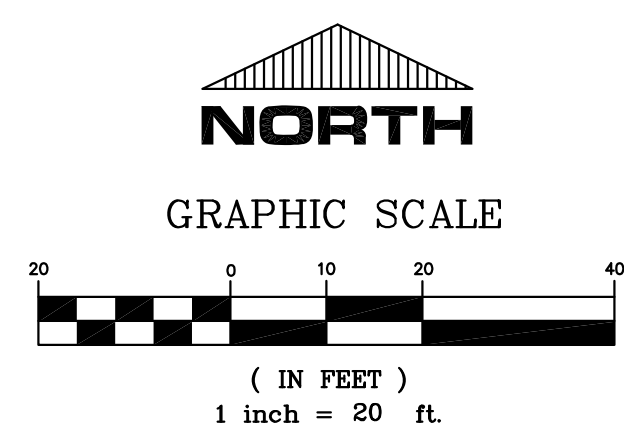
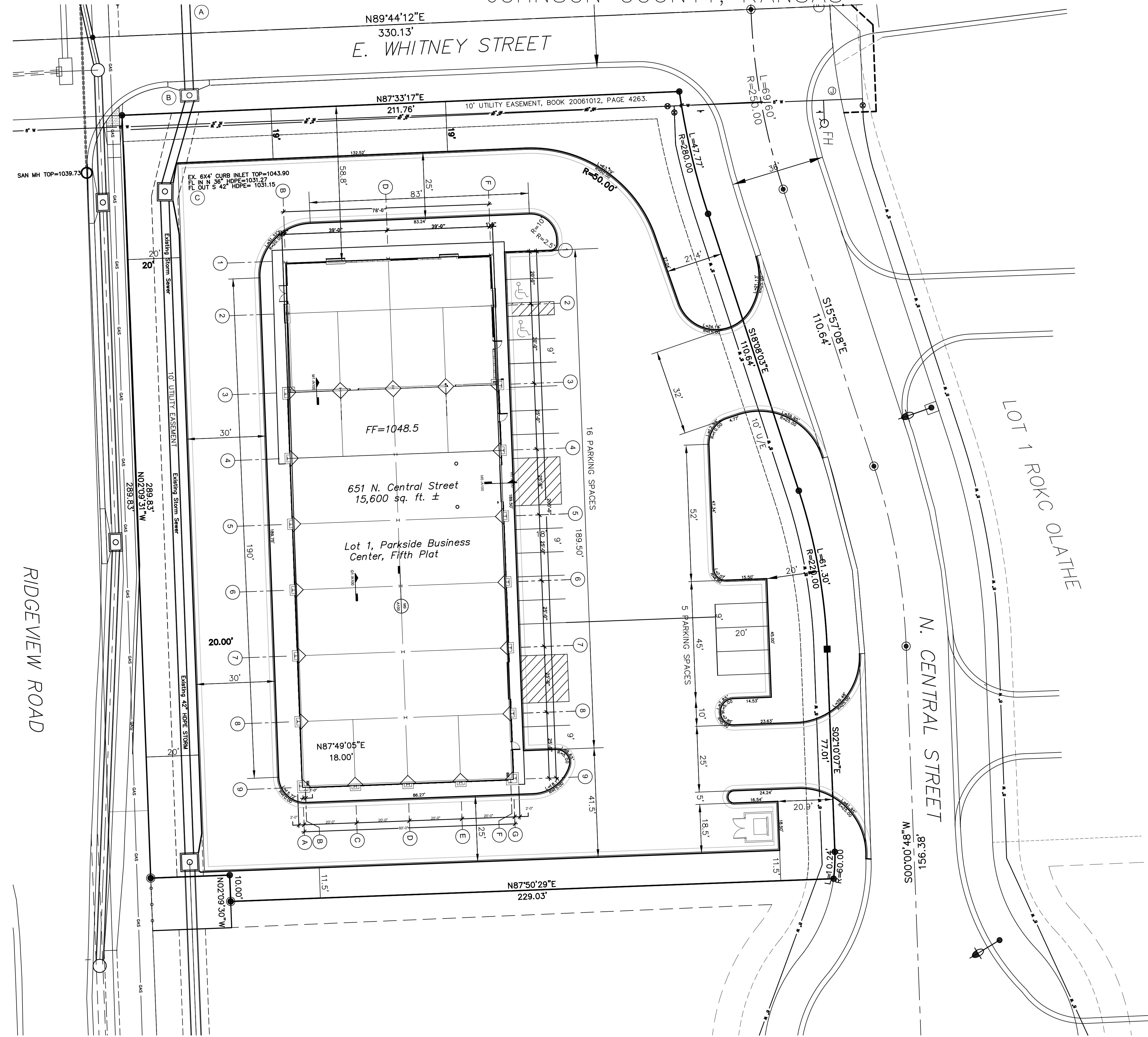
RANDY G. ZERK
 1893
 06-08-2022
 PROFESSIONAL ENGINEER

CIVIL ENGINEERS
LAND SURVEYORS - LAND PLANNERS
AD
 122 N. WATER STREET
 OLATHE, KANSAS 66061
 PHONE: (913) 764-1076
 FAX: (913) 764-8635

ELITE WINDOWS & SIDING LLC
 Lot 1, Parkside Business Center
 Fifth Plat
GENERAL LAYOUT

T:\JRW\GIS_35000\35763-Elite Building_Ridgeview\PLANS\Revised Plans_3-30-22\Revised 4-29-22\June 7 2022\Sheet 2.dwg Scale=1:1 Drawn June 08, 2022 - 8:02am By: bob

