

PROJECT:
APARTMENT UNIT BUILDING RENOVATION

SITE PLAN
SCALE: 1" = 10'-0"

ACB	BOL	ANCHOR BOLT	JT	JT	JOINT	DET	DETAIL	PC	PRECAST
ACD	AC	ACOUSTIC TILE CEILING	LA	LA	LENGTH, LONG (LAMINATED)	DF	DRINKING FOUNTAIN	PD	PAPER TAPOL DISPENSOR
ADJ	ADJ	ADJUSTABLE	LAM	LAM	LAMINATE	DI#	DIAMETER	PD	PRE-FINISHED
AFB	AFB	ABOVE FINISHED FLOOR	LAV	LAV	LAVATORY	DM	DIMENSION	PT	TOILET PAPER HOLDER
ALT	ALT	ALTERED	LP	LP	LOW POINT	DN	DOWN	PLB	PLUMBING
ALU	ALU	ALUMINUM	LVR	LVR	LOUVER	DS	DOWNSTAIR	PLB	PLUMBING
APP	APP	APPROXIMATE	MACH	MACH	MACHINE	DWG	DRAWING	PL	PLATE
ARCH	ARCH	ARCHITECTURAL	MAX	MAX	MAXIMUM	EACH	EACH	PLY	PLYWOOD
BUDG	BUDG	BUILDING	MID	MID	MID DIVIDER STRIP	EC	ELECTRICAL CONTRACTOR	PR	PAIR
BTM	BTM	BOTTOM	MCH	MCH	MECHANICAL	EM	EMERGENCY EYE WASH	PSF	POUNDS PER SQUARE FOOT
BS	BS	BEAM	MEN	MEN	MEN	EXP	EXPANSION JOINT	PSI	POUNDS PER SQUARE INCH
BT	BT	BASEPLATE	NET	NET	NET	ELEV	ELEVATION	PSI	PRESSURE (TREATED)
B.S.	B.S.	BOTH SIDES	MFG	MFG	MANUFACTURING	ELC	ELECTRICAL	PTN	PARTITION
CB	CB	CATCH BASIN	MFR	MFR	MANUFACTURER	EMER	EMERGENCY	QTY	QUANTITY
CC	CC	CONTROL JOINT	MNM	MNM	MINIMUM	EQ	EQUAL	Q	QUANTITY
CC	CC	CONTROL JOINT TO CENTER	MSC	MSC	MISCELLANEOUS	EQ	EQUAL	R	RISER, RADIUS
CE	CE	CEILING	M.L.P.	M.L.P.	METAL LINER PANEL	EQUIP	EQUIPMENT	R	RISER, RADIUS
CEM	CEM	CEMENT	MO	MO	MASONRY OPENING	EW	EACH WAY	REQ	REQUIRED
CL	CL	CL	MOR	MOR	MOTOR RECEPTOR	EW	ELECTRIC WATER COOLER	REF	REFERENCE
CLO	CLO	CEILING	MTO	MTO	(MOUNTED)	EXIST	EXISTING	REQ	REQUIRED
CLO	CLO	CEILING	MTO	MTO	(MOUNTED)	EXP	EXPANSION/EXPOSED	REV	REVISION
CMU	CMU	CONCRETE MASONRY UNIT	NIC	NIC	NOT IN CONTACT	EXT	EXTERIOR	REV	REVISION
COL	COL	COLUMN	NOM	NOM	NOMINAL	FD	FLOOR DRAIN	RO	ROUGH OPENING
COL	COL	COLUMN	NOM	NOM	NOT TO SCALE	FD	FOUNDATION	RO	ROUGH OPENING
CONC	CONC	CONCRETE	NO#	NO#	NUMBER	FE	FIRE EXTINGUISHER	SD	SANITARY
CONC	CONC	CONCRETE	NO#	NO#	NUMBER	FE	FIRE EXTINGUISHER CABINET	SD	SANITARY
CONT	CONT	CONTINUOUS	ON	ON	ON CENTER	FG	FINISH GRADE	SD	SOLID CORE WOOD
CONT	CONT	CONTINUOUS	ON	ON	ON CENTER	FG	FINISH GRADE	SD	SOLID CORE WOOD
CSJ	CSJ	CERAMIC TILE JOINT	OP	OP	OVERHEAD	FG	FINISH GRADE	SD	SOLID CORE WOOD
CSJ	CSJ	CERAMIC TILE JOINT	OP	OP	OVERHEAD	FG	FINISH GRADE	SD	SOLID CORE WOOD
DET	DET	DETAIL	P	P	P	FINISHING	FIN	SIM	SIMILAR
DET	DET	DETAIL	P	P	P	FINISHING	FIN	SIM	SIMILAR
FL/F	FL/F	FLOOR	SPEC	SPEC	SPECIFICATION	FLOOR	FLOOR	SPEC	SPECIFICATION
FOC	FOC	FACE OF CONCRETE	SS	SS	SERVICE SS/STAINLESS STEEL				
FOS	FOS	FACE OF FINISH VINYL	INTGR	INTGR	INTERGRAL FINISH VINYL				
FOS	FOS	FACE OF FINISH VINYL	SV	SV	SHEET VINYL				
FOS	FOS	FACE OF FINISH VINYL	SV	SV	SHEET VINYL				
FTG	FTG	FOOTING	STD	STD	STANDARD				
GA	GA	GAUGE	STL	STL	STEEL BAR				
GA	GA	GAUGE	STL	STL	STEEL BAR				
GALV	GALV	GALVANIZED	TEMP	TEMP	TEMPERARY/TEMPERED				
GB	GB	GRAB BAR	THRES	THRES	THRESHOLD				
GB	GB	GRAB BAR	THRES	THRES	THRESHOLD				
GL	GL	GLASS/GLAZING	TOL	TOL	TOLERANCE				
GL	GL	GLASS/GLAZING	TOL	TOL	TOLERANCE				
GND	GND	GROUND	TOM	TOM	TOP OF MASONRY				
GWB	GWB	GYPSPUM WALLBOARD	TOT	TOT	TOP OF STEEL SLAB				
H/C	H/C	HANDICAPPED	TOW	TOW	TOP OF WALL				
H/C	H/C	HANDICAPPED	TOW	TOW	TOP OF WALL				
HWR	HWR	HORIZONTAL	UN	UN	UNLESS NOTED OTHERWISE				
HWR	HWR	HORIZONTAL	UN	UN	UNLESS NOTED OTHERWISE				
HP	HP	HIGH POINT	VB	VB	V-BAY VIEW BOX				
HP	HP	HIGH POINT	VB	VB	V-BAY VIEW BOX				
H/HGT	H/HGT	HEIGHT/HIGH	VCS	VCS	VINYL COMPOSITION BASE				
H/HGT	H/HGT	HEIGHT/HIGH	VCS	VCS	VINYL COMPOSITION BASE				
HVAC	HVAC	HEAD, VENTILATING & AIR CONDITIONING	W	W	WIDTH/WIDTH/WOMENS				
HVAC	HVAC	HEAD, VENTILATING & AIR CONDITIONING	W	W	WIDTH/WIDTH/WOMENS				
INCL	INCL	INCLUDED	WP	WP	WALL PACK				

BUILDING CODES

INTERNATIONAL BUILDING CODE 2018

INTERNATIONAL EXISTING BUILDING CODE 2018

BARRIER-FREE-SUBCODE ICC/ANSI A117.1/2018

BUILDING CODE INFORMATION

PROJECT LOCATION:

659 BROAD STREET
EMMAUS, PENNSYLVANIA
LEHIGH COUNTY, PENNSYLVANIA
PARCEL ID# 549447291381
TILE #4459108
1.49 ACRES

ZONING:

R-HO

USE GROUP:

"R-2" RESIDENTIAL

CONSTRUCTION TYPE:

VB: COMBUSTIBLE - 2018 IBC

BUILDING SQUARE FOOTAGES:

BASEMENT FLOOR UTILITY AREA3,696 SQ. FT.

BASEMENT FLOOR5,251 SQ. FT.

FIRST FLOOR9,371 SQ. FT.

SECOND FLOOR8,303 SQ. FT.

THIRD FLOOR1,738 SQ. FT.

TOTAL BUILDING SIZE
W/O BASEMENT UTILITY AREA

24,663 SQ. FT.

AREA CALCULATIONS

TOTAL FOOTPRINT SQ. FT.

9,805 SQ. FT.

BUILDING SQUARE FOOTAGE

24,663 SQ. FT.

MAXIMUM SQ. FT. PER CODE

USE GROUP R-2

21,000 SQ. FT.

SM AUTOMATIC SPRINKLER

ACTUAL MAX. SQ. FOOTAGE PER FLOOR

9,371 SQ. FT.

FLOOR AREA AS A % OF MAX. ALLOWED

(44.6% OF MAX. ALLOWED)

BUILDING HEIGHT CALCULATIONS

USE GROUP R-2

MAXIMUM HEIGHT

60'-0"

SM AUTOMATIC SPRINKLER

ACTUAL HEIGHT

47'-3"

BUILDING STORY CALCULATIONS

USE GROUP R-2

SM AUTOMATIC SPRINKLER

TOTAL STORIES ALLOWED

3

TOTAL STORIES PROPOSED

3

FIRE PROTECTION SYSTEMS

SPRINKLER PER NFPA 13 (SECTION 903)

EXISTING

MANUAL FIRE ALARM (SECTION 907.2.4)

EXISTING

AUTOMATIC FIRE DETECTION (SECTION 903.2.4)

EXISTING

EMERGENCY LIGHTING (SECTION 1006)

EXISTING

MEANS OF EGRESS

OCCUPANCY LOAD

OCCUPANCY R-2

24,663 SQ. FT.

1 PER 200 SQ. FT. GROSS

123 OCCUPANTS

TOTAL BUILDING MAX. OCCUPANCY

- 123 OCCUPANTS

ZONING HEARING BOARD DECISION - 06/26/2024

AN APPEAL WAS MADE BY ZACHARY BULLOCK, APPEAL NUMBER 10632.

A SPECIAL EXEMPTION AND VARIANCE WAS APPROVED TO CONVERT THE EXISTING STRUCTURE, 659 BROAD STREET, EMMAUS INTO A MID-RISE APARTMENT BUILDING. THE VARIANCE WAS APPROVED TO PROVIDE FOR 28 APARTMENT UNITS.

THE HEARING DATE WAS MAY 22, 2024 AND THE DATE OF DECISION WAS JUNE 26, 2024.

SITE PARKING REQUIREMENTS

THE REQUIREMENT FOR PARKING OF AN AGE 55+ APARTMENT COMMUNITY IS THE NUMBER OF UNITS MULTIPLIED BY .60. IN THIS CASE (28 UNITS)(.60) = 17 SPACES REQUIRED.

THE PROPOSED PARKING PROVIDES FOR 22 STANDARD SPACES AND 1 ACCESSIBLE SPACE FOR A TOTAL OF 23 SPACES, 26% GREATER THAN THE REQUIRED NUMBER.

