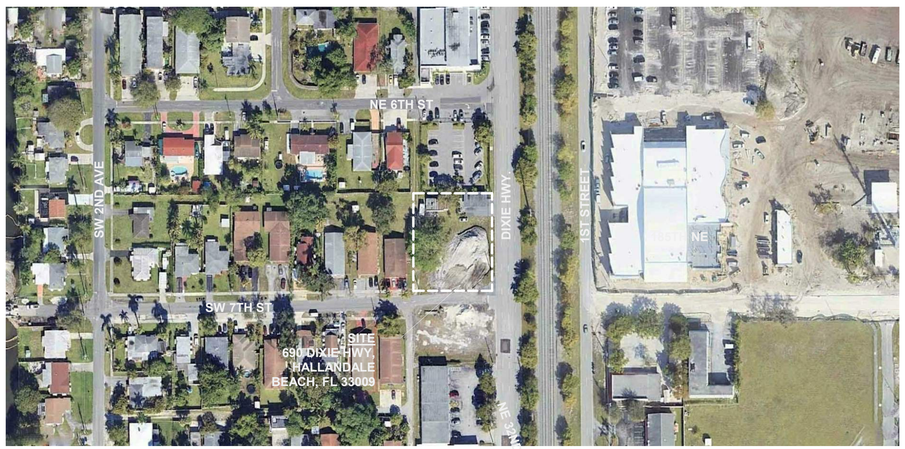
SITE PLAN SET

690 SW DIXIE HWY LLC

690 S DIXIE HWY, HALLANDALE BEACH, FL 33009



LOCATION VIEW
NTS

DRAWING INDEX

SHEET NUMBER	SHEET NAME	SHEET ISSUED DATE	CURRENT REVISION	CURRENT REVISION DATE	CURRENT REVISION DESCRIPTION
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A0-002	SYMBOLS & SITE DETAILS	08/12/2022			
A0-003	SOLAR STUDY	08/12/2022			
A1-100	GROUND FLOOR	08/12/2022			
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A2-100	BUILDING ELEVATIONS	08/12/2022			
A2-101	BUILDING ELEVATIONS	08/12/2022			
A3-100	BUILDING SECTIONS	08/12/2022			
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LS-101	LIFE SAFETY PLANS	08/12/2022			
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C-1	EROSION & SEDIMENT CONTROL PLAN	08/12/2022			
C-2	PAVING, GRADING & DRAINAGE PLAN	08/12/2022			
C-3	CIVIL DETAIL	08/12/2022			
C-5	WATER & SEWER PLAN	08/12/2022			
C-6	PAVEMENT MARKING AND SIGNAGE PLAN	08/12/2022			
TD-1	TREE SURVEY	08/12/2022			
TD-2	TREE DISPOSITION PLAN	08/12/2022			
LA-1	LANDSCAPE PLAN	08/12/2022			

OSCAR POSADA ARCHITECT

SITE PLAN SET

PROJECT NAME:
690 S DIXIE HWY

PROJECT ADDRESS:
690 S DIXIE HWY, HALLANDALE BEACH, FL 33009

OWNER NAME:
690 SW DIXIE HWY LLC

OWNER ADDRESS:
420 S DIXIE HWY, HALLANDALE BEACH, FL 33009

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OSCAR POSADA ARCHITECT INC
2103 CORAL WAY 2ND FLOOR
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PH 786 488 0571
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(305) 884-5700

OSCAR POSADA ARCHITECT
FL AR0016550

SEAL & SIGNATURE

REVISION LOG

No.	Description	Date

SITE PLAN SET
COVER PAGE

Project number	Project Number
Date	08/12/2022
Drawn by	Author
Checked by	Checker

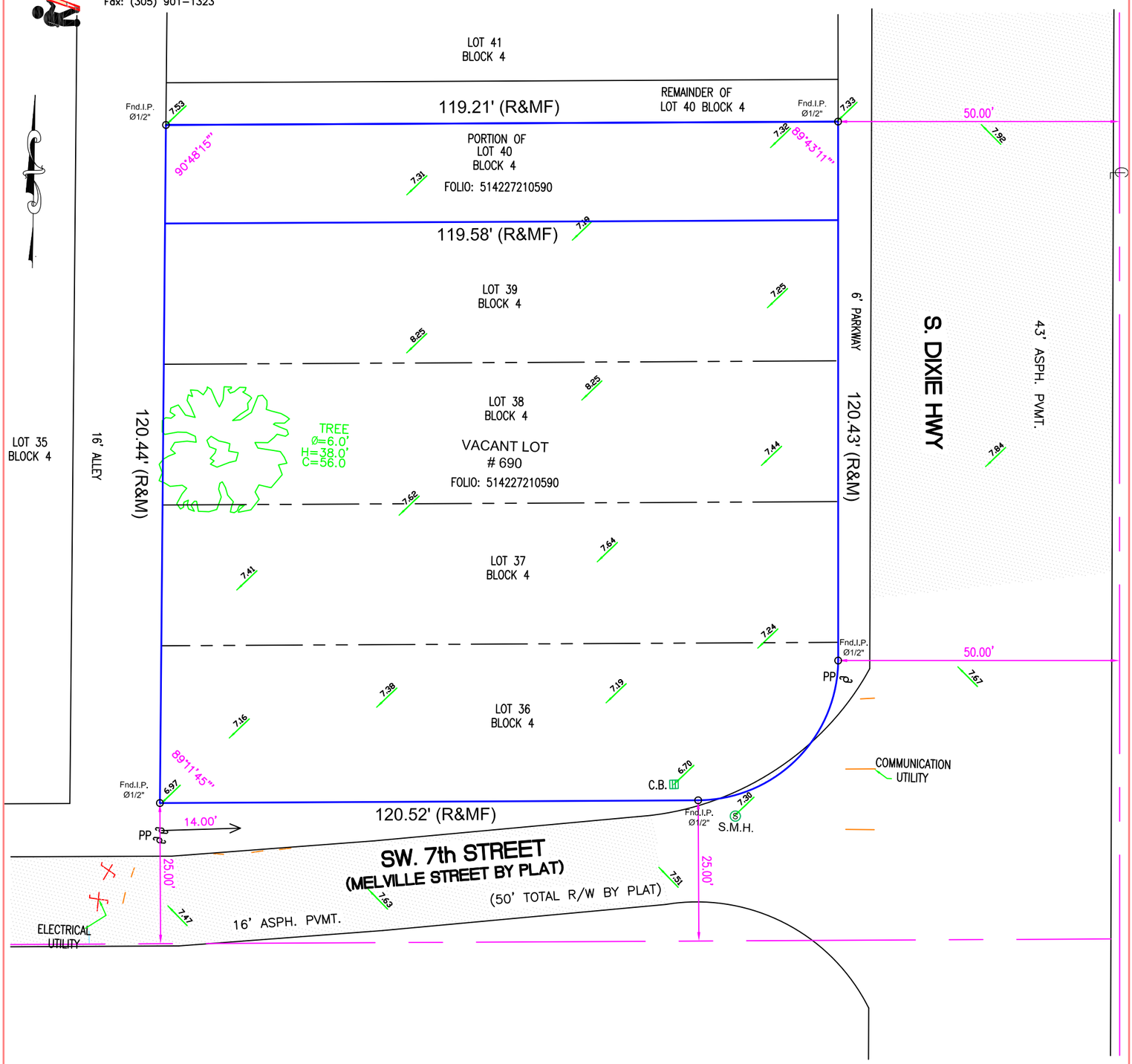
A0-000

Scale

MAQ SERVICES, INC.
Professional Land Surveyors, Mapper
CERTIFICATE No.L.B. 8064
STATE OF FLORIDA
Main Line: (305) 901-1317
Fax: (305) 901-1323

BOUNDARY SURVEY

JOB No. 21-10690
SCALE: 1" = 20'



JOB No. 21-10690 CLIENT: 690 SW DIXIE HWY LLC

PROPERTY ADDRESS SW DIXIE HIGHWAY HALLANDALE BEACH, 33009

LEGAL DESCRIPTION: (FURNISHED BY CLIENT)

LOTS 36, 37, 38, 39 AND 40 INCLUSIVE, LESS THE NORTH 7.5 FEET OF LOT 40, BLOCK 4, HALLANDALE-BY-THE-SEA, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 10, THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA.

PARCEL IDENTIFICATION NUMBER: 514227-21-0590 AND 514227-21-0591
A/K/A 690 S. DIXIE HIGHWAY, HALLANDALE BEACH FL 33009

SUBJECT TO ALL RESTRICTIONS, RESERVATIONS, EASEMENTS AND RIGHT-OF-WAY OF RECORD, UNDERGROUND ENCROACHMENTS IF ANY, NOT LOCATED.

SURVEYOR'S NOTES:

1-) IF SHOWN, BEARINGS AND ANGLES ARE REFEREED TO SAID PLAT IN LEGAL DESCRIPTION.
2-) THE RELATIVE CLOSURE IN THE FIELD MEASURED BOUNDARY IS BETTER THAN: 1 FOOT IN 7,500 FEET; LINEAR (SUBURBAN).
3_) A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. THEREFORE, THERE MAY BE RESTRICTIONS ON THIS PARCEL THAT ARE NOT SHOWN THAT MAY BE FOUND IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. NO EXPRESSED OR IMPLIED DETERMINATION OF TITLE OR OWNERSHIP TO THE LAND DESCRIBED IS MADE.
4-) THERE MAY BE UNDERGROUND UTILITY LOCATIONS AND SUBSURFACE FEATURES WITHIN THE PARCEL THAT ARE NOT SHOWN. THERE IS NO VISIBLE SURFACE OR OVERHEAD ENCROACHMENT, OTHER THAN SHOWN ON THIS SURVEY.
5-) IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY DRAWING WITHOUT THE PRIOR WRITTEN CONSENT OF THE SURVEYOR.
6-) INFORMATION OF TREE IF PROVIDED: DIAMETER (ø), HEIGHT (H), CANOPY SHADE (CS). ALL NAMES ARE NOTED TO SURVEYORS ABILITY. SURVEYOR IS NOT AN ARBORIST AND CANNOT PROVIDE SCIENTIFIC NAMES OF TREE AND OR PLANTS.
7-) SURVEYOR DOES NOT DETERMINE OWNERSHIP OF FENCE, ONLY EXISTING LOCATION IS REPRESENTED.
8-) FLOOD ZONE DETERMINATION MUST BE CONFIRMED BY AUTHORIZED OFFICIAL PRIOR TO CONSTRUCTION AND/OR DESIGN.

ELEVATION INFORMATION:

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY DATED OR REVISED ON 08-18-14 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN ZONE X
BASE FLOOD ELEVATION N/A COMMUNITY 125110 PANEL NUMBER 0732 SUFFIX H
ELEVATIONS(WHEN SHOWN) REFER TO N.G.V.D., 1988 DATUM,
COUNTY BENCHMARK USED #3101 ELEVATIONS 5.496' FEET B.M. LOCATION SW 6 ST / SW 1 AVE

LEGEND AND ABBREVIATIONS

8.00 = ELEVATION	F.N. = FOUND NAIL	E.M. = ELECTRIC METER	= CONCRETE FOUNDATION
DRWY. = DRIVEWAY	P.O.C. = POINT OF COMMEN-CEMENT	P.I. = POINT OF INTERSECTION	Δ = CENTRAL ANGLE
U.P. = UTILITY POLE	F.D.H. = FOUND DRILL HOLE	P.R.C = POINT OF REVERSE CURVE	-//- = WOOD FENCE
B.O.B. = BASIS OF BEARINGS	P.T. = POINT OF TANGENCY	P.C. = POINT OF CURVATURE	-X- =CHAIN LINK FENCE
A/C = AIR CONDITIONING PAD	E.N.C. = ENCROACHMENT	F.N.D. = FOUND NAIL/DISK	=C.B.S. WALL
A = ARC DISTANCE	F.H. = FIRE HYDRANT	P.C.C. = POINT OF COMPOUND CURVE	B/C =BLOCK CORNER
BLDG. = BUILDING	F.I.P. = FOUND IRON PIPE	M/L = MONUMENT LINE	R = RADIUS
C.B. = CATCH BASIN	F.I.R. = FOUND REBAR	N.G.V.D.= NATIONAL GEODETIC VERTICAL DATUM	RAD. = RADIAL
C.B.S. = CONCRETE BLOCK STRUCTURE	I.F.E. = LOWEST FLOOR ELEVATION	O.E. = OVERHEAD ELECTRIC LINE	RES. = RESIDENCE
CH. = CHORD DISTANCE	I.P. = LIGHT POLE	P.B. = PLAT BOOK	R/W = RIGHT OF WAY
CL. = CLEAR	(M) = MEASURED	P.C.P. = PERMANENT CONTROL POINT	SEC. = SECTION
C/L = CENTER LINE	(R) = RECORD	P.G. = PAGE	S.I.P. = SET IRON PIPE
CONC. = CONCRETE	(R & M)= RECORD & MEASURED	P.O.B. = POINT OF BEGINNING	STY = STORY
		P/L = PROPERTY LINE	SWK = SIDEWALK
		N.T.S. = NOT TO SCALE	UE. = UTILITY EASEMENT

OVERHEAD ELECTRIC
UTILITY CONC. POLE
WATER METER
=METAL FENCE

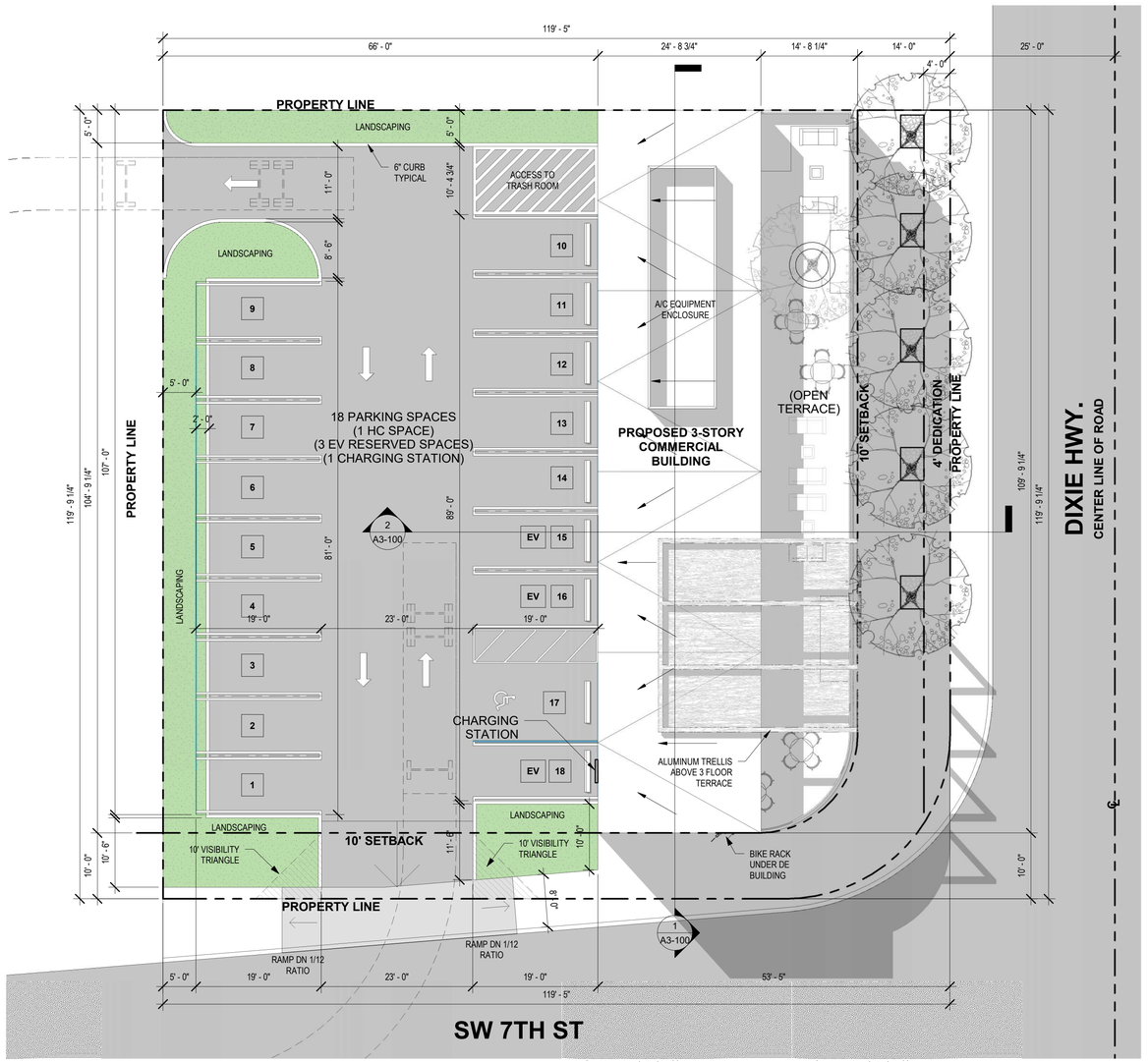
CERTIFIED TO:
690 SW DIXIE HWY LLC

SURVEY DATE: 10-13-2021

Professional Land Surveyors, Mapper
CERTIFICATE No.L.B. 8064
STATE OF FLORIDA
Main Line: (305) 901-1317
Fax: (305) 901-1323

BY:_____
LEONARDO MAQUEIRA, P.S.M
CERTIFICATE No.L.S.-6992
STATE OF FLORIDA

"NOT VALID WITHOUT THE SIGNATURE, DATE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER."



2 SITE PLAN
3/32" = 1'-0"

0" 5' 4" 10' 8" 21' 4"

PROPERTY NOTES

Folios No: 5142 27 21 0590 & 5142 27 21 0591	
Property Address: 690 DIXIE HWY, HALLANDALE BEACH, FL 33009	
Lot Size:	14,270 SF / 0.32 acres - 13,752 SF NET (AFTER 4' DEDICATION ON DIXIE HWY)
Short Legal Description	HALLANDALE BY THE SEA 6-10 B LOT 36 TO 39 BLK 4
FEMA Flood Zone:	X
FEMA Flood Zone Elevation	X
Land Use	Central RAC District/ Transit Core

REGULATORY GUIDELINES

As per Miami-Dade County Zoning - Ojus Urban Arear District Area District-Article XXXIII (O) Sec. 33-284.99.14

Sub District - Transit Core Subdistrict

Land Use - Central RAC District

Building Placement & Street Type Development Parameters	**ALLOWED/REQUIRED**	**PROPOSED**
Density	Max 50 Units/Acre = x units	x
Building Height / stories	8 Stories	47' 6" / 3 Stories
Ground Story Height	10' min / 18' max	16'
Bldg Window Fenestration @ Ground Floor	SEE FRONTAGE TYPE INFO BELOW	
Bldg Frontage	SEE FRONTAGE TYPE INFO BELOW	
Open Space	Min 5%	61%
Building Placement		
Front Setback - East	10'-0"	10'-0"
Rear Setback - West	0'-0"	66'-0"
Side Setback - North	0'-0"	0'-0"
Side street Setback - South	10'-0"	10'-0"

AREA SYNOPSIS

CONSTRUCT AREA CALC

LEVEL	AREA
GROUND FLOOR	3,916 SF
LEVEL 2	4,206 SF
LEVEL 3	4,206 SF
GRAND TOTAL	12,328 SF

RETAIL AREA CALC

LEVEL	AREA
GROUND FLOOR	3,331 SF
LEVEL 2	3,108 SF
LEVEL 3	1,890 SF
GRAND TOTAL	8,329 SF

PARKING CALCULATION

ADOPTED NET AREA: 6,000 SF (72% OF TOTAL SALEABLE). REMAINING AREA USED FOR SERVICE AND MECHANICAL AREAS.

