



FOR LEASE

±55,000 Sq. Ft. Warehouse/Office Space



**1900 CORPORATE BLVD.,
ORANGE COUNTY, NEWBURGH, NY**

FOR ADDITIONAL
INFORMATION,
CONTACT

Jack Baker
Chief Operating Officer



**National
Realty &
Development
Corp.**

225 Liberty St, Floor 3 |
New York, NY 10281

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Cell: 203.570.0650

Email:
jack.baker@nrdc.com

On the Web:
www.nrdc.com

PROPERTY HIGHLIGHTS

- This 110,000 sq. ft. single-story building sits on 10 acres. Steel frame and concrete panel building built in 1990.
- Approximately 50,000 sq. ft. warehouse space, +/-2,500 sq. ft. of finished office space available, and +/-2,500 sq. ft. of unfinished/raw office space available.
- 24' clear ceilings.

ACCESSIBILITY

- Signalized intersection at Route 17K and the business park access road.
- Access to roads via NY Route 17K and Route 300.
- 3-4 minutes drive from both I-84, exit 7 and NYS Thruway (I-87), exit 17.



FOR LEASE

±55,000 SQ. FT. INDUSTRIAL/OFFICE SPACE AVAILABLE



1900 CORPORATE BLVD NEWBURGH, NY

- LOCATION:** 1900 Corporate Blvd, Newburgh, Orange County, New York
- ACCESSIBILITY:**
 - Signalized intersection at Route 17K and the business park access road
 - Access to roads via NY Route 17K and Route 300
 - Three-to-four-minute drive from both Interstate 84, Exit 7 and NY Thruway (I-87), Exit 17
- DESCRIPTION:** This 110,000 sq. ft. single-story building situated on ±10 acres. Clean steel frame and concrete panel building built in 1990.
- AVAILABLE SPACE:** ±55,000 sq. ft. consisting of ±50,000 sqft. of warehouse space and ±2,500 sq. ft. of office space and ±2,500 sq. ft. of raw unfinished office space.
- ZONING:** I-B, Interchange Business (see attached Table of Use & Bulk Requirements).
- ROOF:** The roof is a built-up roof over 22 gauge 1 ¼ inch painted metal roof deck.
- FLOORING:** Floor is 8" thick reinforced concrete slab on grade
- CEILINGS:** 24' clear ceilings.
- PARKING:** Abundant parking.