ALTERATION LEVEL

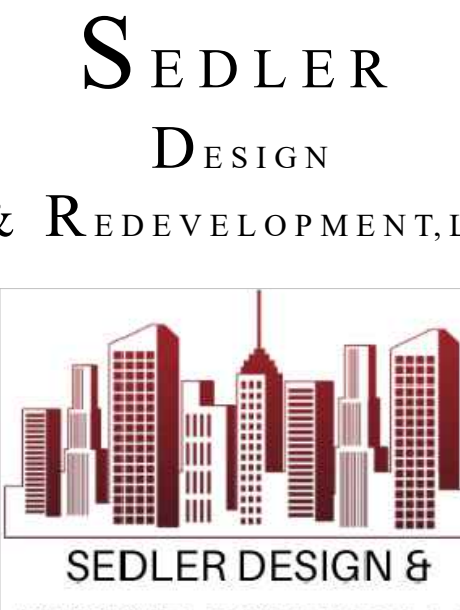
AS PER THE 2018 IBCB THIS IS A LEVEL 3 ALTERATION

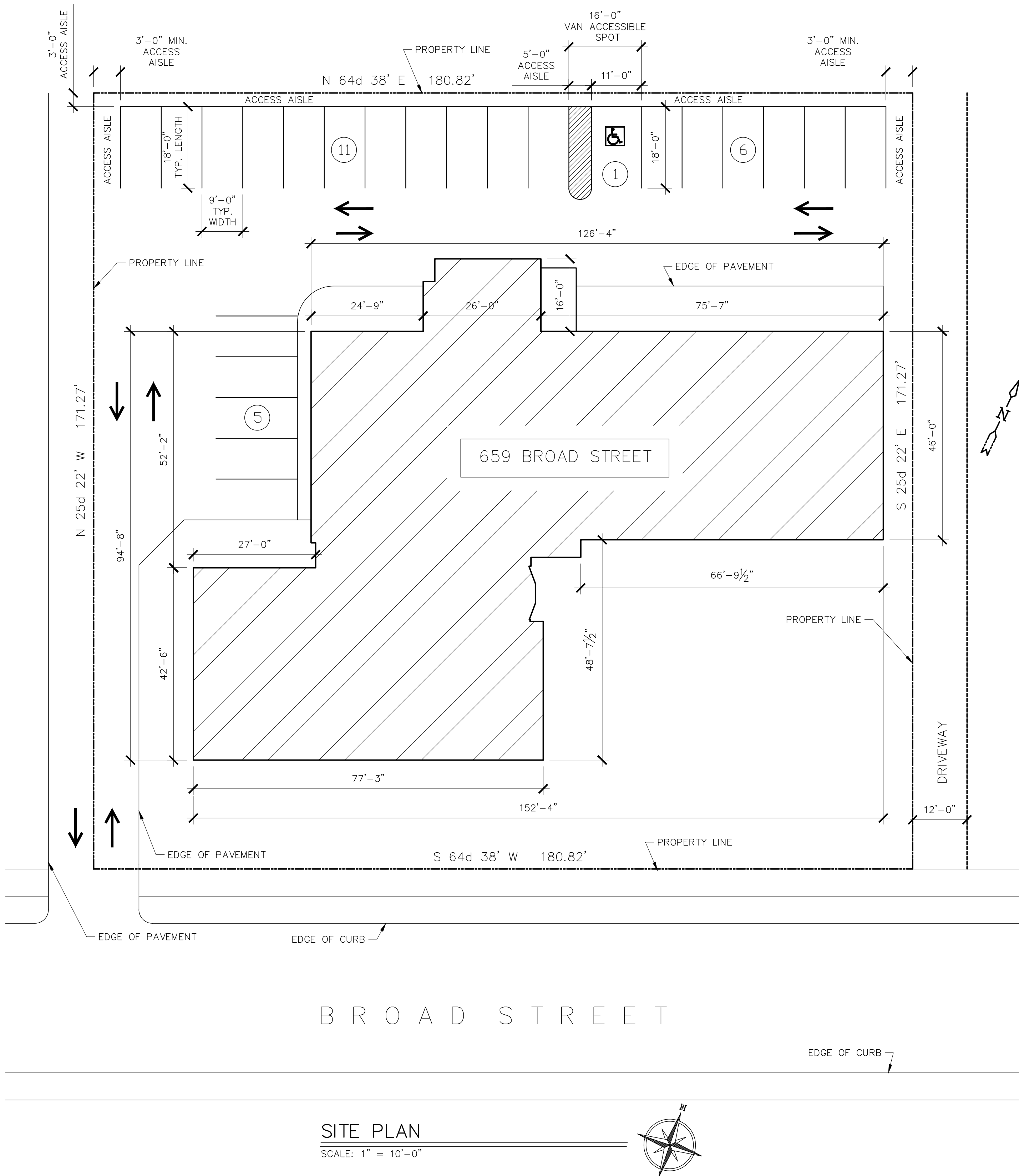
PHASED CONSTRUCTION

THIS PROJECT SHALL BE CONSTRUCTED IN TWO PHASES. REFER TO FLOOR PLANS FOR DESIGNATIONS OF WORK INCLUDED IN PHASE 1 AND WORK INCLUDED IN PHASE 2. THE INTENT IS TO COMPLETE PHASE 1 AND OBTAIN AN OCCUPANCY PERMIT FOR THE AREA OF THE BUILDING COMPLETED AND READY FOR OCCUPANCY.

HARD BARRIERS SHALL BE IN PLACE TO SEPARATE THE TWO AREAS SO THAT CONSTRUCTION OF PHASE 2 CAN BE COMPLETED AS PHASE 1 IS OCCUPIED. FIRE PROTECTION SHALL BE IN PLACE IN 100% OF THE BUILDING AT ALL TIMES. ELEVATOR SHALL BE OPERATIONAL AND ALL EXISTS SHALL BE OPEN TO SERVICE OCCUPIED AREAS.

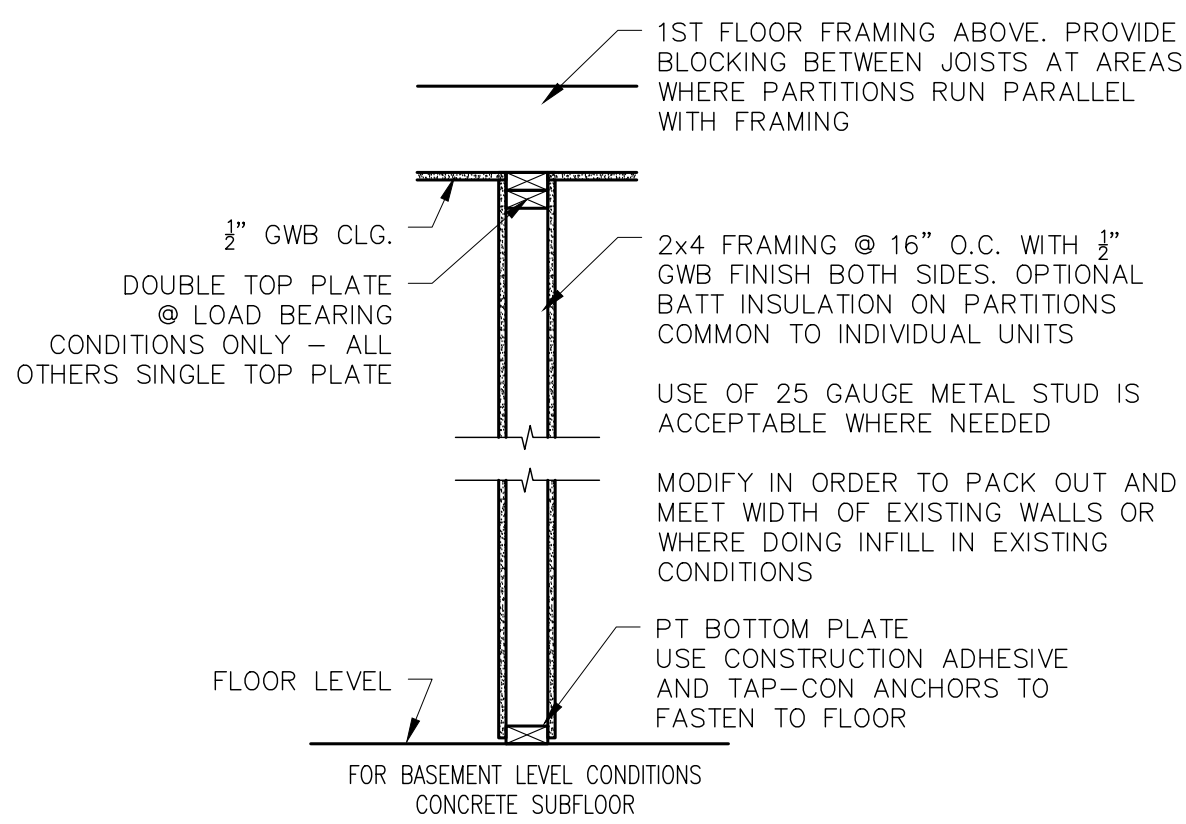
INDEX TO DRAWINGS		
SHEET #		TITLE
1	TS1	TITLE SHEET
ARCHITECTURAL DRAWINGS		
2	A1	AREA PLAN
3	A3	BASEMENT FLOOR PLAN
4	A4	1ST FLOOR PLAN
5	A4.1	ENLARGED PLAN & DETAILS
6	A5	2ND FLOOR PLAN
7	A6	3RD FLOOR PLAN
8	A6.1	SECTION & DETAILS
9	A7	ROOF PLAN
10	A8	ELEVATIONS
11	A9	SCHEDULES & DETAILS
MECHANICAL DRAWINGS		
12	M1.0	MECHANICAL NOTES, LEGEND & ABBREVIATIONS
13	M3.0	MECHANICAL BASEMENT LEVEL NEW WORK
14	M3.1	MECHANICAL BASEMENT LEVEL NEW WORK
15	M3.2	MECHANICAL FIRST LEVEL NEW WORK
16	M3.3	MECHANICAL FIRST LEVEL NEW WORK
17	M3.4	MECHANICAL SECOND LEVEL NEW WORK
18	M3.5	MECHANICAL SECOND LEVEL NEW WORK
19	M3.6	MECHANICAL THIRD LEVEL NEW WORK
20	M4.0	MECHANICAL SCHEDULES
21	M5.0	MECHANICAL SPECIFICATIONS
PLUMBING DRAWINGS		
22	P1.0	PLUMBING LEGEND & ABBREVIATIONS
23	P3.0	PLUMBING BASEMENT LEVEL DOMESTIC WATER PLAN
24	P3.1	PLUMBING BASEMENT LEVEL DOMESTIC WATER PLAN
25	P3.2	PLUMBING FIRST LEVEL DOMESTIC WATER PLAN
26	P3.3	PLUMBING FIRST LEVEL DOMESTIC WATER PLAN
27	P3.4	PLUMBING SECOND LEVEL DOMESTIC WATER PLAN
28	P3.5	PLUMBING SECOND LEVEL DOMESTIC WATER PLAN
29	P3.6	PLUMBING THIRD LEVEL DOMESTIC WATER PLAN
30	P4.1	PLUMBING BASEMENT LEVEL SANITARY & VENT
31	P4.2	PLUMBING FIRST LEVEL SANITARY & VENT
32	P4.3	PLUMBING FIRST LEVEL SANITARY & VENT
33	P4.4	PLUMBING SECOND LEVEL SANITARY & VENT
34	P4.5	PLUMBING SECOND LEVEL SANITARY & VENT
35	P4.6	PLUMBING THIRD LEVEL SANITARY & VENT
36	P5.0	PLUMBING SANITARY RISER DIAGRAM
37	P5.1	PLUMBING SANITARY RISER DIAGRAM
38	P6.0	PLUMBING SCHEDULES & DETAILS
39	P7.0	PLUMBING SPECIFICATIONS
FIRE PROTECTION DRAWINGS		
40	FP1.0	FIRE PROTECTION NOTES, LEGENDS, ABBREVIATIONS & SPECIFICATIONS
41	FP2.0	FIRE PROTECTION BASEMENT LEVEL NEW WORK
42	FP2.1	FIRE PROTECTION BASEMENT LEVEL NEW WORK
43	FP2.2	FIRE PROTECTION FIRST LEVEL NEW WORK
44	FP2.3	FIRE PROTECTION FIRST LEVEL NEW WORK
45	FP2.4	FIRE PROTECTION SECOND LEVEL NEW WORK
46	FP2.5	FIRE PROTECTION SECOND LEVEL NEW WORK
47	FP2.6	FIRE PROTECTION THIRD LEVEL NEW WORK
ELECTRICAL DRAWINGS		
48	E1.0	ELECTRICAL LEGEND, NOTES & ABBREVIATIONS
49	E3.0	ELECTRICAL BASEMENT LEVEL LIGHTING PLAN
50	E3.1	ELECTRICAL BASEMENT LEVEL LIGHTING PLAN
51	E3.2	ELECTRICAL FIRST LEVEL LIGHTING PLAN
52	E3.3	ELECTRICAL FIRST LEVEL LIGHTING PLAN
53	E3.4	ELECTRICAL SECOND LEVEL LIGHTING PLAN
54	E3.5	ELECTRICAL SECOND LEVEL LIGHTING PLAN
55	E3.6	ELECTRICAL THIRD LEVEL LIGHTING PLAN
56	E4.0	ELECTRICAL BASEMENT LEVEL POWER & SIGNAL PLAN
57	E4.1	ELECTRICAL BASEMENT LEVEL POWER & SIGNAL PLAN
58	E4.2	ELECTRICAL FIRST LEVEL POWER & SIGNAL PLAN
59	E4.3	ELECTRICAL FIRST LEVEL POWER & SIGNAL PLAN
60	E4.4	ELECTRICAL SECOND LEVEL POWER & SIGNAL PLAN
61	E4.5	ELECTRICAL SECOND LEVEL POWER & SIGNAL PLAN
62	E4.6	ELECTRICAL THIRD LEVEL POWER & SIGNAL PLAN
63	E5.0	ELECTRICAL BASEMENT LEVEL MECHANICAL POWER
64	E5.1	ELECTRICAL BASEMENT LEVEL MECHANICAL POWER
65	E5.2	ELECTRICAL FIRST LEVEL MECHANICAL POWER
66	E5.3	ELECTRICAL FIRST LEVEL MECHANICAL POWER
67	E5.4	ELECTRICAL SECOND LEVEL MECHANICAL POWER
68	E5.5	ELECTRICAL SECOND LEVEL MECHANICAL POWER
69	E5.6	ELECTRICAL THIRD LEVEL MECHANICAL POWER
70	E6.0	ELECTRICAL BASEMENT FIRE ALARM
71	E6.1	ELECTRICAL FIRST LEVEL FIRE ALARM
72	E6.2	ELECTRICAL FIRST LEVEL FIRE ALARM
73	E6.3	ELECTRICAL SECOND LEVEL FIRE ALARM
74	E6.4	ELECTRICAL SECOND LEVEL FIRE ALARM
75	E6.5	ELECTRICAL THIRD LEVEL FIRE ALARM
76	E6.6	ELECTRICAL THIRD LEVEL FIRE ALARM
77	E7.0	ELECTRICAL SINGLE LINE DIAGRAM & DETAILS
78	E8.0	ELECTRICAL SCHEDULES
79	E8.1	ELECTRICAL PANEL SCHEDULES
80	E8.2	ELECTRICAL PANEL SCHEDULES
81	E8.3	ELECTRICAL PANEL SCHEDULES
82	E9.0	ELECTRICAL SPECIFICATIONS

