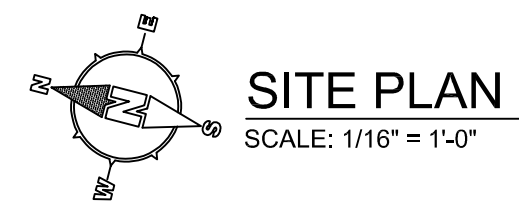


CITY OF ERIE CONSTRUCTION DOCUMENTS BIU PLAN FILE CN: 22-474



Plans Valid When Released By Issue Agent!
 ISSUE AGENT: _____ DATE: _____
 PLAN SETS SUBMITTED: _____
 JOB SET OF: _____
 INSPECTION / RECORD SET: _____

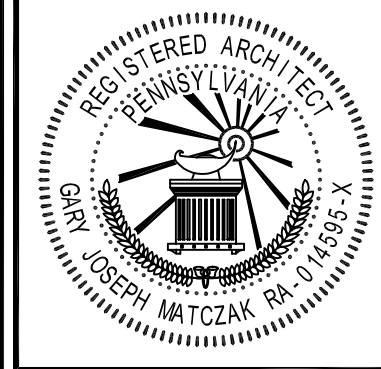
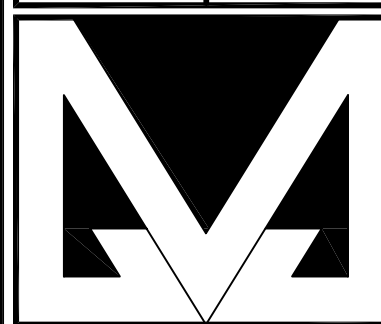
BIU / MAI PLAN REVIEW
 ALL WORK MUST COMPLY
 WITH PA UCC REGULATIONS
 REVIEWED BY: WW 000414
 DATE: 11/18/2022

14010004011600

Abbreviations	Drawing Symbols	Project Data	Project Data	Location Map																																																	
AC AIR CONDITIONING A.C.T. ACOUSTICAL CEILING TILE AFF ABOVE FINISHED FLOOR ALUM ALUMINUM APT APARTMENT B&B BALLED AND BURLAP BD BOARD BLDG BUILDING BLKG BLOCKING CB CATCH BASIN CJ CONTROL JOINT CL CENTERLINE CLR CLEAR CLG CEILING CMT CERAMIC MOSAIC TILE CMU CONCRETE MASONRY UNIT CPT CARPET CT CERAMIC TILE DN DOWN DS DOWN SPOUT DWG DRAWING EXIST. EXISTING ELEC ELECTRIC E.C. ELECTRICAL CONTRACTOR E.I.F.S. EXTERIOR INSULATION FINISH SYSTEM E.J. EXPANSION JOINT ELEV ELEVATION EQ EQUAL EXT EXTERIOR FD FLOOR DRAIN FIN FINISH FLR FLOOR FLUOR FLUORESCENT FE FIRE EXTINGUISHER FT FOOT/FEET G GAS LINE GAL GALLON GWB GYPSUM WALL BOARD GYP GYPSUM H HEAD H.C. HEATING CONTRACTOR HM HOLLOW METAL HT HEIGHT HORIZ. HORIZONTAL HWR HOT WATER RETURN HWS HOT WATER SUPPLY INSUL INSULATION J JAMB L.P. LAMINATED PLASTIC LAM LAMINATE MAS. MASONRY MECH MECHANICAL MAX MAXIMUM MIN MINIMUM M.H. MANHOLE MTL METAL MK MARK N NORTH NIC NOT IN CONTRACT NTS NOT TO SCALE O.C. ON CENTER P.C. PLUMBING CONTRACTOR PLAS PLASTIC PL or P.LAM PLASTIC LAMINATE PLUMB. PLUMBING PP PEAT POT PT PAINT/PRESSURE TREATED P.V.C. POLYVINYL CHLORIDE QT QUARRY TILE QUA QUANTITY RC ROOT CUTTING RD ROOF DRAIN REQ'D REQUIRED SIM SIMILAR TB TOWEL BAR TTD TOWEL TISSUE DISPENSER TYP TYPICAL V VINYL VCT VINYL COMPOSITION TILE VERT VERTICAL VWC VINYL WALL COVERING W WITH WOOD WOOD WWF WELDED WIRE FABRIC	WALL SECTION MARKER SECTION IDENTIFICATION DRAWING NUMBER DETAIL MARKER DETAIL IDENTIFICATION DRAWING NUMBER INTERIOR ELEVATION MARKER ELEVATION DIRECTION ELEVATION IDENTIFICATION ELEVATION DRAWING IDENTIFICATION ROOM IDENTIFICATION ROOM NAME ROOM NUMBER ANY ADD. INFO. DOOR IDENTIFICATION ROOM NUMBER DOOR NUMBER WINDOW IDENTIFICATION WINDOW MARK PLAN NOTE PLAN NOTE NUMBER REVISION REVISION NUMBER WALL TYPE MARKER WALL TYPE NUMBER ELEVATION MARKER	The building alteration shall be in compliance with the 2018 International Existing Building Code 2018 International Building Code 2018 International Fire Code 2018 International Mechanical Code 2018 International Plumbing Code 2020 International Building Code, Chapter 11 NFPA 70-2014, National Electric Code. ICC/ANSI A117.1-2009 Parcel No: 14-010-004.0-116.00 Site Area: 0.2278± Acres Parking Spaces: Existing On-Street Spaces Building Area: First Floor 8,495± sf Second Floor 8,495± sf Basement 8,495± sf Total Building Area: 25,485± sf No. of Stories: Two Story w/Basement Building Perimeter: 382 ft. Type of Construction: Type 2B Tenant Area (Unit 100): Basement 1,067 sf First Floor 1,210 sf Total Tenant Area: 2,277 sf Type of Construction: Type 2B Occupancy Classification: Business, Group B Max. Allowable Area: 23,000 sq.ft. (Table 506.2) Max. Allowable Height: 55'-0", 3 Story (Tables 504.3/504.4) Egress Units: (1) 36" doors 36 in Total Egress Width 36 in Max egress width can accommodate up to 180 occupants 0.2 in / occupant per IBC 1005.3.2 Calculated Occupant Load: Sf/Occ Area Occupants Business Area 150 1,210 sf 8 Storage/Mech/Server 300 1,067 sf 4 Total Occupants: 12	Tenant Area (Unit 200): Basement 1,578 sf First Floor 1,403 sf Total Tenant Area: 2,981 sf Type of Construction: Type 2B Occupancy Classification: Business, Group B Max. Allowable Area: 23,000 sq.ft. (Table 506.2) Max. Allowable Height: 55'-0", 3 Story (Tables 504.3/504.4) Egress Units: (1) 36" doors 36 in Total Egress Width 36 in Max egress width can accommodate up to 180 occupants 0.2 in / occupant per IBC 1005.3.2 Calculated Occupant Load: Sf/Occ Area Occupants Business Area 150 1,403 sf 9 Storage/Mech/Server 300 1,578 sf 5 Total Occupants: 14 <table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <thead> <tr> <th>Building Element</th> <th>Fire Resistance Rating Required</th> <th>Fire Resistance Rating Provided</th> <th>Table</th> </tr> </thead> <tbody> <tr> <td>Structural Frame:</td> <td>0</td> <td>0</td> <td>601</td> </tr> <tr> <td>Bearing Walls:</td> <td></td> <td></td> <td></td> </tr> <tr> <td> Exterior</td> <td>0</td> <td>0</td> <td>601</td> </tr> <tr> <td> Interior</td> <td>0</td> <td>0</td> <td>601</td> </tr> <tr> <td>Non Bearing Walls/Partitions:</td> <td></td> <td></td> <td></td> </tr> <tr> <td> Exterior</td> <td>0</td> <td>0</td> <td>602</td> </tr> <tr> <td> Interior</td> <td>0</td> <td>0</td> <td>601</td> </tr> <tr> <td>Floor Construction</td> <td></td> <td></td> <td></td> </tr> <tr> <td> Support Beams and Joists</td> <td>0</td> <td>0</td> <td>601</td> </tr> <tr> <td>Roof Construction</td> <td></td> <td></td> <td></td> </tr> <tr> <td> Support Beams and Joists</td> <td>0</td> <td>0</td> <td>601</td> </tr> </tbody> </table>	Building Element	Fire Resistance Rating Required	Fire Resistance Rating Provided	Table	Structural Frame:	0	0	601	Bearing Walls:				Exterior	0	0	601	Interior	0	0	601	Non Bearing Walls/Partitions:				Exterior	0	0	602	Interior	0	0	601	Floor Construction				Support Beams and Joists	0	0	601	Roof Construction				Support Beams and Joists	0	0	601		Drawing Index CS Site Plan, Location Map, Project Data, Drawing Index A1 Basement Plan, First Floor Plan, Sections A2 Interior Elevations, Schedules, West Elevation MPE1 Schedules, Notes MP2 Mechanical / Plumbing Plans E2 Power / Lighting Plans Notes: 1. All electrical material, devices, appliances and equipment shall be labeled and listed by a certified testing laboratory or agency. 2. Contractor to verify all dimensions and conditions prior to any demolition, construction or fabrication. Architect to be notified of any discrepancies prior to start of work in question.
Building Element	Fire Resistance Rating Required	Fire Resistance Rating Provided	Table																																																		
Structural Frame:	0	0	601																																																		
Bearing Walls:																																																					
Exterior	0	0	601																																																		
Interior	0	0	601																																																		
Non Bearing Walls/Partitions:																																																					
Exterior	0	0	602																																																		
Interior	0	0	601																																																		
Floor Construction																																																					
Support Beams and Joists	0	0	601																																																		
Roof Construction																																																					
Support Beams and Joists	0	0	601																																																		

