

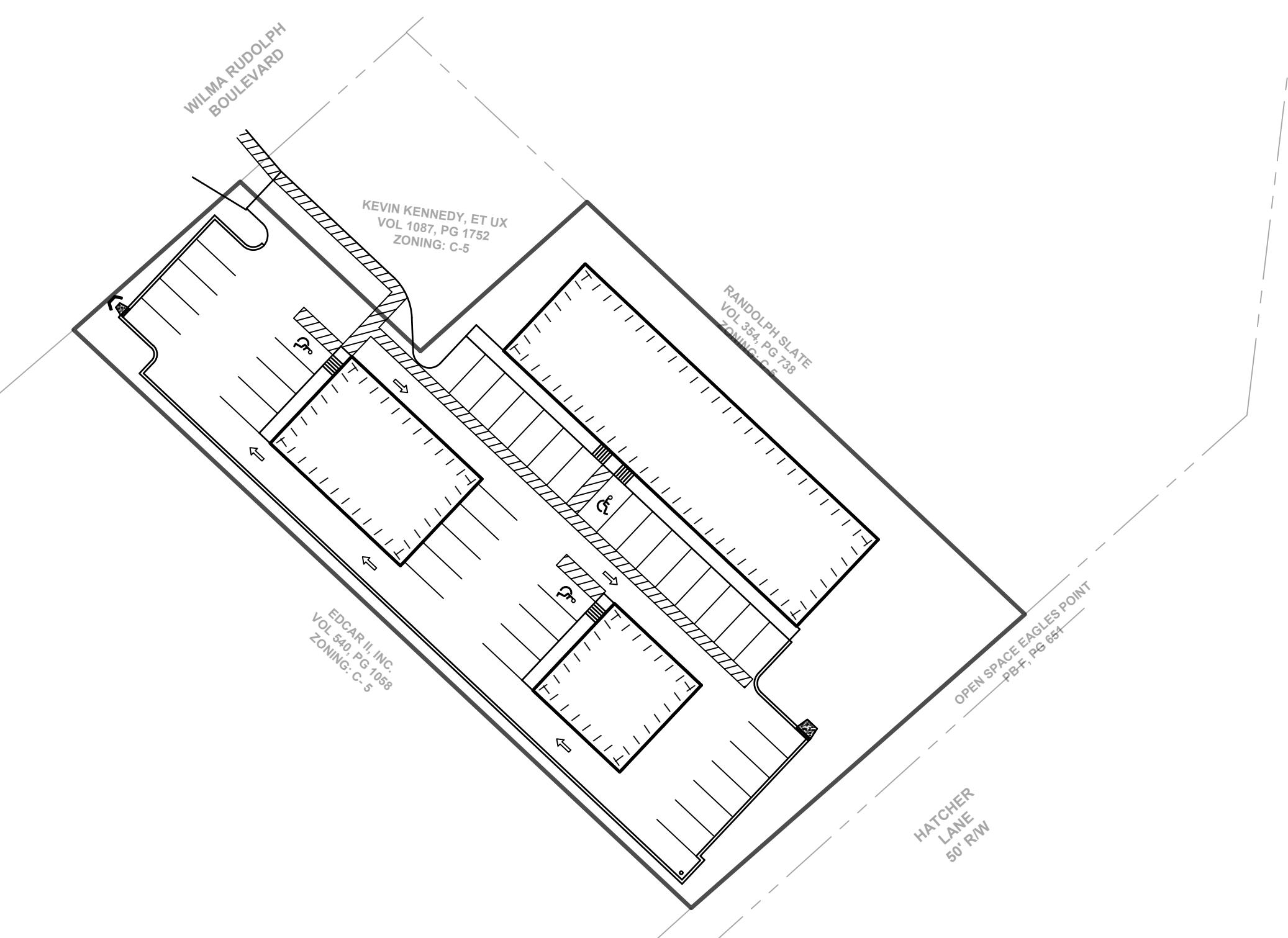
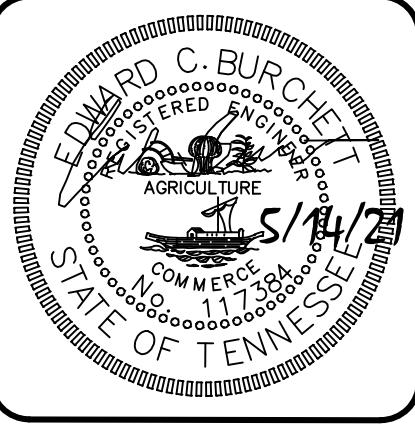


VICINITY MAP
(NOT TO SCALE)

COVER SHEET

FOR

MILLAN RETAIL WILMA RUDOLPH MONTGOMERY CO., TENNESSEE



SITE LEGEND	
LOT LINE	PROPERTY LINE
—	BOUNDARY LINE
—*	TREE LINE
—	ROADWAY CENTERLINE
G	GAS MAIN & SERVICE LINE
UE	UNDERGROUND ELECTRIC
W	WATER MAIN & SERVICE LINE
SA	SANITARY SEWER MAIN & SERVICE
====	STORM SEWER LINE
P	OVERHEAD POWER LINE
E	UNDERGROUND ELECTRIC
—	PUDE
—	MBSL
X	FENCE LINE
—	STREAM LINE
SF	SILT FENCE
—	EXISTING CURB
—	UNDERGROUND TELEPHONE
W	PROPOSED WATER MAIN (SIZE TBD)
SA	PROPOSED SANITARY SEWER
●	EXISTING IRON PIN
○	PROPOSED IRON PIN
◆	BENCHMARK
★	STREET LIGHT
◎	UTILITY POLE
△	POWER POLE
◎	SANITARY SEWER MANHOLE
☒	STORM SEWER INLET
☒	WATER VALVE
☒	WATER METER
☒	FIRE HYDRANT
☒	ELECTRICAL TRANSFORMER
☒	TELEPHONE BOX

INDEX OF SHEETS

SHEET #	SHEET NAME
C 0.10	EXISTING CONDITIONS & DEMOLITION PLAN
C 1.00	SITE LAYOUT & UTILITY PLAN
C 2.00	OVERALL GRADING & DRAINAGE PLAN
C 2.01	EROSION PREVENTION & SEDIMENT CONTROL PHASE I
STANDARD DETAILS	
L-1.0	LANDSCAPE PLAN

LOCAL UTILITIES

CITY STREETS:
CLARKSVILLE STREET DEPARTMENT
PH: 931-645-7464
CONTACT: DAVID SHEPARD (DIRECTOR)

COUNTY ROADS:
MONTGOMERY COUNTY HIGHWAY DEPARTMENT
PH: 931-648-5740
CONTACT: JEFF BRYANT (HIGHWAY COMMISSIONER)

STATE ROADS AND STREETS:
TENNESSEE DEPARTMENT OF TRANSPORTATION
PH: 931-648-5570

CITY BUILDING AND CODES DEPARTMENT:
CLARKSVILLE BUILDING CODES DEPARTMENT
PH: 931-645-7426
CONTACT: JUSTIN CROSBY

PLANNING COMMISSION:
MONTGOMERY COUNTY REGIONAL PLANNING
COMMISSION
PH: 931-645-7448
CONTACT: JEFFREY TYNDALL (DIRECTOR)

WATER AND SANITARY SEWER:
CLARKSVILLE GAS AND WATER DEPARTMENT
PH: 931-645-7418
CONTACT: PAT CHESNEY

ELECTRICITY: (INSIDE CITY LIMITS)
CLARKSVILLE DEPARTMENT OF ELECTRICITY
PH: 931-648-8151
CONTACT: TERRY RESHA

ELECTRICITY: (OUTSIDE CITY LIMITS)
CUMBERLAND ELECTRIC MEMBERSHIP COOPERATIVE
PH: 931-645-2841
CONTACT: KENNY DAVIS

NATURAL GAS:
CLARKSVILLE GAS AND WATER DEPARTMENT
PH: 931-645-7422
CONTACT: MARK RIGGINS

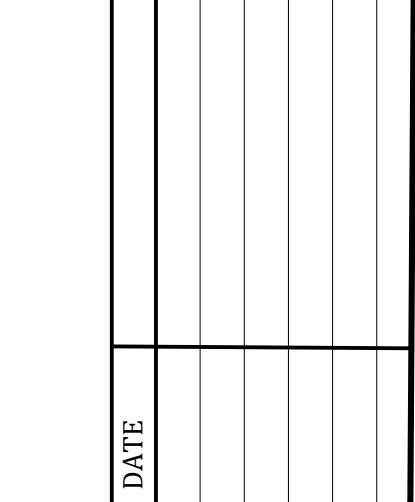
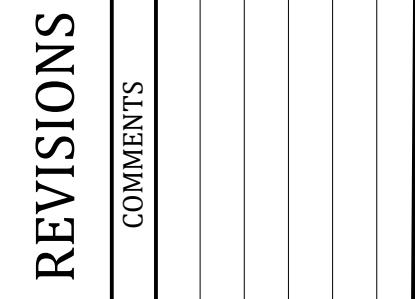
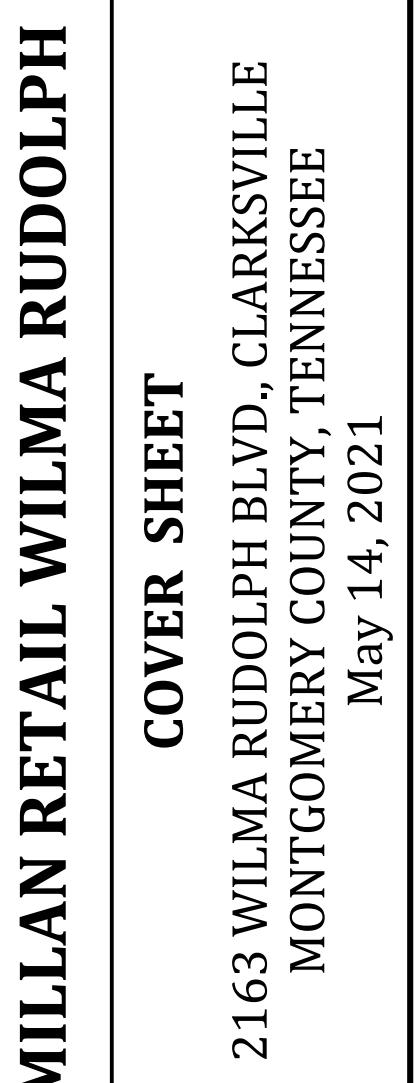
CITY FIRE DEPT:
CLARKSVILLE FIRE RESCUE
PH: 931-645-7462
CONTACT: FIRE MARSHALL JOBE MOORE

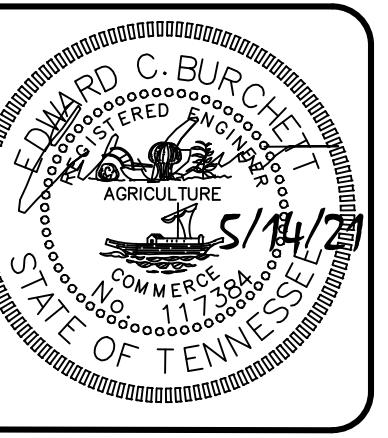
GENERAL SITE INFORMATION:

OWNER: MILLAN HOLDINGS, LLC
OWNER/DEVELOPER: MILLAN HOLDINGS LLC
126 MAIN ST. SUITE A
CLARKSVILLE, TN 37040

CURRENT ZONING: C-5
CIVIL DISTRICT: 6th
DEED REF. #O.R.V. 2055, PG. 142
O.R.V. 1603, PG. 1482
TAX MAP NO. 41N 'A' PARCEL NO. 13.00 & 14.0

TOTAL ACREAGE: 36,128 SF (0.83 ± ACRES)
PROPOSED BUILDING COVERAGE: 9,400 SF (26.01%)
PROPOSED IMPERVIOUS AREA/RATIO: 27,123 SF (75.07%)
PROPOSED RETAIL PARKING REQUIRED: 20
PROPOSED OFFICE PARKING REQUIRED: 16
TOTAL PARKING REQUIRED: 36
PROPOSED PARKING PROVIDED: 39
BUILDING HEIGHT: 35' MAXIMUM





DEMOLITION NOTES:

1. CONTRACTOR SHALL PROVIDE NECESSARY SIGNAGE, BARRICADES OR OTHER DEVICES FOR THE PROTECTION OF THE PUBLIC, CONSTRUCTION WORKERS AND TRAFFIC CONTROL.
2. ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED TO EQUAL OR BETTER CONDITION PRIOR TO COMPLETION OF CONSTRUCTION.
3. ALL MUD, DIRT AND DEBRIS TRACKED INTO THE EXISTING ROADWAY AND/OR PARKING AREA FROM THE SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
4. NO ATTEMPT IS MADE TO STIPULATE EVERY REQUIRED ITEM OF DEMOLITION ON THE DRAWINGS. CONTRACTOR SHALL VISIT AND STUDY THE PHYSICAL CONDITION OF THE SITE, REVIEW THE DRAWINGS AND REACH THEIR OWN CONCLUSIONS ON WORK NECESSARY TO ACCOMPLISH INTENDED WORK AS INDICATED ON THE DRAWINGS.
5. CONTRACTORS MANNER AND METHOD OF INGRESS/EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY OF THE PROJECT SITE.
6. NO DEBRIS SHALL BE LEFT ON THE PROJECT SITE. LEGAL DISPOSAL AREAS FOR SUCH SHALL BE LOCATED OFF-SITE AND SECURED BY THE CONTRACTOR.
7. LOCAL REGULATIONS REGARDING HAULING AND DISPOSAL SHALL APPLY. CONTRACTOR SHALL TAKE MEASURES TO PREVENT SPILLAGE ONTO EXISTING PARKING AREAS OR LOCAL STREETS AND BE RESPONSIBLE FOR CLEAN UP IF SPILLAGE OCCURS, AS A RESULT OF THE TRUCKING OPERATIONS.
8. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO EXISTING ROADWAY, PARKING AREA AND STRUCTURES CAUSED BY DEMOLITION AND HAULING OPERATIONS.
9. ALL BURNING OF TREES, BRUSH AND DEBRIS SHALL BE DONE IN CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES.