REQUIRED PARKING COUNT FOR 6,000 SF OF NET AREAS (1 SPACES PER 300 SF) = **20** PARKING SPACES (1 HC PARKING SPACE)

PARKING COUNT PROVIDED

DESCRIPTION	COUNT
STANDARD PARKING SPACE (9'-0 x 18'-0")	17
HC 12'X19'	1
GRAND TOTAL	18

BICYCLE PARKING

REQUIRED 5% OF TOTAL VEHICULAR PARKING = 1 SPACE
PROVIDED 2 SPACES

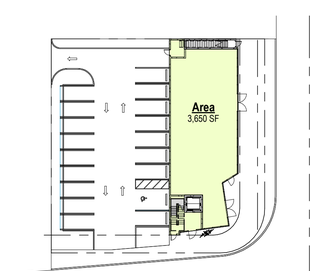
FRONTAGE TYPE = STOREFRONT (AS PER TABLE 32-201 (a))

STOREFRONT WIDTH (MIN 70%)
TOTAL WIDTH = 144 LF
STOREFRONT WIDTH PROVIDED = 131.5 LF (91%)

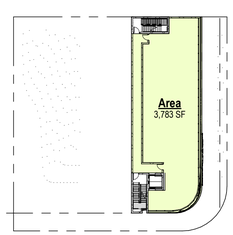
STOREFRONT BASE (MIN 1 FT) (MAX 3FT)
STOREFRONT BASE PROVIDED = 1FT

GLAZING HEIGHT (MIN 8 FT)
GLAZING HEIGHT PROVIDED = 14'-4"

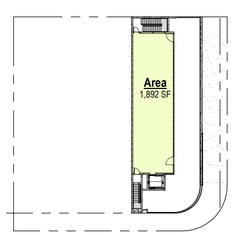
GLAZING AREA (MIN 70%)
GLAZING AREA PROVIDED = 100%



5 GROUND FLOOR
1" = 40'-0"



6 LEVEL 2
1" = 40'-0"



7 LEVEL 3
1" = 40'-0"

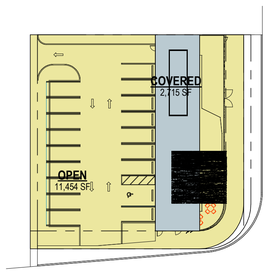
FAR CALCULATION

AREA DESCRIPTION	Area
GROUND FLOOR	3,650 SF
2ND LEVEL	3,783 SF
3RD LEVEL	1,892 SF
GRAND TOTAL: 3	9,325 SF

FAR = TOTAL BUILDING FLOOR AREA / LOT AREA

FAR = 9,325 SF / 14,169 SF

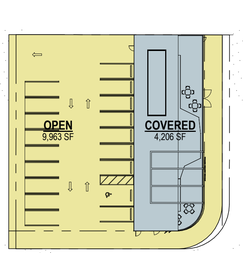
FAR = 0.66



3 OPEN SPACE DIAGRAM
1" = 40'-0"

OPEN SPACE CALCS

NAME	AREA	PORCENTAGE
COVERED	2,715 SF	19%
OPEN	11,454 SF	81%
GRAND TOTAL	14,169 SF	100%



4 LOT COVERAGE DIAGRAM
1" = 40'-0"

LOT COVERAGE

NAME	AREA	PERCENTAGE
OPEN	9,963 SF	70%
COVERED	4,206 SF	30%
GRAND TOTAL: 2	14,169 SF	100%

OSCAR POSADA ARCHITECT

SITE PLAN SET

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OWNER NAME:
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420 S DIXIE HWY, HALLANDALE BEACH, FL 33009

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SEAL & SIGNATURE

REVISION LOG

No.	Description	Date

SITE PLAN SET

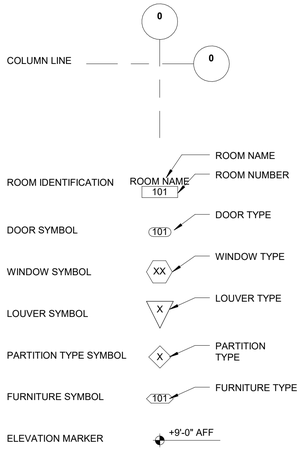
SITE PLAN / PROJECT DATA

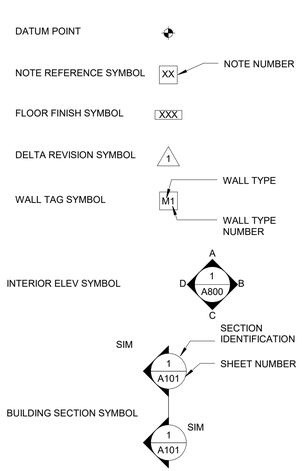
Project number	Project Number
Date	08/12/2022
Drawn by	Author
Checked by	Checker

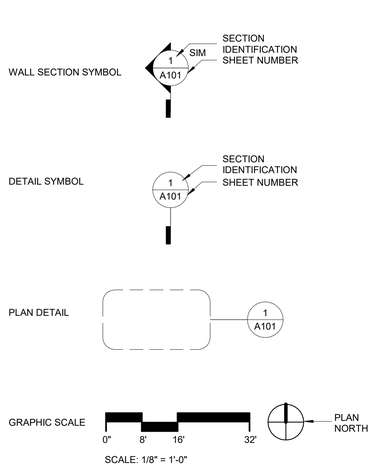
A0-001

Scale: As indicated

SYMBOLS

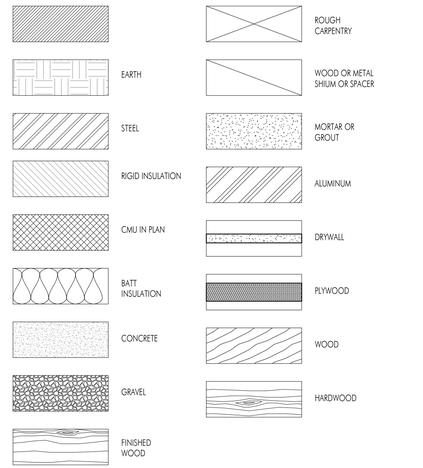




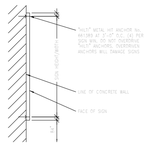


7 SYMBOLS
1" = 1'-0"

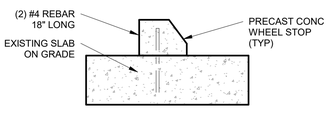
MATERIAL LEGEND



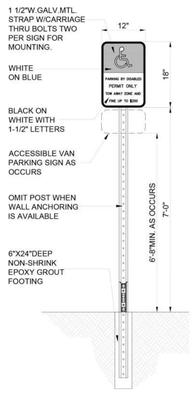
1 MATERIAL LEGEND
1" = 1'-0"

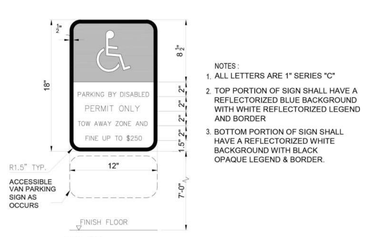


11 HC SIGN MOUNTING
3/4" = 1'-0"

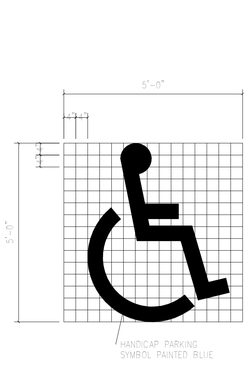


12 PRECAST CONCRETE WHEELSTOP
1" = 1'-0"

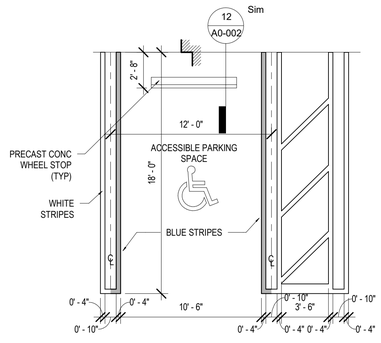




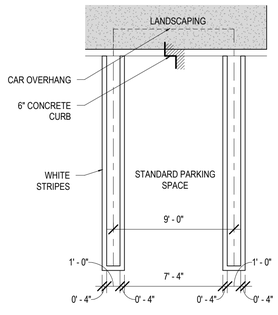
10 HC SIGN
3/4" = 1'-0"



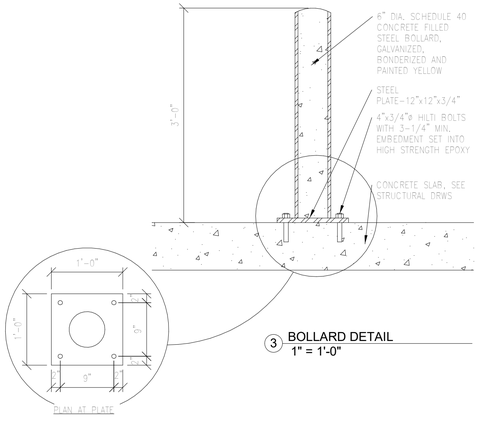
9 HC PAVING MARKINGS
1/2" = 1'-0"



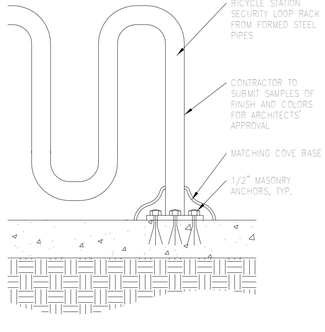
8 HC PARKING SPACE
3/16" = 1'-0"



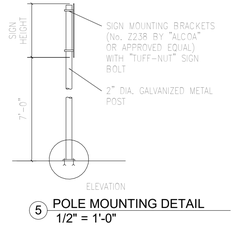
6 PARKING SPACE
3/16" = 1'-0"



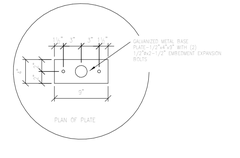
3 BOLLARD DETAIL
1" = 1'-0"



2 BIKE RACK DETAIL
1" = 1'-0"



5 POLE MOUNTING DETAIL
1/2" = 1'-0"



4 POLE MOUNTING ATTACHMENT
1" = 1'-0"

OSCAR POSADA ARCHITECT

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SEAL & SIGNATURE

REVISION LOG

No.	Description	Date

SITE PLAN SET
SYMBOLS & SITE DETAILS

Project number	Project Number
Date	08/12/2022
Drawn by	Author
Checked by	Checker

A0-002

Scale: As indicated

WINTER SOLSTICE

FALL EQUINOX

SPRING EQUINOX

SUMMER SOLSTICE

OSCAR POSADA
ARCHITECT

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OSCAR POSADA ARCHITECT
FL AR0016550

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REVISION LOG

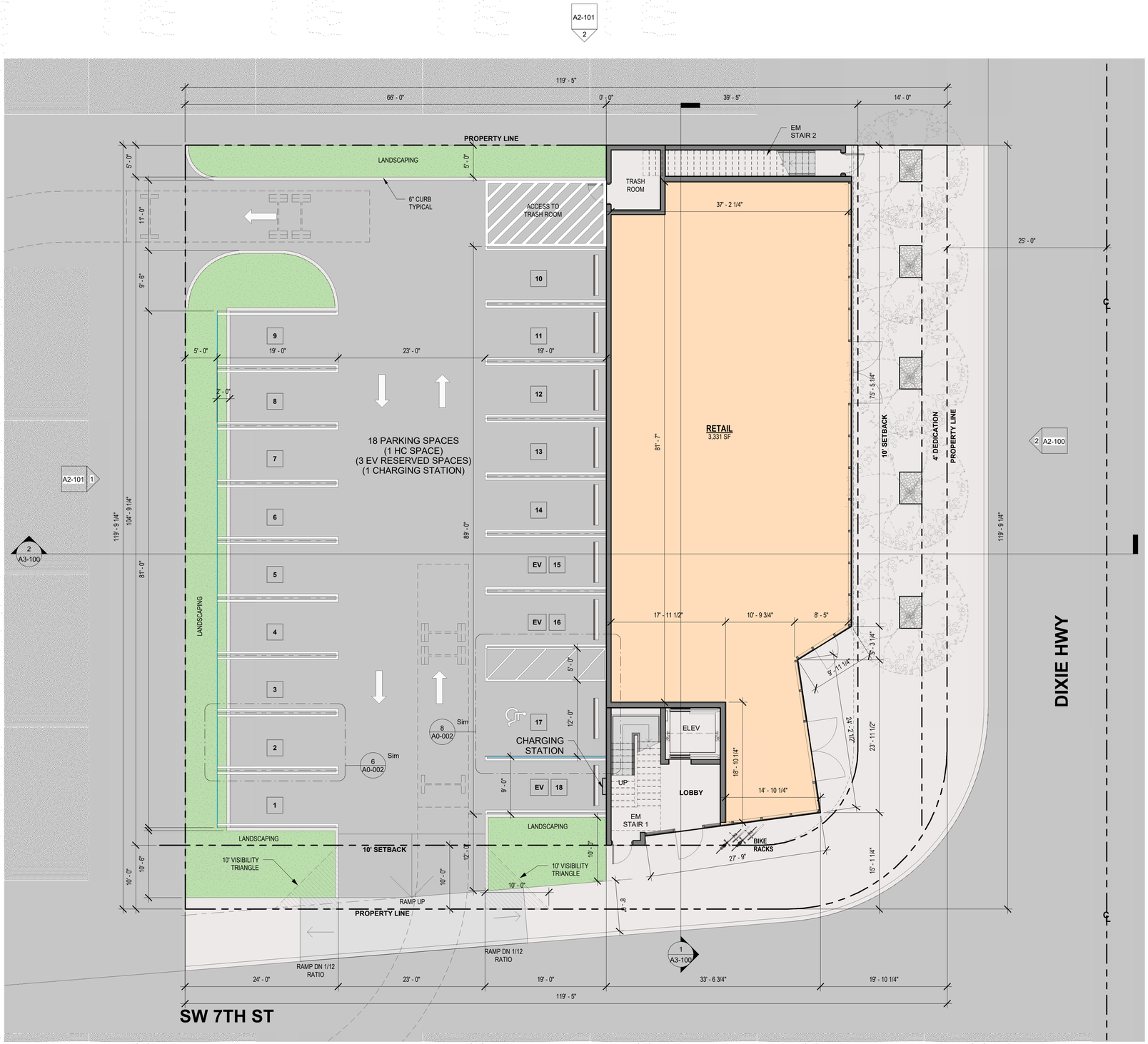
No.	Description	Date

SITE PLAN SET
SOLAR STUDY

Project number	Project Number
Date	08/12/2022
Drawn by	Author
Checked by	Checker

A0-003

Scale



OSCAR POSADA
ARCHITECT

SITE PLAN SET

PROJECT NAME:
690 S DIXIE HWY

PROJECT ADDRESS:
690 S DIXIE HWY, HALLANDALE BEACH, FL 33009

OWNER NAME:
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No.	Description	Date

SITE PLAN SET
GROUND FLOOR

Project number	Project Number
Date	08/12/2022
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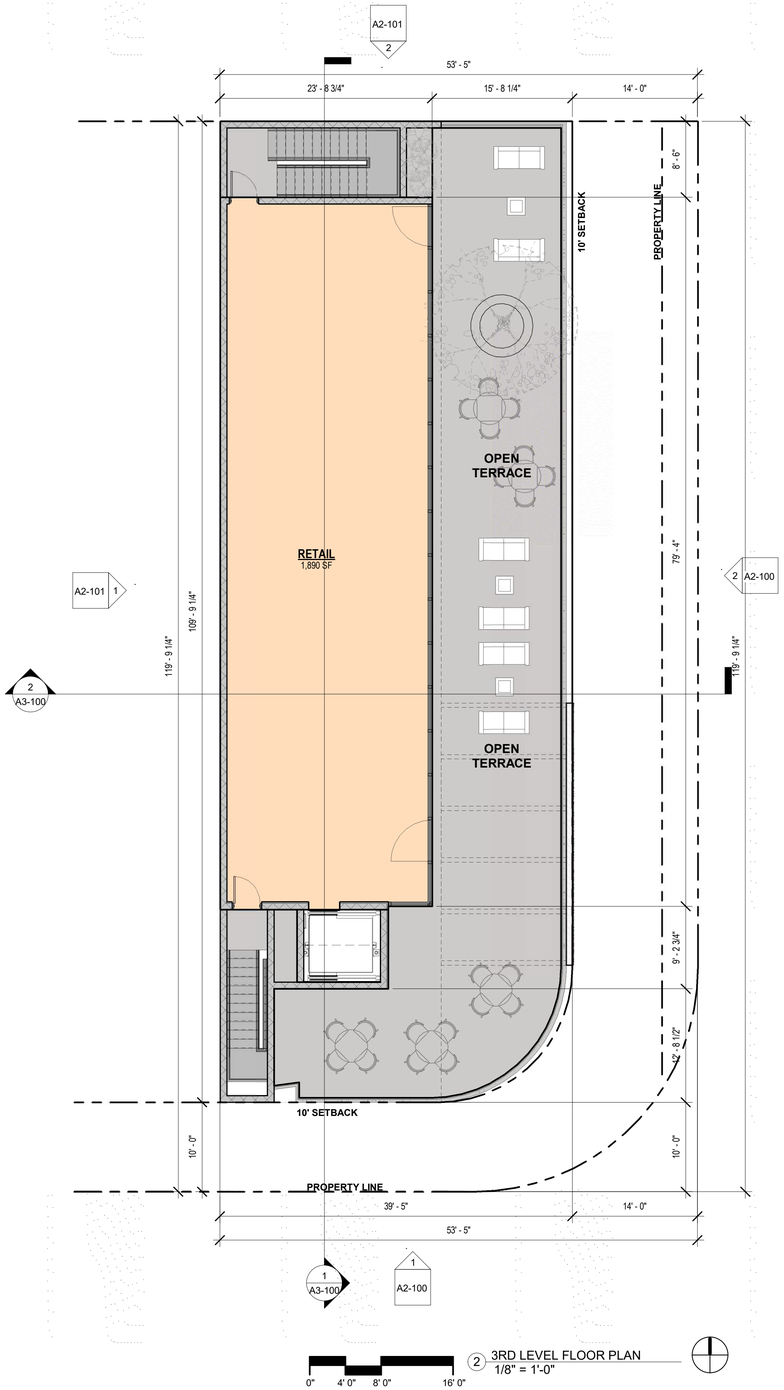
Checked by	Checker