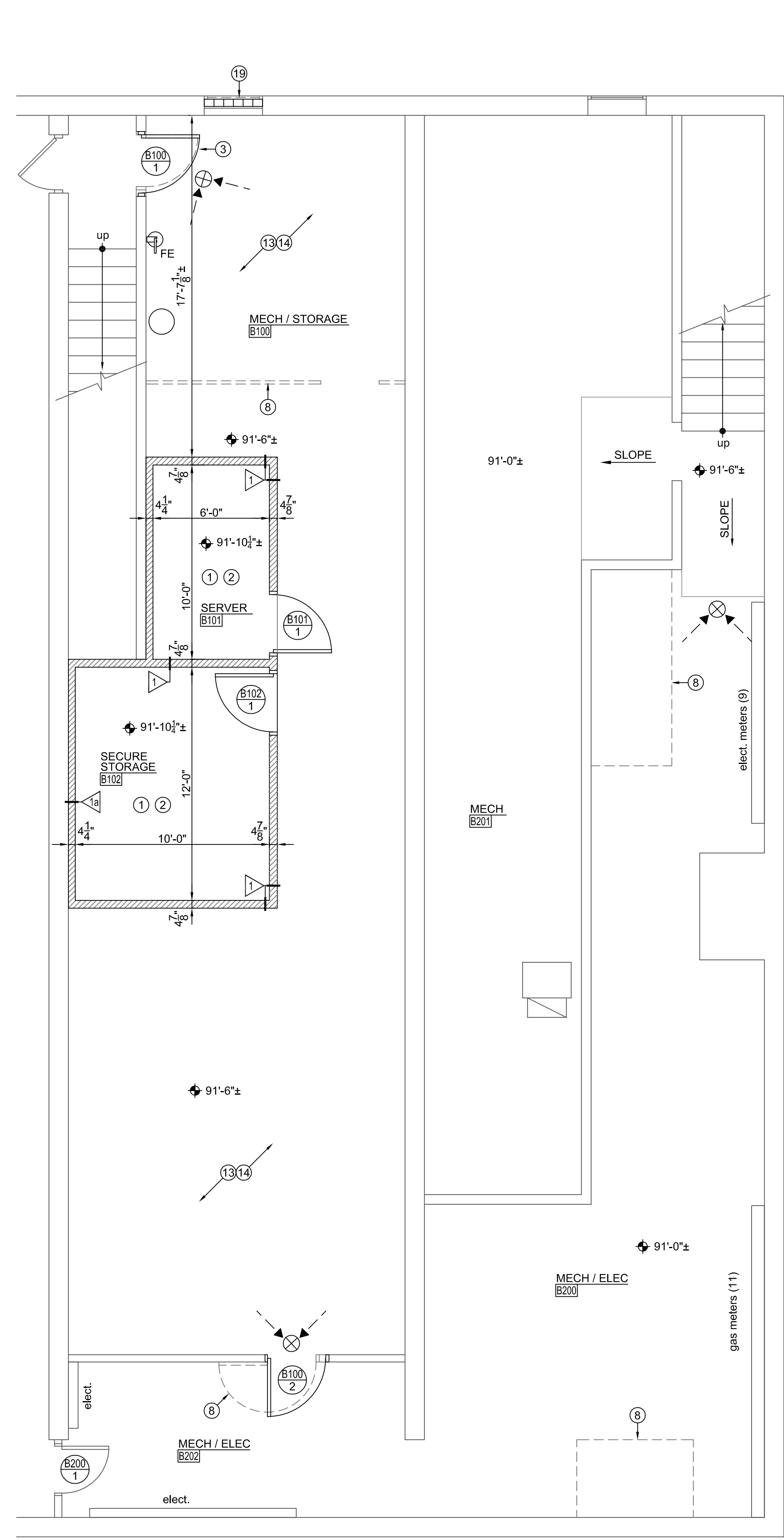
\\matczak-ds4181\file\storage\GMA\Drawing Files\Current Projects\2211 - 717 French Street\2211-CS.dwg Nov 17, 2022 - 3:01pm

GARY MATCZAK ARCHITECTS
 4509 WEST RIDGE ROAD
 ERIE, PA 16506
 814-836-8500
 ALTERATIONS to:
BOSTWICK DESIGN PARTNERSHIP / SUMNER NICHOLS
 717 / 719 FRENCH STREET
 ERIE, PENNSYLVANIA 16501



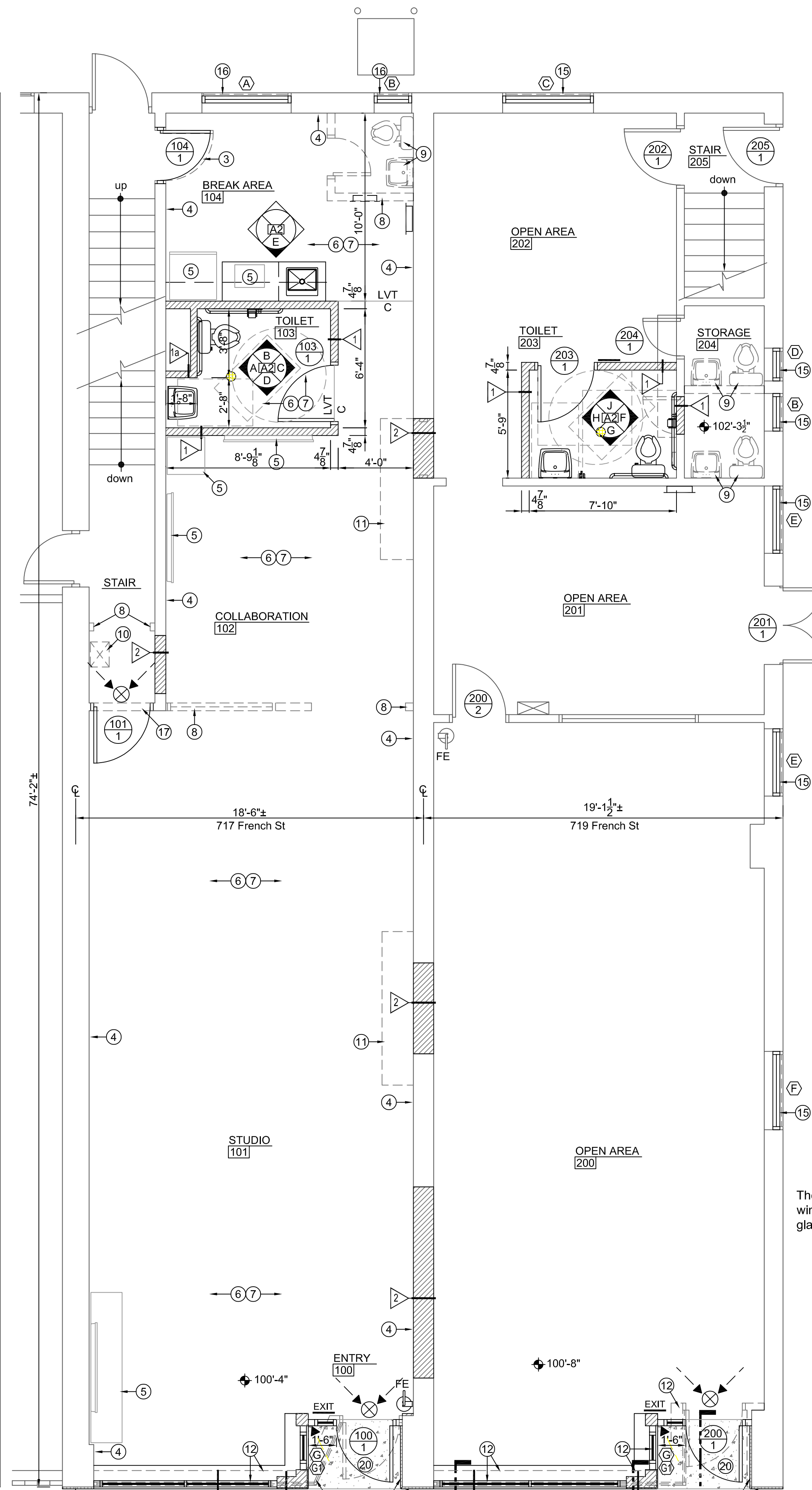
SITE PLAN PROJECT DATA LOCATION MAP			
NO.	DATE		
1	11/16/22		
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center; font-size: 24px; font-weight: bold;">C</td> <td style="width: 50%; text-align: center; font-size: 24px; font-weight: bold;">S</td> </tr> </table>		C	S
C	S		
PROJECT NO.	2211		
DATE	JUNE 2022		

V:\matczak\4181\Files\Storage\GMA\Drawing Files\Current Projects\2211 - 717 French Street\2211-A1.dwg Nov 17, 2022 - 3:03pm



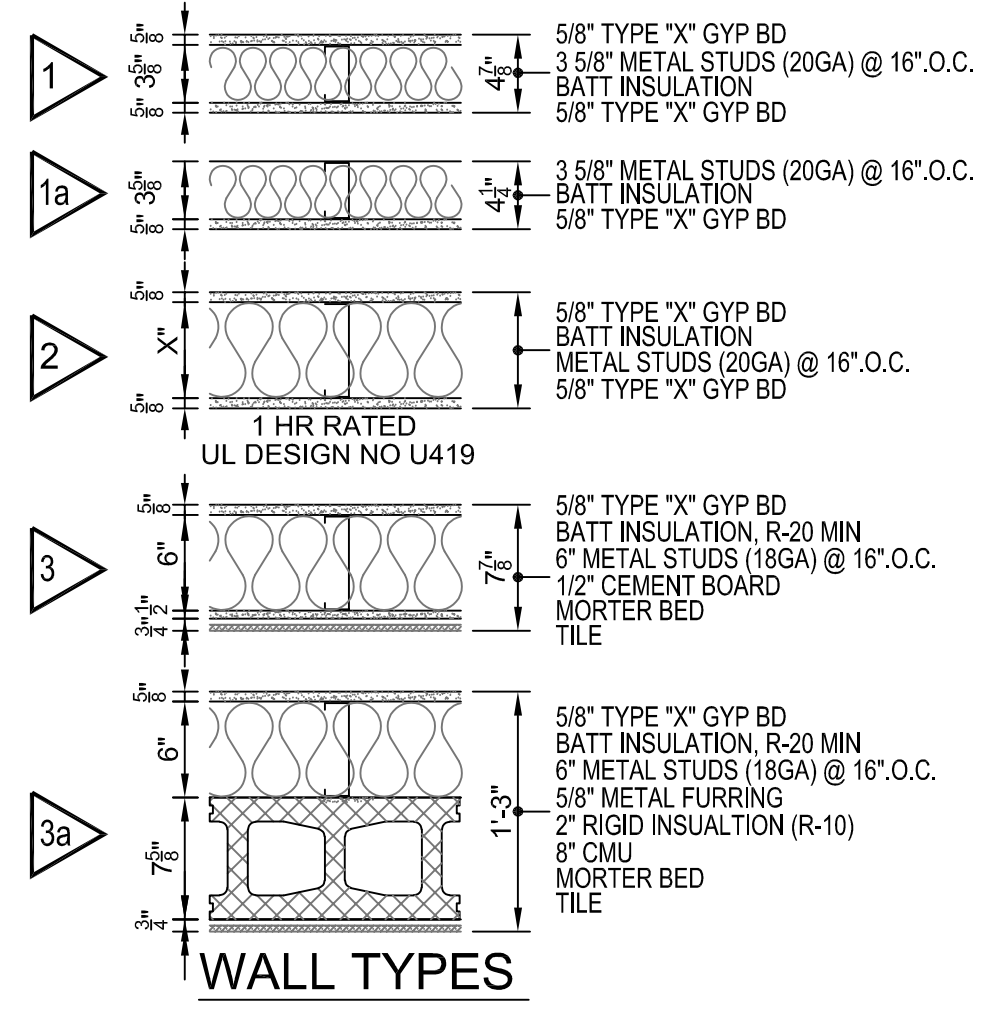
BASEMENT PLAN
SCALE: 1/4" = 1'-0"

NOTE: THESE PLANS HAVE BEEN PREPARED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, THE DESIGN PROFESSIONAL CANNOT ASSURE ITS ACCURACY, AND THIS IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS DRAWING OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT.