DIMENSION PLAN
ELITE WINDOWS & SIDING
LOT 1, PARKSIDE BUSINESS CENTER FIFTH PLAT
 CITY OF OLATHE
 JOHNSON COUNTY, KANSAS

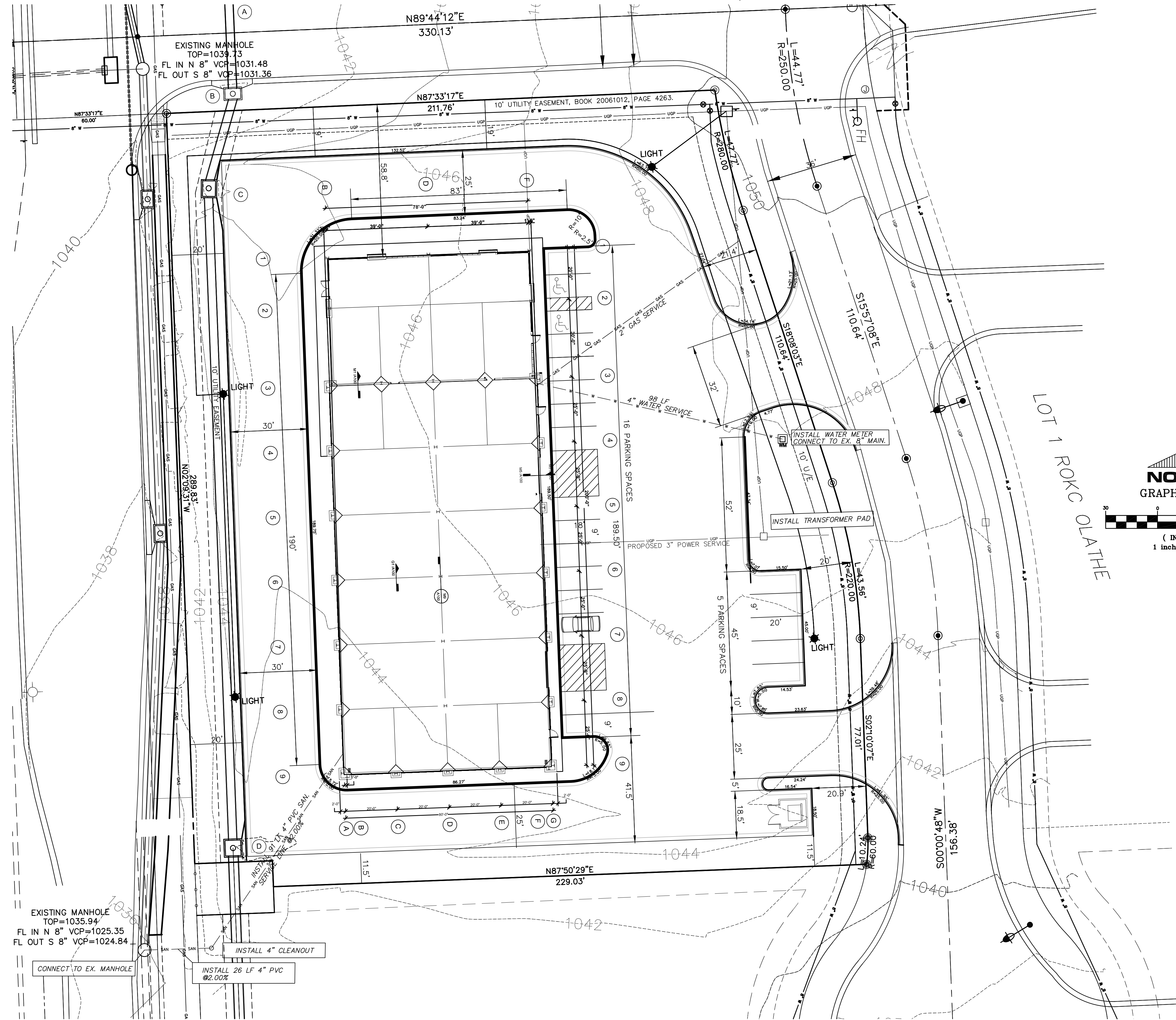


ELITE WINDOWS & SIDING LLC Lot 1, Parkside Business Center Fifth Plat SITE DIMENSION PLAN	AD ARCHITECTURAL DESIGN PROFESSIONAL ENGINEER	CIVIL ENGINEERS LAND SURVEYORS - LAND PLANNERS 14 W. PEORIA PAOLA, KANSAS 66071 PHONE: (913) 557-1076 FAX: (913) 557-6804
Sheet No. 3 of 8	No. _____ Date _____ Revisions	Job No. 35763 Date 9/19/21 Checked By RGZ Drawn By RML Designed By RML
No. 1 Date 3/17/22 Revisions RML By	No. 2 Date Revisions	No. 3 Date Revisions
No. 4 Date Revisions	No. 5 Date Revisions	No. 6 Date Revisions

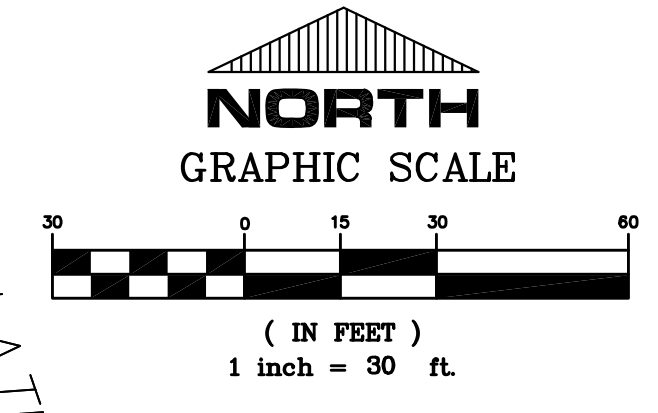
SITE DIMENSION PLAN

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UTILITY LAYOUT
ELITE WINDOWS & SIDING
LOT 1, PARKSIDE BUSINESS CENTER FIFTH PLAT
 CITY OF OLATHE
 JOHNSON COUNTY, KANSAS



- 4\"/>
- WATER LINE BY OTHERS
- POWER SERVICE BY OTHERS
- PARKING LOT POWER
- PARKING LOT LIGHT
300W-42,000 LUMENS DIRECT
MOUNT LIGHT, 15' POLE



Designed By	RML	No.	Date	Revisions
Drawn By	RML	3	03/17/22	FUP BUILDING AND PARKING LOT
Checked By	RZ	2	11/25/21	CITY COMMENTS
Date	05/13/21	1		
Job No.	35763			