SEAL								
OWNER 645 Broad Street Emmaus LLC 1525 Turk Road Warrington, PA 18976 <i>Property info</i> 659 Broad Street, Emmaus, PA 18049 East Penn School District Lehigh County, Pennsylvania Parcel ID # 549444729138 1 Tile # 445910B								
ARCHITECT/CONSULTANT  SEDLER DESIGN & REDEVELOPMENT, LLC 4063D Nazareth Pike Bethlehem, PA 18020 mailing - PO Box 1251 Bethlehem, PA 18016 www.sedlerdesign.com #484-358-3243 email - sedlerj@yahoo.com								
ENGINEER  GLENWOOD ENGINEERING LLC Pennsylvania office: Michigan office: 44 N. 15th St. 2609 Crooks Rd #251 Allentown, PA 18102 Troy, MI 48064 Tel: 610-393-2703 Tel: (248) 893-9969 www.glenwoodeng.com Email: glenwoodengineering@gmail.com								
MEP ENGINEER								
CONTRACTOR								
PROJECT BUILDING RENOVATIONS & NEW APARTMENTS 659 BROAD STREET EMMAUS, PA 18049								
REVISIONS <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>02/16/2006</td> <td>GENERAL REVISIONS</td> </tr> </tbody> </table>			No.	Date	Revision	1	02/16/2006	GENERAL REVISIONS
No.	Date	Revision						
1	02/16/2006	GENERAL REVISIONS						



1. THE CONTRACTORS SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, REGULATIONS AND LAWS.	6. CONTRACTORS SHALL COORDINATE WORK WITH THE OWNER TO MINIMIZE DISRUPTION TO THE OWNER'S OPERATIONS.	TITLE SHEET Issue Phase: PERMITS Issue Date: FEBRUARY 7, 2025 Drawing Scale: AS NOTED Drawing Path: Drawn By: JSED Project Number: 423-001 File Name: Reviewed By: Drawing No: T01
2. REFERENCED STANDARDS REFER TO THE LATEST EDITION IN FORCE AT THE TIME THE DOCUMENTS ARE ISSUED FOR BID.	7. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHEETING, SHORING, AND BRACING DURING CONSTRUCTION.	
3. THE CONTRACTORS ARE SOLELY RESPONSIBLE FOR JOB SAFETY, CONSTRUCTION PROCEDURES, COORDINATION OF THEIR WORK WITH OTHER TRADES AND ON-SITE SECURITY.	8. THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS, IN ANY CASE OF CONFLICT BETWEEN THE NOTES, DRAWINGS, DETAILS AND SPECIFICATIONS, THE MOST RIGID (MOST COSTLY) REQUIREMENTS SHALL BE ASSUMED FOR BIDDING PURPOSES BUT THE CONTRACT SHALL BE REVOKED IN WRITING BY THE ARCHITECT BEFORE THE WORK IS IMPLEMENTED.	
4. THE BIDDERS ARE REQUIRED TO VISIT THE SITE AND DETERMINE ALL EXISTING CONDITIONS AND LIMITATIONS PRIOR TO SUBMITTING THEIR PROPOSALS. FAILURE TO DO SO WILL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER FROM FURNISHING ANY MATERIAL OR PERFORMING ANY WORK THAT MAY BE REQUIRED IN ACCORDANCE WITH THE DOCUMENTS AT AN ADDITIONAL COST TO THE OWNER.	9. CONTRACTORS SHALL MAKE NO DEVIATION FROM THE DOCUMENTS WITHOUT WRITTEN DIRECTION FROM THE ARCHITECT.	
	10. THE CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITIES FROM DAMAGE.	

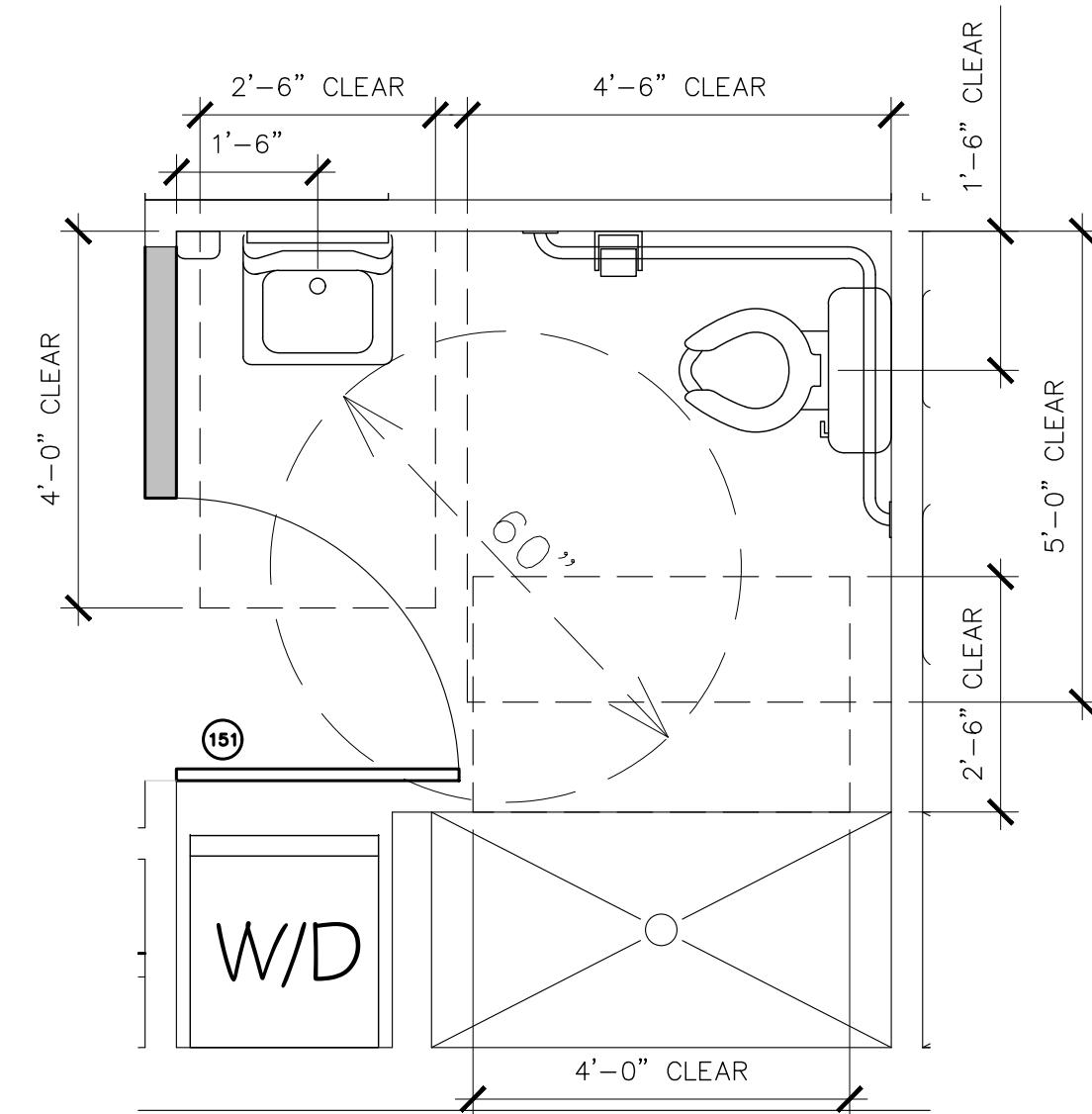
GENERAL REVISIONS - JULY 15, 2025
ISSUE FOR PERMITS - FEBRUARY 7, 2025



TYPICAL WALL PARTITION BASEMENT LEVEL

SCALE: 3/4" = 1'-0"

FIRE BLOCKING NOTE
FIRE BLOCKING OR DRAFT STOPPING TO BE PROVIDED IN AREAS WHERE FLOOR FRAMING ABOVE DOES NOT EXTEND OVER WALLS AND PARTITIONS BELOW. ALL OPENINGS MUST BE SEALED BETWEEN FLOORS WITH FIRE BLOCKING OR FIRE CAULKING

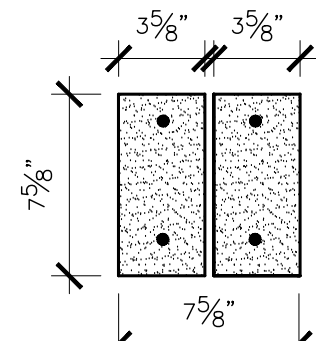


PARTIAL ENLARGED PLAN ACCESSIBLE BATHROOMS - UNIT #002

SCALE: 1/2" = 1'-0"

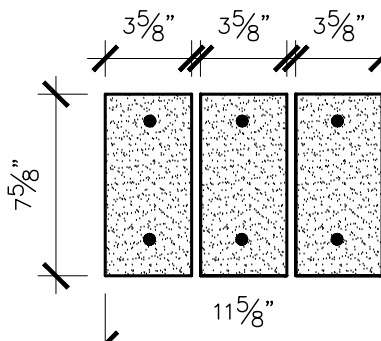
MASONRY LINTELS

FOR NEWLY CREATED OPENINGS IN CMU BASEMENT WALLS



Ø AREAS OF 8" CMU WALL
MAX. CLEAR SPAN 4'-0"
MIN. BEARING 4" EACH END

(2) 4"x 8" PRECAST CONC. LINTEL
WITH #4 BARS TOP & BOTTOM



Ø AREAS OF 12" CMU WALL
MAX. CLEAR SPAN 4'-0"
MIN. BEARING 4" EACH END

(3) 4"x 8" PRECAST CONC. LINTEL
WITH #4 BARS TOP & BOTTOM

PHASE 2 CONSTRUCTION

PHASE 1 CONSTRUCTION

BASEMENT LEVEL CONSTRUCTION

BASEMENT LEVEL IS SEPARATED INTO TWO PHASES OF CONSTRUCTION. HARD BARRIERS SHALL BE IN PLACE TO SEPARATE THE CONSTRUCTION OF PHASE 1 FROM PHASE 2. FIRE PROTECTION SHALL BE IN PLACE IN 100% OF THE BUILDING AT ALL TIMES. ELEVATOR SHALL BE OPERATIONAL AND ALL EXITS SHALL BE OPEN TO SERVICE OCCUPIED AREAS.