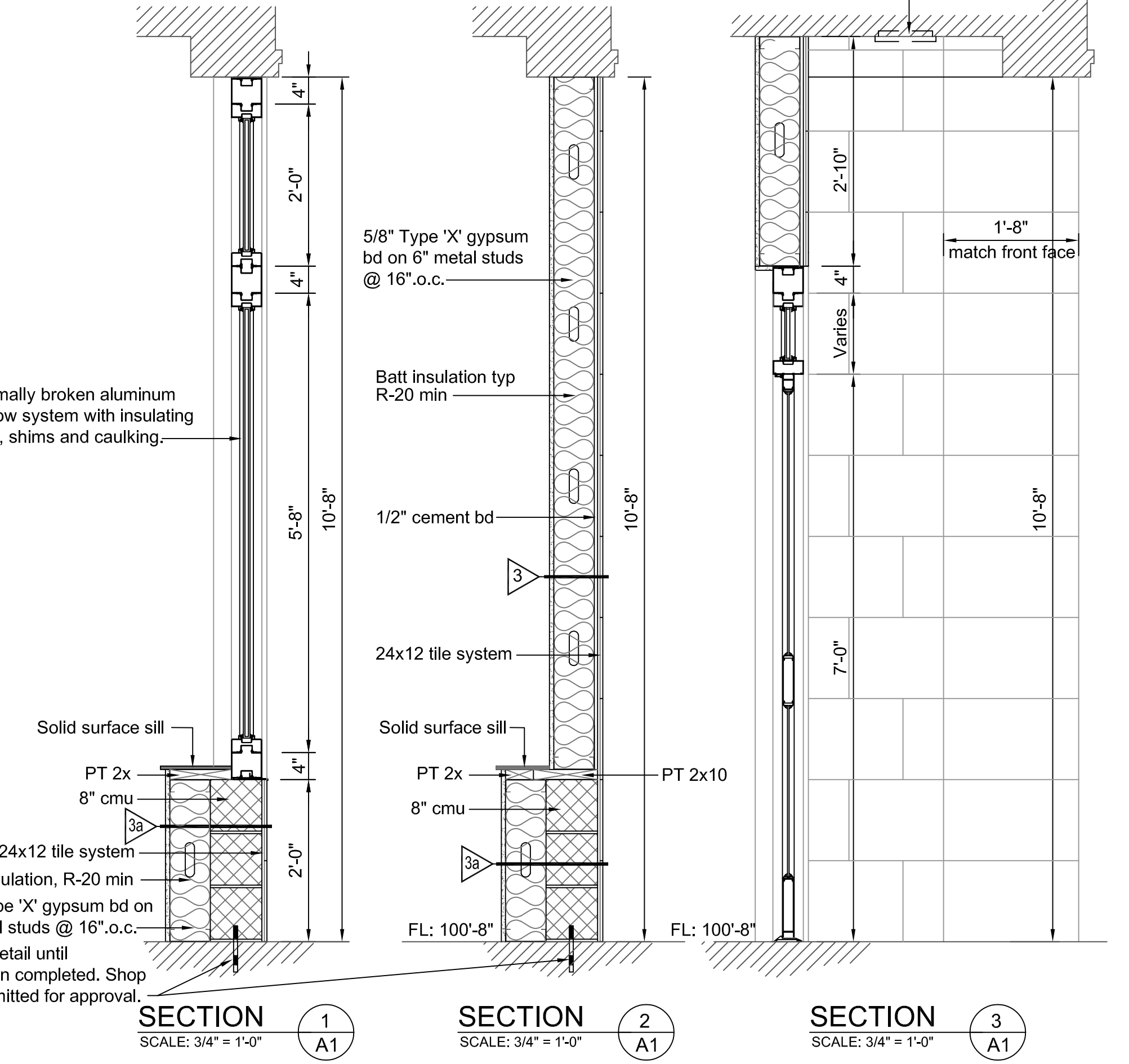
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- KEY NOTES**
- Server Room: Install 3/4" plywood decking over PT 2x4 framing @ 12" c/c and vapor barrier, on existing concrete slab.
 - Server Room: Laminate existing ceiling with 1/2" gypsum bd.
 - Existing door and frame to be removed, install new. See door schedule.
 - Patch, repair and paint existing walls
 - Furnishings N.I.C. unless noted otherwise
 - Existing flooring and wall base to be removed throughout. Scrape and prep concrete slab for new flooring as required.
 - Existing damaged plaster ceiling areas to be patched as required. Coordinate in field.
 - Existing to be removed, install new 36x84 hm door and frame.
 - Existing plumbing fixture to be removed. Existing water supply branches to be removed, valved and capped back at main water supply. Sanitary and venting system connections to be capped.
 - Existing ductwork to be removed, patch existing floor opening as required.
 - Existing sloped concrete overpour to be removed, coordinate in field.
 - Existing exterior storefront system and low wall to be removed, install new thermally broken aluminum window system with insulating glass, flashing, shims, caulking and solid surface sill. See elevations/details.
 - Existing concrete slab to be scraped, prepped and painted this area.
 - Existing cmu walls to be scraped, prepped and painted this area.
 - Existing window to be removed. Install new thermally broken aluminum window system with insulating glass, flashing, shims and caulking. See window types / schedule.
 - Existing window to be removed. Install new thermally broken aluminum window system with insulating glass, flashing, shims, caulking and solid surface sill. See window types / schedule.
 - Install new hollow metal door and frame. Remove / modify existing wall framing, patch as required.
 - Install tile w/mortar bed on 1/2" cement board fastened to existing exterior brick
 - Existing to be removed, install new 6" glass block window system
 - Remove existing concrete this area, blend new concrete to existing walk as required. Coordinate in field.



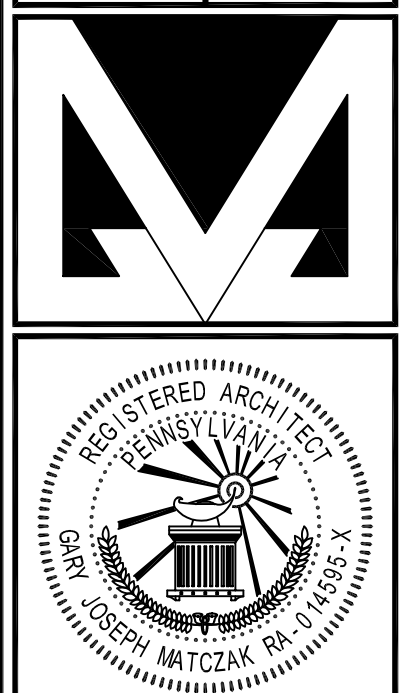
LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	METAL FRAME CONSTRUCTION
	MASONRY CONSTRUCTION
	TACTILE "EXIT" SIGNAGE
	EMERGENCY LIGHTING REMOTE HEAD
	ILLUMINATED EXIT SIGN w/EMERGENCY HEADS
	EMERGENCY LIGHTING WALL PACK
	FIRE EXTINGUISHER



BIU / MAI PLAN REVIEW
 ALL WORK MUST COMPLY
 WITH PA UCC REGULATIONS
 REVIEWED BY: WW 000414
 DATE: 11/16/2022

GARY MATCZAK ARCHITECTS
 4509 WEST RIDGE ROAD
 ERIE, PA 16506
 814-836-8500
 ALTERATIONS TO:
BOSTWICK DESIGN PARTNERSHIP / SUMNER NICHOLS
 717 / 719 FRENCH STREET
 ERIE, PENNSYLVANIA 16501

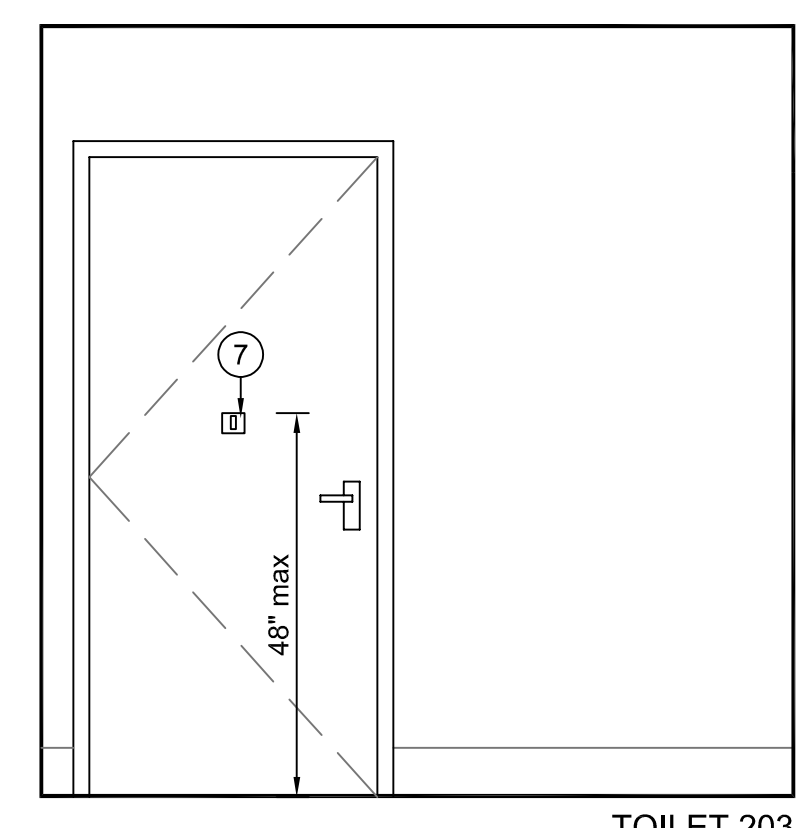
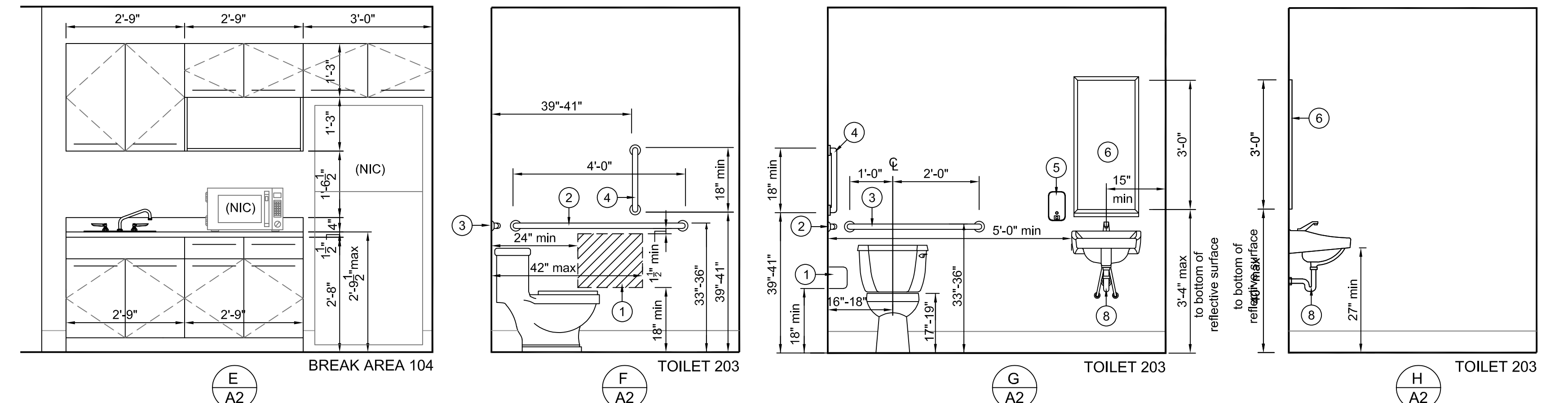
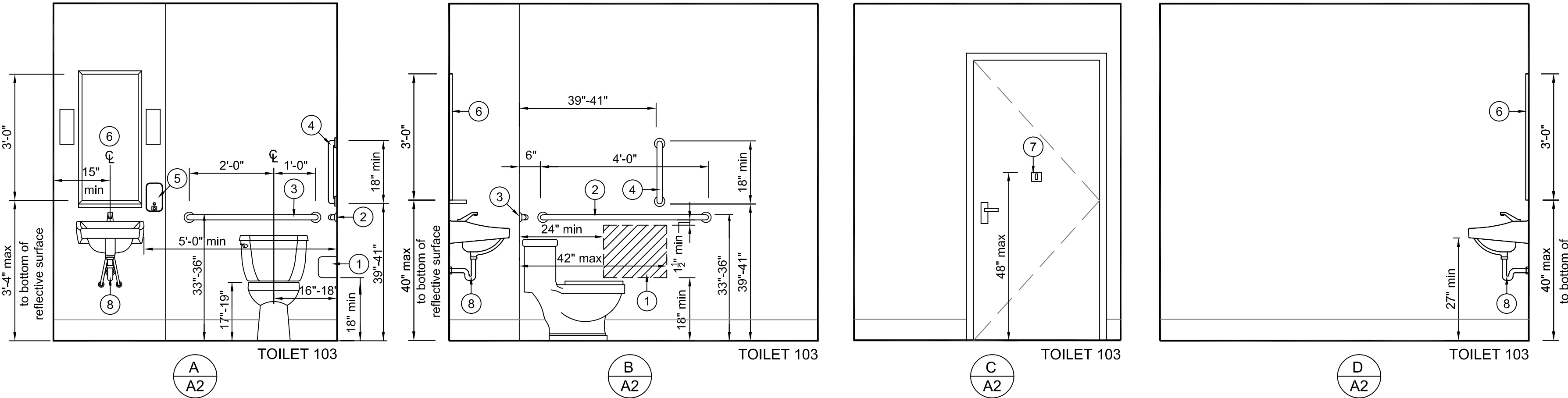