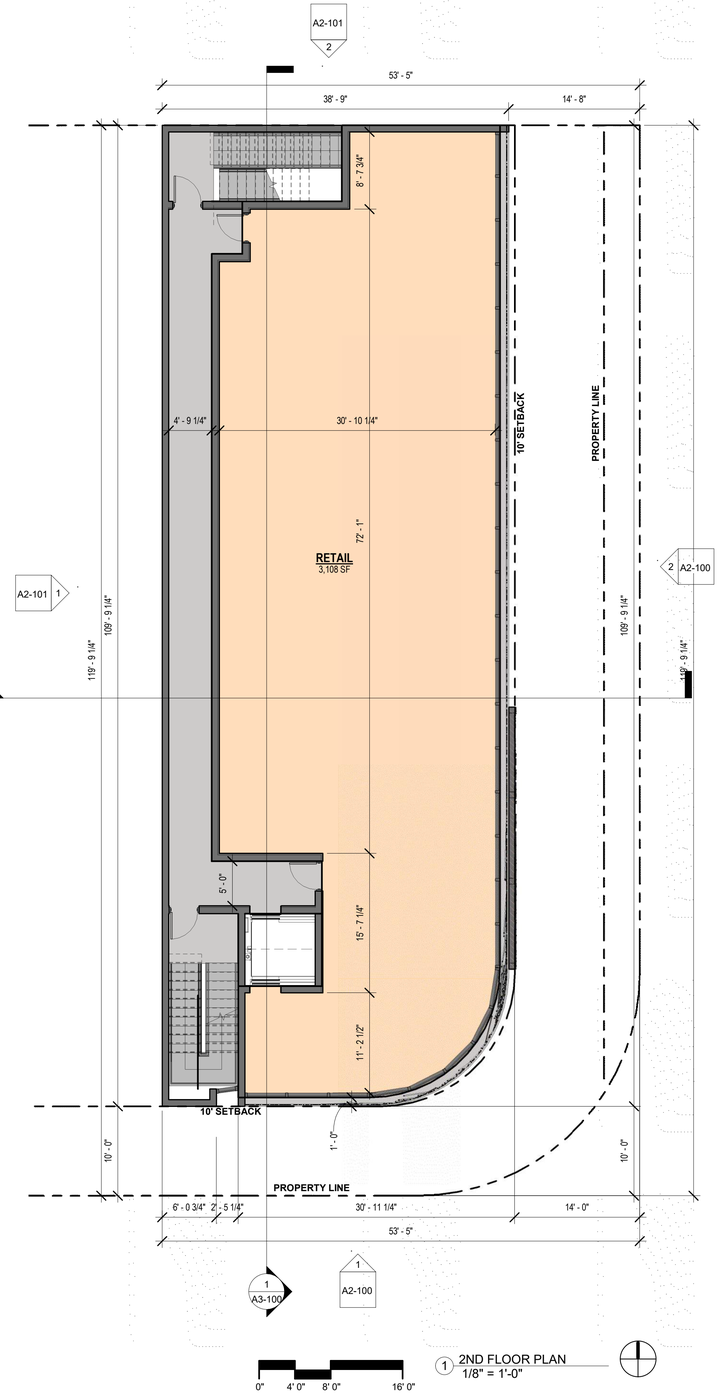
A1-100

Scale 1/8" = 1'-0"



2 3RD LEVEL FLOOR PLAN
1/8" = 1'-0"

0" 4' 0" 8' 0" 16' 0"



1 2ND FLOOR PLAN
1/8" = 1'-0"

0" 4' 0" 8' 0" 16' 0"

OSCAR POSADA
ARCHITECT

SITE PLAN SET

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No.	Description	Date

SITE PLAN SET
2ND / 3RD LEVEL

Project number	Project Number
Date	08/12/2022
Drawn by	Author
Checked by	Checker

A1-101

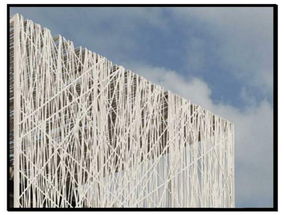
Scale 1/8" = 1'-0"

1 SMOOTH STUCCO FINISH

2 GLASS RAILING

4 CONCRETE COLUMNS

5 DARK GREY AMUNIMUN MULLIONS

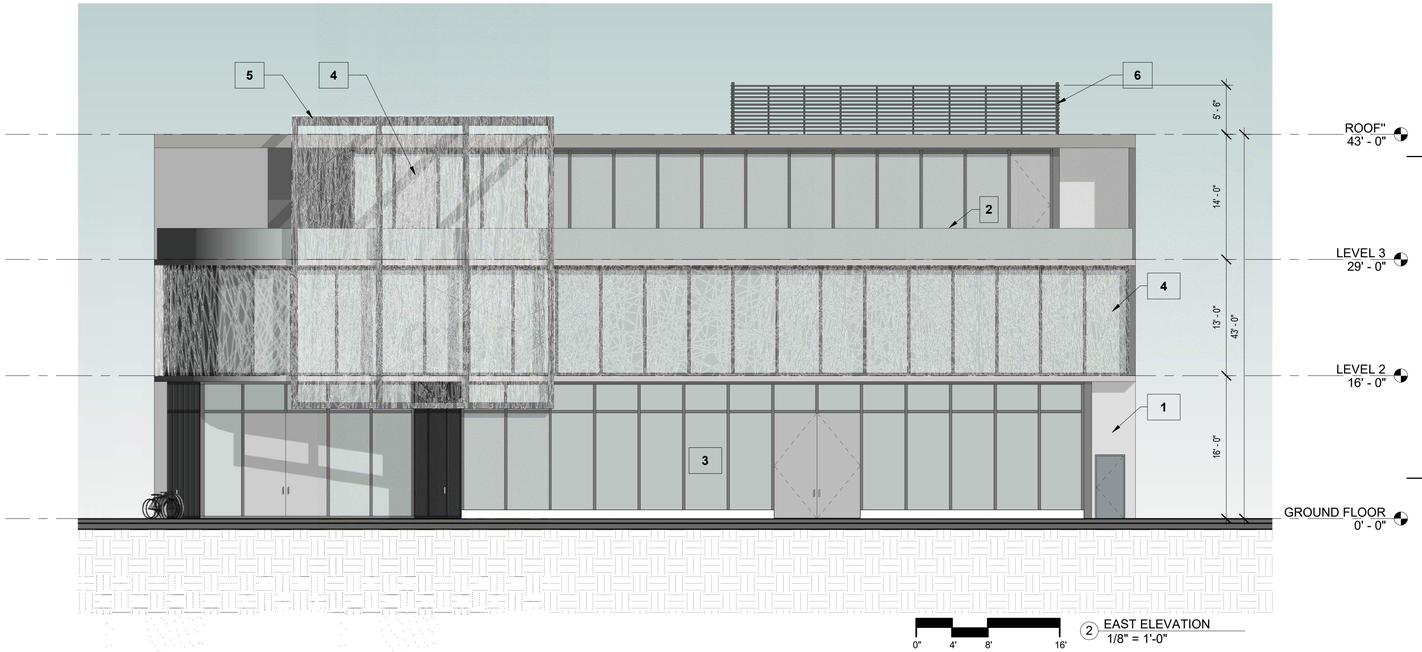


3 MESH

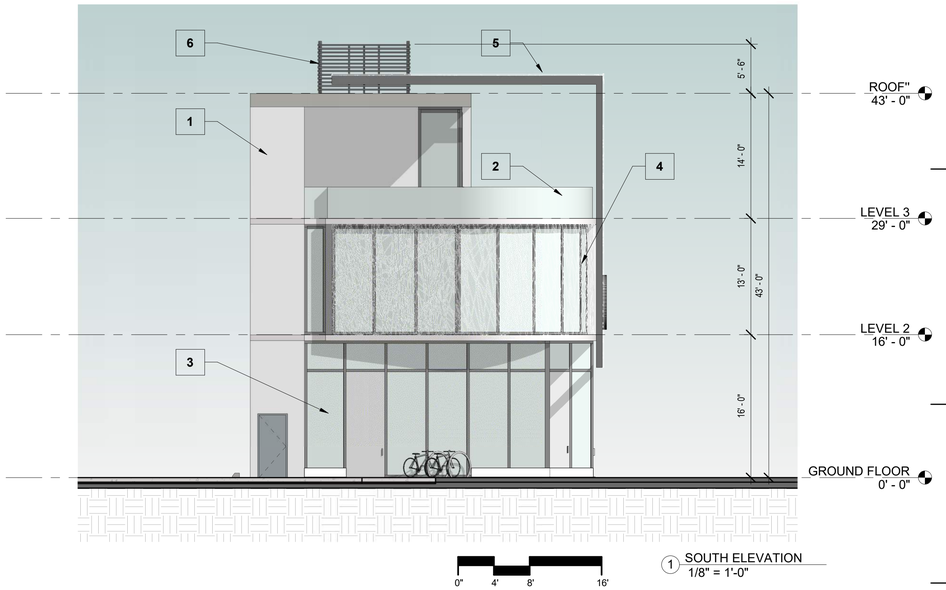
PAINT COLORS

7 WALL STUCCO
DESTINY SW 6274

8 WHITE MESH
CLOAK GRE SW 6278



2 EAST ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"

LEGEND

1	SMOOTH STUCCO FINISH
2	GLASS RAILING
3	STOREFRONT - PAINTED ALUMINUM FRAME
4	DECORATIVE SCREEN "MESH"
5	DECORATIVE TRELLIS / MESH
6	A/C EQUIPMENT ALUMINUM SCREEN

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SITE PLAN SET
BUILDING ELEVATIONS

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Checked by	Checker

A2-100

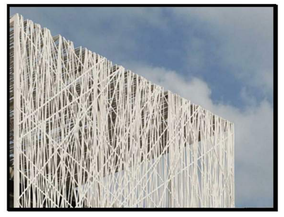
Scale 1/8" = 1'-0"

1 SMOOTH STUCCO FINISH

2 GLASS RAILING

4 CONCRETE COLUMNS

5 DARK GREY AMUNIMUN MULLIONS



3 MESH

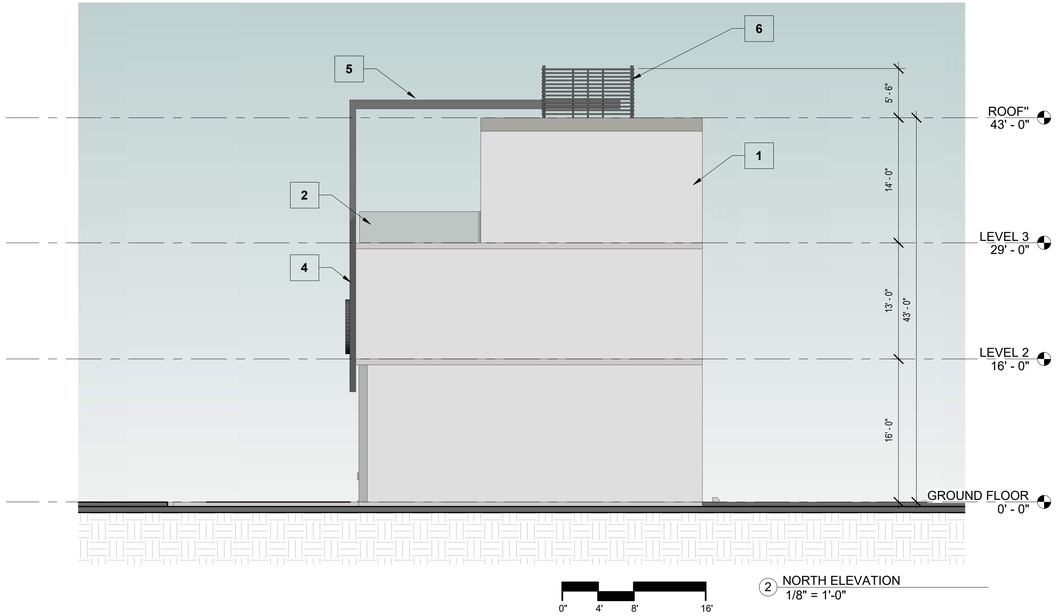
PAINT COLORS

7 WALL STUCCO

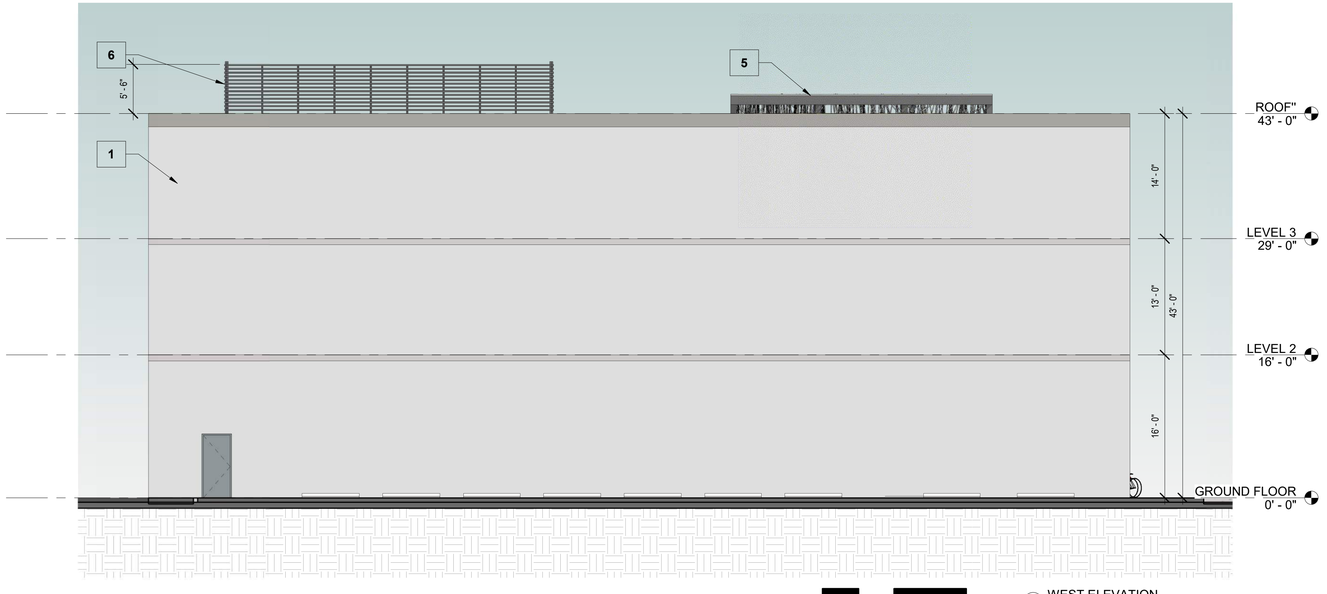
DESTINY SW 6274

8 WHITE MESH

CLOAK GRE SW 6278



2 NORTH ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

LEGEND

1	SMOOTH STUCCO FINISH
2	GLASS RAILING
3	STOREFRONT - PAINTED ALUMINUM FRAME
4	DECORATIVE SCREEN "MESH"
5	DECORATIVE TRELLIS / MESH
6	A/C EQUIPMENT ALUMINUM SCREEN

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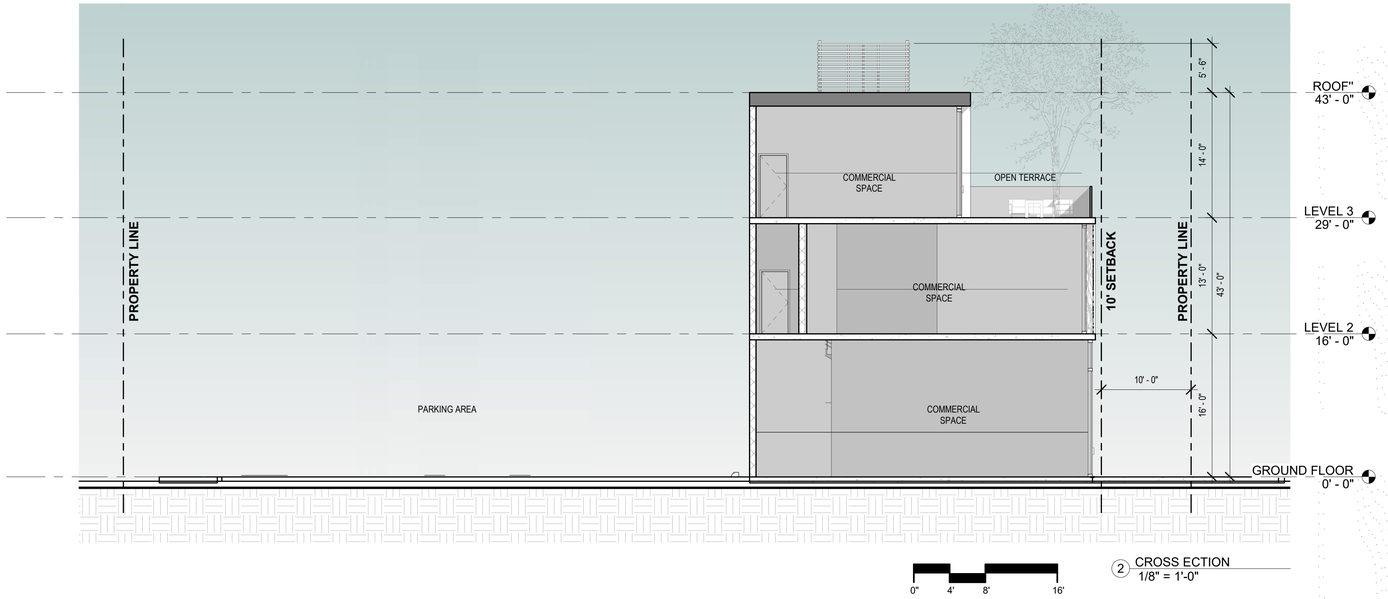
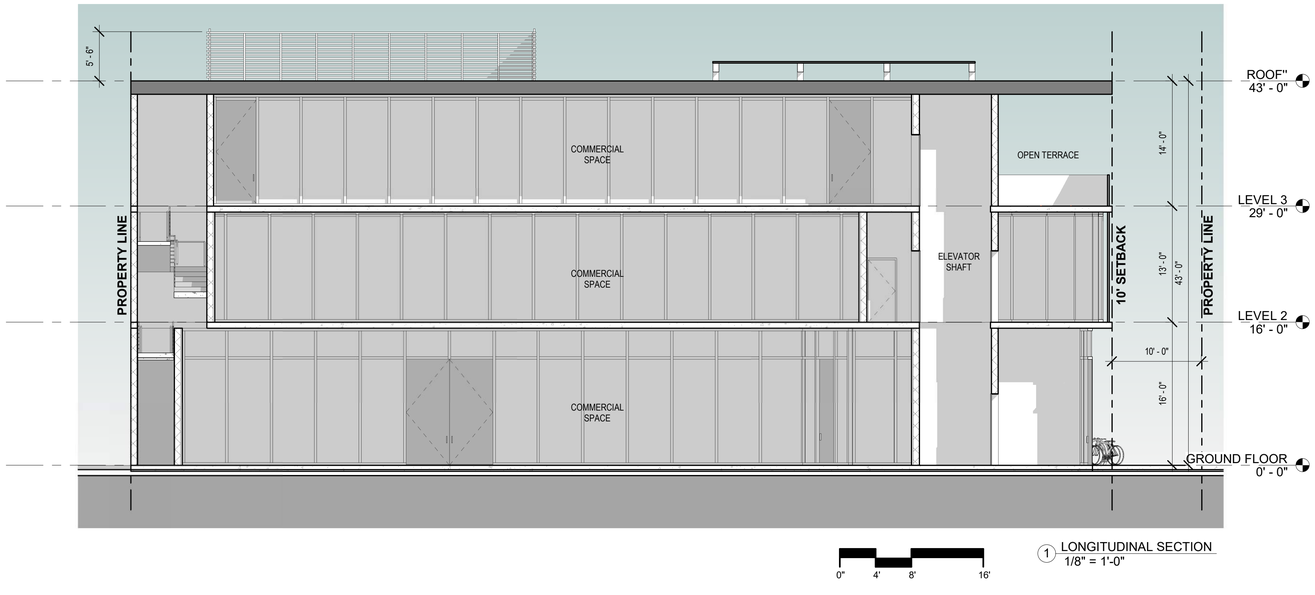
A2-101

Scale 1/8" = 1'-0"



2 CROSS ECTION
1/8" = 1'-0"



1 LONGITUDINAL SECTION
1/8" = 1'-0"

OSCAR POSADA ARCHITECT

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No.	Description	Date

SITE PLAN SET
BUILDING SECTIONS

Project number	Project Number
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A3-100

Scale 1/8" = 1'-0"

GENERAL INFORMATION / LIFE SAFETY SUMMARY

THE FOLLOWING IS A SUMMARY DESCRIPTION OF FIRE PROTECTION AND LIFE SAFETY COMPONENTS IN THE LIFE SAFETY EVALUATION.
THE FOLLOWING SUMMARY DESCRIPTION IS SPECIFIC TO THIS PROJECT ONLY AND IS NON-TRANSFERABLE.
THE FIRE DEPARTMENT HAS NOT YET ACCEPTED THE CONCEPTUAL PROPOSAL. THAT APPROVAL OF ANY AND ALL FUTURE CONSTRUCTION DOCUMENTS TO
BE SUBMITTED AS PART OF THE FIRE PROTECTION AND LIFE SAFETY PROGRAM WILL BE SUBJECT TO THEIR (THE A.H.J.) FINAL REVIEW.

