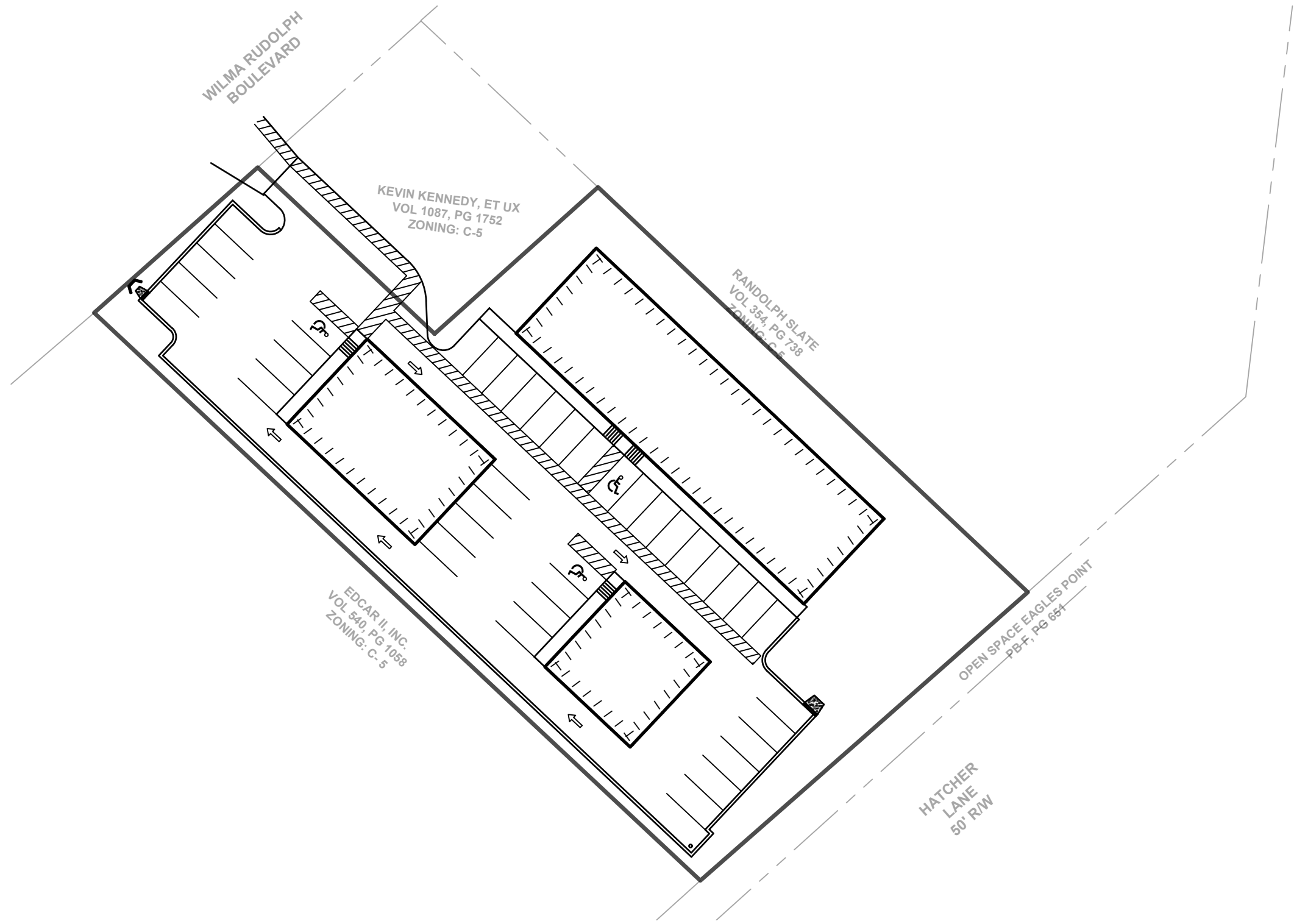




VICINITY MAP
(NOT TO SCALE)

COVER SHEET FOR MILLAN RETAIL WILMA RUDOLPH MONTGOMERY CO., TENNESSEE



SITE LEGEND

- LOT LINE
- PROPERTY LINE
- BOUNDARY LINE
- TREE LINE
- ROADWAY CENTERLINE
- GAS MAIN & SERVICE LINE
- UNDERGROUND ELECTRIC
- WATER MAIN & SERVICE LINE
- SANITARY SEWER MAIN & SERVICE
- STORM SEWER LINE
- OVERHEAD POWER LINE
- UNDERGROUND ELECTRIC
- PUDE
- MBSL
- FENCELINE
- STREAM LINE
- SILT FENCE
- EXISTING CURB
- UNDERGROUND TELEPHONE
- PROPOSED WATER MAIN (SIZE TBD)
- PROPOSED SANITARY SEWER
- EXISTING IRON PIN
- PROPOSED IRON PIN
- STREET LIGHT
- UTILITY POLE
- POWER POLE
- SANITARY SEWER MANHOLE
- STORM SEWER INLET
- BENCHMARK
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- ELECTRICAL TRANSFORMER
- TELEPHONE BOX

INDEX OF SHEETS

SHEET #	SHEET NAME
C 0.10	EXISTING CONDITIONS & DEMOLITION PLAN
C 1.00	SITE LAYOUT & UTILITY PLAN
C 2.00	OVERALL GRADING & DRAINAGE PLAN
C 2.01	EROSION PREVENTION & SEDIMENT CONTROL PHASE I
STANDARD DETAILS	
L-1.0	LANDSCAPE PLAN

LOCAL UTILITIES

CITY STREETS: CLARKSVILLE STREET DEPARTMENT PH: 931-645-7464 CONTACT: DAVID SHEPARD (DIRECTOR)	WATER AND SANITARY SEWER: CLARKSVILLE GAS AND WATER DEPARTMENT PH: 931-645-7418 CONTACT: PAT CHESNEY
COUNTY ROADS: MONTGOMERY COUNTY HIGHWAY DEPARTMENT PH: 931-648-5740 CONTACT: JEFF BRYANT (HIGHWAY COMMISSIONER)	ELECTRICITY: (INSIDE CITY LIMITS) CLARKSVILLE DEPARTMENT OF ELECTRICITY PH: 931-648-8151 CONTACT: TERRY RESHA
STATE ROADS AND STREETS: TENNESSEE DEPARTMENT OF TRANSPORTATION PH: 931-648-5570	ELECTRICITY: (OUTSIDE CITY LIMITS) CUMBERLAND ELECTRIC MEMBERSHIP COOPERATIVE PH: 931-645-2841 CONTACT: KENNY DAVIS
CITY BUILDING AND CODES DEPARTMENT: CLARKSVILLE BUILDING CODES DEPARTMENT PH: 931-645-7426 CONTACT: JUSTIN CROSBY	NATURAL GAS: CLARKSVILLE GAS AND WATER DEPARTMENT PH: 931-645-7422 CONTACT: MARK RIGGINS
PLANNING COMMISSION: MONTGOMERY COUNTY REGIONAL PLANNING COMMISSION PH: 931-645-7448 CONTACT: JEFFREY TYNDALL (DIRECTOR)	CITY FIRE DEPT: CLARKSVILLE FIRE RESCUE PH: 931-645-7462 CONTACT: FIRE MARSHALL JOBE MOORE

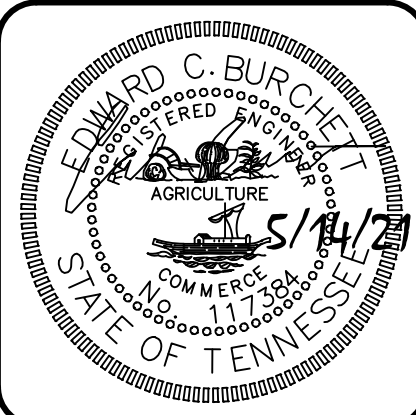
GENERAL SITE INFORMATION:

OWNER: MILLAN HOLDINGS, LLC

OWNER/DEVELOPER: MILLAN HOLDINGS LLC
126 MAIN ST. SUITE A
CLARKSVILLE, TN 37040

CURRENT ZONING: C-5
CIVIL DISTRICT: 6th
DEED REF. #O.R.V. 2055, PG. 142
O.R.V. 1603, PG. 1482
TAX MAP NO. 41N 'A' PARCEL NO. 13.00 & 14.0

TOTAL ACREAGE: 36,128 SF (0.83 ± ACRES)
PROPOSED BUILDING COVERAGE: 9,400 SF (26.01%)
PROPOSED IMPERVIOUS AREA/RATIO: 27,123 SF (75.07%)
PROPOSED RETAIL PARKING REQUIRED: 20
PROPOSED OFFICE PARKING REQUIRED: 16
TOTAL PARKING REQUIRED: 36
PROPOSED PARKING PROVIDED: 39
BUILDING HEIGHT: 35' MAXIMUM



REVISIONS	
DATE	COMMENTS

MILLAN RETAIL WILMA RUDOLPH

COVER SHEET

2163 WILMA RUDOLPH BLVD., CLARKSVILLE
MONTGOMERY COUNTY, TENNESSEE
May 14, 2021



SHEET: COVER

DRAWN BY: A. HUTCHISON
CHECKED BY: E. C. BURCHETT
FILE: Z:\Projects\2021\0514\21
(Millan Retail & Office 2163 Wilma Rudolph Blvd.)\2163 Wilma -
COVER.dwg

DEMOLITION NOTES:

1. CONTRACTOR SHALL PROVIDE NECESSARY SIGNAGE, BARRICADES OR OTHER DEVICES FOR THE PROTECTION OF THE PUBLIC, CONSTRUCTION WORKERS AND TRAFFIC CONTROL.
2. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED TO EQUAL OR BETTER CONDITION PRIOR TO COMPLETION OF CONSTRUCTION.
3. ALL MUD, DIRT AND DEBRIS TRACKED INTO THE EXISTING ROADWAY AND/OR PARKING AREA FROM THE SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
4. NO ATTEMPT IS MADE TO STIPULATE EVERY REQUIRED ITEM OF DEMOLITION ON THE DRAWINGS. CONTRACTOR SHALL VISIT AND STUDY THE PHYSICAL CONDITION OF THE SITE, REVIEW THE DRAWINGS AND REACH THEIR OWN CONCLUSIONS ON WORK NECESSARY TO ACCOMPLISH INTENDED WORK AS INDICATED ON THE DRAWINGS.
5. CONTRACTORS MANNER AND METHOD OF INGRESS/EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY OF THE PROJECT SITE.
6. NO DEBRIS SHALL BE LEFT ON THE PROJECT SITE. LEGAL DISPOSAL AREAS FOR SUCH SHALL BE LOCATED OFF-SITE AND SECURED BY THE CONTRACTOR.
7. LOCAL REGULATIONS REGARDING HAULING AND DISPOSAL SHALL APPLY. CONTRACTOR SHALL TAKE MEASURES TO PREVENT SPILLAGE ONTO EXISTING PARKING AREAS OR LOCAL STREETS AND BE RESPONSIBLE FOR CLEAN UP IF SPILLAGE OCCURS, AS A RESULT OF THE TRUCKING OPERATIONS.
8. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO EXISTING ROADWAY, PARKING AREA AND STRUCTURES CAUSED BY DEMOLITION AND HAULING OPERATIONS.
9. ALL BURNING OF TREES, BRUSH AND DEBRIS SHALL BE DONE IN CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES.

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126 MAIN ST. SUITE A
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TAX MAP NO. 41N 'A' PARCEL NO. 13.00 & 14.0

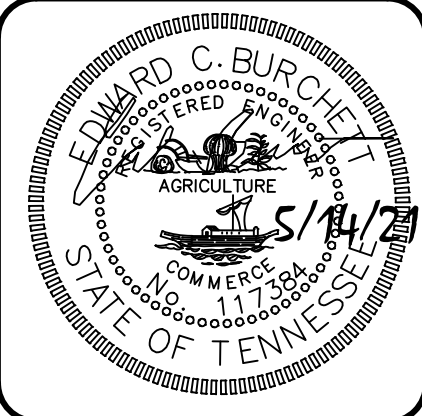
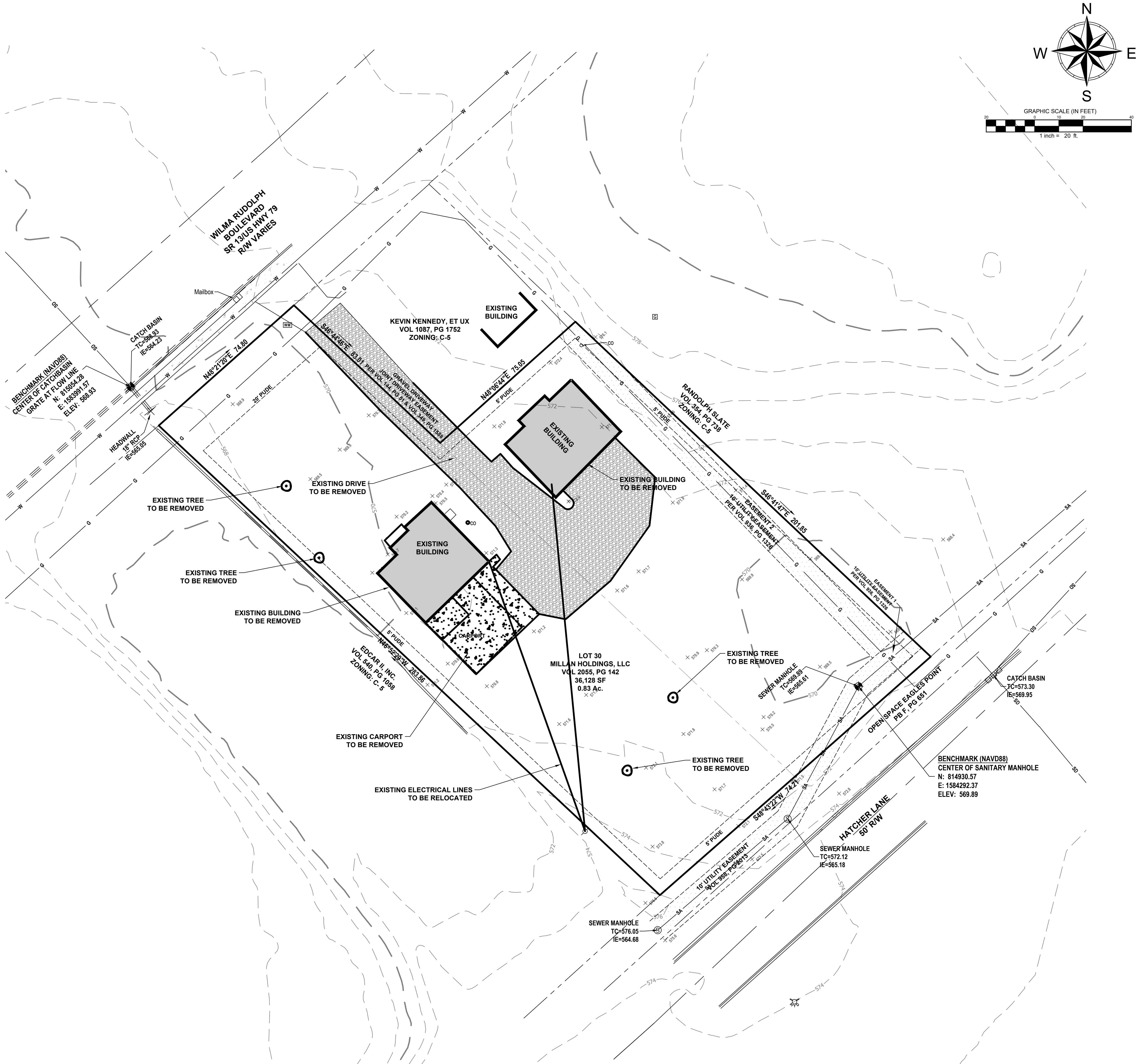
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- EXISTING IRON PIN
- STREET LIGHT
- UTILITY POLE
- POWER POLE
- SANITARY SEWER MANHOLE
- STORM SEWER INLET
- REFERENCE POINT (CONTROL)
- BENCHMARK
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- ELECTRICAL TRANSFORMER
- TELEPHONE BOX

- EXISTING EASEMENTS
- EXISTING GRAVEL
- EXISTING CONCRETE

GENERAL NOTES:

1. All utility locations based on location of utilities by local utility authorities and visible field location by others. There is no guarantee that no other utilities either public or private are not displayed on this survey.
2. All site lighting shall be directed inward with shielded hoods. No light shall spill on adjacent property.



