



PERSPECTIVE RENDERING



ELEVATION RENDERING

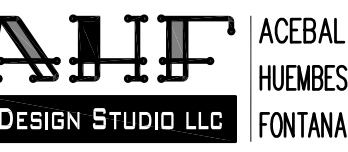
REVISIONS :

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PROPOSED WAREHOUSE PROJECT  
 FOR: **E & M WAREHOUSE II LLC**  
 VACANT LAND - FOLIO # 10-7921-011-0035  
 CORNER OF SW 142nd AVENUE & 336th STREET, HOMESTEAD, FL  
 OWNER: E & M WAREHOUSE II LLC  
 1200 E LAS OLAS BLVD, SUITE 500, FORT LAUDERDALE, FLORIDA 33301

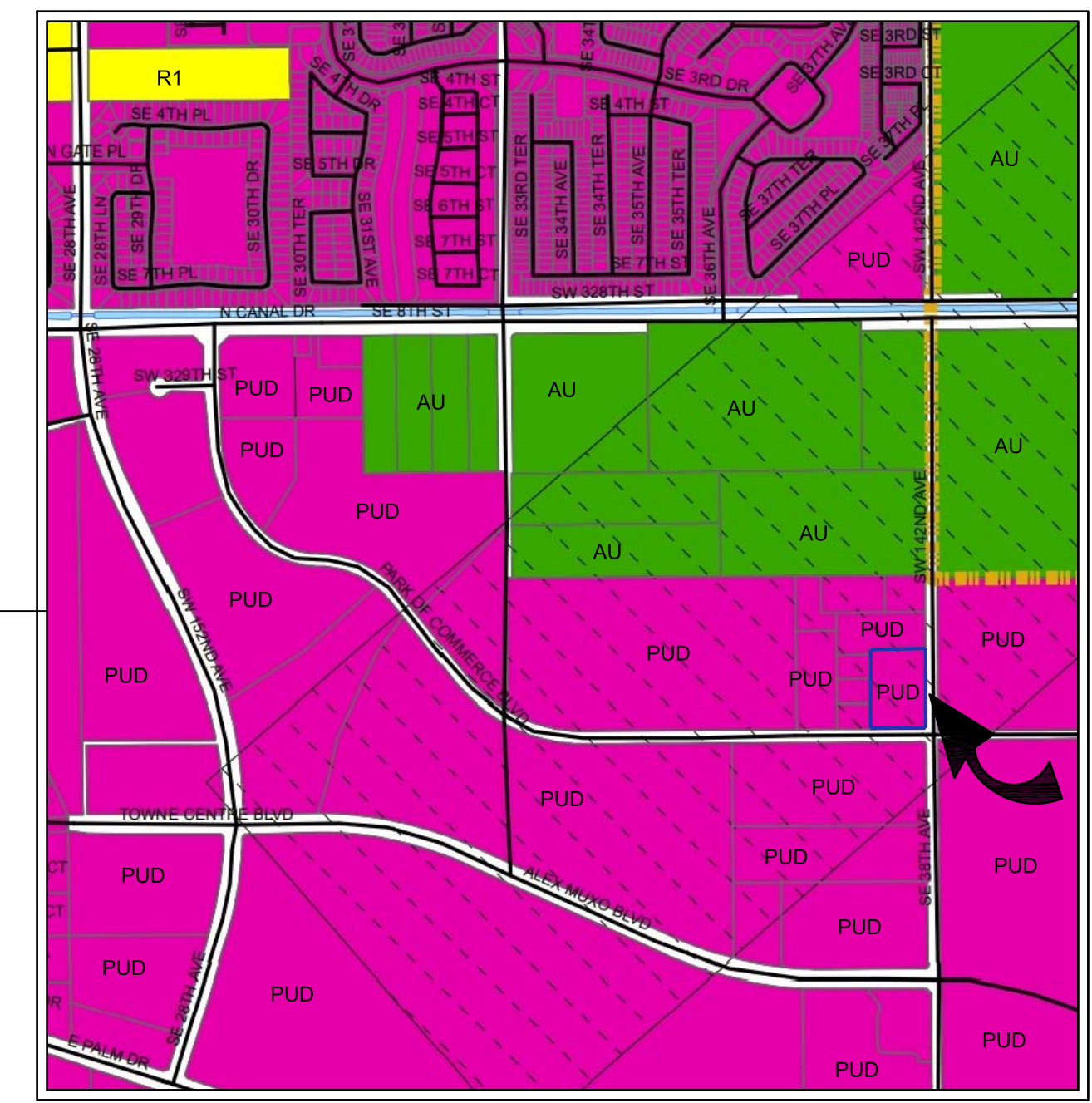
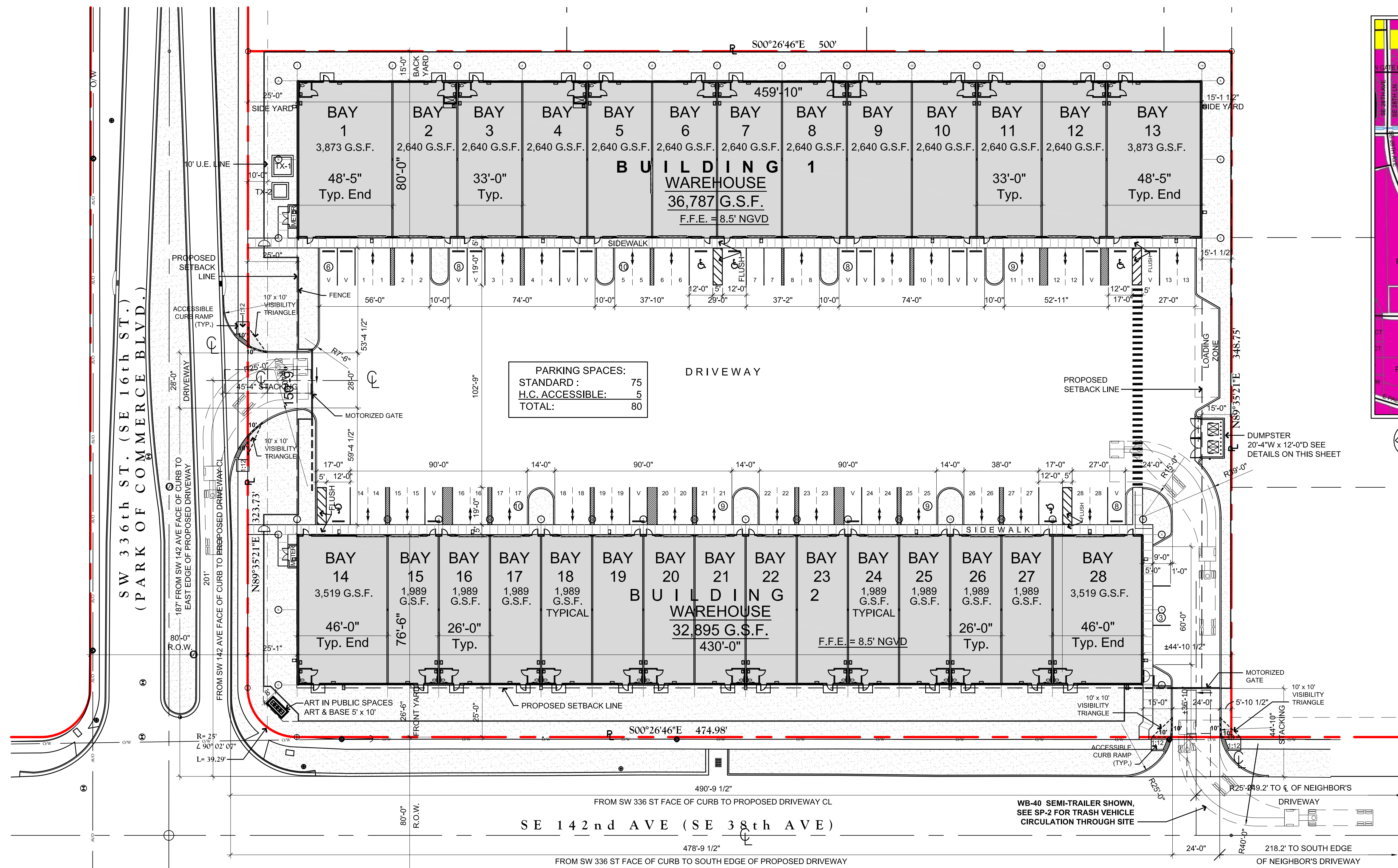
Scale:  
 Javier F. Acebal AR17697

**Acebal Huembes Fontana**  
 Design Studio LLC.  
 A R - 1 7 6 9 7  
 7344 SW 48th STREET, SUITE 201 - MIAMI, FLORIDA 33155  
 Office: 305.661.8181 - Fax: 305.661.8710 - E-Mail: AHFDesignStudio@att.net  
 ARCHITECT: Javier F. Acebal AR17697  
 Acebal Huembes Fontana Design Studio, LLC - AA28009883  
 7344 SW 48th Street, Suite 201, Miami, Florida 33155



DATE: 05-26-23 SCALE:

DRAWING NO: A-0



LOCATION - ZONING MAP  
SCALE: N.T.S.

**I. PROJECT DATA**

|                                 |  |
|---------------------------------|--|
| A. PROPERTY ID:                 | 10-7921-011-0035                               |
| B. PROPERTY OWNER:              | 336 RACEWAY LLC                                |
| C. CURRENT USE:                 | VACANT / INDUSTRIAL                            |
| D. PROPOSED USE:                | WAREHOUSE / SHOW ROOM / TECHNOLOGICAL FACILITY |
| E. ZONING DISTRICT:             | PLANNED UNIT DEVELOPMENT PUD 9300              |
| F. FUTURE LAND USE DESIGNATION: | PRAC - PLANNED REGIONAL ACTIVITY CENTER        |
| G. PUD MASTER PLAN:             | HOMESTEAD PARK OF COMMERCE                     |
| H. ACCIDENT POTENTIAL ZONE      | II   |

**II. FLOOR ELEVATION**

|                           |                         |
|---------------------------|-------------------------|
| FEMA BASE FLOOD ZONE      | -----> ZONE AH          |
| FLOOD INSURANCE RATE MAP  | -----> FIRM 22086C0735L |
|                           | COMMUNITY PANEL         |
|                           | CITY OF HOMESTEAD       |
|                           | # 220845                |
| FEMA BASE FLOOR ELEVATION | -----> 4 FT             |
| PROPOSED FLOOR ELEVATION  | -----> 8.5' NGVD        |

**LEGAL DESCRIPTION**  
THE EAST 348.75 FEET OF THE SOUTH 500 FEET OF TRACT "B" OF "HOMESTEAD PARK OF COMMERCE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 157, AT PAGE 39, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**III. SITE ANALYSIS**

| A. TOTAL LOT AREA   | 174,241   | S.F. | ± | 4.00  | ACRES     |
|---|-----------|------|---|-------|-----------|
| <b>B. LOT COVERAGE (BUILDING FOOTPRINT)</b>                     |           |      |   |       |           |
| 1 BUILDING "A" - WAREHOUSE / SHOW ROOM / TECHNOLOGICAL FACILITY | 36,787    | S.F. |   |       |           |
| 2 BUILDING "B" - WAREHOUSE / SHOW ROOM                          | 32,895    | S.F. |   |       |           |
|   | 69,682    | S.F. | = | 39.99 | % OF SITE |
| <b>C. IMPERVIOUS AND PERVIOUS AREAS</b>                         |           |      |   |       |           |
| <b>1. IMPERVIOUS</b>  |           |      |   |       |           |
| a. BUILDING FOOTPRINT   | 69,682    | S.F. | = | 39.99 | % OF SITE |
| <b>b. SIDEWALKS</b>   |           |      |   |       |           |
| 1 SIDEWALKS OPEN TO THE SKY                                     | 6,237     | S.F. | = | 3.58  | % OF SITE |
| 2 SIDEWALKS UNDER CANOPY  | 0         | S.F. | = | 0.00  | % OF SITE |
| 3 SIDEWALKS TOTAL   | 6,237     | S.F. | = | 3.58  | % OF SITE |
| <b>c. VEHICULAR USE AREA</b>                                    |           |      |   |       |           |
| 1 DRIVEWAYS   | 66,290    | S.F. | = | 38.04 | % OF SITE |
| 2 DRIVEWAYS TOTAL   | 66,290    | S.F. | = | 38.04 | % OF SITE |
| <b>d. OTHER STRUCTURES</b>                                      |           |      |   |       |           |
| 1 ELECTRICAL ROOMS  | 112       | S.F. | = |       |           |
| 2 DUMPSTER  | 244       | S.F. | = |       |           |
| 3 EL. TRANSFORMERS  | 190       | S.F. | = |       |           |
| 4 OTHER STRUCTURES TOTAL  | 546       | S.F. | = | 0.31  | % OF SITE |
| e. IMPERVIOUS TOTAL   | 142,754   | S.F. | = | 81.93 | % OF SITE |
| <b>2. PERVIOUS</b>  |           |      |   |       |           |
| <b>a. LANDSCAPE</b>   |           |      |   |       |           |
| 1 LANDSCAPE AREA OPEN TO THE SKY                                | 31,487.27 | S.F. | = | 18.07 | % OF SITE |
| b. PERVIOUS AREA TOTAL  | 31,487    | S.F. | = | 18.07 | % OF SITE |

**SUMMARY OF OVERALL LOT COVERAGE**

|   | PROVIDED         | ALLOWED |
|---|------------------|---------|
| 1 TOTAL PROPOSED BUILDING LOT COVERAGE      | 69,682.00 SQ. FT | 40.0%   |
| 2 ASPHALT PAVED AREA - DUMPSTER - ELE. RMS. | 66,835.68 SQ. FT | 38.4%   |
| 3 LANDSCAPE OPEN SPACE, SIDEWALKS           | 37,723.30 SQ. FT | 21.7%   |
| 4 TOTAL PROPOSED BUILDING LOT COVERAGE      | 174,241 SQ. FT   | 100.0%  |

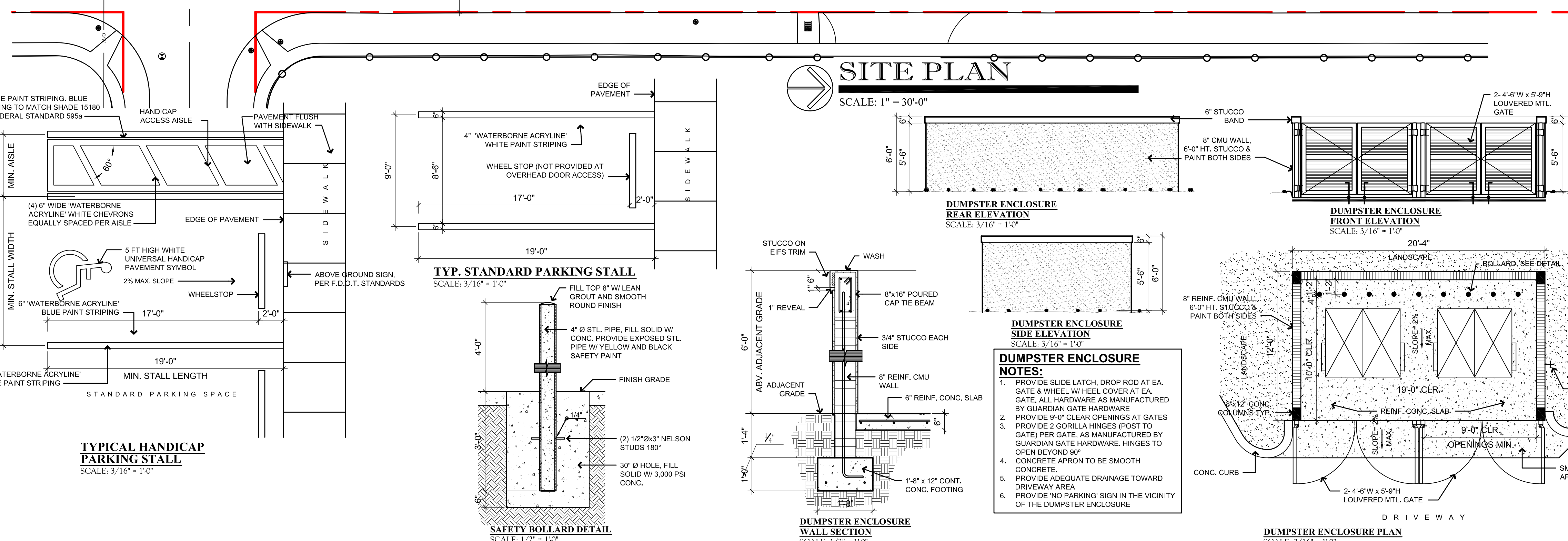
**SETBACKS**

|  | PROVIDED | ALLOWED |
|--|----------|---------|
| 1 FRONT - SOUTH (PARK OF COMMERCE BLVD.) | 150'-0"  | 25'-0"  |
| 2 SIDE - EAST (SE 142 AVE)               | 100'-0"  | 25'-0"  |
| 3 REAR - NORTH                           | 25'-0"   | 15'-0"  |
| 4 SIDE - WEST                            | 25'-0"   | 15'-0"  |