1900 Corporate Blvd.
Newburgh, NY
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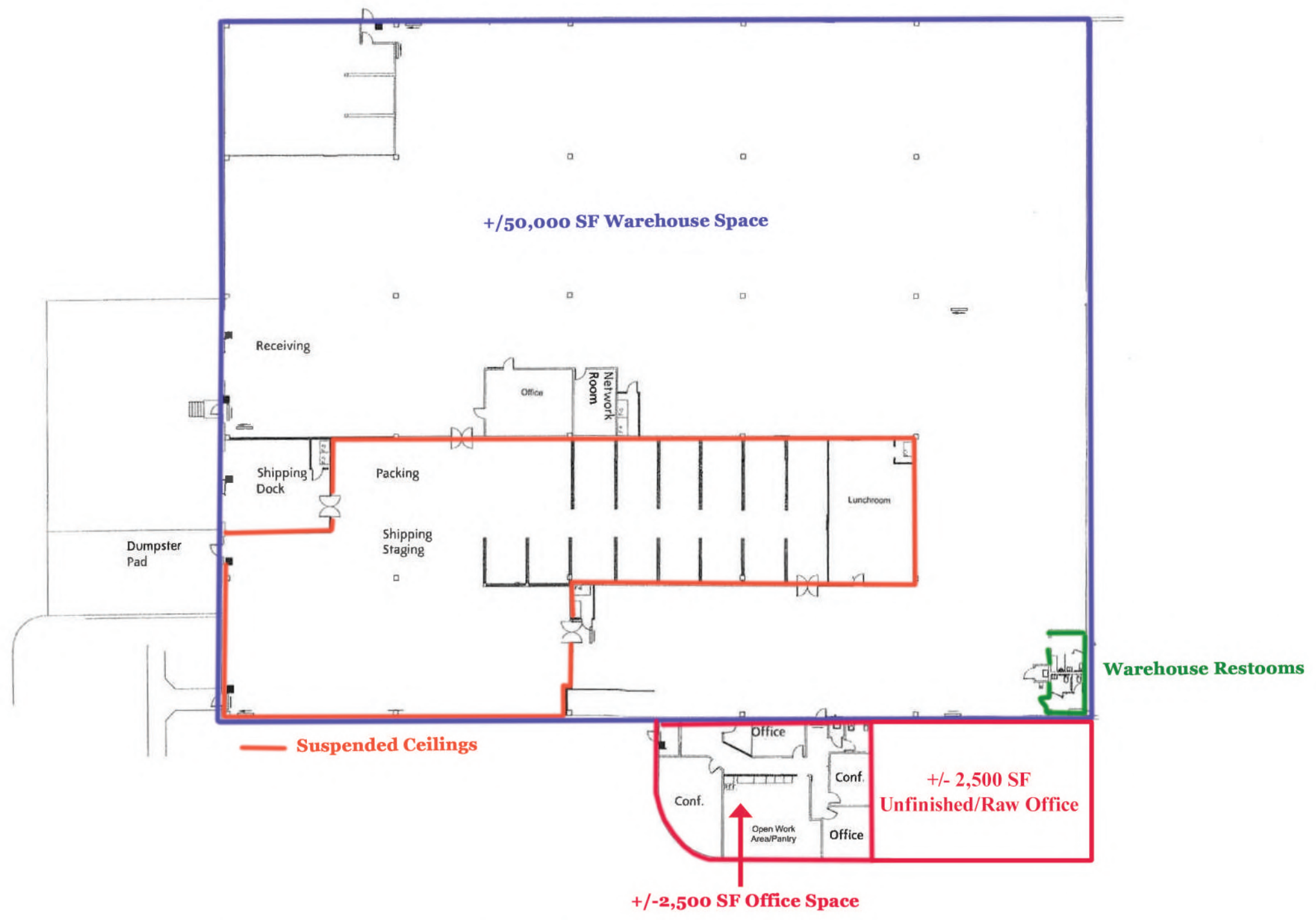
- COLUMN SPACING: 40' x 50'
- LOADING: 5 loading docks (8'w x 10'h).
- SPRINKLES: 100% wet system
- ELECTRIC: 600-amp; 480/277 volt, 3 phase.
- HVAC: Natural gas-fired unit heaters in warehouse, and gas-fired HVAC in offices. There are three air changes per hour in warehouse through roof-mounted exhaust fans.
- WATER/SEWER: Domestic and fire control water, and sewage disposal, provided by Town of Newburgh.
- NATURAL GAS: 2" diameter main at 60 psi pressure provided by Central Hudson Gas & Electric.
- TAXES & CAM: Approximately \$2.78psf

For further information or to arrange a tour, please contact:

Jack Baker, Chief Operating Officer

National Realty & Development Corp.
225 Liberty St, Floor 31
New York, NY 10821
Cell: 203.570.0650 Office: 914.272.8036
E-mail: jack.baker@nrdc.com On the Web: www.nrdc.com

Note: Information submitted herein is subject to errors; omissions; changes of price; rental, or other conditions withdrawal without notice; and to any special listing conditions imposed by our principals. All areas and dimensions are approximate.