REVISIONS	
DATE	COMMENTS

MILLAN RETAIL WILMA RUDOLPH

EXISTING CONDITIONS & DEMOLITION PLAN
2163 WILMA RUDOLPH BLVD., CLARKSVILLE
MONTGOMERY COUNTY, TENNESSEE

May 14, 2021

McKAY-BURCHETT & COMPANY
ENGINEERS
1545 Madison Street
Clarksville, TN 37040
Ph # 931-245-3095

DRAWN BY: A. HUTCHISON
CHECKED BY: C. BURCHETT
FILE: Z:\Projects\2021\00162-21
(Millan Retail & Office 2163 Wilma Rudolph Blvd.)\2163 Wilma -

SHEET: C 0.10

GENERAL SITE NOTES:

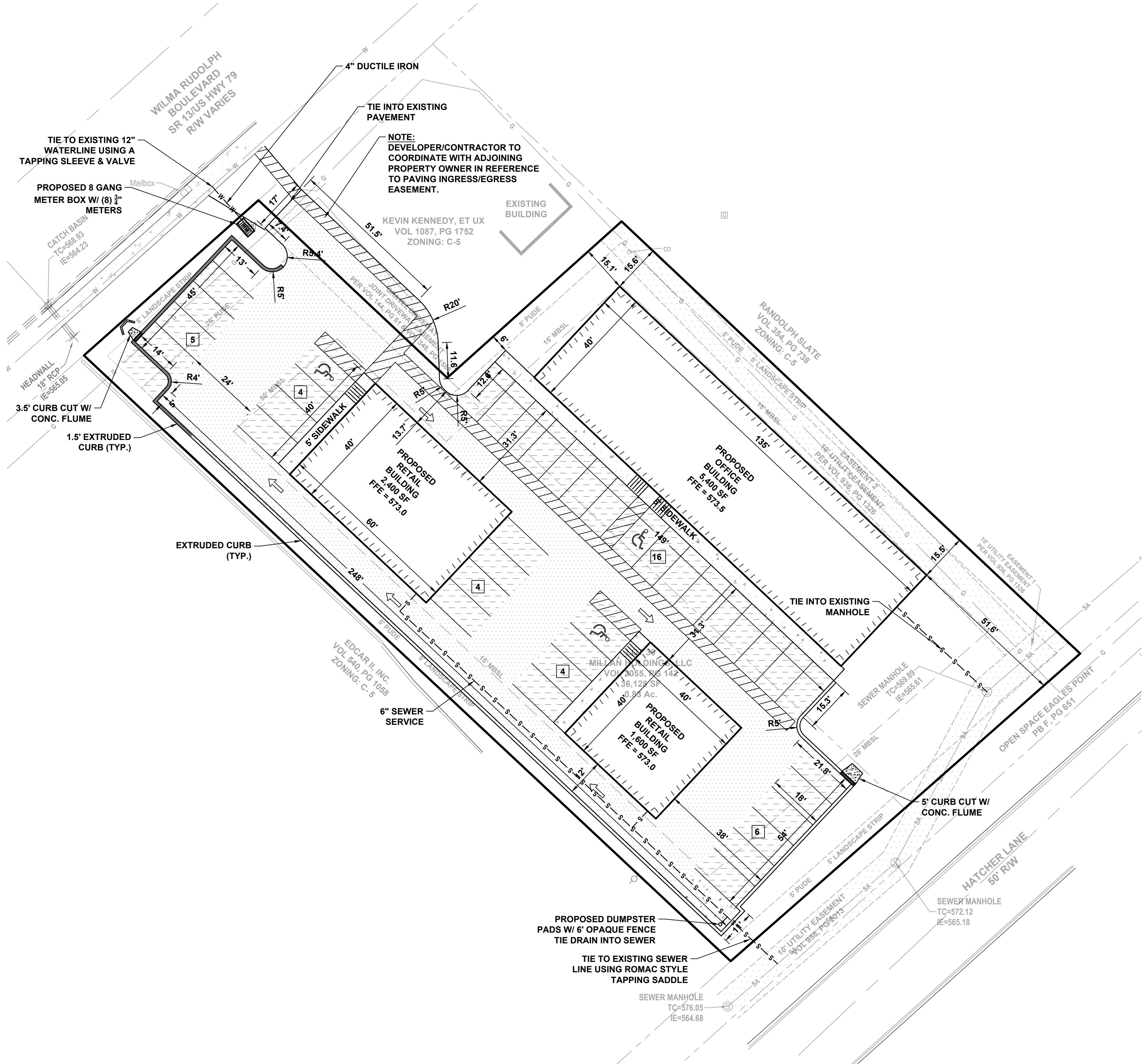
1. THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS GAS MAINS, WATER MAINS, ELECTRIC DUCT LINES, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION, BY ACTUAL OR FURNISHED SURVEYS, AND TAKEN FROM THE RECORDS OF THE PARENT UTILITY COMPANIES DRAWINGS OF THE EXISTING FACILITIES. HOWEVER, THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE PLANS.
2. TENNESSEE ONE CALL CENTER: 1-800-351-1111
3. IN THE EVENT OF A CONFLICT BETWEEN THE PLANS, SPECIFICATIONS, STANDARD NOTES, OR THE REQUIREMENTS OF OFFICIALS OF INVOLVED GOVERNMENT BODIES, PLEASE CONTACT ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL MAKE A PHYSICAL INSPECTION OF THE SITE BEFORE SUBMITTING A PROPOSAL FOR THE PROJECT. IT IS ASSUMED THAT THE CONTRACTOR HAS EXAMINED THE PLANS, SPECIFICATIONS AND THE SITE PRIOR TO SUBMITTING A PROPOSAL. ANY ITEMS THAT WOULD BE REASONABLY REQUIRED FOR CONSTRUCTION, WHETHER OR NOT SPECIFICALLY DENOTED IN THE PLANS SHALL BE PROVIDED BY THE CONTRACTOR.
5. WHEN THE WORK AREA IS AN AREA OF DIRECT PUBLIC ACCESS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING BARRICADES AND CONSTRUCTION WARNING SIGNS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE INSPECTORS OF ALL CONCERNED GOVERNMENT AGENCIES DURING ALL PHASES OF CONSTRUCTION.
7. BEARINGS AND/OR DISTANCES SHOWN ON THE PLANS SHALL TAKE PRECEDENCE OVER SCALE. SHOULD A CONFLICT EXIST, NOTIFY THE ENGINEER IMMEDIATELY.
8. ANY TEMPORARY CONSTRUCTION DURING THIS PROJECT SHALL BE MADE IN SUCH A MANNER AS TO ADEQUATELY DRAIN AND BE MAINTAINED FOR THE LIFE OF THE TEMPORARY CONSTRUCTION, THE TERM OF THE PROJECT, OR A PERIOD OF ONE YEAR. TEMPORARY TURN AROUNDS SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO ADEQUATELY DRAIN AND HAVE A SMOOTH TRANSITION FROM FINISHED PAVEMENT ELEVATIONS TO FINISHED STONE ELEVATIONS.
9. ANY EXISTING OR PROPOSED VALVES, FIRE HYDRANTS, METER VAULTS, MANHOLES, SPRINKLER HEADS, ELECTRIC METERS, VAULTS, PULL BOXES, TRANSFORMERS (THIS SHALL INCLUDE ANY PADS GRATES, LIDS, SIGNS, POSTS OR ANY OTHER ITEMS ASSOCIATED WITH SUCH APPURTENANCES), TELEPHONE PEDESTALS, CABLE BOXES, FIBER OPTIC VAULTS (BOXES), REMOTE FIRE DEPARTMENT CONNECTIONS, CLEANOUTS, SPIGOTS, LIGHT POLES, FLOOD LIGHTS, AREA DRAINS, CATCH BASINS OR OTHER SUCH APPURTENANCES LOCATED WITHIN THE CONSTRUCTION SITE WHICH ARE NOT SPECIFIED TO BE REMOVED SHALL BE ADJUSTED TO MATCH FINISHED GRADES.
10. ANY ALTERATION TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER & APPROPRIATE GOVERNING AGENCIES PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. FAILURE TO DO SO COULD RESULT IN A DELAY OR NON-ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
11. ALL SITE LIGHTING SHALL BE DIRECTED INWARD ONTO SITE, TO INCLUDE SHIELDED HOODS. NO SITE LIGHTING SHALL SPILL ONTO ADJACENT PROPERTIES.
12. SIGNAGE, STRIPING AND PAVEMENT OUTSIDE OF DEVELOPMENT ENTRANCE SHALL CONFORM WITH CITY OF CLARKSVILLE OR TENNESSEE DEPARTMENT OF TRANSPORTATION REQUIREMENTS AS REQUIRED.
13. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
14. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
15. CONCRETE WALLS & PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE 3000 PSI UNLESS OTHERWISE NOTED. CURB RAMPS & SIDEWALK SLOPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT LOCAL REQUIREMENTS. IF APPLICABLE, THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND RAMP FORMS PRIOR TO PLACEMENT OF CONCRETE.
16. CONTRACTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1/4 THE CONCRETE THICKNESS, & SHALL DIVIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 10' SEGMENTS.
17. ALL SIDEWALKS, CURB RAMPS AND HANDICAP PARKING SPACES SHALL MEET ALL ADA AND FAIR HOUSING ACT REQUIREMENTS.

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- WATER VALVE
- WATER METER
- FIRE HYDRANT
- ELECTRICAL TRANSFORMER
- TELEPHONE BOX
- PROPOSED CONCRETE
- LIGHT DUTY PAVEMENT
- HEAVY DUTY PAVEMENT

SPECIAL NOTE:

NO PLUMBING PLANS PROVIDED AT THIS TIME. CONTRACTOR TO COORDINATE WITH MPE FOR EXACT SIZE AND LOCATION OF UTILITY SERVICES



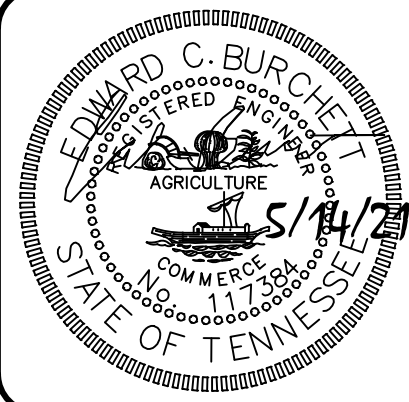
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BUILDING HEIGHT: 35' MAXIMUM



REVISIONS

REVISIONS	COMMENTS
DATE	

MILLAN RETAIL WILMA RUDOLPH

SITE LAYOUT & UTILITY PLAN

2163 WILMA RUDOLPH BLVD., CLARKSVILLE
MONTGOMERY COUNTY, TENNESSEE
May 14, 2021



SHEET: C.1.00

GRADING & DRAINAGE

- PROTECT TREES NOT MARKED FOR REMOVAL OR LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION. IF A TREE TRUNK OR BRANCH IS CUT OR SCARRED THEN THE AFFECTED AREA SHALL BE TREATED WITH A WOUND PAINT TO PREVENT DISEASE.
- THE AREA WITHIN THE LIMITS OF GRADING SHALL BE GRUBBED TO A MINIMUM DEPTH OF TWELVE (12) INCHES BELOW EXISTING GROUND LINE ELEVATIONS TO REMOVE GRASS, ROOTS, AND OTHER ORGANIC MATERIALS. THE TOP NINE (9) INCHES OF EXPOSED SUBGRADE, AFTER CUTTING TO DESIRED SUBGRADE ELEVATION AND/OR BEFORE PLACEMENT OF FILL, SHOULD BE SCARIFIED AND RECOMPACTED TO THE COMPACTION REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- ANY BUILDINGS TO BE DEMOLISHED DURING CLEARING OPERATIONS SHALL BE DONE SO ACCORDING TO ALL APPLICABLE LAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING AN ASBESTOS SURVEY OF THE STRUCTURE, OBTAINING AIR QUALITY PERMITS, AND COORDINATING WITH UTILITY OWNERS TO SHUTDOWN SERVICE.
- ALL BURNING OF TREES, BRUSH AND DEBRIS SHALL BE DONE IN CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES.
- THE CONTRACTOR SHALL CONSTRUCT THE STORM WATER DETENTION FACILITIES PRIOR TO BEGINNING ANY OTHER GRADING OPERATIONS.
- THE SLOPES OF ALL EXCAVATED AREAS, DITCHES, WATERWAYS, CHANNELS, BORROW PITS, AND EMBANKMENTS SHALL BE SO TRIMMED AND SHAPED AS TO BE IN REASONABLY CLOSE CONFORMITY WITH THE LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- BORROW EXCAVATION FOR THE CONSTRUCTION OF EMBANKMENTS OR OTHER PORTIONS OF WORK SHALL BE OBTAINED FROM APPROVED SOURCES. BORROW MATERIAL SHALL BE ASHITO M145, CLASSIFICATION A-6 OR BETTER IF REASONABLY AVAILABLE.
- SOLID ROCK SHALL BE DEFINED AS (1) ROCK WHICH CANNOT BE ECONOMICALLY EXCAVATED WITHOUT THE USE OF EXPLOSIVES OR (2) ANY ROCK, BOULDER OR FRAGMENT OF ROCK OR CONCRETE EXCAVATED FROM A FORMATION HAVING A VOLUME GREATER THAN ONE HALF (1/2) CUBIC YARD. SHOULD SOLID ROCK BE ENCOUNTERED AND EXCAVATION OF SOLID ROCK IS COVERED WITHIN THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. REPRESENTATIVES OF THE ENGINEER SHALL MEASURE THE SOLID ROCK EXCAVATION TO DETERMINE THE QUANTITY OF SOLID ROCK EXCAVATED. THE DETERMINATION OF THE AMOUNT OF SOLID ROCK EXCAVATION SHALL BE THE RESPONSIBILITY OF THE ENGINEER.
- THE CONTRACTOR SHALL BE REQUIRED TO EMPLOY A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF TENNESSEE TO ENSURE THAT EMBANKMENTS ARE BEING CONSTRUCTED IN ACCORDANCE WITH THE PLANS.
- ALL SLOPES SHALL BE AS INDICATED ON PLANS.
- THE CONTRACTOR SHALL BE REQUIRED TO PLACE TOPSOIL TO A DEPTH OF SIX (6) INCHES ON ALL DISTURBED AREAS. PERMANENT EROSION CONTROL MEASURES (SEEDED AND MULCHED) SHALL BE INITIATED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING.
- UNLESS OTHERWISE SPECIFIED ON THE PLANS, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEEDING AND MULCH. MULCH MATERIALS CAN CONSIST OF HAY OR STRAW AT THE APPROXIMATE RATE OF 75 POUNDS PER 1000 SQUARE FEET AND HELD IN PLACE BY THE USE OF A MULCH BINDER.
- DURING PERIODS OF EXTREME DRYNESS, THE CONTRACTOR SHALL KEEP AREAS BEING GRADED DAMPENED BY WATERING TO MINIMIZE THE EFFECTS OF DUST ON ADJOINING PROPERTIES.
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL DETENTION AND WATER QUALITY BASINS HAVE ADEQUATE STORAGE PRIOR TO FINAL STABILIZATION.
- THE CONTRACTOR SHALL BE REQUIRED TO SIGN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS WELL AS THE NOTICE OF INTENT (NOI). THE CONTRACTOR UNDERSTANDS THAT HE MUST ABIDE BY THE REGULATIONS CONTAINED IN NPDES PERMIT NUMBER TNR 1000000, AND THAT HIS ON-SITE ACTIVITIES ARE THEREBY REGULATED.
- PRIOR TO GRADING OPERATIONS THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING UP AND ATTENDING A PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE GOVERNING AGENCY IN ORDER TO OBTAIN THE GRADING PERMIT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL REQUIRED PARTIES (OWNER OR ENGINEER, GRADING CONTRACTOR, GENERAL CONTRACTOR, INDIVIDUAL RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROLS) ARE PRESENT, AND ALL REQUIRED DOCUMENTS ARE PROVIDED TO THE STREET DEPARTMENT AT THE PRE-CONSTRUCTION MEETING.
- ALL DITCHES AND BASINS SHALL BE MATTED UNLESS OTHERWISE NOTED. MATTING SHALL BE TYPE S 150 (NORTH AMERICAN GREEN) OR EQUIVALENT AND SHOULD BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- ALL PROPOSED SPOT ELEVATIONS ARE TO FINISH GRADE OF ASPHALT IN PARKING AREAS OR FINISH GRADE OF DIRT IN GRASS AREAS UNLESS NOTED OTHERWISE. SEE SURFACE MATERIALS SHEET.
- CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF NEW PAVEMENT.
- CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE, NOR STORE MATERIALS WITHIN THE DRIP LINES OF TREES OR OUTSIDE THE LIMIT OF GRADING.
- ALL TREES WITHIN 125 FEET ON BOTH SIDES OF CENTERLINE TO BE REMOVED