**PARKING**

| WAREHOUSE AREAS: | 62682 | SQ. FT. | / | 1000 | SQ. FT. | PER SPACE | = | 62.68 | 63 |
|------------------|-------|---------|---|------|---------|-----------|---|-------|----|
|------------------|-------|---------|---|------|---------|-----------|---|-------|----|

**PARKING PROVIDED:**  
STANDARD = 9'-0" x 19'-0" (17'-0" WITH 2'-0" OVER CURB) → 75 SPACES  
HANDICAP = 12'-0" x 19'-0" (17'-0" WITH 2'-0" OVER CURB) → 5 SPACES  
**TOTAL PARKING PROVIDED** → 80 SPACES



REVISIONS:

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OWNER: E & M WAREHOUSE II LLC  
1200 E LAS OLAS BLVD, SUITE 500, FORT LAUDERDALE, FLORIDA 33301

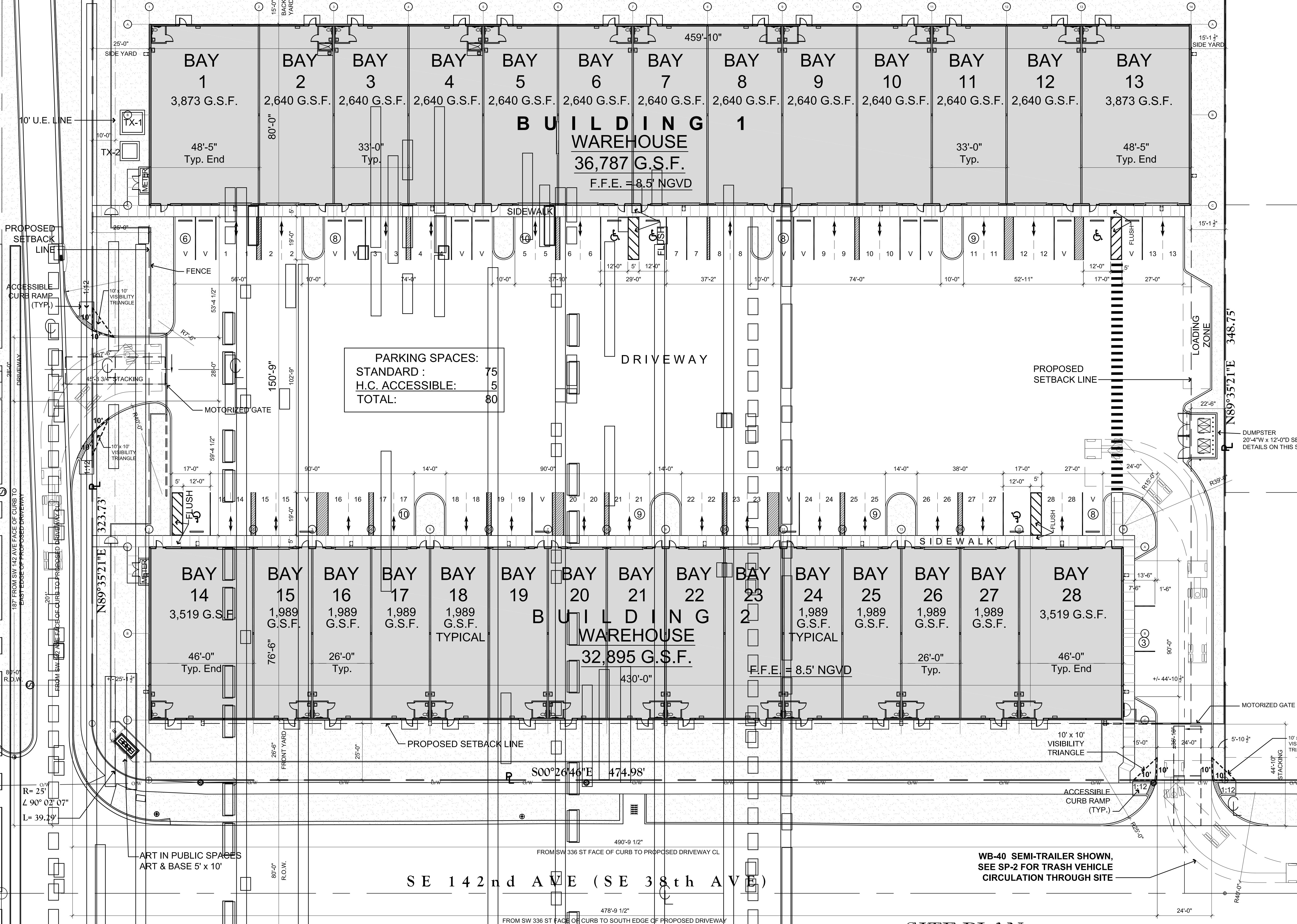
Seal: **Javier F. Acebal AR17697**

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**AHF** ACEBAL HUEMBES FONTANA  
Design Studio LLC

DATE: 05-26-23  
SCALE:  
DRAWING NO: SP-1.0

SW 336th ST. (SE 16th ST.)  
(PARK OF COMMERCE BLVD.)



|                  |    |
|------------------|----|
| PARKING SPACES:  |    |
| STANDARD :       | 75 |
| H.C. ACCESSIBLE: | 5  |
| TOTAL:           | 80 |

R= 25'  
L= 39.19'  
∠ 90° 02' 07"

ART IN PUBLIC SPACES  
ART & BASE 5' x 10'

SE 142nd AVE (SE 38th AVE)

WB-40 SEMI-TRAILER SHOWN,  
SEE SP-2 FOR TRASH VEHICLE  
CIRCULATION THROUGH SITE

**SITE PLAN**  
SCALE: 1" = 20'-0"

REVISIONS:

|  |  |
|--|--|
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**AHF** ACEBAL  
DESIGN STUDIO LLC HUEMBES  
FONTANA

DATE: 05-26-23  
SCALE: 1" = 20'-0"  
DRAWING NO.: SP-1.1

SW 336th ST. (SE 16th ST.)  
(PARK OF COMMERCE BLVD.)

10' U.E. LINE

PROPOSED SETBACK LINE

ACCESSIBLE CURB RAMP (TYP.)

FENCE

MOTORIZED GATE

FLUSH

FLUSH

FLUSH

FLUSH

FLUSH

FLUSH

FLUSH

FLUSH

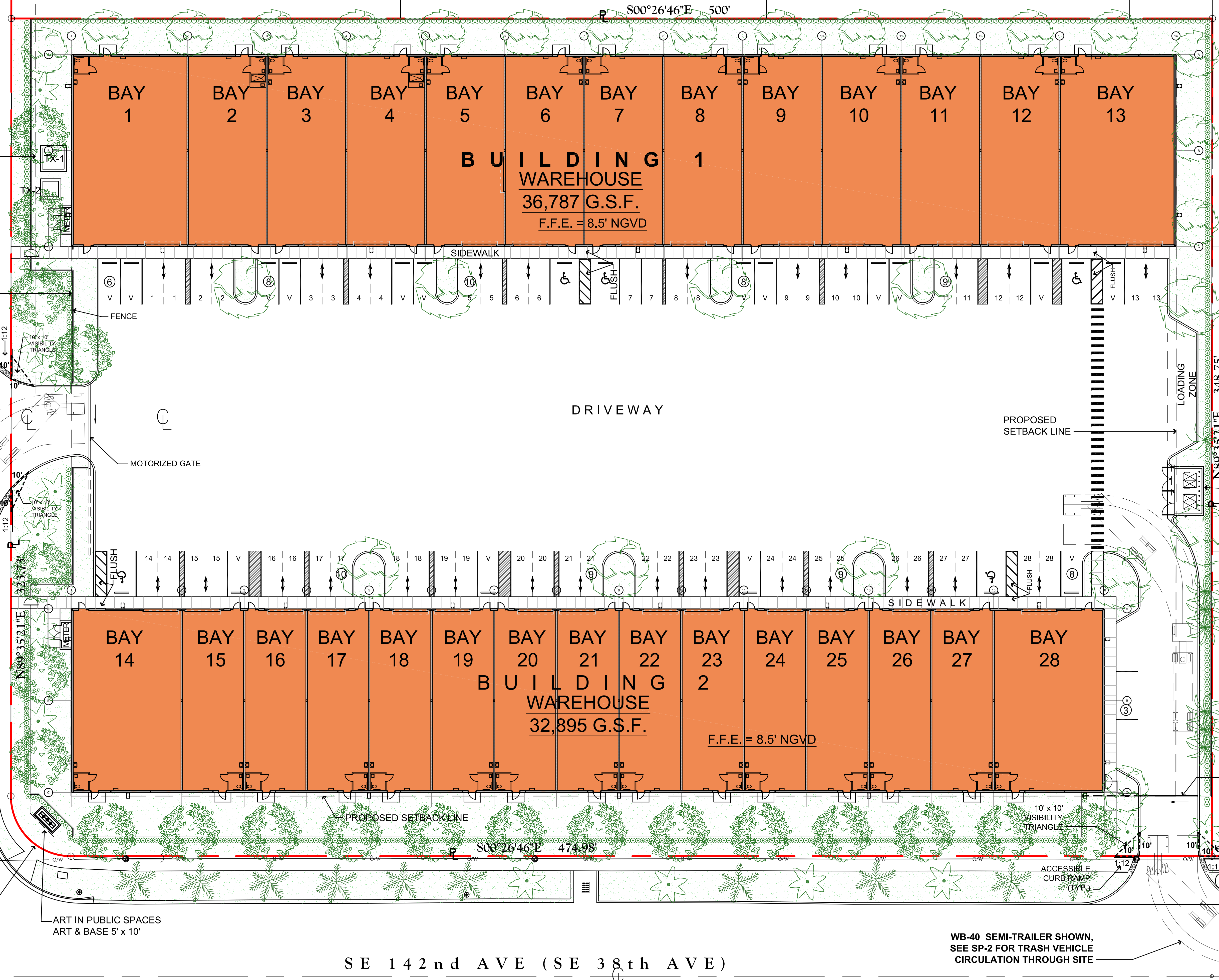
FLUSH

FLUSH

FLUSH

FLUSH

FLUSH



ART IN PUBLIC SPACES  
ART & BASE 5' x 10'

R= 25'  
L 90° 02' 07"  
L= 39.29'

PROPOSED SETBACK LINE

PROPOSED SETBACK LINE

PROPOSED SETBACK LINE

PROPOSED SETBACK LINE

PROPOSED SETBACK LINE

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PROPOSED SETBACK LINE

SE 142nd AVE (SE 38th AVE)

WB-40 SEMI-TRAILER SHOWN,  
SEE SP-2 FOR TRASH VEHICLE  
CIRCULATION THROUGH SITE

LANDSCAPE PLAN  
SCALE: 1" = 20'-0"

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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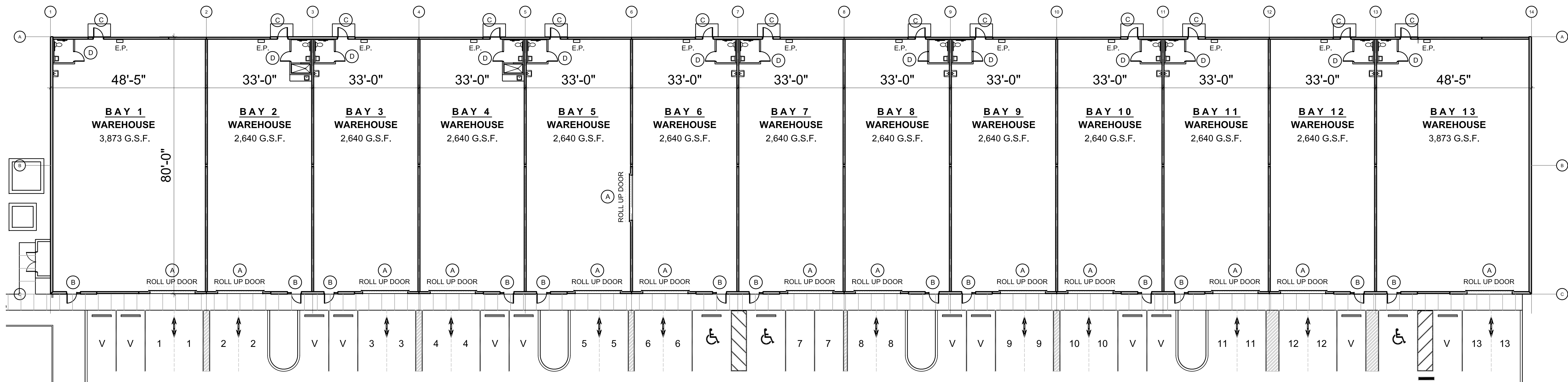
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DESIGN STUDIO LLC HUEMBES  
FONTANA

|                    |                    |
|--------------------|--------------------|
| DATE:<br>05-26-23  | SCALE:<br>1" = 20' |
| DRAWING NO:<br>L-2 |                    |



**NOTE:**  
 REFER TO SHEET A-1.1 FOR BUILDING FLOOR PLANS AT 3/16" = 1'-0"  
 REFER TO SHEET A-1.2 FOR UNIT FLOOR PLANS AT 3/32" = 1'-0"

**FLOOR PLAN BUILDING # 1**  
 SCALE: 1/16" = 1'-0"

| BUILDING 1 - AREAS TABLE |              |
|--------------------------|--------------|
| BAY                      | TOTAL G.S.F. |
| 1                        | 3,873 G.S.F. |
| 2                        | 2,640 G.S.F. |
| 3                        | 2,640 G.S.F. |
| 4                        | 2,640 G.S.F. |
| 5                        | 2,640 G.S.F. |
| 6                        | 2,640 G.S.F. |
| 7                        | 2,640 G.S.F. |
| 8                        | 2,640 G.S.F. |
| 9                        | 2,640 G.S.F. |
| 10                       | 2,640 G.S.F. |
| 11                       | 2,640 G.S.F. |
| 12                       | 2,640 G.S.F. |
| 13                       | 3,873 G.S.F. |

**TERMITE PROTECTION:**  
 AS PER FBC 2020 B.1816.1, ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE MIAMI DADE COUNTY BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:  
 "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

| 1. GENERAL PROJECT INFORMATION   |  |   |
|--|--|---|
| AUTHORITY HAVING JURISDICTION  |  |   |
| BUILDING & ZONING  | FIRE DEPARTMENT & ENVIRONMENTAL          |   |
| JURISDICTION   | CITY OF HOMESTEAD                        | MIAMI DADE COUNTY FIRE & DERM           |
| APPLICABLE CODES   |  |   |
| CODE   | YEAR                                     |   |
| BUILDING   | FLORIDA BUILDING CODE                    | 2020                                    |
| ACCESSIBILITY  | FLORIDA BUILDING CODE / ADA              | 2020                                    |
| LIFE SAFETY  | FLORIDA FIRE PREVENTION CODE             | 2020 (7th Edition)                      |
| FIRE PREVENTION  | FLORIDA FIRE PREVENTION CODE             | 2020 (7th Edition)                      |
| ENERGY   | FLORIDA BUILDING CODE                    | 2020                                    |
| ELECTRICAL   | FLORIDA BUILDING CODE                    | 2020                                    |
| MECHANICAL   | FLORIDA BUILDING CODE                    | 2020                                    |
| PLUMBING   | FLORIDA BUILDING CODE                    | 2020                                    |
| GAS  | FLORIDA BUILDING CODE                    | 2020                                    |
| ZONING   | CITY OF HOMESTEAD                        |   |
| NOTE:<br>THE FACILITIES DESIGN IS BASED ON THE CODE AT THE TIME OF PERMIT SUBMISSION.                    |  |   |
| 2. OCCUPANCY CLASSIFICATIONS   |  |   |
| PROPOSED WAREHOUSE BUILDING (STORAGE)  |  |   |
|  | BUILDING CODE: FBC 2020                  | NFPA / FFPC 2020 (7th EDITION)          |
| OCCUPANCY CLASSIFICATION   | STORAGE - GROUP S2<br>LOW HAZARD STORAGE | STORAGE OCCUPANCY<br>LOW HAZARD STORAGE |
| CODE REFERENCE   | FLORIDA BUILDING CODE                    | FLORIDA FIRE PREVENTION CODE            |
| SECTION  | CHAPTER 3                                | CHAPTER 42                              |
| NOTES:<br>1. THE MOST RESTRICTIVE CONDITIONS SHALL GOVERN USE, CONSTRUCTION AND OCCUPANCY FOR EACH AREA. |  |   |