INTERIOR PASSAGEWAY NOTES

ALL INTERIOR PASSAGEWAYS AND HORIZONTAL EXITS HAVE EXISTING 2x4 WITH 3/8" TYPE 'X' GWB BOTH SIDES RESULTING IN A ONE HOUR FIRE RATING. REFERENCE UL DES. U305 - USG-30-FI-G&H. BASEMENT LEVEL PASSAGEWAYS CONSTRUCTED WITH 8" CMU RESULTING IN A TWO HOUR FIRE RATING

ARCHITECTURAL LEGEND

- AREA TO BE DEMOLISHED OR MODIFIED
- ===== NEW WALL PARTITION
- ===== EXISTING WALL OR PARTITION
- ===== EXISTING WINDOW
- ===== EXISTING DOUBLE DOOR
- ===== EXISTING SINGLE DOOR
- ===== NEW PROPOSED DOOR OR REUSE OF EXISTING DOOR
- ===== NEW SLIDER DOOR
- ① DOOR IDENTIFICATION TAG

SEAL

OWNER

645 Broad Street Emmaus LLC
1525 Turk Road
Warrington, PA 18976

Property info
659 Broad Street, Emmaus, PA 18049
East Penn School District
Lehigh County, Pennsylvania
Parcel ID # 549444729138 1
Title # 4459108

ARCHITECT/CONSULTANT

**SEDLER
DESIGN
& REDEVELOPMENT, LLC**



**SEDLER DESIGN &
REDEVELOPMENT LLC**
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Email: Glenwoodengineering@gmail.com

MEP ENGINEER

CONTRACTOR

PROJECT

**BUILDING RENOVATIONS
& NEW APARTMENTS**

659 BROAD STREET
EMMAUS, PA 18049

REVISIONS

No.	Date	Revision
1	07/15/2025	GENERAL REVISIONS

Sheet Title:

**BASEMENT
FLOOR PLAN**

Issue Phase:

PERMITS

Issue Date:

FEBRUARY 7, 2025

Drawing Scale:

AS NOTED

Drawing Path:

Drawn By:

JSED

Project Number:

423-001

File Name:

Plot Scale:

1:1

Paper Size:

3042

Reviewed By:

MA

Drawing No.

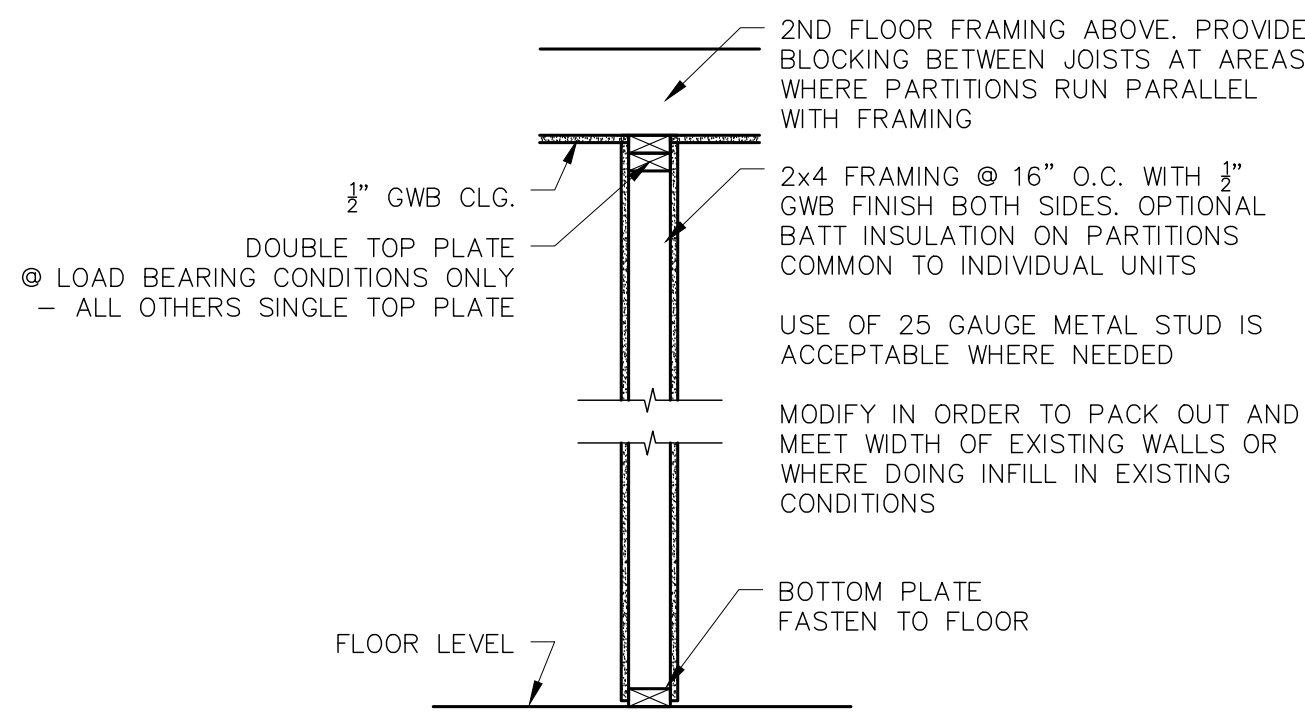
A3

Sheet 3 of 82

BASEMENT FLOOR PLAN

SCALE: 3/16" = 1'-0"

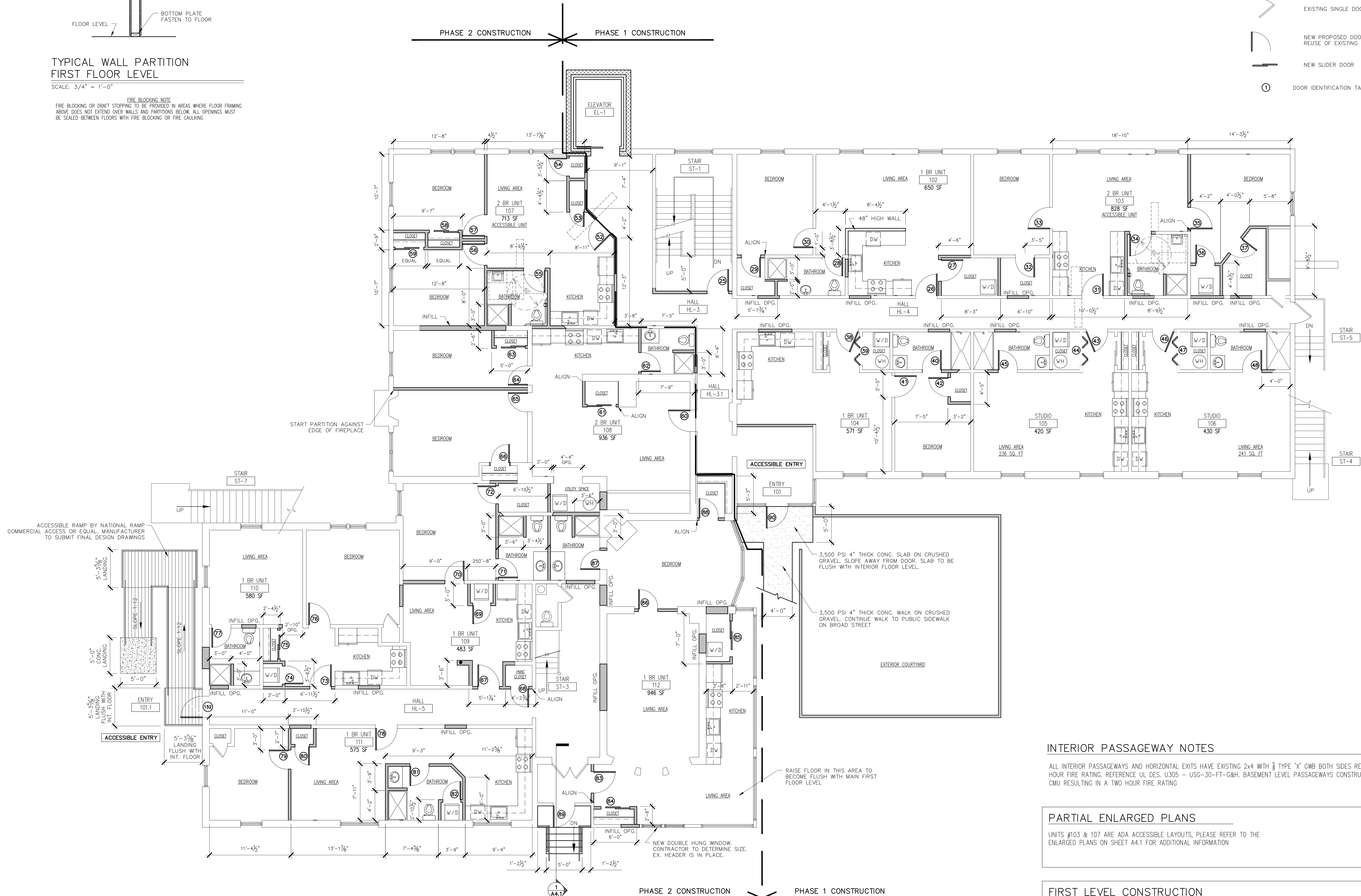
GENERAL REVISIONS - JULY 15, 2025
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TYPICAL WALL PARTITION FIRST FLOOR LEVEL

SCALE: 3/4\" = 1'-0"

FIRE BLOCKING NOTE
FIRE BLOCKING OR DRAFT STOPPING TO BE PROVIDED IN AREAS WHERE FLOOR FRAMING ABOVE DOES NOT EXTEND OVER WALLS AND PARTITIONS BELOW. ALL OPENINGS MUST BE SEALED BETWEEN FLOORS WITH FIRE BLOCKING OR FIRE CAULKING.



FIRST FLOOR PLAN

SCALE: 3/16\" = 1'-0"

ARCHITECTURAL LEGEND

- AREA TO BE DEMOLISHED OR MODIFIED
- ===== NEW WALL PARTITION
- ===== EXISTING WALL OR PARTITION
- ===== EXISTING WINDOW
- ===== EXISTING DOUBLE DOOR
- ===== EXISTING SINGLE DOOR
- ===== NEW PROPOSED DOOR OR REUSE OF EXISTING DOOR
- ===== NEW SLIDER DOOR
- ① DOOR IDENTIFICATION TAG

SEAL

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1525 Turk Road
Warrington, PA 18976

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Lehigh County, Pennsylvania
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ARCHITECT/CONSULTANT

**SEDLER
DESIGN
& REDEVELOPMENT, LLC**



**SEDLER DESIGN &
REDEVELOPMENT LLC**
ARCHITECTURE & ENGINEERING

4063D Nazareth Pike Bethlehem, PA 18020
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www.sedlerdesign.com #484-358-3243
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Tel: 610-393-2703 Tel: (248) 893-9969
www.glenwoodeng.com
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PROJECT

**BUILDING RENOVATIONS
& NEW APARTMENTS**

659 BROAD STREET
EMMAUS, PA 18049

REVISIONS

No.	Date	Revision
1	07/15/2025	GENERAL REVISIONS

Sheet Title:

FIRST FLOOR PLAN

Issue Phase:

PERMITS

Issue Date:

FEBRUARY 7, 2025

Drawing Scale:

AS NOTED

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Drawn By:

JSED

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423-001

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3042

Paper Size:

3042

Reviewed By:

MA

Drawing No.