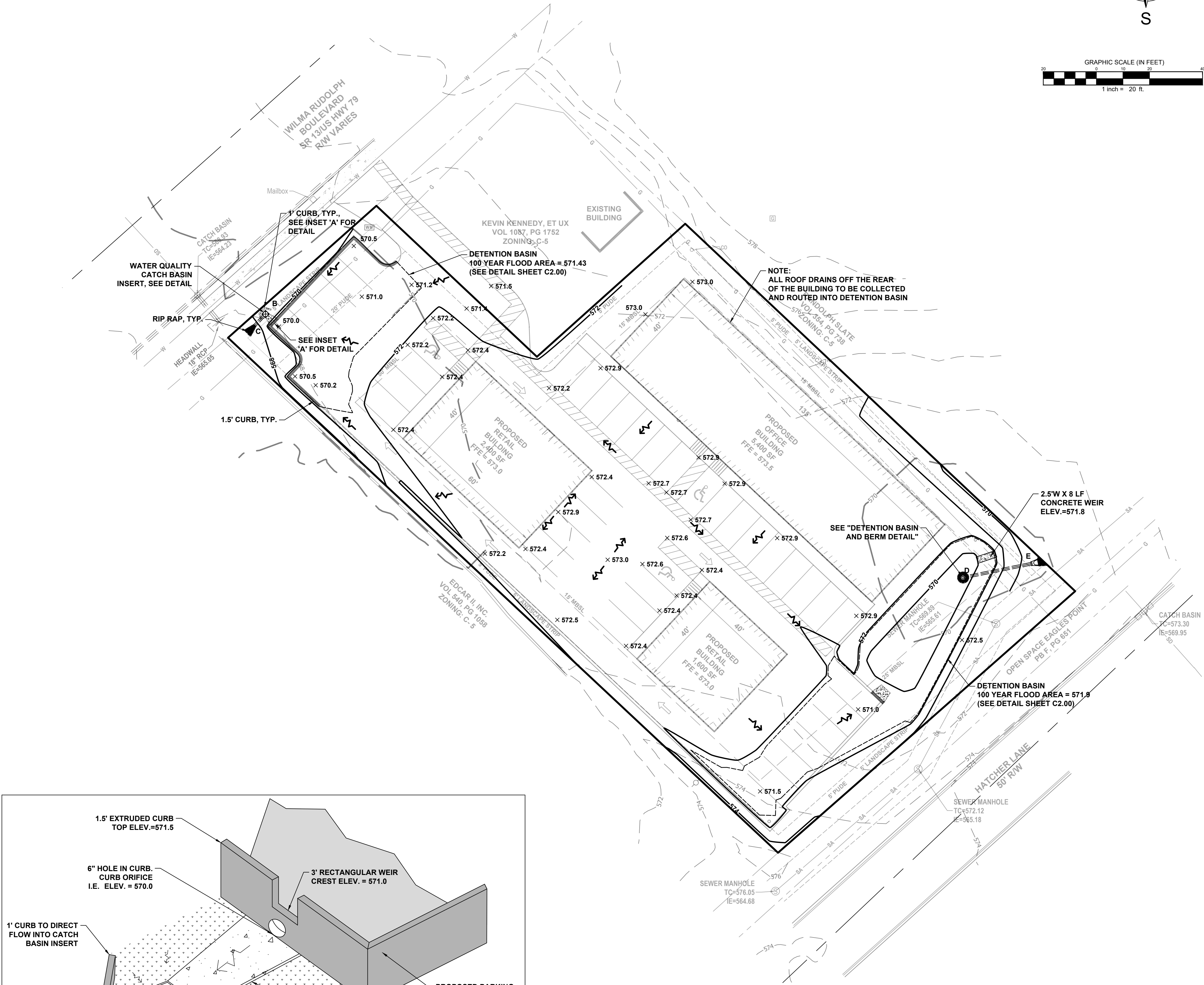
STRUCTURE	TYPE	INVERT IN	INVERT OUT	TOP OF GRATE
B ²	AREA DRAIN		566.50	569.50
C	END OF PIPE		566.30	
D ³	STRUCTURE		SEE DETAIL	SEE DETAIL
E	HEADWALL		569.30	

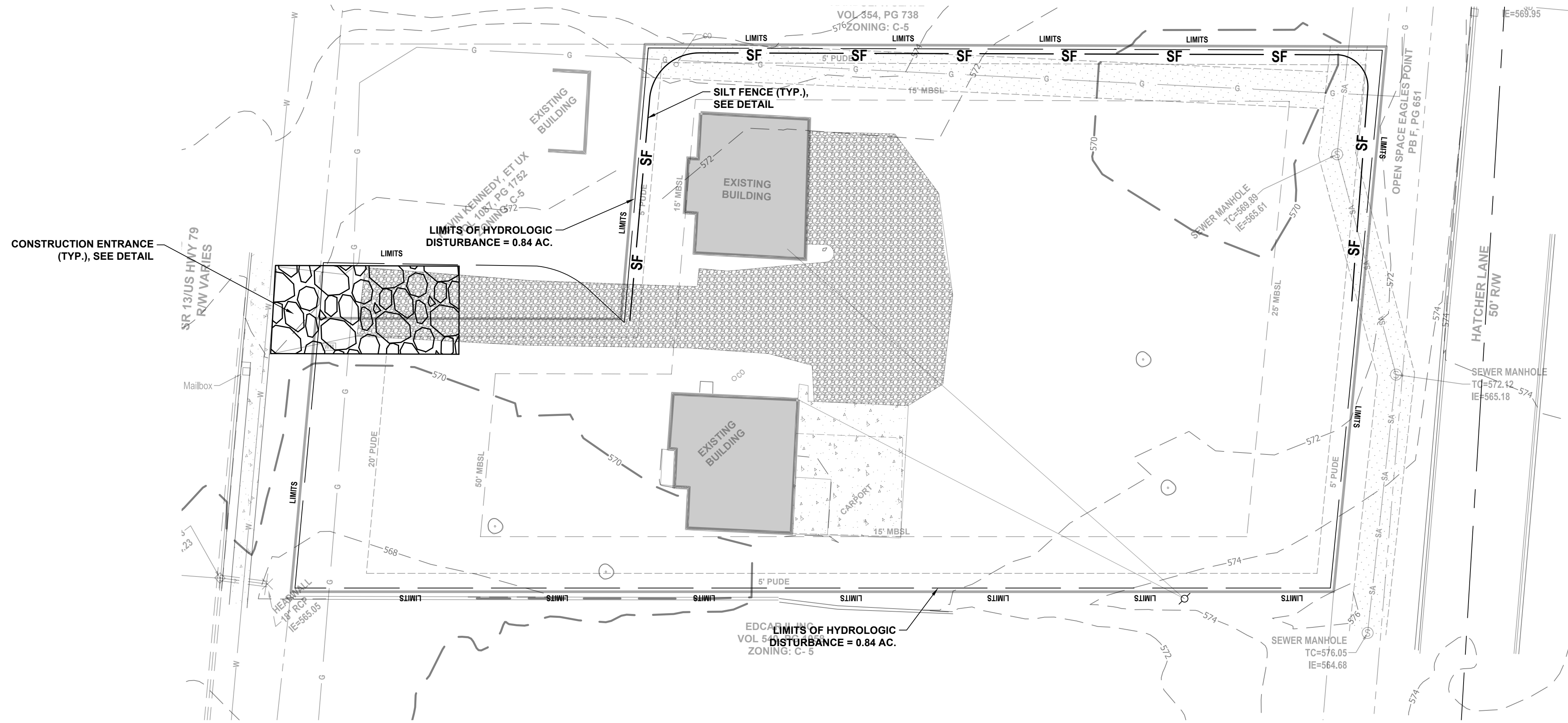
1 SEE DETAIL FOR OUTLET STRUCTURE (BOTTOM OF SHEET)

2 SEE DETAIL FOR CATCH BASIN INSERT FOR SIZE BEFORE ORDERING STRUCTURE (SEE D-1.0)

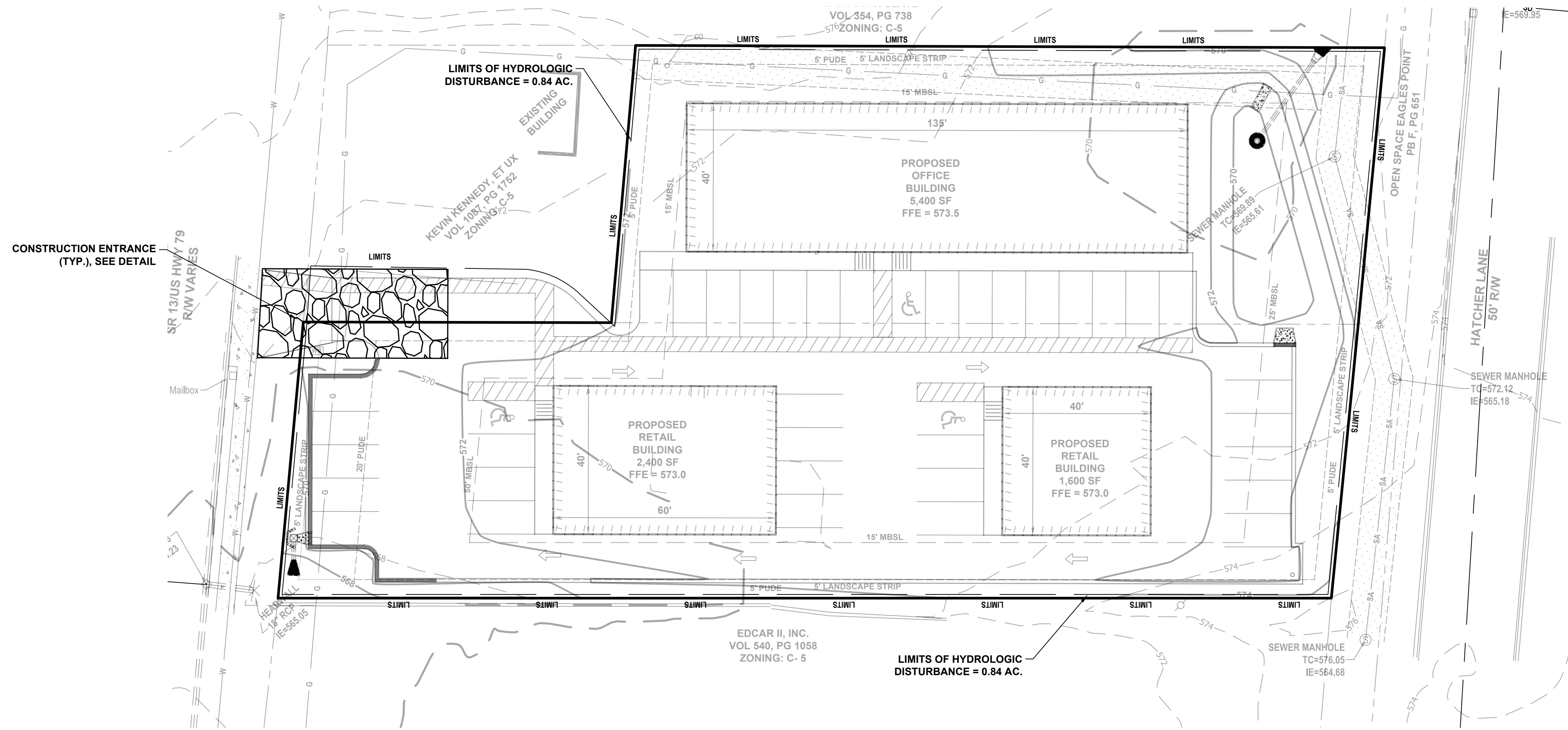
3 SEE DETAIL FOR OUTLET STRUCTURE

FROM STRUCTURE	TO STRUCTURE	PIPE SIZE (IN)	PIPE MATERIAL	PIPE LENGTH (FT)	SLOPE
B	C	12	HDPE	6	1.00%
D	E	6	HDPE	26	3.33%

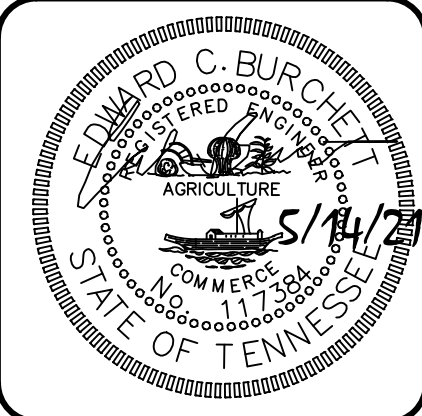
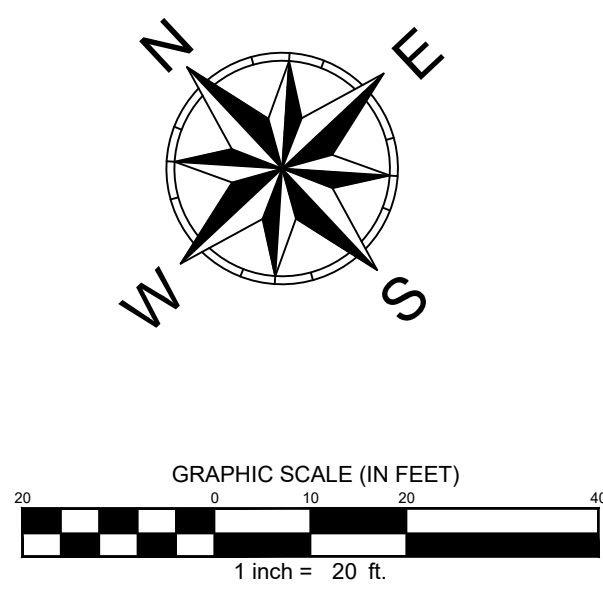