**3. BUILDING TYPE ANALYSIS:**  
 AS PER FBC 2020 (7th Edition) and FFPC 2020 (7th Edition)  
 1. OCCUPANCY CLASSIFICATION: STORAGE - GROUP S2 - LOW HAZARD STORAGE  
 FBC 2020 - CHAPTER 3 - SECTION 311 - GROUP S - S2 LOW HAZARD STORAGE  
 FFPC 2020 - CHAPTER 42 - NEW STORAGE OCCUPANCY  
 2. CONSTRUCTION TYPE: TYPE III - B  
 NOT - FIRE SPRINKLERED BUILDING  
 AS PER FBC - TABLE 601  
 3. BUILDING HEIGHT ALLOWED AS PER FBC 2020 TABLE 504.3  
 TYPE III-B NOT-FIRE SPRINKLERED BUILDING SHALL BE PERMITTED TO HAVE A MAXIMUM HEIGHT OF 55 FT WHERE 28'-0" IS BEING PROVIDED  
 4. MAXIMUM STORIES ALLOWED AS PER FBC 2020 TABLE 504.4  
 TYPE III-B NOT-FIRE SPRINKLERED BUILDING SHALL BE PERMITTED TO HAVE A MAXIMUM OF 3 STORIES WHERE 1 STORY ARE BEING PROVIDED  
 5. BUILDING AREA ALLOWED AS PER FBC 2020 TABLE 506.2  
 TYPE II-B NOT-FIRE SPRINKLERED BUILDING SHALL BE PERMITTED TO HAVE 26,000 S.F. MAXIMUM ALLOWED PER FLOOR - FIRE AREA.  
 6. OCCUPANT LOAD AS PER FBC 2020 1004.1.2  
 STORAGE OCCUPANCY PER CORNER UNIT: 3873 SF / 500 = 7.75 MAX. OCCUPANTS  
 STORAGE OCCUPANCY PER INTERIOR UNIT: 2640 SF / 500 = 5.28 MAX. OCCUPANTS  
 TOTAL BUILDING MAXIMUM: TOTAL 13 UNITS = (73.58) 74 MAXIMUM OCCUPANTS  
 TRAVEL DISTANCE TO EXITS:  
 THE MAXIMUM TRAVEL DISTANCE FOR S-2 OCCUPANCY IN A NOT SPRINKLED BUILDING AS PER FLORIDA FIRE PREVENTION CODE SHALL BE A MAXIMUM OF 200 FEET.  
 NOTE:  
 ALL SPACES IN THIS BUILDING HAVE TRAVEL DISTANCE LENGTHS THAT ARE LESS THAN 200 FEET.

**MINIMUM PLUMBING FIXTURES:**

- OCCUPANCY CLASSIFICATION: STORAGE - GROUP S-2  
 OCCUPANT LOAD AS PER FBC 2020 1004.1.2  
 STORAGE OCCUPANCY S-2: 8 MAXIMUM OCCUPANTS PER UNIT  
 TOTAL = 8 MAXIMUM OCCUPANTS PER WAREHOUSE UNIT
- 1 UNISEX H/C RESTROOM IS PROVIDED AT EACH BAY AS PER FBC 2020 PLUMBING 403.2 EXCEPTION 2
- 1 SERVICE SINKS ARE PROVIDED WHERE  
 1 SERVICE SINK IS REQUIRED.

|                    |          |
|--------------------|----------|
| REQUIRED           | PROVIDED |
| DRINKING FOUNTAINS | 0        |
| 0                  | 0        |

NOTE: EACH WAREHOUSE UNIT HAS LESS THAN 15 OCCUPANTS

| NO. | REVISIONS |
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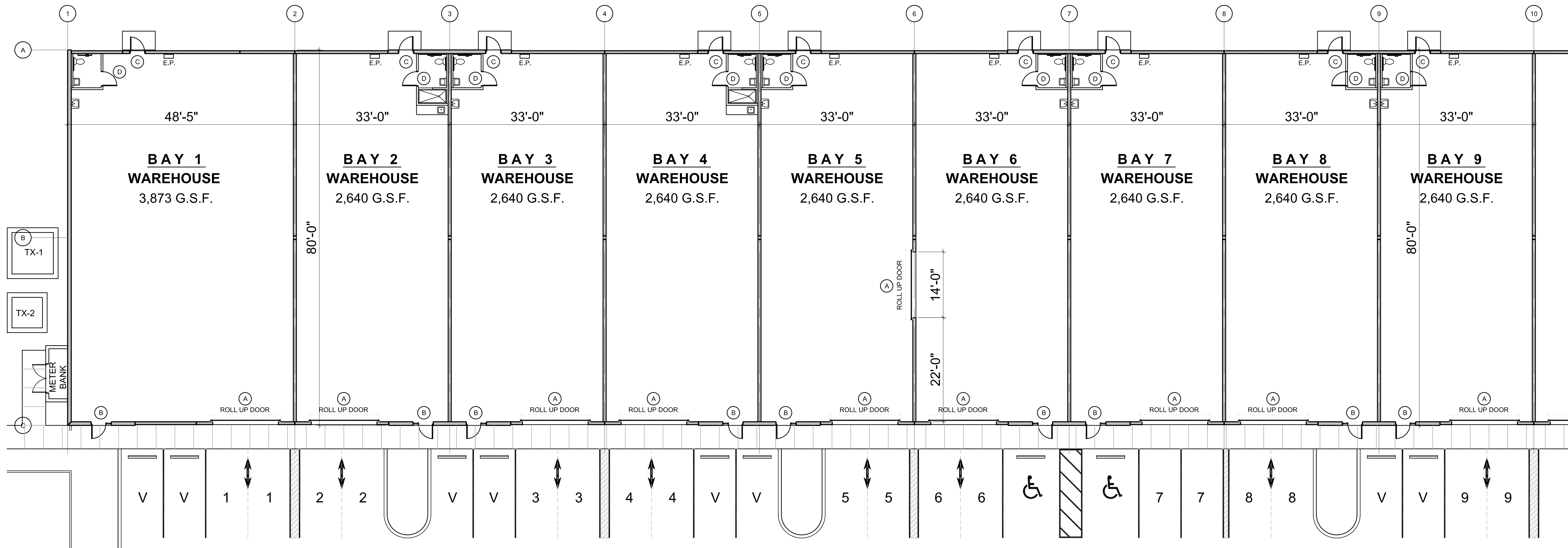
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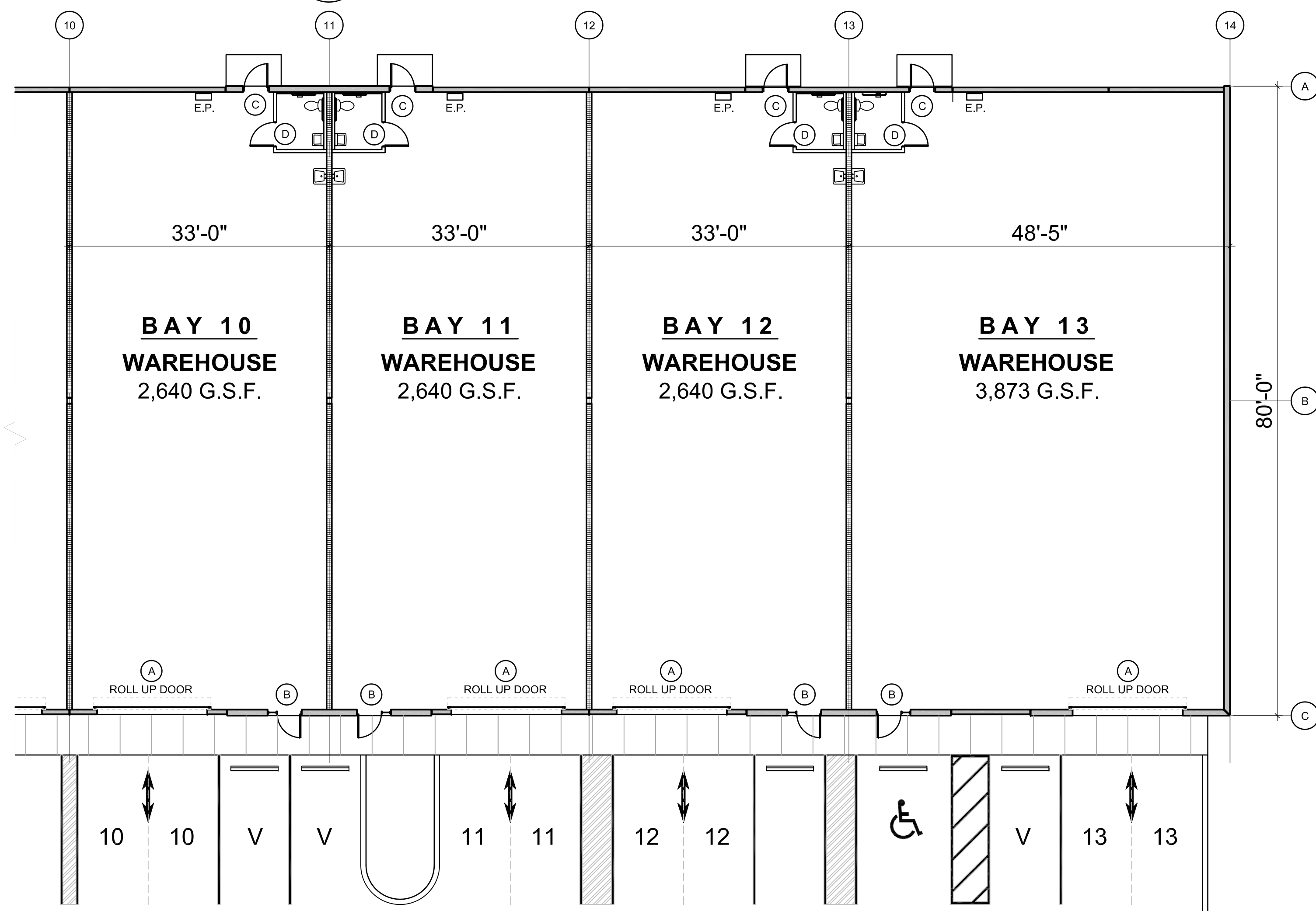
DATE: 05-26-23 SCALE: 1/16"  
 DRAWING NO: BUILDING # 1 A-1.0



**NOTE:**  
REFER TO SHEET A-1.2 FOR UNIT FLOOR PLANS AT 3/16" = 1'-0"

| BUILDING 1 - AREAS TABLE |              |
|--------------------------|--------------|
| BAY                      | TOTAL G.S.F. |
| 1                        | 3,873 G.S.F. |
| 2                        | 2,640 G.S.F. |
| 3                        | 2,640 G.S.F. |
| 4                        | 2,640 G.S.F. |
| 5                        | 2,640 G.S.F. |
| 6                        | 2,640 G.S.F. |
| 7                        | 2,640 G.S.F. |
| 8                        | 2,640 G.S.F. |
| 9                        | 2,640 G.S.F. |
| 10                       | 2,640 G.S.F. |
| 11                       | 2,640 G.S.F. |
| 12                       | 2,640 G.S.F. |
| 13                       | 3,873 G.S.F. |

**FLOOR PLAN BUILDING #1**  
SCALE: 3/32" = 1'-0"



| NO. | DESCRIPTION |
|-----|-------------|
|     |             |
|     |             |
|     |             |
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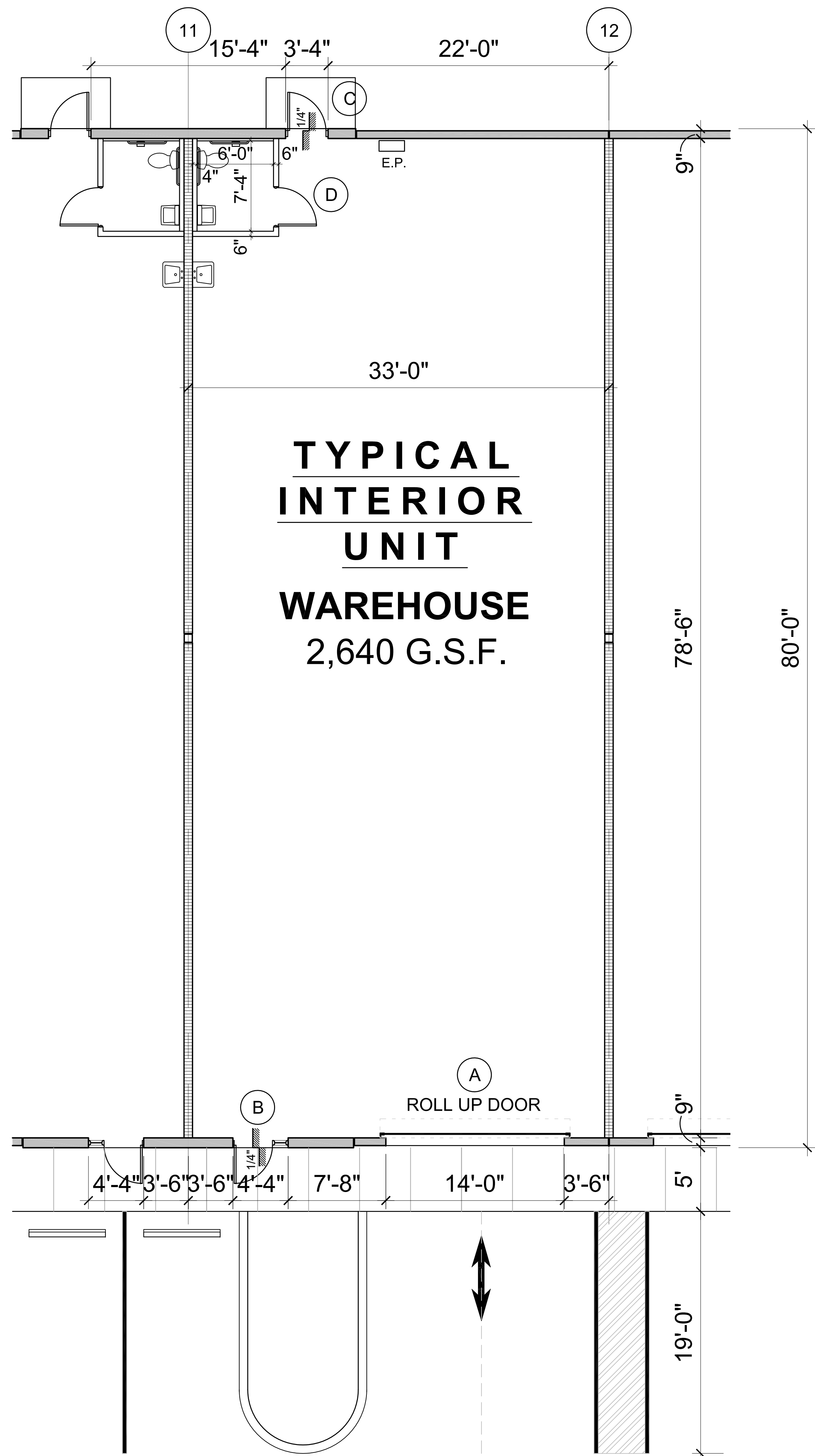
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**AHF** ACEBAL HUEMBES FONTANA  
DESIGN STUDIO LLC