A4

Sheet 4 of 82

INTERIOR PASSAGEWAY NOTES

ALL INTERIOR PASSAGEWAYS AND HORIZONTAL EXITS HAVE EXISTING 2x4 WITH 8\"/>

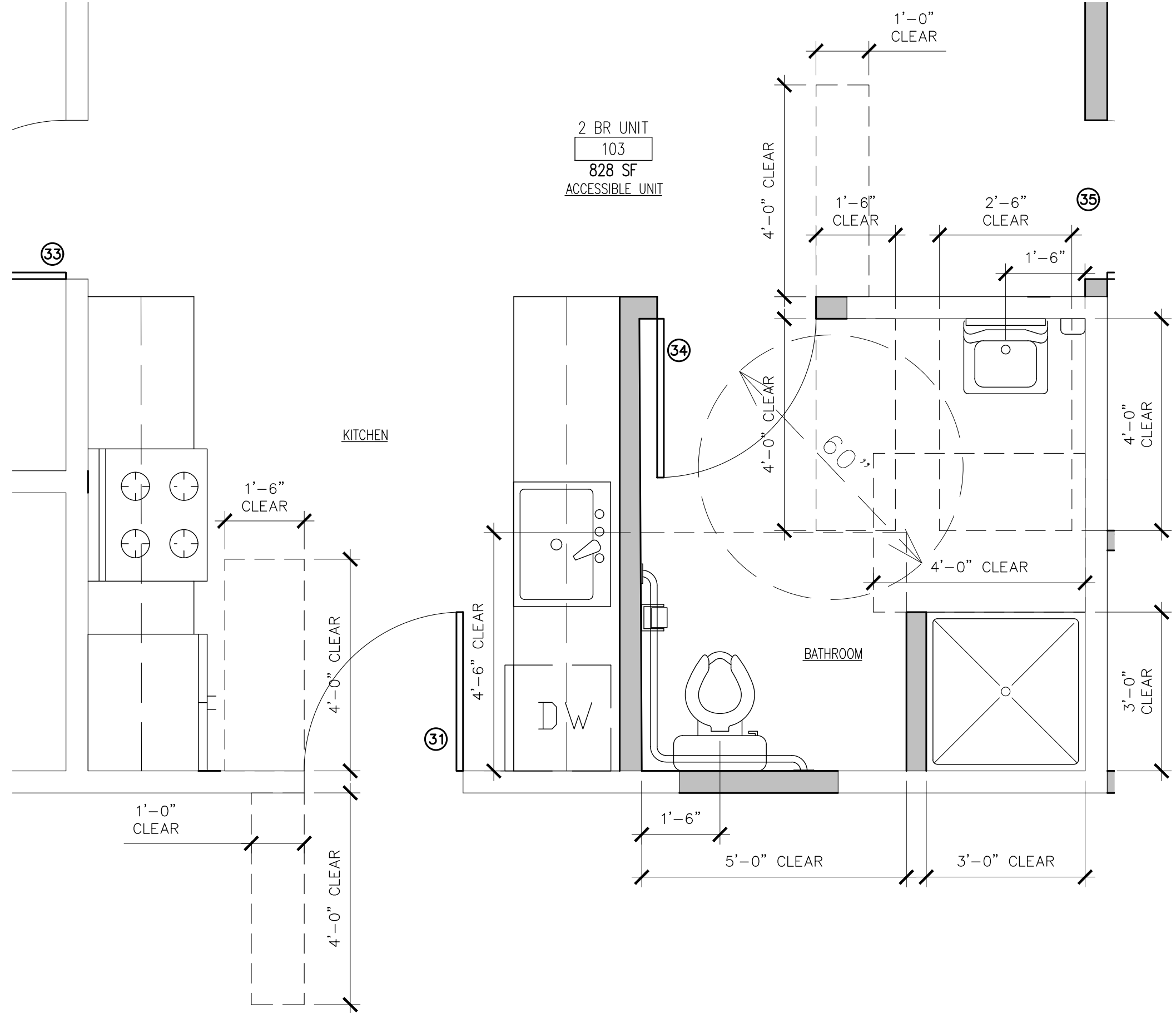
PARTIAL ENLARGED PLANS

UNITS #103 & 107 ARE ADA ACCESSIBLE LAYOUTS, PLEASE REFER TO THE ENLARGED PLANS ON SHEET A4.1 FOR ADDITIONAL INFORMATION

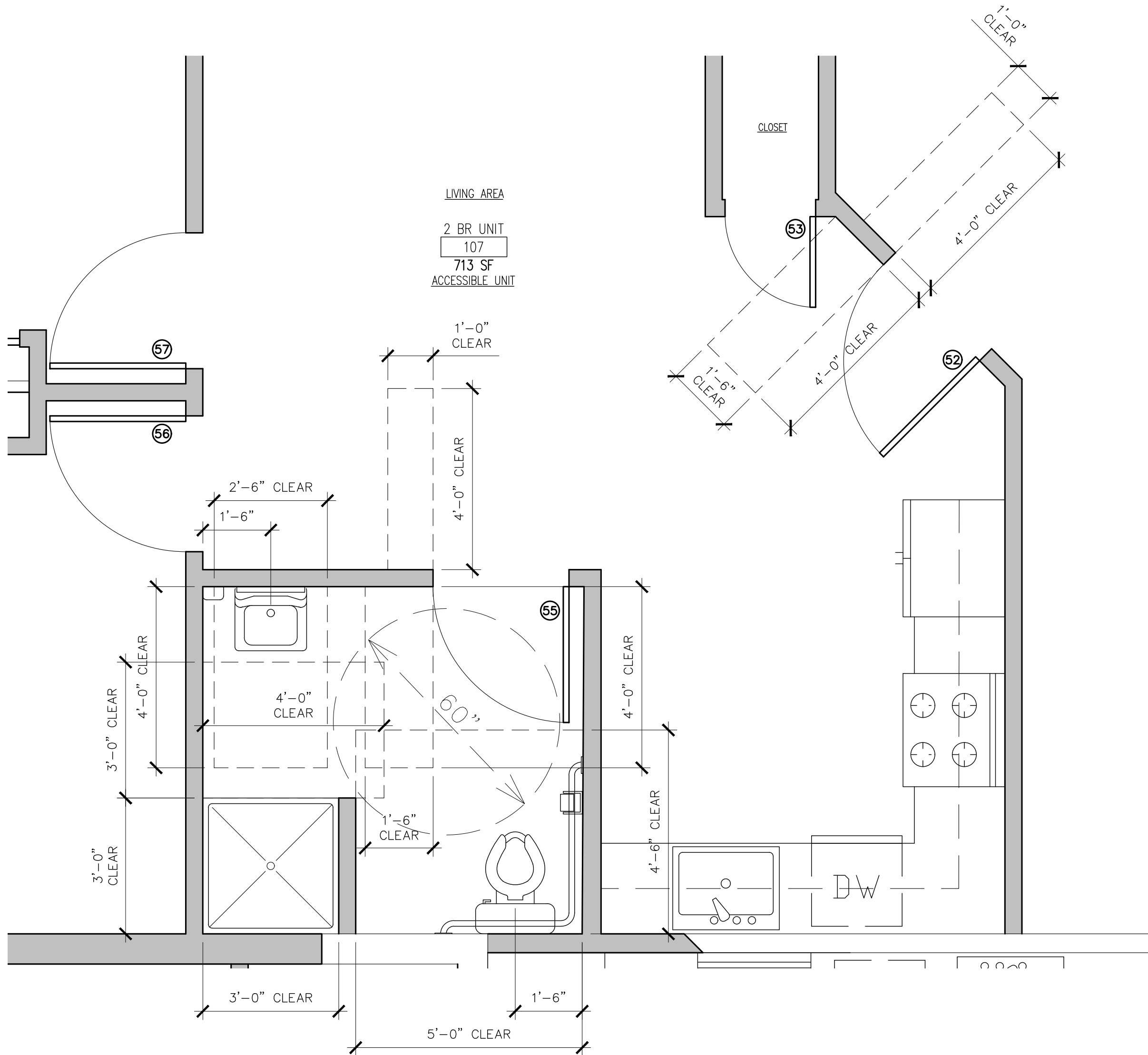
FIRST LEVEL CONSTRUCTION

FIRST LEVEL IS SEPARATED INTO TWO PHASES OF CONSTRUCTION. HARD BARRIERS SHALL BE IN PLACE TO SEPARATE THE CONSTRUCTION OF PHASE 1 FROM PHASE 2. FIRE PROTECTION SHALL BE IN PLACE IN 100% OF THE BUILDING AT ALL TIMES. ELEVATOR SHALL BE OPERATIONAL AND ALL EXITS SHALL BE OPEN TO SERVICE OCCUPIED AREAS.

**GENERAL REVISIONS - JULY 15, 2025
ISSUE FOR PERMITS - FEBRUARY 7, 2025**



PARTIAL ENLARGED PLAN
ACCESSIBLE BATHROOMS – UNIT #103
SCALE: 1/2" = 1'-0"



PARTIAL ENLARGED PLAN
ACCESSIBLE BATHROOMS – UNIT #107
SCALE: 1/2" = 1'-0"

ARCHITECTURAL LEGEND

- AREA TO BE DEMOLISHED OR MODIFIED
- NEW WALL PARTITION
- EXISTING WALL OR PARTITION
- EXISTING WINDOW
- EXISTING DOUBLE DOOR
- EXISTING SINGLE DOOR
- NEW PROPOSED DOOR OR REUSE OF EXISTING DOOR
- NEW SLIDER DOOR
- DOOR IDENTIFICATION TAG

SEAL

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645 Broad Street Emmaus LLC
1525 Turk Road
Warrington, PA 18976

Property info
659 Broad Street, Emmaus, PA 18049
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Lehigh County, Pennsylvania
Parcel ID # 549444729138 1
Tile # 445910B

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Sheet 5 of 82

A4.1

GENERAL REVISIONS - JULY 15, 2025
ISSUE FOR PERMITS - FEBRUARY 7, 2025

BASED UPON 125" RISE:
18 RISERS @ 6.94" AND 17 TREADS @ 11"

SCALE: $3/4" = 1'-0"$

3RD FLOOR FRAMING ABOVE. PROVIDE BLOCKING BETWEEN JOISTS AT AREAS WHERE PARTITIONS RUN PARALLEL WITH FRAMING

1/2" GWB CLG.

DOUBLE TOP PLATE
@ LOAD BEARING CONDITIONS ONLY
- ALL OTHERS SINGLE TOP PLATE

2x4 FRAMING @ 16" O.C. WITH 1/2" GWB FINISH BOTH SIDES. OPTIONAL BATT INSULATION ON PARTITIONS COMMON TO INDIVIDUAL UNITS

USE OF 25 GAUGE METAL STUD IS ACCEPTABLE WHERE NEEDED

MODIFY IN ORDER TO PACK OUT AND MEET WIDTH OF EXISTING WALLS OR WHERE DOING INFILL IN EXISTING CONDITIONS

FLOOR LEVEL

BOTTOM PLATE FASTEN TO FLOOR

SCALE: 3/4" = 1'-0"

FIRE BLOCKING NOTE

FIRE BLOCKING OR DRAFT STOPPING TO BE PROVIDED IN AREAS WHERE FLOOR FRAMING ABOVE DOES NOT EXTEND OVER WALLS AND PARTITIONS BELOW. ALL OPENINGS MUST BE SEALED BETWEEN FLOORS WITH FIRE BLOCKING OR FIRE CAULKING

- REPAIR EXSTING STAIR WHERE NEEDED MAKING SURE ALL TREADS AND RISERS ARE SOLID. CHECK THAT RAILINGS ARE SECURE.