PROPOSED EROSION CONTROL PLAN PHASE I



PROPOSED EROSION CONTROL PLAN PHASE II & III



REVISIONS	
DATE	COMMENTS

MILLAN RETAIL WILMA RUDOLPH

EROSION CONTROL PLAN PHASE I
2163 WILMA RUDOLPH BLVD., CLARKSVILLE
MONTGOMERY COUNTY, TENNESSEE
May 14, 2021



McKay-Burchett
& Company

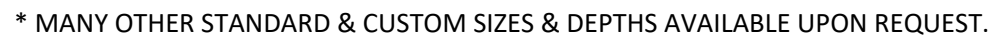
ENGINEERS

1545 Madison Street
Clarksville, TN 37040
Ph # 931-245-3095

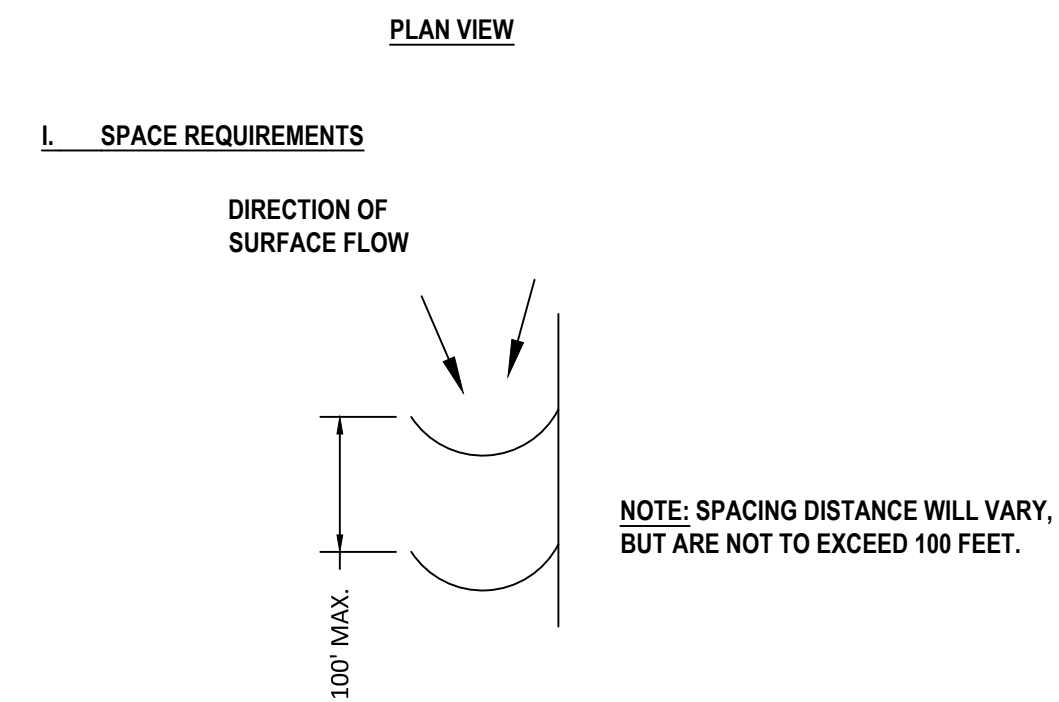
SHEET: C.2.01

DRAWN BY: A. HUTCHISON
CHECKED BY: C. BURCHETT

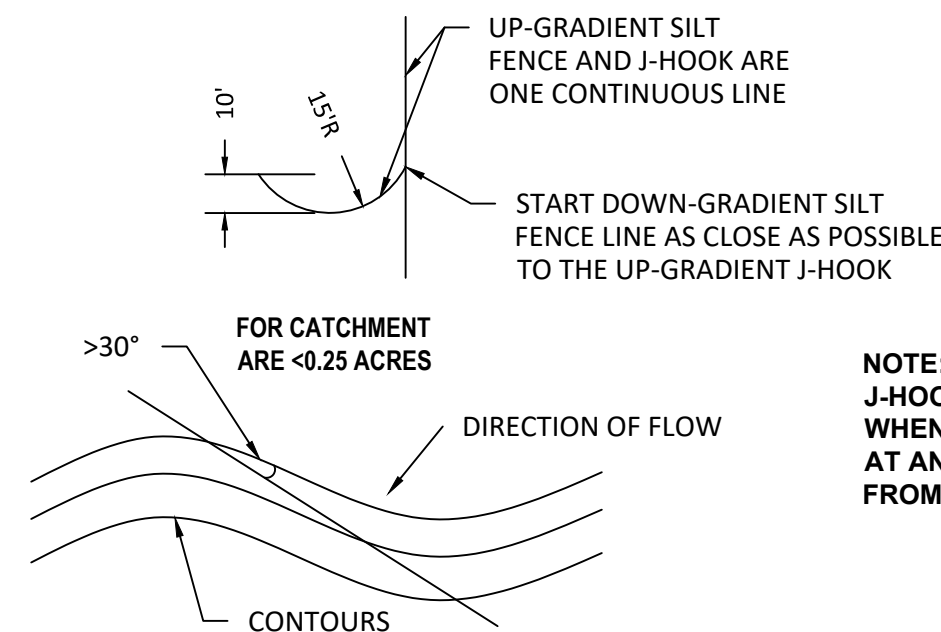
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(Millan Retail & Office 2163 Wilma
Rudolph Blvd)\2163 Wilma -
Erosion



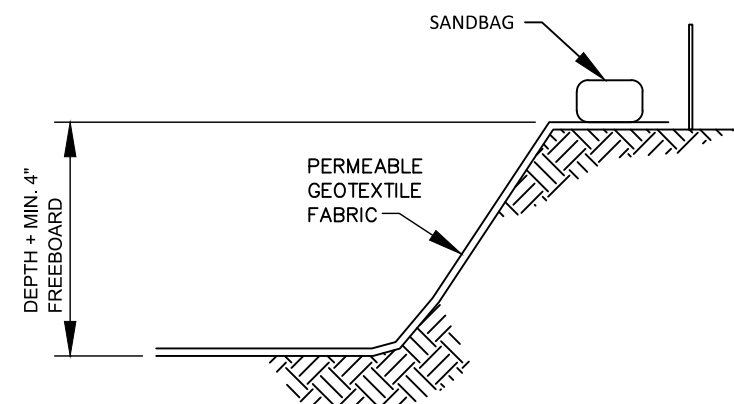
SPECIFIER CHART						
STRUCTURE	MODEL NO.	STANDARD & SHALLOW DEPTH (Data in these columns is the same for both STANDARD & SHALLOW versions)				
		STANDARD DEPTH	INLET ID Inside Dimension (inch x inch)	GRATE OD Outside Dimension (inch x inch)	TOTAL BYPASS CAPACITY (cu. ft./sec.)	SOLIDS STORAGE CAPACITY (cu. ft.)
B	FGP-24F	24 X 24	24 X 27	6.1	2.2	1.5



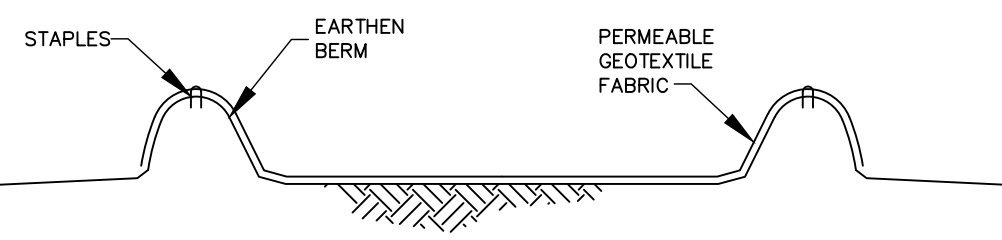
II. SIZING REQUIREMENTS



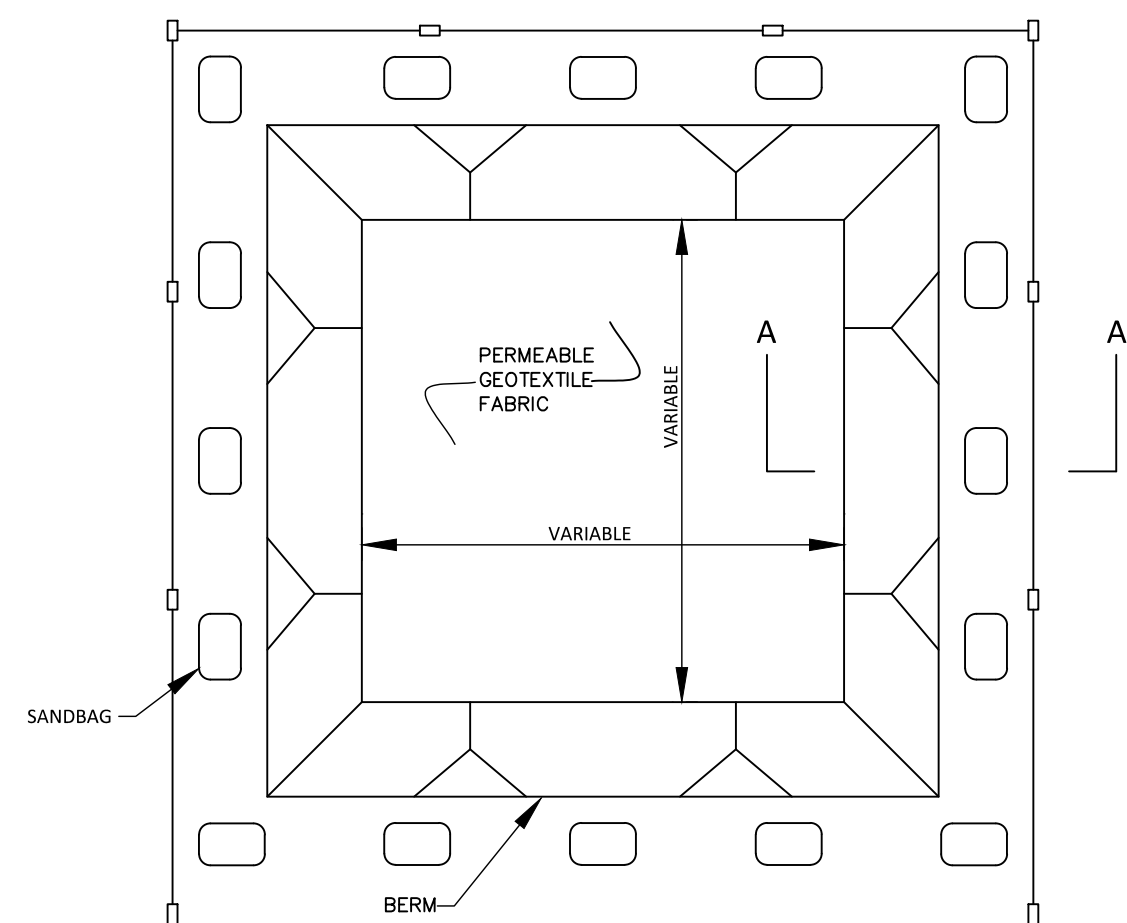
**NOTE:
J-HOOKS SHALL ALSO BE USED
WHEN THE SILT FENCE IS INSTALLED
AT AN ANGLE OF 30° OR GREATER
FROM PARALLEL TO THE CONTOURS.**



SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE

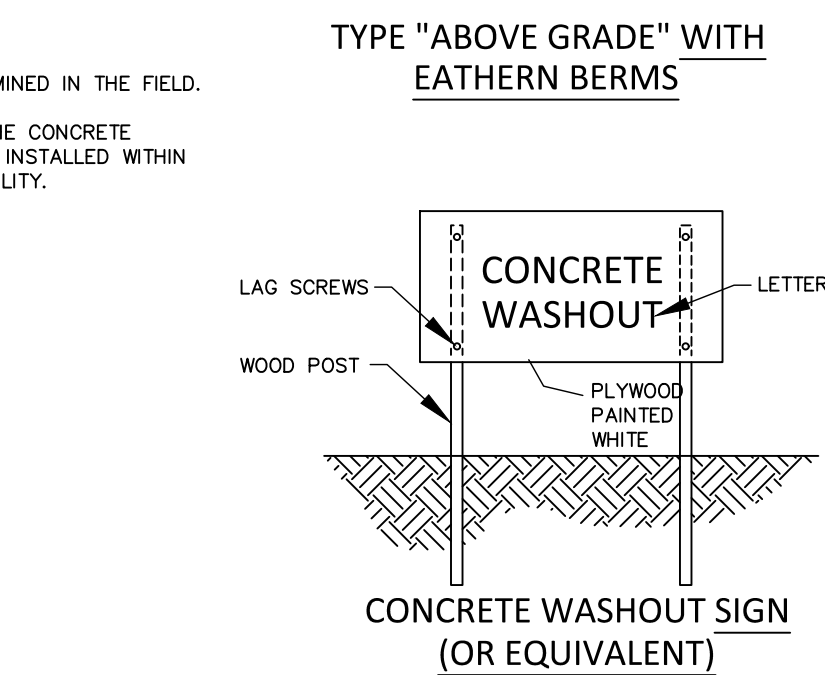


PLAN VIEW
NOT TO SCALE

TYPE "BELOW GRADE"

NOTES:

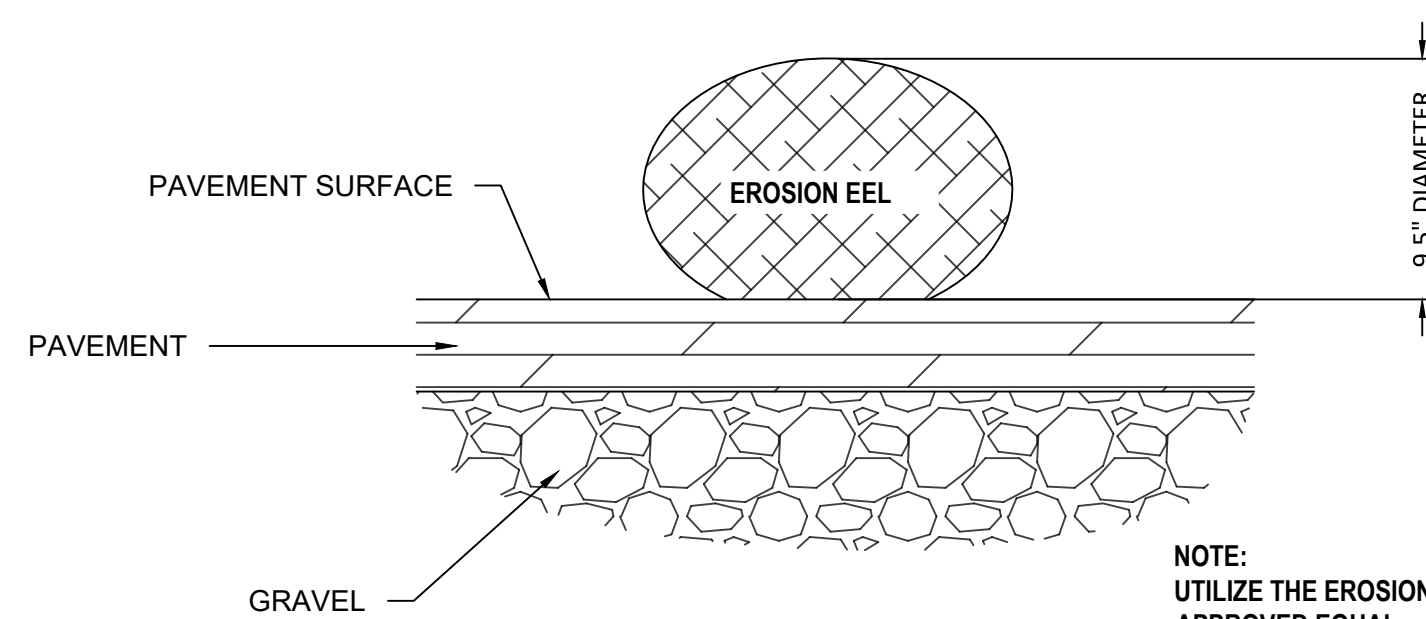
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 5FT.OF THE WASHOUT FACILITY.