BASEMENT PLAN
FLOOR PLAN
WALL SECTIONS
WALL TYPES

NO.	DATE	REVISION
1	11/16/22	

A 1

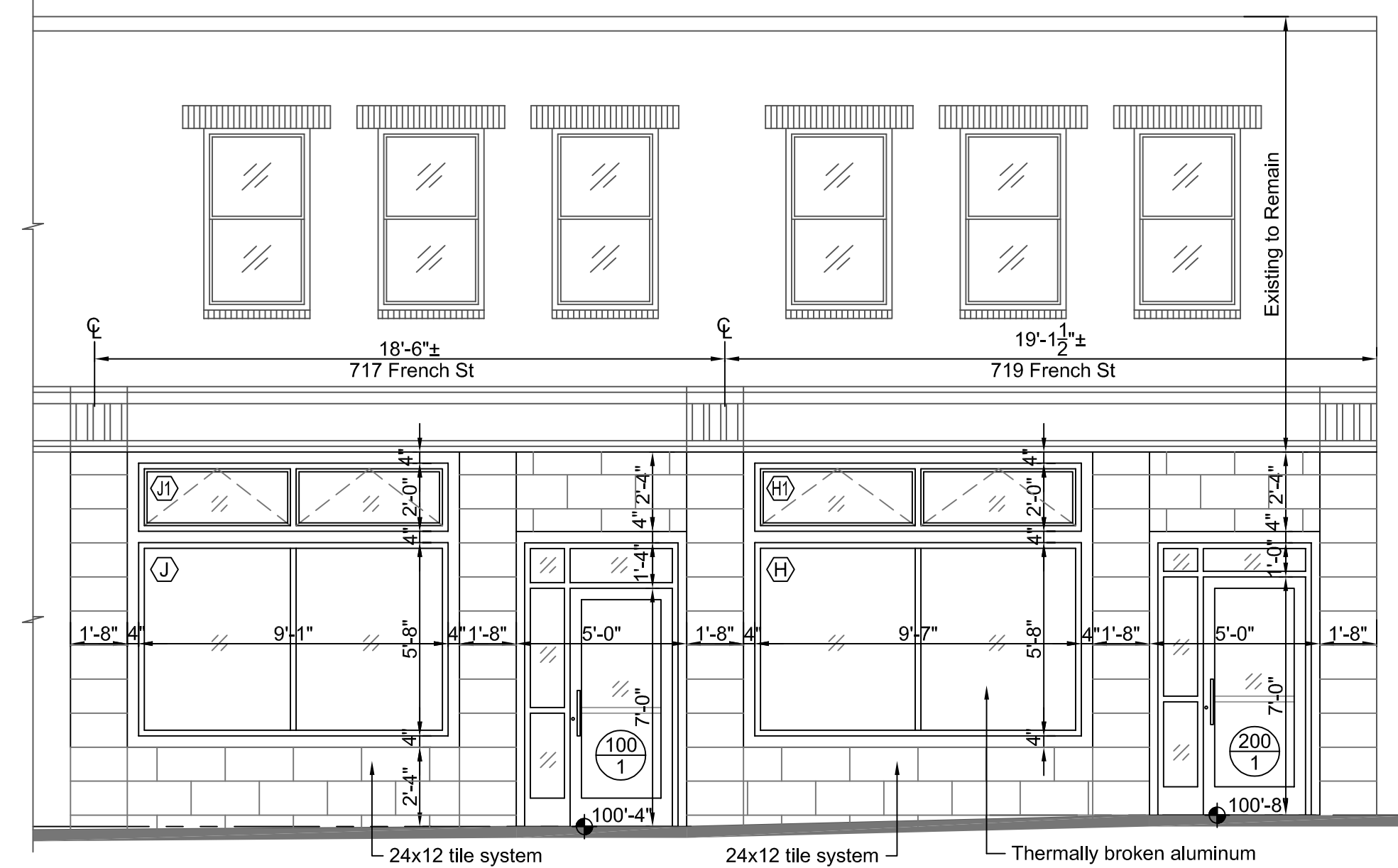
PROJECT NO.	2211
DATE	JUNE 2022



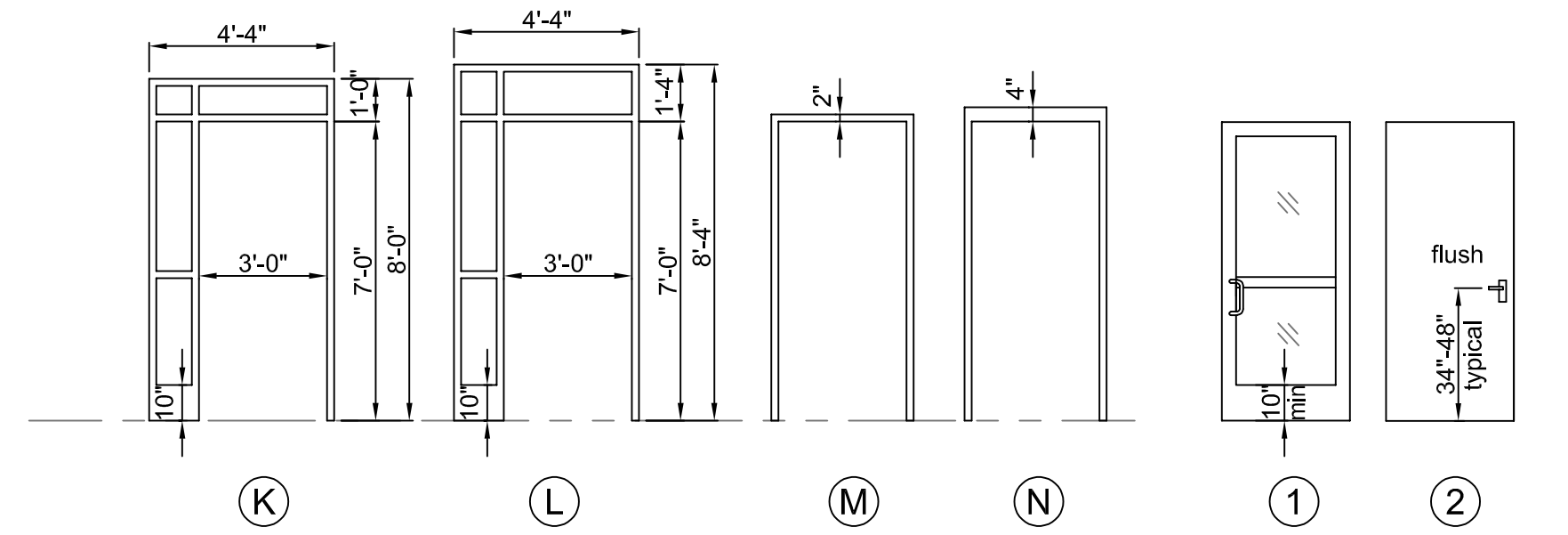
TOILET ACCESSORY SCHEDULE		
1	TOILET PAPER DISPENSER	BRADLEY 5424
2	48" HORIZONTAL GRAB BAR	BOBRICK B-5806-48
3	36" HORIZONTAL GRAB BAR	BOBRICK B-5806-36
4	18" VERTICAL GRAB BAR	BOBRICK B-5806-18
5	LIQUID SOAP DISPENSER	BRADLEY 6562
6	18"x36" FIXED MIRROR w/SHELF	BRADLEY 7815-018360
7	COAT HOOK	BRADLEY 9114
8	SCALD PROTECTION	LAV-GUARD MODEL 102

PROVIDE MOUNTING SUPPORT AND/OR BLOCKING FOR ALL ACCESSORIES AS REQUIRED.

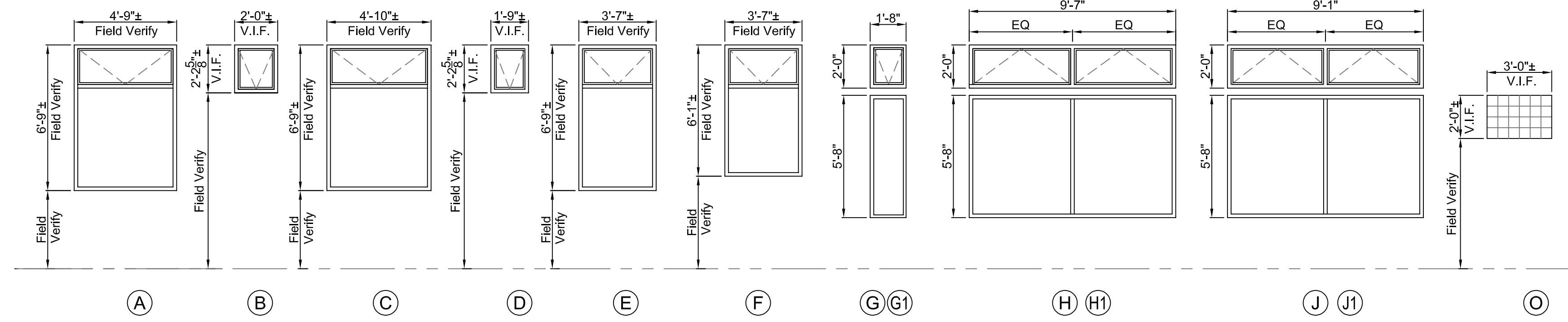
INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"



PARTIAL WEST ELEVATION
SCALE: 1/4" = 1'-0"