SCALE: 3/16" = 1'-0"

ALL INTERIOR PASSAGEWAYS AND HORIZONTAL EXITS HAVE EXISTING 2x4 WITH $\frac{5}{8}$ TYPE 'X' GWB BOTH SIDES RESULTING IN A ONE HOUR FIRE RATING. REFERENCE UL DES. U305 - USG-30-FT-G&H. BASEMENT LEVEL PASSAGEWAYS CONSTRUCTED WITH 8" CMU RESULTING IN A TWO HOUR FIRE RATING

	AREA TO BE DEMOLISHED OR MODIFIED		EXISTING SINGLE DOOR
	NEW WALL PARTITION		NEW PROPOSED DOOR OR REUSE OF EXISTING DOOR
	EXISTING WALL OR PARTITION		NEW SLIDER DOOR
	EXISTING WINDOW		DOOR IDENTIFICATION TAG
	EXISTING DOUBLE DOOR		

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SECOND FLOOR PLAN

Issue Phase:

PERMITS
Issue Date:

FEBRUARY 7, 2025

Drawing Scale:
AS NOTED

Drawing Path:

Drawn By: JSEB	Reviewed By: MA
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Project Number:	Drawing No.
123.001	

File Name: **AF**

Plot Scale: A5

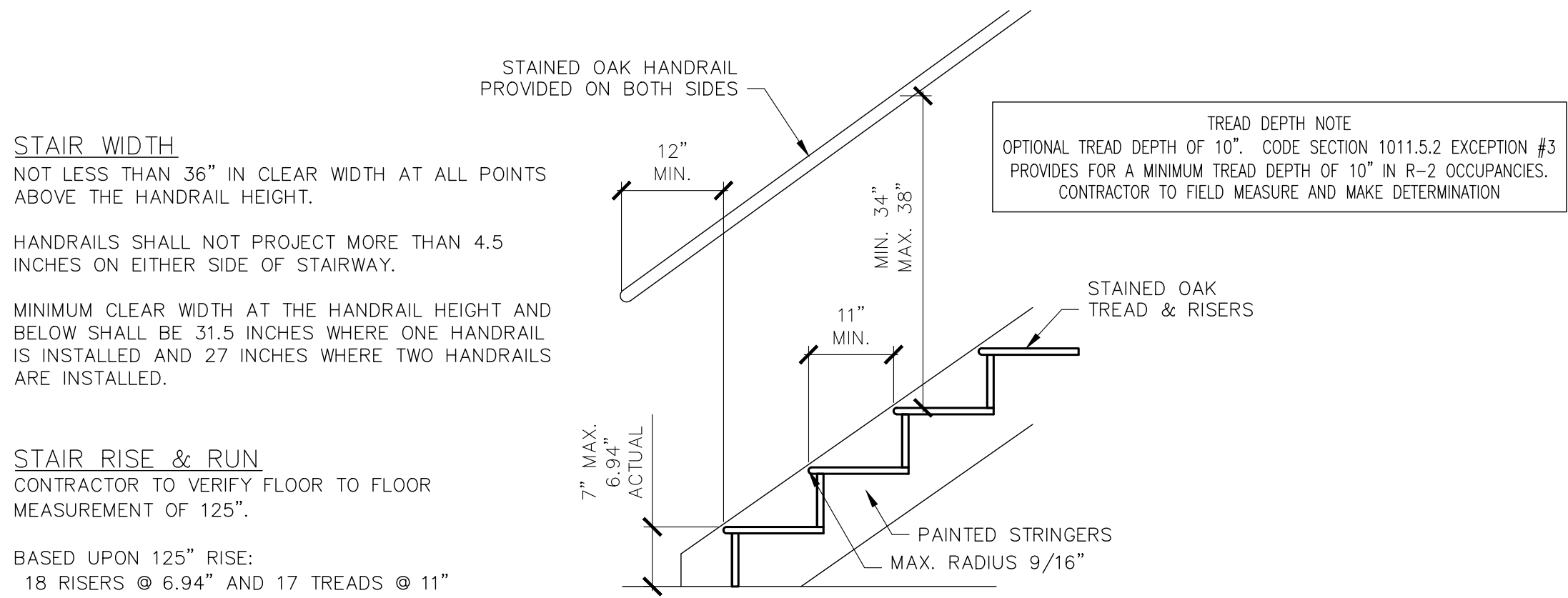
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Paper Size:

3042	Sheet 6 of 82
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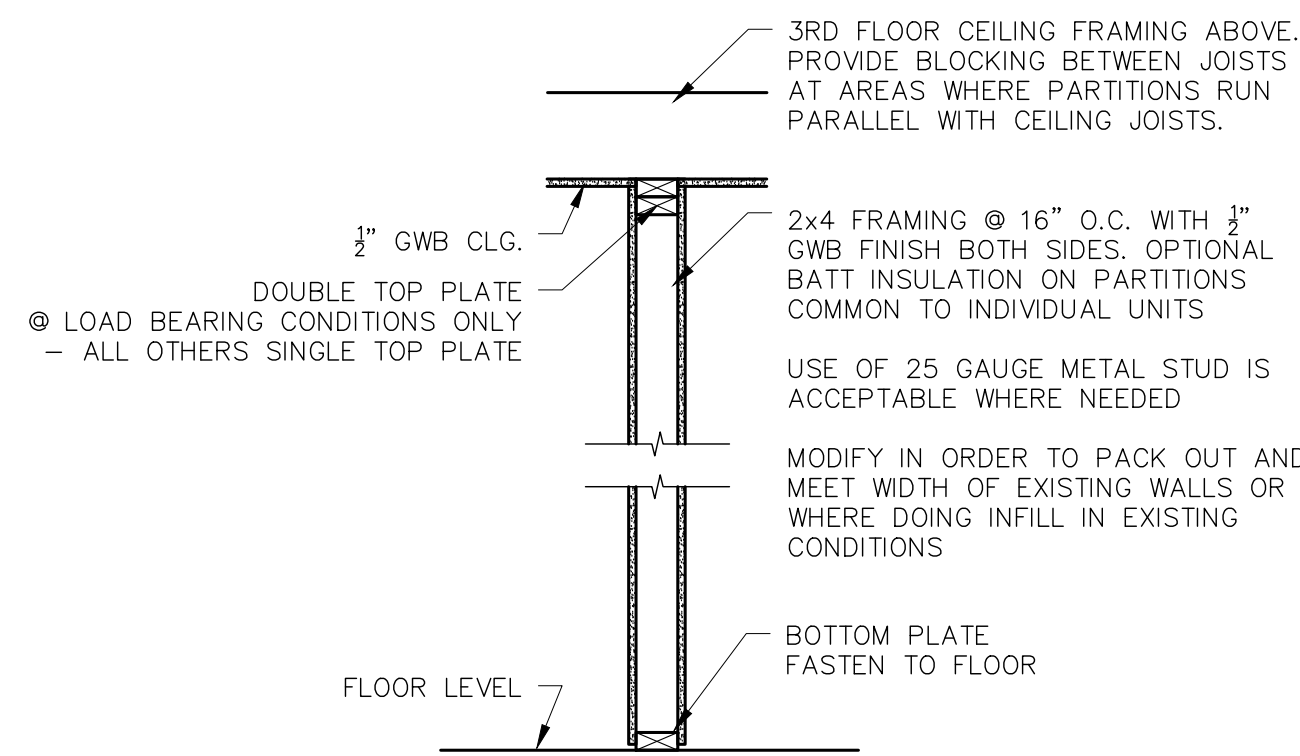
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Sheet 6 of 82

GENERAL REVISIONS - JULY 15, 2025
ISSUE FOR PERMITS - FEBRUARY 7, 2025



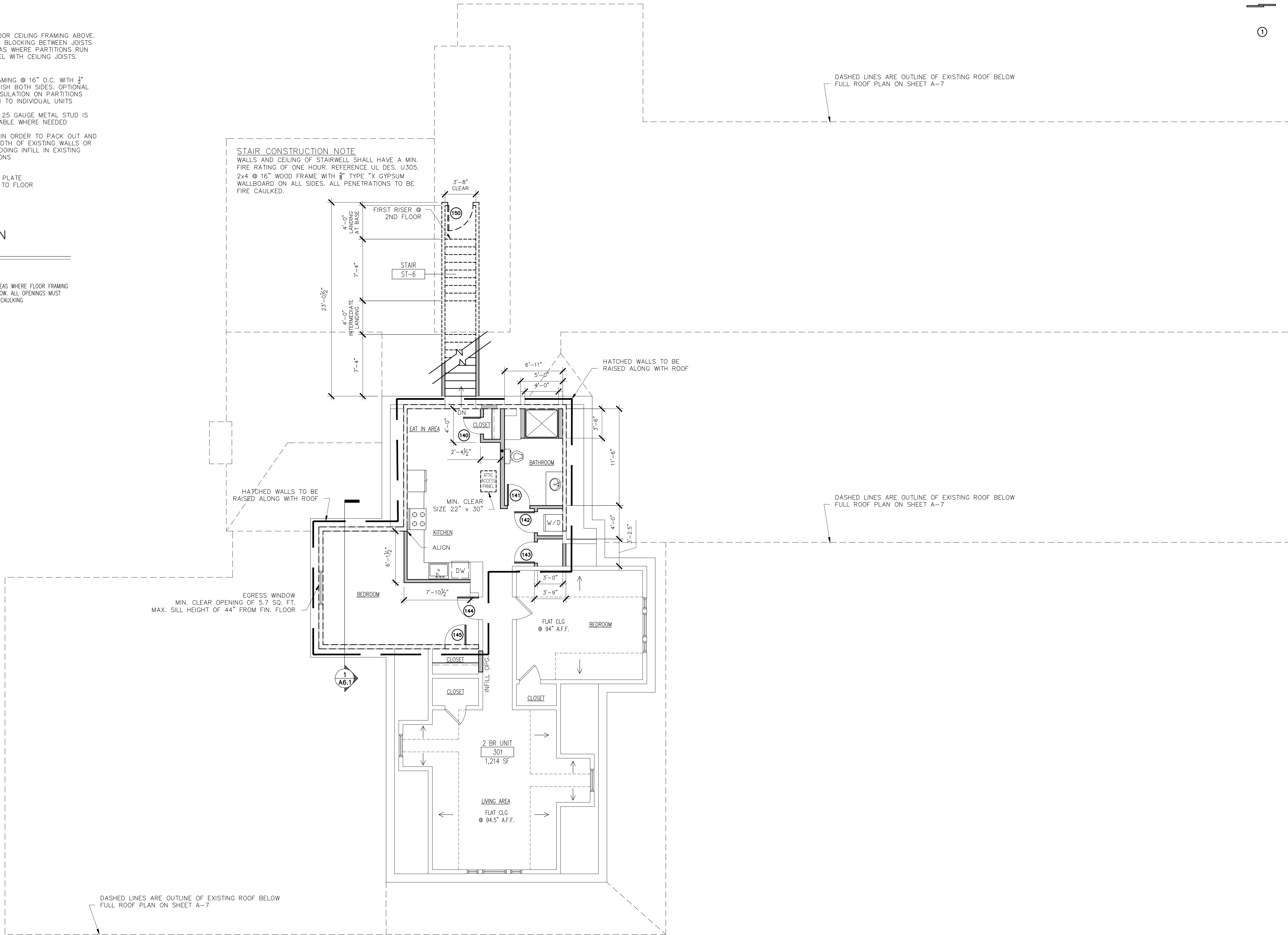
STAIR DETAIL STAIR ST-6
SCALE: 3/4" = 1'-0"



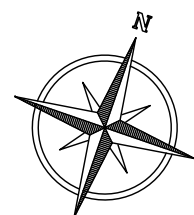
TYPICAL WALL PARTITION
THIRD FLOOR LEVEL
SCALE: 3/4" = 1'-0"

FIRE BLOCKING NOTE
FIRE BLOCKING OR DRAFT STOPPING TO BE PROVIDED IN AREAS WHERE FLOOR FRAMING ABOVE DOES NOT EXTEND OVER WALLS AND PARTITIONS BELOW. ALL OPENINGS MUST BE SEALED BETWEEN FLOORS WITH FIRE BLOCKING OR FIRE CAULKING.