DATE: 05-26-23 SCALE: 3/32"  
DRAWING NO: BUILDING #1 A-1.1

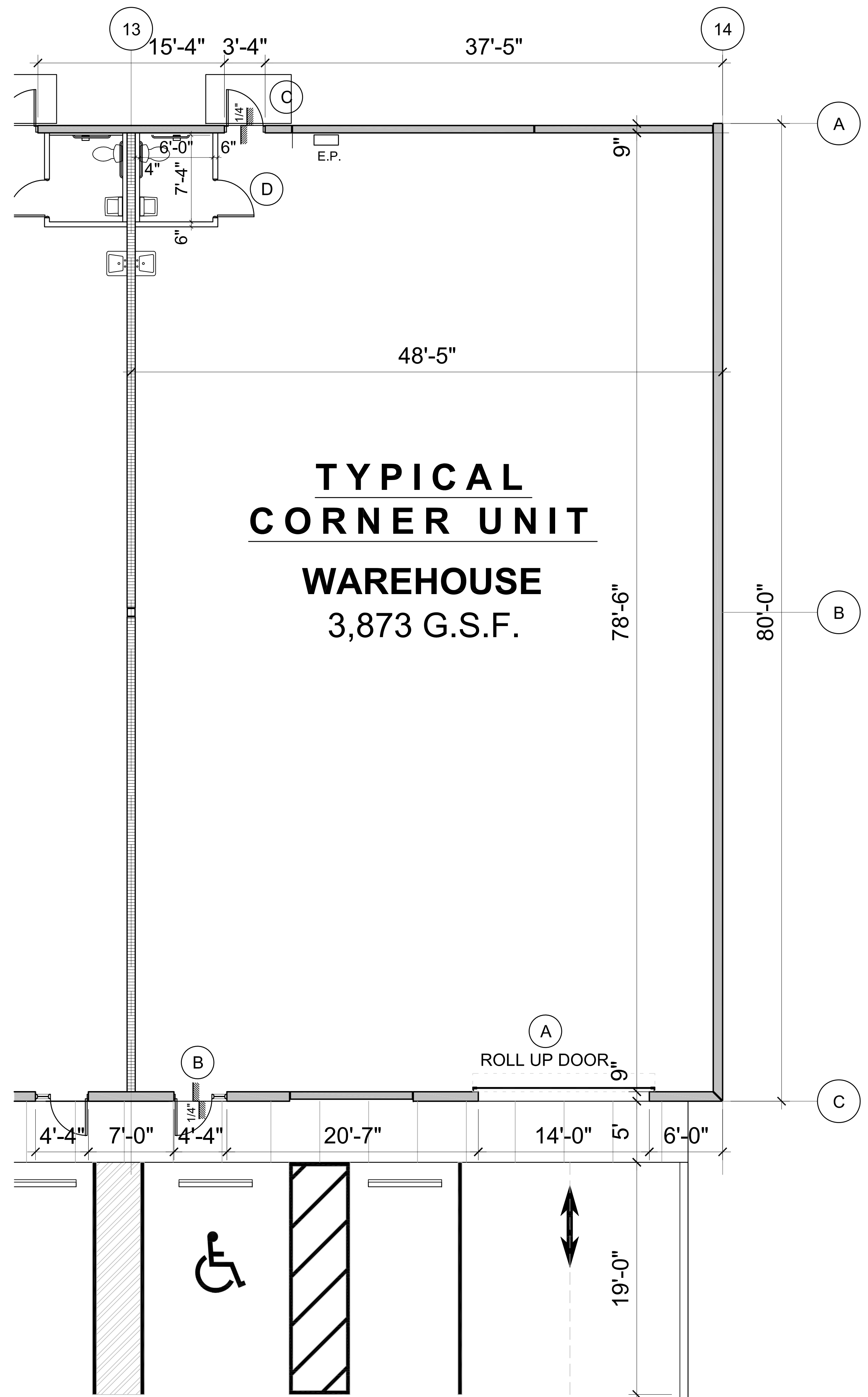


**TYPICAL  
INTERIOR  
UNIT  
WAREHOUSE  
2,640 G.S.F.**

**TYPICAL PLAN**

**INTERIOR UNIT BUILDING # 1**

SCALE: 3/16" = 1'-0"



**TYPICAL  
CORNER UNIT  
WAREHOUSE  
3,873 G.S.F.**

**TYPICAL PLAN**

**CORNER UNIT BUILDING # 1**

SCALE: 3/16" = 1'-0"

REVISIONS:

WAREHOUSE PROJECT - BUILDING # 1  
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Seal:

Javier F. Acebal AR17697

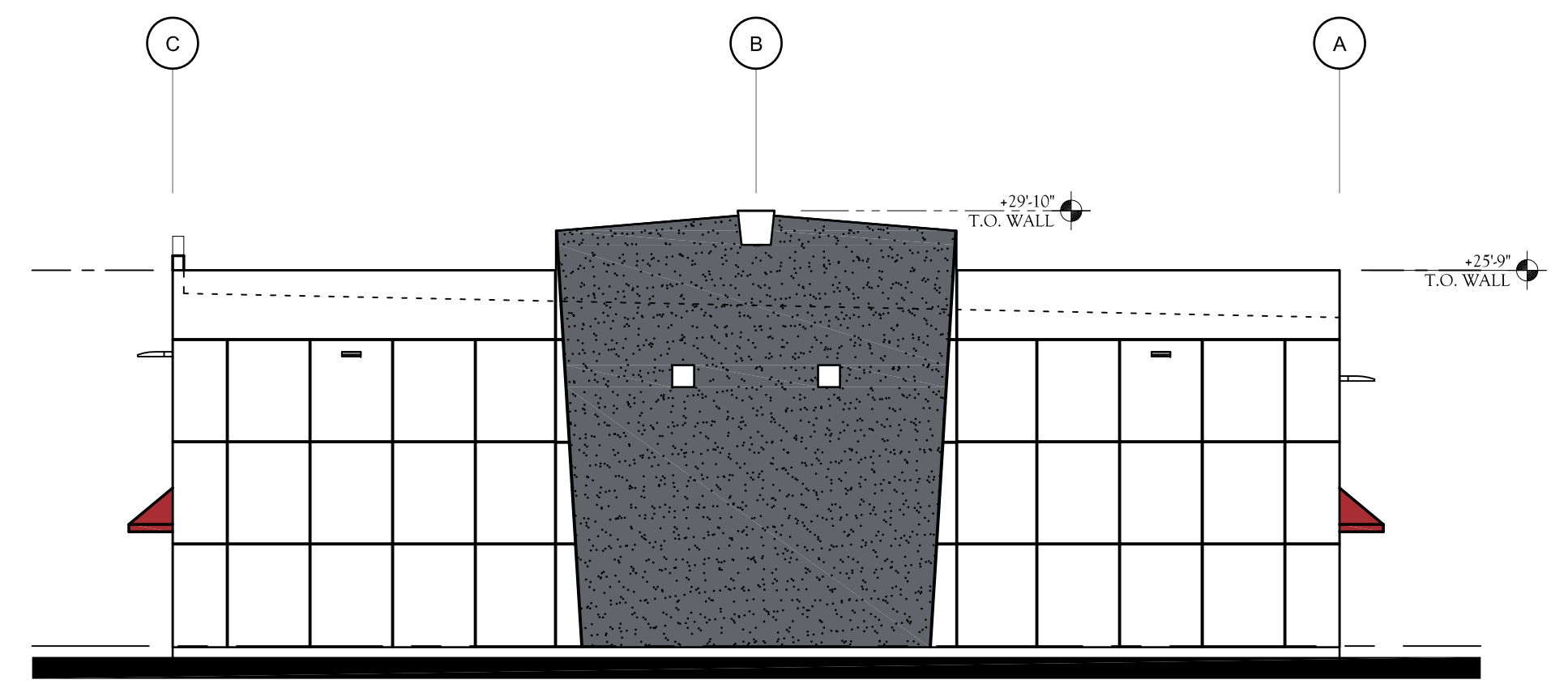
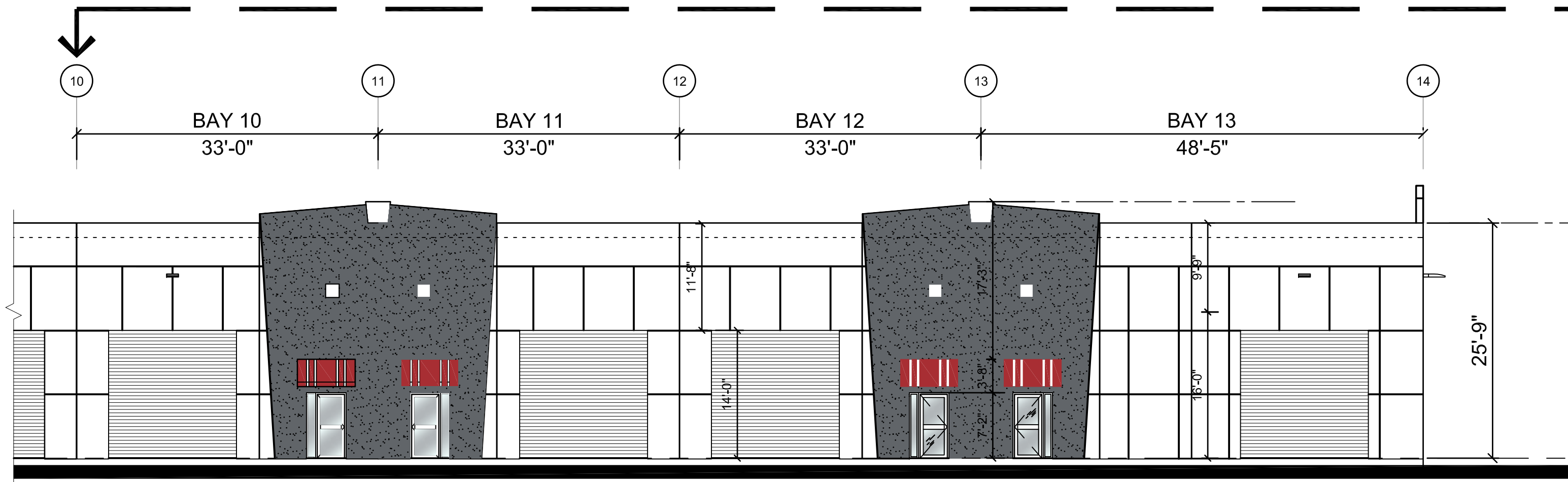
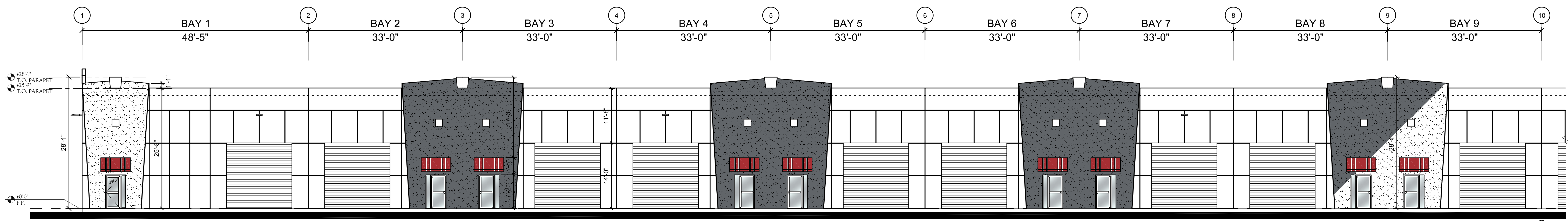
**Acebal Huembes Fontana**  
Design Studio LLC.  
7344 SW 48th STREET, SUITE 201 - MIAMI, FLORIDA 33155  
Office: 305.661.8181 - Fax: 305.661.8710 - E-Mail: AHFDesignStudio@att.net

ARCHITECT: Javier F. Acebal AR17697  
Acebal Huembes Fontana Design Studio, LLC - AA28009883  
7344 SW 48th Street, Suite 201, Miami, Florida 33155

**AHF** ACEBAL  
DESIGN STUDIO LLC HUEMBES  
FONTANA

DATE: 05-26-23 SCALE: 3 / 16"

DRAWING NO: BUILDING # 1  
A-1.2

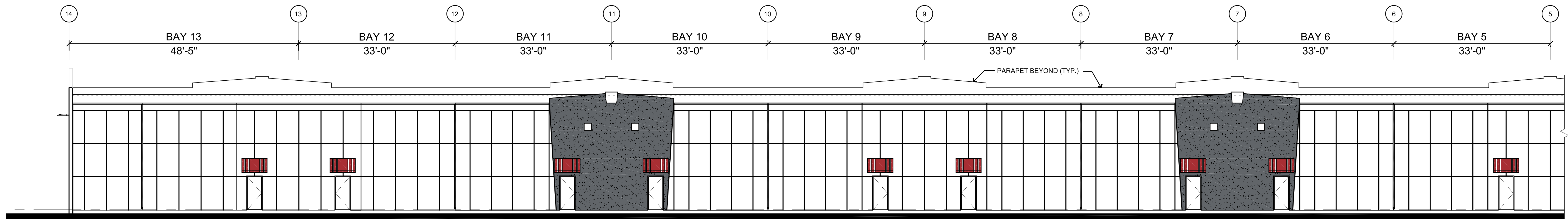


**EAST ELEVATION**

SCALE: 3/32" = 1'-0"

**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"

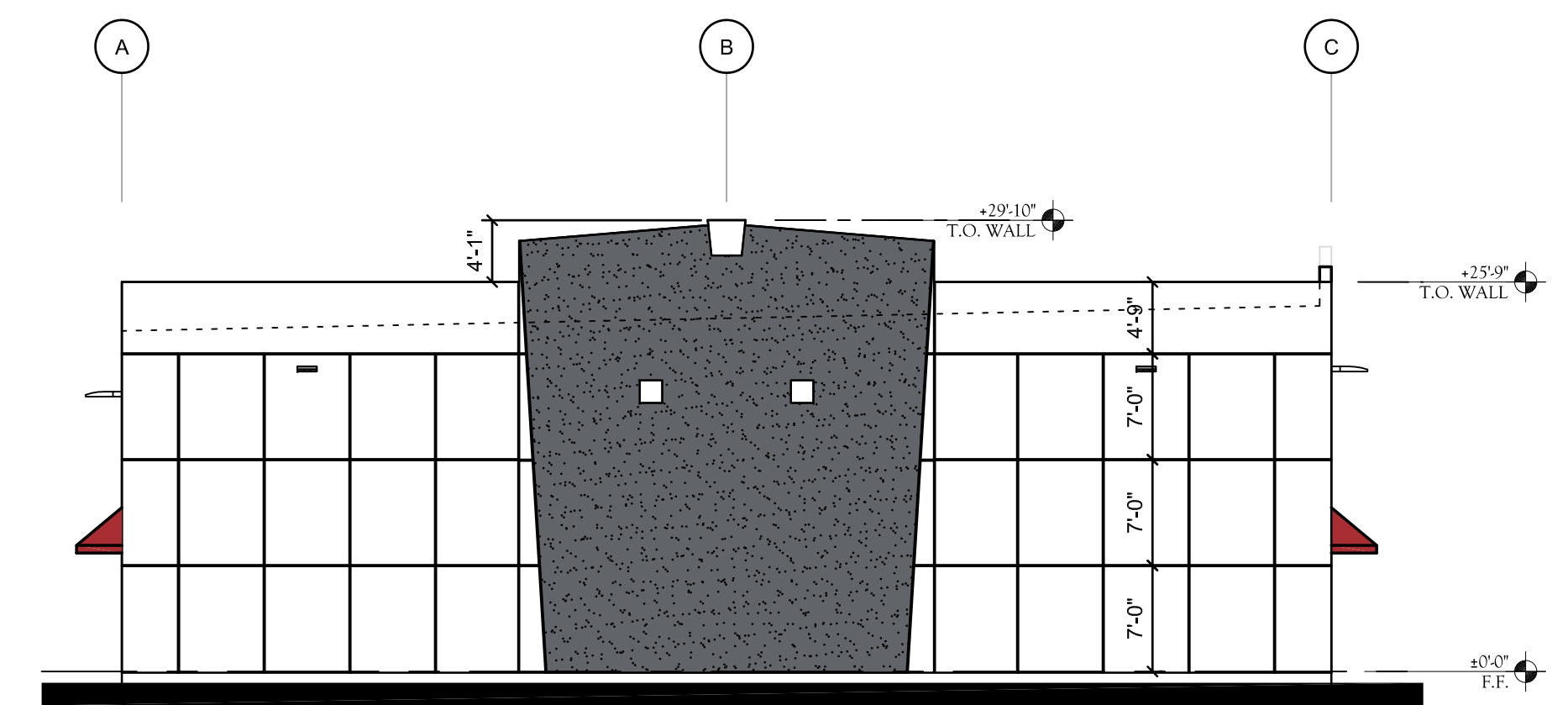


**WEST ELEVATION**

SCALE: 3/32" = 1'-0"

**COLOR LEGEND**

|  |   |
|--|---|
|  | ACCENT PANELS:<br>WALL STREET GRAY SW 7665                          |
|  | BUILDING BODY:<br>ICE CUBE (WHITE) SW 6252                          |
|  | OVERHEAD DOORS:<br>EXTRA WHITE SW 7006                              |
|  | AWNING:<br>SIMILAR TO SUNBRELLA'S "LOGO RED",<br>WITH WHITE STRIPES |