TYPE "ABOVE GRADE" WITH
EATHERN BERMS

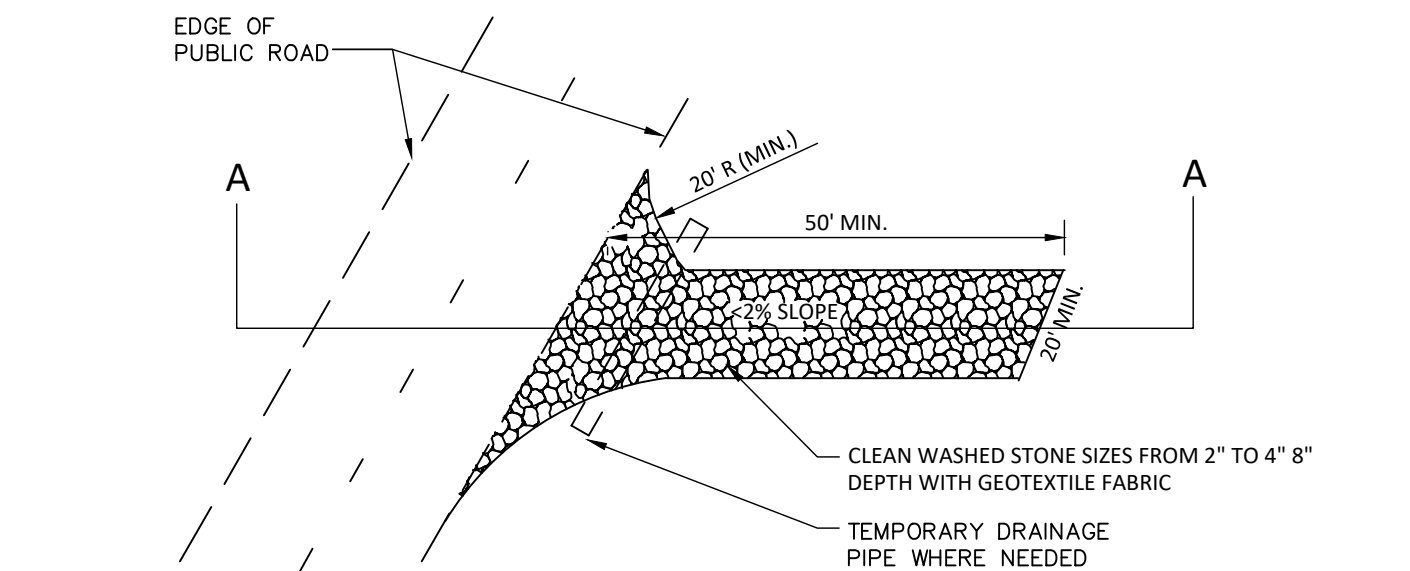
CONCRETE WASHOUT SIGN
(OR EQUIVALENT)

NOTE:
SILT PROTECTION PLACED IN ASPHALT LOCATIONS SHALL HAVE SAND BAGS PLACED AT POINTS ALONG THE BARRIER. BAGS ARE INTENDED TO PREVENT MOVEMENT AND PERPENDICULAR STABILIZATION FOR THE DEVICE AND SHALL BE PLACED ON TOP, PERPENDICULAR TO RUN. SAND BAG PLACEMENT NOT MORE THAN 8 FEET APART.

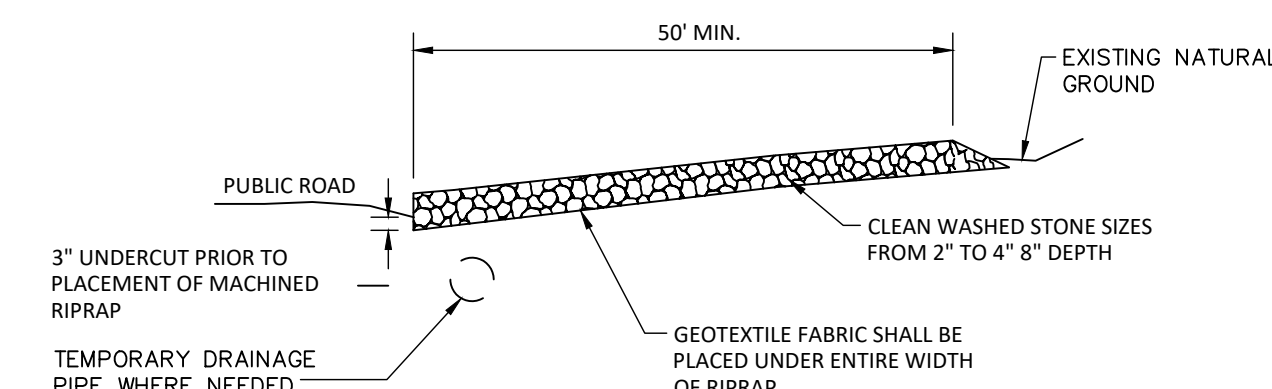


NOTE:
UTILIZE THE EROSION EEL BY JEN HILL OR
APPROVED EQUAL.

EROSION EEL
(NTS)

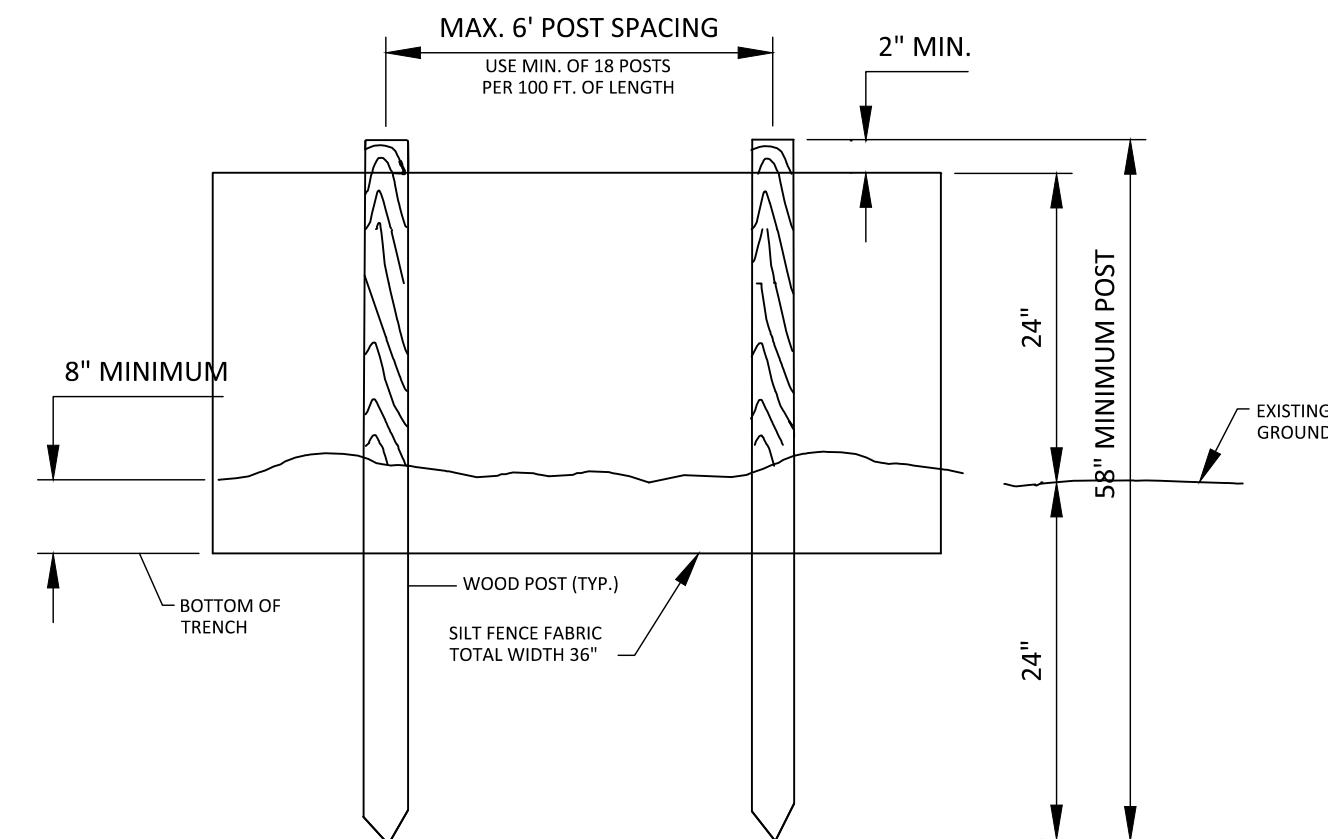


PLAN VIEW OF TEMPORARY CONSTRUCTION ROAD

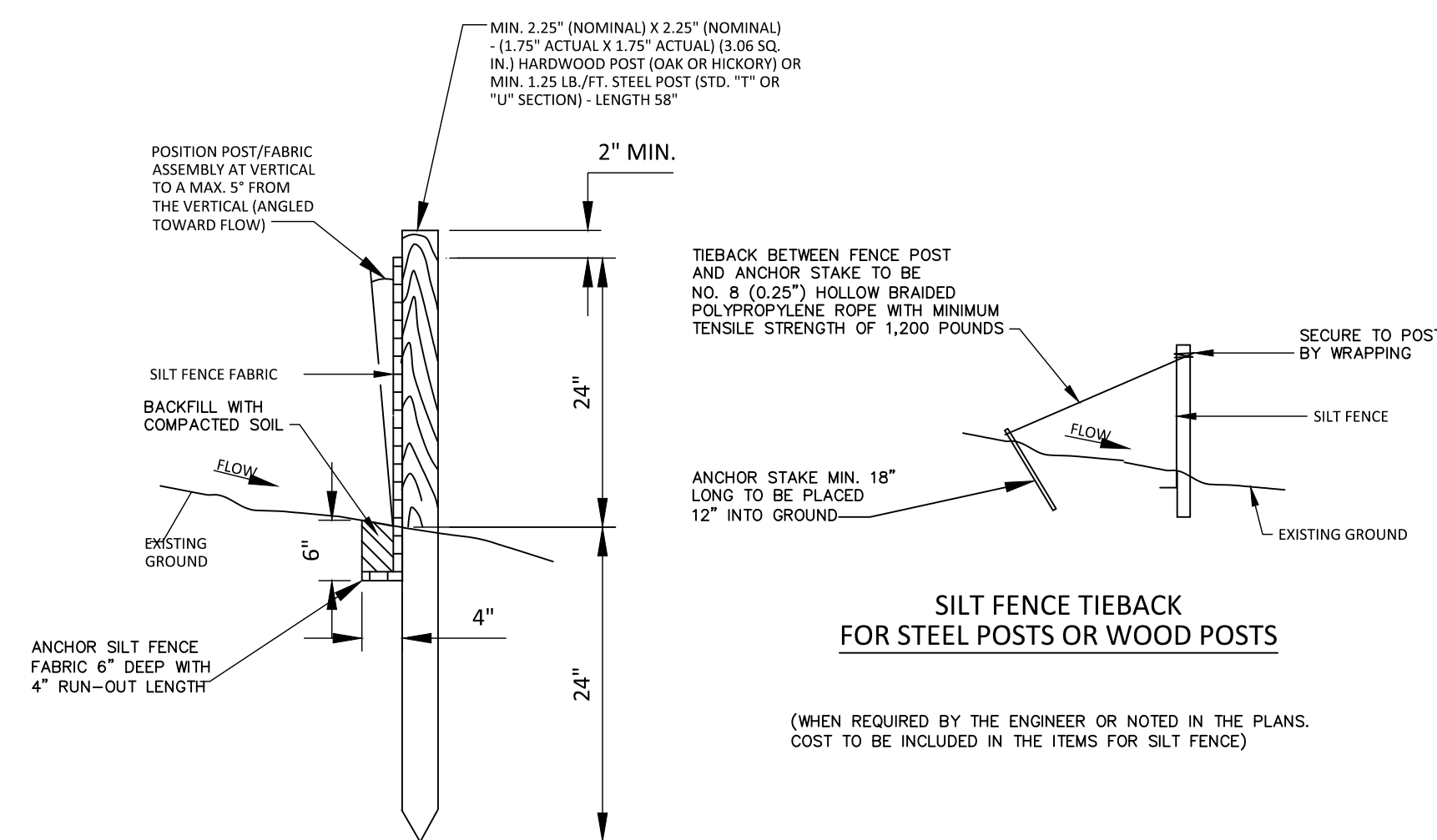


SECTION A-A

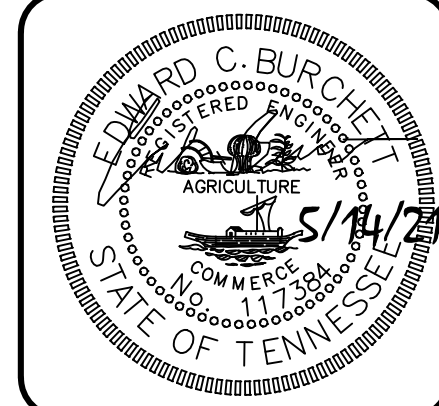
CONSTRUCTION EXIT



ELEVATION VIEW



SILT FENCE



REVISIONS

COMMENTS

DATE _____

MILLAN RETAIL WILMA RUDOLPH

STANDARD DETAILS

2163 WILMA RUDOLPH BLVD., CLARKSVILLE
MONTGOMERY COUNTY, TENNESSEE

May 14, 2021

FILE - Z:\Projects\2021\0016-21
(Millan Retail & Office 2163 Wilma
Rudolph Blvd)\2163 Wilma -