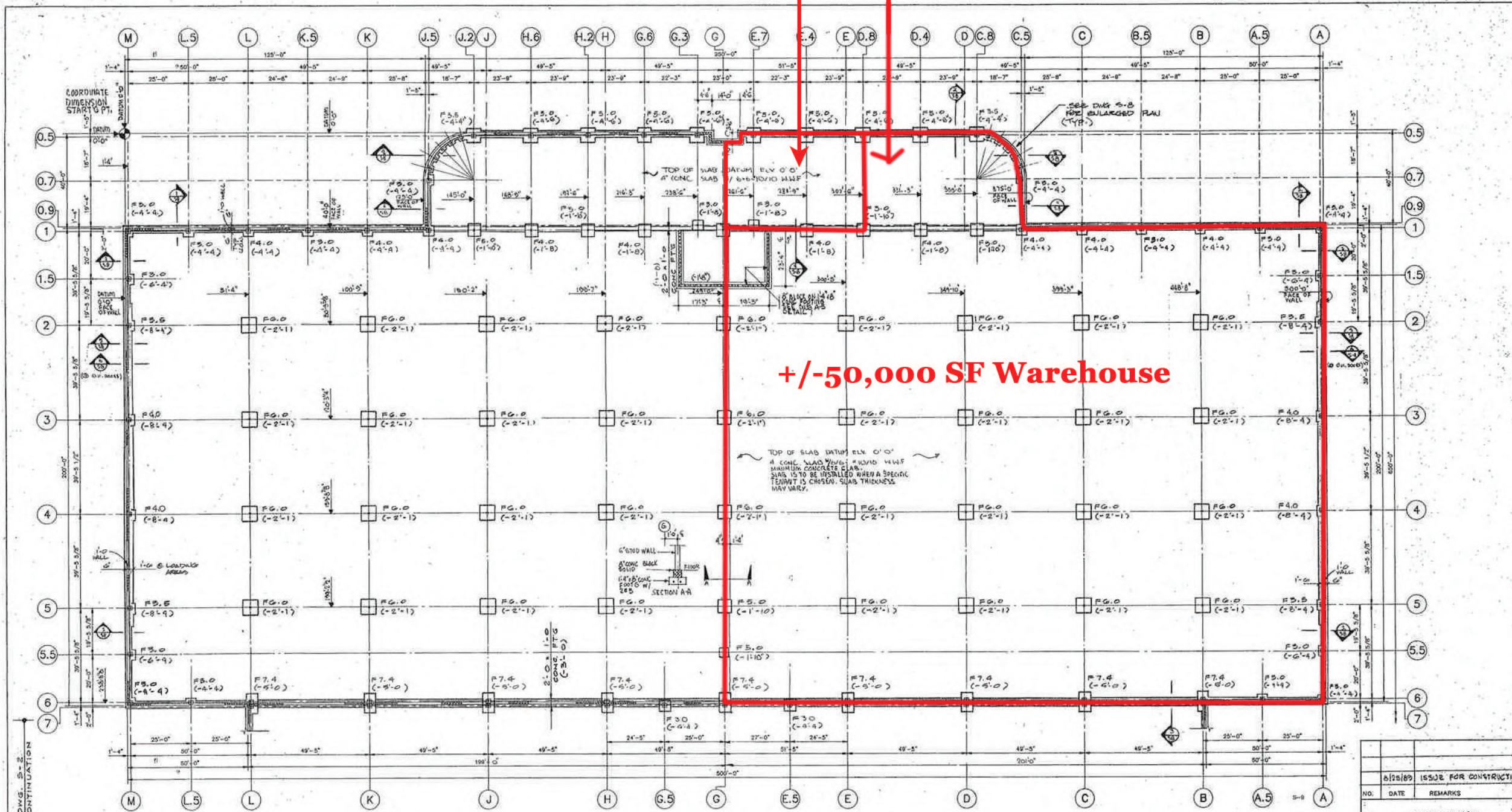
SCALE: 1/16" = 1'-0"

NO.	REVISION/ISSUE	DATE
HOOVER & ASSOCIATES P.O. BOX 367 GARDINER, NEW YORK 12525 PHONE: (845) 256-5415		
PROJECT NAME CRS RETAIL SYSTEMS - INTERIOR FIT UP NORTHEAST BUSINESS PARK NEWBURGH, NEW YORK 12550		
DRAWN BY KIM HOOVER	PROJECT 04.100	SHEET # OF # F-1
DATE 1 NOVEMBER 2004	SCALE 1/16" = 1'-0"	FIRE PROTECTION PLAN