DOOR TYPES



FRAME TYPES

ROOM FINISH SCHEDULE																				
RM #	ROOM NAME	FLOORING					BASE		WALLS		CEILING		INTERIOR FINISH LEGEND							
		CARPET	LVT	VCT	RUBBER 1-4"	RUBBER 2-6"	RUBBER 3-6"	EXISTING	PAINT	EXISTING	FINISH	GYPSUM BD. - PAINT		EXIST. - PATCH/PAINT P1	HEIGHT					
B100	BASEMENT																			
B101	SERVER																			
B102	STORAGE																			
100	ENTRY																			
101	STUDIO																			
102	COLLABORATION																			
103	TOILET																			
104	BREAK AREA																			
B200	MECH / ELEC																			
B201	MECH																			
200	OPEN AREA																			
201	OPEN AREA																			
202	OPEN AREA																			
203	TOILET																			
204	STORAGE																			
205	STAIR																			

DOOR & FRAME SCHEDULE												
NO.	LOCATION	DOOR					FRAME			FIRE RATING (HOUR)	HARD WARE	REMARKS
		SIZE	TYPE	MATL	FINISH	TYPE	MATL	FINISH				
B100/1	BASEMENT	36"x84"	2	HM	PAINT	N	HM	PAINT	1 HR	PANIC	CLOSER	
B100/2	BASEMENT	36"x84"	2	HM	PAINT	M	HM	PAINT		PANIC	CLOSER	
B101/1	SERVER	36"x84"	2	HM	PAINT	M	HM	PAINT		LOCKSET	PERIMETER SEALS, SURFACE MOUNTED AUTOMATED DOOR BOTTOM	
B102/1	STORAGE	36"x84"	2	HM	PAINT	M	HM	PAINT		LOCKSET	-	
100/1	ENTRY	36"x84"	1	ALUM	ANODIZED	K	AL	ANODIZED		PUSH/PULL	CLOSER, ADA THRESHOLD, THUMBBLATCH	
101/1	STUDIO	36"x84"	2	WOOD	CLEAR	M	HM	PAINT	1 HR	LOCKSET	-	
103/1	TOILET	36"x84"	2	WOOD	CLEAR	M	HM	PAINT		PRIVACY	-	
104/1	BREAK AREA	MATCH EXIST	2	WOOD	CLEAR	M	HM	PAINT		LOCKSET	-	
B200/1	BASEMENT	EXIST									EXISTING TO REMAIN	
201/1	OPEN AREA	36"x84"	1	ALUM	ANODIZED	L	AL	ANODIZED		PUSH/PULL	EXISTING TO REMAIN	
200/1	OPEN AREA	EXIST									EXISTING TO REMAIN	
201/1	OPEN AREA	EXIST									EXISTING TO REMAIN	
202/1	OPEN AREA	EXIST									EXISTING TO REMAIN	
203/1	TOILET	36"x84"	2	WOOD	CLEAR	M	HM	PAINT		PRIVACY	-	
204/1	STORAGE	EXIST									EXISTING TO REMAIN	
205/1	STAIR	EXIST									EXISTING TO REMAIN	

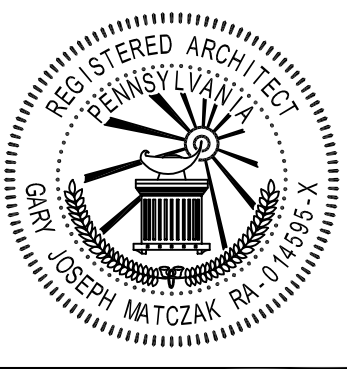
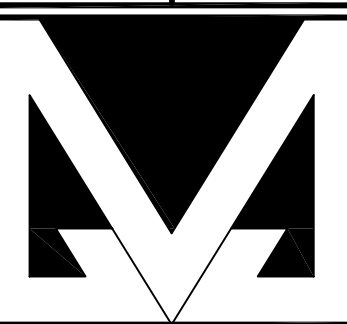
WINDOW SCHEDULE					
TAG	OPENING SIZE	MAT'L	FINISH	GLAZING TAG	REMARKS
(A)	4'-9" x 6'-9"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E, w/BUG SCREEN
(B)	2'-0" x 2'-2 1/2"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E, w/BUG SCREEN
(C)	4'-10" x 6'-9"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E, w/BUG SCREEN
(D)	1'-9" x 2'-2 1/2"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E, w/BUG SCREEN
(E)	3'-7" x 6'-9"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E, w/BUG SCREEN
(F)	3'-7" x 6'-1"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E, w/BUG SCREEN
(G)	1'-8" x 5'-8"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E
(H)	1'-8" x 2'-0"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E, w/BUG SCREEN
(I)	9'-7" x 5'-8"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E
(J)	9'-7" x 2'-0"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E, w/BUG SCREEN
(K)	9'-1" x 5'-8"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E
(L)	9'-1" x 2'-0"	ALUM	ANODIZED	GL1	THERMALLY BROKEN, LOW-E, w/BUG SCREEN
(M)	SEE FRAME TYPE	ALUM	ANODIZED	GL2	THERMALLY BROKEN, LOW-E
(N)	SEE FRAME TYPE	ALUM	ANODIZED	GL2	THERMALLY BROKEN, LOW-E
(O)	3'-0" ± x 2'-0" ±	-	-	-	GLASS BLOCK, 6x6, WAVY PATTERN

NOTE: THESE PLANS HAVE BEEN PREPARED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, THE DESIGN PROFESSIONAL CANNOT ASSURE ITS ACCURACY, AND THIS IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS DRAWING OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT.

GLAZING	
GLAZING TAG	DESCRIPTION
GL1	CLEAR INSULATED GLAZING
GL2	CLEAR INSULATED SAFETY GLAZING

BIU / MAI PLAN REVIEW
ALL WORK MUST COMPLY
WITH PA UCC REGULATIONS
REVIEWED BY: WW 000414
DATE: 11/16/2022

GARY MATCZAK ARCHITECTS
814-836-8500
4509 WEST RIDGE ROAD
ERIE, PA 16506
ALTERATIONS to:
BOSTWICK DESIGN PARTNERSHIP / SUMNER NICHOLS
717 / 719 FRENCH STREET
ERIE, PENNSYLVANIA 16501



WEST ELEVATION INTERIOR ELEVATIONS SCHEDULES DETAILS		
NO.	DATE	REVISION
1	11/16/22	

A 2

PROJECT NO.	2211
DATE	JUNE 2022

MECHANICAL GENERAL NOTES

GENERAL NOTES

- The drawings are partly diagrammatic and are not intended to show in detail all features of the work. All work shall be done in accordance with these specifications, the drawings & local governing codes.
- All work shall be executed and inspected in strict accordance with all local codes and/or state codes, laws, ordinances, rules and regulations applicable to this particular class of work, and each contractor shall include in his price all applicable service charges, fees, permits, royalties, taxes and other similar costs in connection therewith.

MECHANICAL NOTES

- This contractor shall examine at other specifications, drawings, and all features of building construction, which may affect his work and shall be governed by these other specifications, including the general conditions and particular instructions to all bidders and suppliers.
- All work shall be executed and inspected in strict accordance with all local codes and/or state codes, laws, ordinances, rules and regulations applicable to this particular class of work, and each contractor shall include in his price all applicable service charges, fees, permits, royalties, taxes and other similar costs in connection therewith.
- Prior to fabrication of ductwork, contractor shall examine and verify all conditions above and below the ceiling, which may interfere with the duct system and notify the Architect of any conflict encountered. Contractor shall provide all offsets etc., which may be required, without additional cost to the Owner.
- All sheet metal duct construction shall be in strict accordance with "SMACNA" low-pressure duct construction standards.
- All ducts shall be supported with 1" wide, 22-gauge galvanized steel bands at 8' to 10' spacing and at all fittings.
- Contractor shall coordinate location of all supply and return air registers, ducts, grilles, and diffusers with lighting and ceiling patterns.
- Thermostats to be mounted at 48" maximum above the floor.

PLUMBING GENERAL NOTES

GENERAL NOTES

- The drawings are partly diagrammatic and are not intended to show in detail all features of the work. All work shall be done in accordance with these specifications, the drawings & local governing codes.
- All work shall be executed and inspected in strict accordance with all local codes and/or state codes, laws, ordinances, rules and regulations applicable to this particular class of work, and each contractor shall include in his price all applicable service charges, fees, permits, royalties, taxes and other similar costs in connection therewith.

PIPING INSTALLATION

- Piping, unless otherwise noted, shall not pitch less than tabulated below:

Sanitary drains	1" in 4'
Indirect Waste	1" in 4'
Vent Piping	1" in 50'
Hot and Cold water lines	1" in 50'
- All piping shall be run concealed in the finished portions and exposed in the unfinished portions as required.
- All pipes shall be cut accurately to measurements established at the building and shall be placed without springing, forcing, excessive cutting or weakening of the building structure. All pipes shall be installed in a manner permitting proper drainage and free expansion and contraction. All burrs in pipes shall be removed by reaming. All changes in direction shall be made with fittings. Cap or plug all open ends of piping and equipment during construction to keep dirt and foreign material out of the systems. Clean all piping before erection and if necessary, clean after erection to remove dirt and foreign material.
- Hangers, anchors and supports shall be of metal or other material of sufficient strength to support the piping and its contents.
- Hangers supporting the copper tubing shall be copper, copperized or be large enough to accommodate the insulating pipe covering. Copper tubing lines shall not be (even temporarily) supported or secured to ferrous metals.
- When copper piping or tubing is connected to ferrous piping or equipment, it shall be done with the use of dielectric union or fittings.

WATER VALVES

- Unless otherwise shown or specified, all valves shall be ball valves.
- Each hot and cold water supply to each fixture shall be fitted with a ball valve, angle valve or stop and waste valve.
- Exposed shut-off valves and supply pipes for water closets and lavatories to be chrome plated.

WASTE AND VENT PIPING

- All sanitary waste and vent lines shall be schedule 40 PVC pipe and fittings.

CLEANOUTS

- Cleanouts shall be provided where shown and at the base of every stack and wherever horizontal pipe changes direction. All cleanouts to be full pipe size. All cleanouts shall be similar and equal to "Supreme" type as manufactured by the J.A. Zum Co., and wherever required shall have: a) polished nickel bronze scoriated flush floor plates in floor, b) carpet plate cover in carpeted areas, c) polished nickel chrome covers in finished walls.

FLASHING

- All pipe penetrations thru floor shall be sealed to be watertight.

WATER PIPING

- All water piping shall be copper pipe and fittings. Type "K" below ground, type "L" above ground.
- All fittings to be wrought copper solder joint type. All joints to be solder joints with lead-free solder.
- Anchor all water lines to prevent rattling of the pipes.
- All connections of copper tubing to dissimilar metals shall be made with dielectric fittings.
- Pex commercial grade water piping system approved for use with this application may also be used.

INSULATION

- Insulate all hot and cold water piping with 1" pipe insulation having a conductivity not exceeding 0.27 bthU/inch/hr/ft²/ft.

GAS PIPING

- Gas piping shall be schedule 40 black steel conforming to ASTM A120 of the sizes indicated, with black malleable screwed fittings conforming to AGA B16.3. Install brass gas shutoff cocks (Lunkenhiemer #456 flat head #150) where shown or required.