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126 MAIN ST. SUITE A
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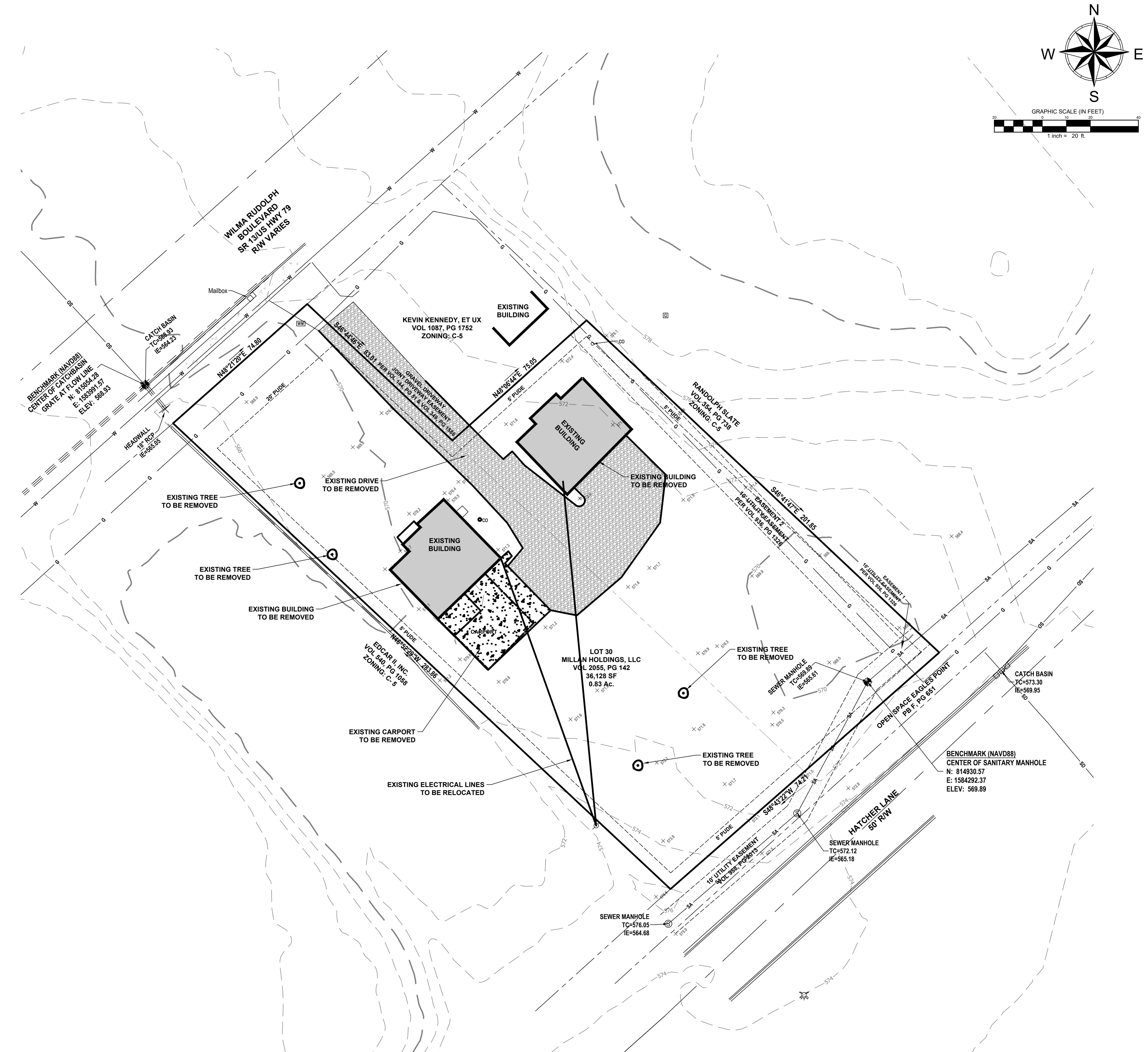
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SITE LEGEND

LOT LINE	PROPERTY LINE
—	—
BOUNDARY LINE	—
—	—
TREE LINE	ROADWAY CENTERLINE
—	—
G	GAS MAIN & SERVICE LINE
UE	UNDERGROUND ELECTRIC
W	WATER MAIN & SERVICE LINE
SA	SANITARY SEWER MAIN & SERVICE
—	STORM SEWER MAIN & SERVICE
—	OVERHEAD POWER LINE
P	UNDERGROUND POWER LINE
—	PUDE
—	MBSL
X	FENCELINE
—	STREAM LINE
SF	SILT FENCE
—	EXISTING CURB
T	UNDERGROUND TELEPHONE
—	PROPOSED WATER MAIN (SIZE TBD)
—	PROPOSED SANITARY SEWER
● PROPOSED IRON PIN	REFERENCE POINT (CONTROL)
○ EXISTING IRON PIN	BENCHMARK
★ STREET LIGHT	WATER VALVE
◎ UTILITY POLE	WATER METER
△ POWER POLE	FIRE HYDRANT
◎ SANITARY SEWER MANHOLE	ELECTRICAL TRANSFORMER
□ STORM SEWER INLET	TELEPHONE BOX
EXISTING EASEMENTS	
■■■■■	EXISTING GRAVEL
●●●●●	EXISTING CONCRETE

GENERAL NOTES:

1. All utility locations based on location of utilities by local utility authorities and visible field location by others. There is no guarantee that no other utilities either public or private are not displayed on this survey.
2. All site lighting shall be directed inward with shielded hoods. No light shall spill on adjacent property.



REVISIONS

COMMENTS

DATE

REVISION

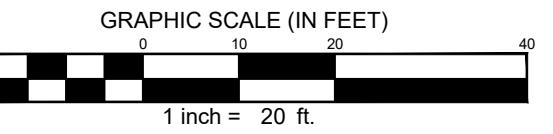
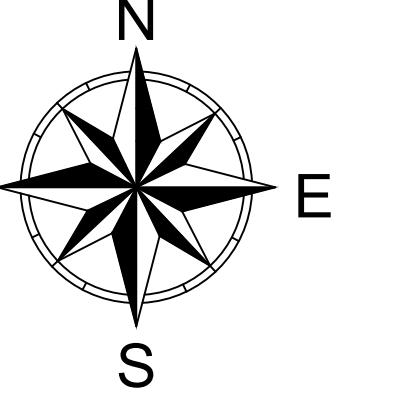
MILLAN RETAIL WILMA RUDOLPH
EXISTING CONDITIONS & DEMOLITION PLAN
2163 WILMA RUDOLPH BLVD, CLARKSVILLE
MONTGOMERY COUNTY, TENNESSEE
May 14, 2021

MCKAY-BURCHETT 1545 Madison Street
Clarksville, TN 37040
COMPANY Ph # 931-245-3095
DRAWN BY: A. HUTCHISON
CHECKED BY: C. BURCHETT
SHEET: C 0.10

FILE # 245-3095-002-001-001
Main Line
Budde Bldg
Wilma Rudolph Blvd

GENERAL SITE NOTES:

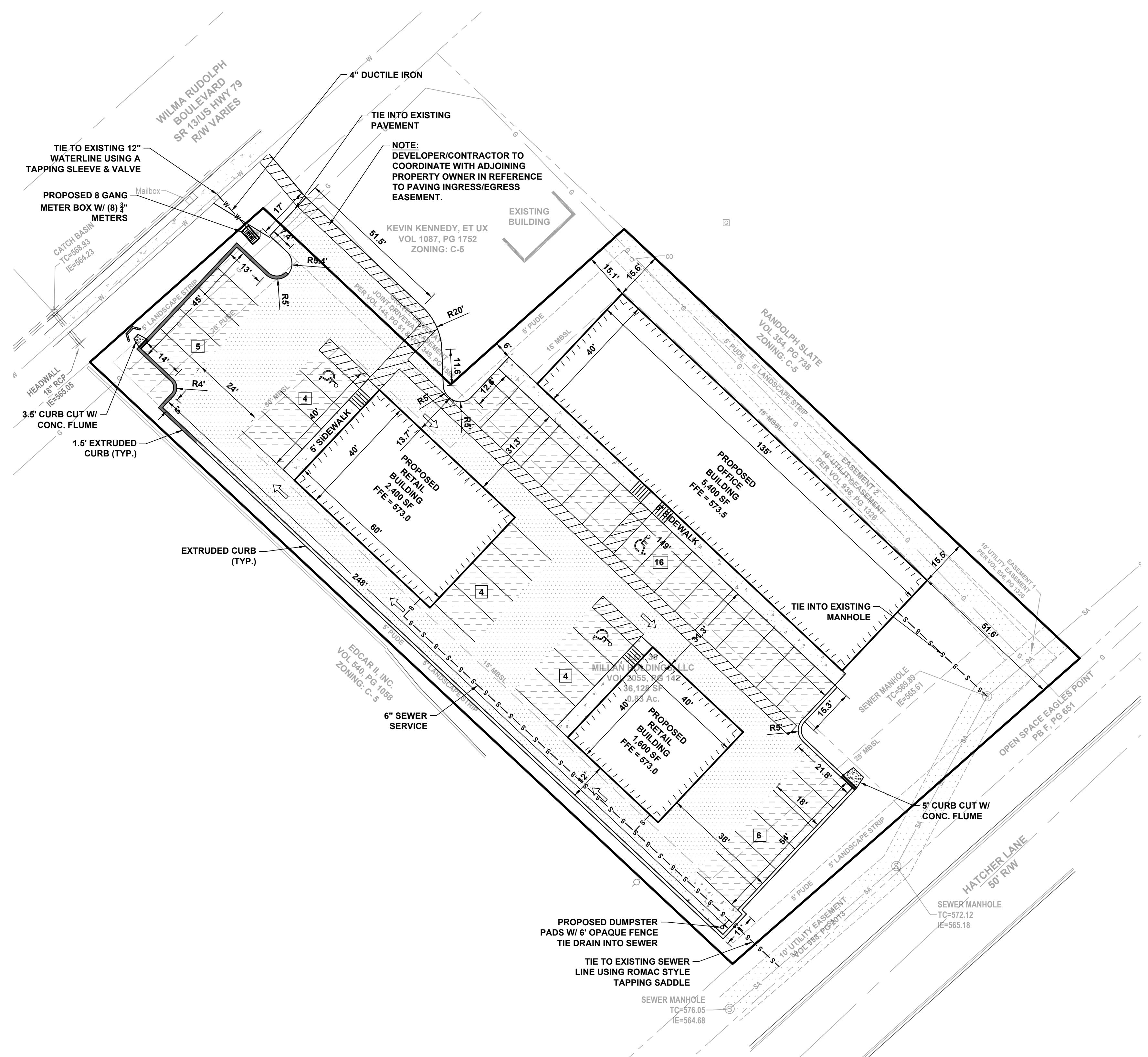
1. THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS GAS MAINS, WATER MAINS, ELECTRIC DUCT LINES, ETC... AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION, BY ACTUAL OR FURNISHED SURVEYS, AND TAKEN FROM THE RECORDS OF THE PARENT UTILITY COMPANIES DRAWINGS OF THE EXISTING FACILITIES. HOWEVER, THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE PLANS.
TENNESSEE ONE CALL CENTER: 1-800-351-1111
2. IN THE EVENT OF A CONFLICT BETWEEN THE PLANS, SPECIFICATIONS, STANDARD NOTES, OR THE REQUIREMENTS OF OFFICIALS OF INVOLVED GOVERNMENT BODIES, PLEASE CONTACT ENGINEER OF RECORD.
3. THE CONTRACTOR SHALL MAKE A PHYSICAL INSPECTION OF THE SITE BEFORE SUBMITTING A PROPOSAL FOR THE PROJECT. IT IS ASSUMED THAT THE CONTRACTOR HAS EXAMINED THE PLANS, SPECIFICATIONS AND THE SITE PRIOR TO SUBMITTING A PROPOSAL. ANY ITEMS THAT WOULD BE REASONABLY REQUIRED FOR CONSTRUCTION, WHETHER OR NOT SPECIFICALLY DENOTED IN THE PLANS SHALL BE PROVIDED BY THE CONTRACTOR.
4. WHEN THE WORK AREA IS AN AREA OF DIRECT PUBLIC ACCESS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING BARRICADES AND CONSTRUCTION WARNING SIGNS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE INSPECTORS OF ALL CONCERNED GOVERNMENT AGENCIES DURING ALL PHASES OF CONSTRUCTION.
6. BEARINGS AND/OR DISTANCES SHOWN ON THE PLANS SHALL TAKE PRECEDENCE OVER SCALE. SHOULD A CONFLICT EXIST, NOTIFY THE ENGINEER IMMEDIATELY.
7. ANY TEMPORARY CONSTRUCTION DURING THIS PROJECT SHALL BE MADE IN SUCH A MANNER AS TO ADEQUATELY DRAIN AND BE MAINTAINED FOR THE LIFE OF THE TEMPORARY CONSTRUCTION, THE TERM OF THE PROJECT, OR A PERIOD OF ONE YEAR. TEMPORARY TURN AROUNDS SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO ADEQUATELY DRAIN AND HAVE A SMOOTH TRANSITION FROM FINISHED PAVEMENT ELEVATIONS TO FINISHED STONE ELEVATIONS.
8. ANY EXISTING OR PROPOSED VALVES, FIRE HYDRANTS, METER VAULTS, MANHOLES, SPRINKLER HEADS, ELECTRIC METERS/VAULTS, PULL BOXES, TRANSFORMERS (THIS SHALL INCLUDE ANY PADS GRATES, LIDS SIGNS, POSTS OR ANY OTHER ITEMS ASSOCIATED WITH SUCH APPURTENANCES), TELEPHONE PEDESTALS, CABLE BOXES, FIBER OPTIC VAULTS(BOXES), REMOTE FIRE DEPARTMENT CONNECTIONS, CLEANOUTS, SPIGOTS, LIGHT POLES, FLOOD LIGHTS, AREA DRAINS, CATCH BASINS OR OTHER SUCH APPURTENANCES LOCATED WITHIN THE CONSTRUCTION SITE WHICH ARE NOT SPECIFIED TO BE REMOVED SHALL BE ADJUSTED TO MATCH FINISHED GRADES.
9. ANY ALTERCATION TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER & APPROPRIATE GOVERNING AGENCIES PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. FAILURE TO DO SO COULD RESULT IN A DELAY OR NON-ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
10. ALL SITE LIGHTING SHALL BE DIRECTED INWARD ONTO SITE, TO INCLUDE SHIELDED HOODS. NO SITE LIGHTING SHALL SPILL ONTO ADJACENT PROPERTIES.
11. SIGNAGE, STRIPING AND PAVEMENT OUTSIDE OF DEVELOPMENT ENTRANCE SHALL CONFORM WITH CITY OF CLARKSVILLE OR TENNESSEE DEPARTMENT OF TRANSPORTATION REQUIREMENTS AS REQUIRED.
12. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
13. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
14. CONCRETE WALKS & PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE 3000 PSI UNLESS OTHERWISE NOTED. CURB RAMPS & SIDEWALK SLOPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT LOCAL REQUIREMENTS. IF APPLICABLE, THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND RAMP FORMS PRIOR TO PLACEMENT OF CONCRETE.
15. CONTRACTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1/4 THE CONCRETE THICKNESS, & SHALL DIVIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 10' SEGMENTS.
16. ALL SIDEWALKS, CURB RAMPS AND HANDICAP PARKING SPACES SHALL MEET ALL ADA AND FAIR HOUSING ACT REQUIREMENTS.