CIVIL ENGINEERS
LAND SURVEYORS - LAND PLANNERS

14 W. PEORIA
 PAOLA, KANSAS 66061
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 FAX: (913) 557-6904

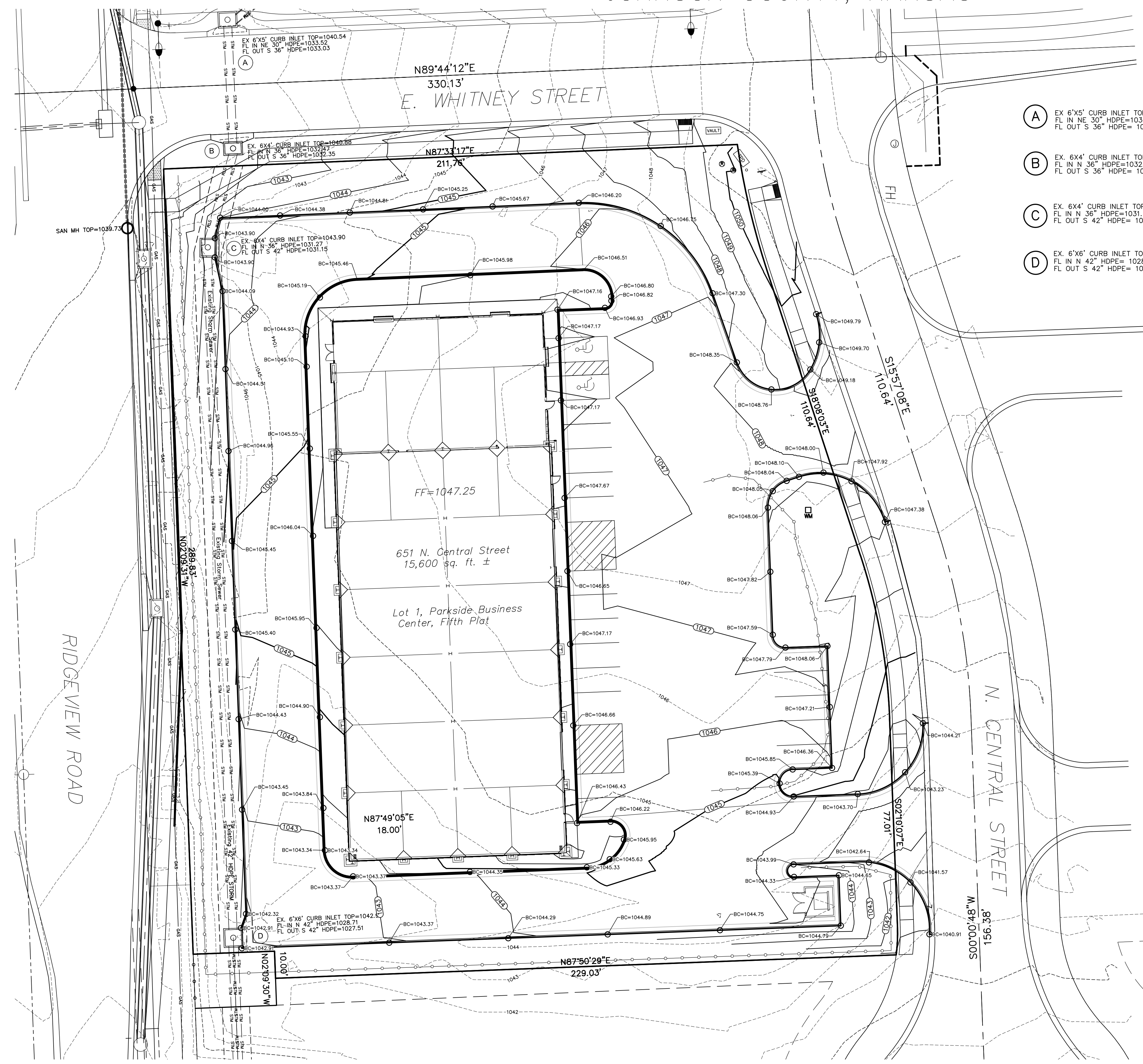
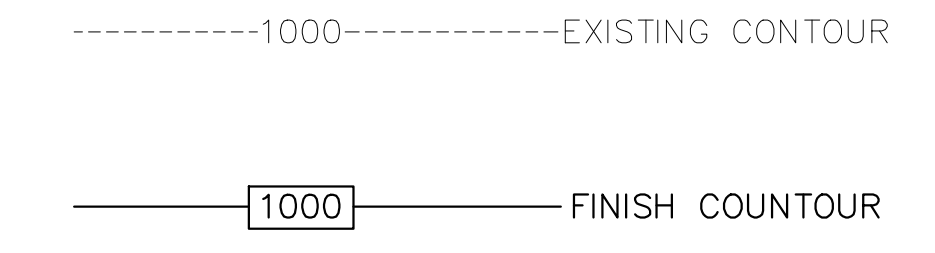
ELITE WINDOWS & SIDING LLC
 Lot 1, Parkside Business Center
 Fifth Plat

UTILITY LAYOUT PLAN

Sheet No.
 5 of 8

T:\JRW\GIS_35000\35763-Elite Building\Drawings\Utilities\Utility Plans_3-30-22\Revised 4-29-22\June 7 2023\Sheet 5.dwg Scale=1:1 Drawn Jun 08, 2022 - 8:31am By Job

STORMWATER PLAN
ELITE WINDOWS & SIDING
LOT 1, PARKSIDE BUSINESS CENTER FIFTH PLAT
 CITY OF OLATHE
 JOHNSON COUNTY, KANSAS



- (A)** EX. 6'x5' CURB INLET TOP=1040.54
FL IN NE 30° HDPE=1033.52
FL OUT S 36° HDPE=1033.03
- (B)** EX. 6'x4' CURB INLET TOP=1040.88
FL IN N 36° HDPE=1032.47
FL OUT S 36° HDPE=1032.35
- (C)** EX. 6'x4' CURB INLET TOP=1043.90, ADJ TOP TO 1046.02
FL IN N 36° HDPE=1031.27
FL OUT S 42° HDPE=1031.15
- (D)** EX. 6'x6' CURB INLET TOP=1042.91
FL IN N 42° HDPE=1028.71
FL OUT S 42° HDPE=1027.51

STORM WATER CALCULATIONS:

$Q = K * C * I * A$
 4% (25-Year) Design Storm => $K = 1.1$
 Time of Concentration (T_c) = 10 minutes
 Intensity (I_{25}) = 7.05 in./hr.
 "C" Value = 0.66 (Industrial - Light Areas)

Area A:
 $A = 0.58$ Acre (25,250 s.f.)
 $Q_{25} = 1.1 * 0.66 * 7.05 * 0.58 = 3.0$ cfs

Area B:
 $A = 0.49$ Acre (21,220 s.f.)
 $Q_{25} = 1.1 * 0.66 * 7.05 * 0.49 = 2.5$ cfs

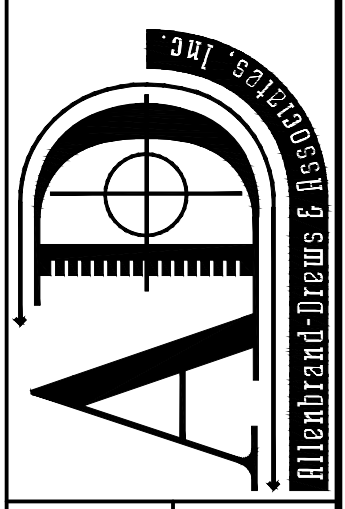
Note: The remaining on-site developed runoff drains to either East Whitney Street or North Central Street and is then conveyed to the existing regional detention basin.