PLUMBING FIXTURE / EQUIPMENT SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	W	V	CW	HW	NG	REMARKS AND SPECIFICATIONS
P-1	WATER CLOSET	MANSFIELD	ALTO 137-160	3"	2"	1/2"	---	---	SEAT & COVER; ADA COMPLIANT, 1.6 GPF
P-2	LAVATORY	MANSFIELD	WALNUT KNOLL 2008	1 1/2"	1 1/2"	1/2"	1/2"	---	FAUCET: KOHLER 393-N4, THERMOSTATIC MIXING VALVE; WILKINS ZW3871XLT-4P, SET 105", SCALD PROTECTION, ADA COMPLIANT
P-3	FLOOR DRAIN	ZURN	-	3"	---	---	---	---	w/PROSET TRAP GUARD
P-4	KITCHENETTE SINK	JUST MANUFACTURING	SL-ADA-1921-A-GR	1 1/2"	1 1/2"	1/2"	1/2"	---	FAUCET: DELTA MODEL 400-DSTA, THERMOSTATIC MIXING VALVE; WATTS LFUSG-B SERIES, SET 105", ADA COMPLIANT
P-5	WATER HEATER	RUUD	EGSP15	---	---	3/4"	3/4"	---	15 GALLON w/TRAY, ELECTRIC, 208V, 3000W, 14.4 FLA, PRESSURE RELIEF VALVE, UL LISTED, WALL MOUNT KIT

EXHAUST FAN / LIGHT DATA

TAG	SERVING	CFM	FAN TYPE	ELECTRICAL			MANUFACTURER / MODEL NUMBER	NOTE
				AMPS	RPM	V-Ø-Hz		
EFL-1	TOILET ROOM	80	CEILING	1.5	1,380	120-1-60	BROAN #HD80L	1

- WIRED TO SWITCH ON WALL

ELECTRICAL GENERAL NOTES

GENERAL NOTES

- The drawings are partly diagrammatic and are not intended to show in detail all features of the work. All work shall be done in accordance with these specifications, the drawings & local governing codes.
- All work shall be executed and inspected in strict accordance with all local codes and/or state codes, laws, ordinances, rules and regulations applicable to this particular class of work, and each contractor shall include in his price all applicable service charges, fees, permits, royalties, taxes and other similar costs in connection therewith.

WIRING DEVICES

- Local light switches shall be 20A, 120V, AC specification grade, with grounding terminal.
- Duplex receptacles shall be 20A, 125V, 2 pole, 3 wire grounding.
- Special purpose receptacles, if required, to be verified prior to installatio. Coordinate the proper NEMA configuration with the equipment to be served.
- Outdoor weatherproof duplex receptacles shall have integral ground fault circuit interrupter (GFCI) protection and be 20A, 125V, 2 pole, 3 wire grounding. Covers shall be single gang, latching type, die cast aluminum, vertical mounting and UL listed for wet locations while in use.
- All switches, devices and cover plates to be the color white.
- WIRE & CABLE**
 - Wire and cable for branch circuits and feeders, 600 volt and below shall be 90°C, 600V, Type THHN/THWN, Copper only.
 - Where wire size is not indicated, ampacity ratings of 60°C for wire 100A and below, and 75°C for wire above 100A to be used.
 - Wiring for power and lighting branch circuits shall be #12 minimum for circuits less than 125 feet and size #10 minimum shall be used for circuits 125 feet or greater.
 - Wire sizes #10 and smaller shall be solid or stranded. Wire sizes #8 or larger shall be stranded.
 - Control wiring shall be #14 stranded THWN copper. All control wiring to be terminated with fork type "Sta-Kon" type connectors.

CONDUIT - EMT

- Conduits shall be continuous and secured to all boxes in such a manner that each conduit system shall be electrically continuous from the point of service to all device boxes. Conduits shall be supported in accordance with the National Electrical Code. Terminals of all conduits shall be furnished with locknuts and bushings. Plug ends of each conduit with an approved cap to prevent the entrance of foreign materials during construction.
- Conduits shall be 3/4" Trade size, minimum, unless noted on the drawings. Where sizes are not shown, conduits shall be as required to accommodate the number and type of conductors in accordance with the National Electrical Code wiring tables, but shall not be smaller than 3/4".
- Cold-rolled steel double set screw fittings shall be used for all EMT conduits.
- Actual routing of conduits shall be installed to suit the various field conditions. Any field changes necessary to conceal conduit or to avoid work of other trades shall be made without additional expense to the Owner.
- A separation of 6" minimum is required between conduits and hot water piping, steam piping and similar system piping.
- Contractor shall utilize boxes, fittings and mounting accessories appropriate for the specific conduit system(s) installed as recommended by the conduit manufacturer.
- Install exposed conduits parallel to, or at right angles to building structural members. vertical runs shall be plumb.
- Empty conduits shall have #12 pullwires installed, with labels identifying the conduit's origin and destination.

SPLIT FAN COIL UNIT DATA

TAG	SERVING	COOLING TOTAL MBH	HEATING TOTAL MBH	FAN COIL ELECTRICAL				REMOTE CONDENSING UNIT ELECTRICAL				MANUFACTURER / MODEL NUMBER	NOTE
				UNIT MCA	UNIT MOCP	V/Ø	MOCP	UNIT NO.	UNIT MCA	MOCP	V/Ø		
F-1	IT ROOM	9.0	10.9	1		208/1		AC-1	12	15	208-230/1	mitsubishi - SINGLE ZONE	1,2,3,5
F-2	STUDIO	36.0	60.0	1 EA		208/1		AC-2	*	*	208-230/1	mitsubishi - MULTI ZONE	1,2,3,4,5,6

- INTEGRAL DISCONNECT ON FAN COIL
- WALL MOUNTED FAN COIL UNIT, COORDINATE MOUNTING HEIGHT AFF
- INDOOR FAN COIL UNIT TO BE POWERED FROM OUTDOOR UNIT
- (2) WALL MOUNTED FAN COIL UNITS (F-2) IN 1ST FLOOR SPACE, SEE MECH PLAN
- WALL MOUNTED FAN COIL UNITS w/INTEGRAL CONDENSATE PUMP
- COORDINATE ACTUAL SYSTEM POWER REQUIREMENTS

LIGHTING FIXTURE SCHEDULE

TAG	LAMP(S)			FIXTURE DESCRIPTION	CATALOG SERIES	NOTES
	TYPE	WATTS	QTY			
A	LED	-	1	LED, HANGING, STANDARD OUTPUT 6.1 WATTS/FT, 3000K, WHITE POWDER COAT FINISH	VODE BOX RAIL CEILING CABLE MODEL 207	1
B	LED	-	1	LED, HANGING, STANDARD OUTPUT 12.7 WATTS/FT, 3000K, WHITE POWDER COAT FINISH	VODE WING RAIL CEILING CABLE MODEL 107	1
C	LED	30	1	LED PANEL 2'x2', SURFACE MOUNT, 3500K, WHITE	METALUX 22FP	1
D	LED	44	1	LED, 4' STRIP LIGHT w/LENS, SURFACE MOUNT, WHITE, 4000K,	METALUX 14FP	1
E	LED	15	1	LED, VANITY WALL SCONCE, WHITE, 3000K,	COORDINATE WITH TENANT	1
F	LED	8	1	LED, RECESSED, SOFFIT, 8" SQUARE, WHITE, 3500K, WET AREA LISTED	ELCO	1
				EXIT SIGN w/EMERGENCY LIGHTING, WHITE, RED LETTERS, LED, BATTERY	EXITRONIX VLED-EL90	1
				EMERGENCY LIGHTING REMOTE HEAD, WHITE, LED, WATERPROOF (EXTERIOR)	EXITRONIX MLED1	1

- COORDINATE WITH ARCHITECTURAL REFLECTED CEILING AND LIGHTING PLANS, PROVIDE PROPER MOUNTING ACCESSORIES.

ELECTRIC PANEL 'A'

F-1 / AC-1	120 / 208V		125A 1Ø		F-2 (2) / AC-2
	1	2	3	4	
	1	2	3	4	
	5	6	7	8	
	9	10	11	12	
HOT WATER TANK	20	13	14	20	
SERVER	20	13	14	20	SERVER
SERVER	20	15	16	20	LIGHTS/RECEPT - BASEMENT
WORK STATION	20	17	18	20	WORK STATION
WORK STATION	20	19	20	20	COPIER
RECEPTACLES	20	21	22	20	LIGHTS - WALLWASH
LIGHTS	20	23	24	20	REFRIGERATOR
COFFEE	20	25	26	20	MICROWAVE
RECEPTACLES	20	27	28		
		29	30		

ELECTRIC PANEL 'B'

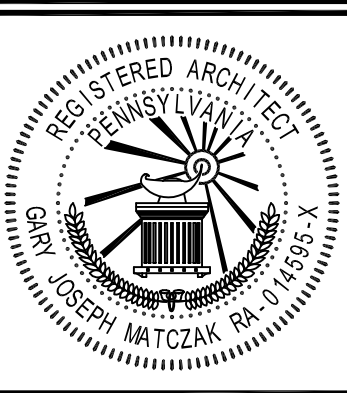
EXISTING	120 / 208V		125A 1Ø		EXISTING
	20	1	2	20	
EXISTING	20	3	4	20	EXISTING
EXISTING	20	5	6	20	EXISTING
EXISTING	20	7	8	20	EXISTING
EXISTING	20	9	10	20	EXISTING
		11	12		
		13	14		
		15	16		
		17	18		
		19	20		
		21	22		
		23	24		
		25	26		
		27	28		
		29	30		

ALL ELECTRICAL MATERIAL, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE LABELED AND LISTED BY A CERTIFIED TESTING LABORATORY OR AGENCY.

NOTE: THESE PLANS HAVE BEEN PREPARED IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, THE DESIGN PROFESSIONAL CANNOT ASSURE ITS ACCURACY, AND THUS IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS DRAWING OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT.