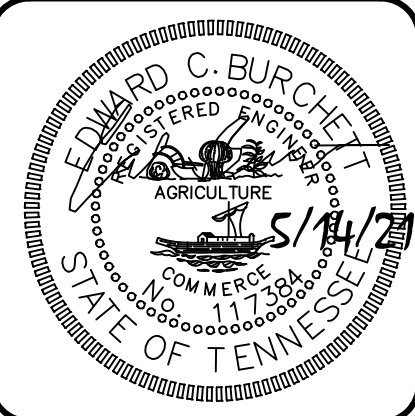
DRAWN BY: A. HUTCHISON
CHECKED BY: C. BIRCHETT

SHEET: D-1.0



McKAY-BURCHETT
& COMPANY
ENGINEERS

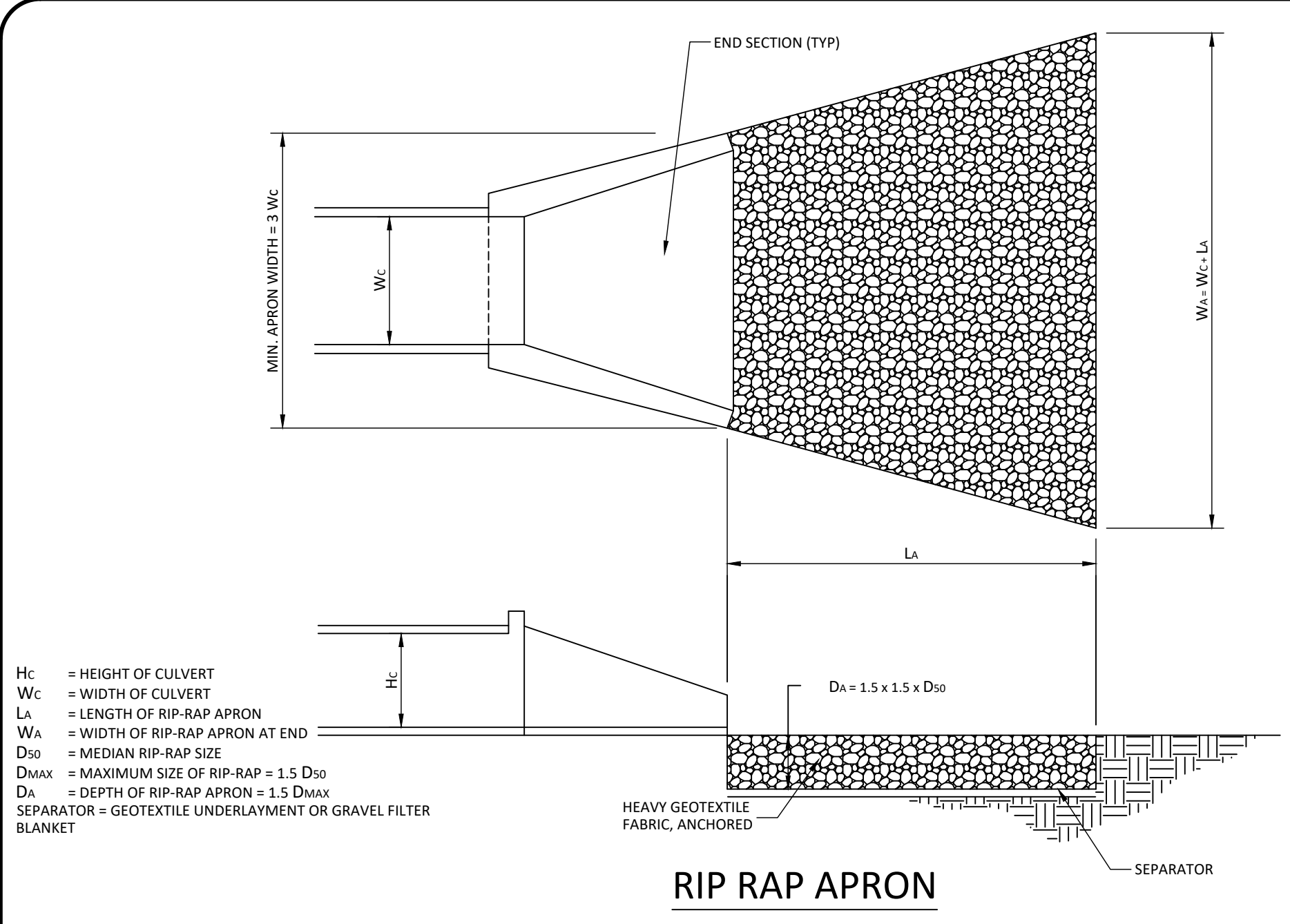
1545 Madison Street
Clarksville, TN 37040
Ph # 931-245-3095



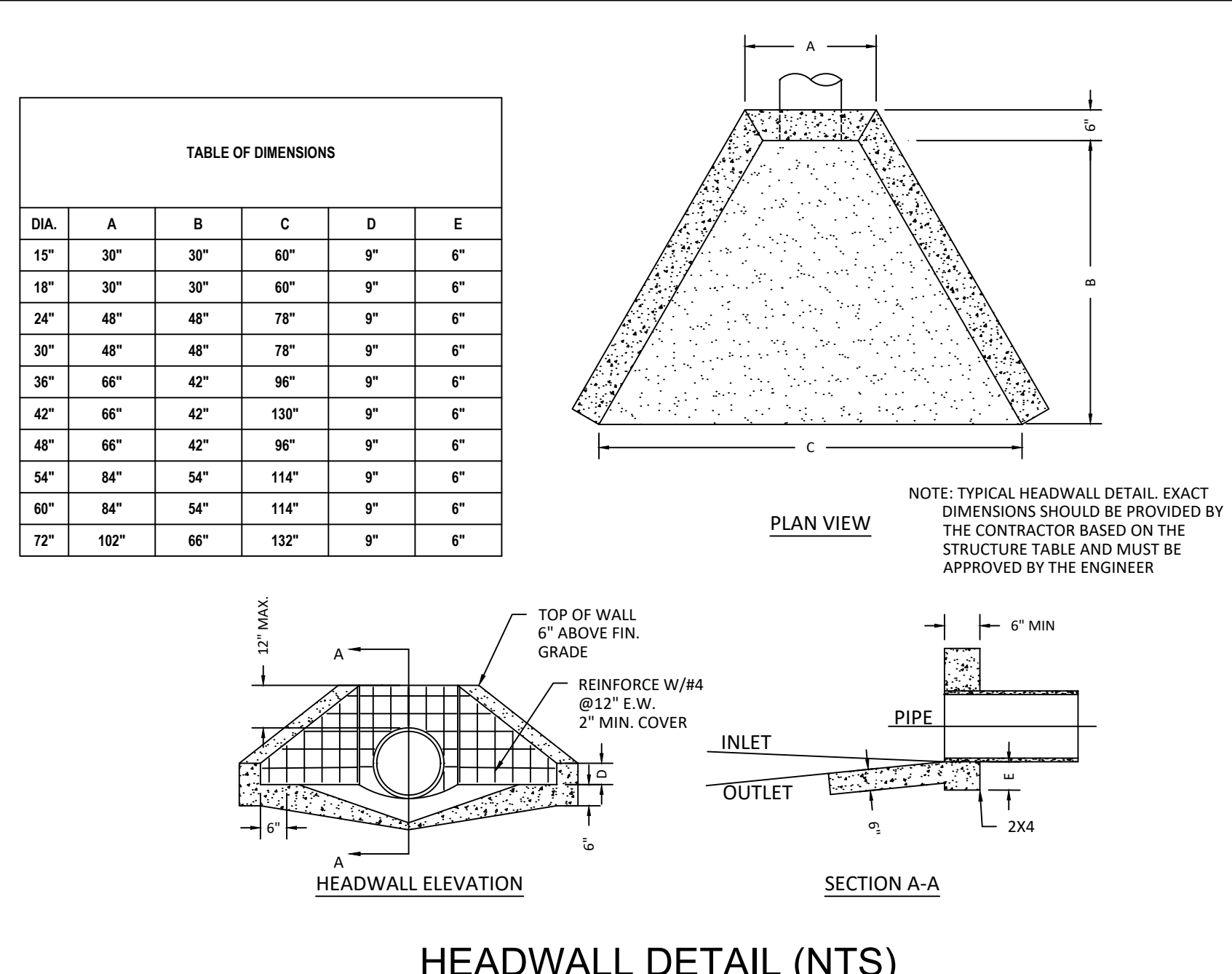
REVISIONS	
DATE	COMMENTS

MILLAN RETAIL WILMA RUDOLPH
STANDARD DETAILS
2163 WILMA RUDOLPH BLVD., CLARKSVILLE
MONTGOMERY COUNTY, TENNESSEE
May 14, 2021

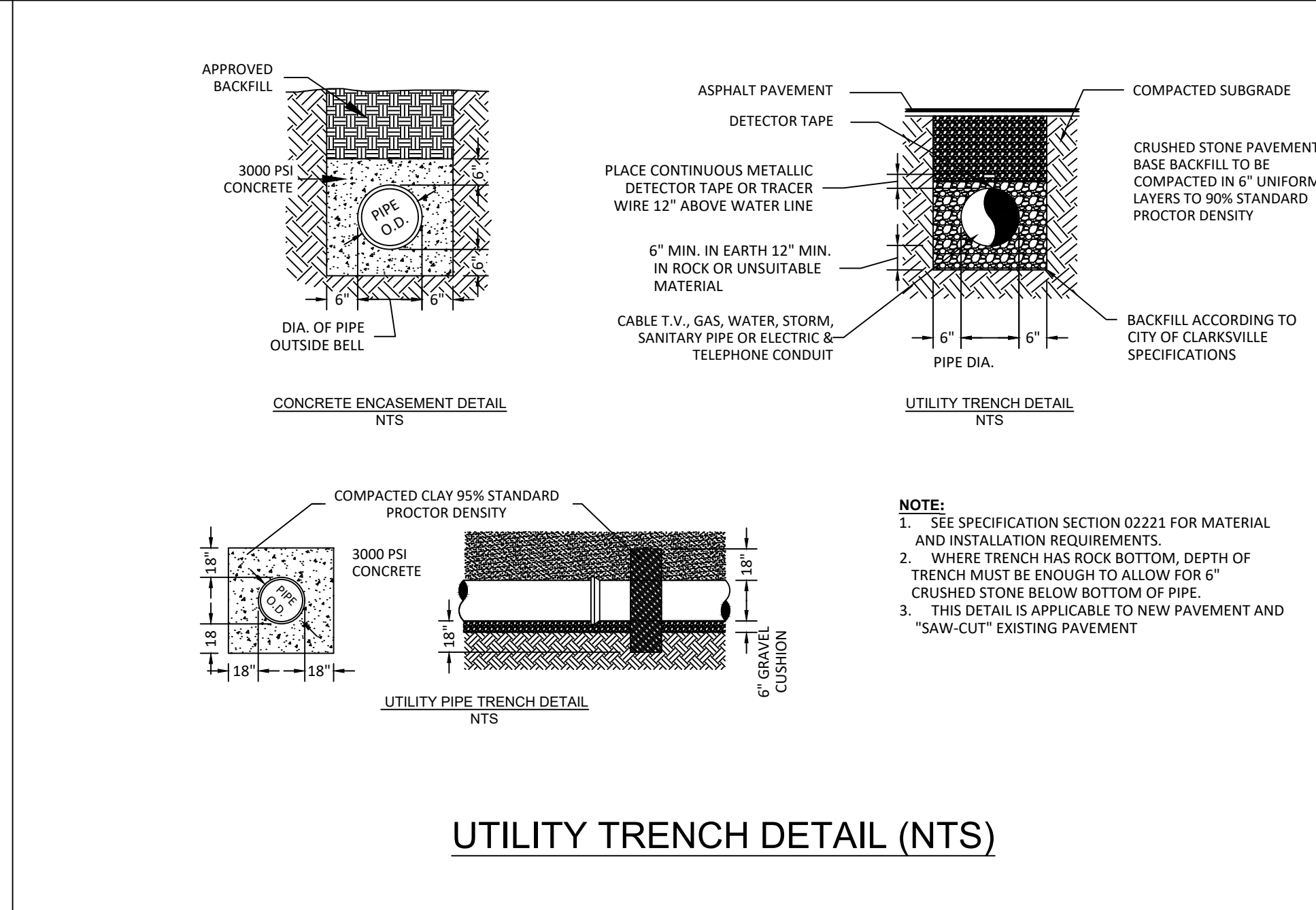
McKAY-BURCHETT & COMPANY ENGINEERS
1545 Madison Street
Clarksville, TN 37040
Ph # 931-245-3095
DRAWN BY: A. HUTCHISON
CHECKED BY: C. BURCHETT
FILE: 202100102-21
(Millan Retail & Office 2163 Wilma Rudolph Blvd.)
SHEET: D-2.0