SITE LEGEND

—	LOT LINE
— — —	PROPERTY LINE
— — — —	BOUNDARY LINE
— — — — —	TREE LINE
— — — — —	ROADWAY CENTERLINE
— — — G — — —	GAS MAIN & SERVICE LINE
— — — UE — — —	UNDERGROUND ELECTRIC
— — — W — — —	WATER MAIN & SERVICE LINE
— — — SA — — —	SANITARY SEWER MAIN & SERVICE
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— — — — — — —	PUDE
— — — — — — —	MBSL
— — — X — — —	FENCELINE
— — — — — — —	STREAM LINE
— — — SF — — —	SILT FENCE
— — — — — — —	EXISTING CURB
— — — T — — —	UNDERGROUND TELEPHONE
— — — W — — —	PROPOSED WATER MAIN (SIZE TBD)
— SA — (S) — SA —	PROPOSED SANITARY SEWER
●	PROPOSED IRON PIN
○	EXISTING IRON PIN
★	STREET LIGHT
◎	UTILITY POLE
○	POWER POLE
(S)	SANITARY SEWER MANHOLE
☒	STORM SEWER INLET
//	LIGHT DUTY PAVEMENT
.....	HEAVY DUTY PAVEMENT
○○○○○	BENCHMARK
WV	WATER VALVE
☒	WATER METER
●	FIRE HYDRANT
E	ELECTRICAL TRANSFORMER
T	TELEPHONE BOX
██████████	PROPOSED CONCRETE

SPECIAL NOTE:
NO PLUMBING PLANS PROVIDED AT THIS TIME. CONTRACTOR TO COORDINATE WITH MPE FOR EXACT SIZE AND LOCATION OF UTILITY SERVICES



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126 MAIN ST. SUITE A
CLARKSVILLE, TN 37040

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IVIL DISTRICT: 6th
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MILLAN RETAIL WILMA RUDOLPH

SITE LAYOUT & UTILITY PLAN

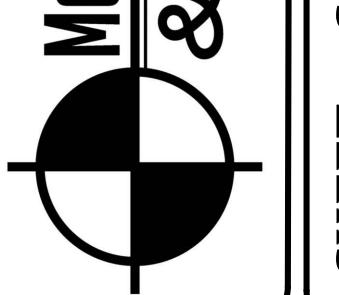
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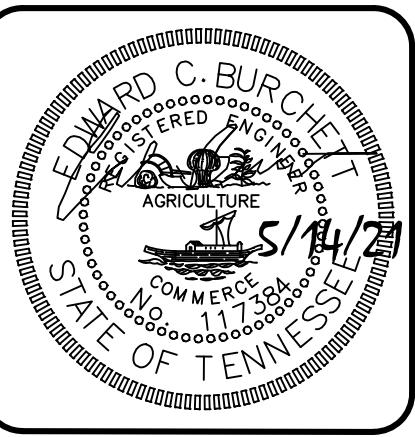
MCKAY-BURCHETT 1545 Madison Street
Clarksville, TN 37040
Ph # 931-245-3095

& COMPANY Ph # 931-245-3095

ENGINERS

FILE - Z:\Projects\2021\00116-21





REVISIONS

COMMENTS

DATE

REVISION

DATE

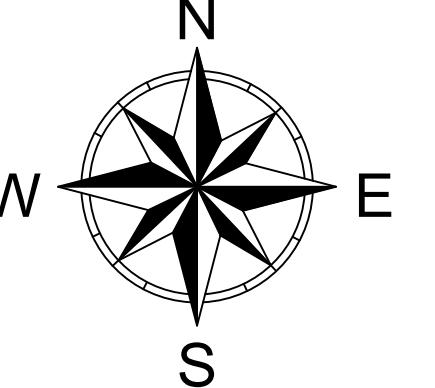
GRADING & DRAINAGE

1. PROTECT TREES NOT MARKED FOR REMOVAL OR LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION. IF A TREE TRUNK OR BRANCH IS CUT OR SCARRED THEN THE AFFECTED AREA SHALL BE TREATED WITH A WOUND PAINT TO PREVENT DISEASE.
2. THE AREA WITHIN THE LIMITS OF GRADING SHALL BE GRUBBED TO A MINIMUM DEPTH OF TWELVE (12) INCHES BELOW EXISTING GROUND LINE ELIMINATING ALL SOIL, ROCK, AND OTHER DEBRIS MATERIALS. THE TOP NINE (9) INCHES OF EXPOSED SUBGRADE, AFTER CUTTING TO DESIRED SUBGRADE ELEVATION AND/OR BEFORE PLACEMENT OF FILL, SHOULD BE SCARIFIED AND RECOMPACTED TO THE COMPACTION REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
3. ANY BUILDINGS TO BE DEMOLISHED DURING CLEARING OPERATIONS SHALL BE DONE SO ACCORDING TO ALL APPLICABLE LAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING AN ASBESTOS SURVEY OF THE STRUCTURE, OBTAINING AIR QUALITY PERMITS AND CONDUCTING ALL REMOVAL AND FLOWERS TO SITE AS REQUIRED.
4. ALL BURNING OF TREES, BRUSH AND WOOD SHALL BE DONE IN CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES.
5. THE CONTRACTOR SHALL CONSTRUCT THE STORM WATER DETENTION FACILITIES PRIOR TO BEGINNING ANY OTHER GRADING OPERATIONS.
6. THE SLOPES OF ALL EXCAVATED AREAS, DITCHES, WATERWAYS, CHANNELS, BORROW PITS, AND EMBANKMENTS SHALL BE SO TRIMMED AND SHAPED AS TO BE IN REASONABLY CLOSE CONFORMITY WITH THE LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
7. NO EXCAVATION FOR THE CONSTRUCTION OF EMBANKMENTS OR OTHER PORTIONS OF WORK SHALL BE OBTAINED FROM APPROVED SOURCES. BORROW MATERIAL SHALL BE LASHTO M145, CLASSIFICATION A-6 OR BETTER IF REASONABLY AVAILABLE.
8. SOLID ROCK SHALL BE DEFINED AS (1) ROCK WHICH CANNOT BE ECONOMICALLY EXCAVATED WITHOUT THE USE OF EXPLOSIVES OR (2) ANY ROCK, BOULDER OR FRAGMENT OF ROCK OR CONCRETE EXCAVATED FROM A FORMATION HAVING A VOLUME GREATER THAN ONE HALF (1/2) CUBIC YARD. SHOULD SOLID ROCK BE ENCOUNTERED AND EXCAVATION OF SOLID ROCK IS COVERED WITHIN THE CONTRACT BETWEEN THE OWNER AND CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. INDEPENDENTLY OF THE CONTRACTOR, THE ENGINEER SHALL MEASURE THE SOLID ROCK EXCAVATION TO DETERMINE THE QUANTITY OF SOLID ROCK EXCAVATED. THE DETERMINATION OF THE AMOUNT OF SOLID ROCK EXCAVATION SHALL BE THE RESPONSIBILITY OF THE ENGINEER.
9. THE CONTRACTOR SHALL BE REQUIRED TO EMPLOY A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF TENNESSEE TO ENSURE THAT EMBANKMENTS ARE BEING CONSTRUCTED IN ACCORDANCE WITH THE PLANS.
10. ALL SLOPES SHALL BE AS INDICATED ON PLANS.
11. THE CONTRACTOR SHALL BE REQUIRED TO PLACE TOPSOIL TO A DEPTH OF SIX (6) INCHES IN ALL DISTURBED AREAS. PERMANENT EROSION CONTROL MEASURES (SEDED AND MULCHED) SHALL BE INITIATED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING.
12. UNLESS OTHERWISE SPECIFIED ON THE PLANS, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEEDING AND MULCH. MULCH MATERIALS CAN CONSIST OF HAY OR STRAW AT THE APPROXIMATE RATE OF 75 POUNDS PER 1000 SQUARE FEET AND HELD IN PLACE BY THE USE OF A MULCH BINDER.
13. DURING PERIODS OF EXTREME DRYNESS, THE CONTRACTOR SHALL KEEP AREAS BEING GRADED DAMPENED BY WATERING TO MINIMIZE THE EFFECTS OF DUST ON ADJOINING PROPERTIES.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL DETENTION AND WATER QUALITY BASINS HAVE ADEQUATE STORAGE PRIOR TO FINAL STABILIZATION.
15. THE CONTRACTOR SHALL BE REQUIRED TO SIGN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS WELL AS THE NOTICE OF INTENT (NOI). THE CONTRACTOR UNDERSTANDS THAT HE MUST ABIDE BY THE REGULATIONS CONTAINED IN NDES PERMIT NUMBER TNR 1000000, AND THAT HE IS RESPONSIBLE FOR THE PREPARATION OF THE SWPPP.
16. PRIOR TO GRADING OPERATIONS THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING UP AND ATTENDING A PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE GOVERNING AGENCY IN ORDER TO OBTAIN THE GRADING PERMIT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL REQUIRED PARTIES (OWNER OR ENGINEER, GRADING CONTRACTOR, GENERAL CONTRACTOR, INDIVIDUAL RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROLS) ARE PRESENT, AND ALL REQUIRED DOCUMENTS ARE PROVIDED TO THE STREET DEPARTMENT AT THE PRE-CONSTRUCTION MEETING.
17. ALL EROSION CONTROL BASINS SHALL BE MATTED UNLESS OTHERWISE NOTED. MATTING SHALL BE TYPE S 150 (NORTH AMERICAN GREEN) OR EQUIVALENT AND SHOULD BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
18. ALL PROPOSED SPOT ELEVATIONS ARE TO FINISH GRADE OF ASPHALT IN PARKING AREAS OR FINISH GRADE OF DIRT IN GRASS AREAS UNLESS NOTED OTHERWISE. SEE SURFACE MATERIALS SHEET.
19. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES SHALL BE MADE. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF NEW PAVEMENT.
20. CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE, NOR STORE MATERIALS WITHIN THE DRIPLINES OF TREES OR OUTSIDE THE LIMIT OF GRADING.
21. ALL TREES WITHIN 125 FEET ON BOTH SIDES OF CENTERLINE TO BE REMOVED.

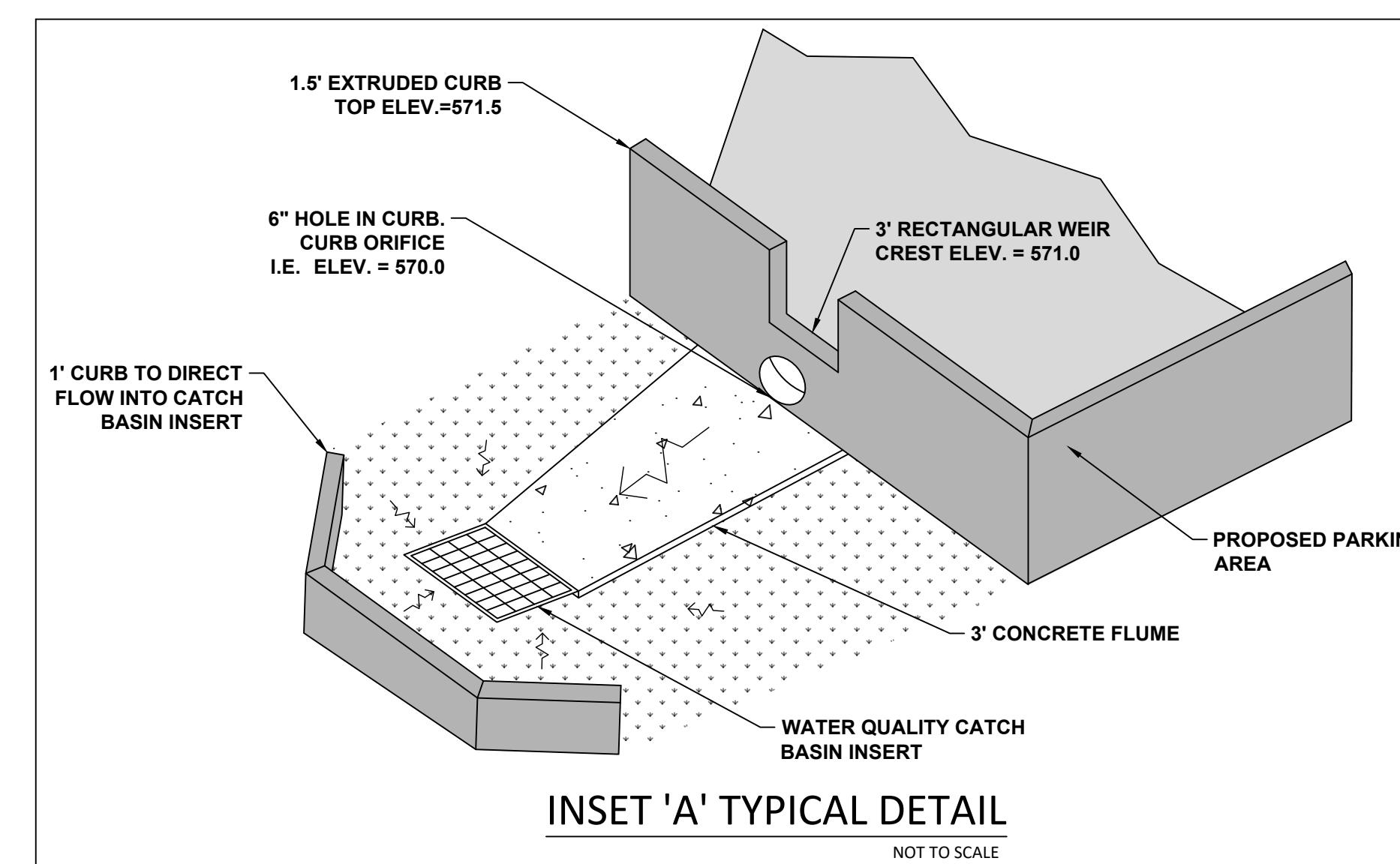
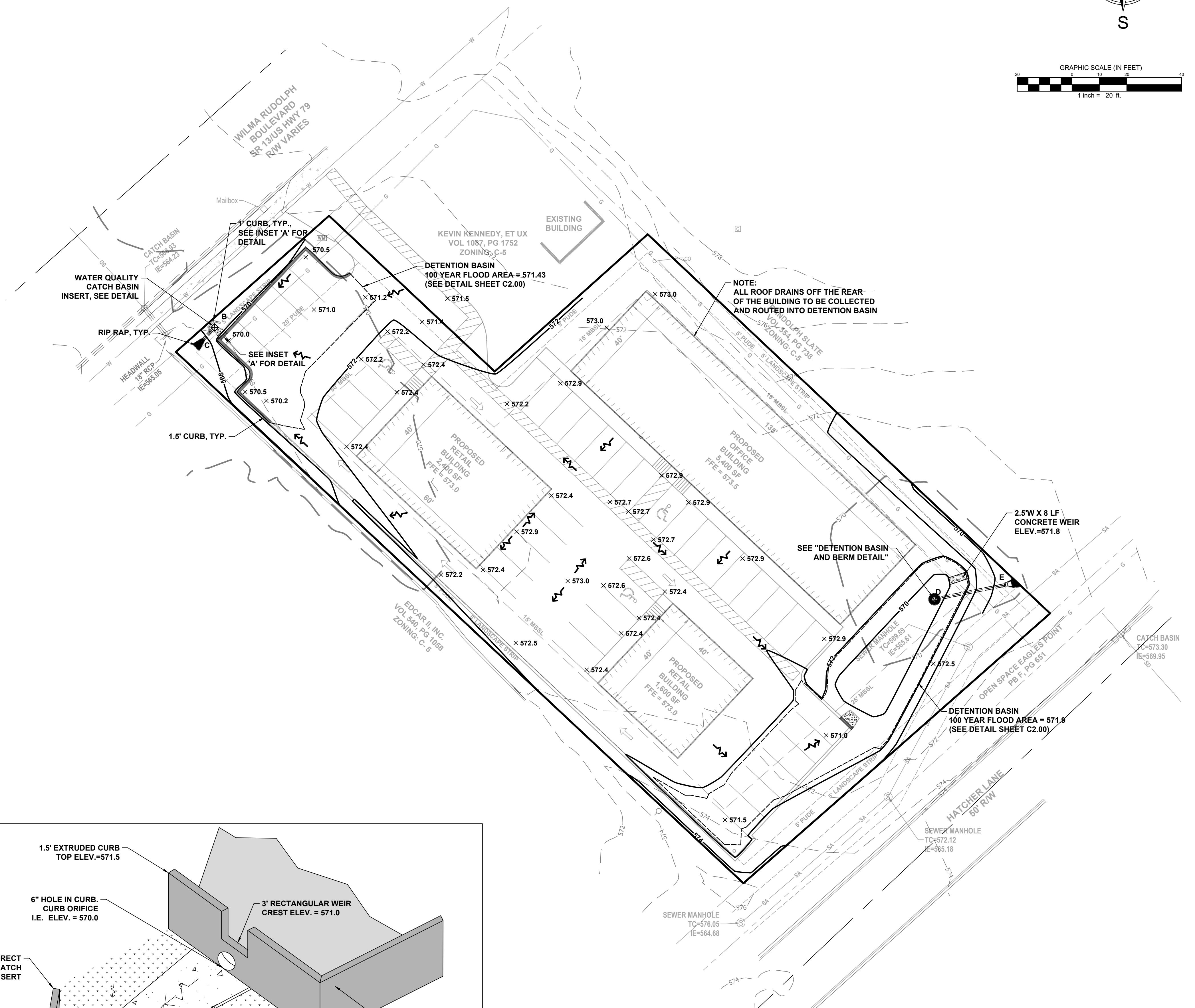
STRUCTURE	TYPE	INVERT IN	INVERT OUT	TOP OF GRATE
B ²	AREA DRAIN		566.50	569.50
C	END OF PIPE		566.30	
D ³	STRUCTURE	SEE DETAIL	SEE DETAIL	
E	HEADWALL		569.30	

1 SEE DETAIL FOR OUTLET STRUCTURE (BOTTOM OF SHEET)
2 SEE DETAIL FOR CATCH BASIN INSERT FOR SIZE BEFORE ORDERING STRUCTURE (SEE D-1.0)
3 SEE DETAIL FOR OUTLET STRUCTURE