**SOUTH ELEVATION**

SCALE: 3/32" = 1'-0"

**BUILDING 1 - ELEVATIONS**

REVISIONS:

WAREHOUSE PROJECT - BUILDING # 1  
 FOR: E & M WAREHOUSE II LLC  
 VACANT LAND - FOLIO # 10-7921-011-0035  
 CORNER OF SW 142nd AVENUE & 336th STREET, HOMESTEAD, FL  
 OWNER: E & M WAREHOUSE II LLC  
 1200 E LAS OLAS BLVD, SUITE 500, FORT LAUDERDALE, FLORIDA 33301

Scale:

Javier F. Acebal AR17697

**Acebal Huembes Fontana**  
 Design Studio LLC.  
 A R - 1 7 6 9 7  
 7344 SW 48th STREET, SUITE 201 - MIAMI, FLORIDA 33155  
 Office: 305.661.8181 - Fax: 305.661.8710 - E-Mail: AHFDesignStudio@att.net

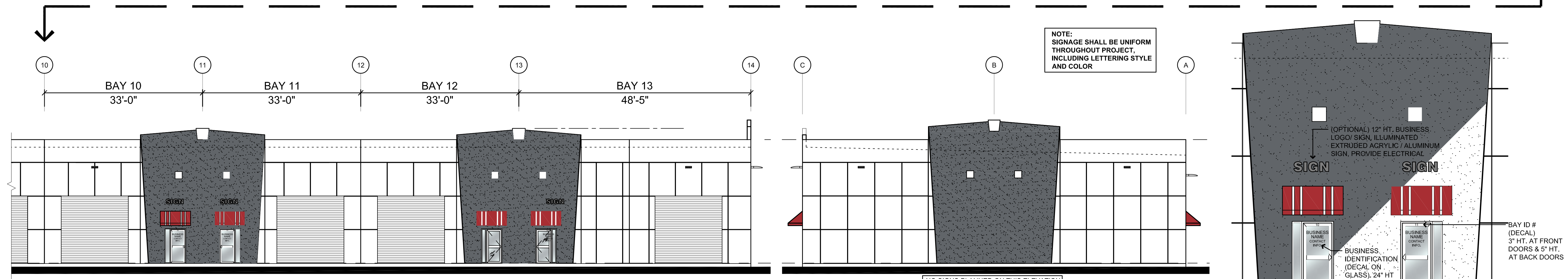
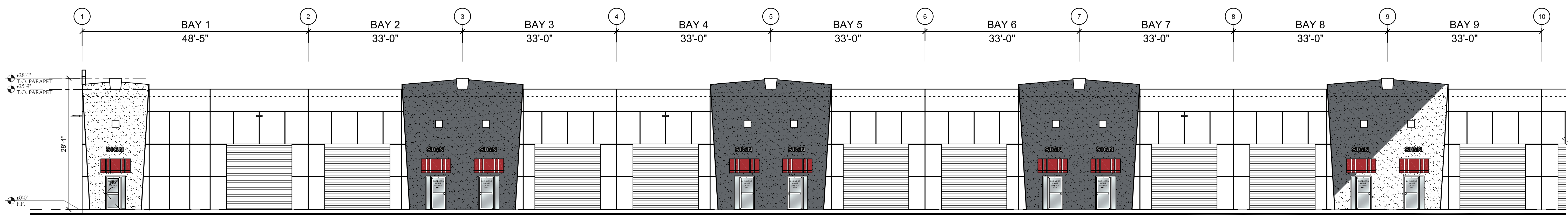
ARCHITECT: Javier F. Acebal AR17697  
 Acebal Huembes Fontana Design Studio, LLC - AA28009893  
 7344 SW 48th Street, Suite 201, Miami, Florida 33155

**AHF** ACEBAL  
 DESIGN STUDIO LLC HUEMBES  
 FONTANA

DATE: 05-26-23 SCALE: 3/32"

DRAWING NO: BUILDING # 1 A-2





**EAST ELEVATION**

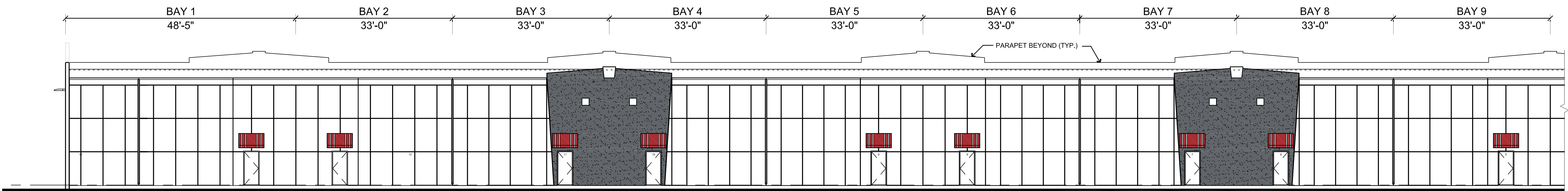
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**NORTH ELEVATION**

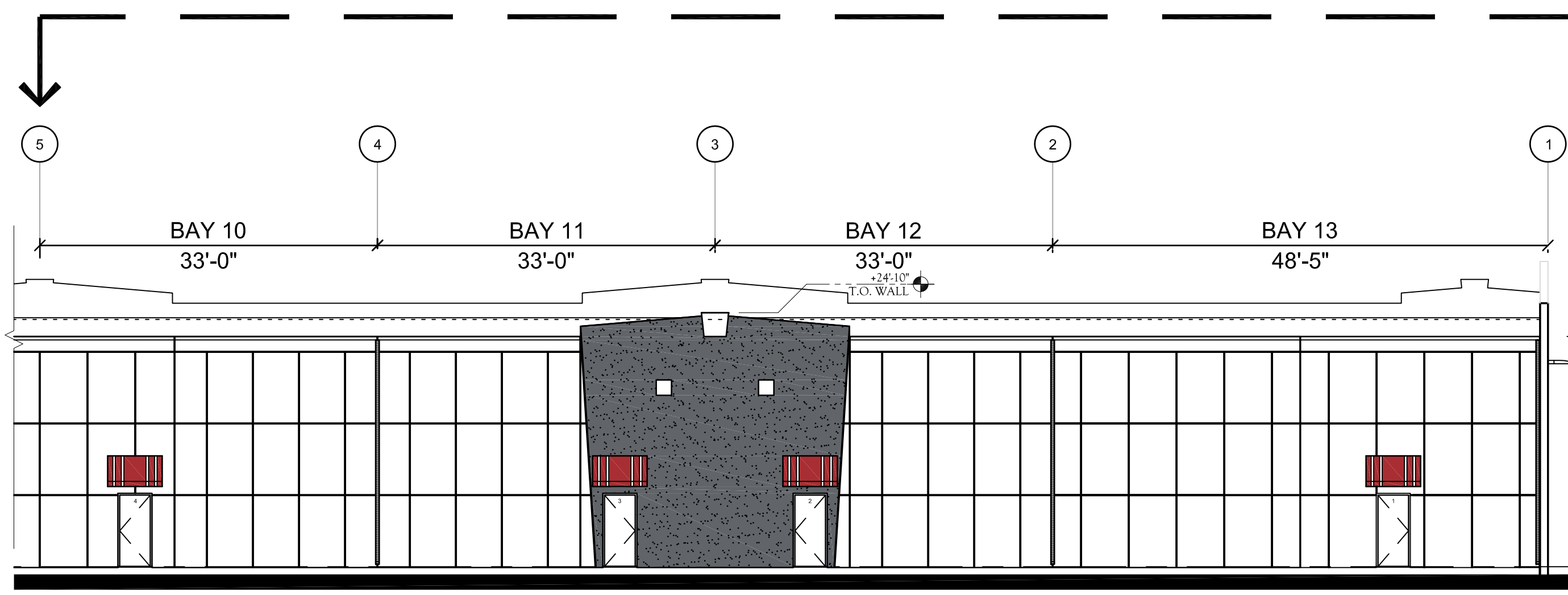
SCALE: 3/32" = 1'-0"

**TYP. BAY SIGNAGE**

SCALE: 3/16" = 1'-0"

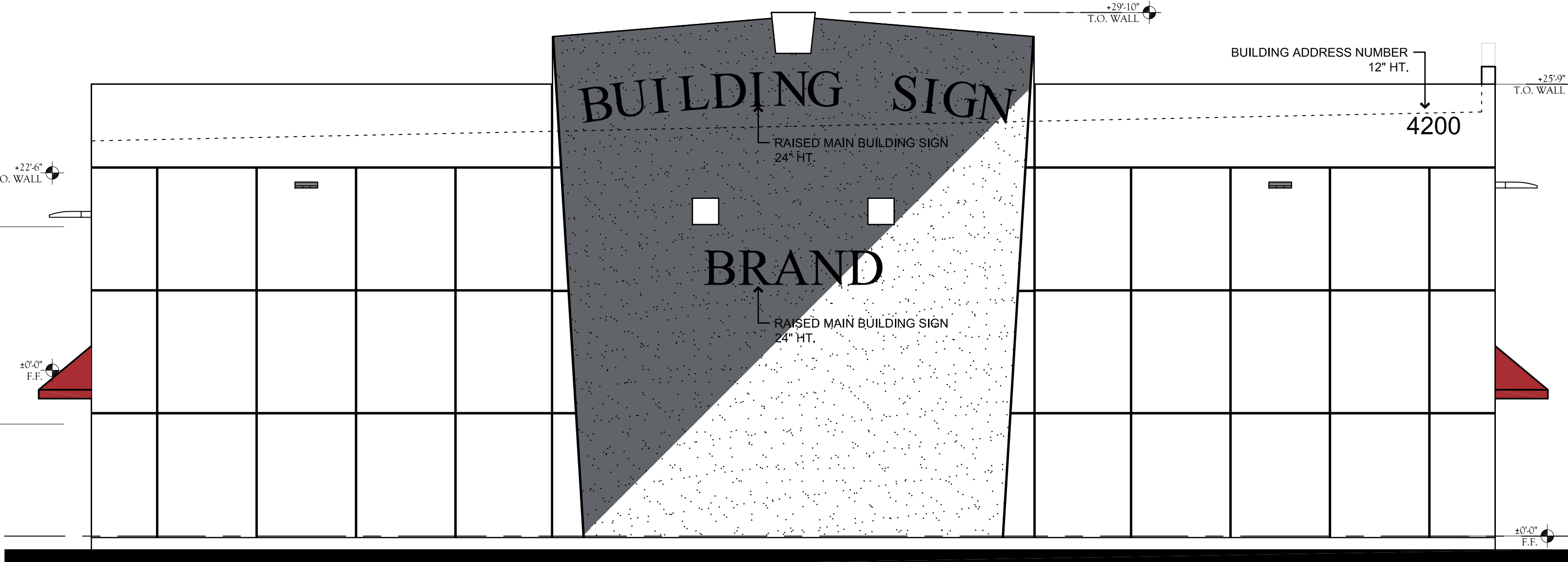


NO SIGNS PLANNED ON THIS ELEVATION



**WEST ELEVATION**

SCALE: 3/32" = 1'-0"



**SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"

**BUILDING 1 - ELEVATIONS - SIGNAGE**

|            |
|------------|
| REVISIONS: |
|            |
|            |
|            |
|            |

**WAREHOUSE PROJECT - BUILDING # 1**  
**FOR: E & M WAREHOUSE II LLC**  
 VACANT LAND - FOLIO # 10-7921-011-0035  
 CORNER OF SW 142nd AVENUE & 336th STREET, HOMESTEAD, FL  
 OWNER: E & M WAREHOUSE II LLC  
 1200 E LAS OLAS BLVD, SUITE 500, FORT LAUDERDALE, FLORIDA 33301

Architect: **Javier F. Acebal AR17697**

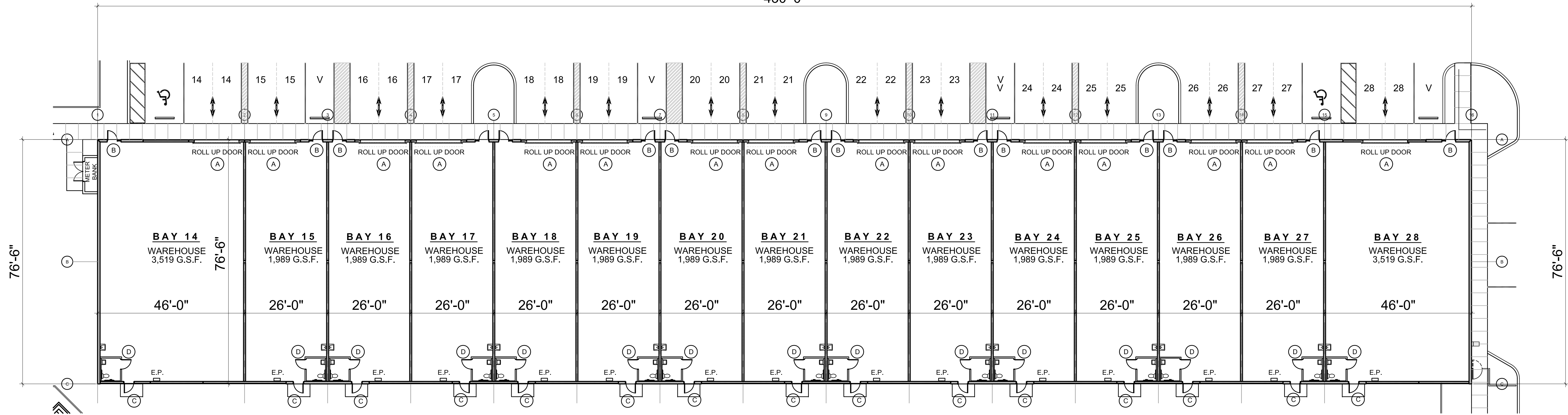
**Acebal Huembes Fontana**  
 Design Studio LLC.  
 ARCHITECT: **Javier F. Acebal AR17697**  
 Acebal Huembes Fontana Design Studio, LLC - AA28009883  
 7344 SW 48th Street, Suite 201, Miami, Florida 33155

**AHF** ACEBAL  
 DESIGN STUDIO LLC HUEMBES  
 FONTANA

DATE: 05-26-23 SCALE: 3/32"

DRAWING NO: BUILDING # 1 A-3

430'-0"



**NOTE:**  
 REFER TO SHEET A-1.1 FOR BUILDING FLOOR PLANS AT 3/16" = 1'-0"  
 REFER TO SHEET A-1.2 FOR UNIT FLOOR PLANS AT 3/32" = 1'-0"

**FLOOR PLAN BUILDING # 2**  
 SCALE: 3/32" = 1'-0"

| BUILDING 2 - AREAS TABLE |              |
|--------------------------|--------------|
| BAY                      | TOTAL G.S.F. |
| 14                       | 3,519 G.S.F. |
| 15                       | 1,989 G.S.F. |
| 16                       | 1,989 G.S.F. |
| 17                       | 1,989 G.S.F. |
| 18                       | 1,989 G.S.F. |
| 19                       | 1,989 G.S.F. |
| 20                       | 1,989 G.S.F. |
| 21                       | 1,989 G.S.F. |
| 22                       | 1,989 G.S.F. |
| 23                       | 1,989 G.S.F. |
| 24                       | 1,989 G.S.F. |
| 25                       | 1,989 G.S.F. |
| 26                       | 1,989 G.S.F. |
| 27                       | 1,989 G.S.F. |
| 28                       | 3,519 G.S.F. |

