



BUILDING DIVISION
Community Development Department
City of Burbank

WATER-CONSERVING PLUMBING FIXTURES
CERTIFICATE OF COMPLIANCE
 (For buildings built on or before Jan. 1, 1994)

Project Address: _____ Permit No: _____

I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.3, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.

Owner's Name: _____ Date: _____
 Owner's Signature: _____

SINGLE-FAMILY RESIDENTIAL

| | |
|----------------------|-----------------------|
| Fixture | CALGreen/ CPC |
| Water Closet | 1.28 gals/flush |
| Showerhead | 1.8 gals/min |
| Multiple Showerheads | 1.8 gals/min combined |
| Lavatory Faucet | 1.5 gals/min |
| Kitchen Faucet | 1.8 gals/min |

MULTI-FAMILY RESIDENTIAL

| | |
|--------------------------------|-----------------------|
| Fixture | CALGreen/ CPC |
| Water Closet | 1.28 gals/flush |
| Urinal | 0.5 gals/flush |
| Showerhead | 1.8 gals/min |
| Multiple Showerheads | 1.8 gals/min combined |
| Lavatory Faucet (within units) | 1.5 gals/min |
| Lavatory Faucet (common areas) | 0.5 gals/min |
| Kitchen Faucet | 1.8 gals/min |

NEW INSTALLATION OF GAS WATER HEATER SHALL HAVE ALL THE FOLLOWING AS PER 2019 CALIFORNIA ENERGY CODE 150.0(n):

1. A 120V ELECTRICAL RECEPTACLE IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE WITH NO OBSTRUCTIONS.
2. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN OUTSIDE TERMINATION AND THE WATER HEATER.
3. A CONDENSATE DRAIN NO MORE THAN 2 INCHES HIGHER THAN THE BASE ON WATER HEATER FOR NATURAL DRAINING.
4. A GAS SUPPLY LINE WITH CAPACITY OF AT LEAST 200,000 BTU/HR.

DIVERSION OF C&D DEBRIS: A MINIMUM OF 65% OF GENERATED DEBRIS SHALL BE RECYCLED, REUSED, OF DIVERTED FROM THE LANDFILL. A \$56.84 ADMINISTRATIVE FEE AND A REFUNDABLE DEPOSIT WILL BE COLLECTED AT THE TIME OF PERMIT ISSUANCE. THE DEPOSIT CAN BE REFUNDED IF RECYCLING RECEIPTS ARE SUBMITTED TO BUILDING DIVISION WITHIN 60 DAYS OF PERMIT FINAL (BMC 9-1-10-1012)

THE APPROVAL OF PLANS AND SPECIFICATION DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE STATE LAW.

CONSTRUCTION HOURS:

Effective January 1, 2008

THE APPROVED HOURS FOR CONSTRUCTION ACTIVITIES REQUIRING A BUILDING PERMIT IN **ALL** ZONES ARE:

Monday- Friday 7:00 a.m. - 7:00 p.m.
Saturday 8:00 a.m. - 5:00 p.m.
Sunday & City Holidays Not Permitted

EXCEPTION TO HOURS: HOMEOWNERS WHO ARE PERFORMING THEIR OWN CONSTRUCTION (NO CONTRACTORS OR EMPLOYEES) MAY WORK SUNDAYS AND CITY HOLIDAYS 8:00 a.m. TO 5:00 p.m.

City Holidays: New Year's Day, Martin Luther King Day, Presidents' Day, Memorial Day, Independence Day, Labor Day, Veterans' Day, Thanksgiving Day, Day after Thanksgiving, Christmas Day

Burbank Municipal Code Section 9-1-1A-105.8

GENERAL NOTES:

1. All construction shall comply with the 2019 edition of the CBC, CRC, CMC, CPC, and CEC as adopted and amended by the State of California in Title 24 CCR and this jurisdiction.
2. Separate permits may be required for mechanical, electrical, plumbing, shoring, grading, and demolition.
3. All property lines, easements, and existing buildings have been indicated on this site plan.
4. A security fence shall be provided around the construction area that shall be installed prior to excavation and/or foundation trenching. (BMC 9-1-1-3302.3)
5. Water shall be provided on the site and used to control dust.
6. Temporary toilet facilities shall be provided on site. (BMC 9-1-1-3305)
7. The finish grade shall slope a min. of 5%, or 6", to a point 10 feet from building foundation, or to an approved alternate method of diverting water away from the foundation. Swales shall slope a minimum of 2%. (CRC R401.3)
8. The top of the exterior foundation shall extend above the elevation of the street gutter a minimum of 12" plus 2%. (CRC R403.1.7.3)

STORM WATER MANAGEMENT NOTES:

1. Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or winds.
2. Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
4. Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
5. Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
6. Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
7. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way.
8. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
9. Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
10. Schedule construction activity to reduce area and duration of soil exposed to erosion by wind, rain, runoff and vehicle tracking.

BACKWATER VALVE TO BE INSTALLED ON PRIVATE BUILDING SEWER PER BMC 8-1-313 AND REQUIREMENTS OF THE CITY'S CDD-BUILDING DEPARTMENT. IT IS NOTED AND ACKNOWLEDGED THAT CITY STAFF WILL NOT SIGN OFF ON THE FINAL BUILDING PERMIT APPROVAL AND/OR CERTIFICATE OF OCCUPANCY UNTIL THE OWNER/DEVELOPER PROVIDES PROOF THAT THE BACKWATER VALVE(S) HAVE BEEN INSTALLED.

NOTE: PROVIDE ON COVER SHEET IN BOLD LETTER TO CALL "DIG ALERT" PRIOR TO ANY GROUND WORK OR EXCAVATION.

- NOTE:
1. UNFIRED TANKS SHALL HAVE A MINIMUM R-12 INSULATION
 2. R-7.7 INSULATION SHALL BE INSTALLED ON THE FIRST 5 FEET OF HOT AND COLD WATER PIPES.
 3. ALL HOT WATER PIPING 3/4" OR LARGER, FROM THE WATER HEATER TO THE KITCHEN FIXTURES, SHALL HAVE R-7.7 INSULATION.

EFFECTIVE JANUARY 1, 2017 NEW INSTALLATION GAS WATER HEATER SHALL HAVE ALL THE FOLLOWING AS PER 2016 ENERGY STANDARDS 150.0 (N):

- 1) A 120V ELECTRICAL RECEPTACLE IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE WITH NO OBSTRUCTIONS
- 2) A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN OUTSIDE AND WATER HEATER.
- 3) A CONDENSATE DRAIN NO MORE THAN 2 INCHES HIGHER THAN THE BASE ON WATER HEATER FOR NATURAL DRAINING.
- 4) A GAS SUPPLY LINE WITH CAPACITY OF AT LEAST 200,000 BTU/HR.

NOTE: PARTIAL DEMOLITION OF RESIDENTIAL STRUCTURE IN ASSOCIATION WITH CONSTRUCTION PROJECT IS ONLY PERMITTED WHERE INDICATED ON THE APPROVED PLANS. ANY DEMOLITION WORK BEYOND THAT SHOWN ON THE APPROVED PLANS MAY RESULT IN A STOP WORK ORDER (CBC APPENDIX CHAPTER 1 SEC. 105.6). ADDITIONAL DEMOLITION WORK MAY ALSO REQUIRE COMPLIANCE WITH BURBANK MUNICIPAL CODE SEC.10-1-1810 IF MORE THAN 50% OF THE STRUCTURE IS DEMOLISHED. RESIDENTIAL DEMOLITION

A minimum 65% of generated debris shall be recycled, reused, or diverted from the landfill. A \$ 60.05 administrative fee and a refundable deposit will be collected at the time of permit issuance. The deposit can be refunded if recycling receipts are submitted to Building Division within 60 days of permit final (BMC 9-1-11-1012).

OWNER:
 PHONE:
 ADDRESS:

PV SYSTEM INSTALLATION REQUIRED (UNDER SEPARATE PERMIT)
 Required capacity of the PV system (3.42 kWdc)

No any accessory structures as a part of this Project.

| ITEMS | SPECIAL INSPECTOR |
|---|----------------------|
| CONCRETE OVER 3,000 PSI | |
| BOLTS INSTALLED IN CONCRETE | |
| SPECIAL MOMENT-RESISTING CONCRETE FRAME | |
| REINFORCING STEEL AND STEEL TENDONS | |
| STRUCTURAL WELDING | |
| HIGH-STRENGTH BOLTING | |
| STRUCTURAL MASONRY | |
| REINFORCED GYPSUM CONCRETE | |
| INSULATING CONCRETE FILL | |
| SPRAY-APPLIED FIRE RESISTIVE MATERIALS | |
| PILING, PIERS, AND CAISSONS | |
| SHOTCRETE | |
| SPECIAL GRADING, EXCAVATION, AND FILL | |
| SMOKE CONTROL SYSTEM | |
| OTHER | SIMPSON SET-XP EPOXY |

APPLICABLE CODES

- 2023 Burbank Municipal Residential Code
- 2022 California Residential Code (CRC)
- 2022 California Mechanical Code (CMC)
- 2022 California Electrical Code (CEC)
- 2022 California Plumbing Code (CPC)
- 2022 California Green Building Code (CALGreen)
- 2022 California Energy Code

Section 1.1.7.3.1 of the CBC and the CRC states that detached one- and two-family dwellings may be designed and constructed in accordance with the CBC or the CRC, but not both, unless the proposed structure or element exceeds the design limitations established in the CRC, and the code user is specifically directed by the CRC to use the CBC.

EXISTING NONCOMPLIANT PLUMBING FIXTURE REPLACEMENT REQUIREMENT:

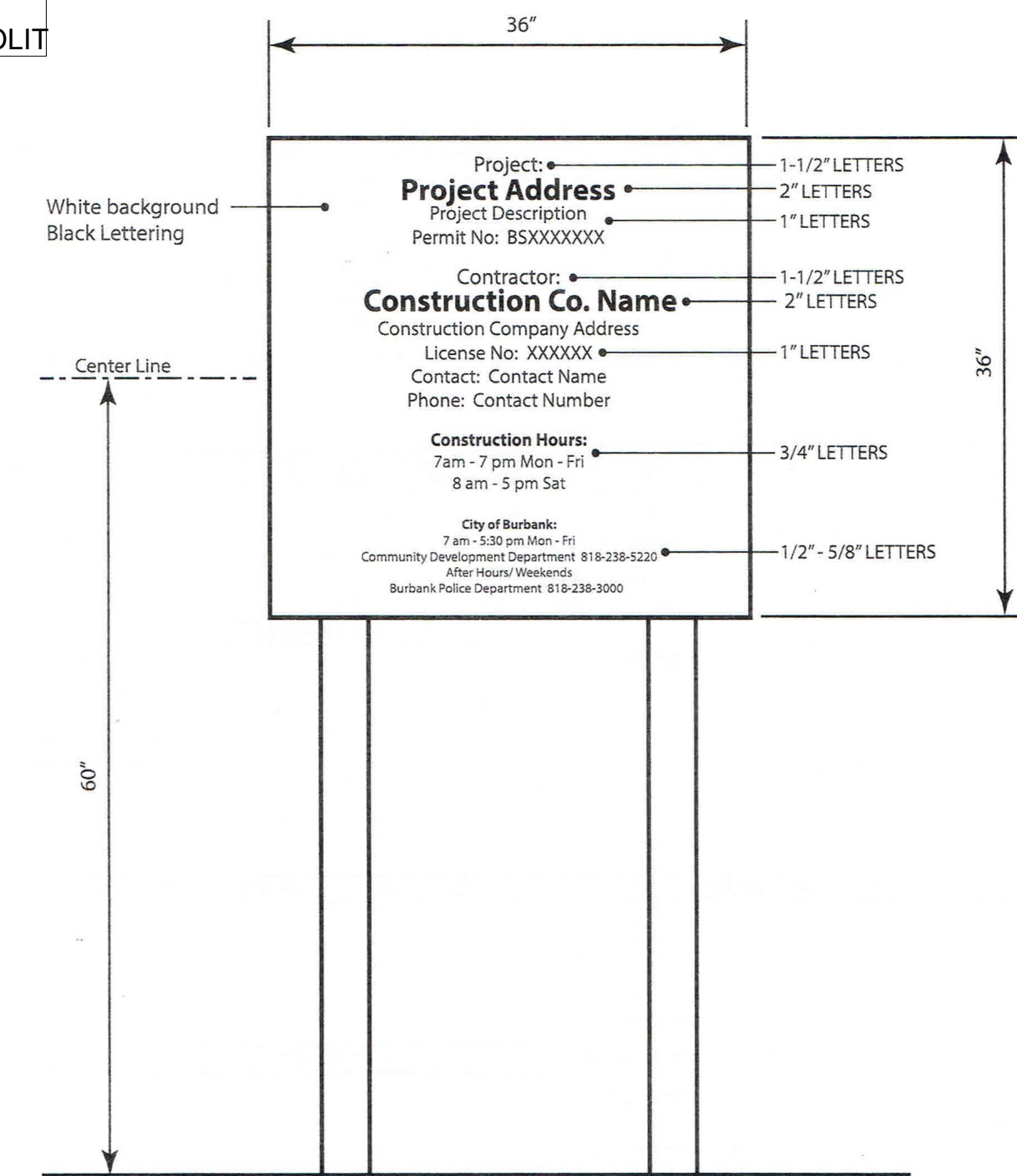
SENATE BILL 407 (SB 407) REQUIRES NONCOMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATERCONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS BILL APPLIES TO ALL SINGLE-FAMILY RESIDENTIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS CONSTRUCTED ON OR BEFORE JANUARY 1, 1994. FIXTURES INCLUDE WATER CLOSETS, URINALS, SHOWERHEADS, LAVATORY FAUCETS, AND KITCHEN FAUCETS. NONCOMPLIANT FIXTURES CAN ONLY BE REPLACED BY FIXTURES COMPLYING WITH THE REQUIREMENTS OF CALGREEN AND THE CALIFORNIA PLUMBING CODE.

THE WATER-CONSERVING PLUMBING FIXTURE CERTIFICATE OF COMPLIANCE MUST BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO THE FINAL BUILDING INSPECTION.

BUILDING MAINTENANCE AND OPERATION SEC.4.410
 BUILDING MANUAL: AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, OR OTHER APPROVED MEDIA SHALL BE PLACE IN THE BUILDING THAT CONTAINS THE INFORMATION SPECIFIED IN CALGREEN SEC.4.410.

Obtain the Demolition Permit secured by an appropriate classed California licensed contractor authorized to perform demolition work by the California Contactor State Licensed Board. All required documents and fees shall be present for the issuance of the Demolition Permit. Fees may be applicable from project Conditions of Approval.

- Following the issuance of the demolition permit but prior to start of demolition work, an onsite pre-construction meeting is required between the demolition contractor and City Building Inspector.
- Appropriate fencing and/or construction guards related to demolition work shall be in place prior to the commencement of any work
- The required construction sign shall be posted on site with contact information of the contractor and project manager.
- Best Management Practices and Storm Water Pollution Prevention Plan (SWPPP). Best Management Practices and for projects greater than one acre, Storm Water Pollution Prevention Plan (SWPPP) shall be in place during and after demolition work. A permanent source of water on site must be available that will allow dust control. Recycled water shall be used for this purpose.
- Rodent and insect abatement be performed, and the proof of such abatement must be presented to the building inspector prior to start of demolition



PROJECT SIGN

1. Sign location: Front of project site facing the street. Sign cannot encroach into the public right-of-way (sidewalk and parkway).
2. Sign may be mounted independently or on the construction fence.



ENGINEER CONTRACTOR

VGL DEVELOPMENT INC.

GOR VARDANYAN
 ADD: 3208 HONOLULU AVE
 GLENDALE, CA 91214
 Tel.: (818) 284-2444
 E-mail: info@EngineerContractor.com
 WEB: ENGINEERCONTRACTOR.COM

STAMP:

482 E SANTA ANITA AVE, BURBANK, CA 91501

COVER SHEET

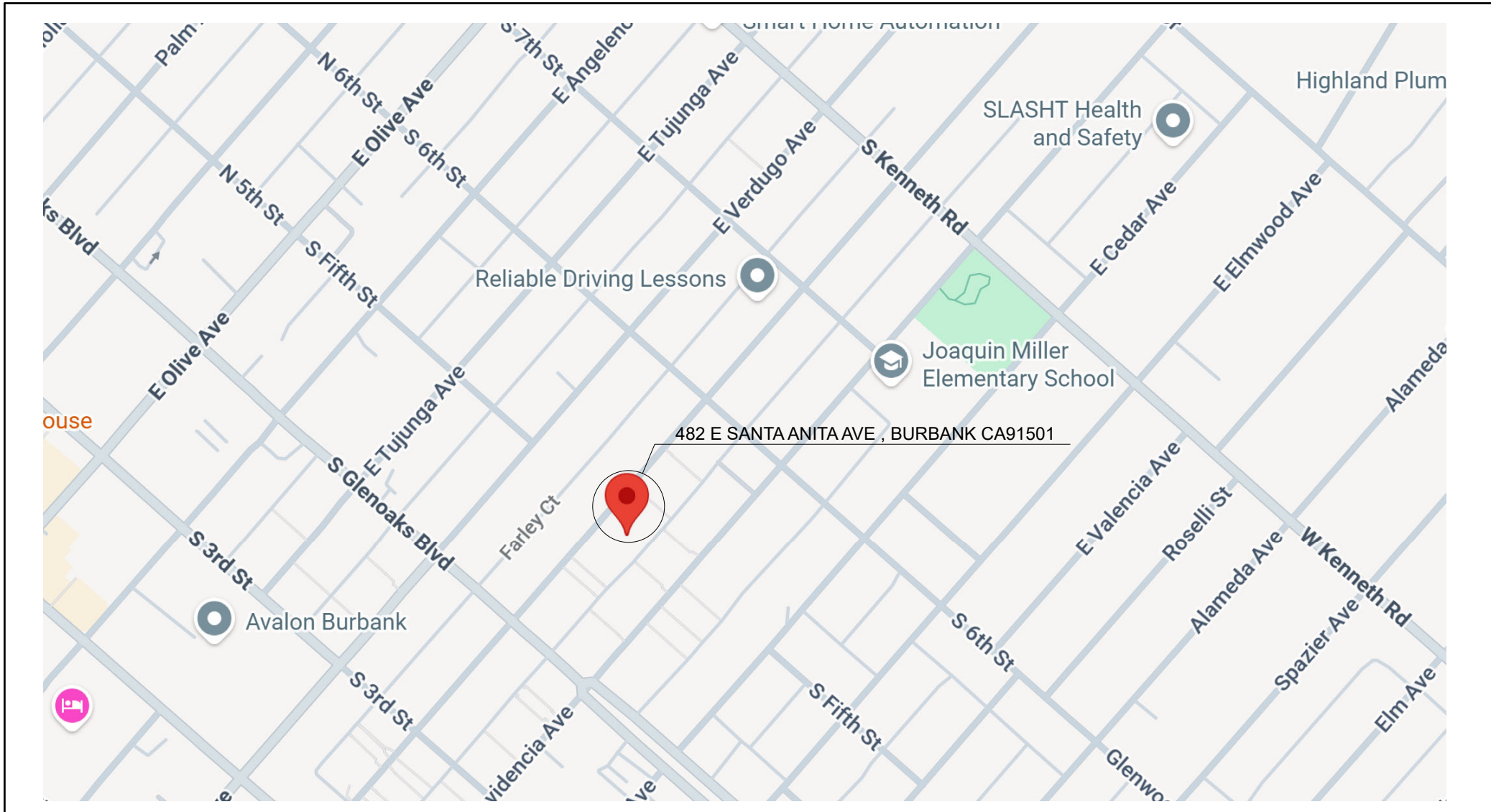
1 1ST B.D. SUBMITTAL
 11-18-2024 GV

PROJECT #: 26001
 PLOT DATE: 10-28-2026
 DRAWN BY: VH
 CHECKED BY: GV

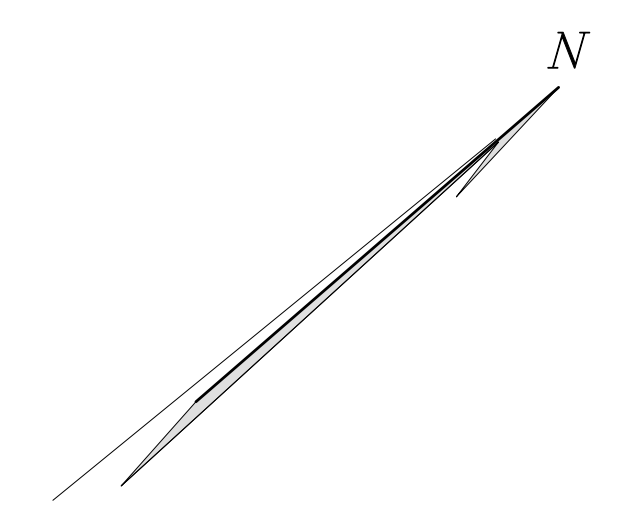
ALL IDEAS, ARRANGEMENTS AND DESIGN CONCEPTS ARE PROPRIETARY TO VGL DEVELOPMENT, INC. AND SHALL NOT BE USED OR REPRODUCED IN PART OR IN WHOLE WITHOUT THE EXPRESS PERMISSION IN WRITING BY VGL DEVELOPMENT, INC.