Revisions	Date	By
4		
3	4-21-22	RML
2	1-16-22	RML
1	11-25-21	RML

Designed By: RML
 Drawn By: RML
 Checked By: RZJ
 Date: 9/19/21
 Job No.: 35763



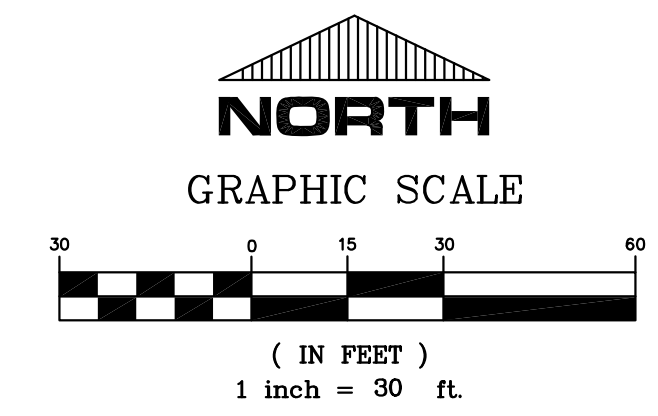
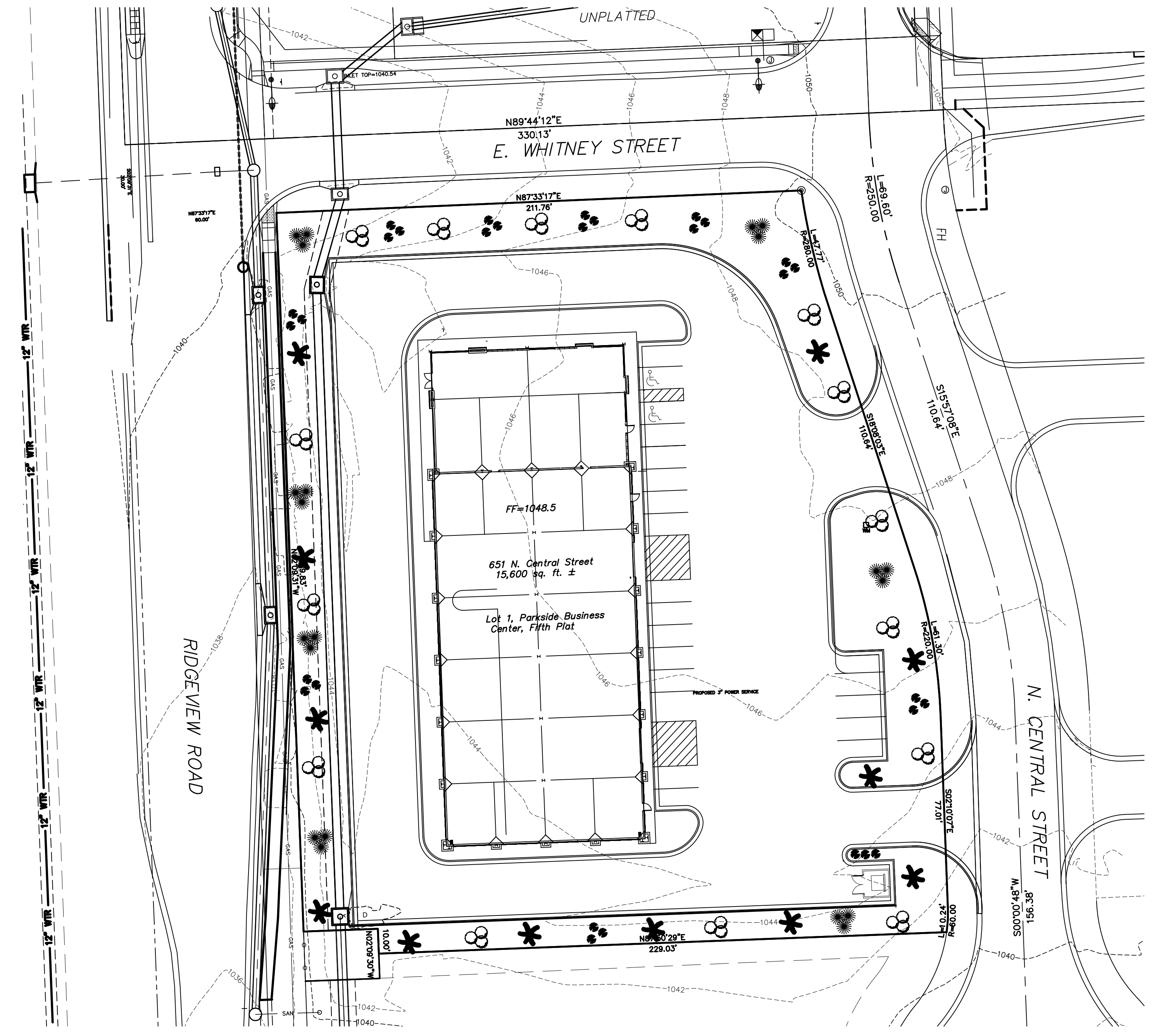
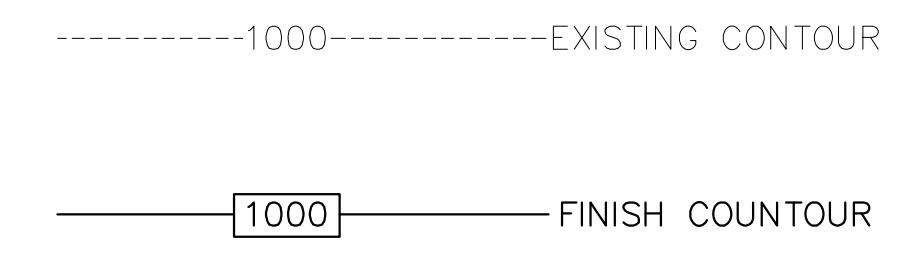
CIVIL ENGINEERS
LAND SURVEYORS - LAND PLANNERS
 14 W. PEORIA
 PAOLA, KANSAS 66901
 PHONE: (913) 557-1076
 FAX: (913) 557-8904



ELITE WINDOWS & SIDING LLC
 Lot 1, Parkside Business Center
 Fifth Plat
STORMWATER PLAN

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LANDSCAPE PLAN
ELITE WINDOWS & SIDING
LOT 1, PARKSIDE BUSINESS CENTER FIFTH PLAT
 CITY OF OLATHE
 JOHNSON COUNTY, KANSAS



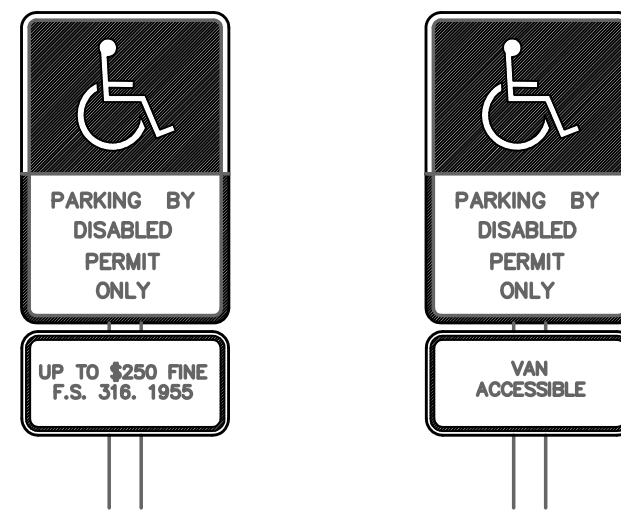
PLANT LIST				
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITIES	PLANTING SIZE
	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS "SEA GREEN"	54	MIN. 3 GAL.
	GOLD FLAME SPIREA	SPIREA X BUMALDA "GOLD FLAME"	44	MIN. 3 GAL.
	AUTUMN BLAZE MAPLE	ACER FREMANII "AUTUMN" "BLAZE"	12	MIN. 2 1/2" CALIPER
	DENSE YEW	TAXUS X MEDIA DENSIFORMIS		MIN. 3 GAL.