**TERMITE PROTECTION:**  
 AS PER FBC 2020 B.1816.1, ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE MIAMI DADE COUNTY BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:  
 "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

| 1. GENERAL PROJECT INFORMATION   |  |   |
|--|--|---|
| AUTHORITY HAVING JURISDICTION  |  |   |
| BUILDING & ZONING  | FIRE DEPARTMENT & ENVIRONMENTAL          |   |
| JURISDICTION   | CITY OF HOMESTEAD                        | MIAMI DADE COUNTY FIRE & DERM           |
| APPLICABLE CODES   |  |   |
|  | CODE                                     | YEAR                                    |
| BUILDING   | FLORIDA BUILDING CODE                    | 2020                                    |
| ACCESSIBILITY  | FLORIDA BUILDING CODE / ADA              | 2020                                    |
| LIFE SAFETY  | FLORIDA FIRE PREVENTION CODE             | 2020 (7th Edition)                      |
| FIRE PREVENTION  | FLORIDA FIRE PREVENTION CODE             | 2020 (7th Edition)                      |
| ENERGY   | FLORIDA BUILDING CODE                    | 2020                                    |
| ELECTRICAL   | FLORIDA BUILDING CODE                    | 2020                                    |
| MECHANICAL   | FLORIDA BUILDING CODE                    | 2020                                    |
| PLUMBING   | FLORIDA BUILDING CODE                    | 2020                                    |
| GAS  | FLORIDA BUILDING CODE                    | 2020                                    |
| ZONING   | CITY OF HOMESTEAD                        |   |
| NOTE:<br>THE FACILITIES DESIGN IS BASED ON THE CODE AT THE TIME OF PERMIT SUBMISSION.                    |  |   |
| 2. OCCUPANCY CLASSIFICATIONS   |  |   |
| PROPOSED WAREHOUSE BUILDING (STORAGE)  |  |   |
|  | BUILDING CODE: FBC 2020                  | NFPA / FFPC 2020 (7th EDITION)          |
| OCCUPANCY CLASSIFICATION   | STORAGE - GROUP S2<br>LOW HAZARD STORAGE | STORAGE OCCUPANCY<br>LOW HAZARD STORAGE |
| CODE REFERENCE   | FLORIDA BUILDING CODE                    | FLORIDA FIRE PREVENTION CODE            |
| SECTION  | CHAPTER 3                                | CHAPTER 42                              |
| NOTES:<br>1. THE MOST RESTRICTIVE CONDITIONS SHALL GOVERN USE, CONSTRUCTION AND OCCUPANCY FOR EACH AREA. |  |   |

**3. BUILDING TYPE ANALYSIS:**  
 AS PER FBC 2020 (7th Edition) and FFPC 2020 (7th Edition)  
 1. OCCUPANCY CLASSIFICATION: STORAGE - GROUP S2 - LOW HAZARD STORAGE  
 FBC 2020 - CHAPTER 3 - SECTION 311 - GROUP S - S2 LOW HAZARD STORAGE  
 FFPC 2020 - CHAPTER 42 - NEW STORAGE OCCUPANCY  
 2. CONSTRUCTION TYPE: TYPE III - B UNPROTECTED  
NOT - FIRE SPRINKLERED BUILDING  
 AS PER FBC - TABLE 601  
 3. BUILDING HEIGHT ALLOWED AS PER FBC 2020 TABLE 504.3  
 TYPE III-B NOT-FIRE SPRINKLERED BUILDING SHALL BE PERMITTED TO HAVE A MAXIMUM HEIGHT OF 55 FT WHERE 28'-0" IS BEING PROVIDED  
 4. MAXIMUM STORIES ALLOWED AS PER FBC 2020 TABLE 504.4  
 TYPE III-B NOT-FIRE SPRINKLERED BUILDING SHALL BE PERMITTED TO HAVE A MAXIMUM OF 3 STORIES WHERE 1 STORY ARE BEING PROVIDED  
 5. BUILDING AREA ALLOWED AS PER FBC 2020 TABLE 506.2  
 TYPE III-B NOT-FIRE SPRINKLERED BUILDING SHALL BE PERMITTED TO HAVE 26,000 S.F. MAXIMUM ALLOWED PER FLOOR - FIRE AREA.  
 6. OCCUPANT LOAD AS PER FBC 2020 1004.1.2  
 STORAGE OCCUPANCY PER CORNER UNIT: 3519 SF / 500 = 7.04 MAX. OCCUPANTS  
 STORAGE OCCUPANCY PER INTERIOR UNIT: 1989 SF / 500 = 3.98 MAX. OCCUPANTS  
 TOTAL BUILDING MAXIMUM: TOTAL 15 UNITS = (65.82) 66 MAXIMUM OCCUPANTS  
 TRAVEL DISTANCE TO EXITS:  
 THE MAXIMUM TRAVEL DISTANCE FOR S-2 OCCUPANCY IN A NOT SPRINKLED BUILDING AS PER FLORIDA FIRE PREVENTION CODE SHALL BE A MAXIMUM OF 200 FEET.  
 NOTE:  
 ALL SPACES IN THIS BUILDING HAVE TRAVEL DISTANCE LENGTHS THAT ARE LESS THAN 200 FEET.

**MINIMUM PLUMBING FIXTURES:**

- OCCUPANCY CLASSIFICATION: STORAGE - GROUP S-2
- OCCUPANT LOAD AS PER FBC 2020 1004.1.2
- STORAGE OCCUPANCY S-2: 8 MAXIMUM OCCUPANTS PER UNIT
- TOTAL = 8 MAXIMUM OCCUPANTS
- 1 UNISEX H/C RESTROOM IS PROVIDED AT EACH BAY AS PER FBC 2020 PLUMBING 403.2 EXCEPTION 2
- 1 SERVICE SINKS ARE PROVIDED WHERE
- 1 SERVICE SINK IS REQUIRED.

|                    |          |          |
|--------------------|----------|----------|
|                    | REQUIRED | PROVIDED |
| DRINKING FOUNTAINS | 0        | 0        |

NOTE: EACH WAREHOUSE UNIT HAS LESS THAN 15 OCCUPANTS

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
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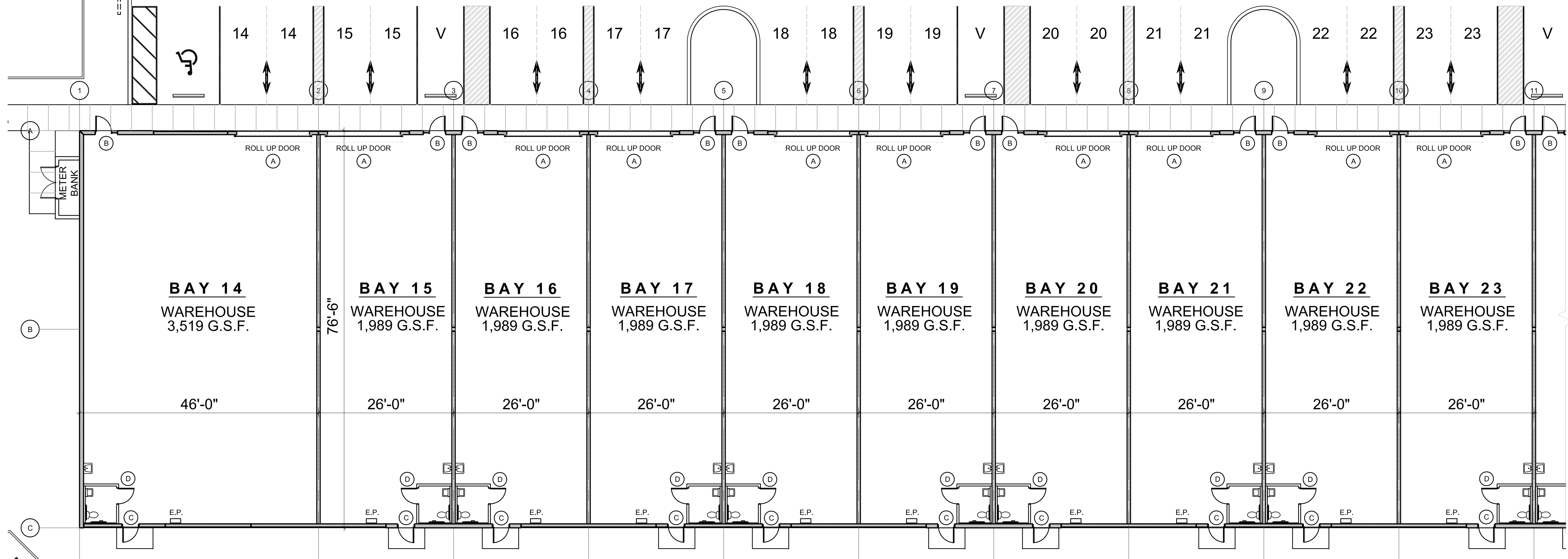
**WAREHOUSE PROJECT - BUILDING # 2**  
 FOR: **E & M WAREHOUSE II LLC**  
 VACANT LAND - FOLIO # 10-7921-011-0035  
 CORNER OF SW 142nd AVENUE & 336th STREET, HOMESTEAD, FL  
 OWNER: E & M WAREHOUSE II LLC  
 1200 E LAS OLAS BLVD, SUITE 500, FORT LAUDERDALE, FLORIDA 33301

Sheet: **Javier F. Acebal AR17697**

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 ARCHITECT: Javier F. Acebal AR17697  
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 DESIGN STUDIO LLC

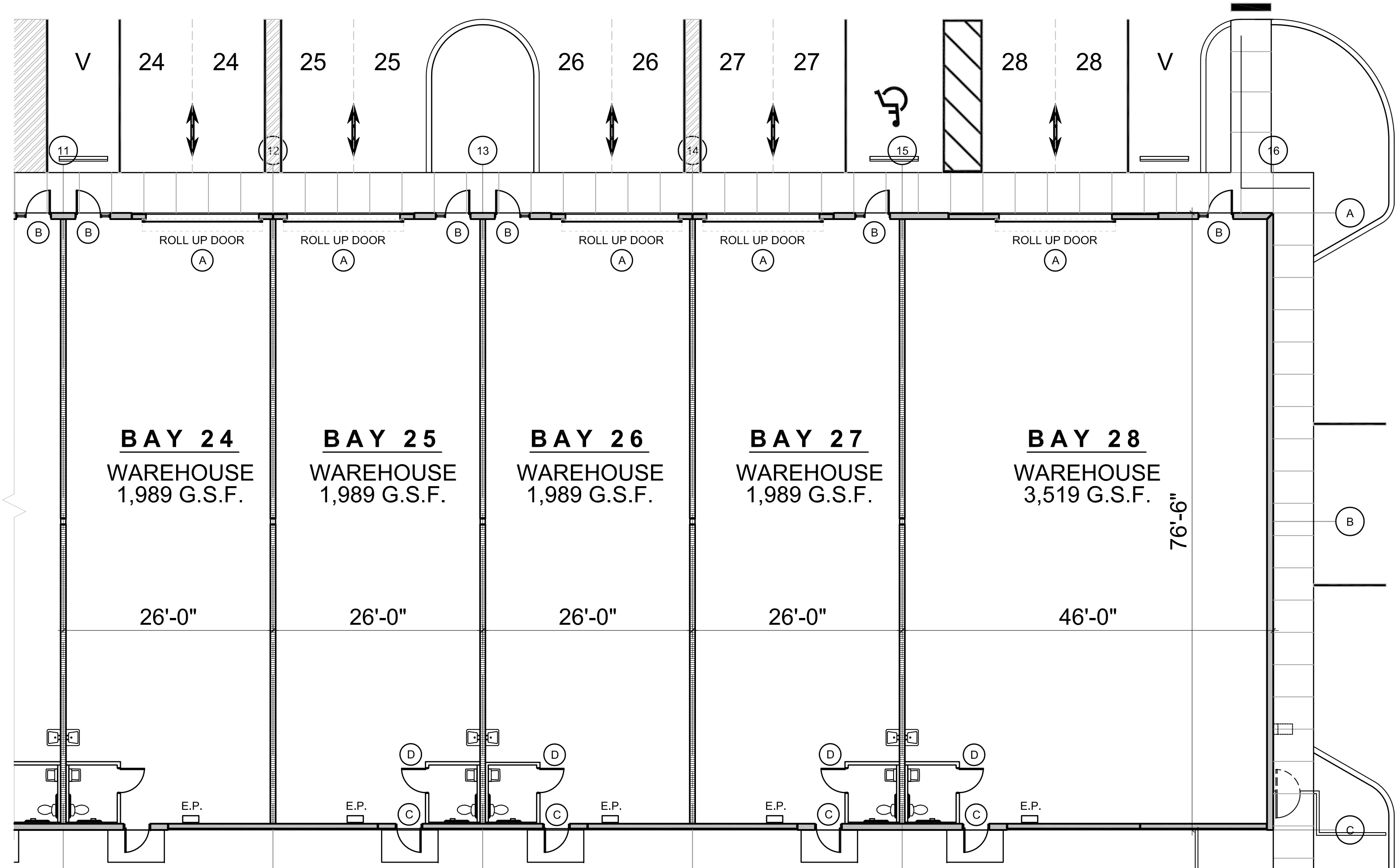
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 DRAWING NO: **BUILDING # 2 A-1.0**



NOTE:  
REFER TO SHEET A-1.2 FOR UNIT FLOOR PLANS AT 3/16" = 1'-0"

| BUILDING 2 - AREAS TABLE |              |
|--------------------------|--------------|
| BAY                      | TOTAL G.S.F. |
| 14                       | 3,519 G.S.F. |
| 15                       | 1,989 G.S.F. |
| 16                       | 1,989 G.S.F. |
| 17                       | 1,989 G.S.F. |
| 18                       | 1,989 G.S.F. |
| 19                       | 1,989 G.S.F. |
| 20                       | 1,989 G.S.F. |
| 21                       | 1,989 G.S.F. |
| 22                       | 1,989 G.S.F. |
| 23                       | 1,989 G.S.F. |
| 24                       | 1,989 G.S.F. |
| 25                       | 1,989 G.S.F. |
| 26                       | 1,989 G.S.F. |
| 27                       | 1,989 G.S.F. |
| 28                       | 3,519 G.S.F. |

**FLOOR PLAN BUILDING # 2**  
SCALE: 3/32" = 1'-0"



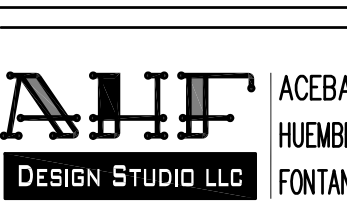
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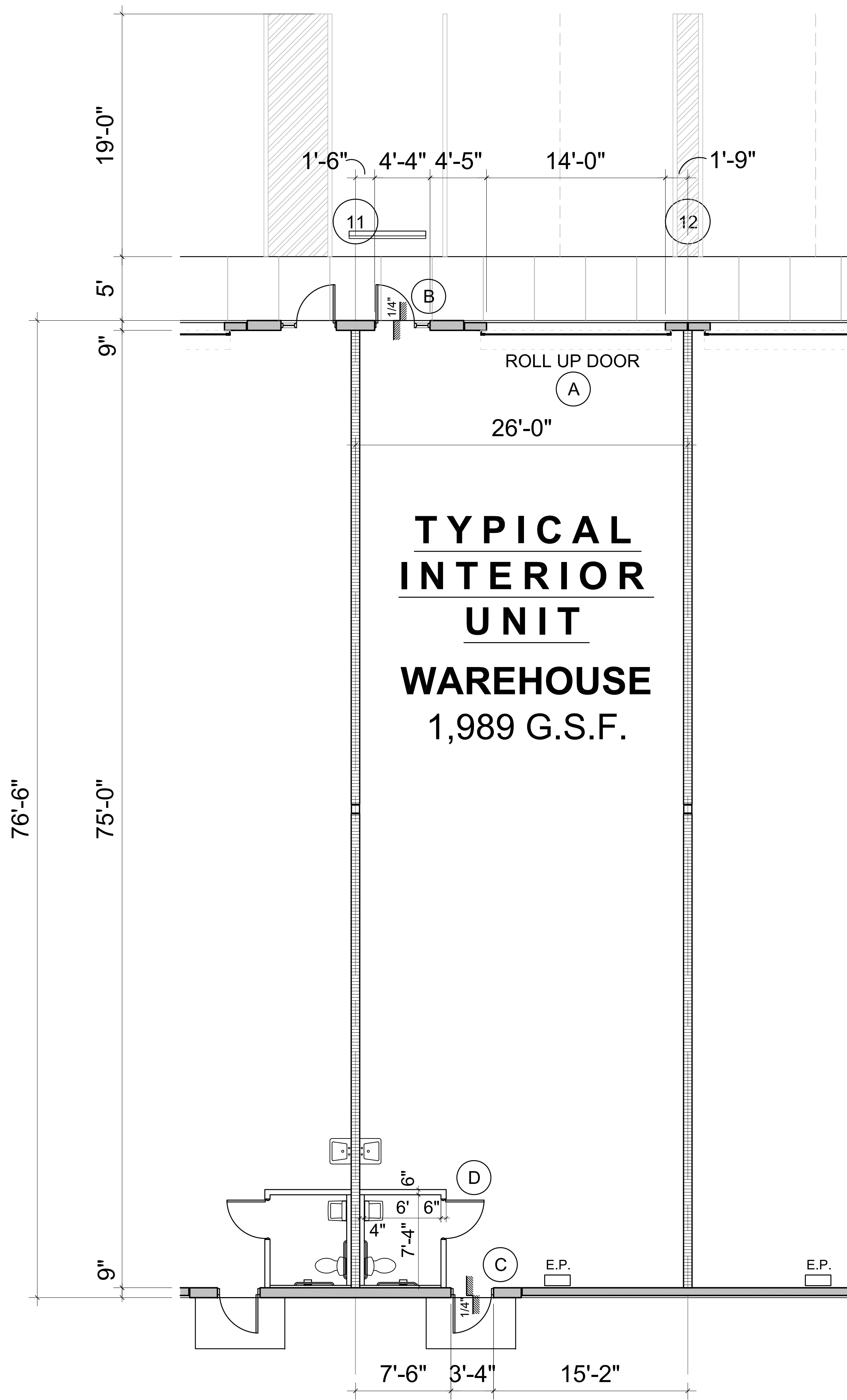
WAREHOUSE PROJECT - BUILDING # 2  
FOR: E & M WAREHOUSE II LLC  
VACANT LAND - FOLIO # 10-7921-011-0035  
CORNER OF SW 142nd AVENUE & 336th STREET, HOMESTEAD, FL  
OWNER: E & M WAREHOUSE II LLC  
1200 E LAS OLAS BLVD, SUITE 500, FORT LAUDERDALE, FLORIDA 33301