SHEET:

A-0

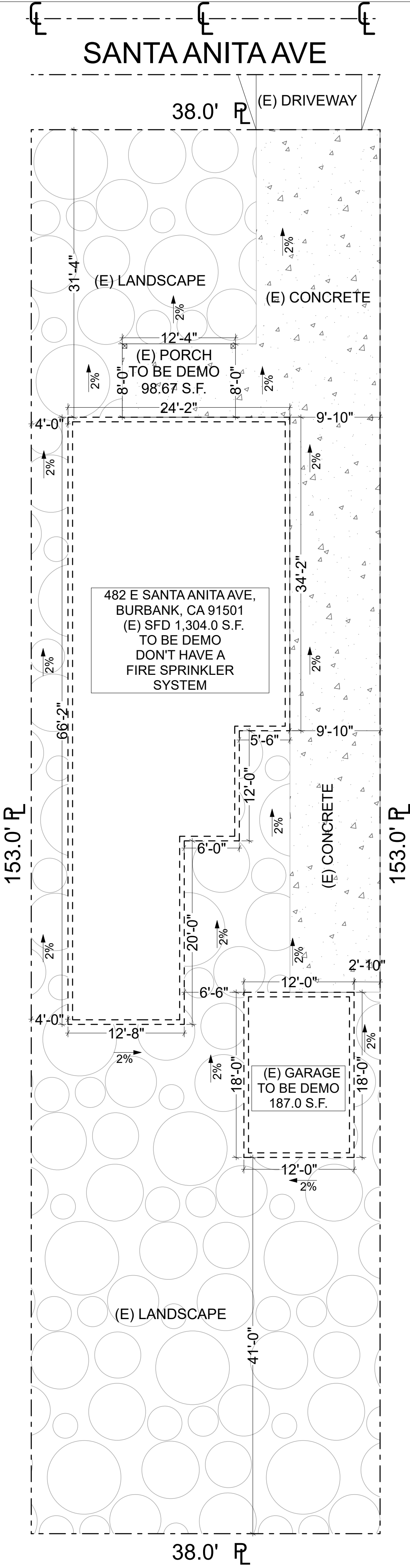


1ST FLOOR LINE - - - - -
 2ND FLOOR LINE - - - - -

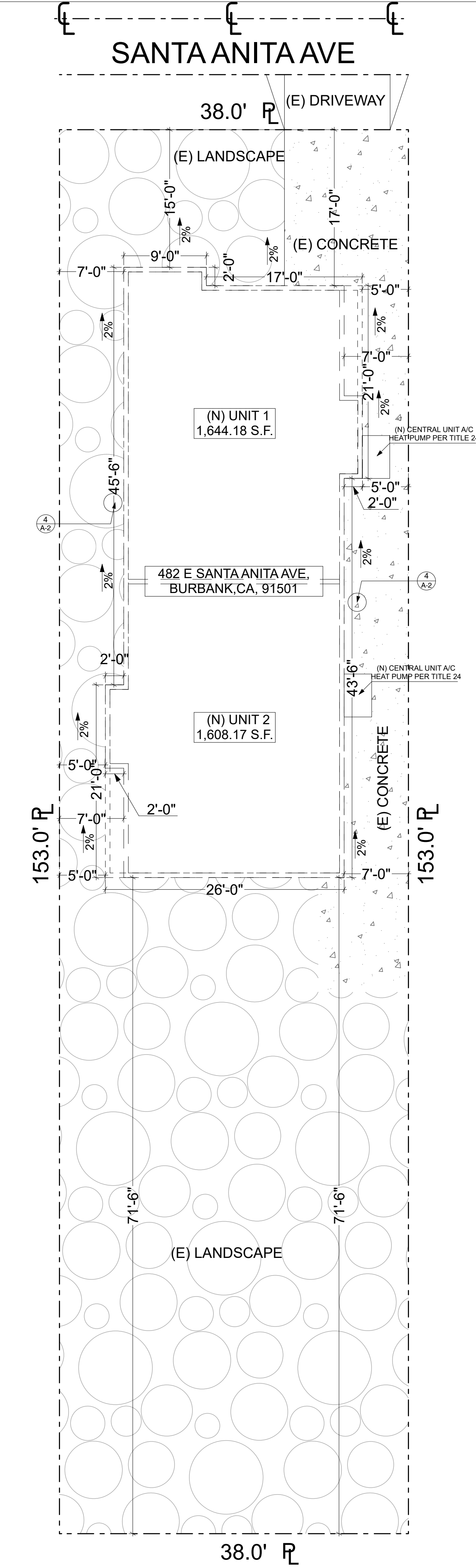


| | |
|---|--|
| SCOPE OF WORK: | |
| (E) SFD AND GARAGE DEMO; (N) 2 STORY UNIT 1 - 3 BEDROOM 3 BATHROOM 1,644.18 S.F.; (N) 2 STORY UNIT 2 - 3 BEDROOM 3 BATHROOM 1,608.17 S.F. | |
| LEGAL DESCRIPTION: | |
| SITE ADDRESS: | 482 E SANTA ANITA AVE , BURBANK, CA, 91501 |
| ASSESSOR IDENTIFICATION No. (AIN): | 2455-003-019 |
| TRACT | 3659 |
| BLOCK: | NONE |
| LOT: | 19 |
| CONSTRUCTION TYPE: | V-B |
| OCCUPANCY GROUP: | R-3/U |
| ZONING: | R-4 |
| NUMBER OF STORIES | 2 |
| PROPOSED HEIGHT | 26'-0" |
| DOUBLE PLATE HEIGHT | 20'-8" |
| NUMBER OF DWELLING UNITS | 2 |
| FIRE SPRINKLERS | NO |
| NUMBER OF PARKING SPACES | 0 |
| FIRE ZONE | NO |
| METES AND BOUNDS | 38' X 153.0' = 5,814.0 |
| PROPOSED BUILDING | 6 BED.; 6 BATH. |


| AREA INFORMATION : | | SHEET INDEX: | |
|----------------------------|---------------|--------------|----------------------------------|
| LOT AREA | 5,814.0 S.F. | A-0 | COVER SHEET |
| (E) SFD (TO BE DEMO) | 1,304.0 S.F. | A-1 | EXISTING AND PROPOSED SITE PLANS |
| (E) GARAGE (TO BE DEMO) | 216.0 S.F. | A-2 | PROPOSED 1ST FLOOR PLAN |
| (E) PORCH (TO BE DEMO) | 98.67 S.F. | A-3 | PROPOSED 2ND FLOOR PLAN |
| FIRST FLOOR AREA (UNIT 1) | 834.18 S.F. | A-4 | PROPOSED ROOF PLAN |
| SECOND FLOOR AREA (UNIT 1) | 810.0 S.F. | A-5 | PROPOSED ELEVATIONS |
| TOTAL FLOOR AREA (UNIT 1) | 1,644.18 S.F. | A-6 | PROPOSED ELEVATIONS |
| FIRST FLOOR AREA (UNIT 2) | 816.0 S.F. | A-7 | SECTIONS |
| SECOND FLOOR AREA (UNIT 2) | 792.17 S.F. | | |
| TOTAL FLOOR AREA (UNIT 2) | 1,608.17 S.F. | | |



EXISTING SITE PLAN
 SCALE: 1/8" = 1'-0"



PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"


 ENGINEER CONTRACTOR

VGL DEVELOPMENT INC.
 GOR VARDANYAN
 ADD: 3028 HONOLULU AVE
 GLENDALE, CA 91214
 TEL: (626) 984-2942
 Email: info@EngineerContractor.com
 WEB: ENGINEERCONTRACTOR.COM

STAMP:

482 E SANTA ANITA AVE, BURBANK, CA 91501
EXISTING AND PROPOSED SITE PLANS

- 1 1ST B.D. SUBMITTAL 11-15-2024 GV
- △
- △
- △
- △
- △

PROJECT #: 24038
 PLOT DATE: 10-28-2024
 DRAWN BY: VH
 CHECKED BY: GV

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SHEET:
A-1

NOTE:

1. An approved carbon monoxide alarm shall be installed for existing buildings and new construction when the dwelling unit contains a fuel-fired appliance, fireplace, and/or an attached garage with an opening that communicates with the dwelling.
2. CO alarms shall be hard wired and shall be equipped with battery backup.
3. CO alarms shall be listed for compliance with UL 2034, UL 217, UL 2075, and maintained per NFPA 72.
4. CO alarms shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of a dwelling unit including basement.
5. CO alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
6. In existing dwelling unit, a CO alarm is permitted to be battery operated where repair or alteration do not result in the removal of wall or ceiling finishes

NOTE:

1. An approved smoke alarm shall be installed for new construction and alteration, repair or additions requiring permit exceeding \$1000.
2. Battery operated smoke alarms permitted in existing buildings where no construction is taking place or in building undergoing alteration or repair that do not result in the removal of interior walls or ceiling finishes, unless there is an attic, crawl space or basement which could provide access for wiring.
3. Smoke alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
4. Smoke detectors shall be hard wired and shall be equipped with battery backup.
5. Smoke alarms shall comply with specific location requirements per NFPA 72 Section 29.8.3.4.

New installation of gas water heater shall have all the following as per 2022 California Energy Code 150.0(n):

1. A 120V electrical receptacle is within 3 feet from the water heater and accessible with no obstructions.
2. A Category III or IV vent, or a Type B vent with straight pipe between outside termination and the water heater.
3. A condensate drain no more than 2 inches higher than the base on water heater for natural draining.
4. 4) A gas supply line with capacity of at least 200,000 Btu/hr.
5. Unfired tanks shall have a minimum R-12 insulation
6. R-7.7 insulation shall be installed on the first 5 feet of hot and cold-water pipes.
7. All hot water piping ¾" or larger, from the water heater to the kitchen fixtures, shall have R-4 insulation

Fuel-burning water heaters installed in bedrooms or bathrooms shall be in a closet used exclusively for the water heater and separated with a gasketed, self-closing door. All combustion air shall be obtained from the exterior. The water heater shall be a direct-vent type. (CPC 504.1).

NOTE: Smoke alarms shall comply with specific location requirements per NFPA 72 Section 29.8.3.4.