PORTABLE FIRE EXTINGUISHERS TO BE PROVIDED:
> EVERY LANDING OF EACH STAIR - 2A: 10B: C
> ANY / ALL OTHER AREAS IDENTIFIED UNDER NFPA 10.*
AS PER NFPA 101-7.7.4.1, ALL PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE STANDARD AND OR AS SPECIFIED BY THE LOCAL AUTHORITY HAVING JURISDICTION

GENERAL NOTES
1. PROPOSED BUILDING COMPLIES WITH SECTION 7.5.1.3.1 OF NFPA 101, 2006 ed. AND TO BE FULLY SPRINKLED IN ACCORDANCE WITH NFPA 13 AND THE F.B.C. 903.2.7 .
2. EXIT DOORS SHALL NOT BE LOCKED FROM EGRESS AND SHALL CONFORM TO F.B.C. 412.8.
3. ALL FIRE DOORS SHALL BE PROVIDED WITH FIRE DOOR HARDWARE AS PER NFPA 80 INCLUDING DOOR, FRAME, HINGES, CLOSERS AND PASSAGE SETS. PLEASE SEE DOOR SCHEDULE ON ARCHITECTURAL SHEETS FOR DETAILS.
4. ILLUMINATED AND MARKED MEANS OF EGRESS AS PER NFPA 7.8 AND THE F.B.C.
5. AUDIBLE ALARM AND COMMUNICATION SYSTEM SHALL BE IN ACCORDANCE TO F.B.C 412.2. AND 412.3.DETECTION, ALARM AND COMMUNICATION SYSTEMS SHALL BE AS PER NFPA SECTION 30-8, HIGH-RISE BUILDINGS. ALARM TO STATE: "MAY I HAVE YOUR ATTENTION PLEASE. A FIRE EMERGENCY HAS BEEN REPORTED IN THE BUILDING. WHILE THIS IS BEING INVESTIGATED, PLEASE LEAVE THE BUILDING BY THE NEAREST EXIT. DO NOT USE THE ELEVATOR." OR AS PER A.H.J.
6. FIRE ALARM SYSTEM TO BE INSTALLED CERTIFIED AND MAINTAINED BY A UL CERTIFIED FIRE ALARM CONTRACTOR. FIRE ALARM SYSTEM IS NOT TO BE OFF-SITE (PROPRIETARY SYSTEM ONLY).

8. A FIRE COMMAND STATION SHALL CONTAIN:
A. CONTROLS FOR THE ONE-WAY ALARM SYSTEM.
B. CONTROLS FOR THE TWO-WAY FIRE DEPT. COMMUNICATION SYSTEM.
C. FIRE ALARM SYSTEM ANNUNCIATOR PANELS.
D. STATUS INDICATORS SHOWING LOCATION OF ELEVATORS IN THE HOISTWAYS AND SWITCHES TO SELECTIVELY TURN POWER TO ELEVATORS ON OR OFF.
E. STATUS INDICATORS AND CONTROLS FOR AIR HANDLING SYSTEMS.
F.CONTROLS FOR UNLOCKING ALL STAIRWAY DOORS SIMULTANEOUSLY.
G. SPRINKLER VALVE, WATERFLOW DETECTOR AND FIRE PUMP DISPLAY PANELS.
H. EMERGENCY POWER, LIGHT AND EMERGENCY SYSTEM CONTROLS AND STATUS INDICATORS.
I. A TELEPHONE FOR FIRE DEPT. USE WITH CONTROLLED ACCESS TO THE PUBLIC TELEPHONE SYSTEM.
J. (NOT USED) GENERATOR SUPERVISION DEVICES, MANUAL START AND TRANSFER FEATURES.

9. STANDBY POWER AND LIGHTING SHALL CONFORM TO CHAPTER 27 OF THE F.B.C.

10. EVERY MECHANICAL EQUIPMENT, ELECTRICAL, TRANSFORMER, TELEPHONE EQUIPMENT, ELEVATOR MACHINE AND LOBBY, OR SIMILAR ROOM SHALL BE PROTECTED BY APPROVED SMOKE DETECTORS, F.B.C. 907.2.12.1. AND EACH DWELLING UNIT AS PER F.B.C. 907.2.9, REFER TO ELECTRICAL DRAWINGS FOR EACH LOCATION OF SMOKE AND HEAT DETECTION DEVICES.

11. 18. ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH SMOKE CONTROL AS OUTLINED IN F.B.C. SECTION 403.15,

12. 26. TACTILE SIGNAGE SHALL BE PROVIDED AT ALL STAIRWELLS MOUNTED 60" AFF MIN ON THE LATCH SIDE OF STAIR DOORS.

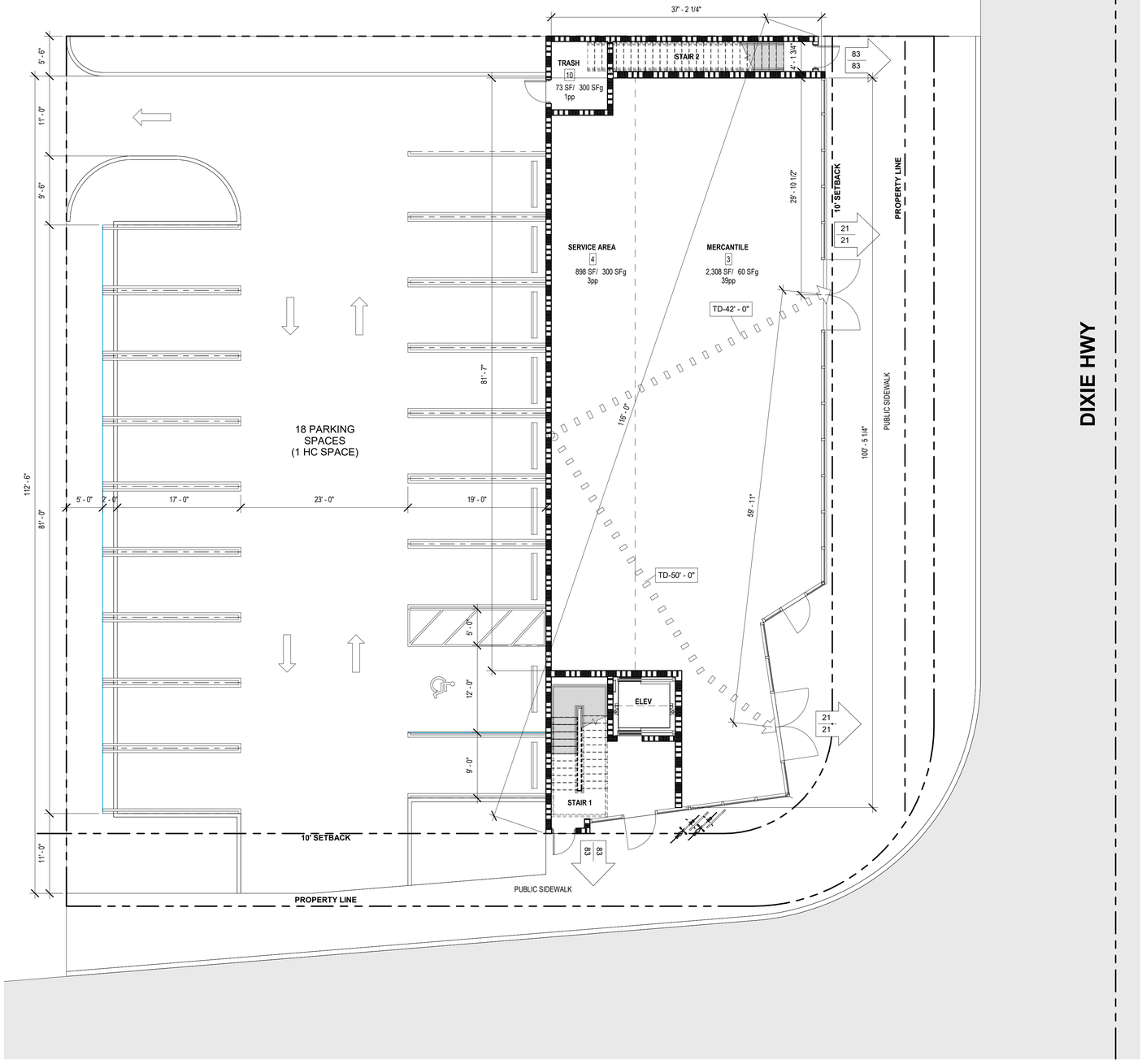
13. 27. WHERE MORE THAN ONE EXIT IS REQUIRED FROM A BUILDING OR PORTION THEREOF, SUCH EXITS SHALL BE REMOTELY LOCATED FROM EACH OTHER AND SHALL BE ARRANGED AND CONSTRUCTED TO MINIMIZE THE POSSIBILITY THAT MORE THAN ONE HAS THE POTENTIAL TO BE LOCKED BY ANY ONE FIRE OR OTHER EMERGENCY CONDITIONS. PER 7.5.1.3.1 OF NFPA 101, 2006 ED.

ADDITIONAL FIRE RESCUE NOTES
1. NO PENETRATION INTO EXIT STAIR.
2. ELEVATION ON BOTH SIDES OF A DOOR SHALL NOT VARY BY MORE THAN 1/2 INCH.
3. FIRE ALARM SYSTEM. FIRE ALARM NOT TO BE INSTALLED INSIDE EXIT STAIRS.
4. FIRE ALARM SYSTEM. STROBE LIGHTS NOT LESS THAN 80" OR 6" BELOW CEILING WHICHEVER IS LOWER.
5. FIRE ALARM SYSTEM. PULL STATION BETWEEN 42" & 48".
6. FIRE ALARM SYSTEM. SMOKE DETECTORS BY ALL CONTROL EQUIPMENT, TRANSPONDERS, AND REMOTE ENUNCIATORS.
7. FIRE ALARM SYSTEM. FIRE ALARM ALERT TONE AND MESSAGE SHALL BE HEARD INSIDE ALL ROOMS.
8. FIRE ALARM SYSTEM. WEATHER PROOF AUDIBLE AND VISIBLE APPLIANCES SHALL BE INSTALLED ON ANY ROOF WHERE MECHANICAL EQUIPMENT IS PRESENT.
9. REMOTE ANNUNCIATION FOR GENERATOR SHALL BE LOCATED IN FIRE ALARM ROOM.
10. FIRE PUMPSHALL NOT TIME OUT WHILE UNDER DEMAND.
11. BATTERY OPERATED EMERGENCY LIGHTS REQUIRED INSIDE GENRATOR AND FIRE PUMP ROOMS
12. 7'-6" HEAD ROOM REQUIRED. NO PROJECTION BELOW 6'-8".
13. ALL PENETRATION SHALL BE SEALED WITH A UL LISTED SYSTEM AND MATERIALS.
14. ALL 110V SMOKE DETECTORS INSIDE DWELLING UNITS SHALL BE INTERCONNECTED AND MINIMU 3' FROM SUPPLY AIR VENT AND DOOR TO KITCHENS AND BATHROOMS.

ADDITIONAL FIRE RESCUE NOTES DURING CONSTRUCTION
1. THE FIRE LANE ACCESS TO ANY STRUCTURE DURING CONSTRUCTION FOR FIRE AND RESCUE APARATUS MUST NOT BE BLOCKED..
2. WET STANDPIPE AS BUILDING GOES UP.
3. FIRST FLOOR STAND PIPE NOT LATER THAN POURING OF THIRD FLOOR.
4. FIRE DEPARTMENT CONNECTION REQUIRED.
5. FIRE DEPARTMENT SIGNAGE REQUIRED.
6. FIRE PUMP NOT LATER THAN 6TH FLOOR.
7. FIRE EXTINGUISHERS REQUIRED DURING CONSTRUCTION
8. BUILDING NOT TO BE OCCUPIED DURING CONSTRUCTION. IF BUILDING SHALL BE OCCUPIED WORK SHALL BE PERFORMED TO VERIFY COMPLIANCE WITH NFPA 1 16.4
9. DEMO/NEW MATERIAL SHALL BE STORED TO VERIFY ITS LOCATION DOES NOT HINDER EGRESS TO THE PUBLIC WAY.
10. EGRESS SHALL REMAIN FREE AND CLEAR.
11. LIFE SAFETY SYSTEMS SHALL REMAIN ACTIVE DURING DEMO/BUILDOUT.

* INDICATES THAT COMPLETE AND TOTAL COVERAGE WITH QR AND RES A.S.P. AS PER NFPA 13 WHERE APPLICABLE.

** HAZARDOUS AREAS ARE ABSENT FROM TYPICAL FLOORS ACCORDING TO THE '94 LSC. AS FOR THE LIFE SAFETY CODE ('94/ED.), ONLY THE TRASH CHUTE ACCESS ROOM IS REQUIRED TO HAVE A 2-HOUR FIRE RESISTIVE RATING AND SPRINKLERS. THIS IS A CHANGE FROM THE PREVIOUS '91 ED. OF THE CODE WHICH ONLY SPECIFIED PROTECTION OR SEPARATION (NOT BOTH).



1 GROUND FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"

OSCAR POSADA ARCHITECT

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LIFE SAFETY PLANS

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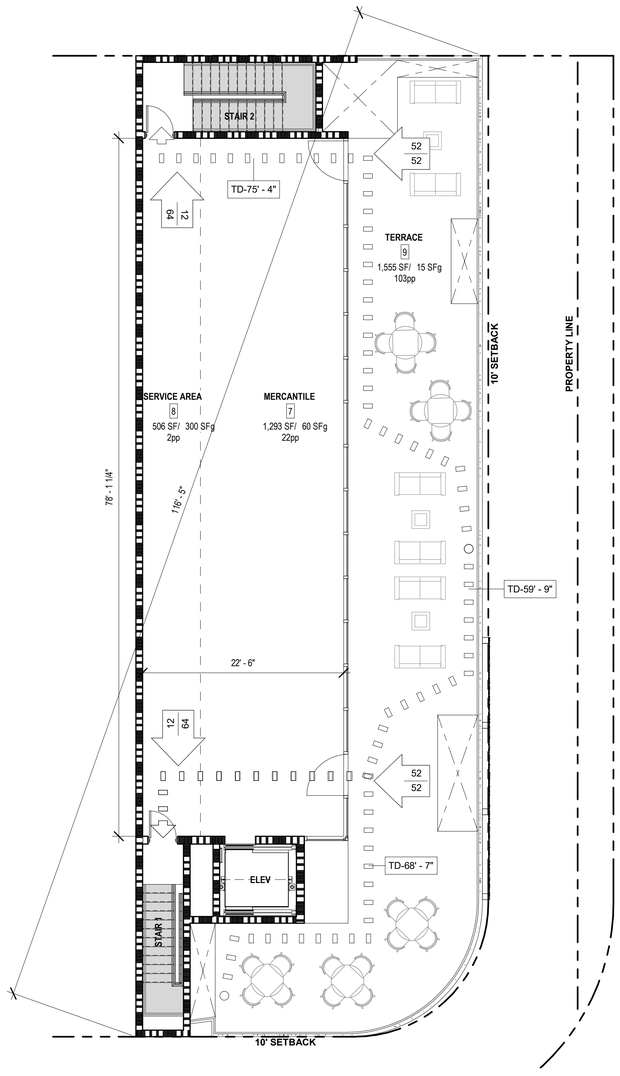
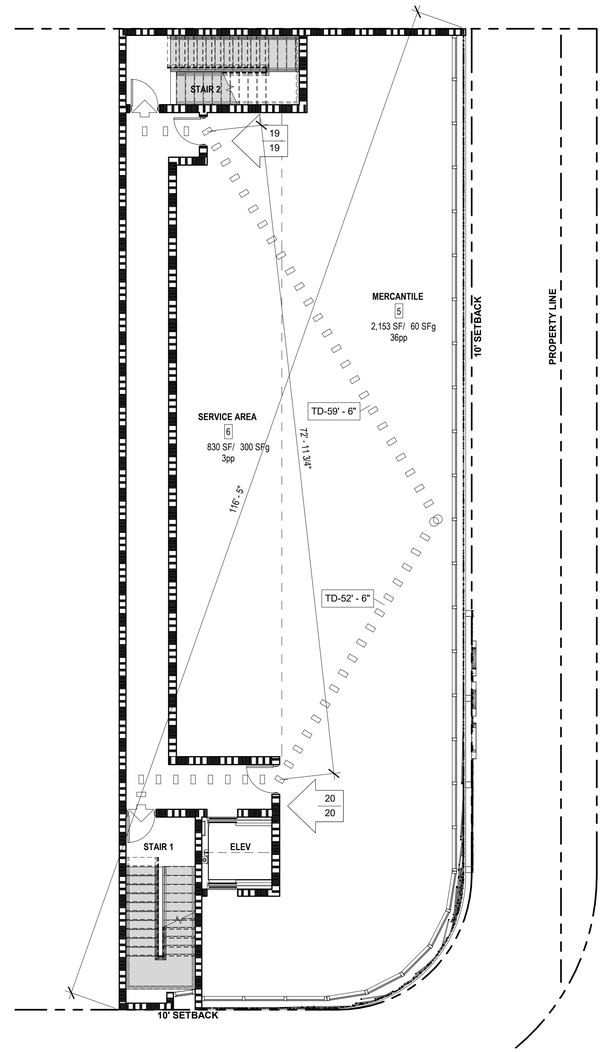
LS-100

Scale: As indicated



2 LEVEL 3 LIFE SAFETY PLAN
1/8" = 1'-0"



1 LEVEL 2 LIFE SAFETY PLAN
1/8" = 1'-0"

TABLE 1017.2
EXIT ACCESS TRAVEL DISTANCE[a]

OCCUPANCY	WITHOUT SPRINKLER SYSTEM (feet)	WITH SPRINKLER SYSTEM (feet)
A, E, F-1, M, R	200	250[b]
I-1	Not Permitted	250[b]
B	200	300[c]
F-2, S-2, U	300	400[c]
H-1	Not Permitted	75[d]
H-2	Not Permitted	100[d]
H-3	Not Permitted	150[d]
H-4	Not Permitted	175[d]
H-5	Not Permitted	200[c]
I-2, I-3, I-4	Not Permitted	200[c]
S-1	200	400[b]

TRAVEL DISTANCE, DEAD END LENGTH, EXIT AND MEANS OF EGRESS WIDTH
(NFPA 2012 TABLE A.7.6) (FBC 2017 TABLE 1016.1)

OCCUPANCY CLASSIFICATION	MAXIMUM TRAVEL DIST. TO EXIT (ft)		MAXIMUM DEAD END CORRIDOR LENGTH (ft)	MAXIMUM COMMON PATH (ft)	EGRESS WIDTH PER PERSON SERVED (in)		MINIMUM CORRIDOR/ AISLE WIDTH (in)	MINIMUM CLEAR OP'G OF EXIT DOORS (in)	MINIMUM STAIR WIDTH (in)
	UNSPRK.	SPRK.			LEVEL	STAIRS			
MERCANTILE	200	300	50	100	0.2	0.3	44	32	44

FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS (HOURS)
(FROM TABLE 601)

BUILDING ELEMENT	TYPE I	
	A	B
NONBERING WALLS PARTITIONS INTERIOR*	0	0

*Not less than the fire-resistance rating required by other sections of the code. See plan for specific fire rating requirement for this job.