**+/- 2,500 SF
Unfinished/Raw Office**

+/-2,500 SF Office

+/-50,000 SF Warehouse



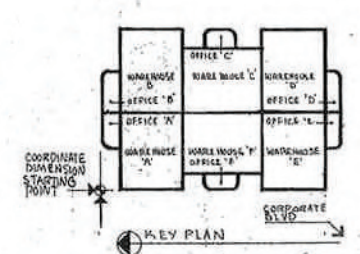
WAREHOUSE & OFFICE A

WAREHOUSE & OFFICE B

FOUNDATION PLAN 1/8" = 1'-0"

- NOTES: 1. DIMENSIONS SHOWN THUS (-) ARE FROM BOT. OF PIG TO FIN. PL. (DATUM EL. 0'-0').
 2. REFER TO DWG. S-3 FOR PILES & FOOTING SCHEDULE.
 3. STEP FOOTINGS AT WALLS WHERE REQUIRED PER DETAIL DWG. S-3.

1900 Corporate Blvd., Newburgh, NY



6/25/09 (ISSUE FOR CONSTRUCTION)			
NO.	DATE	REMARKS	BY
NORTHEAST BUSINESS CENTER NEWBURGH NEW YORK THE IVES GROUP ARCHITECTS/PLANNERS 14-25 PLAZA ROAD FAIR LAWN, NJ 07410 (201) 791-7444			
FOUNDATION PLAN WAREHOUSE & OFFICE A & B			
OWN BY	PR/BC	SCALE	AS NOTED
CHD BY	PS	PROJECT	08-43074
DATE			

PAUL BECK ASSOCIATES
 Structural Engineers
 122 Patch Drive Wayne, New Jersey 07470 201-886-0070

S-1

ZONING

185 Attachment 13

Town of Newburgh

Table of Use and Bulk Requirements
IB District -- Schedule 8

[Amended 7-15-1996 by L.L. No. 3-1996; 9-23-1998 by L.L. No. 10-1998; 2-10-2014 by L.L. No. 2-2014; 8-20-2014 by L.L. No. 7-2014; 12-29-2014 by L.L. No. 13-2014; 9-11-2017 by L.L. No. 1-2017; 4-9-2018 by L.L. No. 3-2018; 4-9-2018 by L.L. No. 5-2018]

1) Accessory Uses	B. Permitted With	5) Permitted Uses	D. Uses Subject to Site Plan Review by the Planning Board	Minimum Required						Habitable Floor Area Per Dwelling Unit (square feet)	Dwelling Units Per Acre	Maximum Permitted			
				Lot Area (square feet)	Lot Width (feet)	Lot Depth (feet)	Front Yard (feet)	Rear Yard (feet)	1 Side Yard (feet)			Both Side Yards (feet)	Lot Building Coverage (percent)	Building Height (feet)	Lot Surface Coverage (percent)
1. Storage buildings up to 50% of the floor area of the principal building	C1, D5, 7, 11 and 13	1. Municipal buildings and town activities		NA	NA	NA	NA	NA	NA	NA		20%	35	50%	
2. Cafeterias, clinics and recreation facilities for the use of employees engaged on the premises	D5, 7-9, 13 and 18	2. Existing single-family dwellings: a. Without both public sewer and public water systems		20,000	125	150									
3. Signs in accordance with § 185-14 a. Professional b. Business c. Identification	D5	b. With both public sewer and public town water systems c. With either public sewer or public water system only		15,000			40	40	15	30	900	NA	25%	35	50%
3a. Signs in accordance with § 185-14.1	D1-2, D4-13 and 18	3. Existing 2-family dwellings:		17,500	100	125									
4. Off-street parking as required by the principal use	D3	a. Without both public sewer and public water systems		30,000	150	175									
5. Truck-loading facilities	All D1-13	b. With both public sewer and public town water systems		22,500				50	25	50					
6. Sales of used motor and camping vehicles, boats and snowmobiles in conjunction with a franchised dealership	D10	c. With either public sewer or public water system only		25,000	125	150									
7. Fuel tanks in accordance with § 185-39	D5, 7-14 and 18		1. Mini-malls	2 acres	200	200	40	50	30	60			40%	35	
8. Satellite earth stations in accordance with § 185-40	D4-7, 12, 13 and 16-18		2. Individual retail stores, convenience stores with or without gasoline filling stations, personal service stores, uses and health clubs and fitness facilities, and indoor amusement establishments	40,000	150	150	50	60	50	100			40%	35	
9. Accessory uses to an existing principal residence as listed for the R-1 District			3. Shopping centers	5 acres			60						30%		
10. Fast-food establishments	D3-4, 12 and 18		4. Theaters	3 acres	300	300	60	60	50	100			30%		
11. Restaurants and conference and banquet facilities	D12 and 18		5. Offices for business, research and professional use and banks				50								
12. Retail outlets	D8 and 13		6. Restaurants and fast-food establishments in conjunction with uses in Nos. 3, 4 and 5 in accordance with § 185-1&				50								
13. Swimming pools, tennis courts and other recreational facilities, including related cabanas	D5, 7-9, 12, 13		7. Research laboratories				50								
14. Car wash	D10 and 11		8. Manufacturing, altering, fabricating or processing products or materials involving the use of only oil, gas or electricity for fuel	40,000	150	150	50	60	30	80		NA	40%	40%	80%