Designed By	RML	4		
Drawn By	RML	3		
Checked By	RGZ	2		
Date	9/19/21	1	03/17/21	FLIP BUILDING AND PARKING LOT
Job No.	35763	No.	Date	Revisions
CIVIL ENGINEERS LAND SURVEYORS - LAND PLANNERS 14 W. PEORIA PAOLA, KANSAS 66071 PHONE: (913) 557-1076 FAX: (913) 557-6804				
ELITE WINDOWS & SIDING LLC Lot 1, Parkside Business Center Fifth Plat LANDSCAPE PLAN				
Sheet No. 7 of 8				
LANDSCAPE PLAN				

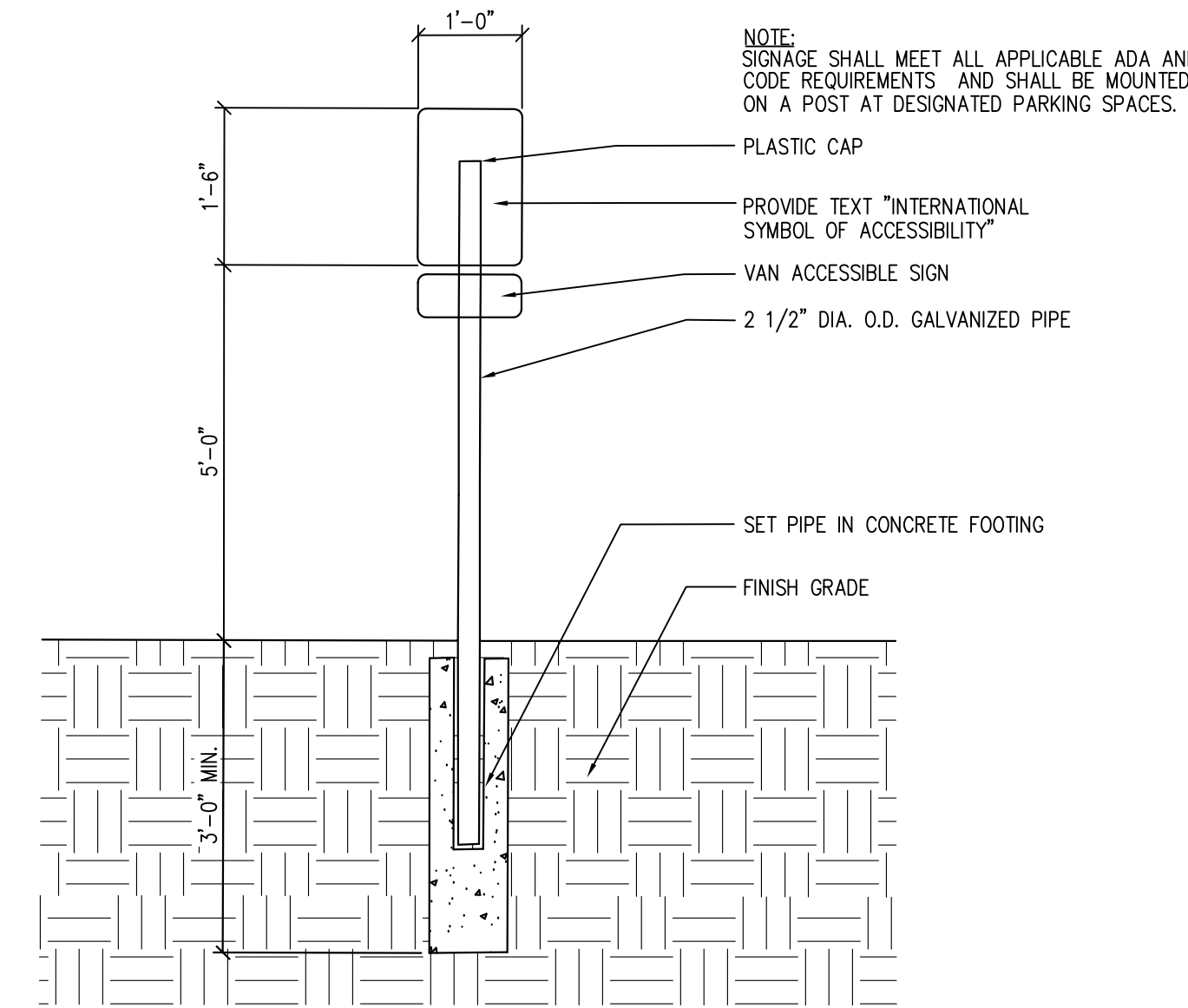
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DETAIL SHEET
ELITE WINDOWS & SIDING
LOT 1, PARKSIDE BUSINESS CENTER FOURTH PLAT
 CITY OF OLATHE
 JOHNSON COUNTY, KANSAS