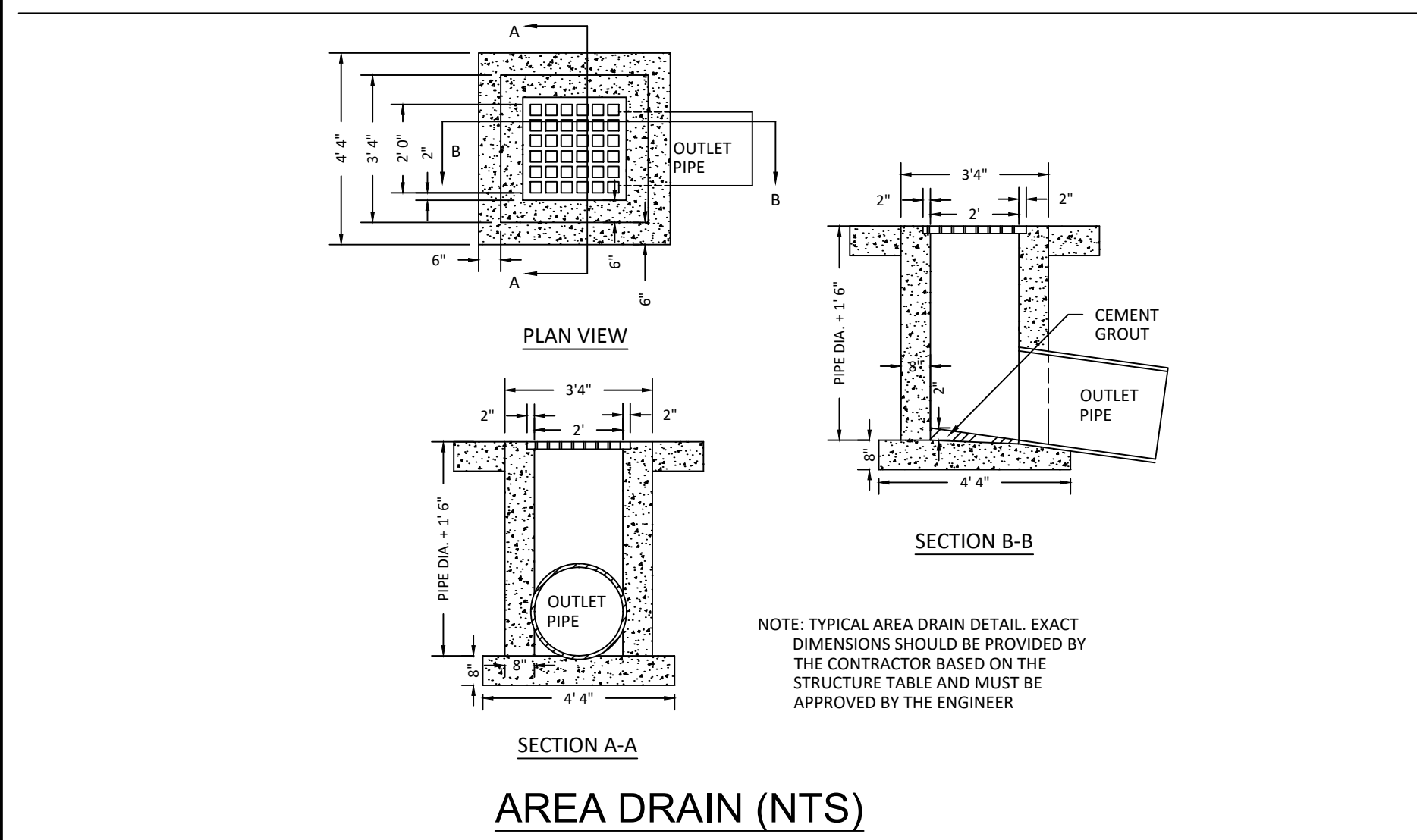
RIP RAP APRON



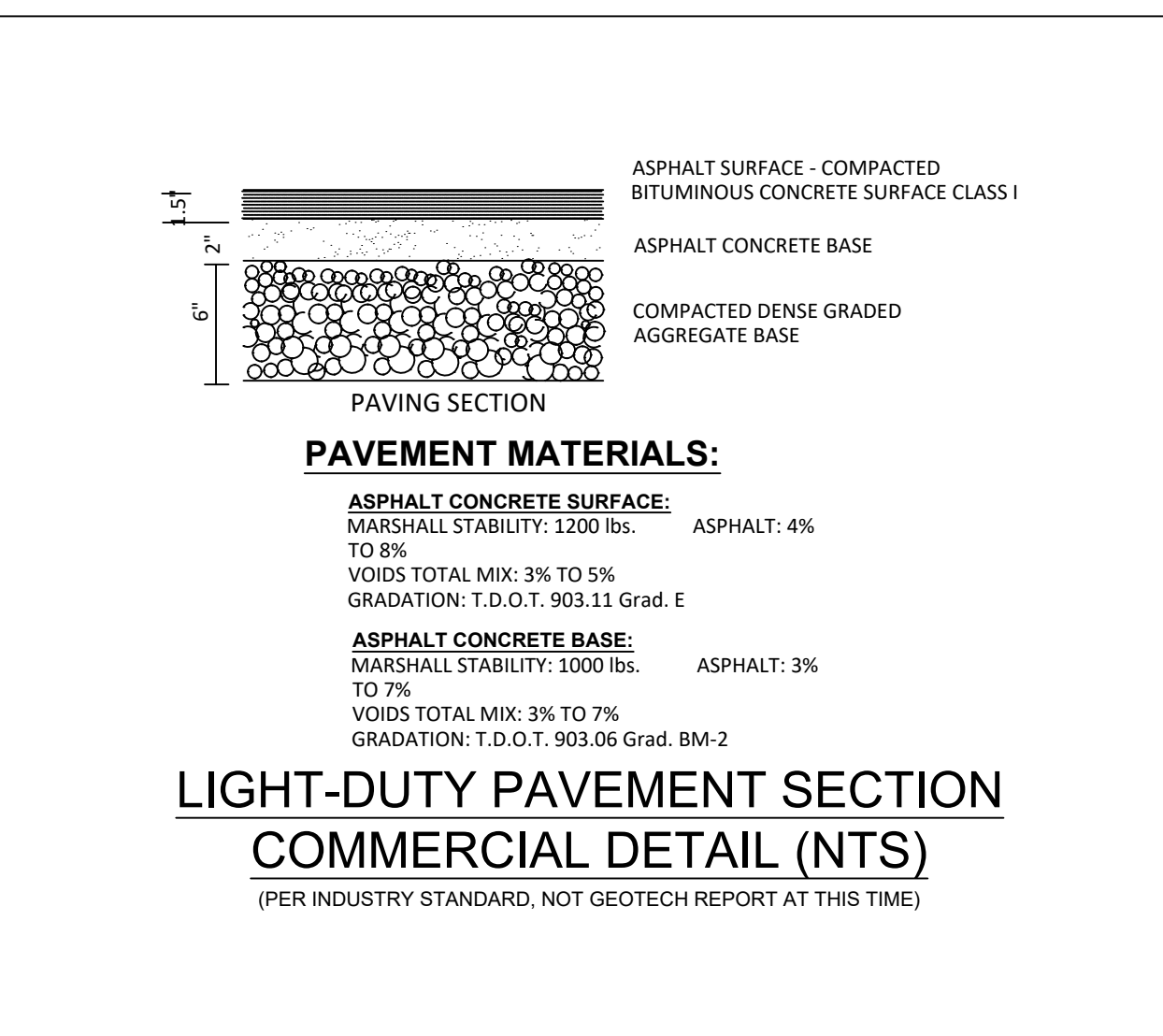
HEADWALL DETAIL (NTS)



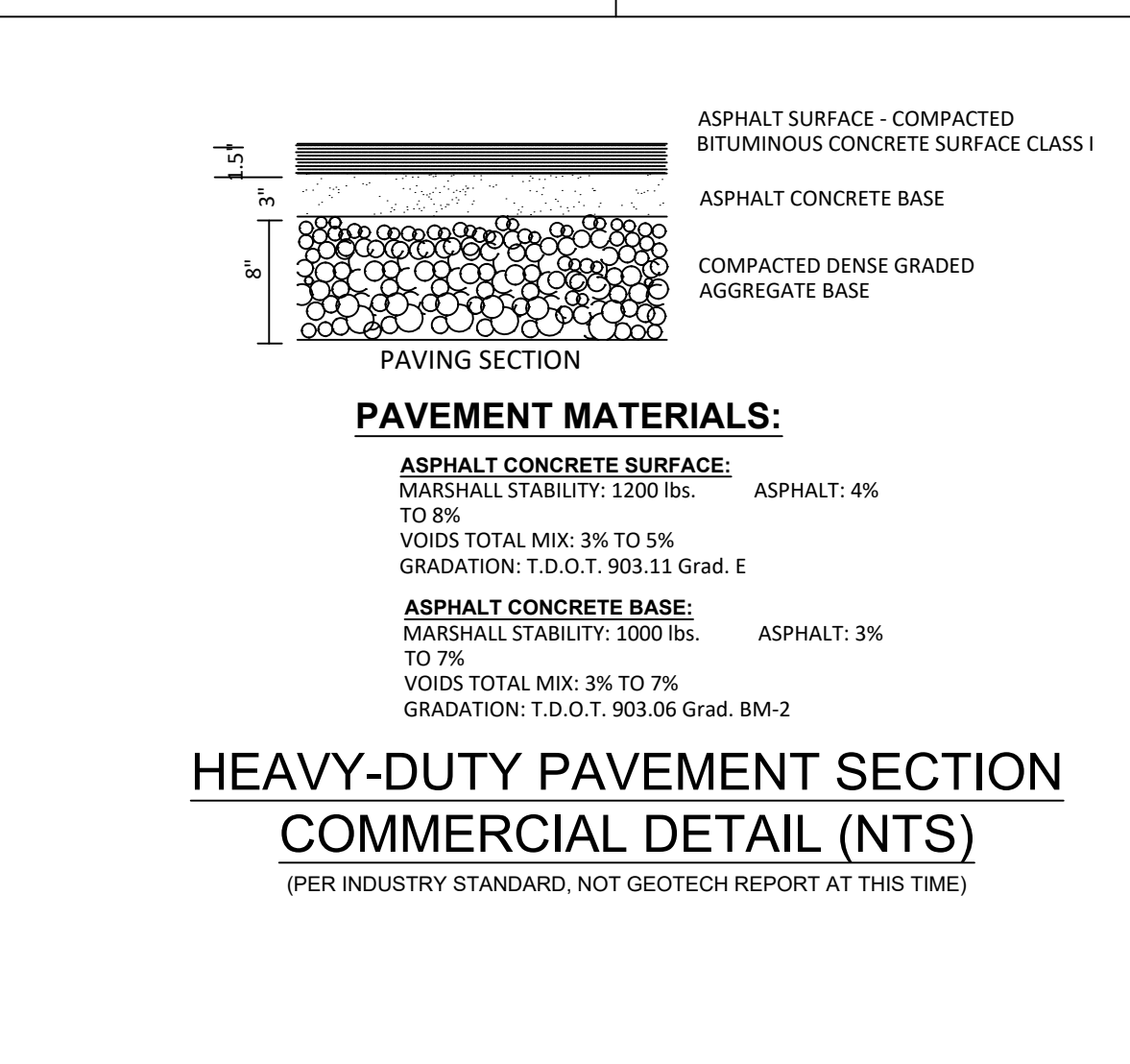
UTILITY TRENCH DETAIL (NTS)



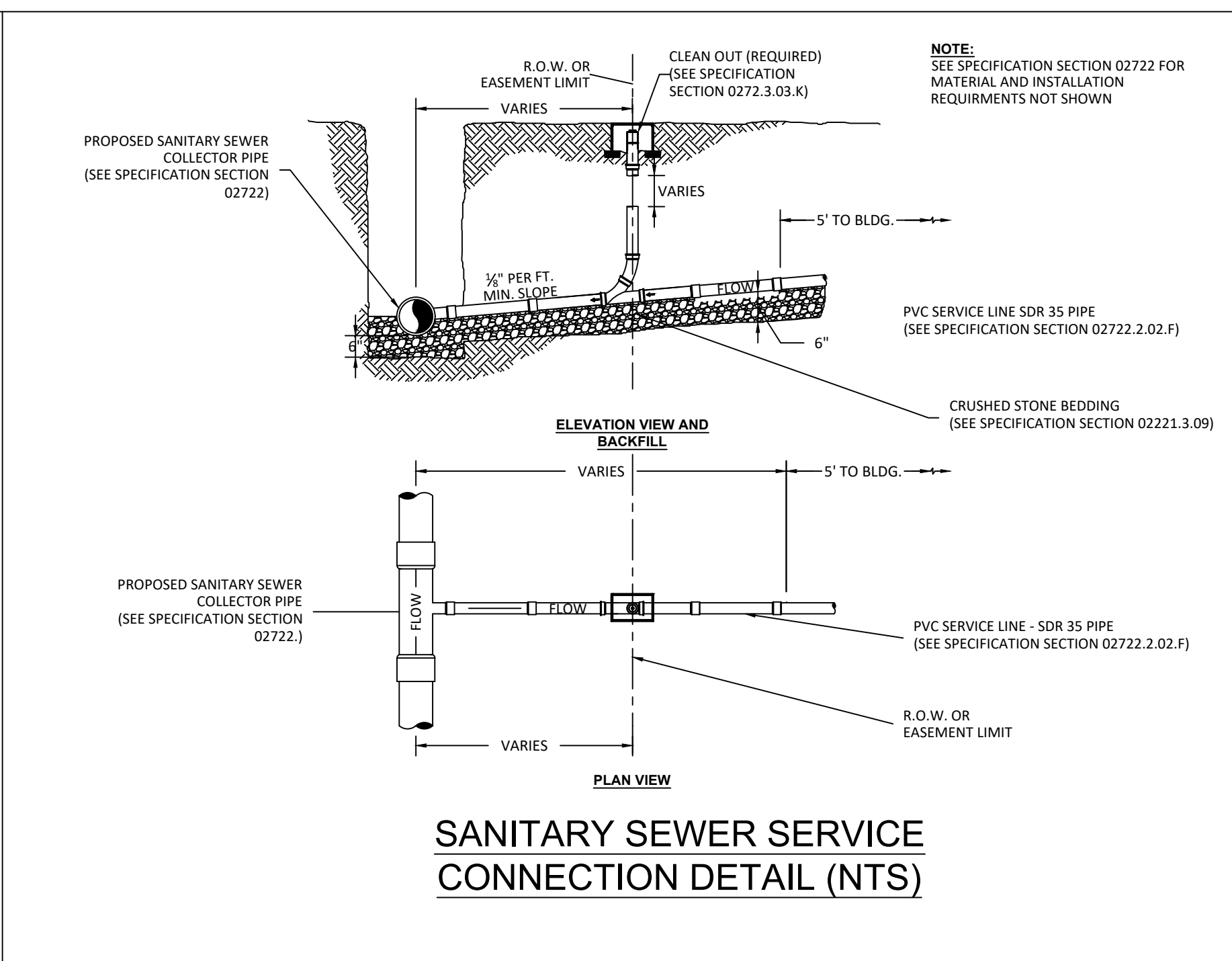
AREA DRAIN (NTS)



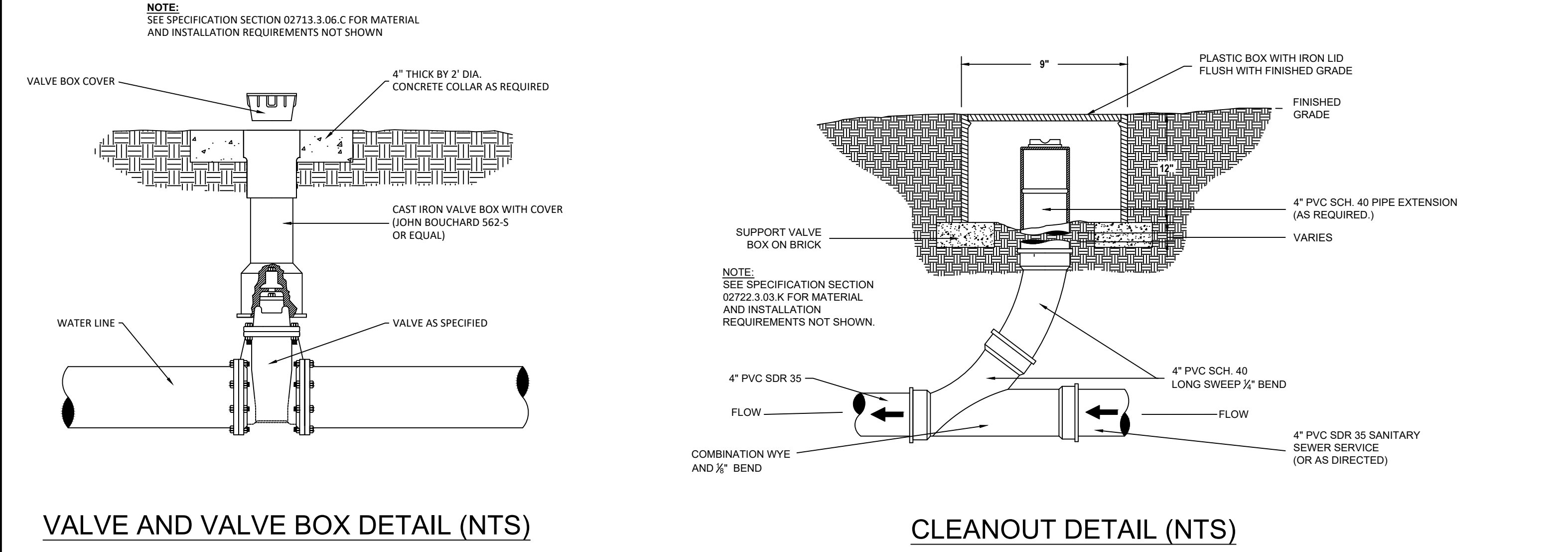
LIGHT-DUTY PAVEMENT SECTION COMMERCIAL DETAIL (NTS)



HEAVY-DUTY PAVEMENT SECTION COMMERCIAL DETAIL (NTS)

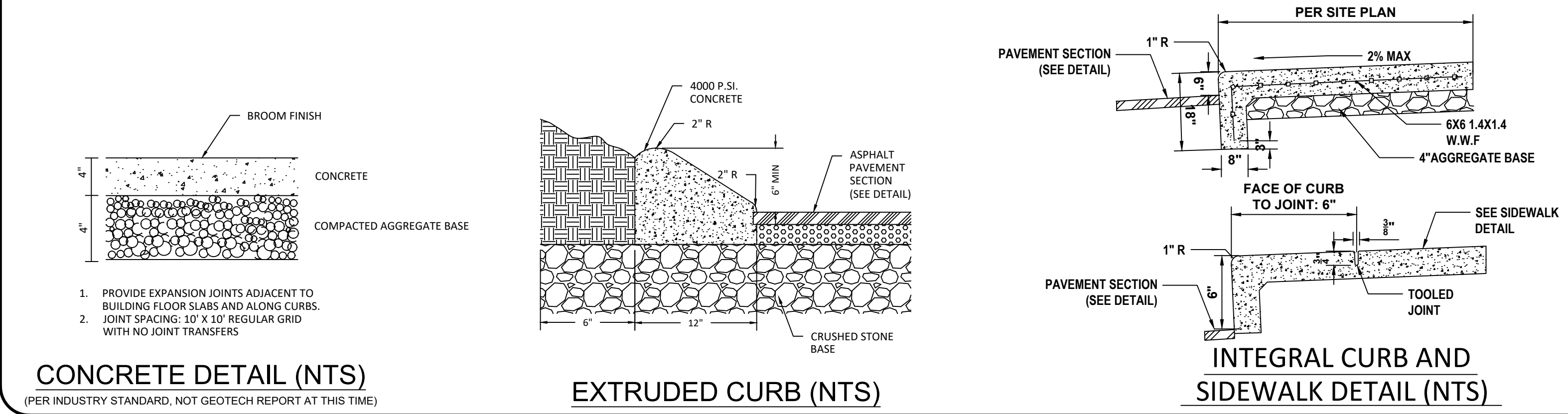


SANITARY SEWER SERVICE CONNECTION DETAIL (NTS)