USE CLASIFICATION (NFPA A.6.1.10.1)
EXISTING NONE
PROPOSED MERCANTILE

LOAD CAPACITY CALCS

Number	ROOM NAME	Area	AREA P/PERSON	LOAD CAPACITY	Level
3	MERCANTILE	2,308 SF	60 SF	39	GROUND FLOOR
4	SERVICE AREA	898 SF	300 SF	3	GROUND FLOOR
GROUND FLOOR				42	
5	MERCANTILE	2,153 SF	60 SF	36	LEVEL 2
6	SERVICE AREA	830 SF	300 SF	3	LEVEL 2
LEVEL 2				39	
7	MERCANTILE	1,293 SF	60 SF	22	LEVEL 3
8	SERVICE AREA	506 SF	300 SF	2	LEVEL 3
9	TERRACE	1,555 SF	15 SF	103	LEVEL 3
LEVEL 3				127	

LIFE SAFETY LEGEND

- 00 / 00 — NUMBER OF OCCUPANTS IN THIS ROOM; DIRECTION OF REQUIRED EGRESS; CUMULATIVE NUMBER OF OCCUPANTS ALONG THIS REQUIRED PATH OF EGRESS
- EXIT SIGN
- 1 HOUR FIRE RATED PARTITION
- 2 HOUR FIRE RATED PARTITION
- 3 HOUR RATED PARTITION
- PH — DOOR EQUIPPED WITH PANIC HARDWARE
- B — 1 1/2" HOUR RATED DOOR
- C — 45" MINUTE RATED DOOR
- 20 — 20 MINUTE RATED DOOR
- L — STROBE - BOTTOM OF DEVICE MOUNTED AT 80" AFF
- F — FIRE ALARM PULL STATION - CENTER OF DEVICE MOUNTED AT 48" AFF
- FIRE ALARM SPEAKER/STROBE - BOTTOM OF DEVICE MOUNTED AT 80"
- FE — EXISTING RECESSED WALL MOUNTED ABC TYPE 2A FIRE EXTINGUISHER INSTALLED AT 48" AFF
- FE — EXISTING WALL MOUNTED ABC TYPE 2A FIRE EXTINGUISHER INSTALLED AT 48" AFF
- EEL — EXISTING EMERGENCY LIGHT

OSCAR POSADA ARCHITECT

SITE PLAN SET

PROJECT NAME:
690 S DIXIE HWY

PROJECT ADDRESS:
690 S DIXIE HWY, HALLANDALE BEACH, FL 33009

OWNER NAME:
690 SW DIXIE HWY LLC

OWNER ADDRESS:
420 S DIXIE HWY, HALLANDALE BEACH, FL 33009

ARCHITECT
OSCAR POSADA ARCHITECT INC
2103 CORAL WAY, 2ND FLOOR
MIAMI, FL 33145
PH 786 488 0571
EMAIL: gs@gsarchmiami.com

CIVIL ENGINEER
WILFORD ZEPHYR, P.E., LEED AP, CFM
ZEPHYR ENGINEERING
5451 PIERCE ST.
HOLLYWOOD, FL 33021
786-302-7693
EMAIL: wilford@zephyrengineeringfl.com

LANDSCAPE ARCHITECT
DIEGO VANDERBIEST, PLA, ASLA
DIXIE LANDSCAPE
12950 NW 113TH CT.
MEDLEY, FL 33178
(305) 884-5700

OSCAR POSADA ARCHITECT
FL AR0016550

SEAL & SIGNATURE

REVISION LOG

No.	Description	Date

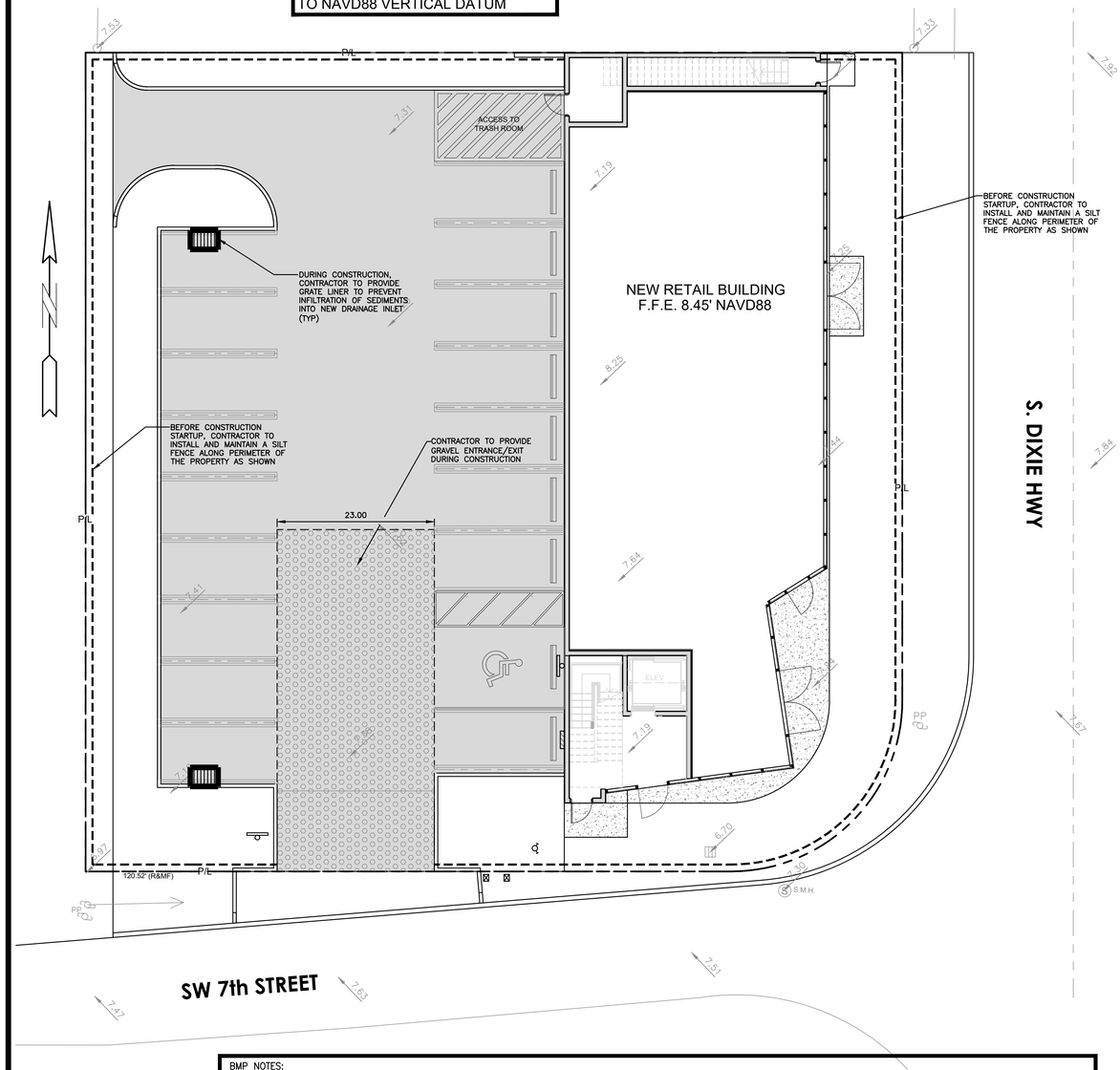
SITE PLAN SET
LIFE SAFETY PLANS

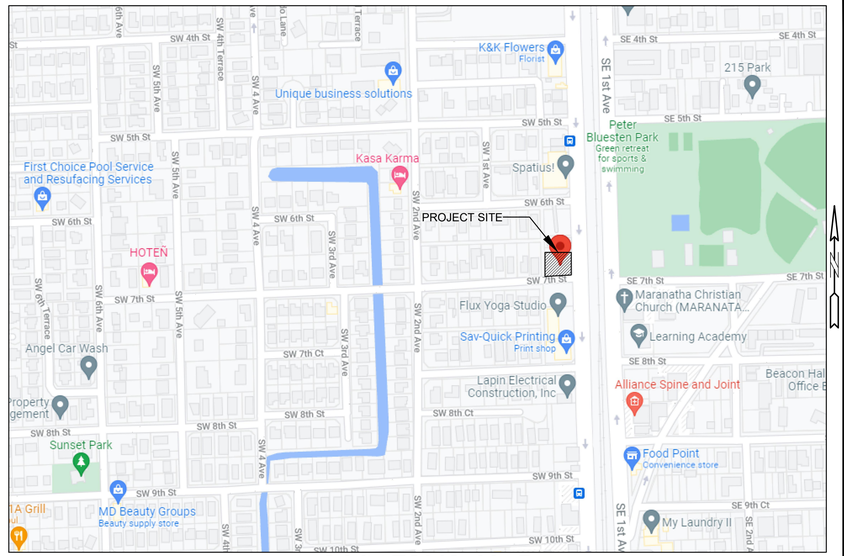
Project number	Project Number
Date	08/12/2022
Drawn by	Author
Checked by	Checker

LS-101

Scale: As indicated

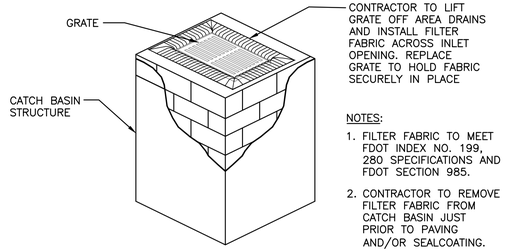
ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM





LOCATION MAP

NOT TO SCALE

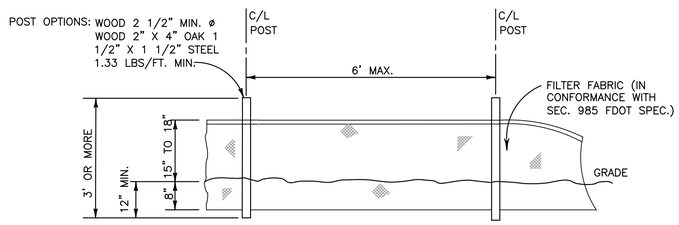


NOTES:

1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.

POLLUTION PREVENTION FOR CATCH BASIN

N.T.S.



TYPE III SILT FENCE

NTS

LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONC. WALKWAY
- 8.90 PROPOSED GRADE
- 4.97 EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- N PROPOSED BFP DEVICE
- S EXISTING SAN. SEWER MH
- PROPOSED FIRE HYDRANT

BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.

2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.

3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT–LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.

5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.

6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.

9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.

10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.

11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.

WILFORD ZEPHYR LICENSE No 76036 STATE OF FLORIDA PROFESSIONAL ENGINEER

8-31-22

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PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING
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HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#-31158

NEW RETAIL BUILDING
690 S. DIXIE HWY
HALLANDALE , FL

P.E.#:76036

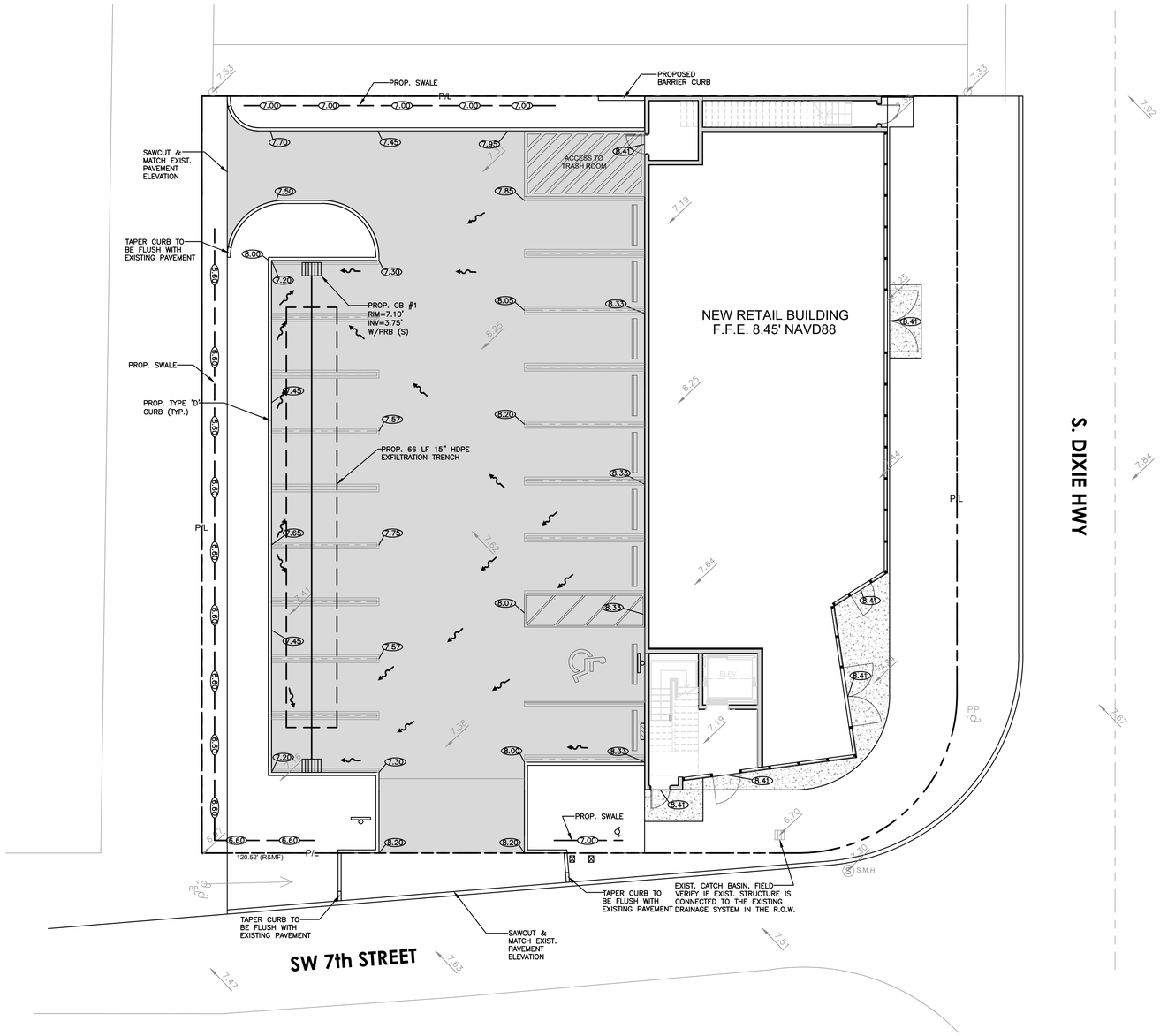
DATE: 1/10/22

SCALE: 1"=10'

SHEET NO.:
C-1
1 OF 6

PROJECT NO.: 21-91

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



NOTES:

1) CONTRACTOR MUST NOTIFY ZEPHYR ENGINEERING OF THE START OF CONSTRUCTION DATE PRIOR TO START OF CONSTRUCTION. ZEPHYR ENGINEERING WILL NOT CERTIFY ANY CONSTRUCTION THAT WAS NOT INSPECTED BY ZEPHYR ENGINEERING, OR ZEPHYR ENGINEERING'S AUTHORIZED REPRESENTATIVE.
2) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL EXISTING ELEVATIONS.
3) CONTRACTOR MUST COORDINATE PROPOSED IMPROVEMENTS SHOWN ON CIVIL PLANS WITH EXISTING SITE CONDITIONS & PROPOSED PLANS BY THE OTHER DESIGN PROFESSIONALS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ALSO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE WATER, SEWER & DRAINAGE PLANS THAT MAY CAUSE CONFLICTS PRIOR TO CONSTRUCTION. CONTACT ZEPHYR ENGINEERING IF DISCREPANCIES EXIST.
4) PRIOR TO CONSTRUCTION, CONTRACTOR RESPONSIBLE TO DOCUMENT EXISTING CONDITIONS ON AND AROUND THE PROJECT AREA, INCLUDING THE R.O.W. AND ADJACENT PROPERTIES. IT'S RECOMMENDED THAT CONTRACTOR TAKE PHOTOGRAPHS & VIDEOS TO CLEARLY DOCUMENT CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY OR AS A RESULT OF THE PROPOSED CONSTRUCTION.
5) ALL ROOF DRAINS MUST BE CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
6) CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS.
7) EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR'S RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE AWARE THAT THERE MAY BE SOME EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT SITE THAT MAY NOT BE SHOWN ON THE CIVIL PLANS, AND CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY THOSE UTILITIES AS WELL. CONTRACTOR RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES THAT CONFLICTS WITH PROPOSED CONSTRUCTION.

LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONC. WALKWAY
- 8.90 PROPOSED GRADE
- 4.97 EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- N PROPOSED BFP DEVICE
- S EXISTING SAN. SEWER MH
- PROPOSED FIRE HYDRANT

NOTES:
1. CONTRACTOR TO CONTACT ENGINEERING DEPARTMENT DURING CONSTRUCTION BEFORE POURING OF CONCRETE FOR FORMS & NPDES INSPECTIONS, AT 954-457-1397/457-3040.
2. ANY DAMAGE TO THE R.O.W. MUST BE RESTORED BY AND AT THE EXPENSE OF THE CONTRACTOR.

NOTE:
EXFILTRATION TRENCH PIPE MUST BE GRAY PIPE (TYP.)

PAVING, GRADING & DRAINAGE PLAN

SCALE: 1"=10'

WILFORD ZEPHYR LICENSE No 76036 STATE OF FLORIDA PROFESSIONAL ENGINEER

8-31-22

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REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#-31158

NEW RETAIL BUILDING
690 S. DIXIE HWY
HALLANDALE , FL

P.E.#:76036

DATE: 1/10/22

SCALE: 1"=10'

SHEET NO.: C-2
2 OF 6

PROJECT NO.: 21-91

ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM

GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETER-MINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:

   FLORIDA POWER & LIGHT CO., CONSTRUCTION
   BELLSOUTH
   COMCAST
   TECO
   LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
   FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
   UNDERGROUND UTILITIES NOIFICATION CENTER OF FLORIDA
   (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADIATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS –

    RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
    CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
    CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
    SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
    PVC = POLYVINYLCHLORIDE PIPE
    PCMP = PERFORATED CMP, FDOT SECTION 945
    DIP = DUCTILE IRON PIPE
    HDPE = HIGH DENSITY POLYETHYLENE PIPE.

15. ASPHALT –

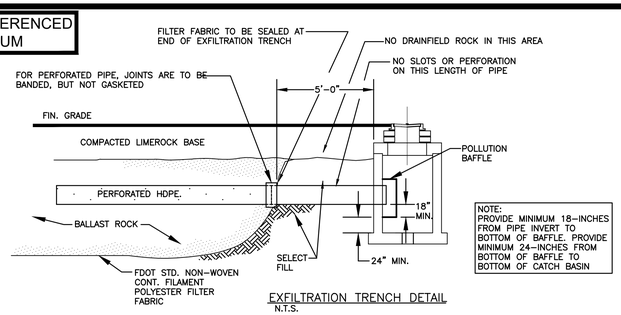
    BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.

    PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE – 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE – 0.02 TO 0.08 GALS/S.Y.

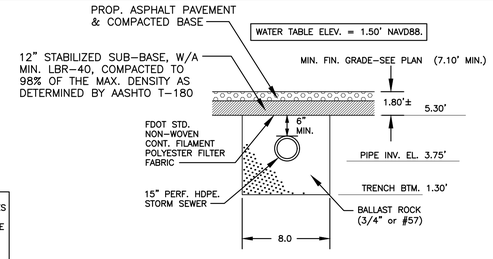
DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

PAVEMENT MARKING & SIGNING STANDARD NOTES :

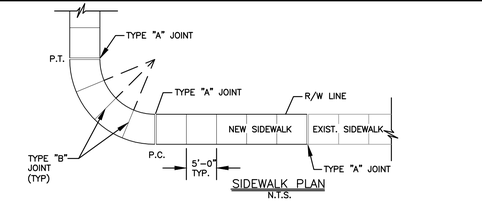
1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7', THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS INDICATED OTHERWISE)
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.



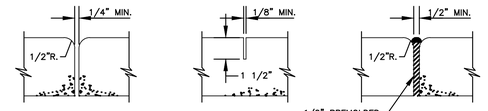
EXFILTRATION TRENCH DETAIL
N.T.S.



PROPOSED EXFILTR. TRENCH SECTION
N.T.S.



SIDEWALK PLAN
N.T.S.



TYPE – A (OPEN TYPE JOINTS)
TYPE – B (SAWED JOINTS)
TYPE – C (EXPANSION JOINTS)

SIDEWALK JOINTS
N.T.S.

TYPICAL SIDEWALK THICKNESS (T)

LOCATION :	"T"
PEDESTRIAN AREAS	4"
DRIVEWAYS & OTHER	6"

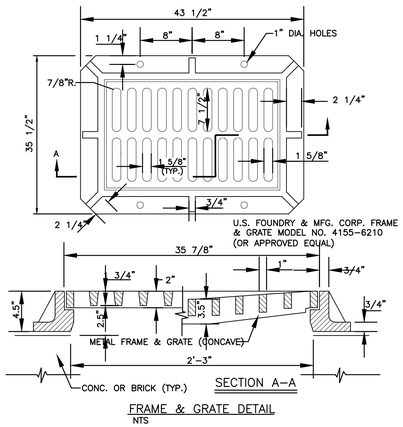
TABLE OF SIDEWALK JOINTS

TYPE	LOCATION :
"A"	P.C. & P.T. OF CURVES & TIE-IN JUNCTION OF EXIST. TO NEW SIDEWALKS.
"B"	5'-0" O.C. ON SIDEWALKS.
"C"	* WHERE SIDEWALK ABUTS CONC. CURBS & DRIVEWAYS OR SIMILIAR STRUCTURES. EXPANSION JOINTS EVERY 50' O.C.

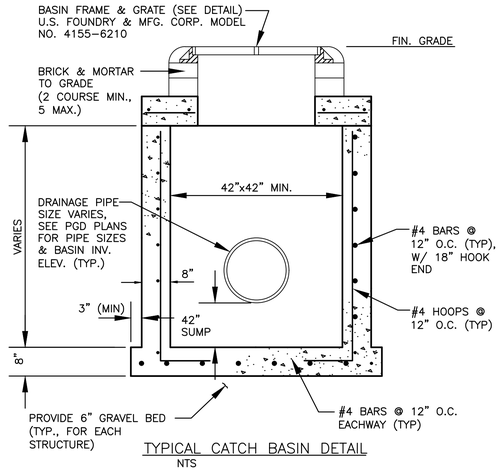
* INSTALLED AT THE DISCRETION OF THE ENGINEER

NOTES:
1. EXPANSION JOINTS EVERY 50' O.C.
2. CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK
3. 8" THK. SIDEWALK ACROSS DRIVEWAYS

SIDEWALK DETAIL
NTS

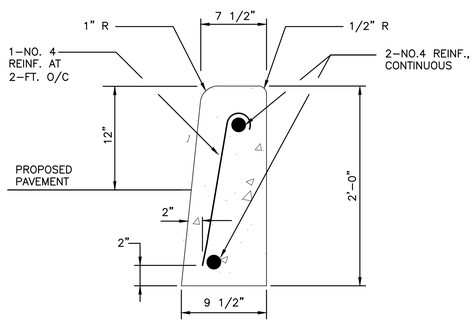


FRAME & GRATE DETAIL
NTS

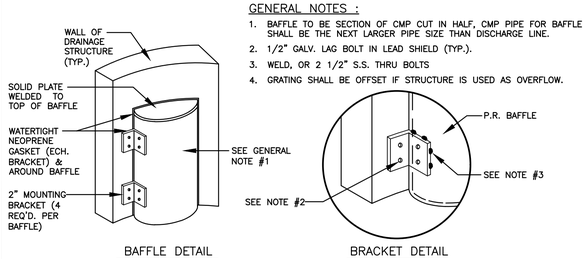


TYPICAL CATCH BASIN DETAIL
NTS

TYPE "D" CONCRETE CURB DETAIL
NTS



BARRIER CURB
NTS



BAFFLE DETAIL

BRACKET DETAIL

GENERAL NOTES :

1. BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
3. WELD, OR 2 1/2" S.S. THRU BOLTS
4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.

POLLUTION RETARDANT BAFFLE DETAIL
NTS

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WILFORD ZEPHYR LICENSE No 76036 STATE OF FLORIDA PROFESSIONAL ENGINEER
8-31-22

CIVIL DETAILS
SCALE: N.T.S.

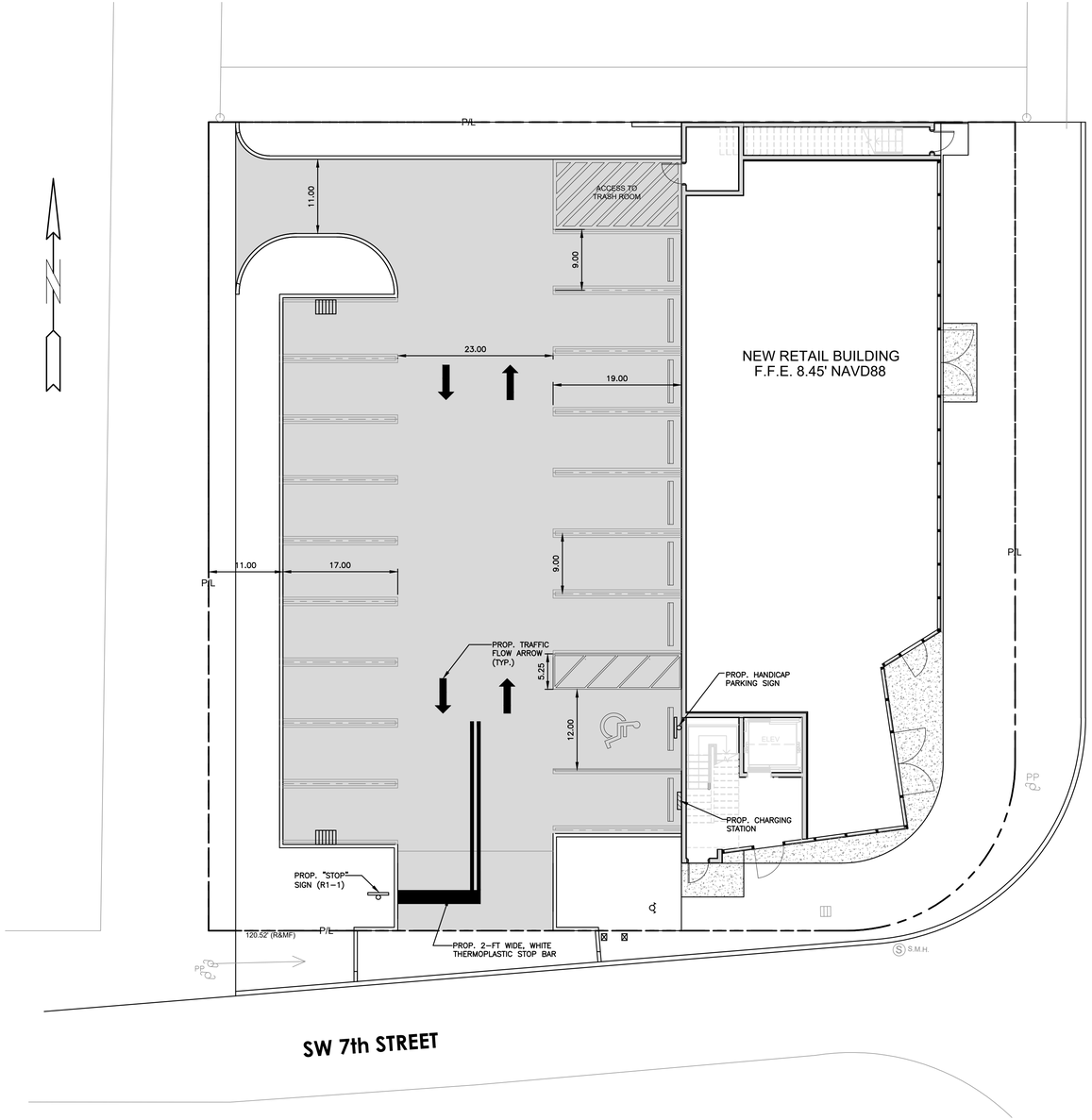
REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#-31158

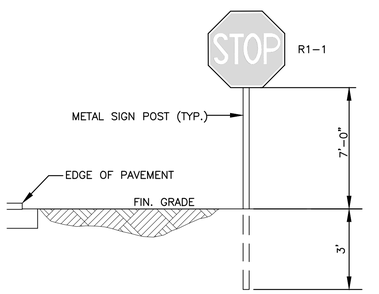
NEW RETAIL BUILDING
690 S. DIXIE HWY
HALLANDALE , FL

P.E.#:76036
DATE: 1/10/22
SCALE: N.T.S.
SHEET NO.: C-3
3 OF 6
PROJECT NO.: 21-91



LEGEND

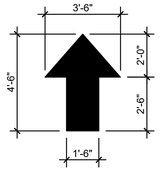
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONC. WALKWAY
- 8.90 PROPOSED GRADE
- 4.97' EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- N PROPOSED BFP DEVICE
- S EXISTING SAN. SEWER MH
- PROPOSED FIRE HYDRANT



TYPICAL SIGN INSTALLATION DETAIL
NTS

TRAFFIC CONTROL ARROWS: DIRECTIONAL ARROWS PAINTED ON CONCRETE - SEE LOCATIONS THIS SHEET.

PAINT FOR ARROWS: PROVIDE A MINIMUM OF 2-COATS OF D.O.T. APPROVED PAINT - UTILIZE "YELLOW" COLORED PAINT ON CONCRETE.



TRAFFIC CONTROL ARROWS DETAILS
N.T.S

8-31-22

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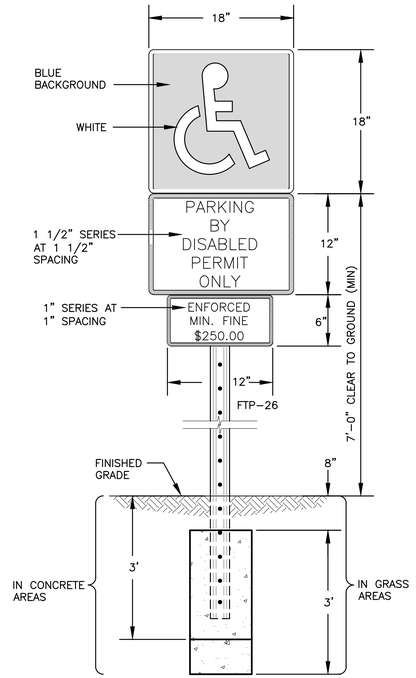
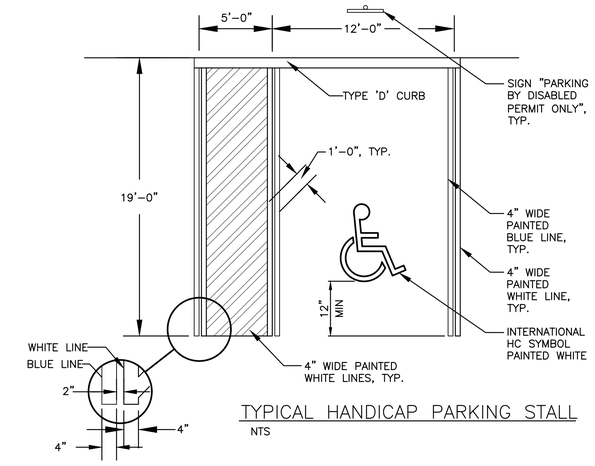


FTP-26 HANDICAP PARKING SIGN WITH SUPPLEMENTAL 12" x 6" "MINIMUM FINE $250.00" SIGN

NOTES:
1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP PARKING STALL, WHERE APPLICABLE.

HANDICAP PARKING SIGN DETAIL
NTS



TYPICAL HANDICAP PARKING STALL
NTS

PAVEMENT MARKINGS & SIGNAGE PLAN

SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#-31158

NEW RETAIL BUILDING
690 S. DIXIE HWY
HALLANDALE , FL

P.E.#:76036

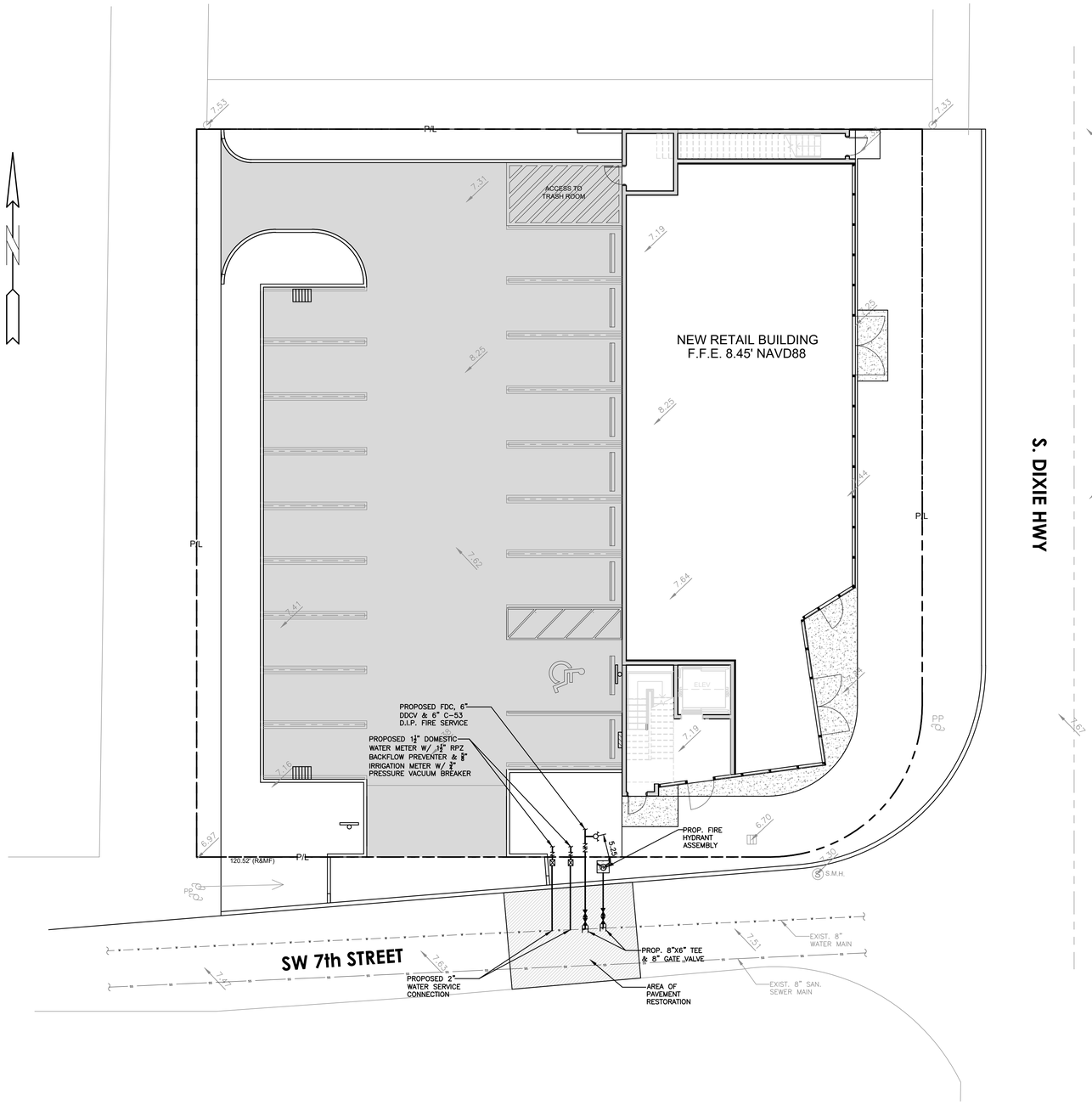
DATE: 1/10/22

SCALE: 1"=10'

SHEET NO.: C-4
4 OF 6

PROJECT NO.: 21-91

ALL ELEVATIONS ARE REFERENCED
TO NAVD88 VERTICAL DATUM



LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONC. WALKWAY
- 8.90 PROPOSED GRADE
- 4.97 EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- N PROPOSED BFP DEVICE
- S EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT

WILFORD ZEPHYR
LICENSE
No 76036
STATE OF FLORIDA
PROFESSIONAL ENGINEER

8-31-22

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WATER & SEWER PLAN

SCALE: 1"=10'

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#-31158

NEW RETAIL BUILDING
690 S. DIXIE HWY
HALLANDALE , FL

P.E.#:76036

DATE: 1/10/22

SCALE: 1"=10'

SHEET NO.:
C-5
5 OF 6

PROJECT NO.: 21-91

UTILITIES DETAILS

SCALE: N.T.S.