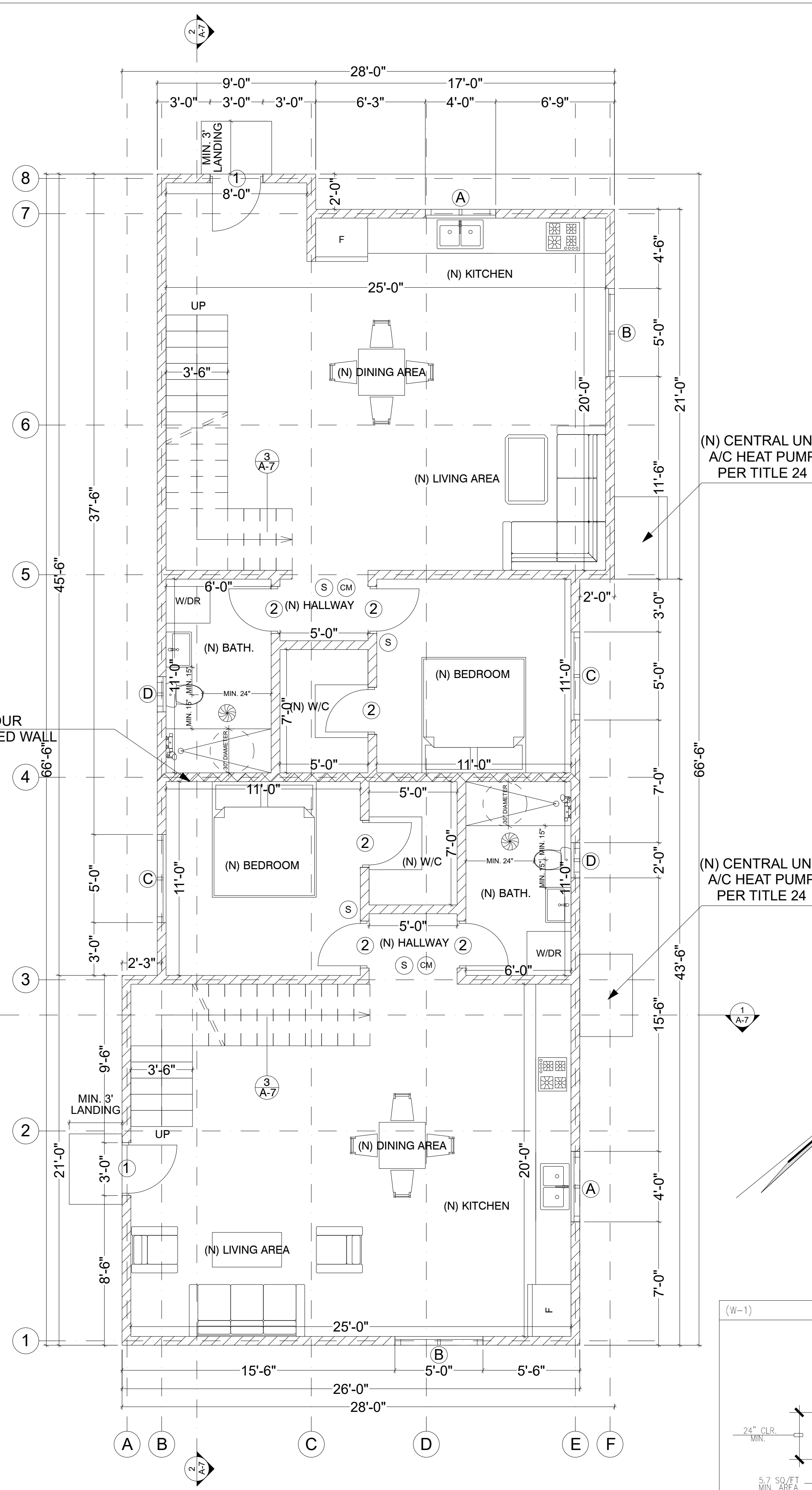
ALL DOORS AND WINDOWS SHALL MEET CITY OF BURBANK SECURITY ORDINANCE

WINDOW SCHEDULE

| WINDOW | OPENING SIZE (W x H) | MATERIAL | LOCATION | TYPE | DUAL GLAZED | TEMPERED GLASS | FRAME | U-FACTOR SHGC | 20 MIN. FIRE RATED |
|--------|----------------------|----------|-------------|---------|-------------|----------------|-------|------------------------|--------------------|
| A | 4'-0" x 5'-0" | VINYL | KITCHEN | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| B | 5'-0" x 6'-0" | VINYL | DINING AREA | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| C | 5'-0" x 6'-0" | VINYL | BEDROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| D | 2'-0" x 3'-0" | VINYL | BATHROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| E | 5'-0" x 5'-0" | VINYL | BEDROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| F | 3'-0" x 2'-0" | VINYL | BATHROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |

DOOR SCHEDULE

| DOOR | DOOR SIZE (W x H) | MATERIAL | THICKNESS | LOCATION | TYPE | DUAL GLAZED | TEMPERED GLASS | REMARKS |
|------|-------------------|----------|-----------|----------|--------|-------------|----------------|---------|
| 1 | 3'-0" x 9'-0" | WOOD | | EXTERIOR | SINGLE | | | |
| 2 | 2'-8" x 8'-0" | WOOD | | INTERIOR | SINGLE | | | |



PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1' = 0"

FLOOR PLAN KEYNOTES:

- S** SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 120V HARD WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: EACH BEDROOM, OC CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION), WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CRC R314)
- CM** AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOMS AND ONE ON EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE.(CRC R315.1)
- +** 50 CFM INTERMITTENT VENTILATION BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. 4.506.1
- A** SEE WINDOW SCHEDULE ON A-3
- 1** SEE DOOR SCHEDULE ON A-3
- 001** ALL WATER CLOSET SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH.
- 002** HOT-MOP SHOWER PAN WITH CERAMIC TILE WAINSCOT UP TO CEILING, (SEE FLOOR PLAN FOR SIZE OF SHOWER), PROVIDE SHITTER/OFF GLASS ENCLOSURE. PROVIDE SOAP DISH AT TUB AND SHOWER.
- 003** ALL SHOWERS AND TUB- SHOWER SHALL HAVE EITHER A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
- 004** PROVIDE 72" HIGH NON-ABSORBENT WALL FINISH ADJACENT TO SHOWER.
- 005** MINIMUM DIMENSION OF SHOWER TO BE 1024 SQ. INCH WITH 7" DIAMETER CLEAR.
- 006** PROVIDE TEMPERED GLASS ON DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5'-0" OF STANDING SURFACE).
- 007** 2x6 STUDS AT 16" O.C.PLUMING WALL.
- 008** G.F.I. OUTLET
- 009** PROVIDE SOUND INSULATION AT ALL BATHROOM & LAUNDRY ROOM WALLS.
- 0010** HYBRID HIGH EFFICIENCY TANK ELECTRIC HEAT PUMP WATER HEATER (PER TITLE 24) DETAIL #3 PAGE A-2
- 0011** GLAZING IN EXTERIOR DOORS OR 40 INCHES OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS. OR RATED BURGLARY RESISTANT GLAZING.
- 0012** A MINIMUM OF 22"x30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM.
- 0013** R-4 INSULATION SHALL BE INSTALLED ON THE FIRST 5 FEET OF HOT AND COLD WATER PIPES.
- 0014** (N)WATER HEATER
- 0015** (NEW) HVAC UNIT IN THE ROOF
- 0016** A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED DRYER EXHAUST DUCT IS LIMITED TO 14' WITH TWO 90°ELBOWS. A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6'-0" AND CANNOT BE CONCEALED.
- 0017** NEW WASHER AND DRYER
- 0018** NEW COUNTER W/ CABINETS ABV.
- 0019** NEW REFRIGERATOR BY OWNER
- 0020** NEW SINK BY OWNER
- 0021** NEW STOVE BY OWNER
- 0022** NEW DISHWASHER BY OWNER
- 0023** NEW FULL HEIGHT CABINETS
- 0024** (E)ELECTRIC METER
- 0025** WASHER/DRYER SPACE. ROUGH-IN PLUMBING FOR HOT/COLD WATER & WASTE. VENT DRYER TO OUTSIDE AIR. PROVIDE 120V & 220V ELEC. OUTLET AND FUEL GAS OUTLET.
- 0026** 12"x12" MINIMUM PLUMBING ACCESS FOR TUBS.
- 0027** A WALL SWITCH FOR STAIRWAY

WALL LEGEND:

- 1 HR. FIRE RATED & STR 50 SOUND RATED WALLS

GENERAL LEGEND:

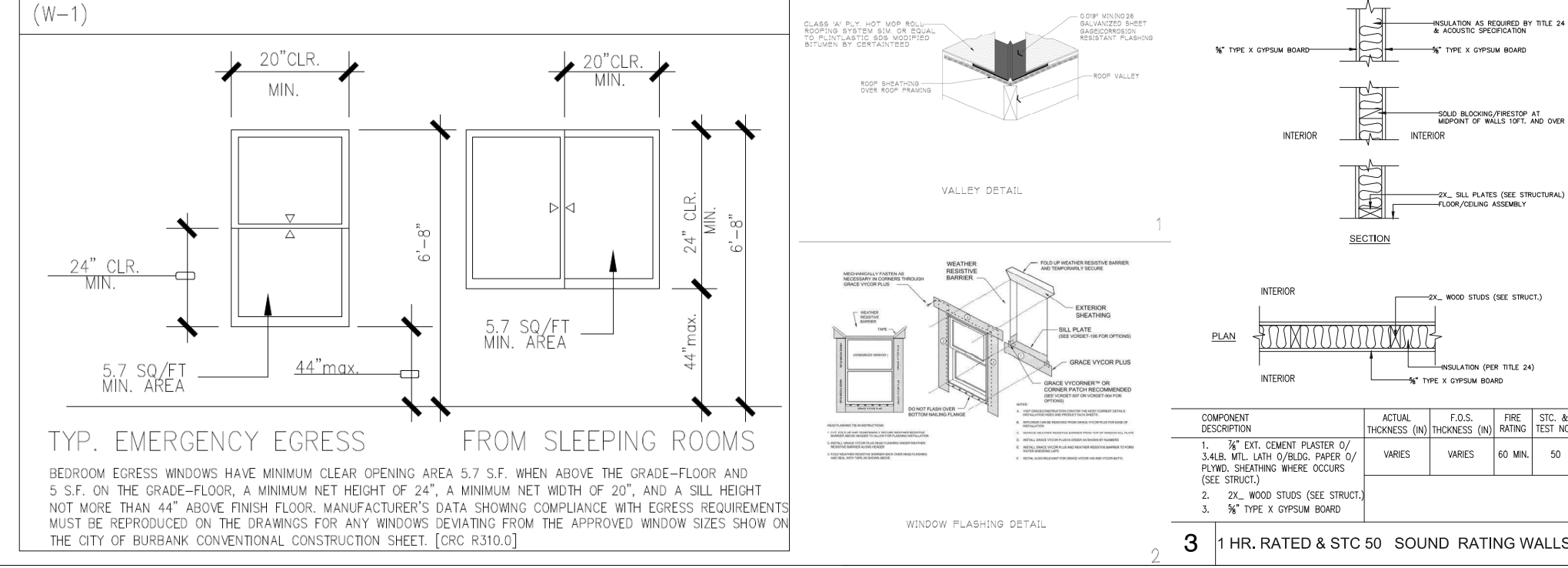
- (E) = EXISTING ELEMENT
- (N) = NEW ELEMENT

Water-Heating System requirements (2022 California Energy Code 150.0(n)):

- Indicate space of at least 2.5 ft x 2.5 ft x 7 ft tall for future heat pump water heater.
- If HPWH space is within 3 ft provide a dedicated 125 volt, 20 amp electrical receptacle, a reserved single pole circuit breaker space labeled as "Future 240V Use", a condensate drain no more than 2 inches higher than the base
- If HPWH is more than 3 ft provide a dedicated 240 volt branch circuit rated at 30 amps, dedicated cold water supply, hot water supply, and a condensate drain no more than 2 inches higher than the base.

The complex block contains technical information for the AeroTherm Series Heat Pump Water Heater. It includes a product image, a list of features and benefits, and technical specifications. The specifications table shows various models and their corresponding BTU, GPM, and efficiency ratings. The text describes the unit's energy efficiency, quiet operation, and safety features. It also includes a list of accessories and a QR code for more information.

4 HEAT PUMP WATER HEATER



ENGINEER CONTRACTOR

VGL DEVELOPMENT INC.