STAIR CONSTRUCTION NOTE
WALLS AND CEILING OF STAIRWELL SHALL HAVE A MIN. FIRE RATING OF ONE HOUR. REFERENCE UL DES. U305. 2x4 @ 16" WOOD FRAME WITH 3" TYPE 'X' GYPSUM WALLBOARD ON ALL SIDES. ALL PENETRATIONS TO BE FIRE CAULKED.



THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"



THIRD LEVEL CONSTRUCTION

ALL AREAS OF THE THIRD LEVEL ARE INCLUDED IN THE CONSTRUCTION DURING PHASE 2. HARD BARRIERS SHALL BE IN PLACE TO SEPARATE THE CONSTRUCTION OF PHASE 1 FROM PHASE 2. FIRE PROTECTION SHALL BE IN PLACE IN 100% OF THE BUILDING AT ALL TIMES. ELEVATOR AND ALL EXISTS SHALL BE IN PLACE TO SERVICE ALL OCCUPIED AREAS.

INTERIOR PASSAGEWAY NOTES

ALL INTERIOR PASSAGEWAYS AND HORIZONTAL EXITS HAVE EXISTING 2x4 WITH 3/8" TYPE 'X' GWB BOTH SIDES RESULTING IN A ONE HOUR FIRE RATING. REFERENCE UL DES. U305 - USG-30-Ft-G&H. BASEMENT LEVEL PASSAGEWAYS CONSTRUCTED WITH 8" CMU RESULTING IN A TWO HOUR FIRE RATING

ARCHITECTURAL LEGEND

- AREA TO BE DEMOLISHED OR MODIFIED
- EXISTING WALL OR PARTITION TO BE RAISED FOR NEW HIGHER ROOF
- NEW WALL PARTITION
- EXISTING WALL OR PARTITION
- EXISTING WINDOW
- EXISTING DOUBLE DOOR
- EXISTING SINGLE DOOR
- NEW PROPOSED DOOR OR REUSE OF EXISTING DOOR
- NEW SLIDER DOOR
- DOOR IDENTIFICATION TAG

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THIRD FLOOR PLAN

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Paper Size:

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Reviewed By:

MA

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A6

Sheet 7 of 82

GENERAL REVISIONS - JULY 15, 2025
ISSUE FOR PERMITS - FEBRUARY 7, 2025

ALLOWABLE SPANS — FLOOR JOISTS

ALLOWABLE UNSUPPORTED SPAN FOR SPRUCE-PINE-FIR #2		
2x12 @ 16" O.C.	17'-10"	
2x12 @ 12" O.C.	20'-7"	
2x10 @ 16" O.C.	15'-5"	
2x10 @ 12" O.C.	17'-3"	
2x8 @ 16" O.C.	12'-3"	
2x6 @ 16" O.C.	9'-4"	

ALLOWABLE SPANS — ROOF RAFTERS

ALLOWABLE UNSUPPORTED SPAN FOR SPRUCE-PINE-FIR #2		
2x12 @ 16" O.C.	19'-4"	
2x12 @ 12" O.C.	19'-11"	
2x10 @ 16" O.C.	16'-9"	
2x10 @ 12" O.C.	18'-11"	
2x8 @ 16" O.C.	13'-8"	
2x6 @ 16" O.C.	10'-9"	

ALLOWABLE SPANS — CEILING JOISTS

ALLOWABLE UNSUPPORTED SPAN FOR SPRUCE-PINE-FIR #2		
2x10 @ 16" O.C.	>26'-0"	
2x8 @ 16" O.C.	22'-4"	
2x6 @ 16" O.C.	16'-11"	

LOADS AND CODES

- THE DRAWINGS, TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE FOLLOWING BUILDING CODE: IRC-2018
- DESIGN LOADS:
 - ROOF:

DEAD LOAD:	10 PSF
SNOW LOAD:	40 PSF
 - FLOORS:

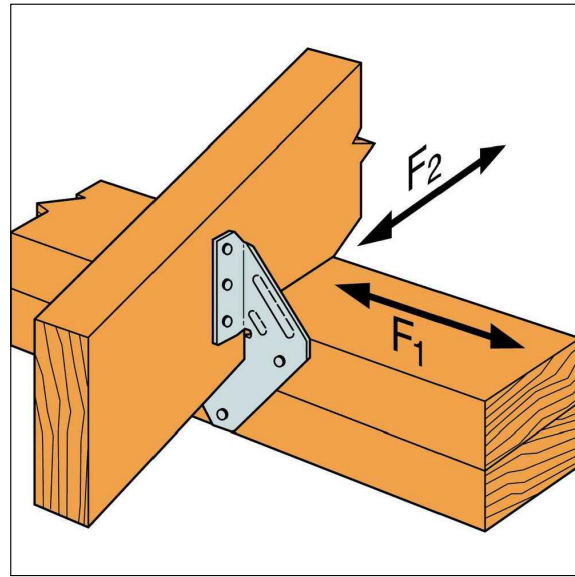
DEAD LOAD:	10 PSF
UNIFORM LIVE LOAD (FIRST FLOOR):	40 PSF
UNIFORM LIVE LOAD (SECOND FLOOR):	30 PSF
- WIND: PER ASCE 7-02

BASIC WIND SPEED (3 SECOND GUST) :	90 MPH
WIND IMPORTANCE FACTOR:	1.0
WIND EXPOSURE:	C
INTERNAL PRESSURE COEFFICIENT:	±0.18
COMP. & CLAD. DESIGN WIND PRESSURE:	25 PSF
- SEISMIC:

SEISMIC USE GROUP:	I
SPECTRAL RESPONSE COEFFICIENTS:	
SDS:	0.30
SD1:	0.13
SITE CLASS:	D
BASIC SEISMIC-FORCE-RESISTING SYSTEM:	LIGHT FRAME WALLS WITH WOOD SHEAR PANELS
DESIGN BASE SHEAR:	0.05W
ANALYSIS PROCEDURE:	EQUIVALENT LATERAL FORCE

WOOD

- WOOD FRAMING SHALL BE No. 2 OR BETTER SPRUCE-PINE-FIR K.D. 15% M.C.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE NAILING SCHEDULES FOUND IN THE BUILDING CODE. WHERE NOT SHOWN OTHERWISE ON PLANS, ALL NAILING OR SCREWING SHALL BE AS INDICATED IN THE BUILDING. ALL SHEATHING OR GYPSUM WALL BOARD MUST BE NAILED OR SCREWED; ADHESIVES SHALL NOT BE USED IN PLACE OF NAILING.
- CONNECTORS FOR WOOD CONSTRUCTION SHALL BE SIMPSON OR APPROVED EQUAL. SIMPSON DESIGNATIONS FOR CONNECTORS ARE INDICATED ON PLAN. CONNECTORS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- FABRICATED WOOD PRODUCTS (INCLUDING TRUSSES, JOISTS, BEAMS, ETC.) SHALL BE DESIGNED, FABRICATED, AND ERECTED BY THE SUPPLIER IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC), AMERICAN PLYWOOD ASSOCIATION (APA), TRUSS PLATE INSTITUTE (TPI), AND THE BUILDING CODE. IN THE CASE OF CONFLICTING DESIGN VALUES, THE MORE CONSERVATIVE VALUE SHALL BE USED.
- GLU-LAM LVL LAMINATED VENEER LUMBER SHALL BE GRADE 2950Fb-2.0E MINIMUM AND SHALL BE MANUFACTURED BY LP ENGINEERED WOOD PRODUCTS OR EQUIVALENT. GANG-LAM MEMBERS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- PROVIDE 2" CLEARANCE FROM FIREPLACE STRUCTURE FOR FIRST FLOOR FRAMING MEMBERS AND ROOF RIDGE BEAM AND 1" CLEARANCE FOR FRAMED ROOF OPENINGS AND ROOF SHEATHING.

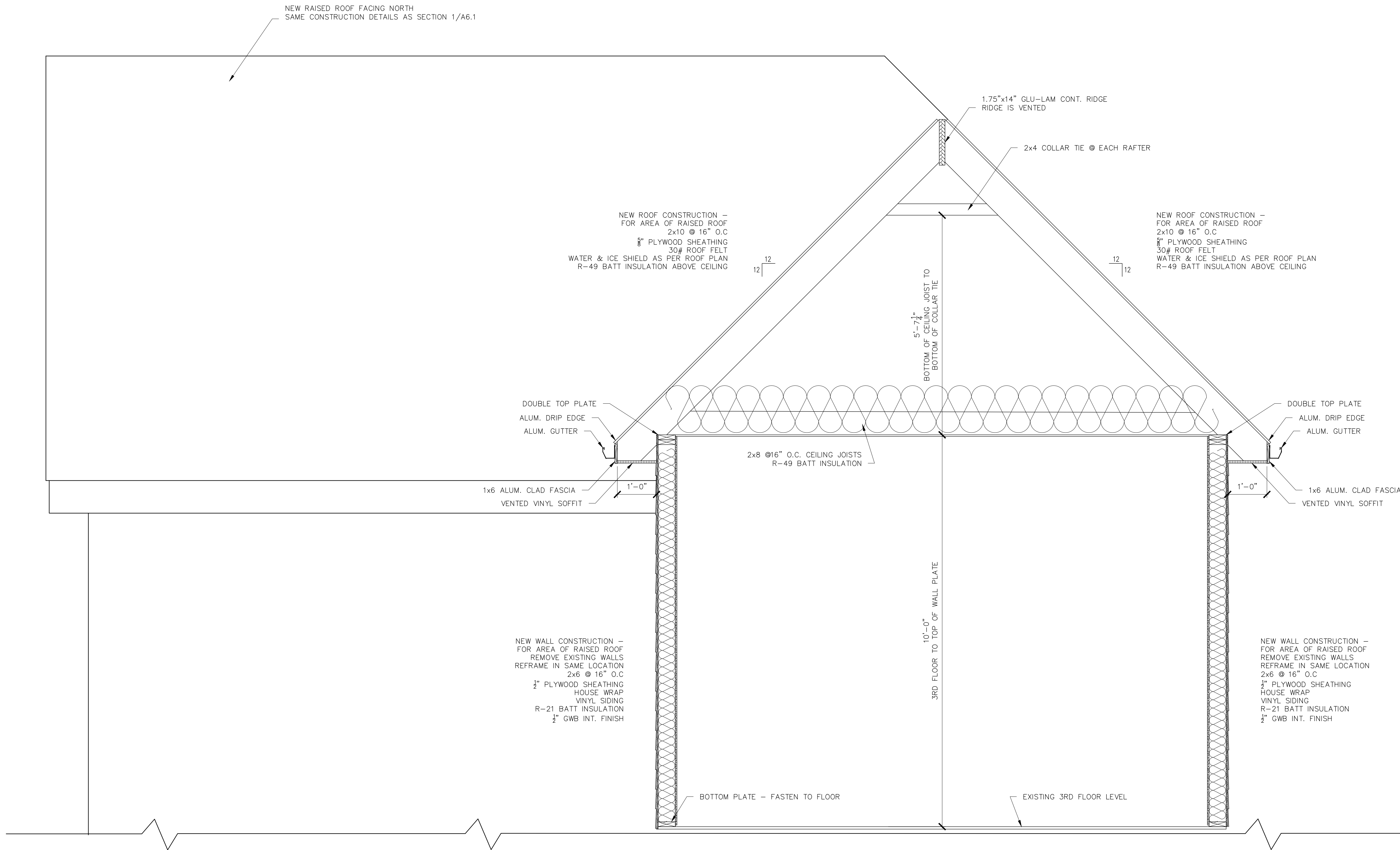


SIMPSON HT1Z-ZMAX
HURRICANE TIE

INSTALL AT EACH ROOF JOIST TO WALL CONNECTION

THIRD LEVEL CONSTRUCTION

ALL AREAS OF THE THIRD LEVEL ARE INCLUDED IN THE CONSTRUCTION DURING PHASE 2. HARD BARRIERS SHALL BE IN PLACE TO SEPARATE THE CONSTRUCTION OF PHASE 1 FROM PHASE 2. FIRE PROTECTION SHALL BE IN PLACE IN 100% OF THE BUILDING AT ALL TIMES. ELEVATOR AND ALL EXISTS SHALL BE IN PLACE TO SERVICE ALL OCCUPIED AREAS.