FROM STRUCTURE	TO STRUCTURE	PIPE SIZE (IN)	PIPE MATERIAL	PIPE LENGTH (FT)	SLOPE
B	C	12	HDPE	6	1.00%
D	E	6	HDPE	26	3.33%

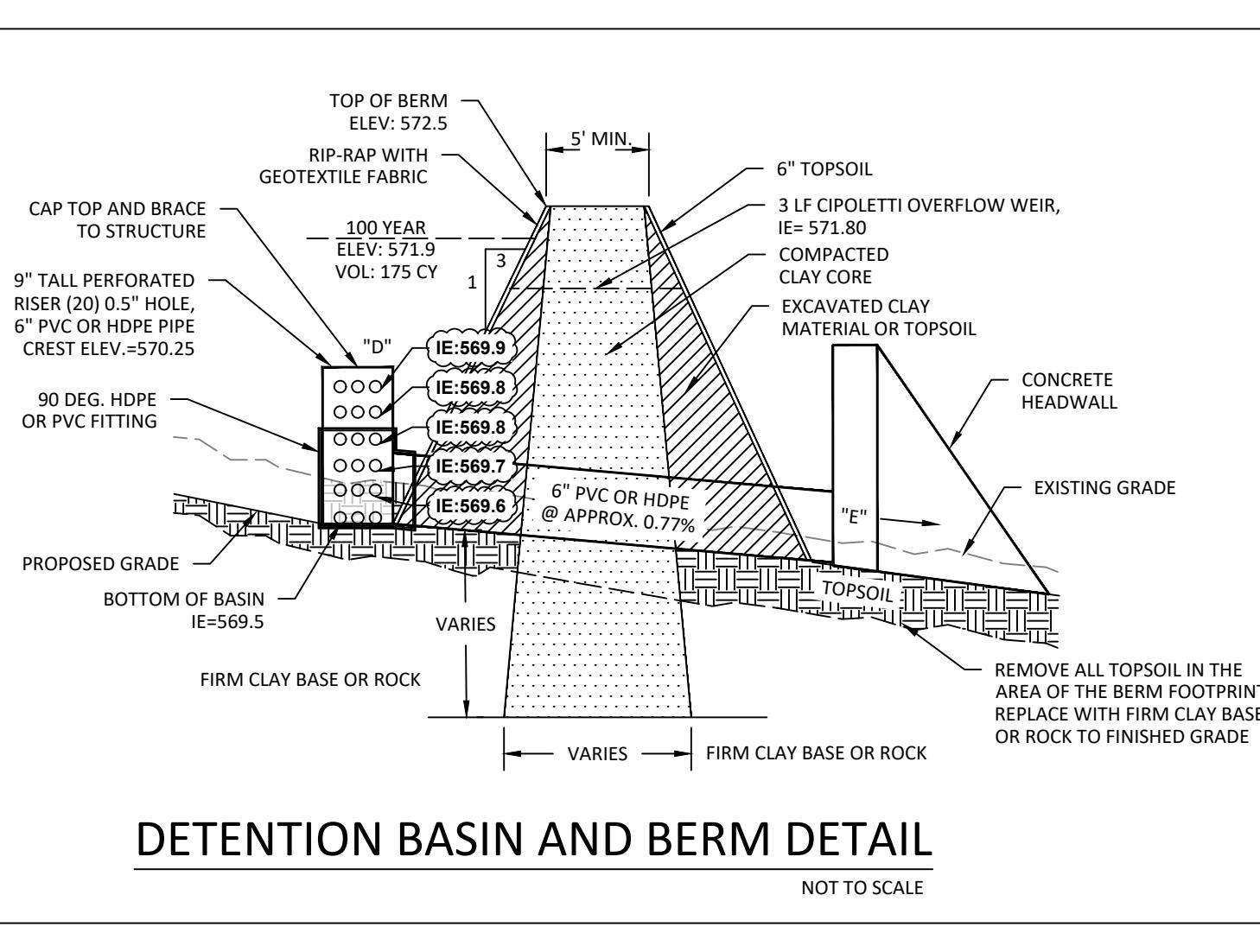


GRAPHIC SCALE (IN FEET)
1 inch = 20 ft.



DETENTION BASIN AND BERM DETAIL

NOT TO SCALE



DETENTION BASIN AND BERM DETAIL

NOT TO SCALE

MILLAN RETAIL WILMA RUDOLPH

GRADING & DRAINAGE PLAN

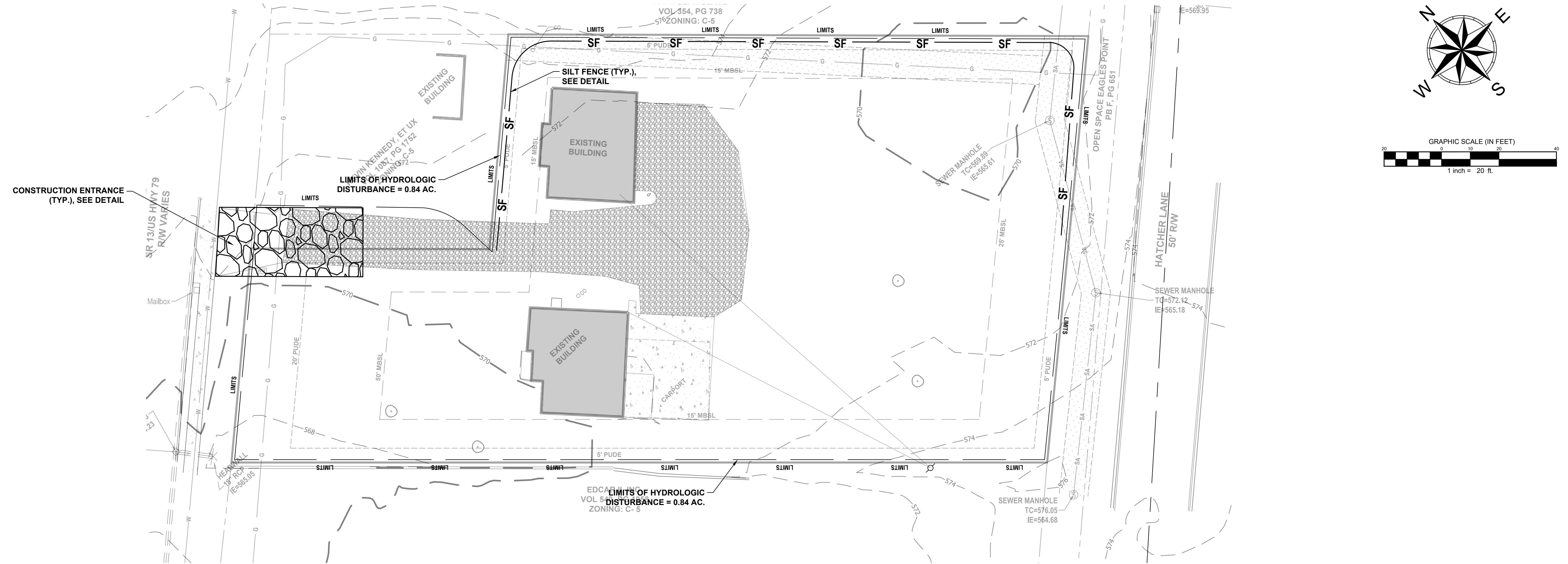
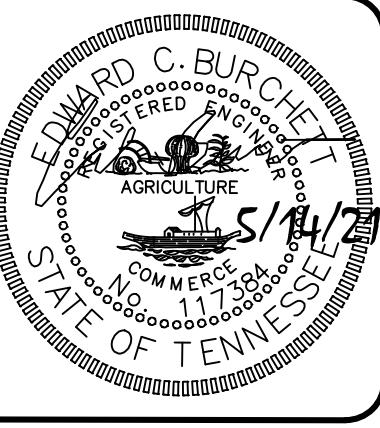
2163 WILMA RUDOLPH BLVD, CLARKSVILLE
MONTGOMERY COUNTY, TENNESSEE

May 14, 2021

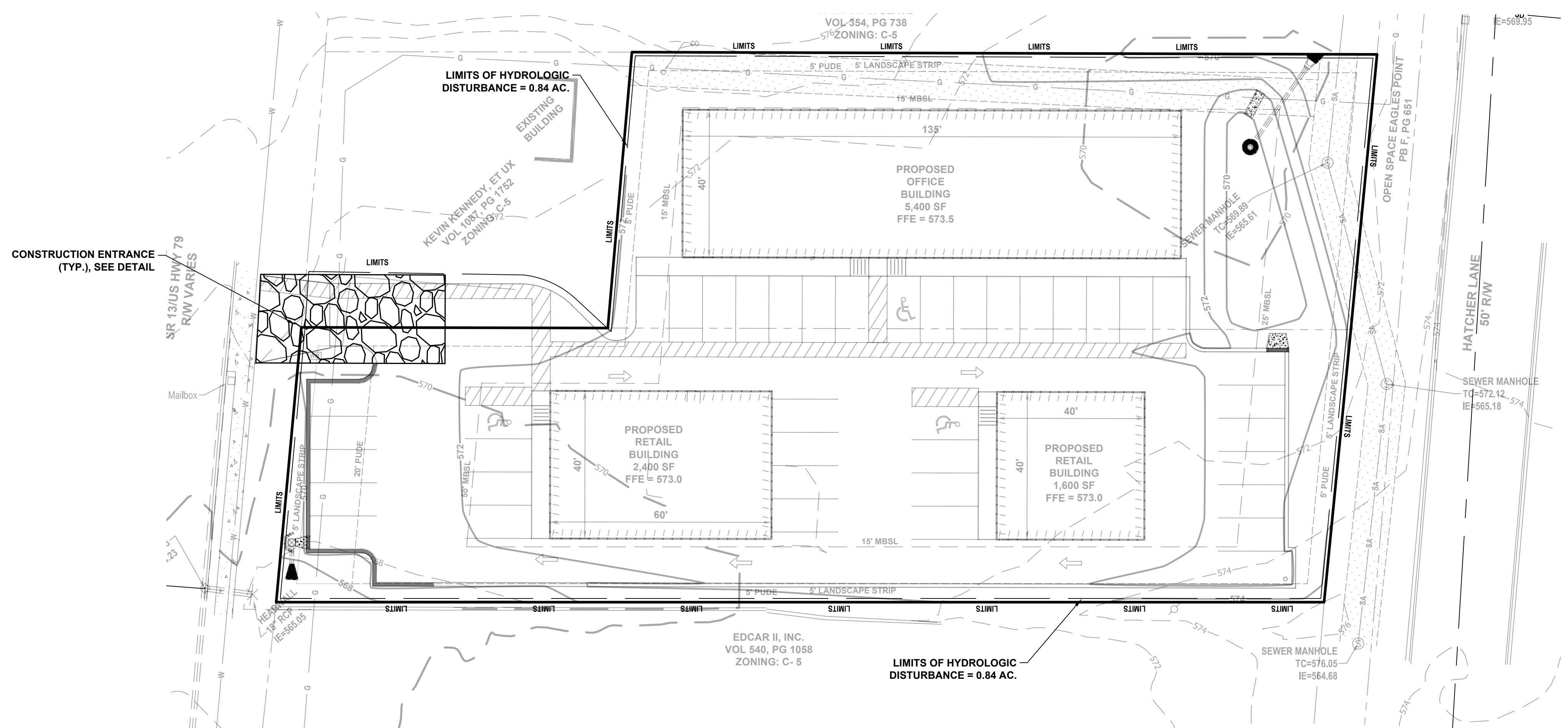
FILE: Z:\\Powers\\2021\\0016-21
(Millan Retail Wilma Rudolph Blvd)

DRAWN BY: J. BURCHETT
CHECKED BY: C. BURCHETT

SHEET: C 2.00



PROPOSED EROSION CONTROL PLAN PHASE I



PROPOSED EROSION CONTROL PLAN PHASE II & III

MILLAN RETAIL WILMA RUDOLPH

EROSION CONTROL PLAN PHASE I

2163 WILMA RUDOLPH BLVD., CLARKSVILLE
MONTGOMERY COUNTY, TENNESSEE

May 14, 2021

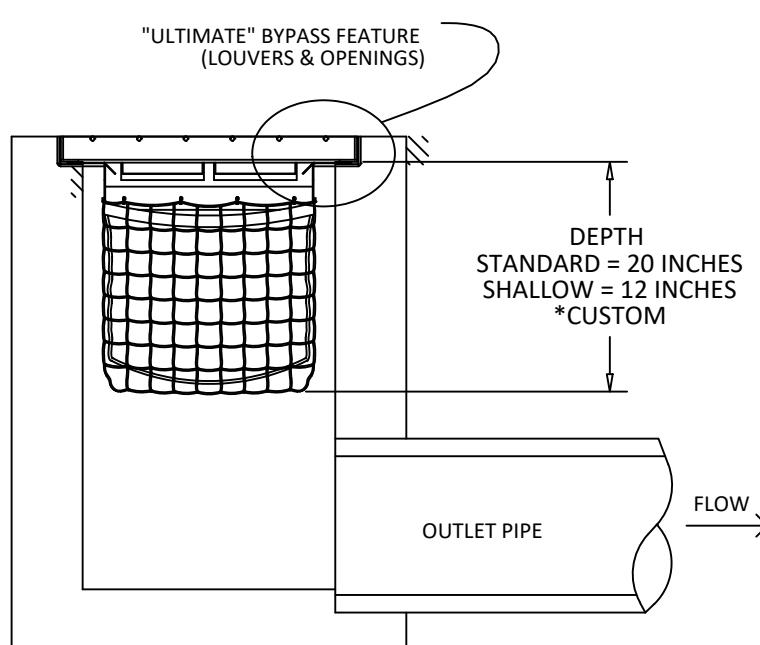
MILLAN REIAL WILMA RUDOLPH

EROSION CONTROL PLAN PHASE I

163 WILMA RUDOLPH BLVD., CLARKSVILLE MONTGOMERY COUNTY, TENNESSEE

May 14, 2021

May 14, 2021



NOTES:

1. FloGard+Plus (frame mount) high capacity catch basin inserts are available in most sizes and styles (see specifier chart, sheet 2 of 2). Refer to the FloGard+Plus (frame mount) high capacity catch basin insert to fit non-standard, or combination style catch basins.
2. Filter insert shall have both an "initial" filtering bypass and "ultimate" high flow bypass feature.
3. Filter support frame shall be constructed from stainless steel Type 304.
4. Allow a minimum of 2.0 feet, or clearance between the bottom of the filter frame or filter insert(s), or refer to the FloGard insert for "shallow" installations.
5. Filter medium shall be Fossil Rock, installed and maintained in accordance with manufacturer specifications.
6. Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.
7. Filtered flow /rate includes a safety factor of two.

* MANY OTHER STANDARD & CUSTOM SIZES & DEPTHS AVAILABLE UPON REQUEST.