GOR VARDANYAN
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GLENDALE, CA 91214
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E-mail: info@EngineerContractor.com
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PROJECT #:
PLOT DATE:
DRAWN BY:
CHECKED BY:

482 E SANTA ANITA AVE, BURBANK, CA 91501

PROPOSED 1ND FLOOR PLAN

1 1ST B.D. SUBMITTAL
11-18-2024
GV

PROJECT #:
PLOT DATE:
DRAWN BY:
CHECKED BY:

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SHEET:

A-2

NOTE:

1. An approved carbon monoxide alarm shall be installed for existing buildings and new construction when the dwelling unit contains a fuel-fired appliance, fireplaces, and/or an attached garage with an opening that communicates with the dwelling.
2. CO alarms shall be hard wired and shall be equipped with battery backup.
3. CO alarms shall be listed for compliance with UL 2034, UL 217, UL 2075, and maintained per NFPA 72.
4. CO alarms shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of a dwelling unit including basement.
5. CO alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
6. In existing dwelling unit, a CO alarm is permitted to be battery operated where repair or alteration do not result in the removal of wall or ceiling finishes

NOTE:

1. An approved smoke alarm shall be installed for new construction and alteration, repair or additions requiring permit exceeding \$1000.
2. Battery operated smoke alarms permitted in existing buildings where no construction is taking place or in building undergoing alteration or repair that do not result in the removal of interior walls or ceiling finishes, unless there is an attic, crawl space or basement which could provide access for wiring.
3. Smoke alarms shall be interconnected such that the activation of one alarm will activate all alarms in the individual dwelling unit.
4. Smoke detectors shall be hard wired and shall be equipped with battery backup.
5. Smoke alarms shall comply with specific location requirements per NFPA 72 Section 29.8.3.4.

New installation of gas water heater shall have all the following as per 2022 California Energy Code 150.0(n):

1. A 120V electrical receptacle is within 3 feet from the water heater and accessible with no obstructions.
2. A Category III or IV vent, or a Type B vent with straight pipe between outside termination and the water heater.
3. A condensate drain no more than 2 inches higher than the base on water heater for natural draining.
4. A) A gas supply line with capacity of at least 200,000 Btu/hr.
5. Unfired tanks shall have a minimum R-12 insulation
6. R-7.7 insulation shall be installed on the first 5 feet of hot and cold-water pipes.
7. All hot water piping 3/4" or larger, from the water heater to the kitchen fixtures, shall have R-4 insulation

Fuel-burning water heaters installed in bedrooms or bathrooms shall be in a closet used exclusively for the water heater and separated with a gasketed, self-closing door. All combustion air shall be obtained from the exterior. The water heater shall be a direct-vent type. (CPC 504.1).

NOTE: Smoke alarms shall comply with specific location requirements per NFPA 72 Section 29.8.3.4.

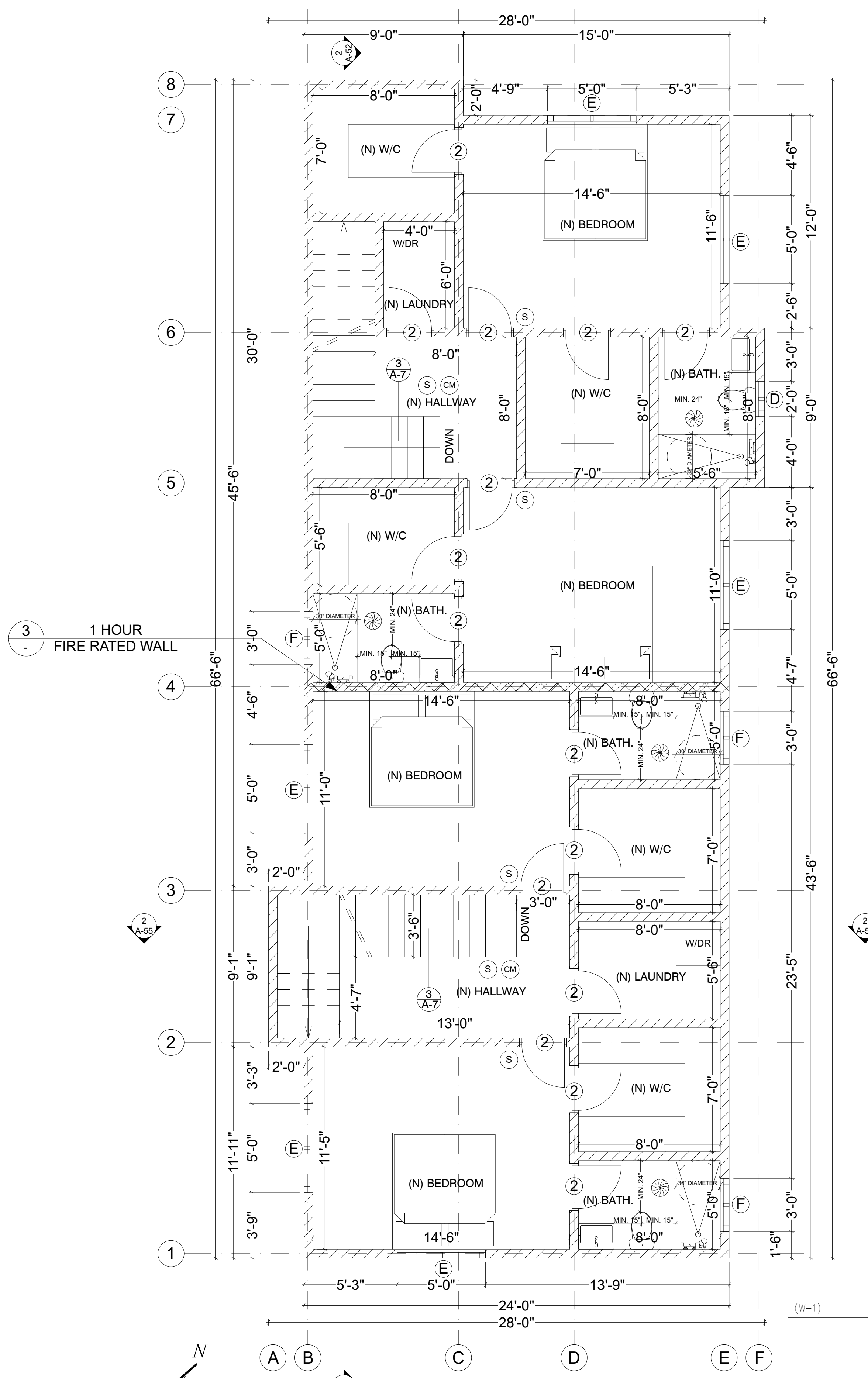
ALL DOORS AND WINDOWS SHALL MEET CITY OF BURBANK SECURITY ORDINANCE

WINDOW SCHEDULE

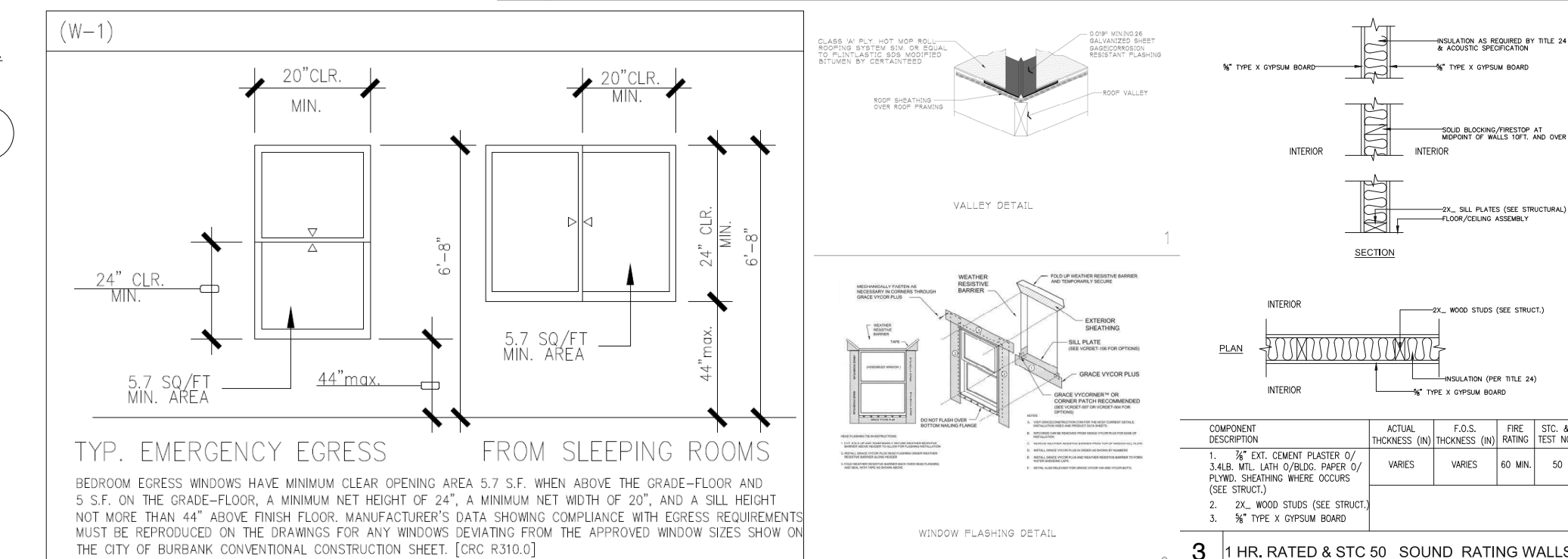
| WINDOW | OPENING SIZE (W x H) | MATERIAL | LOCATION | TYPE | DUAL GLAZED | TEMPERED GLASS | FRAME | U-FACTOR SHGC | 20 MIN. FIRE RATED |
|--------|----------------------|----------|-------------|---------|-------------|----------------|-------|------------------------|--------------------|
| A | 4'-0" x 5'-0" | VINYL | KITCHEN | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| B | 5'-0" x 6'-0" | VINYL | DINING AREA | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| C | 5'-0" x 6'-0" | VINYL | BEDROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| D | 2'-0" x 3'-0" | VINYL | BATHROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| E | 5'-0" x 5'-0" | VINYL | BEDROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| F | 3'-0" x 2'-0" | VINYL | BATHROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |

DOOR SCHEDULE

| DOOR | DOOR SIZE (W x H) | MATERIAL | THICKNESS | LOCATION | TYPE | DUAL GLAZED | TEMPERED GLASS | REMARKS |
|------|-------------------|----------|-----------|----------|--------|-------------|----------------|---------|
| 1 | 3'-0" x 9'-0" | WOOD | | EXTERIOR | SINGLE | | | |
| 2 | 2'-8" x 8'-0" | WOOD | | INTERIOR | SINGLE | | | |



PROPOSED 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN KEYNOTES:

- (S) SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 120V HARD WIRED SMOKE ALARMS WITH BATTERY BACK-UP SHALL BE INSTALLED IN ALL OF THE FOLLOWING LOCATIONS: EACH BEDROOM, OCC CEILING OR WALL OUTSIDE OF EACH SEPARATE BEDROOM, AND EACH STORY, INCLUDING BASEMENTS (NEW CONSTRUCTION). WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (CRC R314)
- (CM) AN APPROVED CARBON MONOXIDE DETECTOR RECEIVING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOMS AND ONE ON EVERY LEVEL OF THE DWELLING INCLUDING BASEMENTS. WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR IS NO ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWL SPACE. (CRC R315.1)
- (+) 50 CFM INTERMITTENT VENTILATION BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. 4.506.1
- (A) SEE WINDOW SCHEDULE ON A-3
- (1) SEE DOOR SCHEDULE ON A-3
- (001) ALL WATER CLOSET SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH.
- (002) HOT-MOP SHOWER PAN WITH CERAMIC TILE WAINSCOT UP TO CEILING. (SEE FLOOR PLAN FOR SIZE OF SHOWER). PROVIDE SHITTEROOF GLASS ENCLOSURE. PROVIDE SOAP DISH AT TUB AND SHOWER.
- (003) ALL SHOWERS AND TUB: SHOWER SHALL HAVE EITHER A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
- (004) PROVIDE 7/2" HIGH NON-ABSORBENT WALL FINISH ADJACENT TO SHOWER.
- (005) MINIMUM DIMENSION OF SHOWER TO BE 1024 SQ. INCH WITH 7/2" DIAMETER CLEAR.
- (006) PROVIDE TEMPERED GLASS ON DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 6'-0" OF STANDING SURFACE).
- (007) 2x6 STUDS AT 16" O.C. PLUMBING WALL.
- (008) G.F.I. OUTLET
- (009) PROVIDE SOUND INSULATION AT ALL BATHROOM & LAUNDRY ROOM WALLS.
- (0010) HYBRID HIGH EFFICIENCY TANK ELECTRIC HEAT PUMP WATER HEATER (PER TITLE 24) DETAIL #3 PAGE A-2
- (0011) GLAZING IN EXTERIOR DOORS OR 40 INCHES OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS, OR RATED BURGLARY RESISTANT GLAZING.
- (0012) A MINIMUM OF 22x30" ATTIC ACCESS AT 30" MIN. CLEAR HEADROOM.
- (0013) R-4 INSULATION SHALL BE INSTALLED ON THE FIRST 5 FEET OF HOT AND COLD WATER PIPES.
- (0014) (N) WATER HEATER
- (0015) (NEW) HVAC UNIT IN THE ROOF
- (0016) A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED. DRYER EXHAUST DUCT IS LIMITED TO 14' WITH TWO 90° ELBOWS. A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 6'-0" AND CANNOT BE CONCEALED.
- (0017) NEW WASHER AND DRYER
- (0018) NEW COUNTER W/ CABINETS ABY.
- (0019) NEW REFRIGERATOR BY OWNER
- (0020) NEW SINK BY OWNER
- (0021) NEW STOVE BY OWNER
- (0022) NEW DISHWASHER BY OWNER
- (0023) NEW FULL HEIGHT CABINETS
- (0024) (E) ELECTRIC METER
- (0025) WASHER/DRYER SPACE. ROUGH-IN PLUMBING FOR HOT/COLD WATER & WASTE. VENT DRYER TO OUTSIDE AIR. PROVIDE 120v & 220v ELEC. OUTLET AND FUEL GAS OUTLET.
- (0026) 12"x12" MINIMUM PLUMBING ACCESS FOR TUBS.
- (0027) A WALL SWITCH FOR STAIRWAY

WALL LEGEND:

- (N) STUD WALLS
- 1 HR. FIRE RATED & STR 50 SOUND RATED WALLS

GENERAL LEGEND:

- (E) = EXISTING ELEMENT
- (N) = NEW ELEMENT

Water-Heating System requirements (2022 California Energy Code 150.0(n)):

- Indicate space of at least 2.5 ft x 2.5 ft x 7 ft tall for future heat pump water heater.
- If HPWH space is within 3 ft provide a dedicated 125 volt, 20 amp electrical receptacle, a reserved single pole circuit breaker space labeled as "Future 240V Use", a condensate drain no more than 2 inches higher than the base
- If HPWH is more than 3 ft provide a dedicated 240 volt branch circuit rated at 30 amps, dedicated cold water supply, hot water supply, and a condensate drain no more than 2 inches higher than the base.

4 HEAT PUMP WATER HEATER

ENGINEER CONTRACTOR

VGL DEVELOPMENT INC.

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STAMP:

1 HOUR RATED & STC 50 SOUND RATING WALLS

1 1ST B.D. SUBMITTAL
11-18-2024
GV

482 E SANTA ANITA AVE, BURBANK, CA 91501

PROPOSED 2ND FLOOR PLAN

PROJECT #: 26001
PLOT DATE: 10-28-2026
DRAWN BY: VH
CHECKED BY: GV

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SHEET:

A-3

24 in. x 12 in. Galvanized Steel Half-Round Dormer Vent

Specifications
Dimensions: H 11 in, W 36 in, D 33.75 in

Dimensions

| | | | |
|---------------------|----------|-------------------------|-------|
| Cut-Out Width (in.) | 12 in | Net-Free Area (Sq. In.) | 100 |
| Product Depth (in.) | 33.75 in | Product Height (in.) | 11 in |
| Product Width (in.) | 36 in | | |

Details

| | | | |
|-----------------|--|----------------------|------------|
| Color Family | Silver | Color/Finish | Silver |
| Features | Built-in Screen, Corrosion Resistant, UV Resistant | Intake/Exhaust | Exhaust |
| Material | Galvanized Steel | Mounting Position | Roof Mount |
| Pack Size | 1 | Paintable/Stainable | Yes |
| Power Type | Non-Powered | Product Weight (lb.) | 7.50 lb |
| Screen Included | Yes | Shape | Half Round |
| UV Resistant | Yes | | |

Warranty / Certifications

| | |
|-----------------------|-----|
| Manufacturer Warranty | N/A |
|-----------------------|-----|

Landmark Solaris Shingles

| Product | Color | CRRC Rated Values | ASTM E84 | Solar Reflectance Index (SRI) | | |
|---------------------------|--------------------------|-------------------|----------|-------------------------------|------|----|
| | | Initial SR | Aged SR | Initial TE | | |
| Landmark Solaris | Asph Cedar | 0.26 | 0.24 | 0.92 | 0.96 | 29 |
| Landmark Solaris | Charcoal Gray | 0.27 | 0.26 | 0.92 | 0.96 | 30 |
| Landmark Solaris | Dusky Clay | 0.28 | 0.25 | 0.93 | 0.95 | 29 |
| Landmark Solaris | Sunset Shale | 0.26 | 0.25 | 0.92 | 0.95 | 28 |
| Landmark Solaris Gold | Max. Del. Resawn Shake | 0.26 | 0.25 | 0.92 | 0.96 | 29 |
| Landmark Solaris Gold | Max. Del. Weathered Wood | 0.25 | 0.24 | 0.90 | 0.95 | 28 |
| Landmark Solaris Platinum | Coastal Tan | 0.40 | 0.38 | 0.91 | 0.96 | 47 |
| Landmark Solaris Platinum | Santa Fe | 0.40 | 0.38 | 0.90 | 0.94 | 47 |
| Landmark Solaris Platinum | Sierra Buff | 0.41 | 0.39 | 0.92 | 0.95 | 48 |

INSTALLATION
The following is a general summary of the installation methods. Detailed installation instructions are supplied on each bundle of Landmark Solaris shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

Roof Deck Requirements: Apply shingles to minimum 3/8" thick plywood, minimum 7/16" thick non-veneer (E.g. OSB), or minimum 1" thick (nominal) wood decks. The plywood or non-veneer decks must comply with the specifications of APA-The Engineered Wood Association.

Ventilation: Provisions for ventilation should meet or exceed current HUD Standards. To ensure adequate balance ventilation, use a combination of continuous ridge ventilation (using CertainTeed Ridge Vent products, or a comparable product with an external baffle) combined with soffit venting.

Valleys: Valley liner must be applied before shingles. The Closed-Cold valley application method is recommended, using CertainTeed WinterGuard Waterproofing Shingle Underlayment or its equivalent to line the valley prior to being fully covered by the shingles.

Underlayment: On slopes 4" per foot or greater, CertainTeed recommends one layer of DiamondDeck™ Synthetic Underlayment, or Roofers' Select™ High-Performance shingle underlayment, or shingle underlayment meeting ASTM D220, D4890 or ASTM D5777. Always ensure sufficient deck ventilation, and take particular care when DiamondDeck or other synthetic underlayment is installed. For UL fire rating, underlayment may be required. Corrosion-resistant drip edge is recommended and should be placed over the underlayment at the rake and beneath the underlayment at the eaves. Follow manufacturer's application instructions.

On low slopes (2" up to 4" per foot), one layer of CertainTeed's WinterGuard Waterproofing Shingle Underlayment (or equivalent meeting ASTM D7570) or two layers of 36" wide felt shingle underlayment (Roofers' Select High-Performance Underlayment or product meeting ASTM D220, D4890 or ASTM D5777) lapped 19" must be applied over the entire roof, ensure sufficient deck ventilation. When DiamondDeck or other synthetic underlayment is installed, weather-lap at least 20" and ensure sufficient deck ventilation. When WinterGuard is applied to the rake area, the drip edge may be installed under or over WinterGuard. At the eave, when WinterGuard does not overlap the gutter or fascia, the drip edge should be installed under WinterGuard. When WinterGuard overlaps the fascia or gutter, the drip edge or other metal must be installed over it. Follow manufacturer's application instructions.

Technical Data Sheet (Continued)

Fastening (NailTrak™):
Low & Standard Slopes: On low and standard slopes, four nails are required per shingle. There are three nail lines on NailTrak shingles. Position nails vertically between the upper and lower nailing-guide lines. It is acceptable to nail between the middle and lower lines or between the upper and middle lines. Nails must be of sufficient length to penetrate into the deck 3/4" or through the thickness of the decking, whichever is less. They are to be spaced 11" and 12" in from each side of the shingle (see instructions on product wraps.) Nails are to be 11 or 12 gauge, corrosion-resistant roofing nails with 3/8" heads.

Slope: On slopes greater than 21" per foot, fasten each shingle with six nails and four spots of roofing cement placed under each shingle according to application instructions provided on the shingle package. Fasteners must penetrate the two-layer cement sand area that is indicated by the middle and lower NailTrak lines, also illustrated on the shingle package.

Application: The recommended application method is the 'Five-Course, Diagonal Method' found on each bundle of shingles. In this method, shingle course offsets are 6" and 11". Instructions also may be obtained from CertainTeed. These shingles may be used for new construction or for reroofing over existing Metro-sized shingles.

Flashing: Use corrosion-resistant metal flashing.

Hips and Ridges: Use CertainTeed Solaris™ Hip & Ridge shingles (West Coast) or Solaris™ Accessory shingles (East Coast) of a like color for capping hips and ridges.

MAINTENANCE
These shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY
Landmark Solaris shingles carry a Lifetime Limited Warranty, 10-year SureStart protection, and a 10-year 110 mph wind-resistance warranty (upgradable to 130 mph when using CertainTeed starter and CertainTeed hip and ridge), and 15-year algae resistance warranty. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

FOR MORE INFORMATION
Sales Support Group: 800-233-8990
Web site: www.certainteed.com

CertainTeed Roofing
P.O. Box 890
Valley Forge, PA 19442
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Technical Data Sheet

Landmark Solaris® Gold Shingles
Landmark Solaris® Platinum Shingles

PRODUCT INFORMATION
Landmark Solaris® innovative technology produces a shingle that reflects solar energy in a traditional color palette. All colors are rated by Cool Roof Rating Council (CRRC) for cool roofs and meet California's Title 24 requirements for cool steep slope roofing. All Solaris colors have a Solar Reflectance (SR) of 0.25 or greater, thus complying with Energy Star® requirements and qualifying for the current federal tax credit for Energy Star qualified roofing products. Further, all Solaris colors have a Solar Reflectance Index (SRI) of 28 or higher, which qualifies them for a USGBC LEED®-NC "point" under Urban Heat Island (Roofs). Landmark Solaris shingles are manufactured using the same high standards as all CertainTeed roofing products and are covered by the same superior warranty protection. These shingles are available in "Metric" dimensions - 13 1/4" x 38 3/4". This product also features CertainTeed's NailTrak™ that offers a wider nailing area.