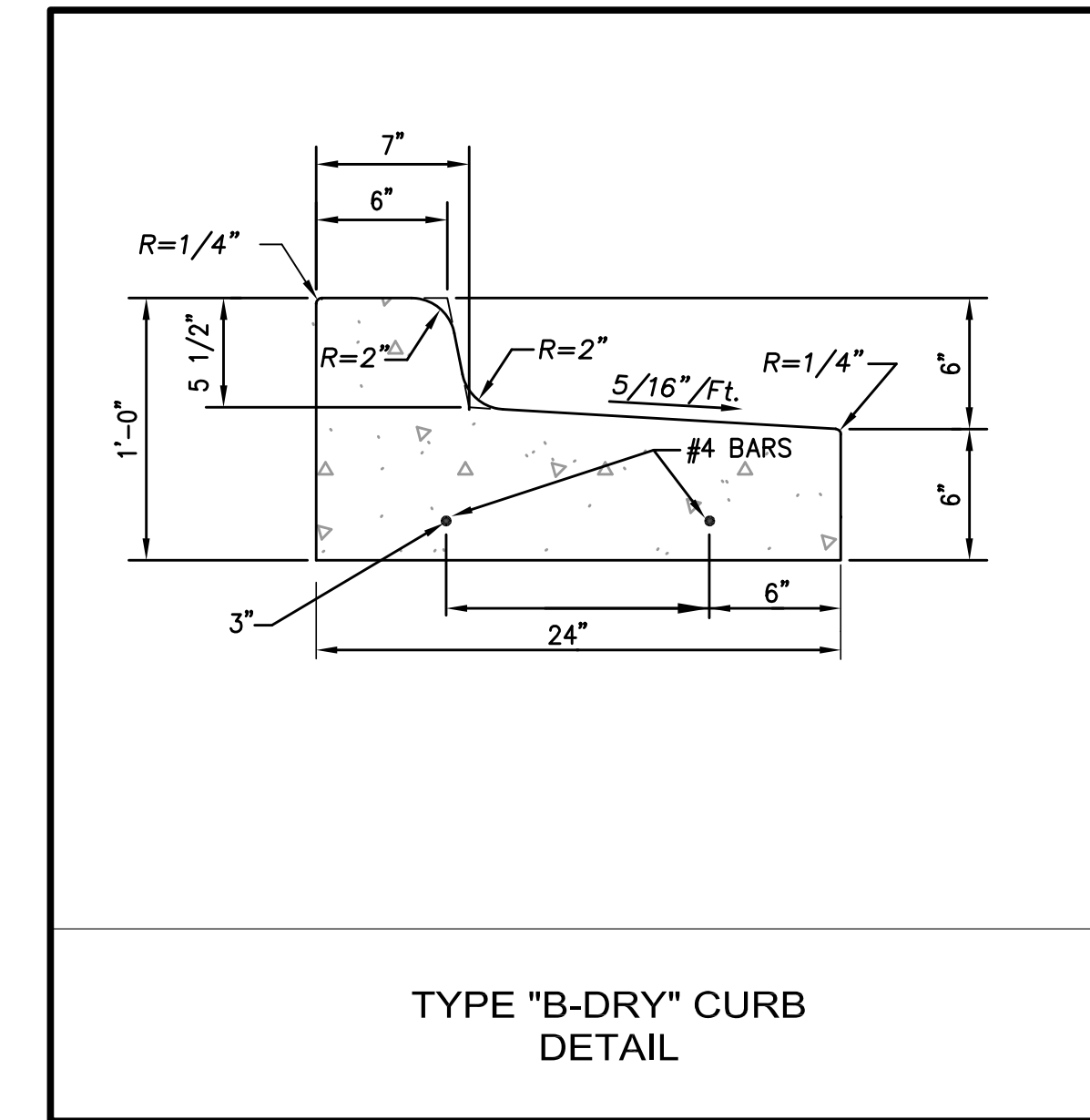
- NOTES:
- ALL LETTERS ARE 1" SERIES 'C' PER 2003 MUTCD.
 - TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 - BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - CONTRACTOR SHALL VERIFY FINE AMOUNT AND ORDINANCE NUMBER.
 - ONE (1) SIGN REQUIRED FOR EACH ACCESSIBLE PARKING SPACE.
 - INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. (MUTCD)
 - SIGN MAY BE MOUNTED ON BUILDING/WALL, AT PROPER HEIGHT, IF ALIGNED WITHIN 12" OF CENTER OF PARKING SPACE.



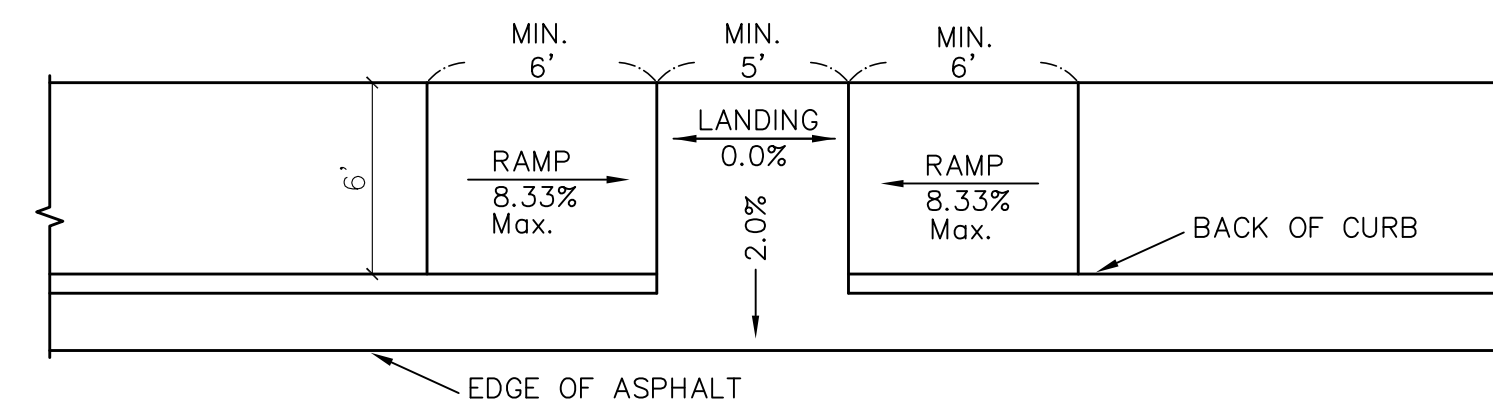
6 HANDICAP SIGNAGE
 SCALE: N.T.S.