BROWARD COUNTY PUBLIC WORKS DEPARTMENT — WATER & WASTEWATER SERVICES ENGINEERING DIVISION, 2555 WEST COPANS ROAD, POMPANO BEACH, FL 33069, PHONE NO. 954-831-0745, FAX: 954-831-0925 — STANDARD DETAIL

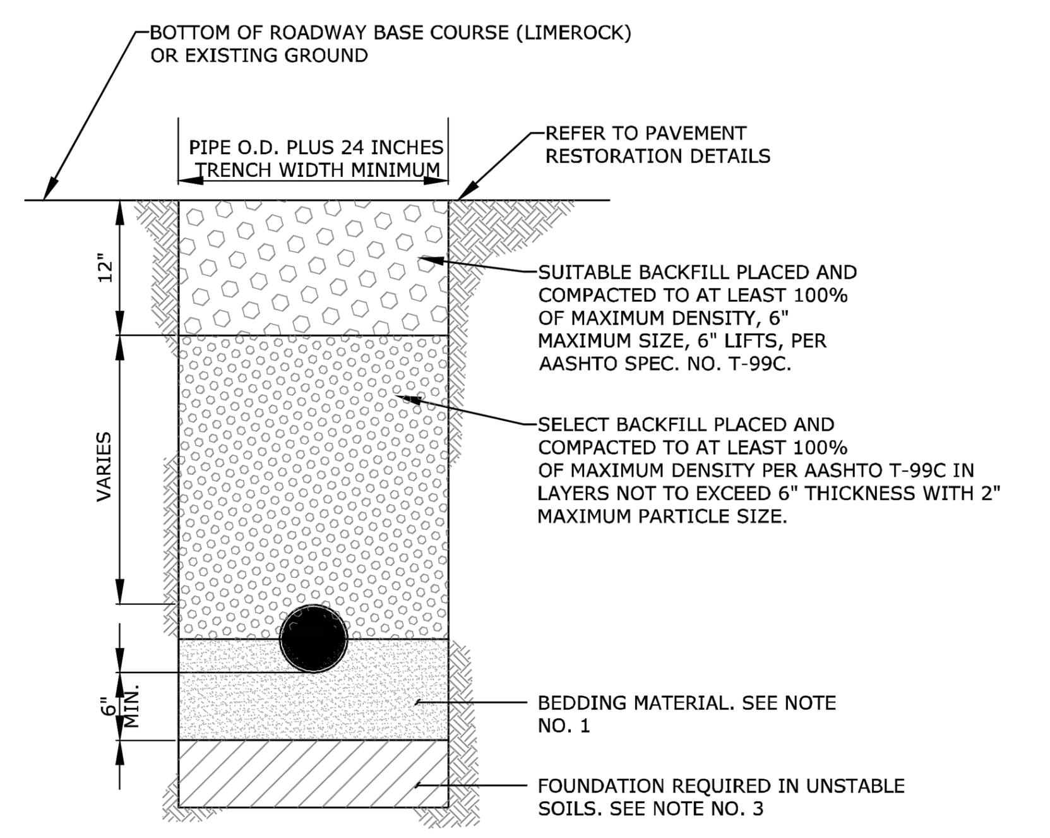
FIGURE 101 — UTILITY LOCATES

811 Know what's below. Call before you dig.

1. PRIOR TO BEGINNING ANY WORK, CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES THAT HAVE FACILITIES WITHIN THE PROJECT AREA.
2. THE ABOVE NOTICE SHALL APPEAR ON THE COVER SHEET OF ALL CONSTRUCTION PLANS SUBMITTED TO THE COUNTY.

REPLACES FORMER DWG NO.101	UTILITY LOCATES	FIGURE 101
REVISED 5/14/2018		

FIGURE 180 — TYPICAL TRENCH BACKFILL

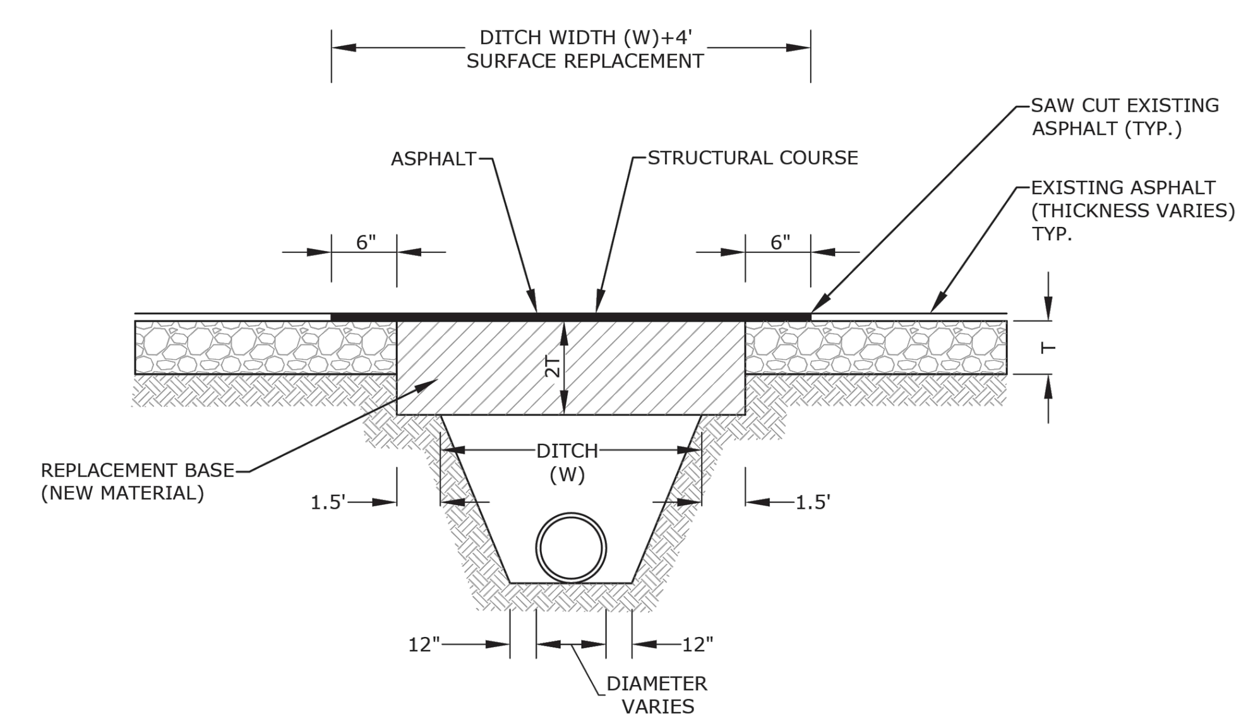


NOTES:

1. UNLESS OTHERWISE SPECIFIED, BEDDING MATERIAL SHALL CONSIST OF SELECT BACKFILL MATERIAL 2" MAXIMUM PARTICLE SIZE, COMPACTED TO AT LEAST 100% OF MAX. DENSITY, 6" LIFTS, PER AASHTO SPEC. NO. T-99C.
2. WHERE REQUIRED, SHEETING AND SHORING SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS.
3. WHERE UNSTABLE SOILS ARE ENCOUNTERED, INCLUDING PEAT, MUCK OR OTHER ORGANIC SOILS, ELASTIC SILT AND CLAYS, A FOUNDATION IS REQUIRED AS DETERMINED BY THE ENGINEER OF RECORD.

REPLACES FORMER DWG NO.180	TYPICAL TRENCH BACKFILL	FIGURE 180
REVISED 5/14/2018		

FIGURE 183 — RESTORATION OF ROADWAY CUT FOR PERPENDICULAR UTILITY INSTALLATION



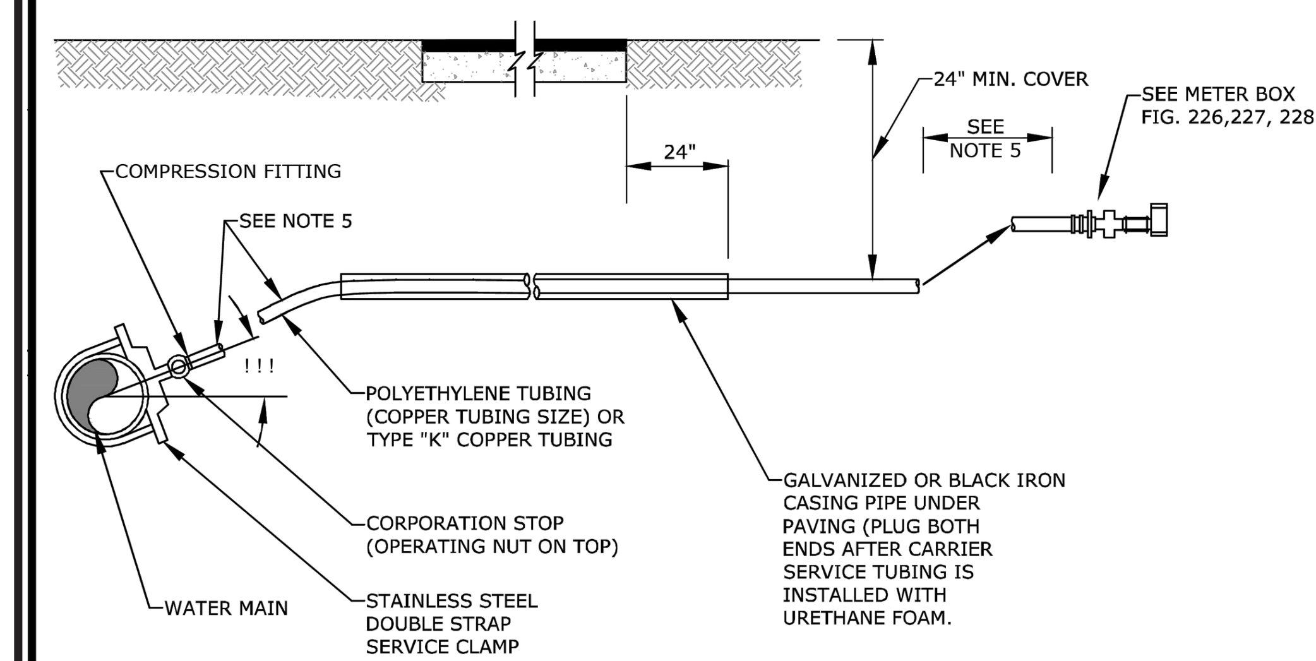
NOTES:

1. BASE MATERIAL OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL.
2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM LAYERS (LOOSE MEASUREMENT) AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAW CUT.
4. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE SURROUNDING SURFACE MATERIAL.
5. BASE MATERIAL SHALL HAVE A MINIMUM CARBONATE OF 70%.
6. SUB GRADE MATERIAL SHALL BE GRANULAR AND ANGULAR AND SHALL HAVE A MINIMUM LBR OF 40.
7. IF THE DITCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" THICK ASPHALT CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING, UNTIL REPLACED WITH A PERMANENT PATCH.
8. FOR STATE ROADS REFER TO FDOT SPECIFICATIONS AND REQUIREMENTS.

T = EXISTING LIMEROCK BASE THICKNESS.

REPLACES FORMER DWG NO.19B	RESTORATION OF ROADWAY CUT FOR PERPENDICULAR UTILITY INSTALLATION	FIGURE 183
REVISED 5/14/2018		

FIGURE 221 — TYPE 1 WATER SERVICE CONNECTION



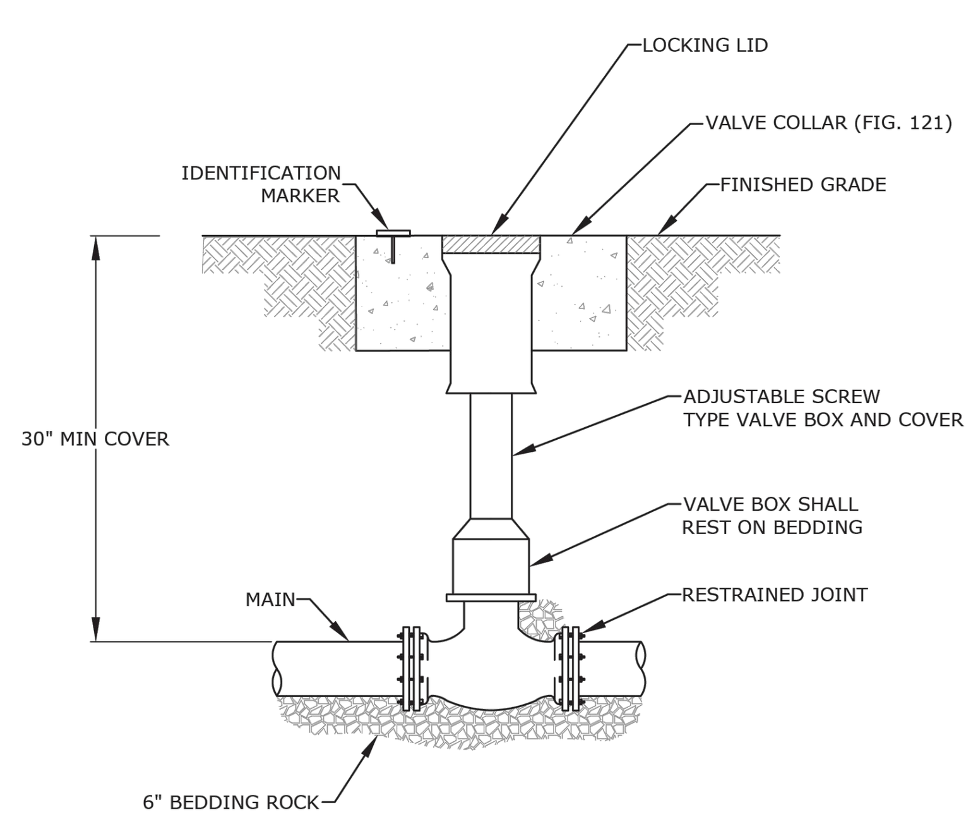
NOTES:

1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER. NO TAPS SHALL BE CLOSER THAN 18" TO A JOINT.
2. 1" SERVICE REQUIRE A 2" MINIMUM INSIDE DIAMETER CASING PIPE.
3. 2" SERVICE REQUIRE A 3" MINIMUM INSIDE DIAMETER CASING PIPE.
4. ALL CASING PIPE SHALL EXTEND A MINIMUM OF 2' BEYOND THE EDGE OF PAVED STREETS.
5. FOR 1" SERVICE LINES THE MINIMUM RADIUS SHALL BE 14". FOR 2" SERVICE LINES THE MINIMUM RADIUS SHALL BE 21".
6. ALL CASING PIPE ENDS SHALL BE FILED SMOOTH WITH NO BURRS AND SEALED WITH URETHANE FOAM.
7. THE POLYETHYLENE OR COPPER TUBING SHALL BE ONE CONTINUOUS PIECE FROM THE CORPORATION STOP TO THE CHECK VALVE. NO JOINTS WILL BE PERMITTED BETWEEN THESE POINTS.

THIS DETAIL APPLIES ONLY TO RESIDENTIAL ROADS WITH LESS THAN 70' R.O.W. (NO MEDIAN) OR WITHIN EASEMENTS

REPLACES FORMER DWG NO.1A	TYPE 1 WATER SERVICE CONNECTION	FIGURE 221
REVISED 5/14/2018		

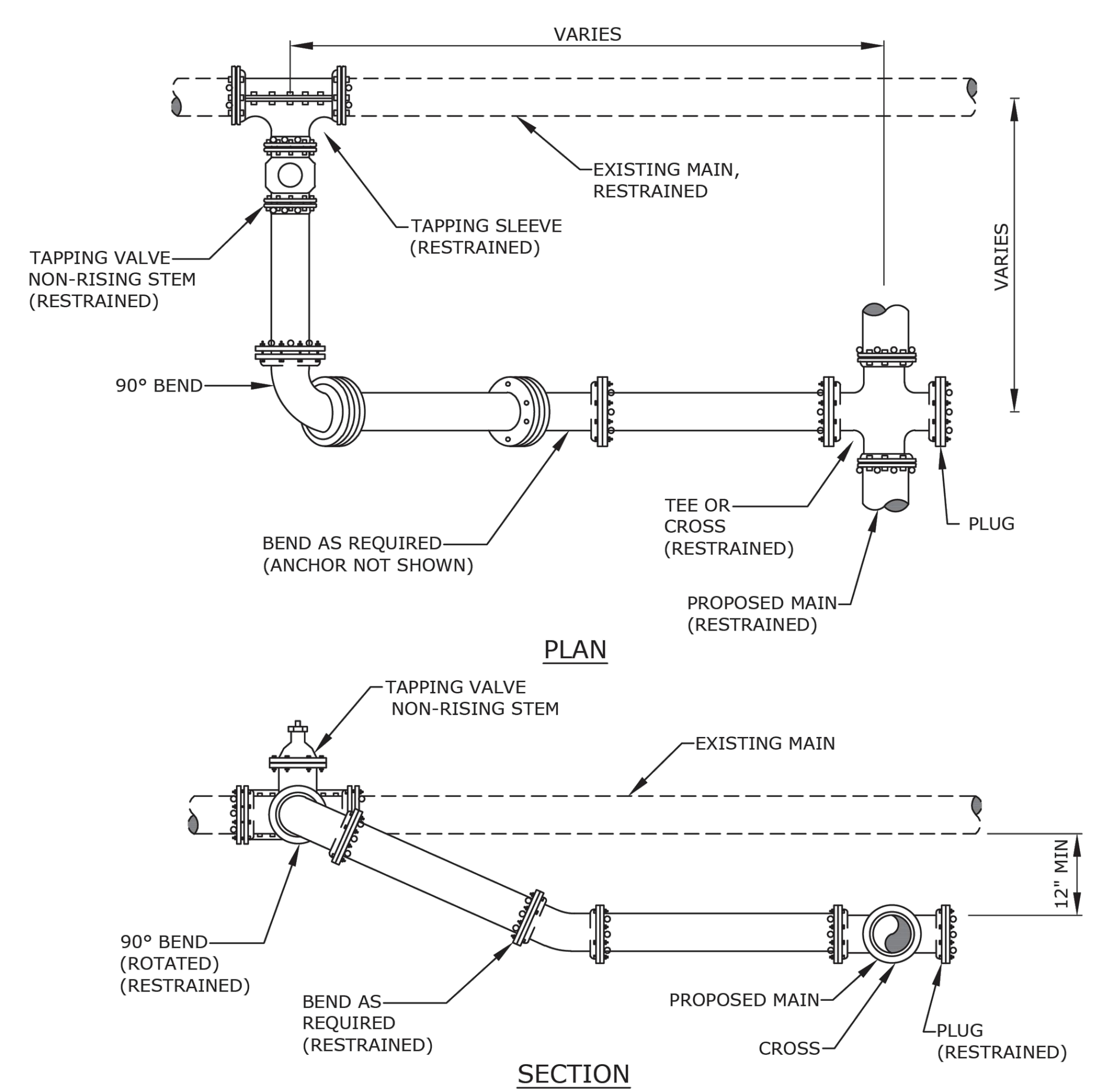
FIGURE 123 — VALVE BOX DETAIL



1. WHEN VALVE IS NOT LOCATED IN PAVEMENT, PLACE A WHITE REFLECTIVE RAISED PAVEMENT MARKER IN THE DRIVE LANE, ADJACENT TO THE VALVE.
2. OPERATOR EXTENSION SHAFT SHALL BE PROVIDED WHEN OPERATING NUT IS MORE THAN 24" BELOW TOP OF VALVE BOX.
3. PVC PIPE OR DUCTILE IRON PIPE IS NOT ACCEPTABLE FOR VALVE BOX RISER.