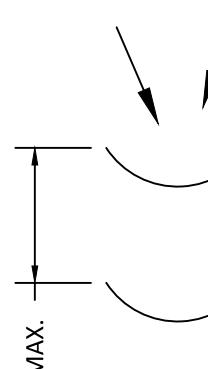
SPECIFIER CHART					
STRUCTURE	MODEL NO.	STANDARD & SHALLOW DEPTH			
		STANDARD DEPTH	SHALLOW DEPTH	(Data in these columns is the same for both STANDARD & SHALLOW versions)	
B	FGP-24F	24 X 24	24 X 27	6.1	2.2
					1.5

KRISTAR FLOGARD PLUS CATCH BASIN INSERT DETAIL (NTS)

PLAN VIEW

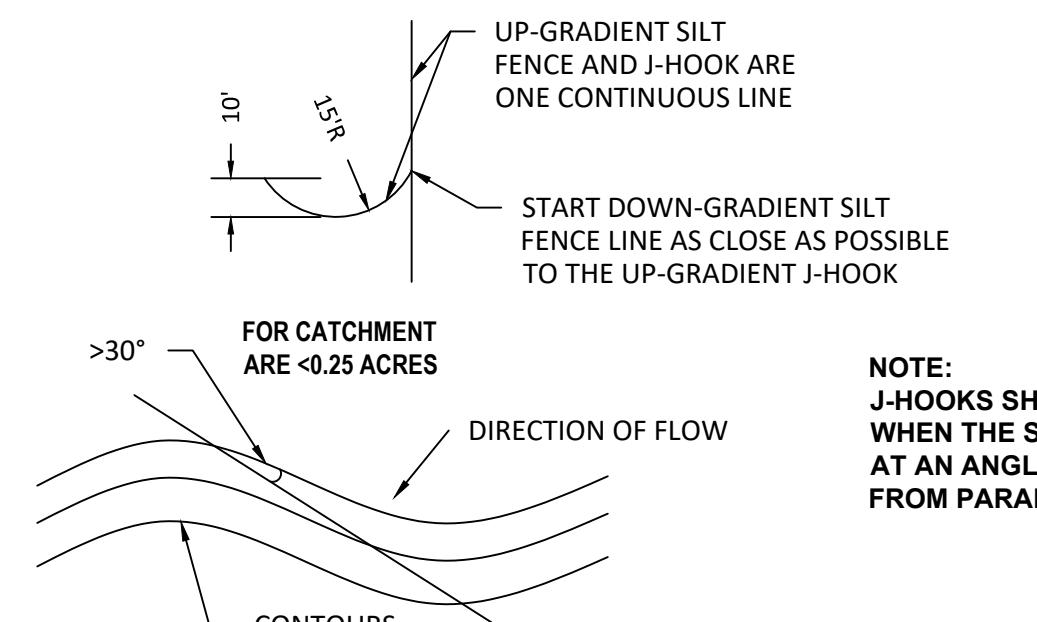
I. SPACE REQUIREMENTS

DIRECTION OF SURFACE FLOW



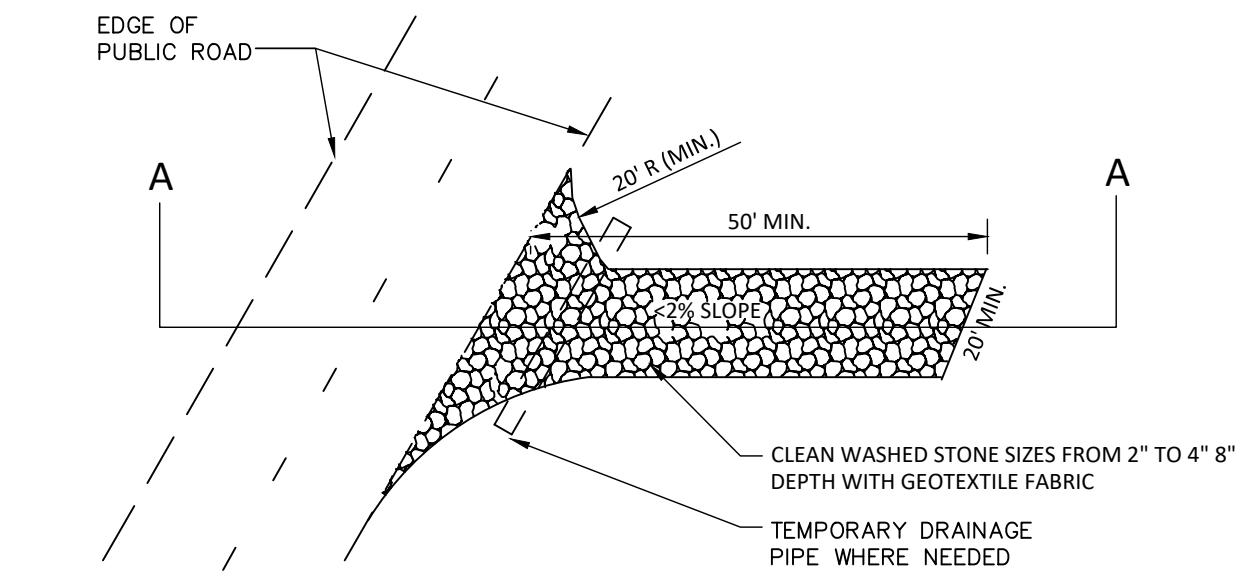
NOTE: SPACING DISTANCE WILL VARY, BUT ARE NOT TO EXCEED 100 FEET.

II. SIZING REQUIREMENTS

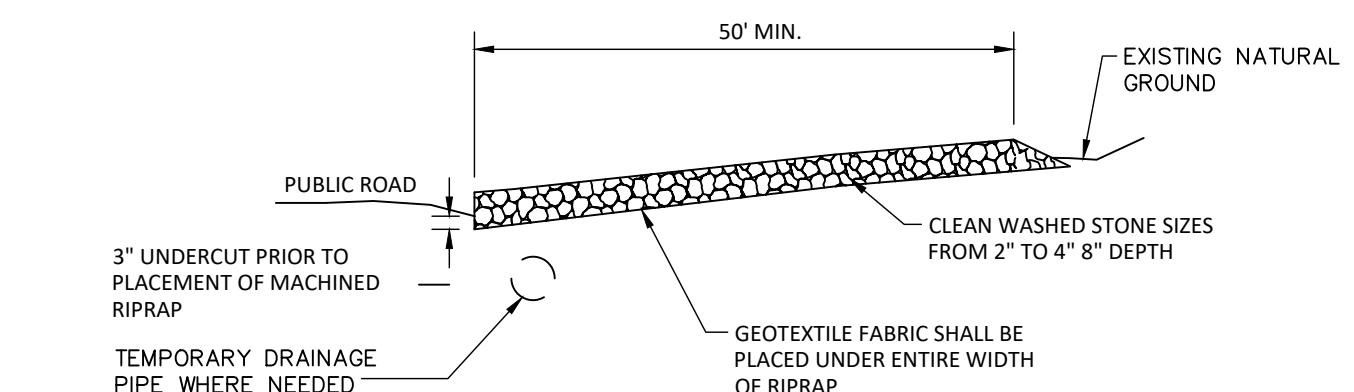


J-HOOK SILT FENCE

PLAN VIEW



PLAN VIEW OF TEMPORARY CONSTRUCTION ROAD



SECTION A-A

CONSTRUCTION EXIT

REVISIONS

COMMENTS

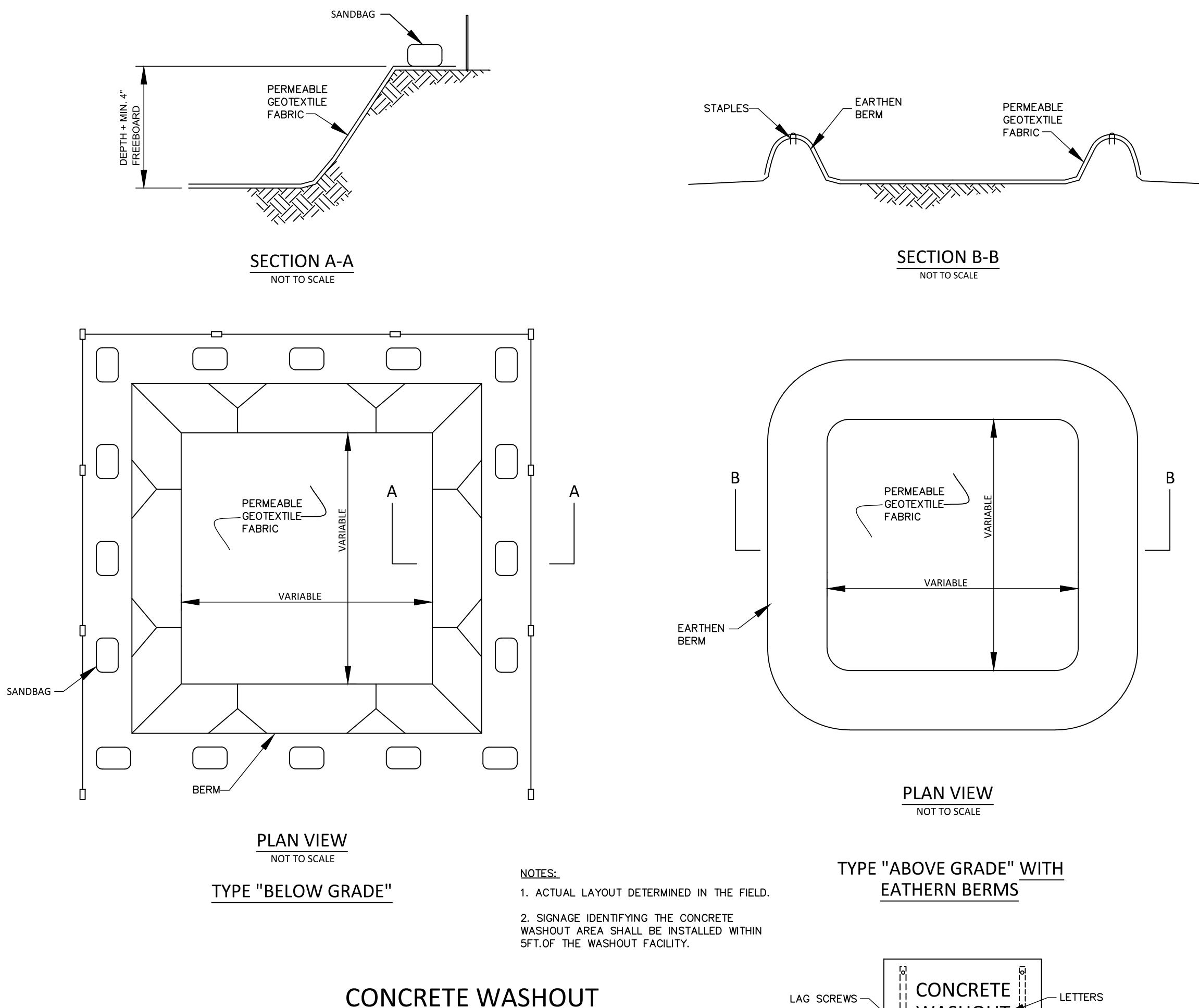
DATE

MILLAN RETAIL WILMA RUDOLPH

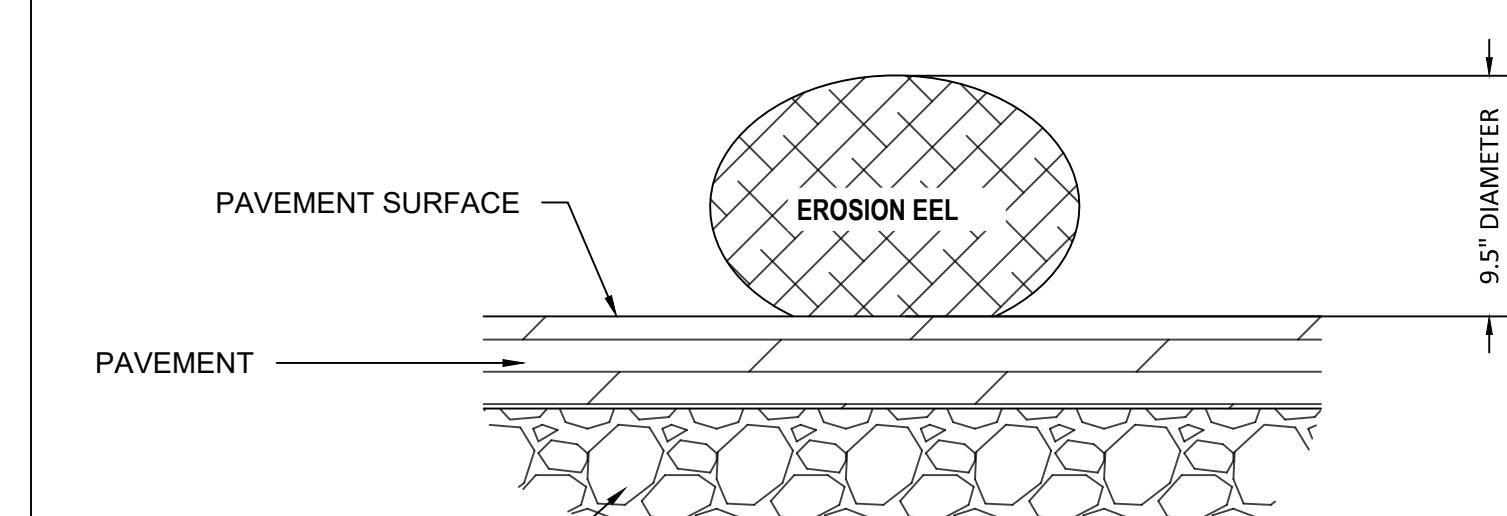
STANDARD DETAILS

2163 WILMA RUDOLPH BLVD, CLARKSVILLE
MONTGOMERY COUNTY, TENNESSEE

May 14, 2021

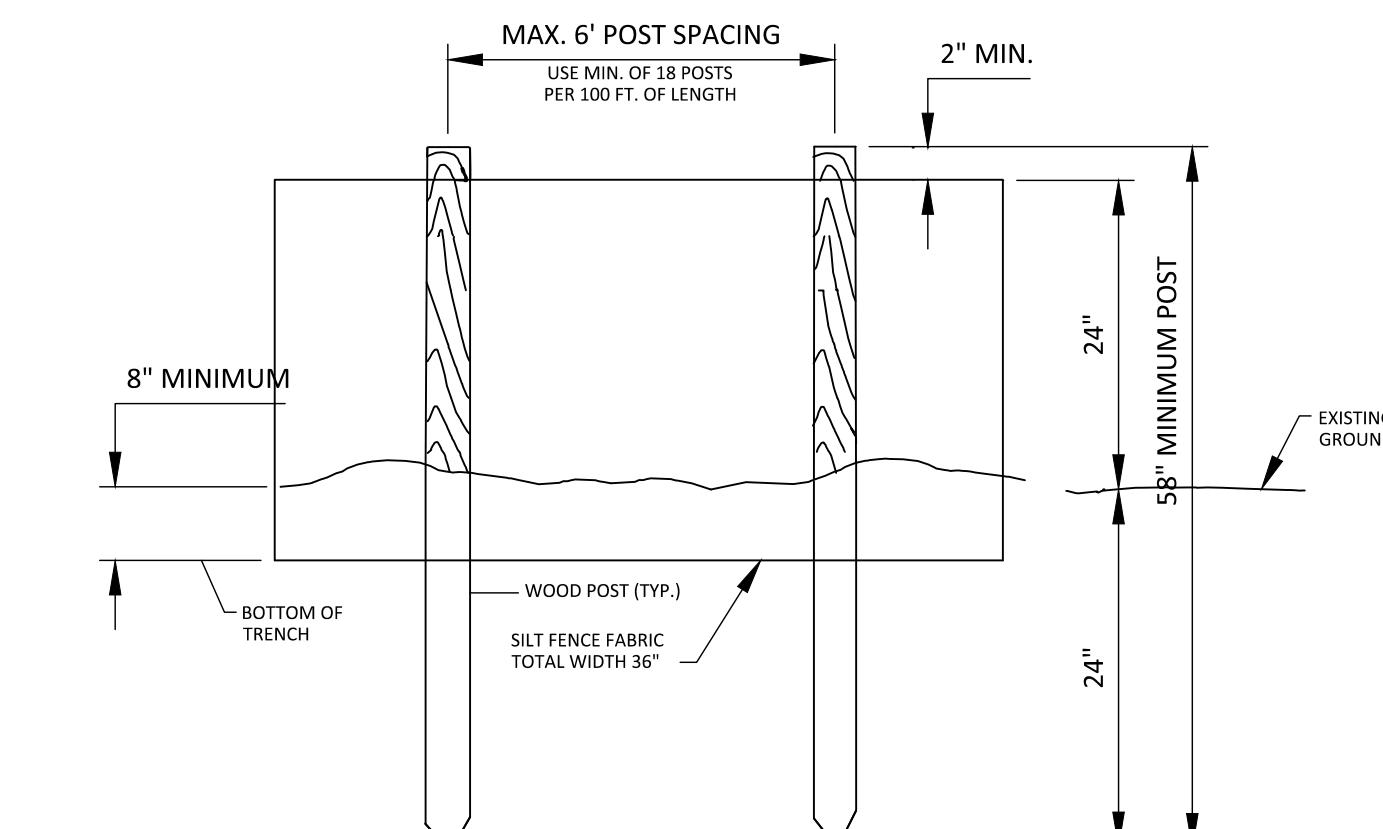


NOTE:
SILT PROTECTION PLACED IN ASPHALT LOCATIONS SHALL HAVE SAND BAGS PLACED AT POINTS ALONG THE BARRIER. BAGS ARE INTENDED TO PREVENT MOVEMENT AND PROVIDE STABILIZATION FOR THE DEVICE AND SHALL BE PLACED ON TOP, PERPENDICULAR TO RUN. SAND BAG PLACEMENT NOT MORE THAN 8 FEET APART.