Scale:  
Javier F. Acebal AR17697

**Acebal Huembes Fontana**  
Design Studio LLC.  
ARCHITECT: Javier F. Acebal AR17697  
Acebal Huembes Fontana Design Studio, LLC - AA28003983  
7344 SW 48th Street, Suite 201, Miami, Florida 33155

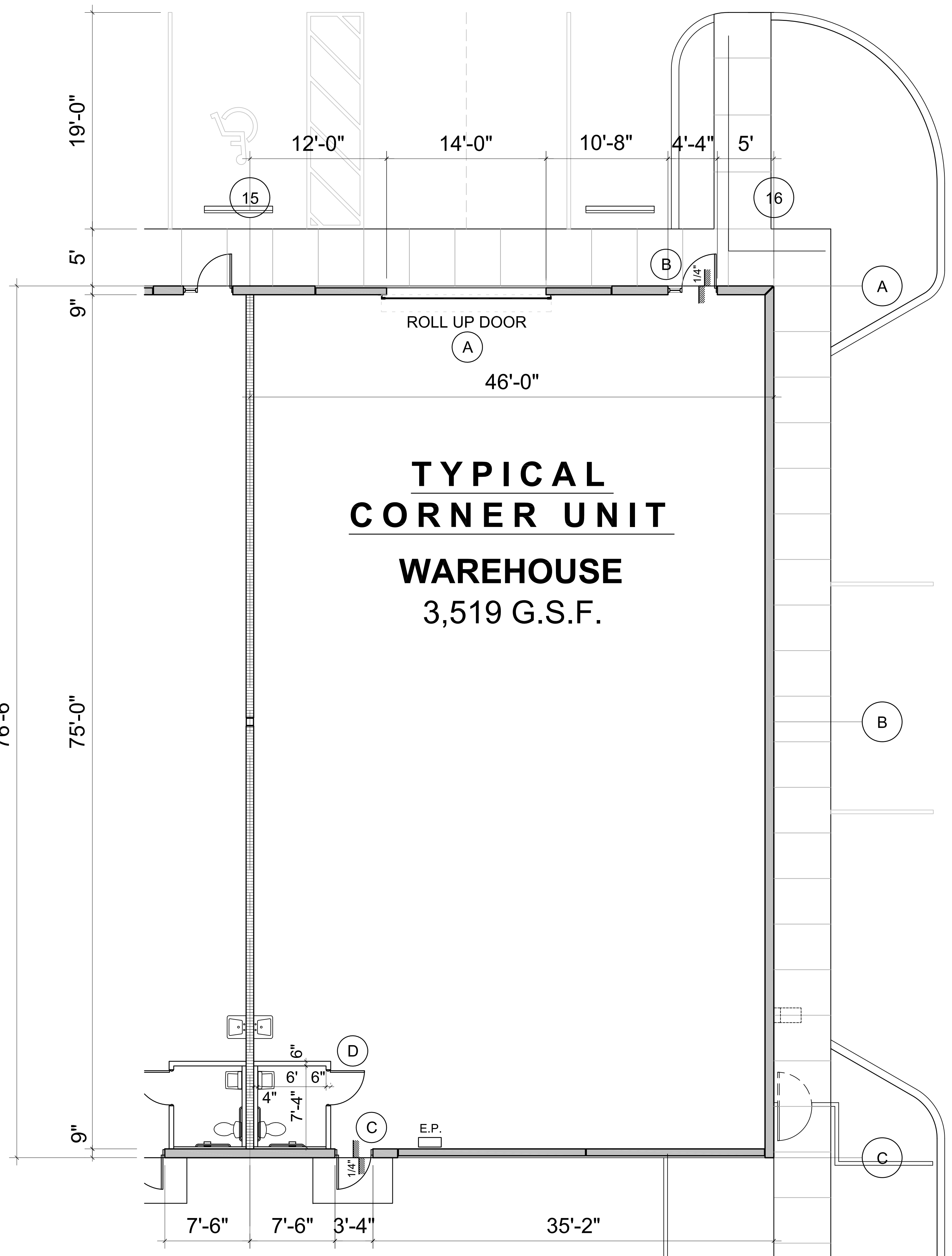


DATE: 05-26-23 SCALE: 3/32"  
DRAWING NO: BUILDING # 2  
A-1.1



**TYPICAL PLAN**  
**INTERIOR UNIT BUILDING # 2**

SCALE: 3/16" = 1'-0"



**TYPICAL PLAN**  
**CORNER UNIT BUILDING # 2**

SCALE: 3/16" = 1'-0"

REVISIONS:

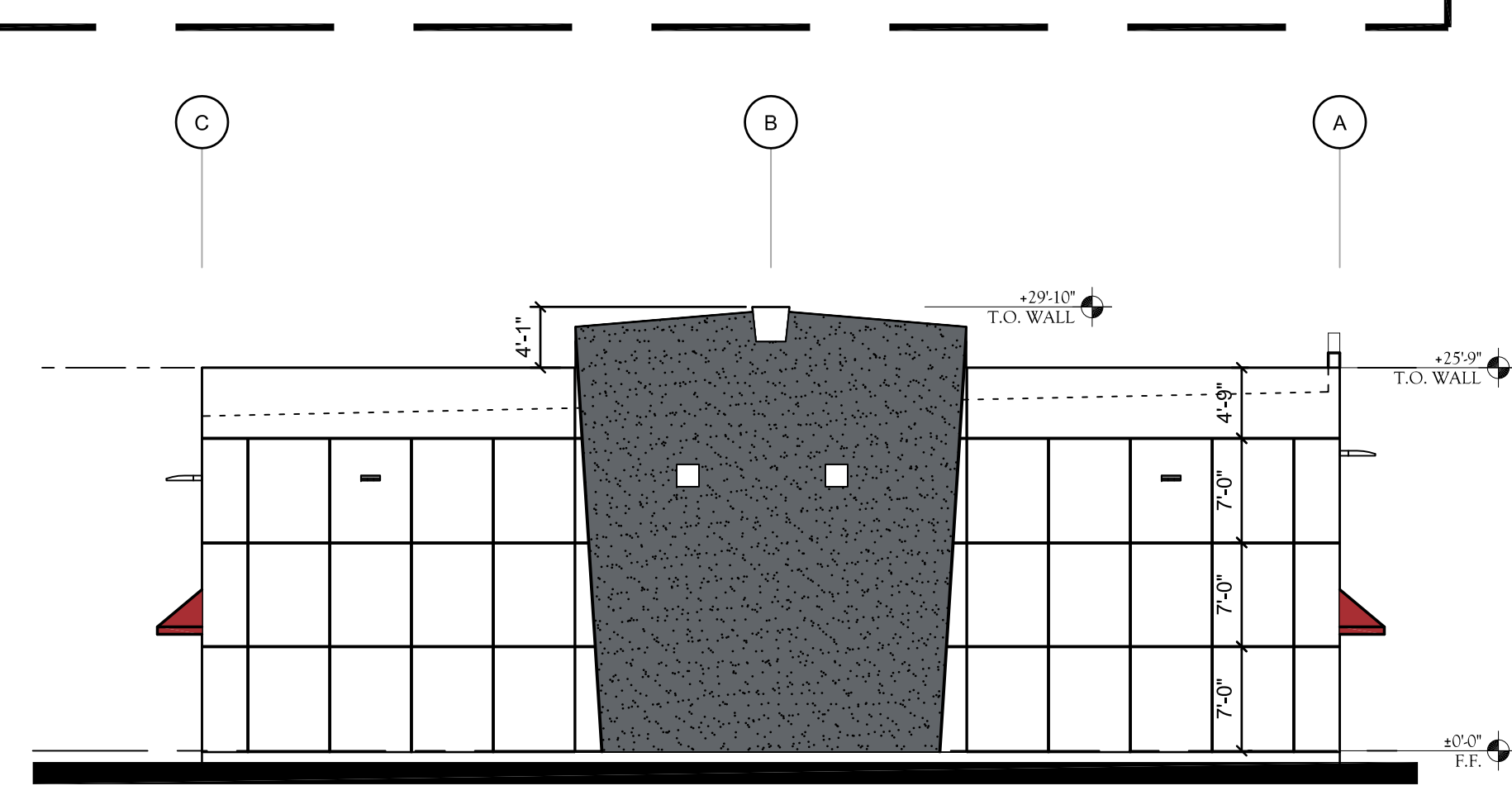
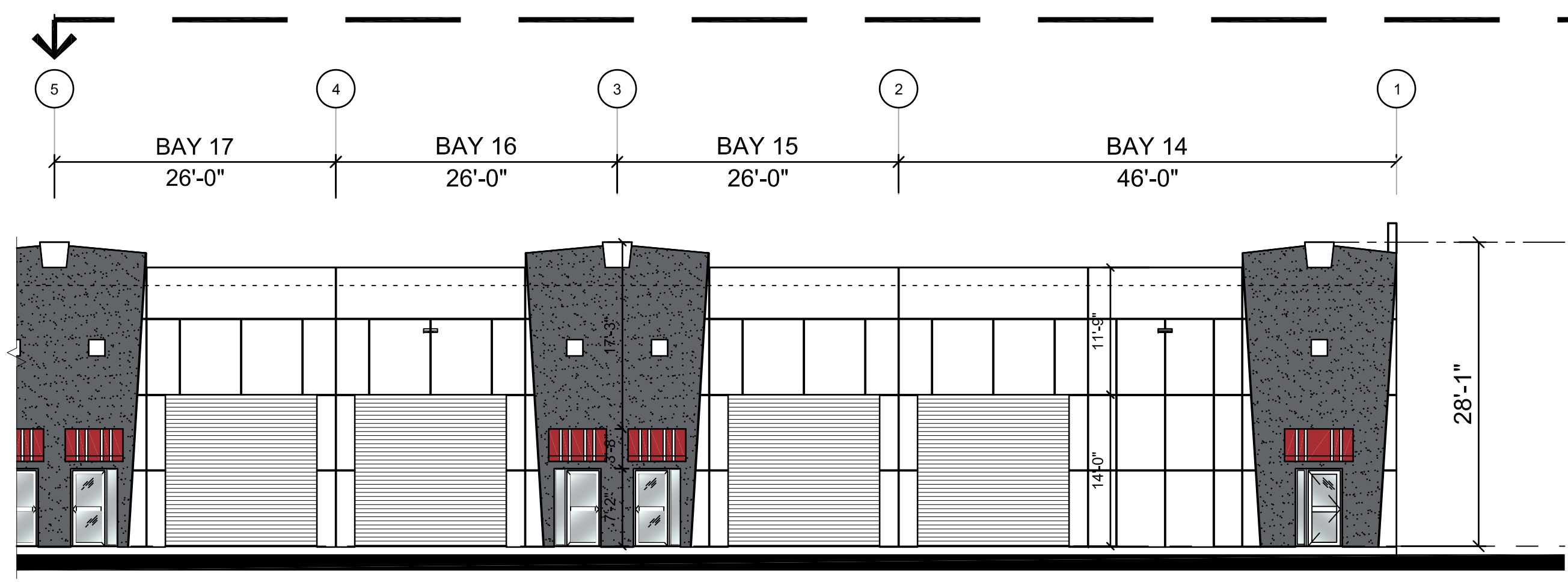
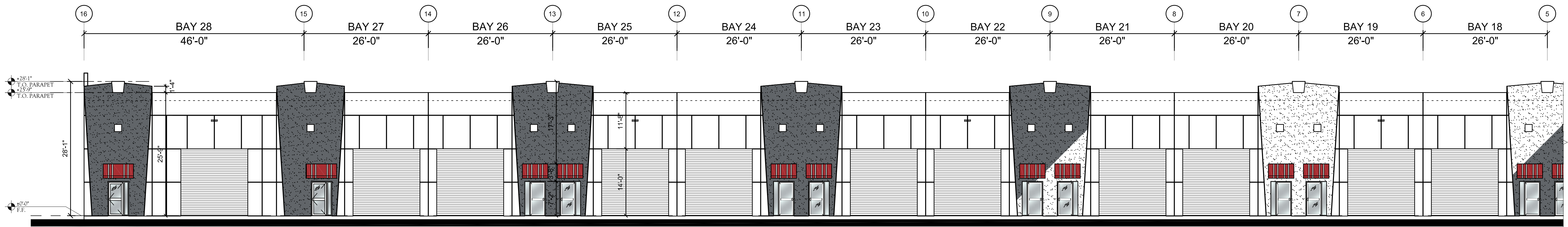
WAREHOUSE PROJECT - BUILDING # 2  
 FOR: E & M WAREHOUSE II LLC  
 VACANT LAND - FOLIO # 10-7921-011-0035  
 CORNER OF SW 142nd AVENUE & 336th STREET, HOMESTEAD, FL  
 OWNER: E & M WAREHOUSE II LLC  
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Seal:  
 Javier F. Acebal AR17697

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 7344 SW 48th Street, Suite 201, Miami, Florida 33155