NOTES:

¹ Minimum 1,500 square feet of lot area per guest room.

⁵ These requirements shall not be applicable to a school or college which utilizes all or part of an office building for classroom space. Such a use shall meet the bulk requirements of use D5.

NEWBURGH TOWN CODE

**Table of Use and Bulk Requirements
IB District -- Schedule 8
(Cont'd)**

1) Accessory Uses	B. Permitted With	5) Permitted Uses	D. Uses Subject to Site Plan Review by the Planning Board	Minimum Required						Habitable Floor Area Per Dwelling Unit (square feet)	Maximum Permitted				
				Lot Area (square feet)	Lot Width (feet)	Lot Depth (feet)	Front Yard (feet)	Rear Yard (feet)	1 Side Yard (feet)		Both Side Yards (feet)	Dwelling Units Per Acre	Lot Building Coverage (percent)	Building Height (feet)	Lot Surface Coverage (percent)
15. Motor vehicle rental agency	D10, 11 and 12		9. Warehouse, storage and transportation facilities, including truck and bus terminals, not within 500 feet of Route 17K				50								
16. Storage areas for motor vehicle dealerships for storage of vehicles without relationship to normal parking standards	D10		10. Dealerships of new motor and camping vehicles, mobile homes, boats and snowmobiles, including repair and service facilities in accordance with § 185-28				50								
17. Eating and drinking facilities or food preparation shops not offering full table service	D1-4		11. Motor vehicle service stations and public garages, car wash and rental agency, in accordance with § 185-28				50					20%			
18. Cargo storage containers in accordance with §185.15.1	C1, 05, 7, 11 and 13		12. Hotels and motels in accordance with § 185-27	5 acres	200	200	50	60	50	100		1	25%	50	60%
			13. Business parks in accordance with § 185-41	10 acres	400	400	60	60	50	100		NA	25%	40	50%
			14. Public utility structures and rights-of-way	NA	NA	NA	NA	NA	NA	NA		NA	20%	35	50%
			15. Self-storage centers in accordance with § 185-35	3 acres	100	125	80	40	30	60		NA	30%	15	60%
			16. Affordable housing in accordance with § 185-47												
			17. Senior citizen housing in accordance with § 185-48												
			18. Travel center in accordance with § 185-48.1 ⁸	12 acres	400	400	60	60	50	100		NA	30%	35	80%
			19. Schools and colleges for general and technical education with related facilities	5 acres ⁵	300 ⁵	300 ⁵	60 ⁵	60 ⁵	50 ⁵	100 ⁵		NA	30% ⁵	40 ⁵	80% ⁵

NOTES:

¹ Minimum 1,500 square feet of lot area per guest room.

⁸ (Reserved)

⁷ (Reserved)

⁴ (Reserved)

⁵ These requirements shall not be applicable to a school or college which utilizes all or part of an office building for classroom space. Such a use shall meet the bulk requirements of use D5. [Added 9-23-1998 by L.L. No. 10-1998]

⁸ (Reserved)