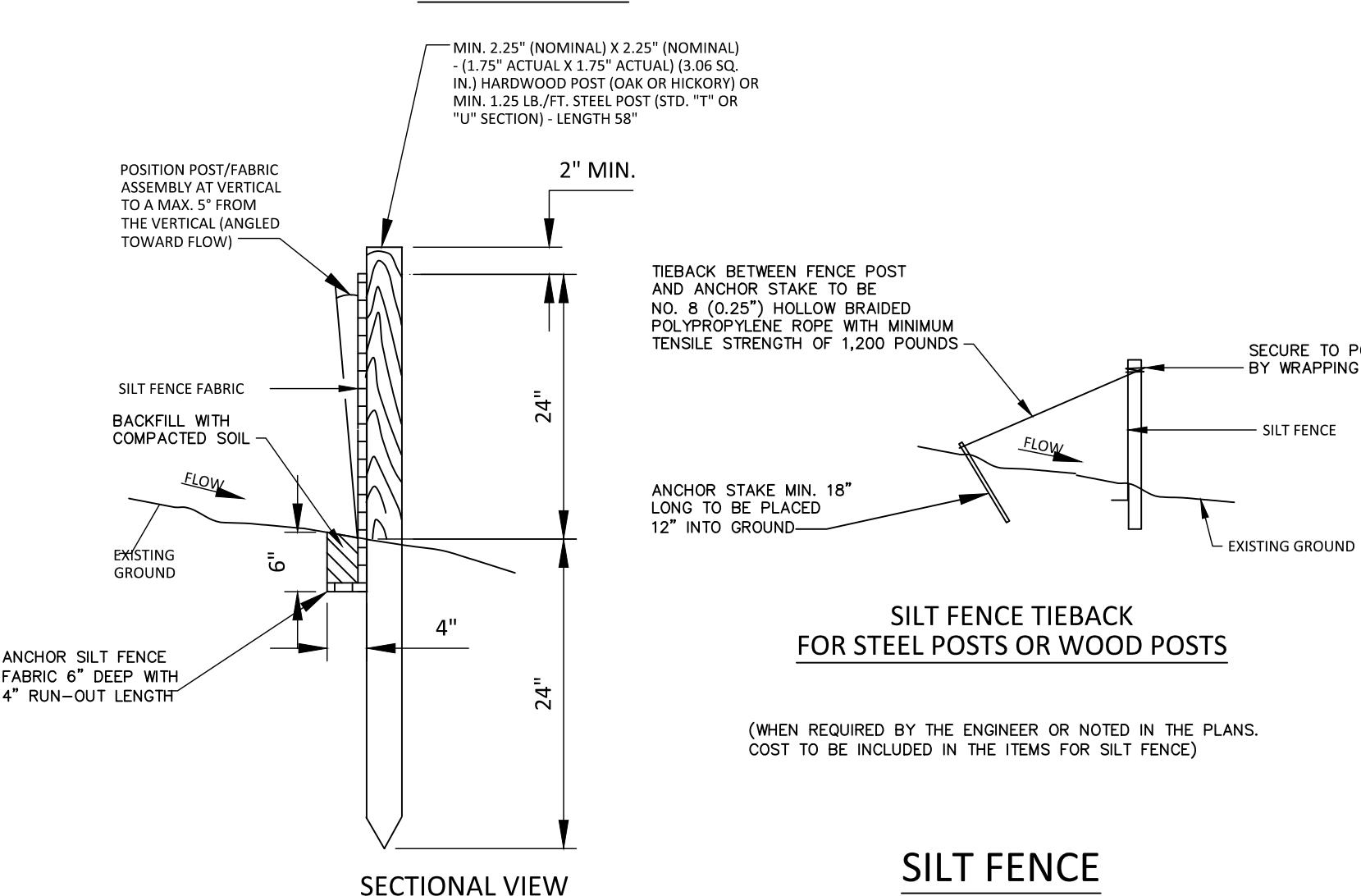


EROSION EEL (NTS)

NOTE:
UTILIZE THE EROSION EEL BY JEN HILL OR APPROVED EQUAL.



ELEVATION VIEW



SILT FENCE (NTS)

(WHEN REQUIRED BY THE ENGINEER OR NOTED IN THE PLANS, COST TO BE INCLUDED IN THE ITEMS FOR SILT FENCE)

MCKAY-BURCHETT 1545 Madison Street
COMPANY Clarksville, TN 37040
ENGINEERS Ph # 931-245-3095

FILE # 2163-WILMA-RUDOLPH-CLARKSVILLE-051421

NAME: (REDACTED) DATE: (REDACTED)

NO. 8 (0.25") HOLLOW BRAIDED POLYPROPYLENE ROPE WITH MINIMUM TENSILE STRENGTH OF 1,200 POUNDS

ANCHOR STAKE MIN. 18" LONG TO BE PLACED 12" INTO GROUND

SECURE TO POST BY WRAPPING

SILT FENCE

EXISTING GROUND

FLOW

SILT FENCE FABRIC

BACKFILL WITH COMPACTED SOIL

ANCHOR SILT FENCE FABRIC 6" DEEP WITH 4" RUN-OUT LENGTH

EXISTING GROUND

ANCHOR STAKE MIN. 18" LONG TO BE PLACED 12" INTO GROUND

SECURE TO POST BY WRAPPING

SILT FENCE

EXISTING GROUND

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EXISTING GROUND

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SECURE TO POST BY WRAPPING

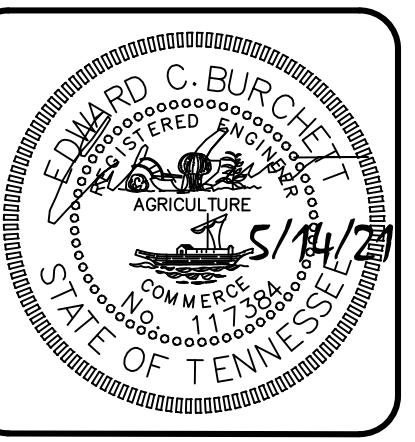
SILT FENCE

EXISTING GROUND

ANCHOR SILT FENCE FABRIC 6" DEEP WITH 4" RUN-OUT LENGTH

EXISTING GROUND

ANCHOR STAKE MIN. 18" LONG TO BE PLACED 12" INTO GROUND



REVISIONS

COMMENTS

MILLAN RETAIL WILMA RUDOLPH

STANDARD DETAILS

2163 WILMA RUDOLPH BLVD, CLARKSVILLE

MONTGOMERY COUNTY, TENNESSEE

May 14, 2021

McKAY-BURCHETT

1545 Madison Street
Clarksville, TN 37040

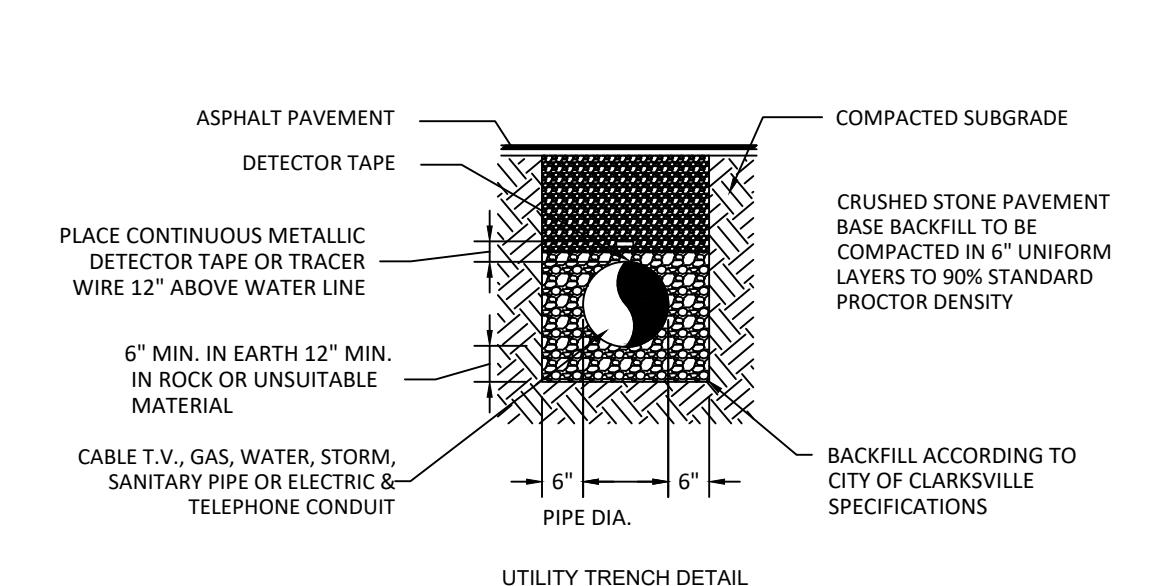
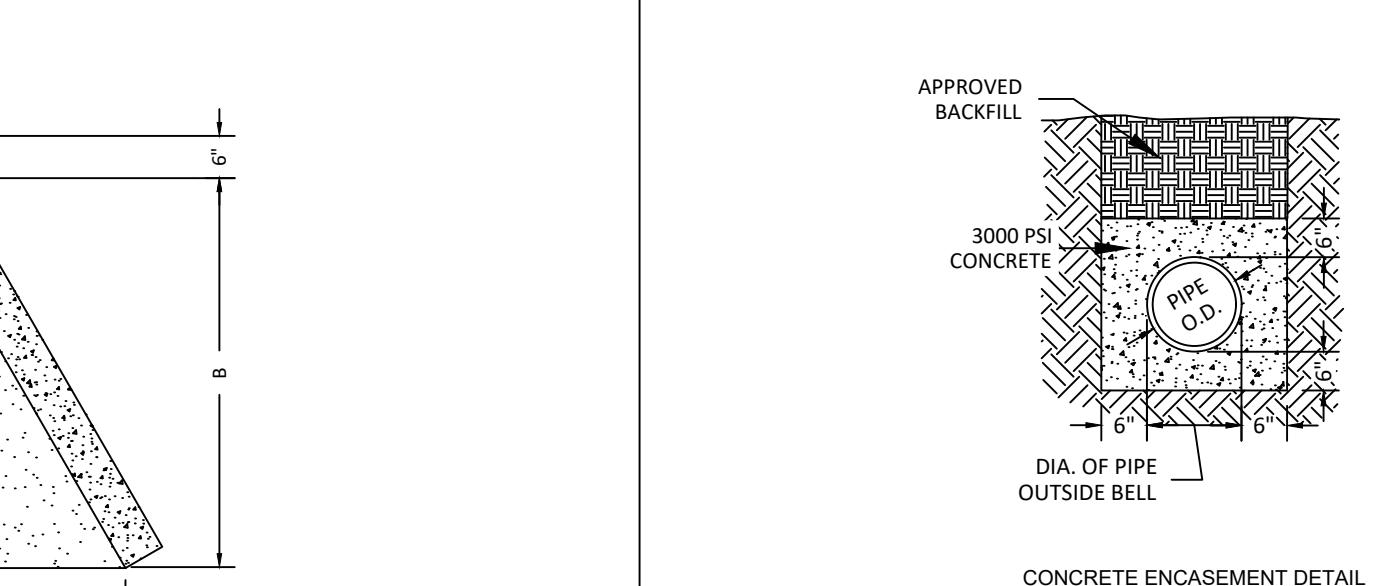
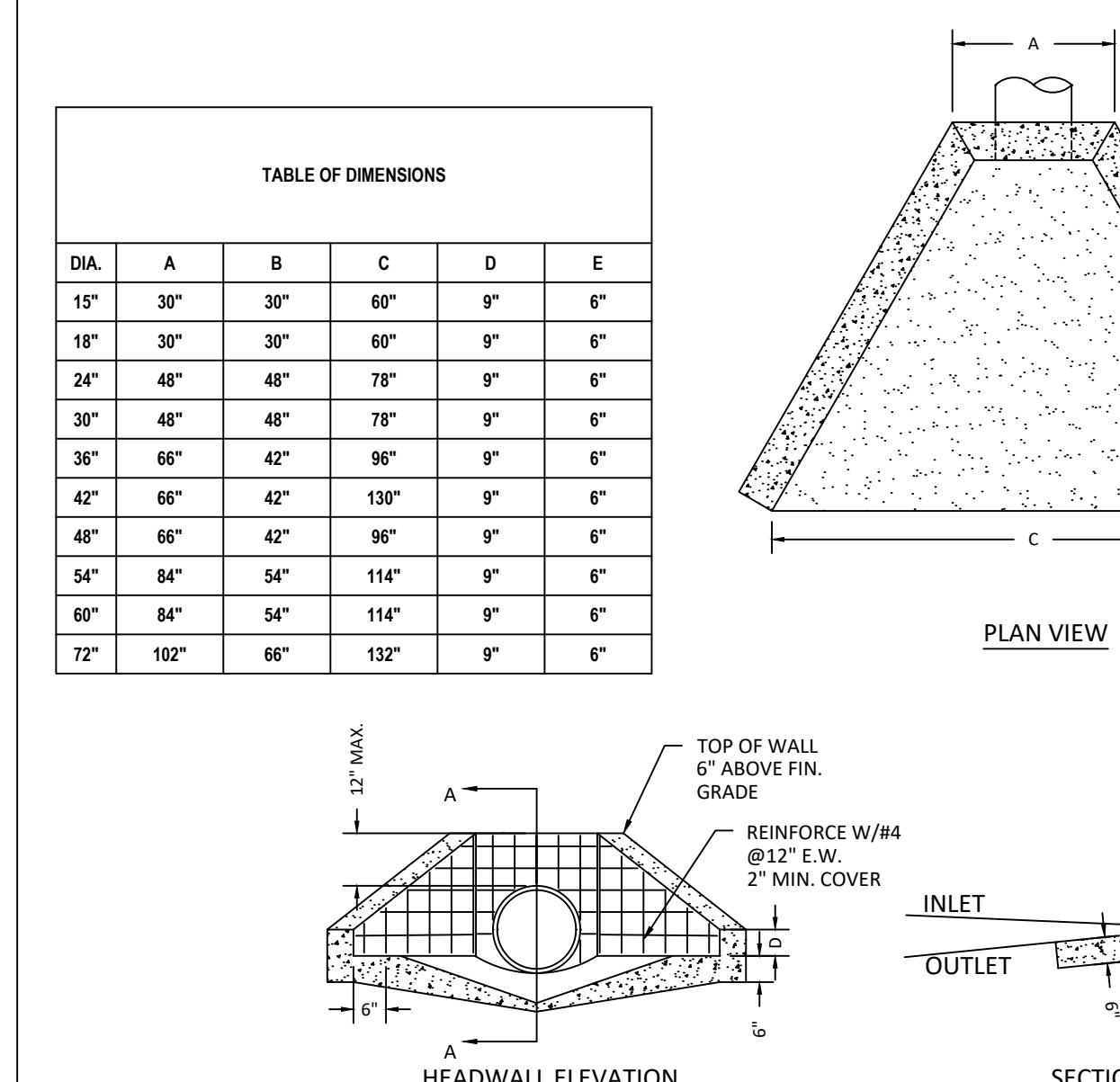
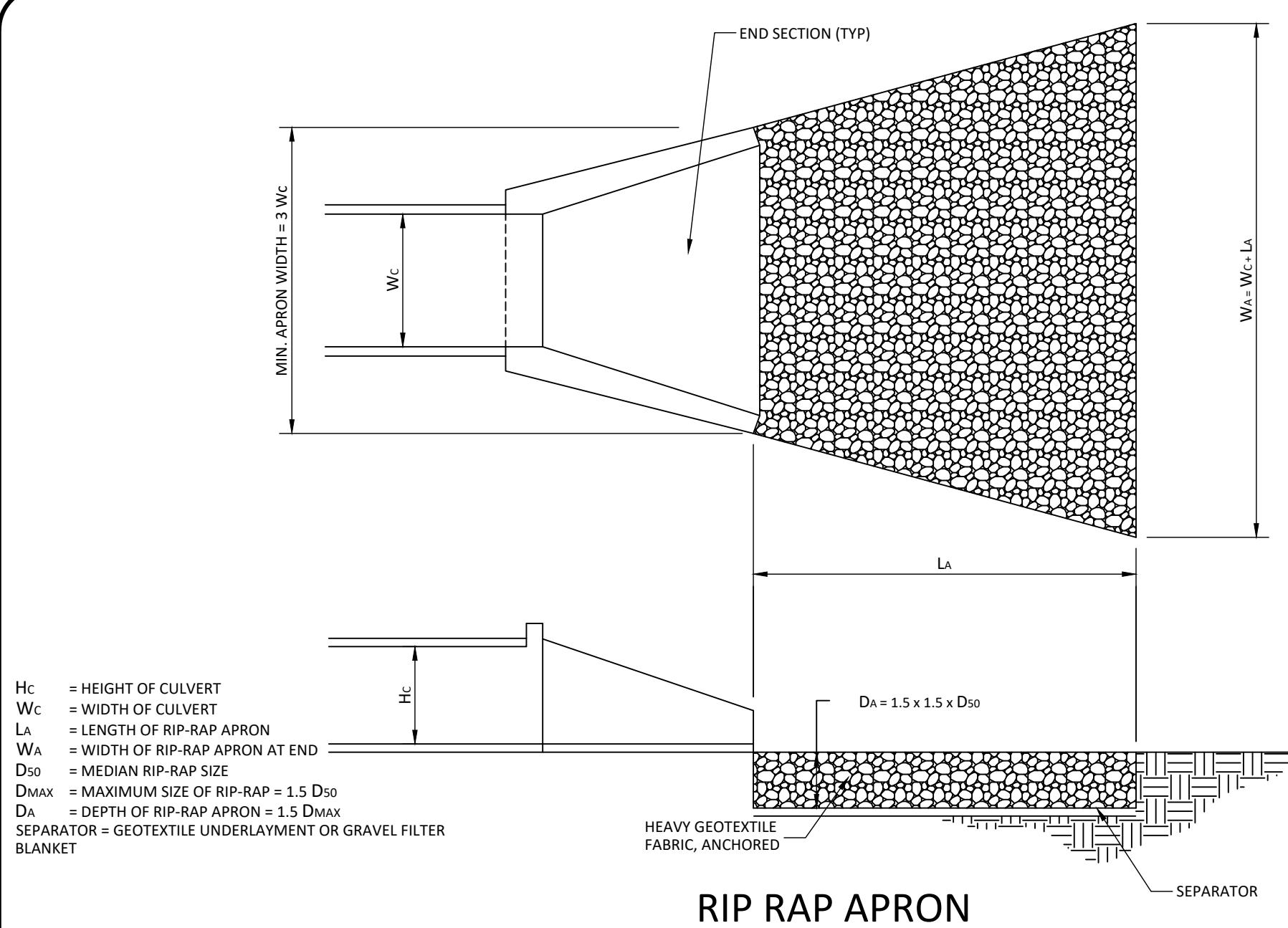
Ph # 931-245-3095