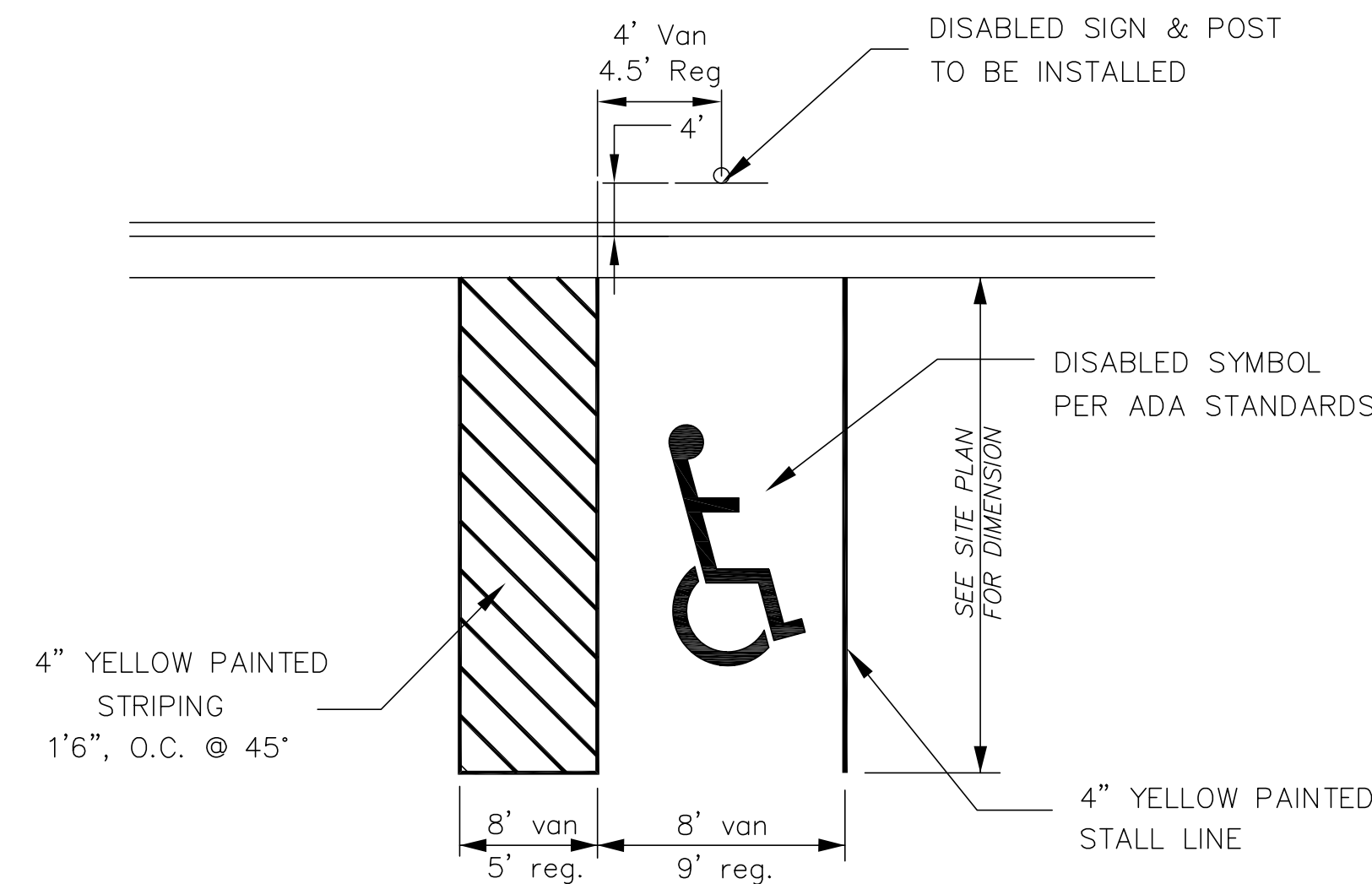
HANDICAPPED PARKING SIGN DETAIL
 SCALE: N.T.S.



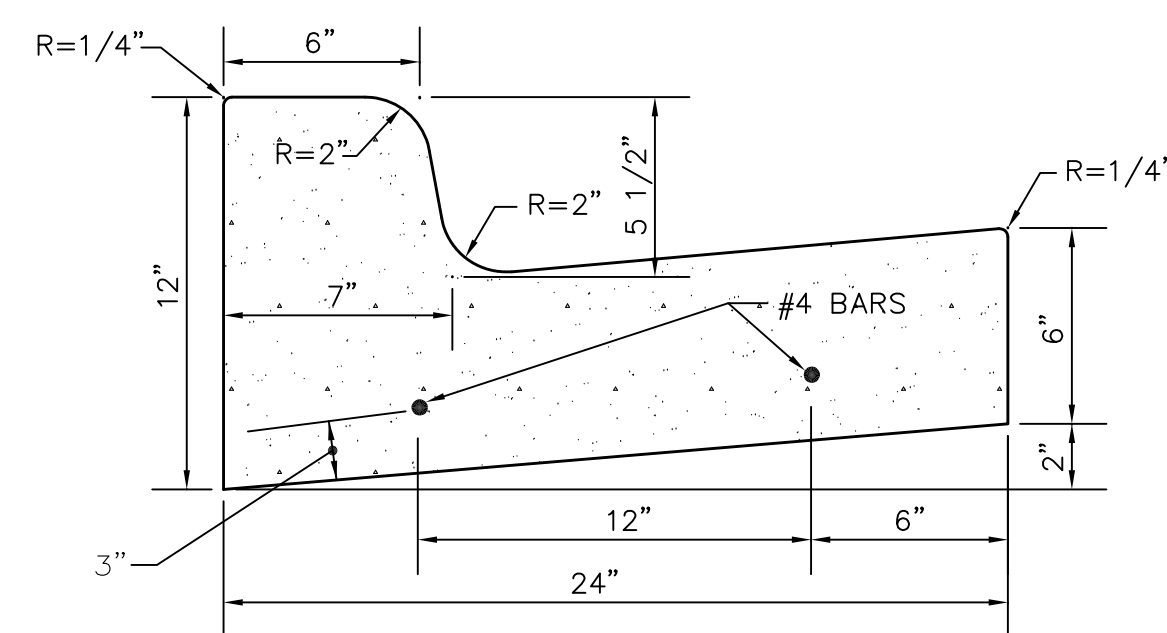
TYPE "B-DRY" CURB DETAIL



INLINE RAMP



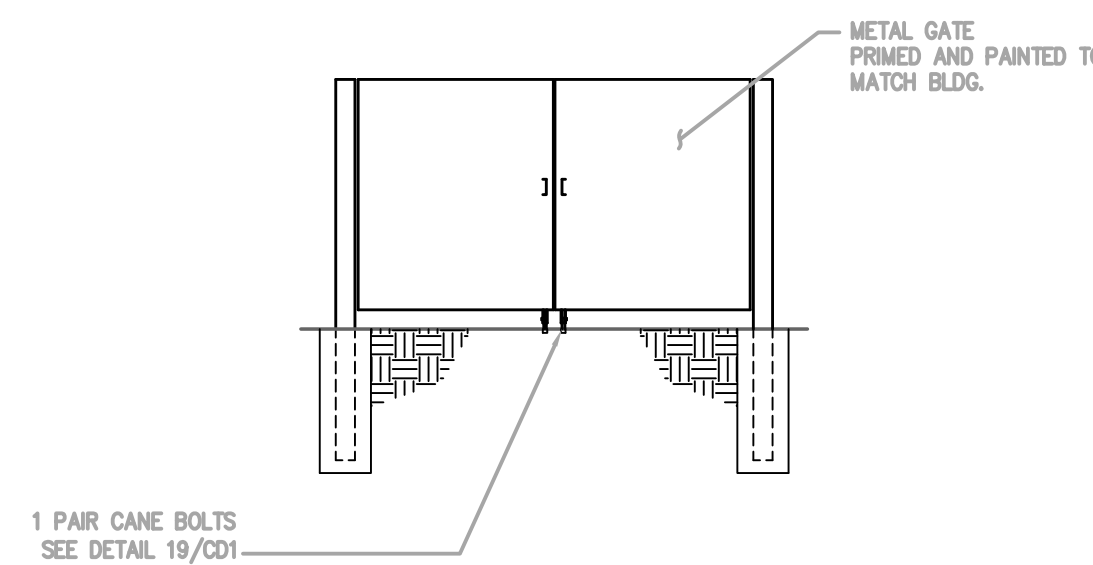
DISABLED PARKING STALL
 SCALE: N.T.S.