BIU/MAI PLAN REVIEW
ALL WORK MUST COMPLY
WITH PA UCC REGULATIONS
REVIEWED BY: WW 000414
DATE: 11/16/2022

GARY MATCZAK ARCHITECTS
814-836-8500
4509 WEST RIDGE ROAD
ERIE, PA 16506
ALTERATIONS to:
BOSTWICK DESIGN PARTNERSHIP / SUMNER NICHOLS
717 / 719 FRENCH STREET
ERIE, PENNSYLVANIA 16501



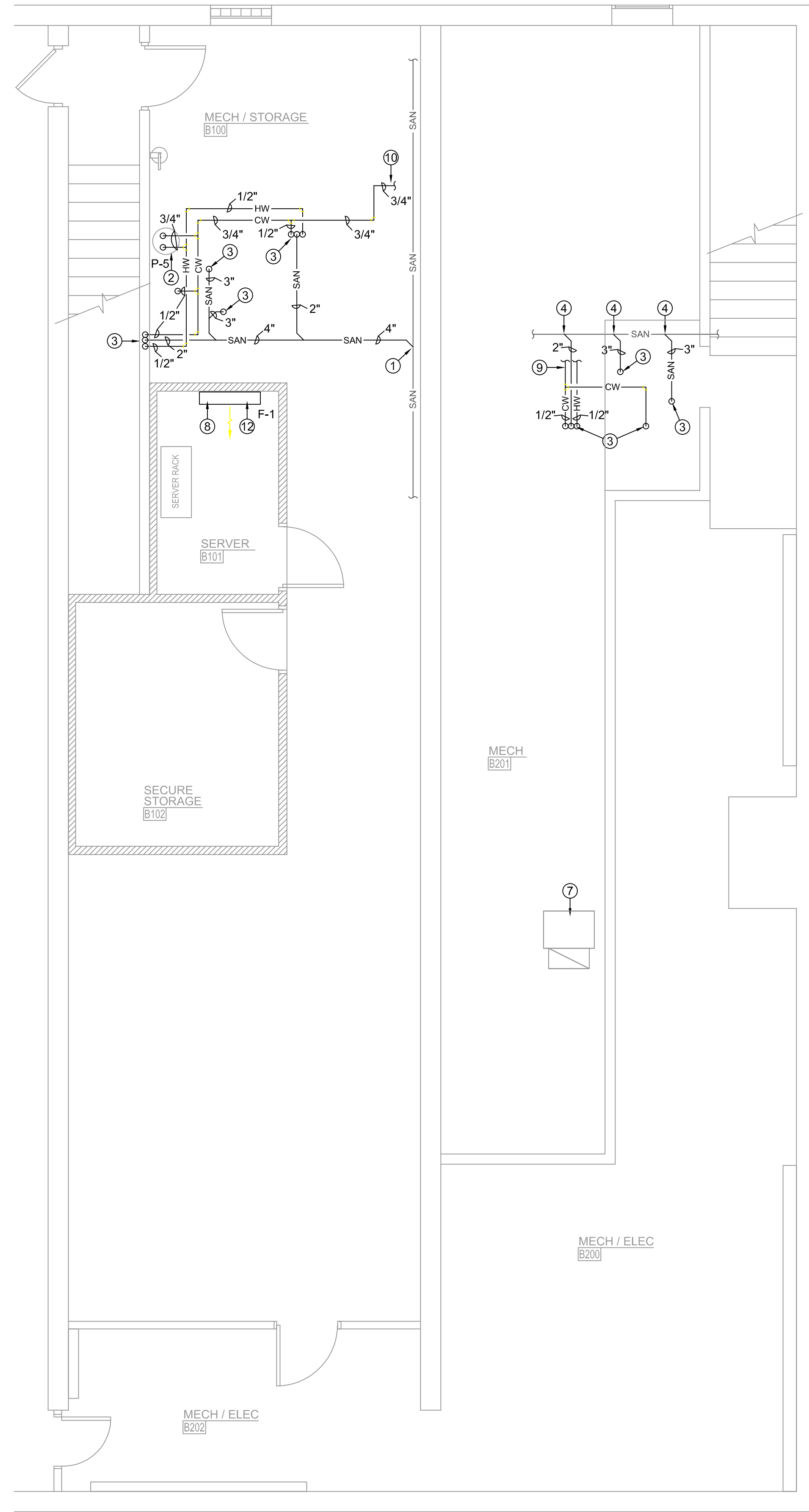
SCHEDULES NOTES

NO.	DATE	REVISION
1	11/16/22	

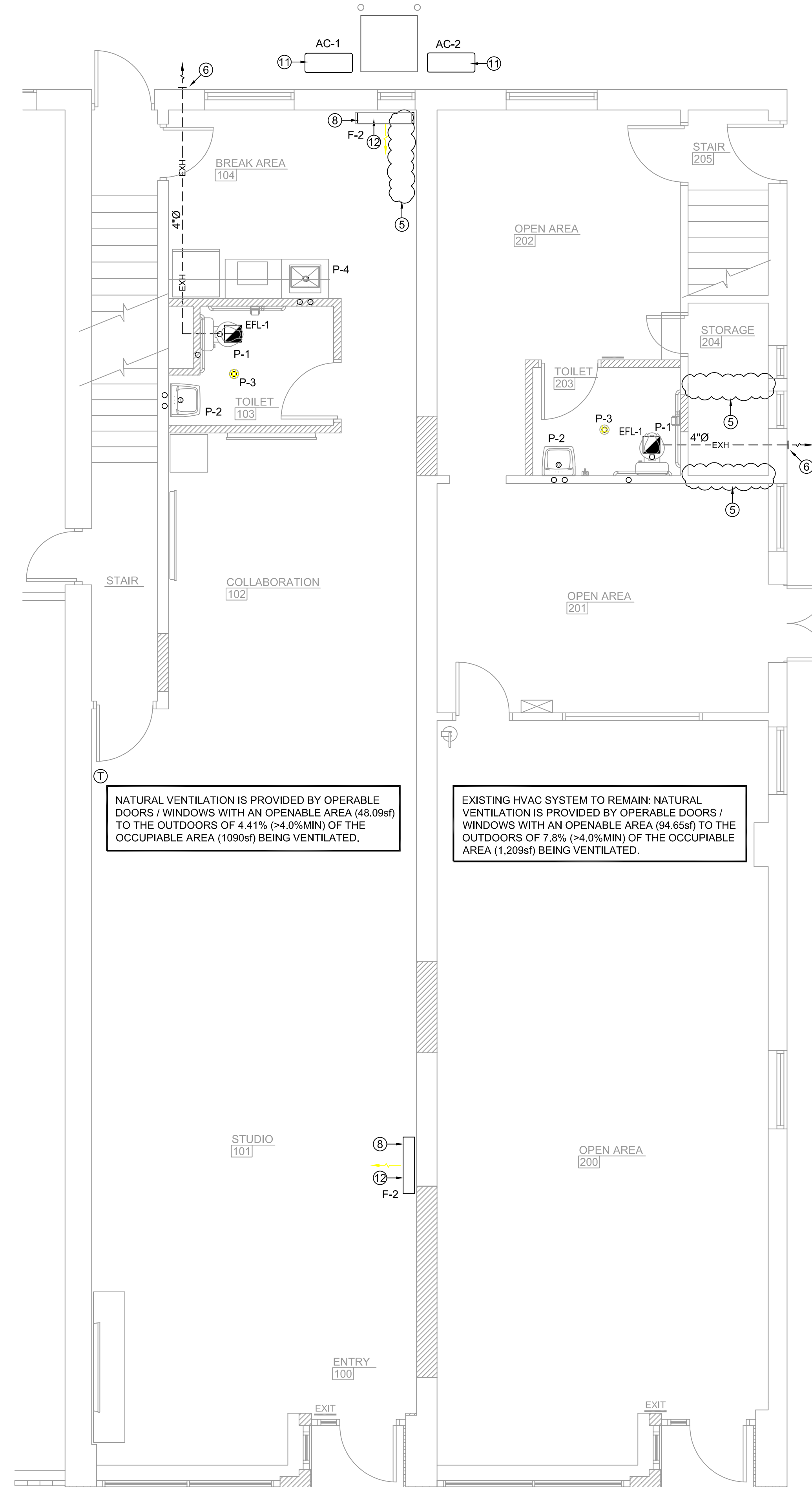
MPE 1

PROJECT NO. 2211
DATE JUNE 2022

\\matczak-cs4181\filestorage\GMA\Drawing Files\Current Projects\2211 - 717 French Street\2211-MP2.dwg Nov 17, 2022 - 3:04pm



BASEMENT MECHANICAL / PLUMBING PLAN
SCALE: 1/4" = 1'-0"



NATURAL VENTILATION IS PROVIDED BY OPERABLE DOORS / WINDOWS WITH AN OPENABLE AREA (48.09sf) TO THE OUTDOORS OF 4.41% (>4.0%MIN) OF THE OCCUPIABLE AREA (1090sf) BEING VENTILATED.

EXISTING HVAC SYSTEM TO REMAIN: NATURAL VENTILATION IS PROVIDED BY OPERABLE DOORS / WINDOWS WITH AN OPENABLE AREA (94.65sf) TO THE OUTDOORS OF 7.8% (>4.0%MIN) OF THE OCCUPIABLE AREA (1,209sf) BEING VENTILATED.

FIRST FLOOR MECHANICAL / PLUMBING PLAN
SCALE: 1/4" = 1'-0"

KEY NOTES - MECH / PLUMBING PLAN

- ① Connect to existing sanitary piping (located above floor slab), modify existing piping as required.
- ② Electric hot water tank on factory wall mount with pan. Branch to existing sanitary piping, safe waste as required.
- ③ Up to first floor plumbing fixture
- ④ Connect to existing sanitary piping this area, modify existing piping as required.
- ⑤ Existing plumbing fixtures to be removed this area. Existing water supply branches to be removed, valved and capped back at main water supply. Sanitary and venting system connections to be capped as required. Coordinate in field.
- ⑥ Vent / exhaust side wall discharge w/ weather protection.
- ⑦ Existing furnace to remain
- ⑧ Branch condensate discharge to closest sanitary / vent piping. Coordinate in field.
- ⑨ Connect to existing hot and cold water supply piping this area. Modify existing as required, coordinate in field.
- ⑩ Connect to existing cold water supply piping this area. Modify existing as required, coordinate in field.
- ⑪ Exact condensing unit mounting / location to be determined in field. Install and provide minimum clearances per manufacturer recommendations.
- ⑫ Wall mount fan coil unit (F-1, F-2) exact height / location to be determined in field. Install and provide minimum clearances per manufacturer recommendations. Coordinate with lighting fixtures.

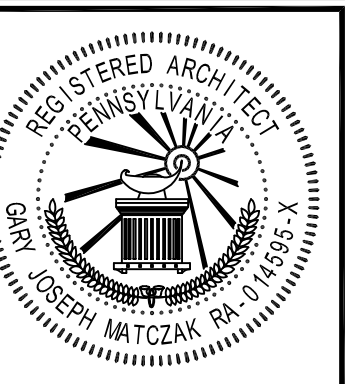
LEGEND

— SAN —	SANITARY PIPING
— HW —	HOT WATER PIPING
— CW —	COLD WATER PIPING
— EXH —	EXHAUST DUCT
⊕	FLOOR DRAIN
⊙	EXHAUST FAN/LIGHT