FILE # 2163-A002100122

Owner: Main Retail Blvd, LLC
Architect: Burchett

DRAWN BY: A. HUTCHISON
CHECKED BY: C. BURCHETT

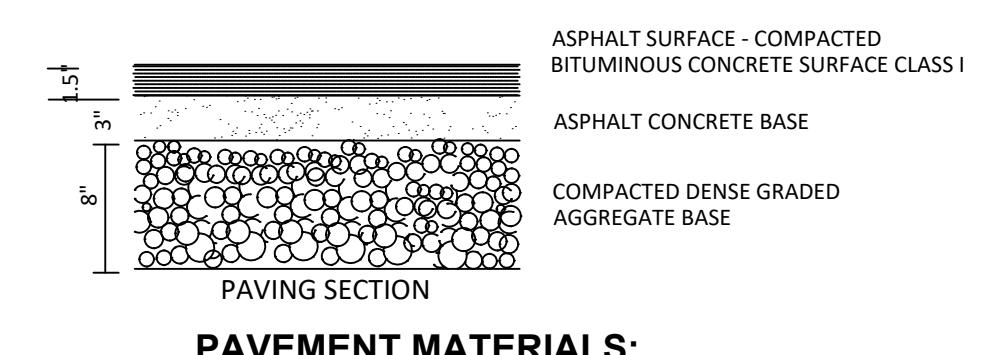
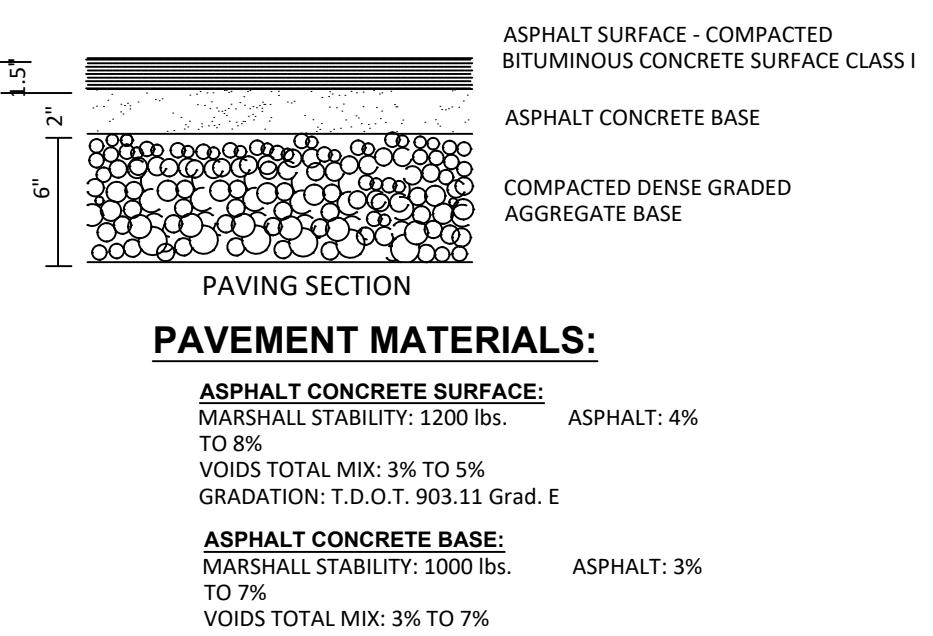
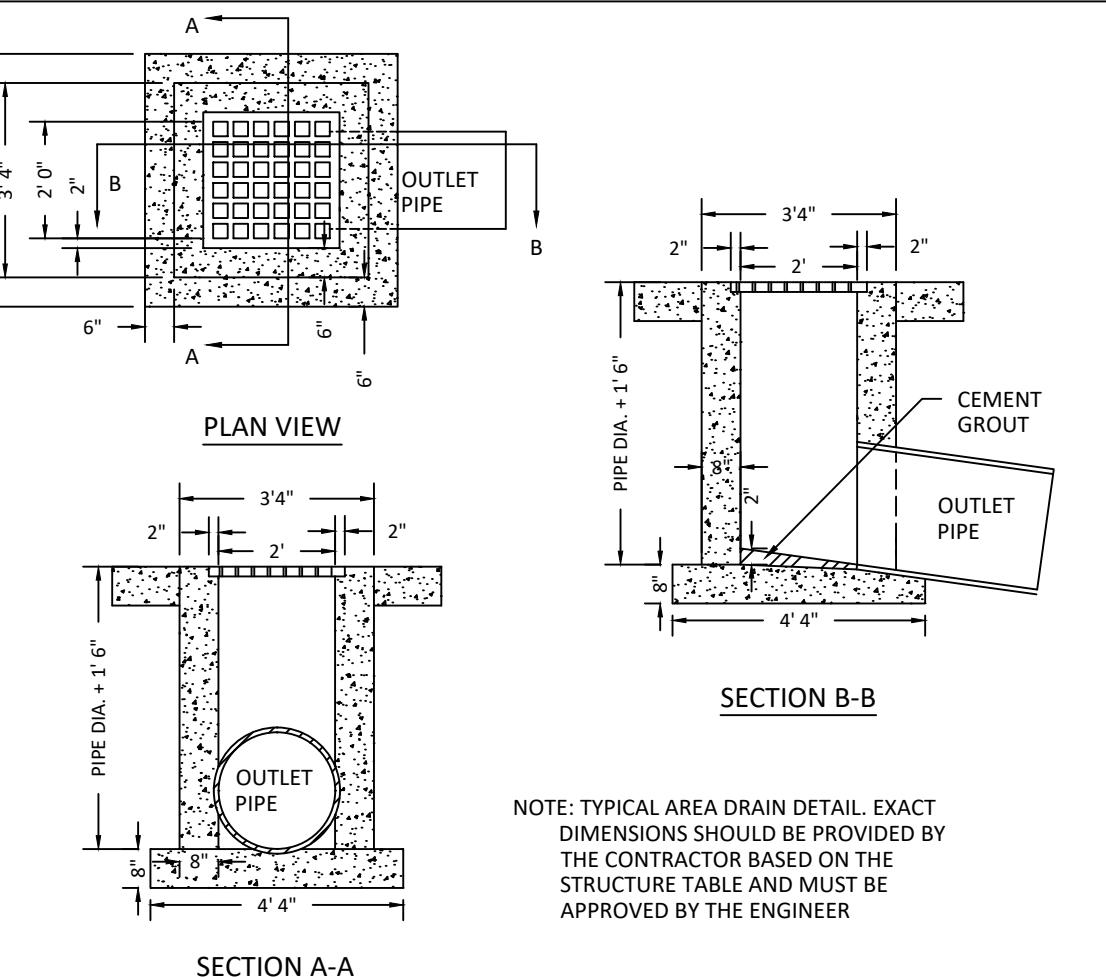
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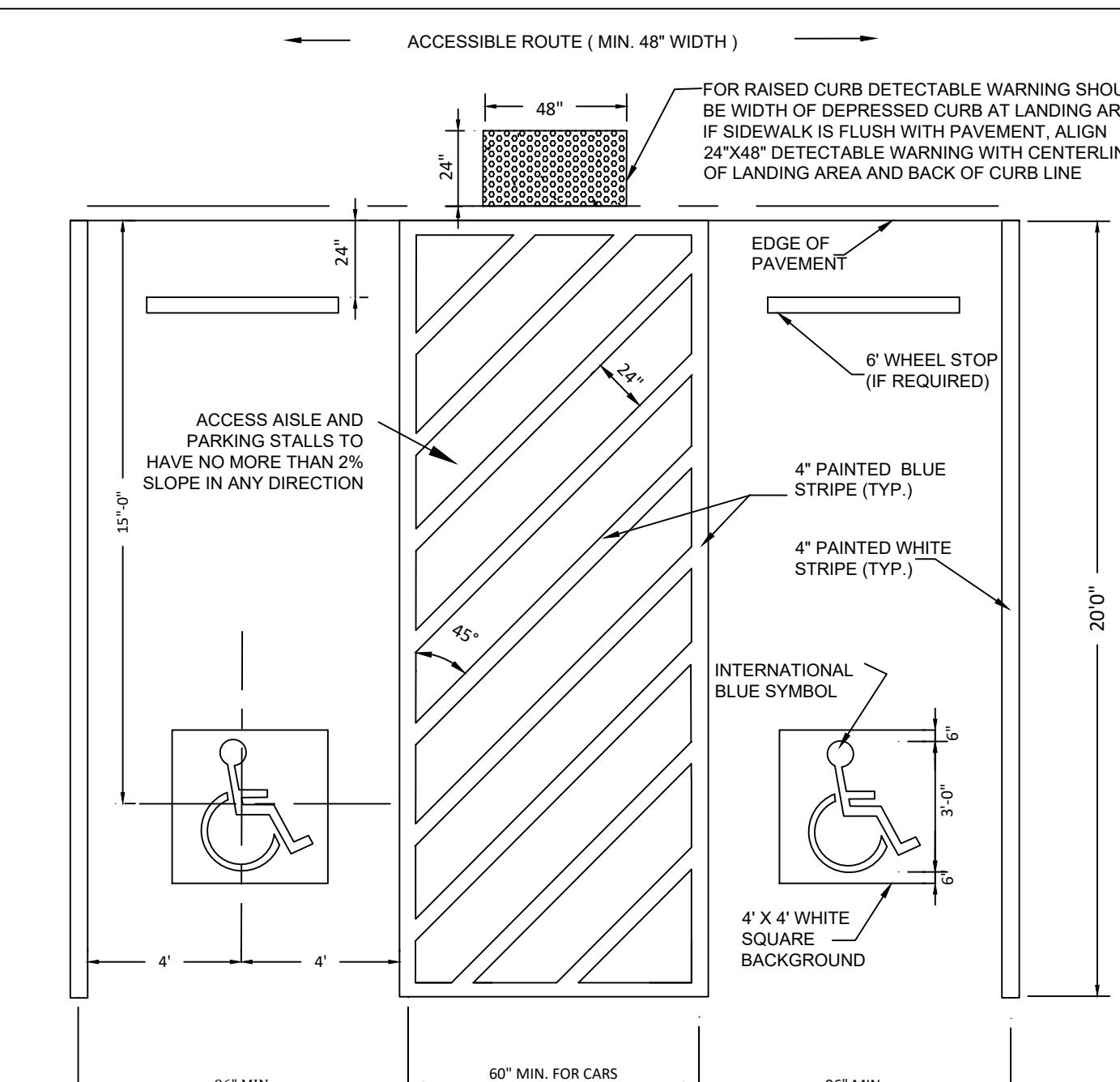
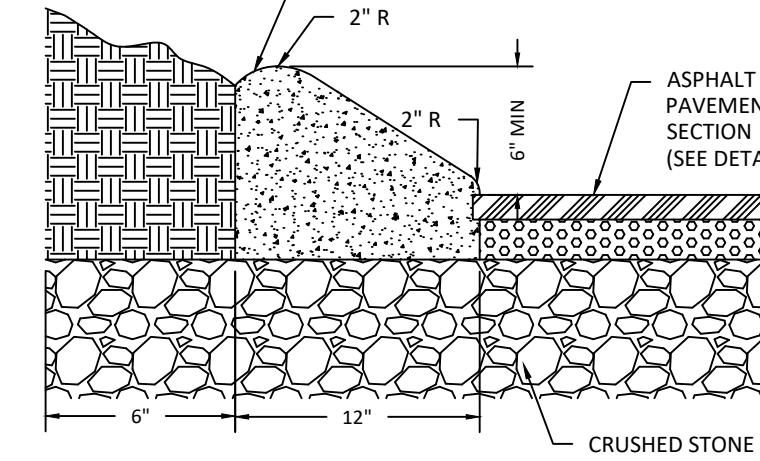
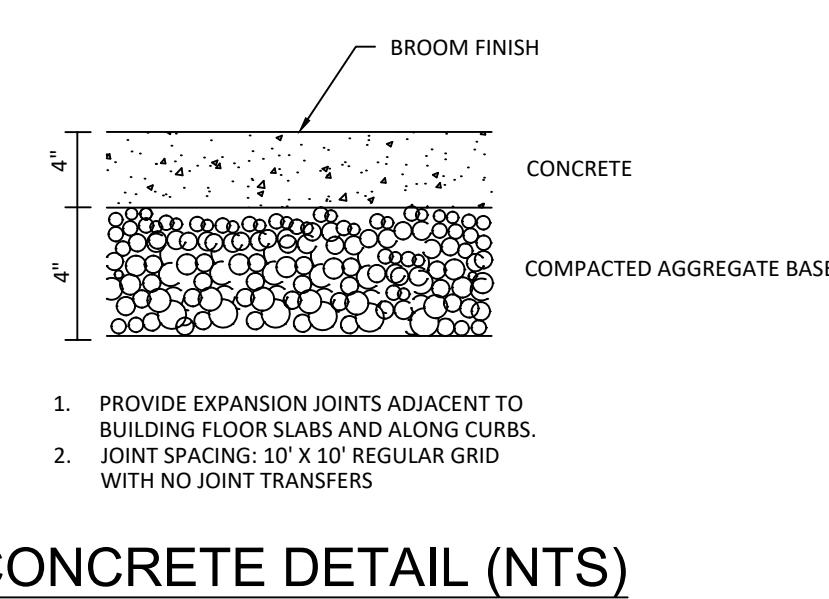
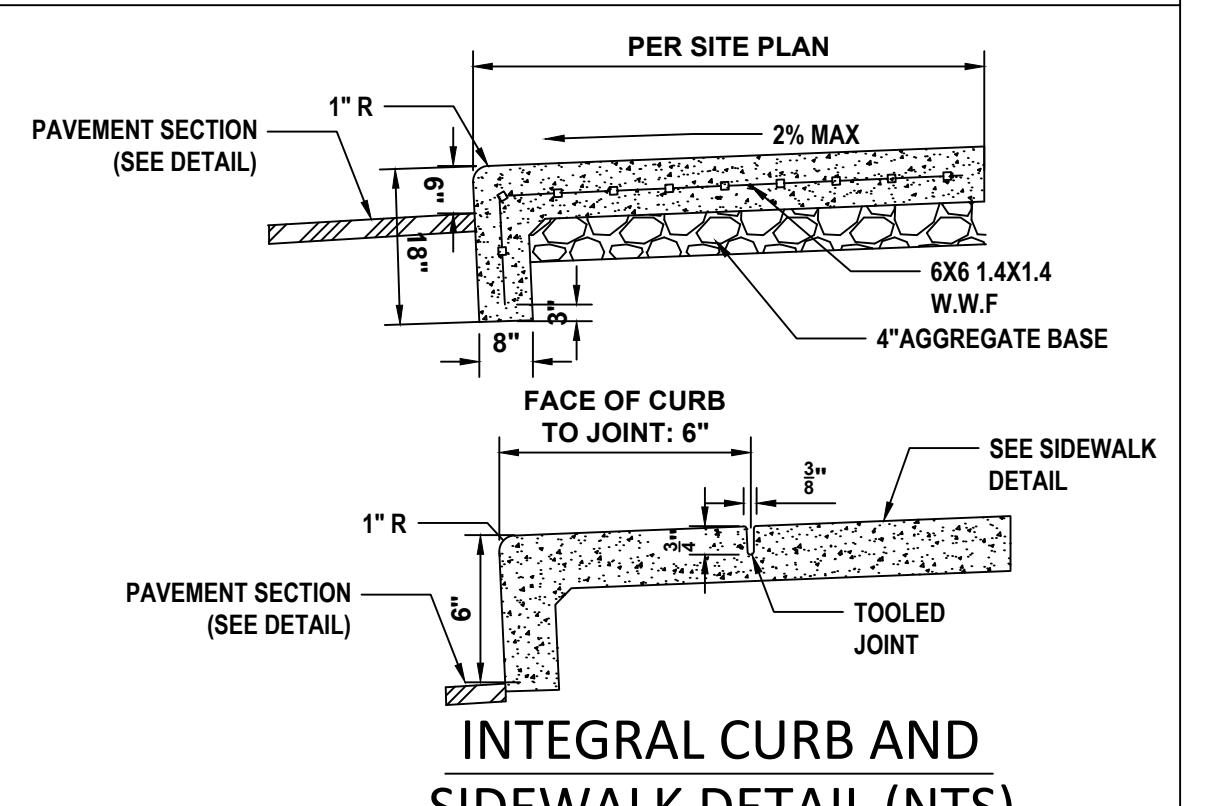
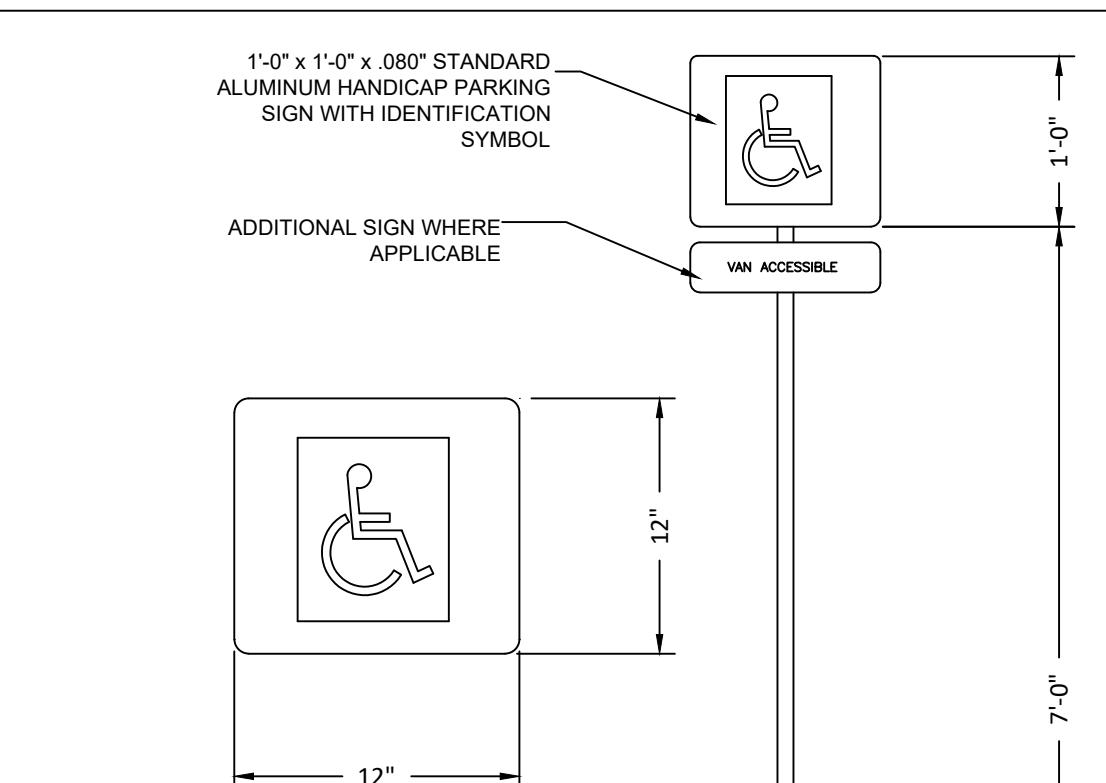
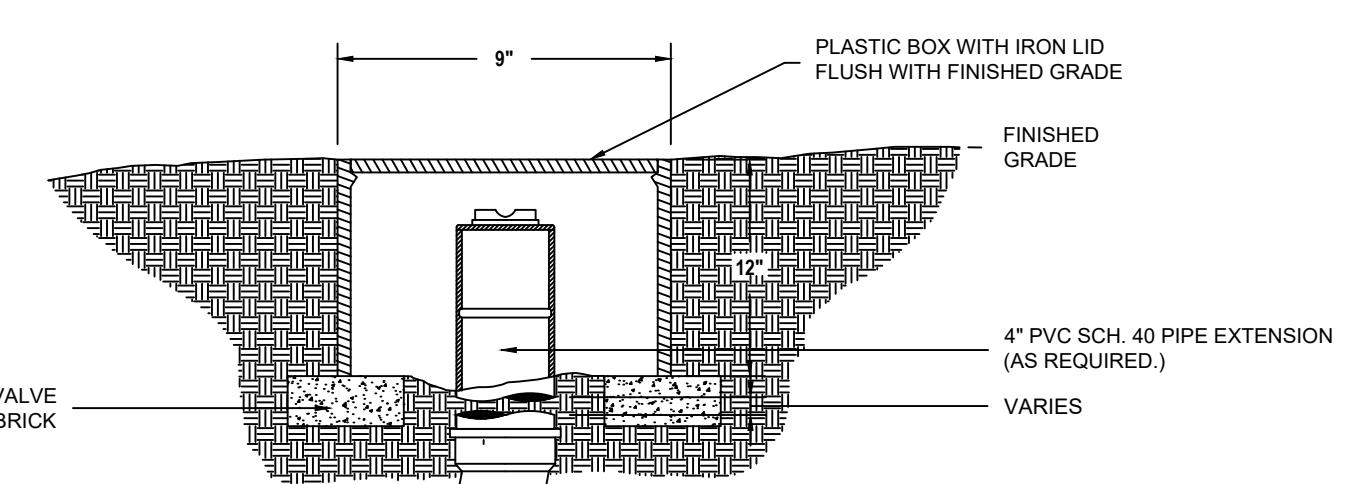