**AHF** ACEBAL  
 DESIGN STUDIO LLC HUEMBES  
 FONTANA

DATE: 05-26-23 SCALE: 3/16"  
 DRAWING NO: BUILDING # 2  
 A-1.2

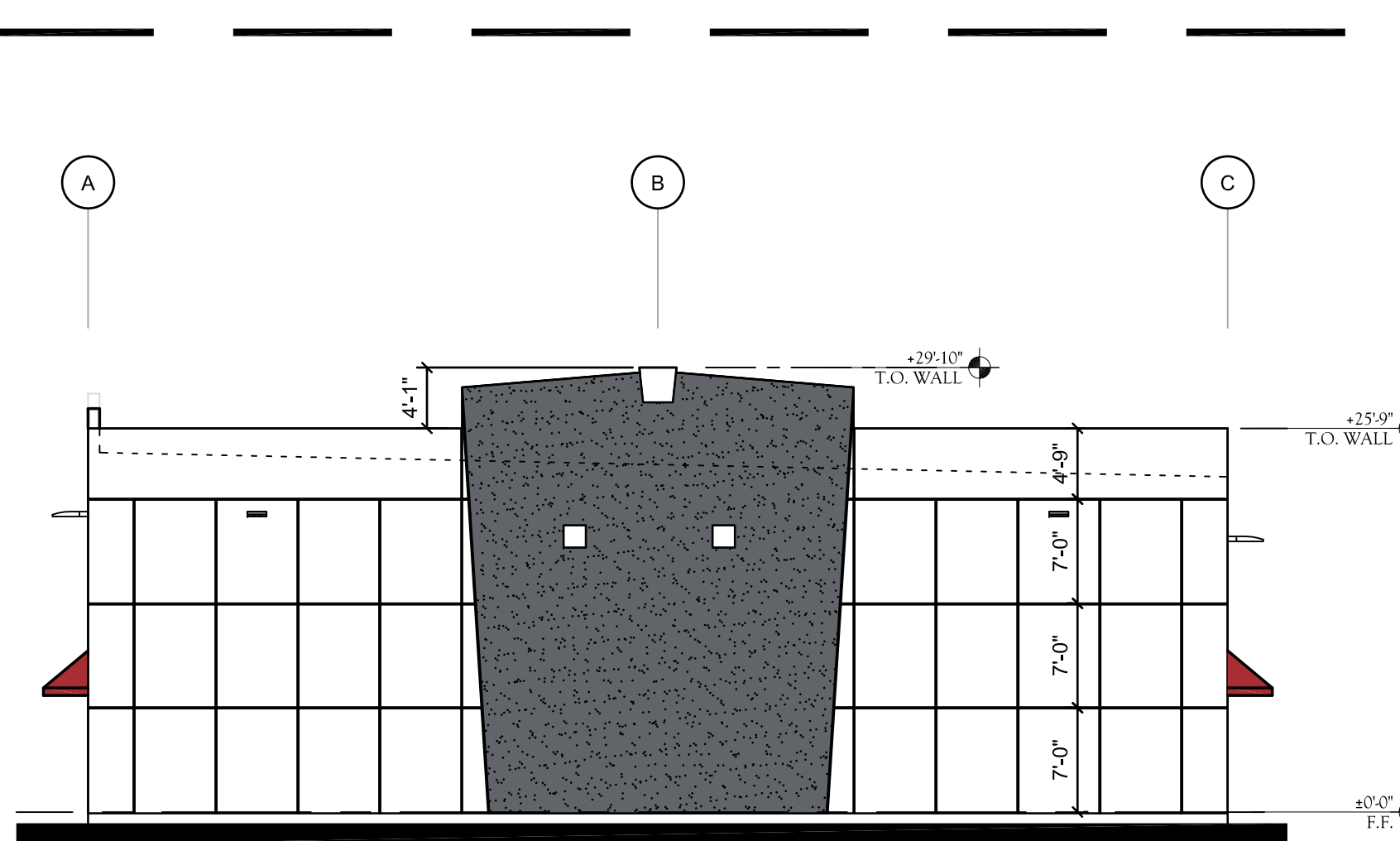
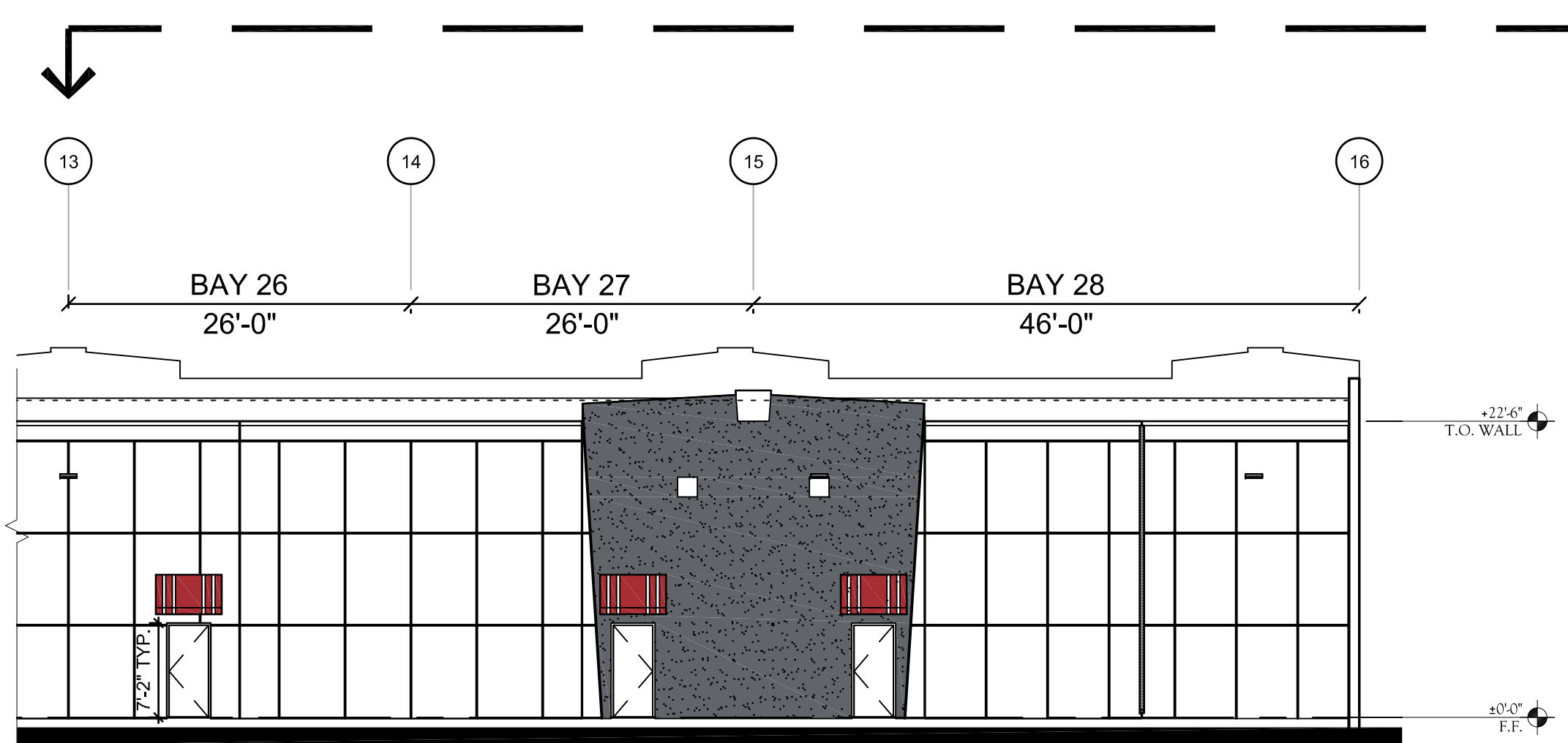
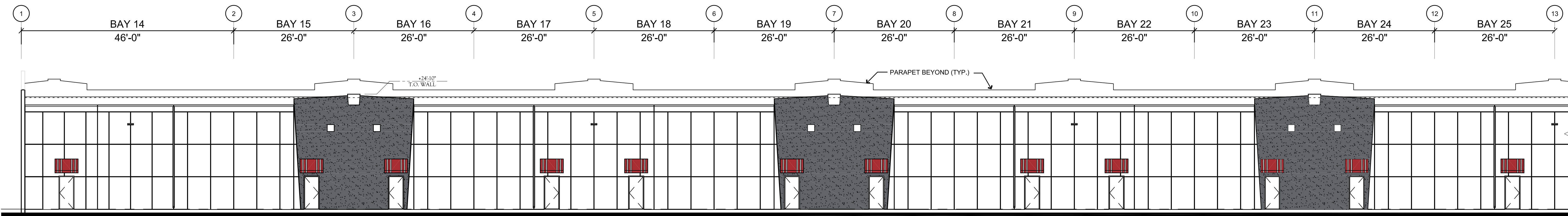


**WEST ELEVATION**

SCALE: 3/32" = 1'-0"

**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"



**EAST ELEVATION**

SCALE: 3/32" = 1'-0"

**SOUTH ELEVATION**

SCALE: 3/32" = 1'-0"

**COLOR LEGEND**

- ACCENT PANELS:  
WALL STREET GRAY SW 7665
- BUILDING BODY:  
ICE CUBE (WHITE) SW 6252
- OVERHEAD DOORS:  
EXTRA WHITE SW 7006
- AWNING:  
SIMILAR TO SUNBRELLA'S "LOGO RED",  
WITH WHITE STRIPES

REVISIONS:

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**WAREHOUSE PROJECT - BUILDING # 2**  
**FOR: E & M WAREHOUSE II LLC**  
 VACANT LAND - FOLIO # 10-7921-011-0035  
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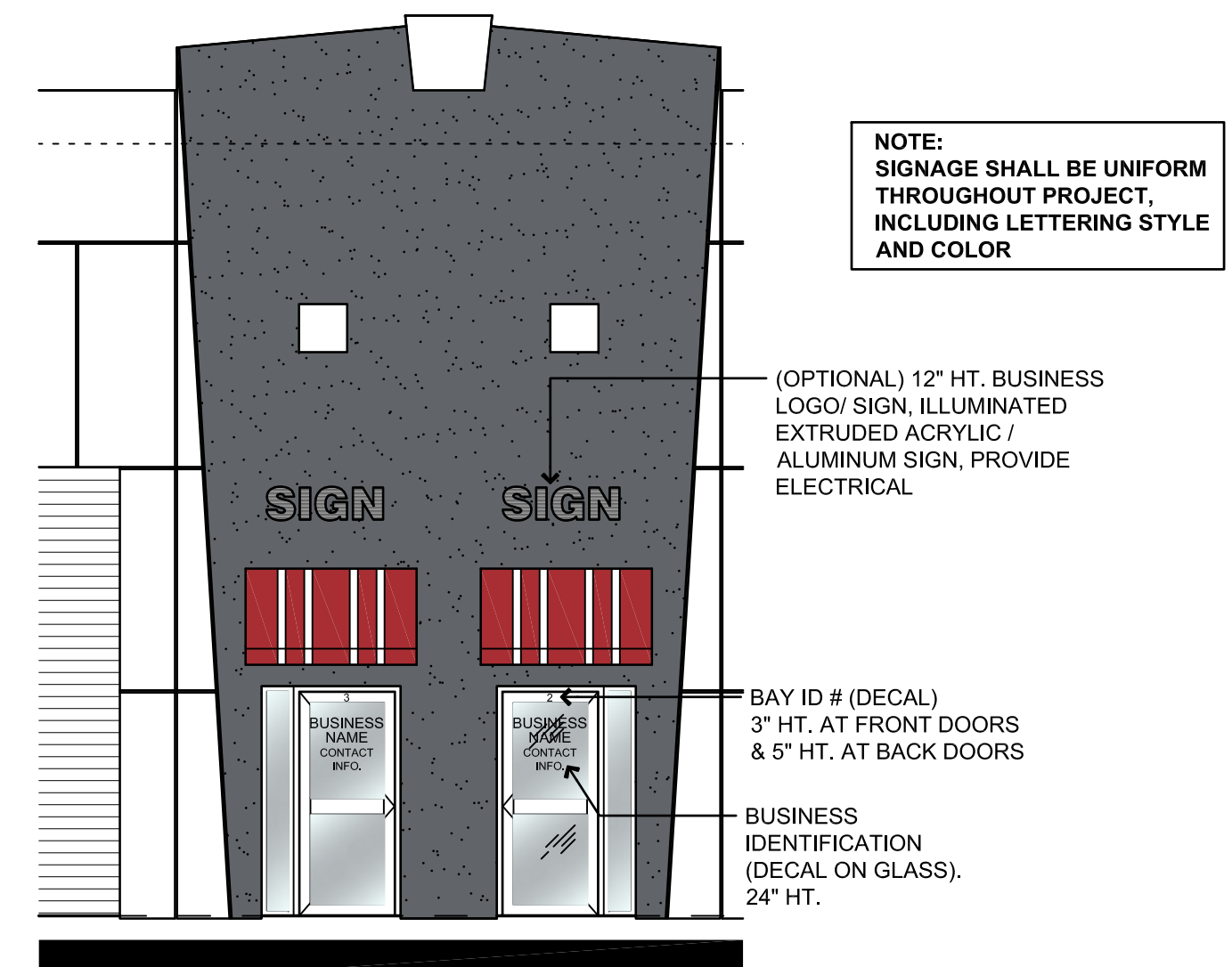
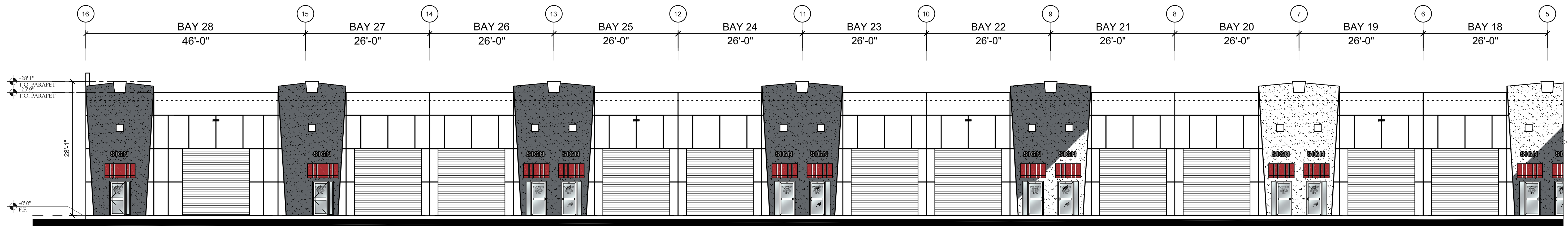
Seal: **Javier F. Acebal AR17697**

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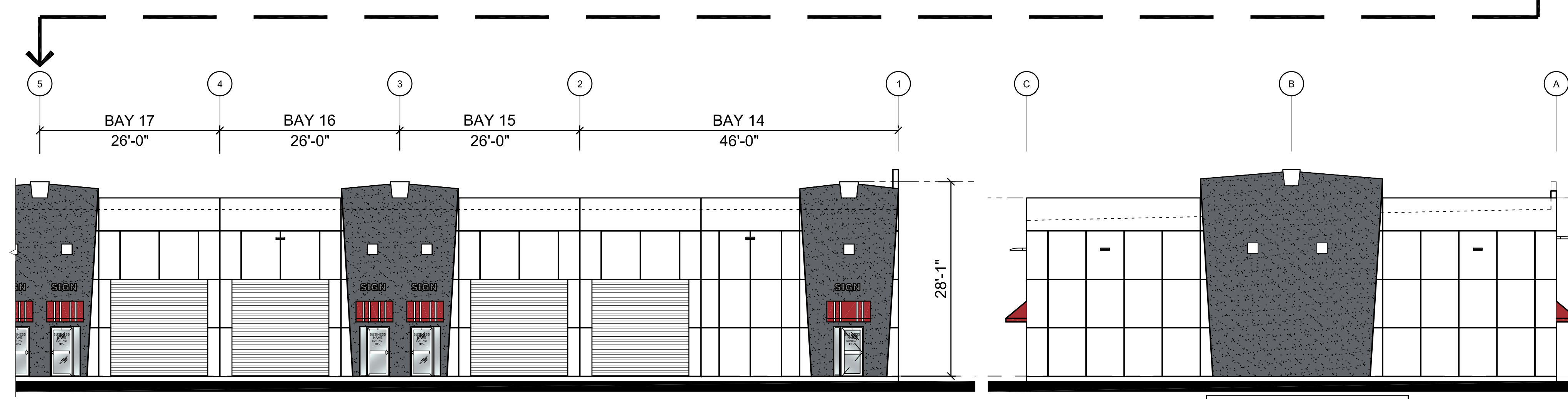
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 DRAWING NO: BUILDING # 2  
 A-2

**BUILDING 2 - ELEVATIONS**



**TYP. BAY SIGNAGE**

SCALE: 3/16" = 1'-0"

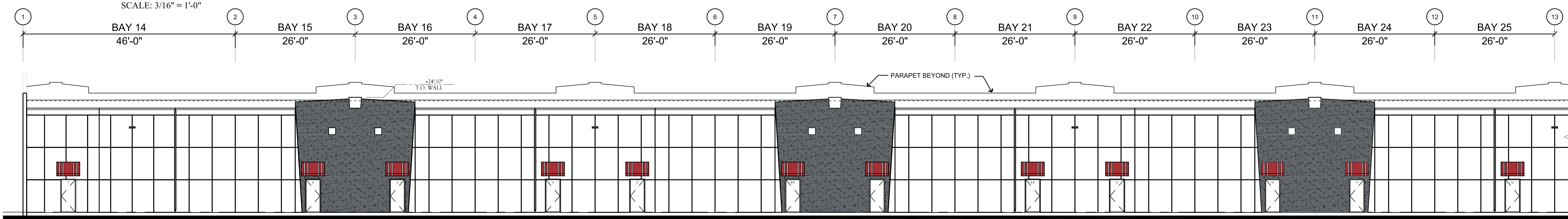


**WEST ELEVATION**

SCALE: 3/32" = 1'-0"

**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"



**EAST ELEVATION**

SCALE: 3/32" = 1'-0"

**SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"

**BUILDING 2 - ELEVATIONS SIGNAGE**

| NO. | DESCRIPTION |
|-----|-------------|
|     |             |
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|     |             |
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**WAREHOUSE PROJECT - BUILDING # 2**  
**FOR: E & M WAREHOUSE II LLC**  
 VACANT LAND - FOLIO # 10-7921-011-0035  
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Arch: Javier F. Acebal AR17697

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**AHF** ACEBAL HUEMBES FONTANA  
 DESIGN STUDIO LLC

DATE: 05-26-23  
 SCALE: 3 / 32"  
 DRAWING NO: BUILDING # 2  
 A-3