REPLACES FORMER DWG NO.123	VALVE BOX DETAIL	FIGURE 123
REVISED 5/14/2018		

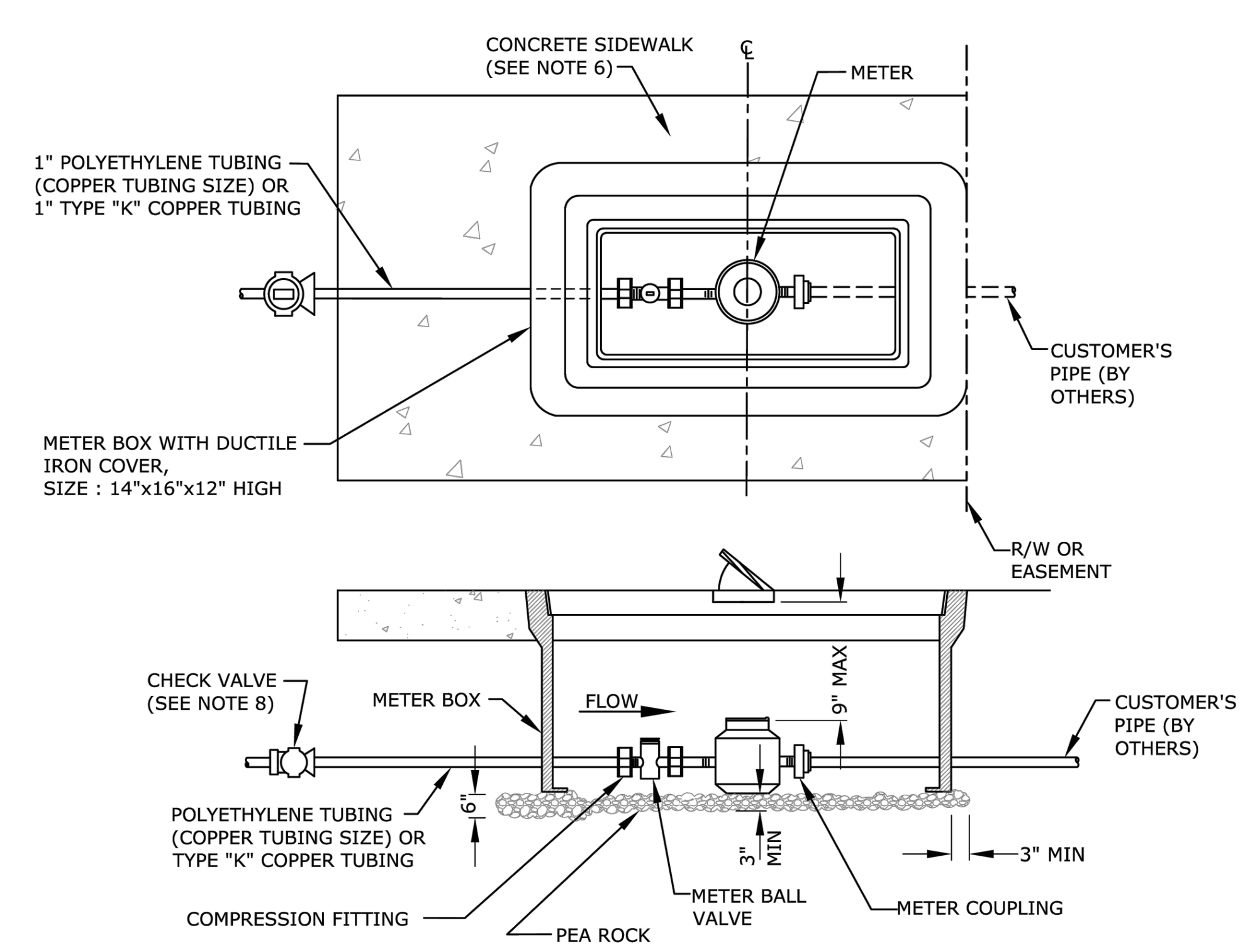
FIGURE 131 — TYPICAL CONNECTION TO EXISTING MAIN



ALL JOINTS TO BE RESTRAINED BY APPROVED METHODS.

REPLACES FORMER DWG NO.131	TYPICAL CONNECTION TO EXISTING MAIN	FIGURE 131
REVISED 5/14/2018		

FIGURE 226 — WATER METER INSTALLATION FOR 5/8" AND 1" METERS

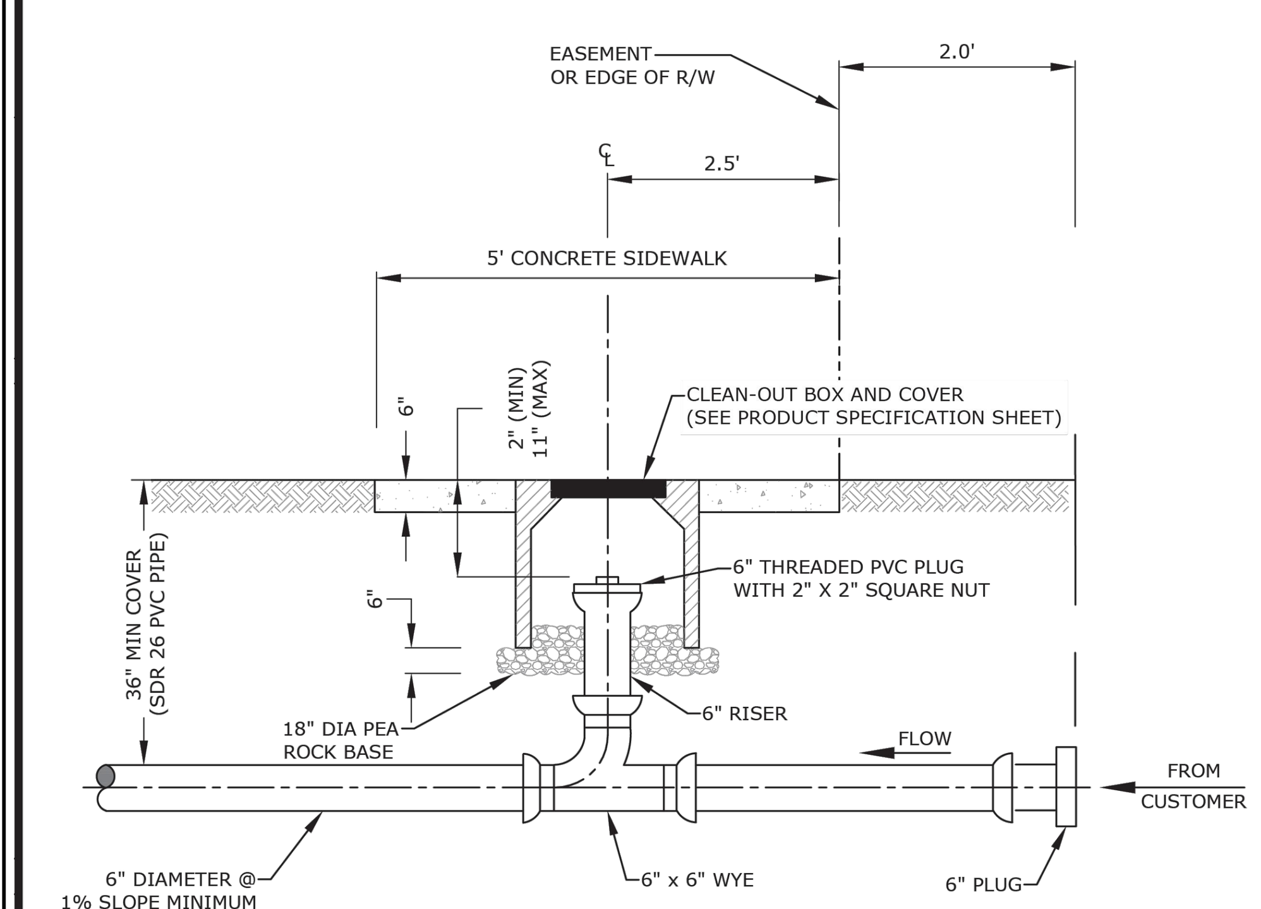


1. ALL STRUCTURES TO BE TRAFFIC BEARING TYPE.
2. R/W LINE OR EASEMENT LINE IS THE CUSTOMER'S SIDE OF METER BOX.
3. WWS RESPONSIBILITY ENDS AT THE CUSTOMER'S SIDE OF METER.
4. CURVE IN SERVICE LINE SHALL BE AS CLOSE TO METER BOX AS PRACTICAL, WITH A MINIMUM RADIUS SHALL BE 14" FOR 1" TUBING.
5. ALL METERS WILL BE SUPPLIED AND INSTALLED BY WWS. METER HAS IRON PIPE THREAD MALE CONNECTION ON EACH END.
6. WHEN SIDEWALKS ARE PRESENT, OR PLANNED FOR IN THE R/W, THE BACK EDGE OF THE METER BOX SHALL LINE UP WITH THE BACK EDGE OF THE SIDEWALK.
7. METER SHALL BE CENTERED IN BOX DIRECTLY UNDER THE ACCESS LID.
8. THE CHECK VALVE IS TO BE INSTALLED 5 FEET BEFORE THE METER BALL VALVE.
9. WHEN THERE ARE NO SIDEWALKS, CONSTRUCT 6" WIDE x 6" THICK CONCRETE COLLAR AT GRADE.

METER SIZE	LAYING LENGTH (IN)	HEIGHT (IN)
5/8"	7.5	4.56
1"	10.75	5.75

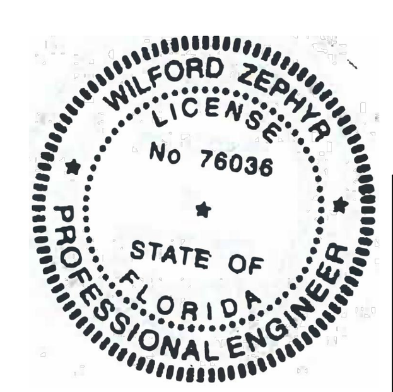
REPLACES FORMER DWG NO.3A	WATER METER INSTALLATION FOR 5/8" AND 1" METERS	FIGURE 226
REVISED 2/23/2011		

FIGURE 341 — SEWER SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE PROFILE



1. THE CLEAN OUT SHALL BE INSTALLED IN THE MIDDLE OF THE SIDEWALK. THIS DIMENSION WILL VARY DEPENDING UPON THE WIDTH OF THE SIDEWALK. 2.5' APPLIES TO 5' SIDEWALK WIDTH. IF SIDEWALKS DO NOT EXIST, THE CLEAN OUT SHALL BE INSTALLED 2.5' FROM THE RIGHT OF WAY LINE.
2. A NEW SECTION OF SIDEWALK SHALL BE POURED AROUND THE CLEAN-OUT BOX WHEN WORKING IN AN AREA WITH EXISTING SIDEWALKS.
3. IN GRASS AREA USE 24"x24" OR 24" DIAMETER CONCRETE COLLAR.

REPLACES FORMER DWG NO.4A	SEWER SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE PROFILE	FIGURE 341
REVISED 5/14/2018		



8-31-22

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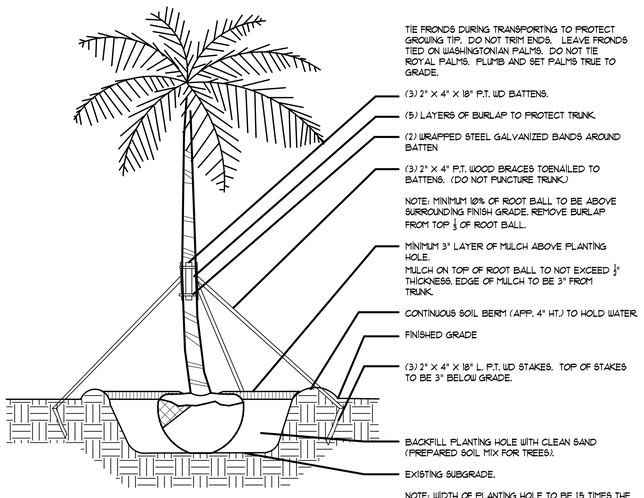
REVISIONS

NO.	DATE	DESCRIPTION

ZE
ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
HOLLYWOOD, FL
(786)302-7693
wzephyreng@gmail.com
CA#: 31158

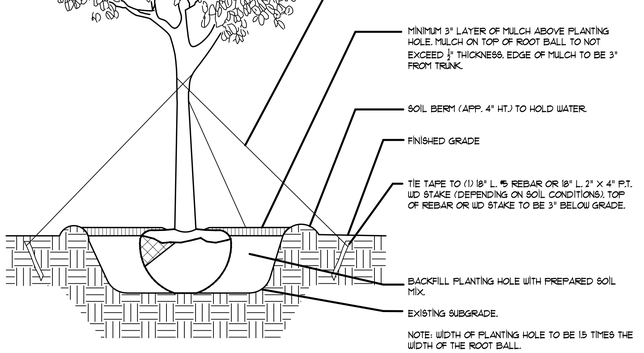
NEW RETAIL BUILDING
690 S. DIXIE HWY
HALLANDALE , FL

P.E.#:76036
DATE: 1/10/22
SCALE: N.T.S.
SHEET NO.: C-6
6 OF 6
PROJECT NO.: 21-91



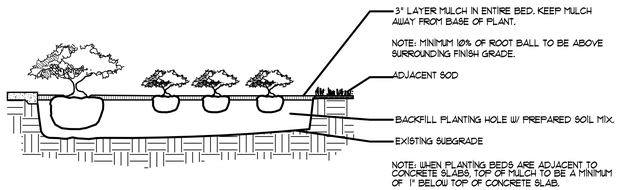
PALM PLANTING DETAIL N.T.S.

LARGE TREE PLANTING DETAIL SIMILAR



TREE PLANTING DETAIL N.T.S.

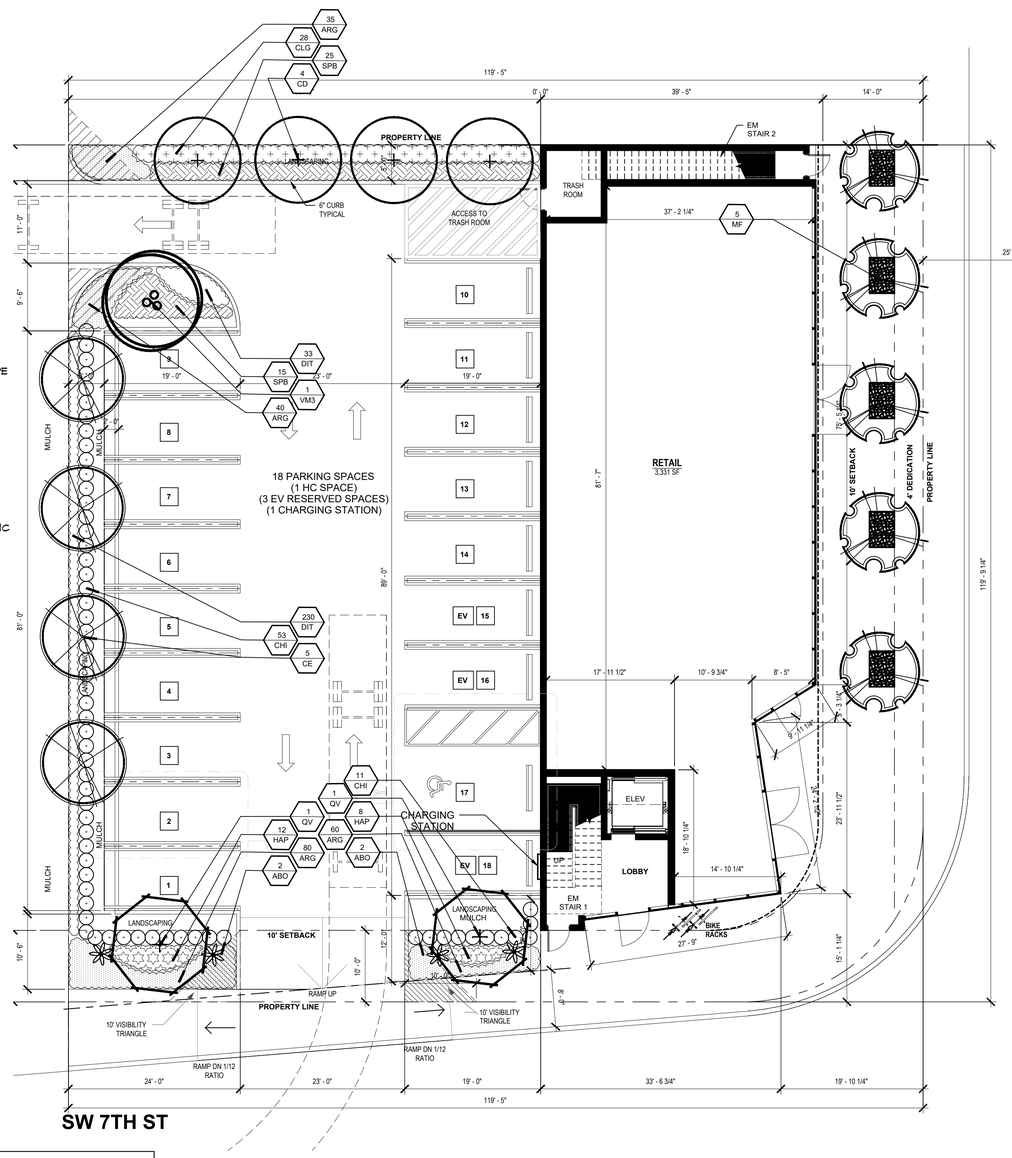
TREES WITH 3" CALIPER OR LESS



SHRUB/GROUND COVER DETAIL N.T.S.

PLANT NOTES

1. ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS± PARTS I AND II, 2ND EDITION: FEBRUARY 1998, RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL (SEE PALM/ TREE PLANTING DETAIL).
3. ALLTREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING IN TRUNKS PERMITTED.
4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
5. ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
6. ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
7. LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE ONES OUN QUANTITY COUNTS(PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST). LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
8. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDER-GROUND UTILITIES PRIOR TO DIGGING.
9. NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
10. ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.



PLANTLIST				
TREES & PALMS				
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
5	CE*	Cococarpus erectus	Green Buttonwood	12' ht
4	CD*	Clusia diversofolia	Pigeon Plum	10' ht
5	MF*	Mycrianthes fragrans	Simpsons Stopper	10' ht
2	QV*	Quercus virginiana	Live Oak	12' ht
1	VM3	Veitchia Montgomeryana	Montgomery Palm	10' oa ht, Triple
SHRUBS AND GRASSES				
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
64	CHI*	Chrysobalanus icaco	Cocoplum	3 gal
28	CLG	Clusia guttifera	Small Leaf Clusia	7 gal
263	DIT	Dianella tasmanica	Variegated Flax Lily	3 gal
20	HAP*	Hamelia patens	Dwarf Firebush	3 gal
40	SPB*	Spartina bakeri	Sandcord Grass	3 gal
GROUND COVERS AND ACCENTS				
QTY	KEY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
4	ABO	Aechmea blanchetiana 'orange'	Orange Bromeliad	3 gal
215	ARG	Arachis glabrata	Perennial Peanut	1 gal
Note: * denotes native species.				

REVISIONS
10/25/21 SITE PLAN CHANGE
08/1/22 SITE PLAN CHANGE
08/17/22 SITE PLAN CHANGE

LICENSED PROFESSIONAL
DIEGO J. VANDERBIEST, R.L.A.
FLORIDA NO. 6667355
DATE:

LANDSCAPE PLAN

690 S DIXIE HWY
690 S DIXIE HWY
HALLANDALE BEACH, FLORIDA

DIXIE LANDSCAPE
12950 Northwest 113 Ct.
Miami, FL 33178
P. 305-884-5700 F. 305-884-8843

Date 12/28/21
Scale 1"=10'-0"
Drawn AS
Check DV
Sheet LA1
Of Sheets

Tree Disposition					
No	Botanical Name	Common Name	DBH (in)	HT (ft.)	SPR (ft.)
1	Ficus aurea	Strangler Fig	31"	60'	70'
2	Cupaniopsis anacardioides	Carrotwood	1.6"	8'	7'

REVISIONS

LICENSED PROFESSIONAL

DIEGO J. VANDERBIEST, RLA
FLORIDA NO. 6667355
DATE:

TREE SURVEY

690 S DIXIE HIGHWAY
690 S DIXIE HIGHWAY
HALLENDALE BEACH, FLORIDA

DIXIE LANDSCAPE
12950 Northwest 113 Ct.
Miami, FL 33178
P. 305-884-5700 F. 305-884-8843

Date 7/22/21

Scale 1"=10'-0"

Drawn AS

Check DV

Sheet
TD1
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