BIU / MAI PLAN REVIEW
ALL WORK MUST COMPLY
WITH PA UCC REGULATIONS
REVIEWED BY: WW 000414
DATE: 11/16/2022

GARY MATCZAK ARCHITECTS
 814-836-8500
 4509 WEST RIDGE ROAD
 ERIE, PA 16506

ALTERATIONS TO:
BOSTWICK DESIGN PARTNERSHIP / SUMNER NICHOLS
 717 / 719 FRENCH STREET
 ERIE, PENNSYLVANIA 16501



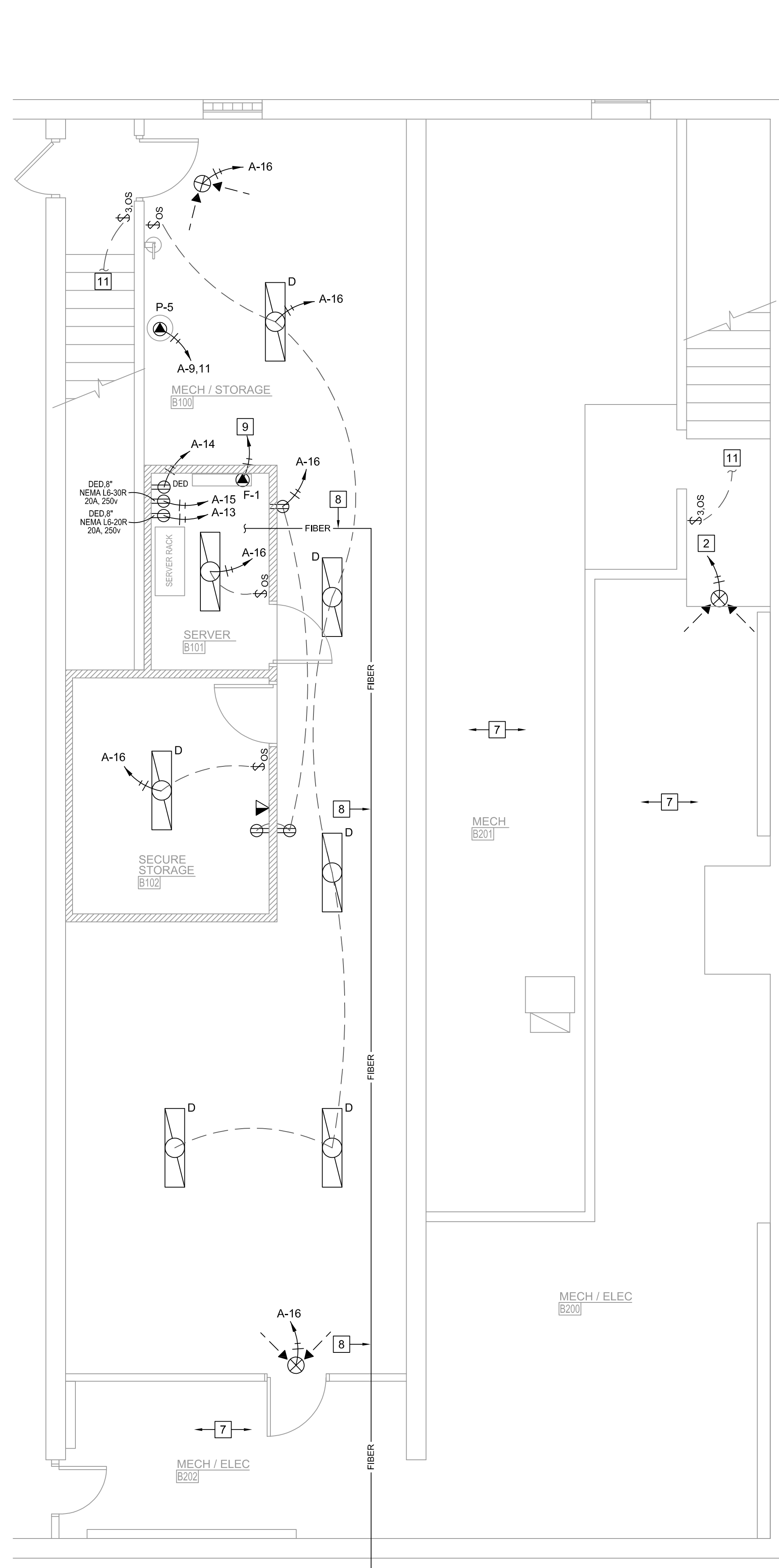
MECH / PLUMBING PLANS

NO.	DATE	REVISION
1	11/16/22	

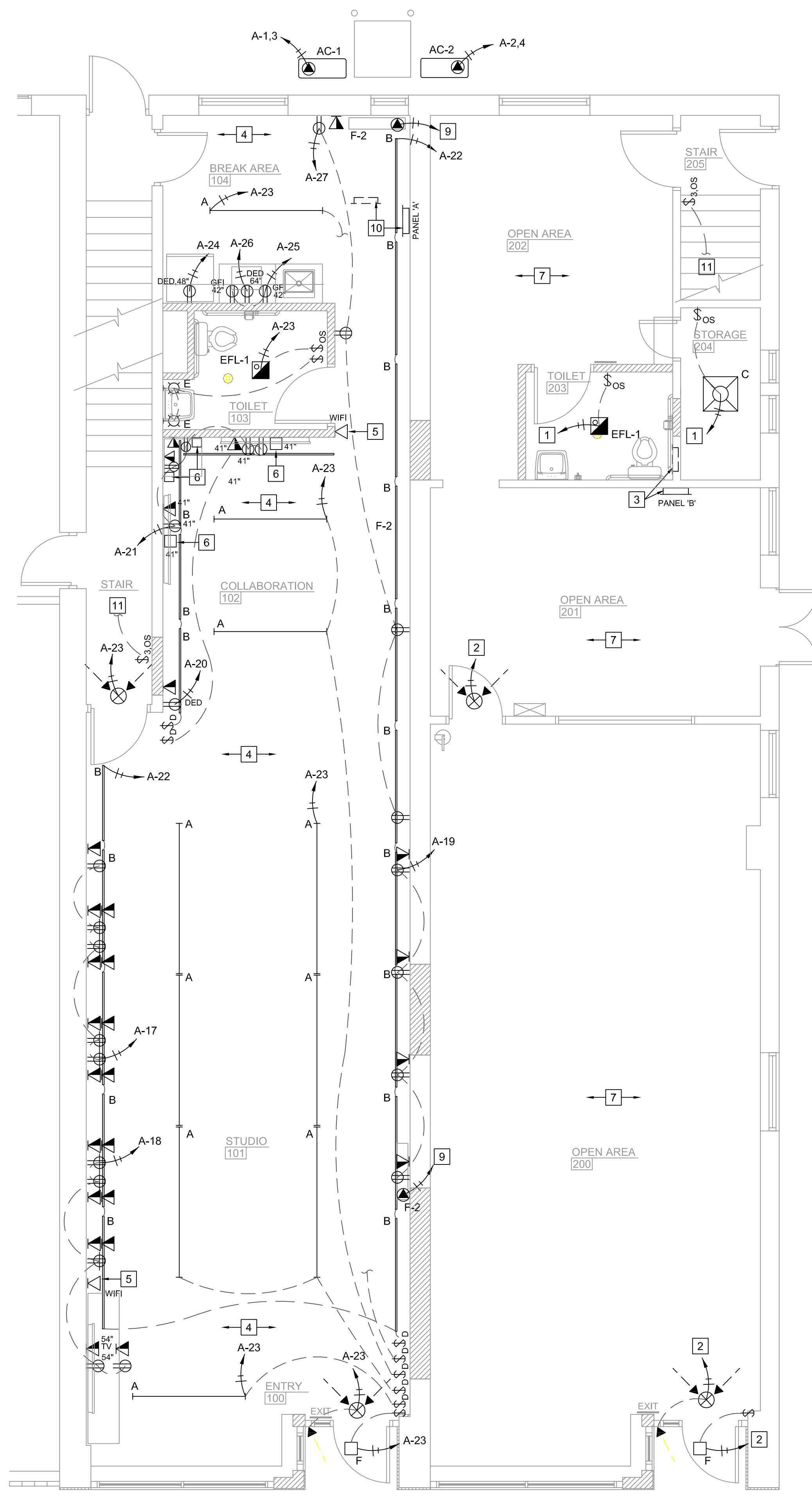
MP 2

PROJECT NO. 2211
DATE JUNE 2022

vmatczak-cs4181File Storage\GMA\Drawing Files\Current Projects\2211 - 717 French Street\2211-E2.dwg Nov 17, 2022 - 3:05pm



**BASEMENT
POWER / LIGHTING PLAN**
SCALE: 1/4" = 1'-0"



**FIRST FLOOR
POWER / LIGHTING PLAN**
SCALE: 1/4" = 1'-0"

- KEY NOTES - POWER / LIGHTING PLAN**
- 1 Connect to existing lighting circuit this area
 - 2 Connect to existing general lighting circuit this area
 - 3 Existing fused electrical panel to be removed and replaced with code compliant 120 / 208V 125A 1Ø Panel "B". Modify and reconnect existing circuit wiring to new panel as required, coordinate in field.
 - 4 Power, communication, and A/V devices to be wired using two piece steel surface raceway with compliant separate chambers. Legrand Wiremold 3000 Series Steel Raceways. Installed on tenant first floor perimeter walls.
 - 5 Network connection for POE WIFI APP, install 10" down from ceiling. Field verify exact location with tenant.
 - 6 Cable pass thru, field verify exact location with tenant.
 - 7 Existing general power / lighting to remain this area.
 - 8 Coordinate fiber optic system requirements (conduit, cable, components, etc) installation and location with Tenant.
 - 9 Indoor wall mount fan coil unit to be powered from outdoor unit per manufacturer recommendations.
 - 10 Existing fused electrical panel to be removed and replaced with code compliant 120 / 208V 125A 1Ø Panel "A". Coordinate in field.
 - 11 Connect switching to existing stair light fixture.

GENERAL NOTES - POWER / LIGHTING PLAN

CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS OF ALL ELECTRICAL AND DATA OUTLETS WITH TENANT PRIOR TO PROCEEDING WITH INSTALLATION.

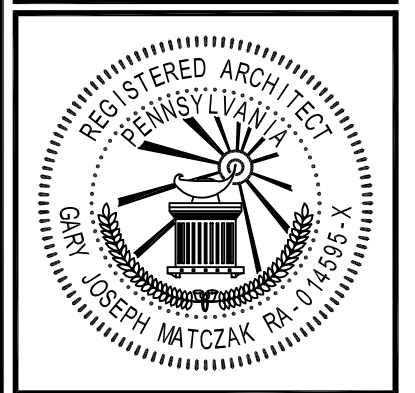
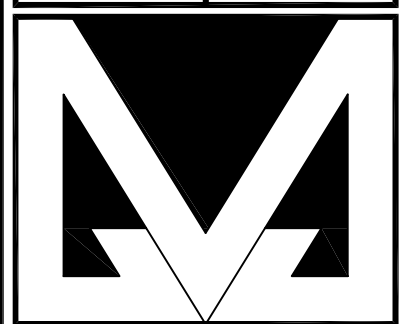
ALL ELECTRICAL MATERIAL, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE LABELED AND LISTED BY A CERTIFIED TESTING LABORATORY OR AGENCY.

LEGEND

	SURFACE MOUNT 2x2 LED
	HANGING LED BOX RAIL
	HANGING LED WALL WASH
	SWITCH
	SWITCH - OCCUPANCY SENSOR
	SWITCH - DIMMER
	SWITCH - 3 WAY
	EXHAUST FAN
	DUPLEX RECEPTACLE
	DOUBLE DUPLEX RECEPTACLE
	GROUND FAULT INTERRUPT
	HEIGHT ABOVE FINISHED FLOOR
	DATA CONNECTION
	WIFI NETWORK CONNECTION
	CABLE PASS THRU
	POWER CONNECTION

BIU / MAI PLAN REVIEW
 ALL WORK MUST COMPLY
 WITH PA UCC REGULATIONS
 REVIEWED BY: WW 000414
 DATE: 11/16/2022

GARY MATCZAK ARCHITECTS
 814-836-8500
 4509 WEST RIDGE ROAD
 ERIE, PA 16506
 ALTERATIONS to:
BOSTWICK DESIGN PARTNERSHIP / SUMNER NICHOLS
 717 / 719 FRENCH STREET
 ERIE, PENNSYLVANIA 16501



POWER/LIGHTING PLANS

NO.	DATE	REVISION
1	11/16/22	

E 2

PROJECT NO.	2211
DATE	JUNE 2022