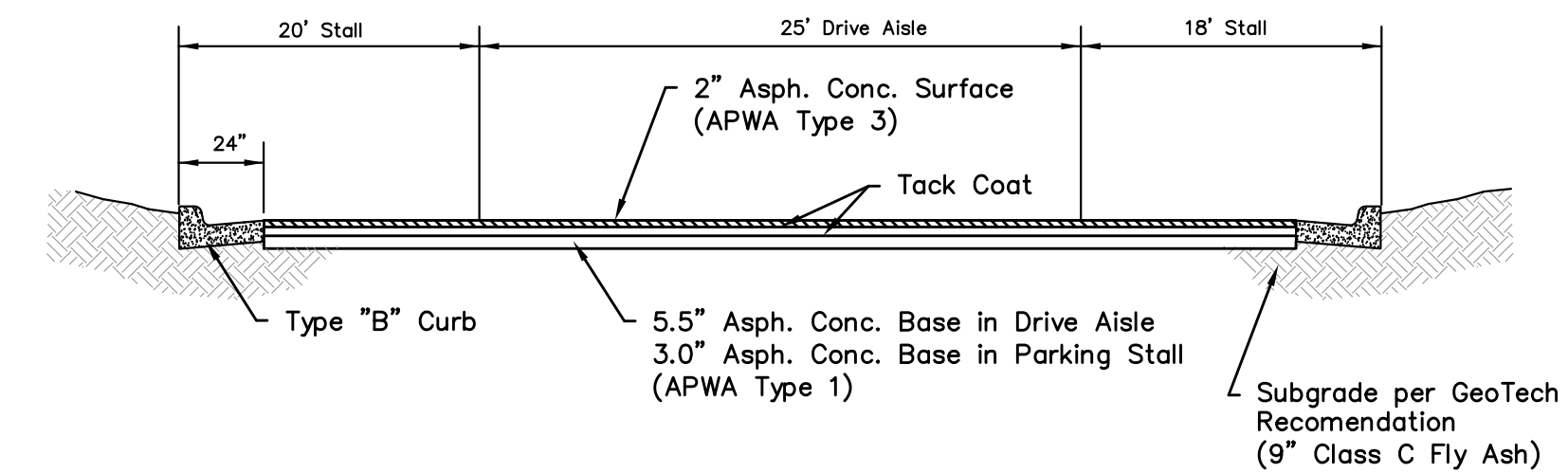
TYPE "B"

- NOTE:
- EXPANSION, CONTRACTION, OR CONSTRUCTION JOINTS ARE TO BE SAME AS NOTED ON TYPE "A" CURB AND GUTTER DETAIL.
 - ALL CURBS MUST BE CAST IN PLACE.

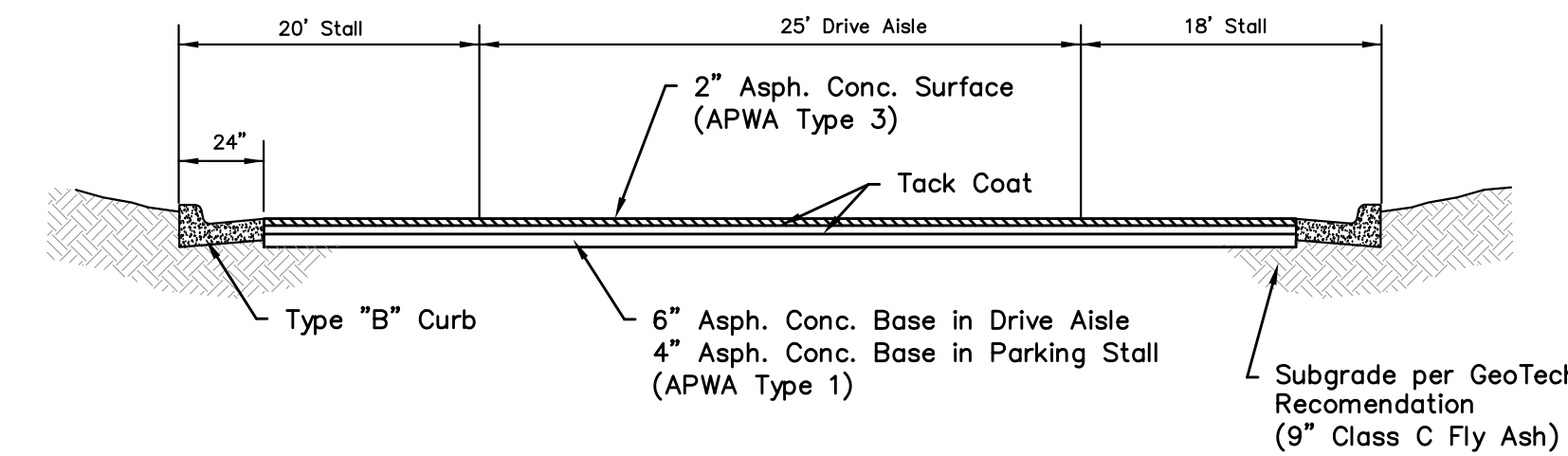
PARKING LOT CONC. CURBING



14 DUMPSTER GATE ELEVATION
 SCALE: N.T.S.

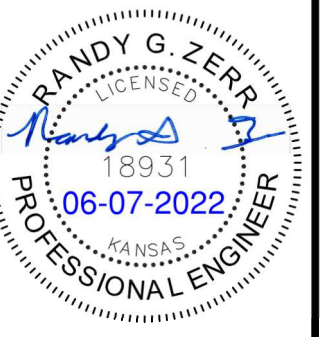


TYPICAL PARKING SECTION

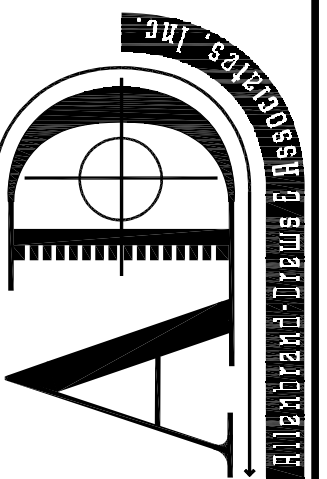


TYPICAL PARKING SECTION Alternate

4	Designed By	RML	No.	
3	Drawn By	RML	No.	
2	Checked By	RZ	No.	
1	Date	9/19/21	No.	
	Job No.	35763	No.	
	Date		No.	
	Revisions		No.	
	By		No.	



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 122 N. WATER STREET
 OLATHE, KANSAS 66061
 PHONE: (913) 764-1076
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ELITE WINDOWS & SIDING LLC
 Lot 1, Parkside Business Center
 Fourth Plat

Sheet No.
 8 of 8