SECTION

SCALE: 1/2" = 1'-0"

1
A6.1

GENERAL NOTES

CONTRACTOR TO TAKE CARE AND PRECAUTION DURING DEMOLITION STAGE. SECURE ALL AREAS FROM COLLAPSE BEING CAREFUL TO NOT REMOVE WALLS OR SUPPORTS IN LOAD BEARING SITUATIONS. NOTIFY ARCHITECT OF LOAD BEARING AREAS PRIOR TO DEMOLITION.

REMOVE EXISTING ROOF AND WALLS IN AREA TO BE RAISED. NEW WALLS TO BE REFRAMED IN SAME LOCATION. EXISTING ROOF THAT REMAINS TO BE TIED INTO NEW WALLS AND PROPERLY FLASHED. SEE ROOF PLAN ON SHEET A-7.

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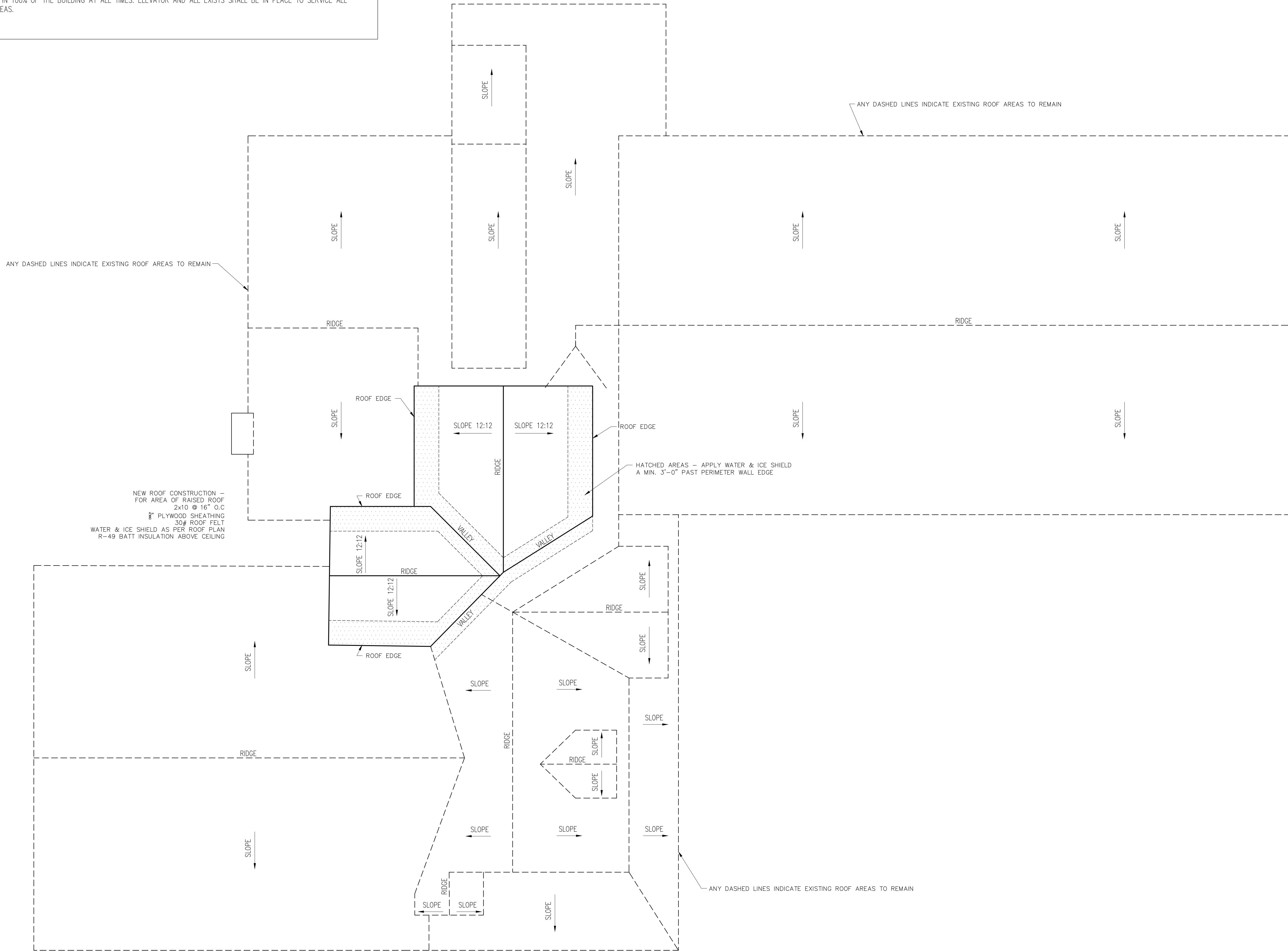
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A6.1

Sheet 8 of 82

THIRD LEVEL ROOF CONSTRUCTION

RAISING OF THE ROOF OVER THE THIRD LEVEL IS INCLUDED IN PHASE 1.
HARD BARRIERS SHALL BE IN PLACE TO SEPARATE THE CONSTRUCTION OF PHASE 1 FROM PHASE 2. FIRE PROTECTION SHALL
BE IN PLACE IN 100% OF THE BUILDING AT ALL TIMES. ELEVATOR AND ALL EXISTS SHALL BE IN PLACE TO SERVICE ALL
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ROOF PLAN

SCALE: 3/16" = 1'-0"

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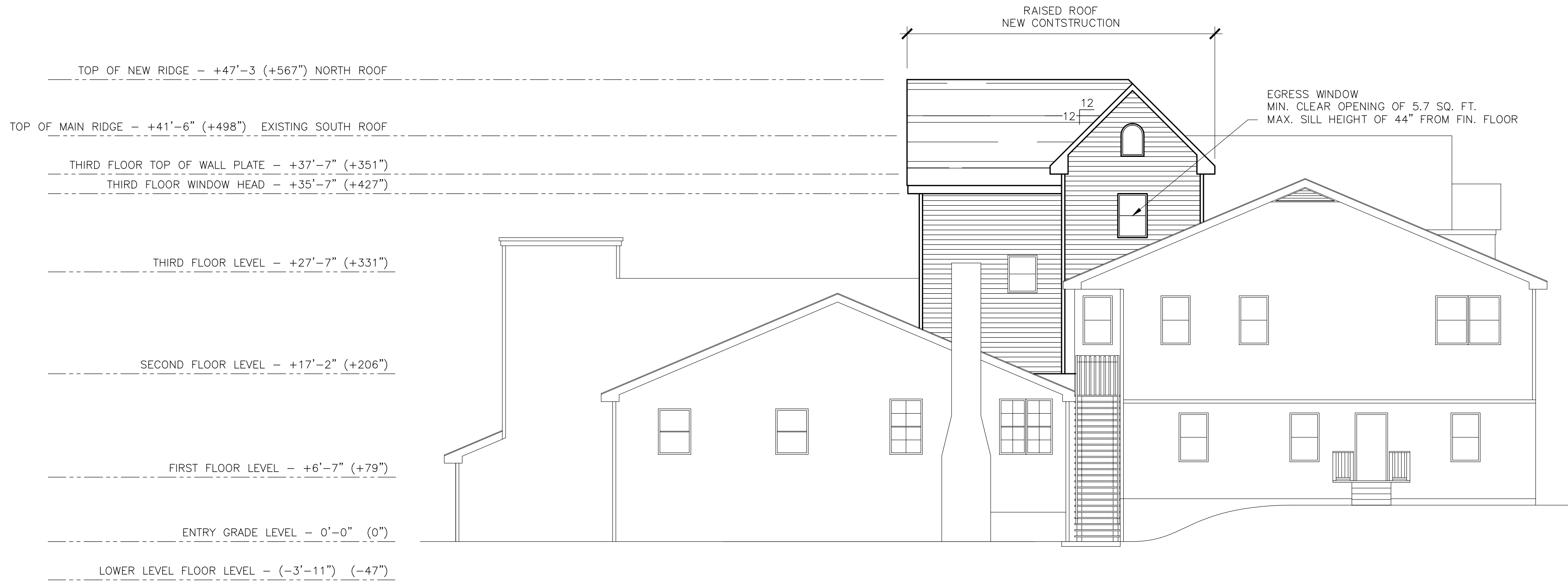
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Sheet 9 of 82

GENERAL REVISIONS - JULY 15, 2025
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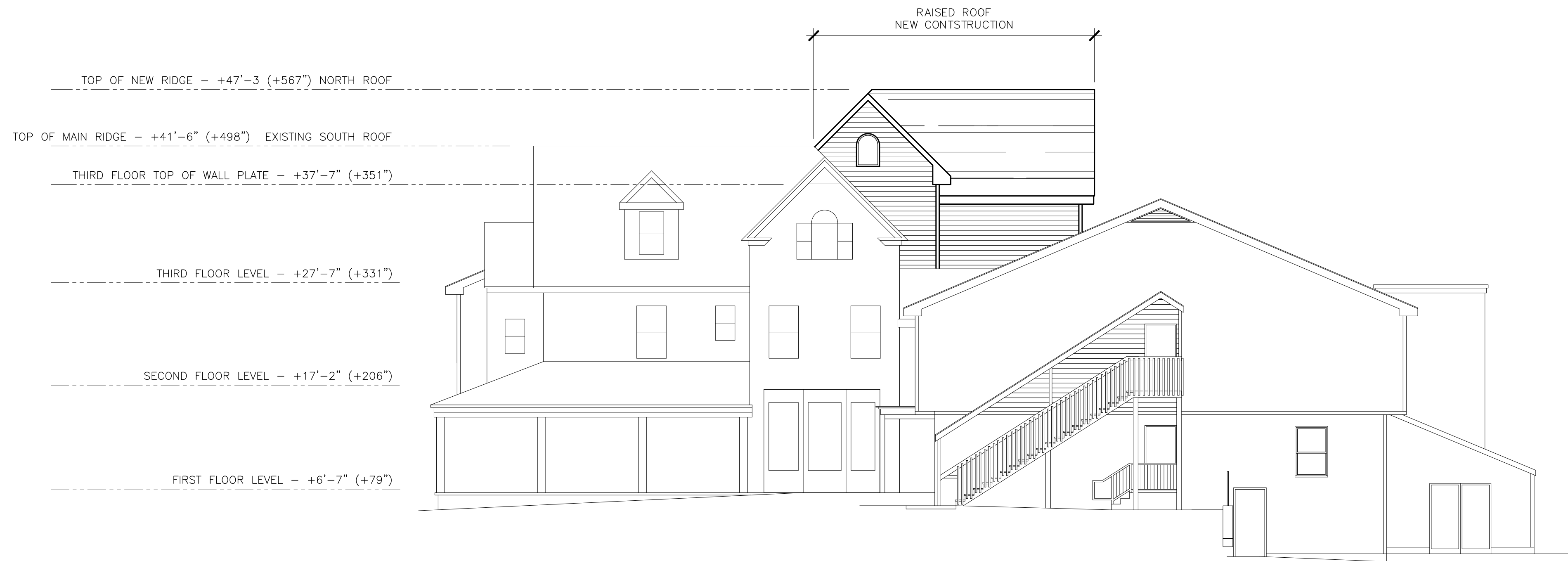
THIRD LEVEL ROOF CONSTRUCTION

RAISING OF THE ROOF AREA OVER THE THIRD LEVEL IS INCLUDED IN PHASE 2.
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WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH (REAR) ELEVATION

SCALE: 1/8" = 1'-0"

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Sheet 10 of 82

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