VALVE AND VALVE BOX DETAIL (NTS)

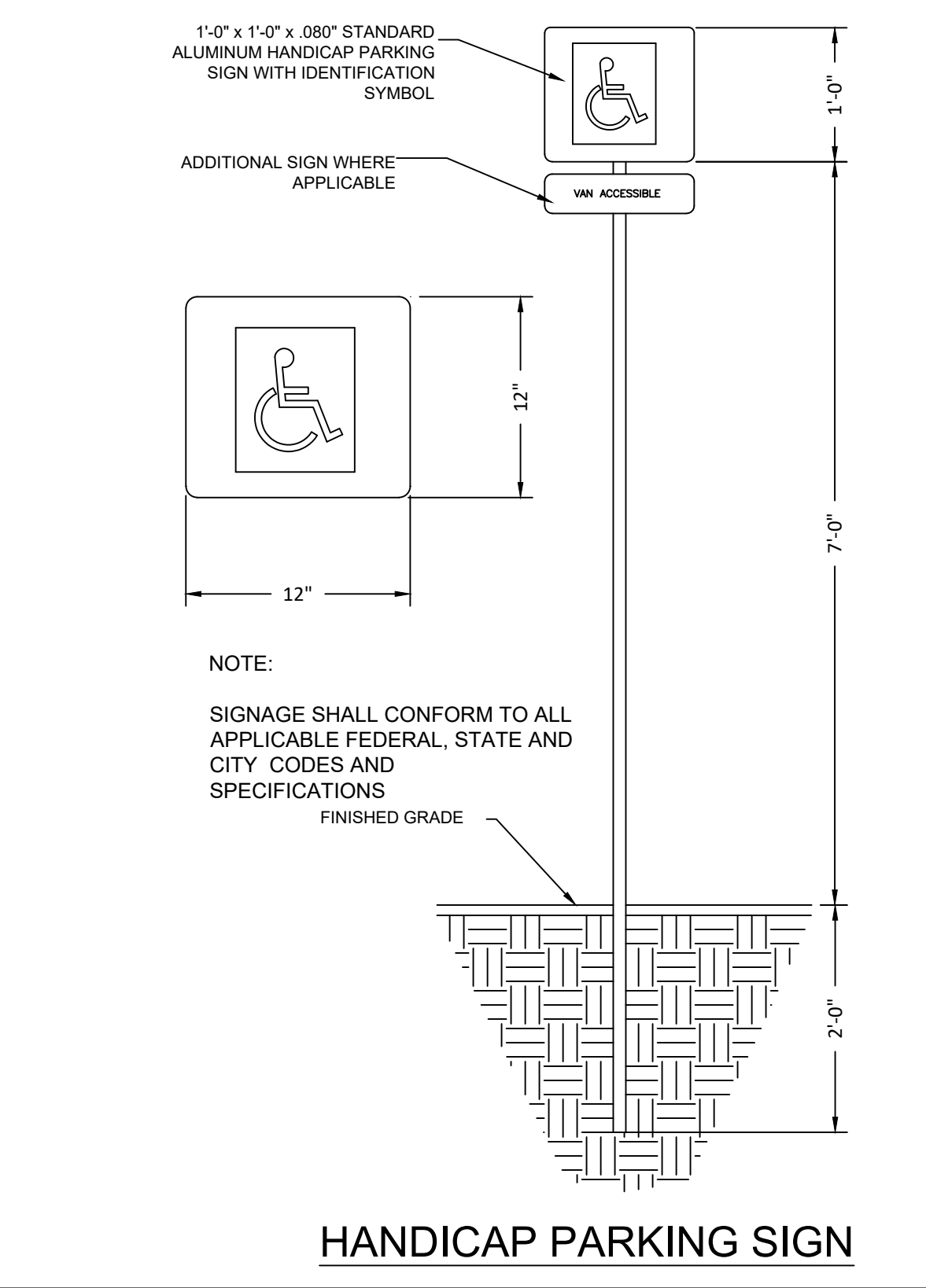
CLEANOUT DETAIL (NTS)



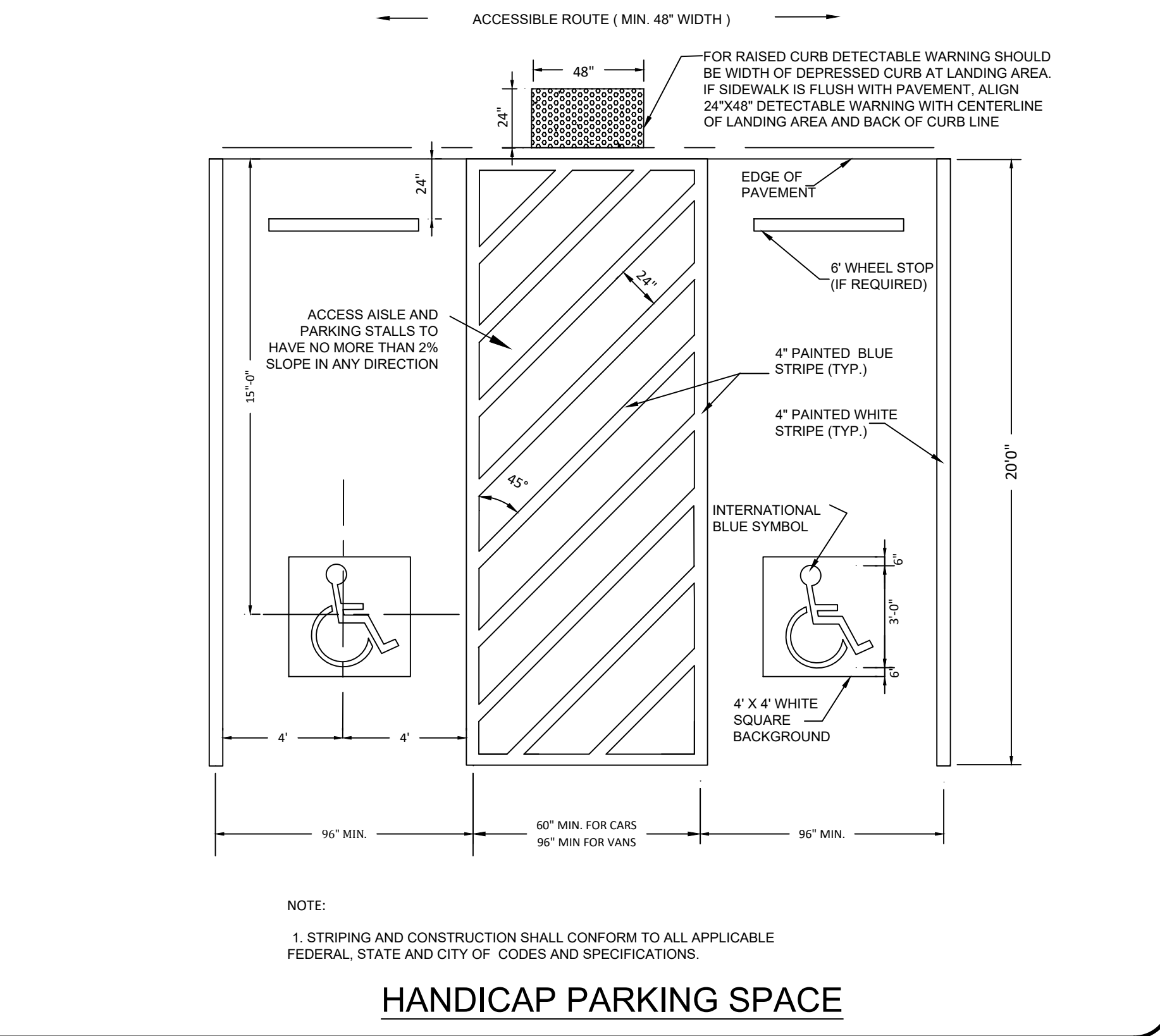
CONCRETE DETAIL (NTS)

EXTRUDED CURB (NTS)

INTEGRAL CURB AND SIDEWALK DETAIL (NTS)

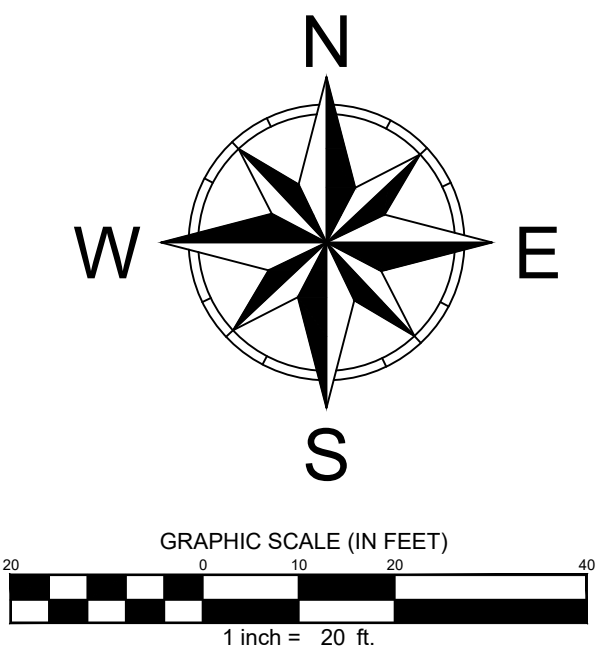


HANDICAP PARKING SIGN



HANDICAP PARKING SPACE

1. LANDSCAPE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AND SHALL COORDINATE WITH PROPER UTILITY COMPANIES PRIOR TO ORDERING MATERIALS.
2. STUMPS AND OTHER PLANT MATERIALS TO BE REMOVED, SHALL BE DISPOSED OFF-SITE BY CONTRACTOR.
3. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETE IN AREA.
4. PLANTING AREAS SHALL BE FERTILIZED ACCORDING TO CITY REQUIREMENTS.
5. ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF OR SEED AS INDICATED ON MATERIALS SCHEDULE.
6. PLANTING BEDS SHALL BE A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
7. NO PLANT SHALL BE LOCATED WITHIN 10' OF ANY UTILITY.
8. ALL SHRUBS THAT HAVE BEEN PLANTED WITHIN SIGHT TRIANGLES SHALL MAINTAIN A MAXIMUM HEIGHT OF 3.50' ABOVE ADJACENT ROADWAY CROWN.
9. ALL EXISTING PLANT MATERIALS SHALL BE PRUNED AND INJURIES REPAIRED.
10. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS AT CORRECT GRADES AND SPACING. THE PLANTS SHALL BE ORIENTATED AS TO GIVE BEST APPEARANCE.
11. MCKAY, BURCHETT & COMPANY LLC ARE NOT PROFESSIONAL LANDSCAPE ARCHITECTS AND DO NOT CLAIM TO BE ON THIS PLAN.
12. THE OWNER SHALL SUBMIT A CERTIFICATE OF LANDSCAPE COMPLIANCE TO THE BUILDING AND CODES DEPT. (931-645-7426) UPON COMPLETION OF LANDSCAPE INSTALLATION AND SCHEDULE A LANDSCAPE INSPECTION.
13. CERTIFICATE OF OCCUPANCY SHALL BE ISSUED ONCE ALL LANDSCAPE MATERIALS ARE IN PLACE AND IN COMPLIANCE WITH APPROVED LANDSCAPE PLAN.
14. ALL TREES AND SHRUBS TO BE TAGGED BASED ON SPECIES. TAGS MAY NOT BE REMOVED UNTIL SITE INSPECTION FOR CERTIFICATE OF OCCUPANCY.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANT MATERIALS FOR ONE YEAR OR BY NEXT GROWING SEASON. PLANTS THAT DIE SHALL BE REPLACED.
16. ALL PROPOSED DECIDUOUS TREES SHALL BE MINIMUM OF 2 INCHES IN CALIPER AT PLANTING.
17. ALL PROPOSED EVERGREEN TREES SHALL BE MINIMUM OF 6 FEET IN HEIGHT AT PLANTING.
18. ALL PROPOSED SHRUBS SHALL BE MINIMUM OF 18 INCHES IN HEIGHT AT PLANTING.
19. ANY CHANGES TO LANDSCAPE PLAN THAT REDUCES SIZE OR NUMBER OF PLANTS OR MATERIAL WILL REQUIRE A REVISED LANDSCAPE PLAN TO BE SUBMITTED AND APPROVED BEFORE LANDSCAPE INSTALLATION.
20. THE OWNER ACKNOWLEDGES THAT LANDSCAPING IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE CITY OF CLARKSVILLE RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THE CITY OF CLARKSVILLE, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY MAY AT ANY TIME AND FOR ANY REASON PERFORM WORK WITHIN THE DEDICATED EASEMENT. THE CITY, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO THE LANDSCAPING IN THE EASEMENT WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR ANY COST INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPING







PLANT SCHEDULE						
KEY	QUANTITY	COMMON NAME	BOTANICLE NAME	HEIGHT	TRUNK	REMARKS
TREES						
DW	4	DOGWOOD	CORNUS KOUSA	15'-30'	2" CAL.	MINIMUM 2" CALIPER @ PLANTING
BH	4	BURFORD HOLLY	ILEX CORNUTA 'BURFORD'	6'-10'	2" CAL.	MINIMUM 2" CALIPER @ PLANTING
YC	3	YOSHINO CHERRY	PRUNUS X YEDOENSIS	15'-30'	2" CAL.	MINIMUM 2" CALIPER @ PLANTING
SHRUBS						
KB	6	KOREAN BOXWOOD	BUXUS MICROPHYLLA	3'-4'	3 GALLON	4' O.C.
AB	6	AMERICAN BOXWOOD	BUXOM SEMPERVIRENS	3'-5'	3 GALLON	4' O.C.
KR	4	KNOCKOUT ROSES	ROSACEAE	2'-4'	3 GALLON	4' O.C.

SITE REVIEW CASE NUMBER _____

OWNER: MILLAN HOLDINGS, LLC
CURRENT ZONING: C-5
DISTRICT: 5TH
DEED REF. #O.R.V. 2055, PG 142
#O.R.V. 1603, PG 1482
TAX MAP NO. 41N 'A' PARCEL NO. 13.00 & 14.00
TOTAL ACREAGE: 0.83+ \ ACRES

TOTAL ACREAGE: 0.83 SF (36,128 +/- ACRES)
PROPOSED BUILDING COVERAGE: 9,400 SF (26.01%)
PROPOSED IMPERVIOUS AREA: 27,123 SF (75.07%)

TREE & SHRUB LEGEND	
	DOGWOOD (DW)
	KOREAN BOXWOOD (KB)
	AMERICAN BOXWOOD (AB)
	KNOCKOUT ROSES (KR)
(NOT TO DRAWING SCALE)	