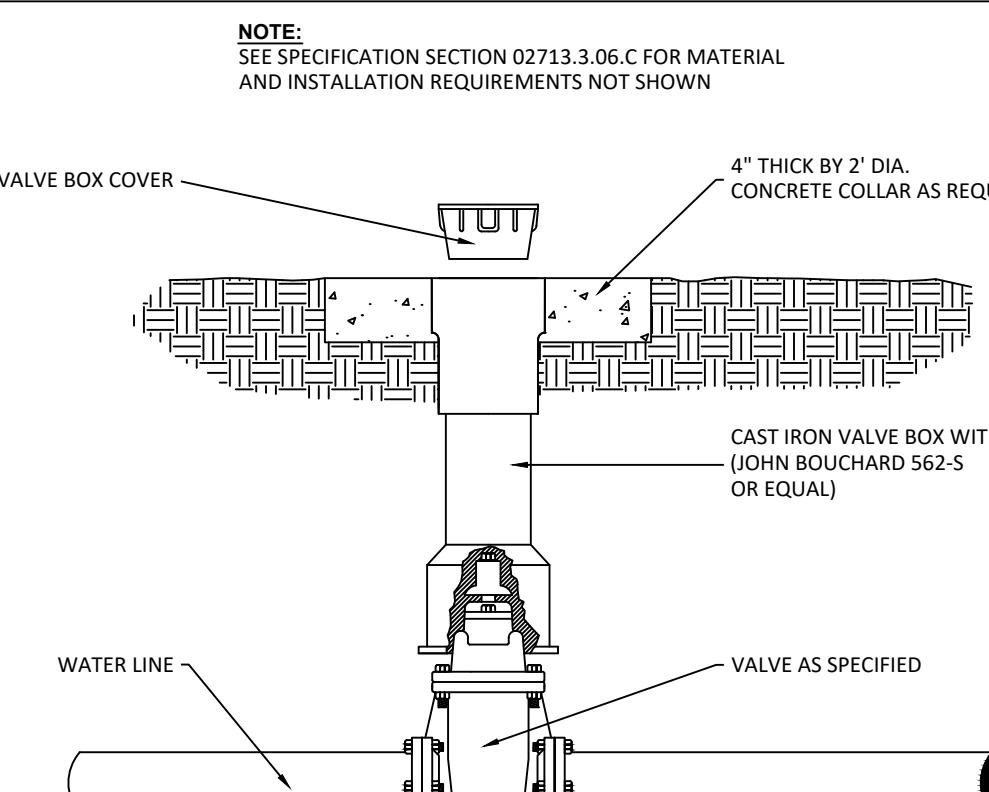
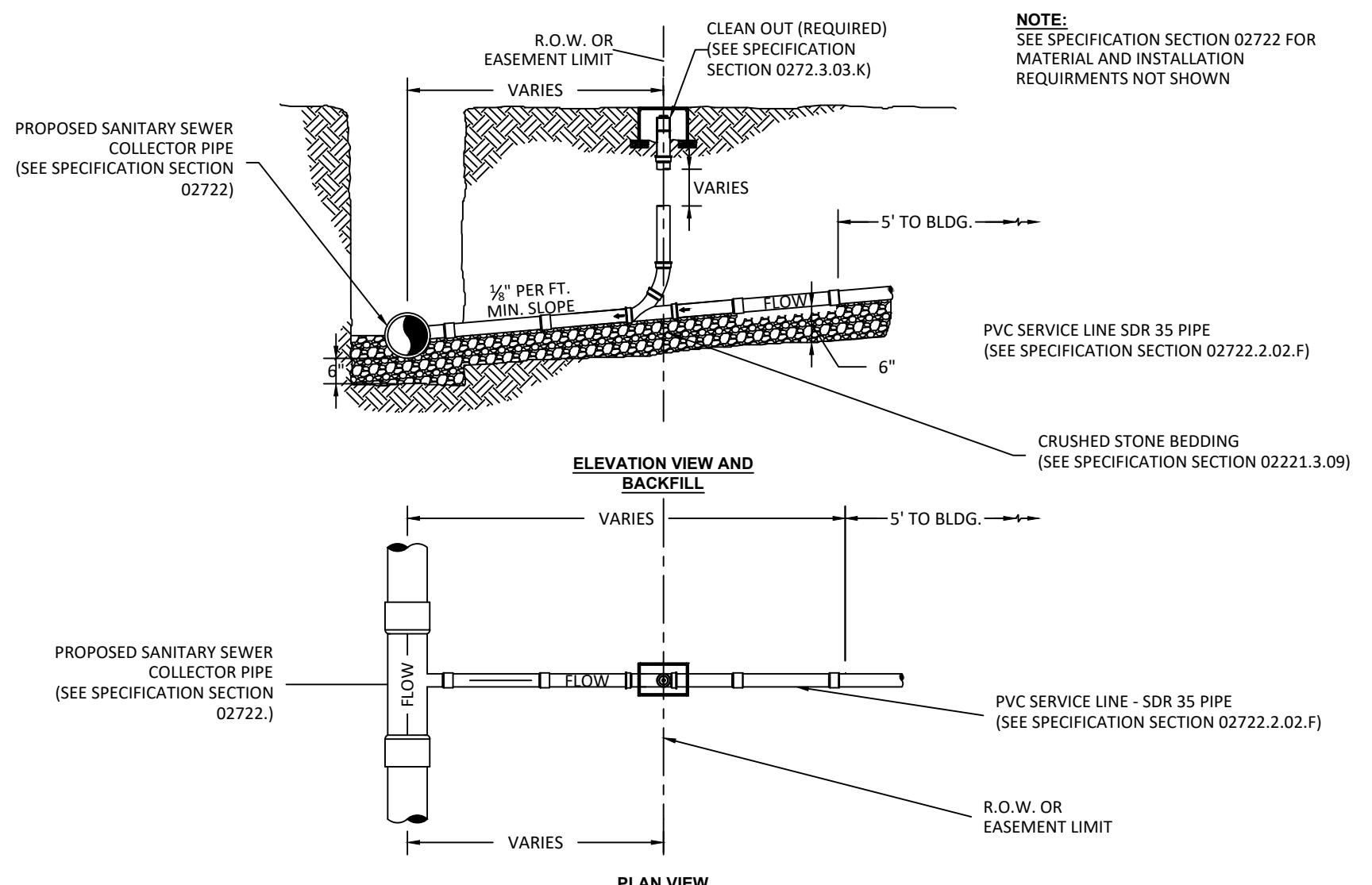
NOTE:

- SEE SPECIFICATION SECTION 02221 FOR MATERIAL AND INSTALLATION REQUIREMENTS
- WHERE TRENCH HAS ROCK BOTTOM, DEPTH OF TRENCH MUST BE ENOUGH TO ALLOW FOR 6" CRUSHED STONE BELOW BOTTOM OF PIPE.
- THIS DETAIL IS APPLICABLE TO NEW PAVEMENT AND "SAW-CUT" EXISTING PAVEMENT

UTILITY TRENCH DETAIL (NTS)



HEAVY-DUTY PAVEMENT SECTION COMMERCIAL DETAIL (NTS)



NOTE:

- STRIPING AND CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE AND CITY CODES AND SPECIFICATIONS