Landmark Solaris algae-resistant (AR) shingles have the additional attribute of resisting the growth of algae especially in damp regions. AR shingles are not available in all regions.

Colors: Please refer to product brochure or CertainTeed website for the colors available in your region.

Limitations: Use on roofs with slopes greater than 2" per foot. Low-slope applications (2" to 4" per foot) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard™ Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

Product Composition: Landmark Solaris shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules with high solar reflectance are tightly embedded in carefully refined, water-resistant asphalt. Two pieces of the shingle are firmly laminated together in special tough asphaltic cement. All Landmark Solaris shingles have self-sealing adhesive strips.

Applicable Standards:
ASTM D3018 Type I
ASTM D3482
ASTM E108 Class A Fire Resistance
ASTM D3191 Class F Wind Resistance
ASTM D7158 Class H Wind Resistance
UL 790 Class A Fire Resistance
ICC Evaluation Report ESR-1389
ICC Evaluation Report ESR-3537

Technical Data:
Weight/Square (approx.) 22.5 lbs
Dimensions (overall) 13 1/4" x 38 3/4"

Your Cool Roof Solution
Owens Corning™ Shingles That Meet Title 24 Requirements

The 2013 California Energy Code - also known as Title 24, Part 6 - will go into effect on July 1, 2014. The revised standard calls for increased energy efficiency in homes and commercial buildings. One of the solutions for many consumers and business owners to meet the new standard is to choose "Cool Roof" shingles when installing a new or replacement roof.

Asphalt shingles that qualify as Cool Roof products feature highly reflective color granules that may help lower the energy bills by keeping surfaces of the roof at lower temperatures.*

Owens Corning roofing asphalt shingles listed in the table below meet the prescriptive requirements in the 2013 California Energy Code for steep-slope roofs (slope > 2:12) on residential and nonresidential buildings. A minimum 3-year aged solar reflectance of 0.25, a minimum thermal emittance of 0.75 or a minimum solar reflectance index (SRI) of 18 is required for:

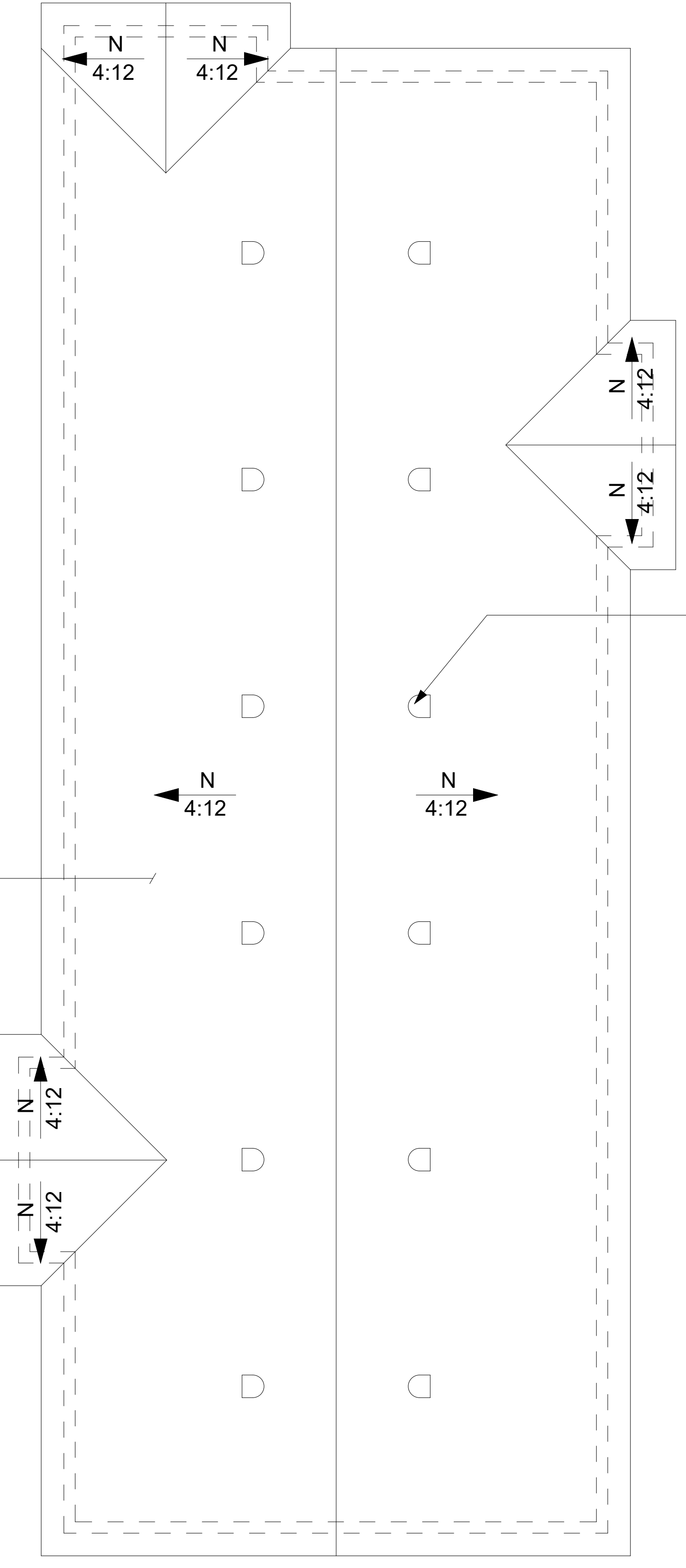
- Low-rise residential buildings in climate zones 1 through 15
- High-rise residential buildings in climate zones 2 through 15
- Nonresidential buildings in climate zones 1 through 15

Owens Corning® Roofing offers many high-performance shingles that meet Title 24, Part 6, requirements:

| Product | Color | CRRC | SR | TE | SRI | Weight (lb/sq) | Dimensions (in) |
|--------------------------------|--------------------------|------|------|------|------|----------------|-------------------|
| DualCore™ Premium Cool Shingle | Asph Cedar | 0.26 | 0.24 | 0.92 | 0.96 | 29 | 13 1/4" x 38 3/4" |
| DualCore™ Premium Cool Shingle | Charcoal Gray | 0.27 | 0.26 | 0.92 | 0.96 | 30 | 13 1/4" x 38 3/4" |
| DualCore™ Premium Cool Shingle | Dusky Clay | 0.28 | 0.25 | 0.93 | 0.95 | 29 | 13 1/4" x 38 3/4" |
| DualCore™ Premium Cool Shingle | Sunset Shale | 0.26 | 0.25 | 0.92 | 0.95 | 28 | 13 1/4" x 38 3/4" |
| DualCore™ Premium Cool Shingle | Max. Del. Resawn Shake | 0.26 | 0.25 | 0.92 | 0.96 | 29 | 13 1/4" x 38 3/4" |
| DualCore™ Premium Cool Shingle | Max. Del. Weathered Wood | 0.25 | 0.24 | 0.90 | 0.95 | 28 | 13 1/4" x 38 3/4" |
| DualCore™ Premium Cool Shingle | Coastal Tan | 0.40 | 0.38 | 0.91 | 0.96 | 47 | 13 1/4" x 38 3/4" |
| DualCore™ Premium Cool Shingle | Santa Fe | 0.40 | 0.38 | 0.90 | 0.94 | 47 | 13 1/4" x 38 3/4" |
| DualCore™ Premium Cool Shingle | Sierra Buff | 0.41 | 0.39 | 0.92 | 0.95 | 48 | 13 1/4" x 38 3/4" |

Contact your Owens Corning® Roofing Area Sales Manager to find out more about why Owens Corning® shingles are your solution to meeting Cool Roof requirements in California Title 24.

CLASS A ROOF SHINGLESS
SRI20
SRI value of at least 20 or both a 3-year aged solar reflectance of at least 0.25 and a thermal emittance of at least 0.85
SEE SPEC. SHEETS ABOVE
ICC-ES AC3



ATTIC VENTILATION SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. (APPROXIMATELY 10 S.F. IN. FOR EACH 10 S.F. OF ATTIC AREA) IS REQUIRED. (TO MATCH EXISTING)
1,795.17 S.F. : 150.0 S.F. = 11.96
EACH ATTIC PROVIDED 1 S.F.
REQUIREMENT < PROVIDED
11.96 S.F. < 12 S.F.

PROPOSED ROOF PLAN
SCALE: 1/4" = 1' = 0"

ENGINEER CONTRACTOR

VGL DEVELOPMENT INC.

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STAMP:

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PROPOSED ROOF PLAN

1 1ST B.D. SUBMITTAL
11-18-2024 GV

PROJECT #: 26001
PLOT DATE: 10-28-2026
DRAWN BY: VH
CHECKED BY: GV

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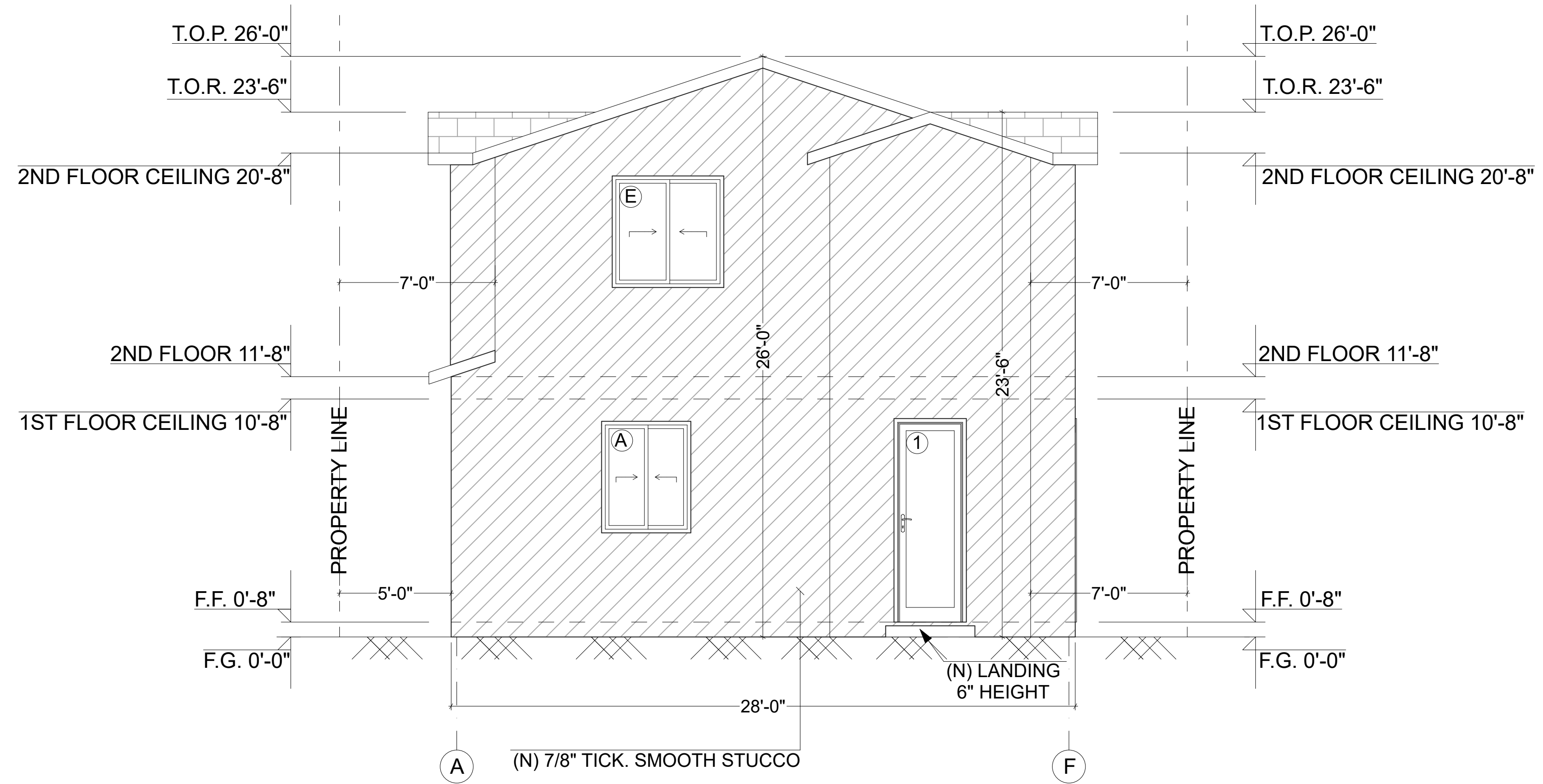
SHEET:

A-4

ALL DOORS AND WINDOWS SHALL MEET CITY OF BURBANK SECURITY ORDINANCE

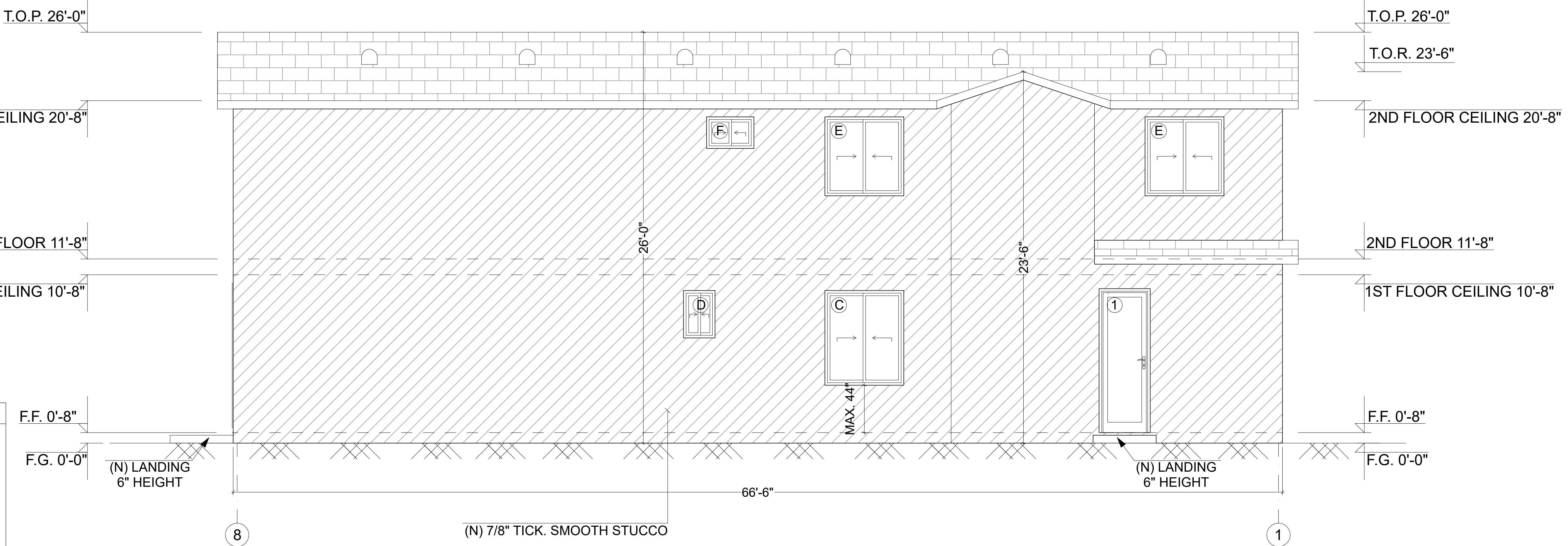
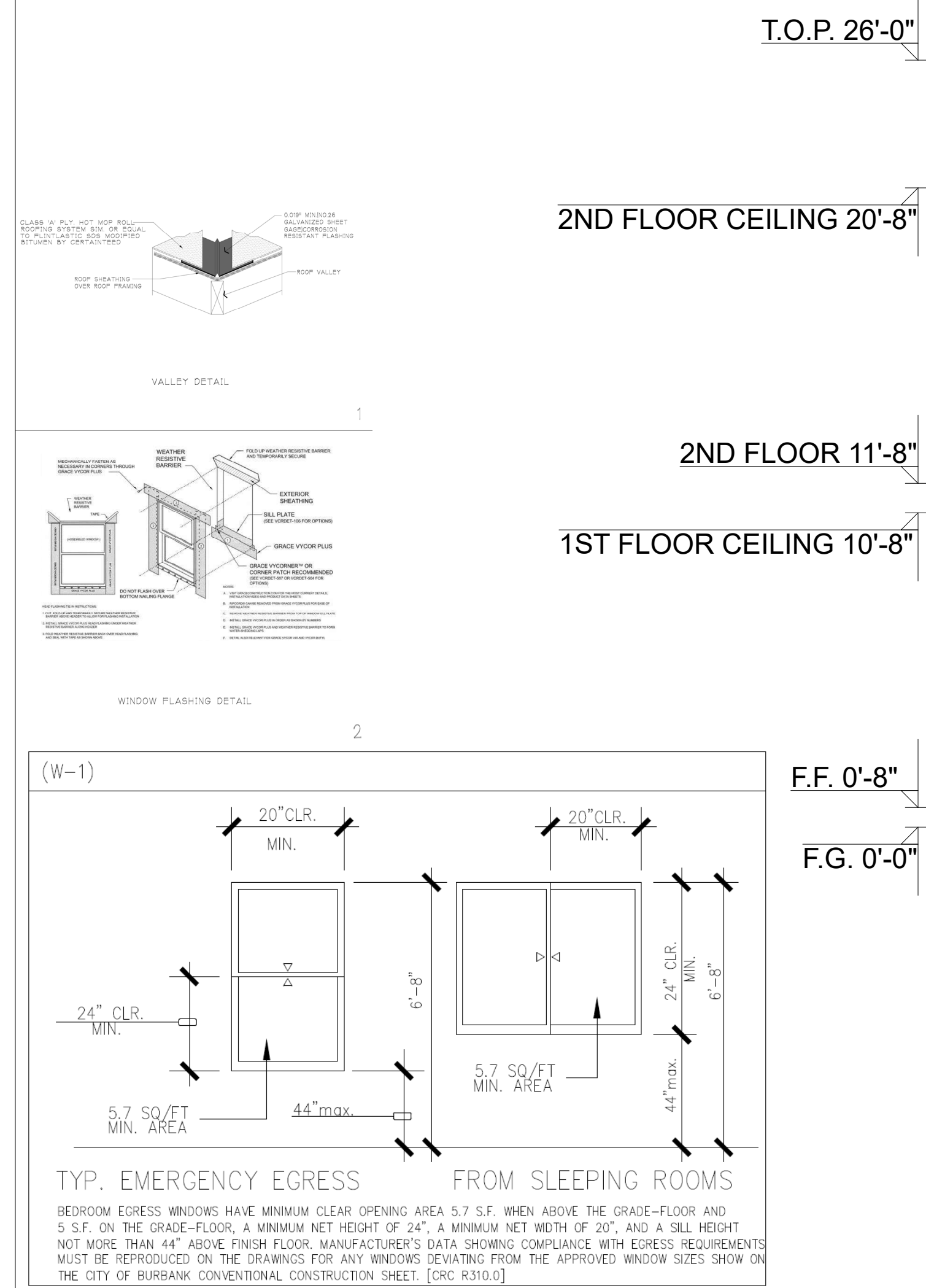
| WINDOW SCHEDULE | | | | | | | | | |
|-----------------|----------------------|----------|-------------|---------|-------------|----------------|-------|------------------------|--------------------|
| WINDOW | OPENING SIZE (W x H) | MATERIAL | LOCATION | TYPE | DUAL GLAZED | TEMPERED GLASS | FRAME | U-FACTOR SHGC | 20 MIN. FIRE RATED |
| A | 4'-0" x 5'-0" | VINYL | KITCHEN | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| B | 5'-0" x 6'-0" | VINYL | DINING AREA | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| C | 5'-0" x 6'-0" | VINYL | BEDROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| D | 2'-0" x 3'-0" | VINYL | BATHROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| E | 5'-0" x 5'-0" | VINYL | BEDROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |
| F | 3'-0" x 2'-0" | VINYL | BATHROOM | SLIDING | | | | U-FACTOR 0.3 SHGC 0.23 | |

| DOOR SCHEDULE | | | | | | | | |
|---------------|-------------------|----------|-----------|----------|--------|-------------|----------------|---------|
| DOOR | DOOR SIZE (W x H) | MATERIAL | THICKNESS | LOCATION | TYPE | DUAL GLAZED | TEMPERED GLASS | REMARKS |
| 1 | 3'-0" x 9'-0" | WOOD | | EXTERIOR | SINGLE | | | |
| 2 | 2'-8" x 8'-0" | WOOD | | INTERIOR | SINGLE | | | |



PROPOSED NORTHWEST ELEVATION

SCALE: 1/4" = 1' = 0"



PROPOSED SOUTHWEST ELEVATION

SCALE: 1/4" = 1' = 0"



VGL DEVELOPMENT INC.
 GOR VARDANYAN
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 GLENDALE, CA 91214
 Tel.: (818) 284-2444
 E-mail: info@EngineerContractor.com
 WEB: ENGINEERCONTRACTOR.COM

STAMP:

482 E SANTA ANITA AVE, BURBANK, CA 91501
PROPOSED ELEVATIONS

| | | |
|---|--------------------|----|
| 1 | 1ST B.D. SUBMITTAL | GV |
| | 11-18-2024 | |
| | | |
| | | |
| | | |
| | | |

PROJECT #: 26001
 PLOT DATE: 10-28-2026
 DRAWN BY: VH
 CHECKED BY: GV

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SHEET:

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